

**\*\*\*ATTACHMENTS\*\*\***

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** New building additions at Azura Memory Care located at 2611 and 2629 Indiana Avenue.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** June 7, 2019

**MEETING DATE:** June 10, 2019

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

In November 2018, the Architectural Review Board approved plans from Azura Memory Care for additions and exterior remodeling projects at their facilities located at 2611 and 2629 Indiana Avenue. The applicant is requesting to modify the approved plans based on the following:

- During demolition of the 2629 Indiana Avenue facility, it was discovered that the existing brick on the building was constructed improperly (this is the 6,410sf, 19 bed CBRF). Due to moisture issues, the brick wainscot and brick face at the building entry had to be removed. As a result of this issue, Azura has encountered in excess of \$10,000 in unanticipated costs to demolish the existing brick and remedy the moisture issue. Azura is requesting approval for the affected areas to be replaced with Cement Board Siding instead of replacing the brick to avoid substantive additional cost escalations for the project.

The information below was included in the 2018 staff report.

These buildings were constructed in 1995 and 1999, respectively and have been operating as a Community Based Residential Facility within Sheboygan since their construction. These two (2) CBRF buildings have 28 licensed beds and provide 24/7 care.

Azura acquired these buildings in 2010. Since that time, Azura has become known as the local leader in care for those with Alzheimer's and Dementia. However, the buildings are now 20+ years old and are in need of improvement. In addition, industry knowledge of how to design buildings to best serve the residents with Alzheimer's and dementia has improved markedly since the construction of these buildings.

Azura is proposing to invest in the Sheboygan community to improve the quality of our real estate so that the quality of the buildings matches Azura's quality of care. This will allow Azura to continue providing best in class care to those in Sheboygan with Alzheimer's and dementia long into the future.

The proposed use of the site is substantially the same as the current use. The proposed site plan includes expanding one of the two CBRF buildings to allow for the addition of ensuite restrooms and modified parking and landscape plans to accommodate the building expansion. The building expansion will not increase the number of licensed beds.

Azura plans to alter the institutional architecture of Building A (2629 Indiana Avenue) to a high quality and warm residential prairie style architecture. Additionally, both buildings will have vinyl siding replaced with high quality fiber cement siding. The applicant states the following about the project:

**2629 Indiana Avenue:**

- The 2629 Indiana Avenue facility is a 19 bed CBRF that is 6,410sf and was constructed in 1995. This facility has nine (9) parking stalls.
- Azura proposes to expand this building by 1,936sf. This expansion will include 1,325sf expansion to each of the resident room wings (approximately 660sf per wing) as well as a 636sf sunroom expansion off of the building's living area.
- The expansion will allow Azura to update the floor plan and improve the quality of environment for our residents. The entire resident room wings will be demolished and reconstructed with 18 new resident rooms that will each have an ensuite bathroom. Azura will remodel and upgrade the living areas of the building, including the kitchen, living rooms, and resident spa room. Azura will also be upgrading lighting and finishes throughout the building.

**2611 Indiana Avenue:**

- The 2611 Indiana Avenue facility is a nine (9) bed CBRF that is 3,443sf and was constructed in 1999. This facility has nine (9) parking stalls.
- Azura will remodel and upgrade the living areas of the building, including the kitchen, living rooms, and resident spa room. Azura will also be upgrading lighting and finishes throughout the building.

**STAFF COMMENTS:**

None.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: 513640  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: UK

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: 6/10/19

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised May 2018

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Azura, LLC  
ADDRESS: 1233 N Mayfair Road, Suite 301  
E-MAIL ADDRESS: matt@azuraliving.com  
PHONE: ( 720 ) 291-4838 FAX NO.: ( )

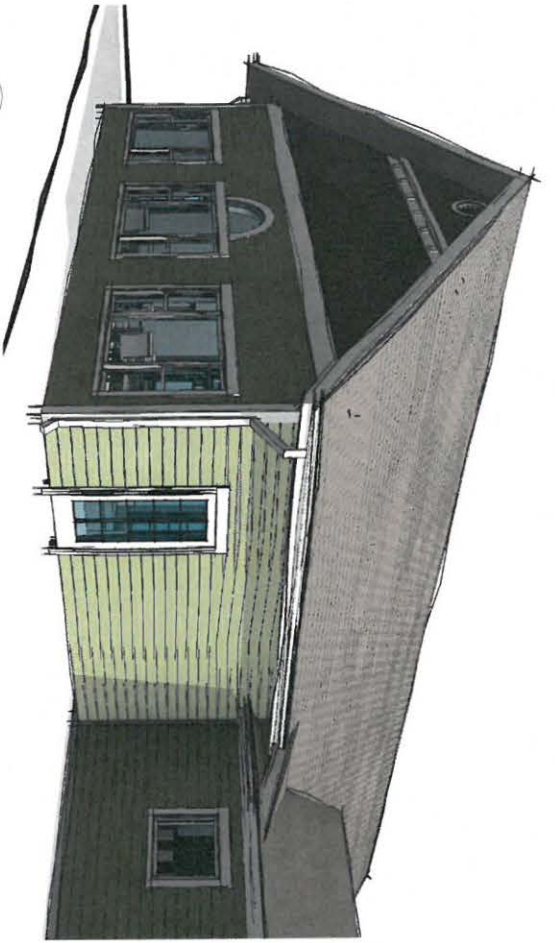
**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Azura Memory Care of Shebygan  
ADDRESS OF PROPERTY AFFECTED: 2629 Indiana Ave  
NEW BUILDING: \_\_\_\_\_ ADDITION: \_\_\_\_\_ REMODELING: X

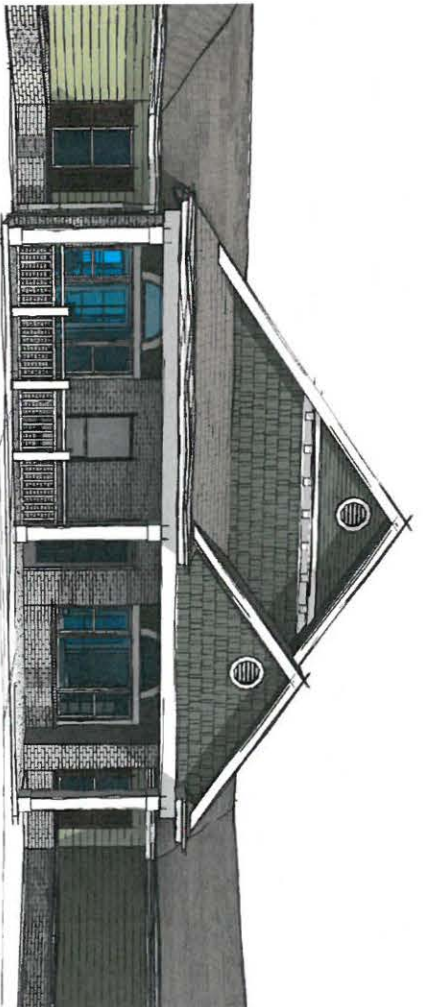
DESCRIPTION OF PROPOSED PROJECT: \_\_\_\_\_  
Remodel of existing Azura Memory Care of Sheboygan was previously approved and is under construction. Poor original construction methods allowed water infiltration behind existing brick surfaces which caused those areas to have to be removed from the building. It is requested that the demolished brick areas be replaced with cement board siding.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
Previous materials were vinyl siding with a brick wainscot along the front of the building.

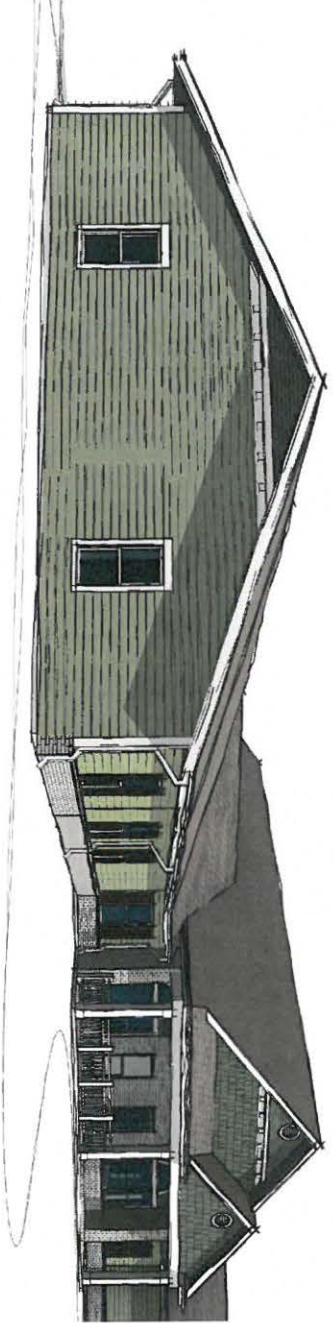
DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
Proposed materials are now all Hardie Cement Board Siding. The brick wainscot was originally planned to be maintained, but that is no longer feasible.



1 Sunroom  
3



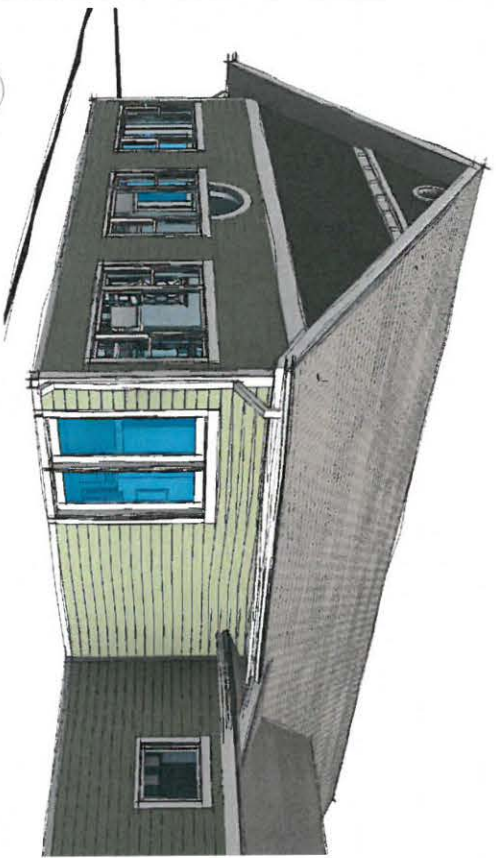
2 Front  
3



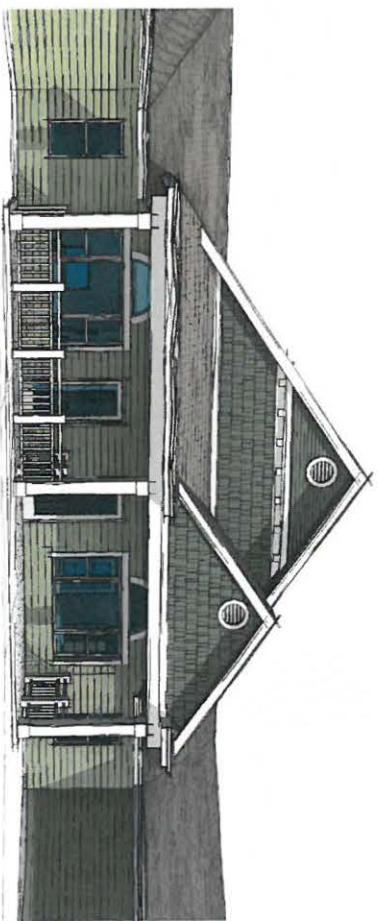
3 East Addition  
3

# Azura - Sheboygan Building A Renovation

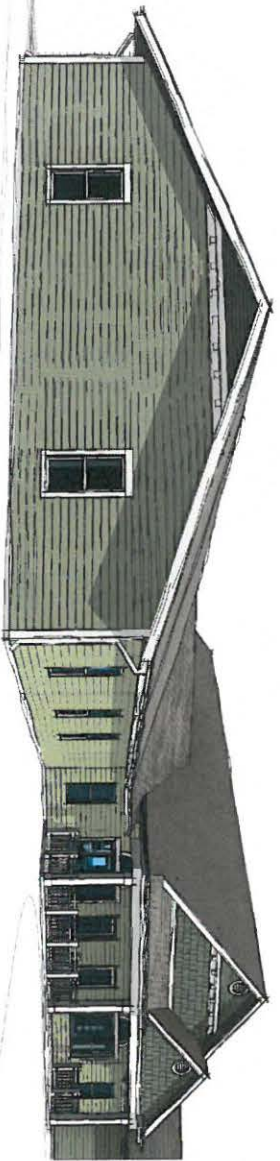
## Perspectives



1 Sunroom  
3



2 Front  
3



3 East Addition  
3

## Azura - Sheboygan Building A Renovation

## Perspectives



action pact  
design

5-23-2019



AZURA®

Before

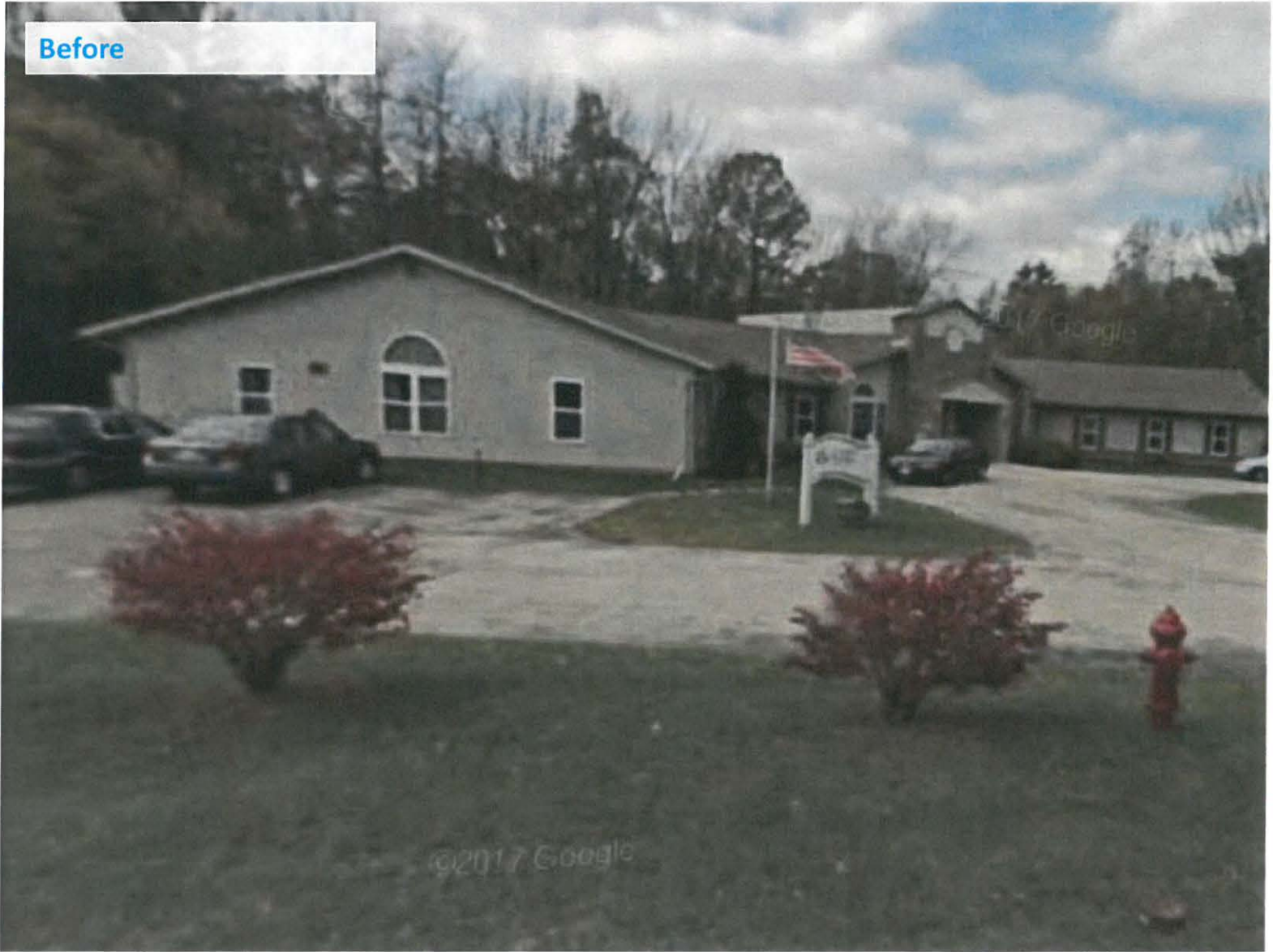


Approved



2 Front  
3

Before

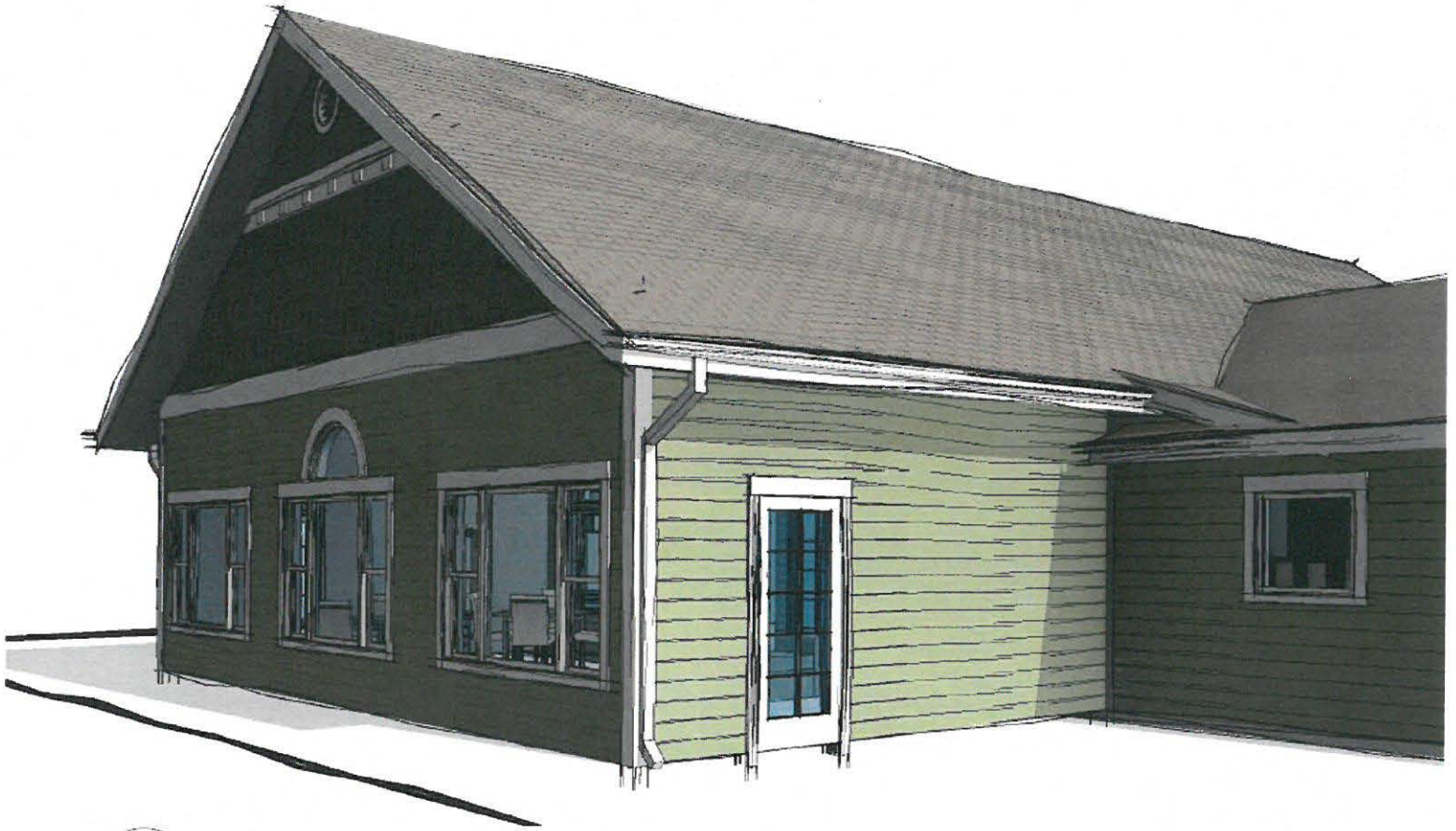


Approved



©2017 Google

Approved



1  
3

Sunroom

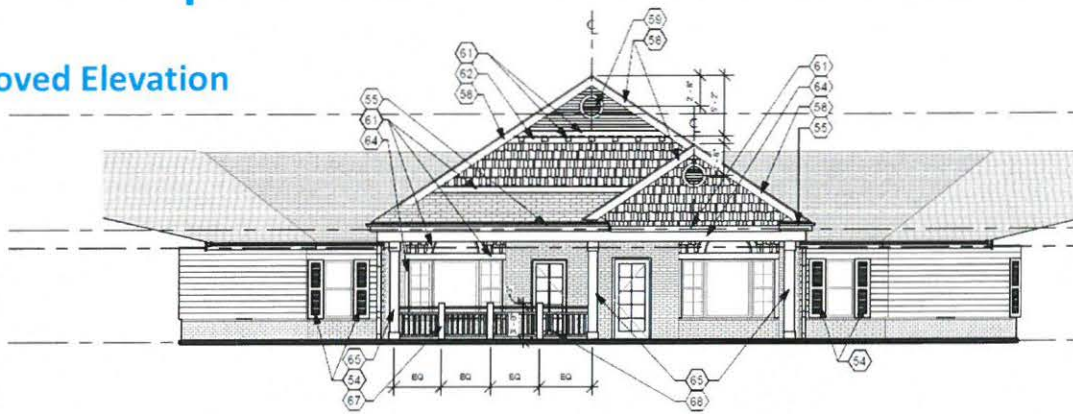
# Requested Modifications

- During demolition, it was discovered that the existing brick on the building was constructed improperly.
- Due to moisture issues, the brick wainscot and brick face at the building entry had to be removed.
- As a result of this issue, Azura has encountered in excess of \$10,000 in unanticipated costs to demolish the existing brick and remedy the moisture issue.
- Azura is requesting approval for the affected areas to be replaced with Cement Board Siding instead of replacing the brick to avoid substantive additional cost escalations for the project.



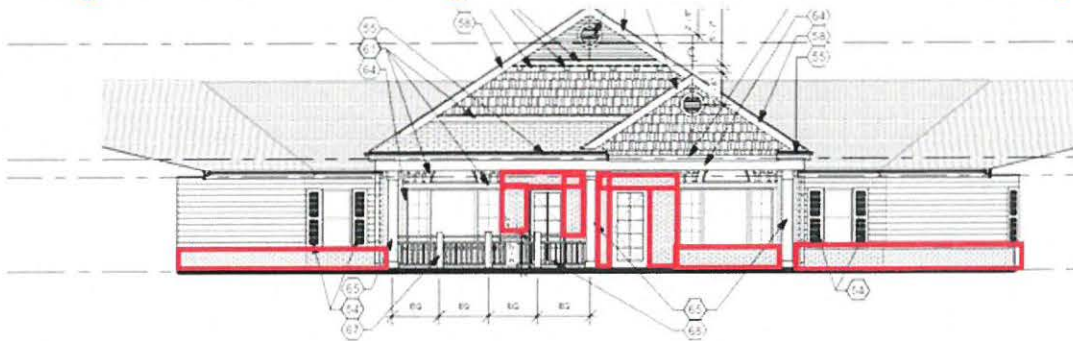
# Requested Modifications

Approved Elevation



1 Front Elevation  
A4 01 1/8" = 1'-0"

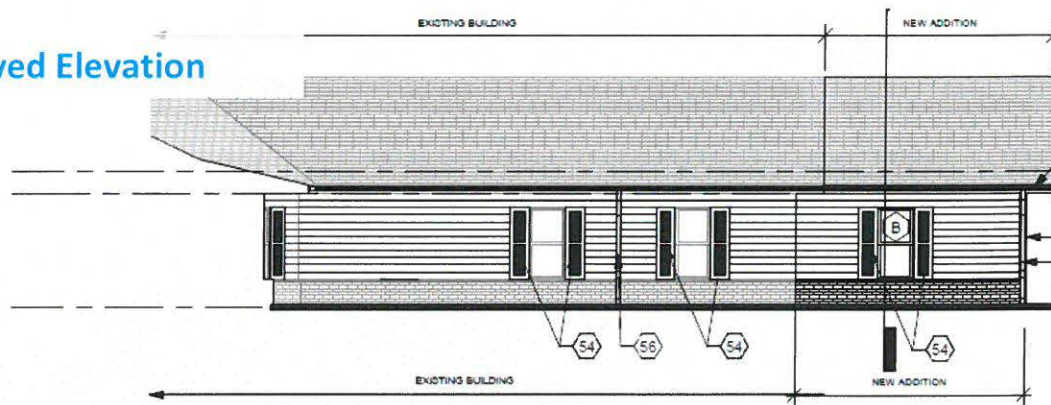
Requesting Red Areas to be changed from brick to Cement Board Siding



1 Front Elevation  
A4 01 1/8" = 1'-0"

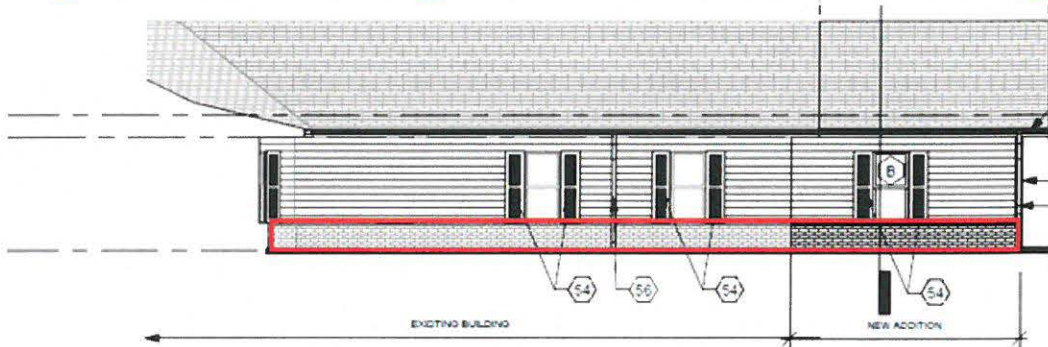
# Requested Modifications

## Approved Elevation



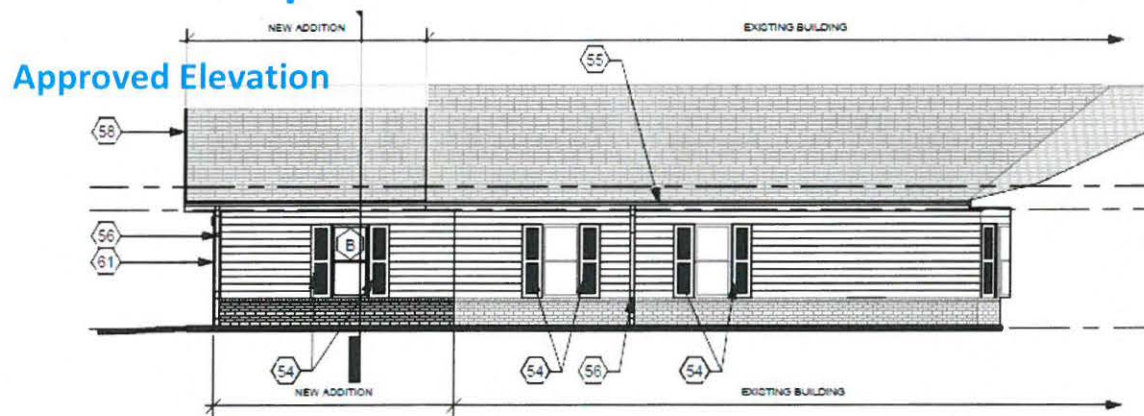
2 East Elevation of North Wing  
A4.01 1/8" = 1'-0"

## Requesting Red Areas to be changed from brick to Cement Board Siding



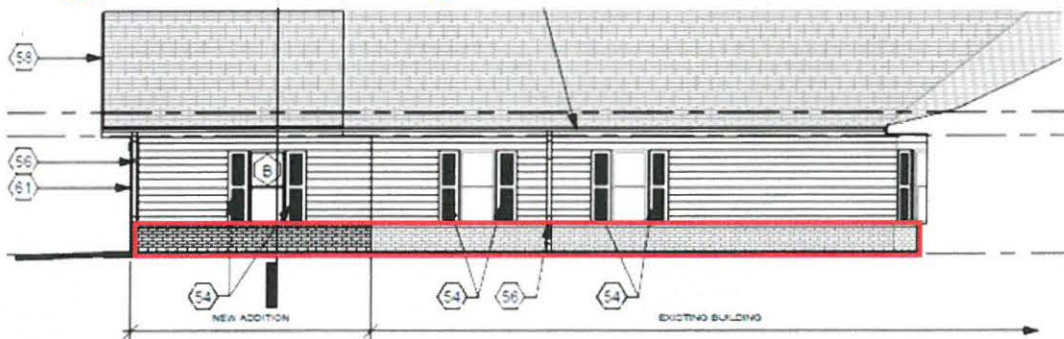
2 East Elevation of North Wing  
A4.01 1/8" = 1'-0"

# Requested Modifications



3 North Elevation of East Wing  
44.01 1/8" = 1'-0"

## Requesting Red Areas to be changed from brick to Cement Board Siding



3 North Elevation of East Wing  
44.01 1/8" = 1'-0"

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Construction of new Humane Society of Sheboygan County facility on vacant, undeveloped property located on the east side of N. 21st Street and south of Pershing Avenue (parcel #'s 62900 and 629070).

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** June 7, 2019

**MEETING DATE:** June 10, 2019

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

Humane Society of Sheboygan County is proposing to construct a new facility on vacant, undeveloped property located on the east side of N. 21<sup>st</sup> Street and south of Pershing Avenue (parcel #'s 62900 and 629070). The applicant states:

- The current shelter at 3107 N. 20th Street was built in 1964. The existing 6,600sf shelter building at 3107 N. 20<sup>th</sup> Street has been in use for nearly 50 years and is inadequate in size and function. It has served its' purpose but outgrown its' efficiency. It is too small to handle the 3,000 animals that come through the doors annually.
- The new 20,400sf building will be built on adjacent property to the north that was donated by the Muth family (2.3 acres vacant tract of land in the 3200 block of N. 21<sup>st</sup> Street).
- Our vision is to build a state-of-the-art facility that serves 2,500 homeless animals in Sheboygan County. The design allows for improved operational efficiency for current programs and services, as well as the development and enhancement of new programs and services. The benefits to both animals and people are clear; we will be able to save more lives and provide more resources for the community. A new shelter will overcome all existing shelter challenges, which means more animals adopted, rescued and saved.
- It will include a surgical suite that will allow the Humane Society to make a greater impact through increased spay and neuter services, and an increased Trap Neuter Return program, as well as taking care of the numerous daily surgical needs. The new shelter will have a more efficient flow for employees and volunteers creating a better work environment for both.

- In addition to providing adequate space the animals, it will provide so much more inviting and user-friendly to the public/community. Starting with visibility on a major road (N. 21<sup>st</sup> Street) and continuing inside with quieter, more intimate animal rooms, and a patio, where the public can sit amongst the cats and relax with a book or have a cup of coffee. The new building will have a retail store that will allow adopting families to meet all the needs of its' newest member and finally, it will have a community room that will allow more people to experience the Humane Society. The community room will be a place to hold meetings, day camps, birthday parties, polling for elections, and other similar gatherings.

Along the north side of the building are (7) fenced dog runs and play yard with a 40' X 40' fabric roofed shelter for outdoor exercise and activities. At the rear (east end) of the building is a fenced dumpster enclosure on a paved driveway.

Adjacent to the shelter site (east side), we propose to construct a dog walk park which will provide a place for the public to bring their pets and for shelter animals to be exercised. The area of the park is approximately 3.5 acres. It will contain a pond for stormwater management, walking trails, controlled entry, vestibules, and a fenced perimeter.

Site improvements include:

- The new building for the Humane Society is a single story, 20,400sf metal building which will provide space for the many functions found in a modern, up-to-date animal shelter. Among those functions are a variety of public use areas which have been placed in the front (street side) element of the building. All other shelter business functions are located in the rear portion of the building.
- New building will be clad with horizontal metal siding (wood grain finish) and vertical metal siding (paint finish), with a colored concrete masonry wainscot. Roofing is standing seam metal with metal roof edges, gutters, and downspouts. Windows and doors visible from the street will be clear, anodized aluminum with painted aluminum projecting sun shades.
- The front element is approximately 110' long and parallel with the street, setback is approximately 80'. The setback area will become a landscaped front yard. Spaces in the front element include the main building entrance and lobby with reception desk, a retail sales area, a "catio" for public interaction with selected animals, a 1,000sf community room, public toilet rooms, and storage rooms. The roof of the front building element is a single slope which serves to visually screen the back portions of the building from street view. The low edge of the roof is at 12' high, rising to the east to approximately 22' high.
- A 24" high wainscot of charcoal colored concrete masonry will form the base. Siding is a combination of horizontal wood grain and vertical painted metal. Roofing and roof edges are dark bronze painted steel. Exposed structural components will be painted to match dark bronze. Windows and doors will be clear anodized aluminum. Large glazed openings in the retail, catio, and community room spaces will receive projecting window sunshades, painted Humane Society green.
- The rear portion of the building will accommodate the working functions of the shelter and include: dog and cat kennels, staff offices, adoption rooms, surgical suite, animal intake, grooming, food prep, laundry, storage garage, break room, volunteer room, etc. This part of the facility is a low slope pre-engineered building with roofing and siding similar to the front building element. Windows are aluminum and the doors are fiberglass.

**STAFF COMMENTS:**

The Board may want to have the applicant address the following:

- Explain roof mechanicals.
- Explain 40 x 40 fabric roof shelter - Along the north side of the building are (7) fenced dog runs and play yard with a 40' X 40' fabric roofed shelter for outdoor exercise and activities. Applicant indicates that this shelter will be similar to the shelter recently constructed at the Shaw Family Park in Evergreen Park (Brown structure and green fabric roof).

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: 629070+62907  
 MAP NO.: \_\_\_\_\_  
 ZONING CLASSIFICATION: UI

Office Use Only

DATE SUBMITTED: \_\_\_\_\_  
 REVIEW DATE: 6/10/19

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
 Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Humane Society of Sheboygan County  
 ADDRESS: 3107 N. 20<sup>th</sup> Street, Sheboygan, WI 53083  
 E-MAIL ADDRESS: andrewv@scadopt.org  
 PHONE: ( 920 ) 458-2012 FAX NO.: ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF **PROPOSED/EXISTING** BUSINESS: Humane Society of Sheboygan Co.  
 ADDRESS OF PROPERTY AFFECTED: 3200 block of N. 21<sup>st</sup> Street  
 NEW BUILDING:  X  ADDITION: \_\_\_\_\_ REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: New single story 20,000+ s.f. shelter building, including offices, retail space, and community room  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: N/A  
 \_\_\_\_\_  
 \_\_\_\_\_

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: New Building will be clad with horizontal metal siding (wood grain finish) and vertical Metal siding (paint finish), with a colored concrete masonry wainscot. Roofing is standing seam metal with metal roof edges, gutters, and downspouts. Windows and doors visible from the street will be clear, anodized aluminum with painted aluminum projecting sun shades.  
 \_\_\_\_\_



## **WRITTEN DESCRIPTION – ARCHITECTURAL REVIEW APPLICATION**

5-28-19

New Animal Shelter for:  
Humane Society of Sheboygan County  
3107 N. 20<sup>th</sup> Street  
Sheboygan, WI 53083

### **Architectural Narrative**

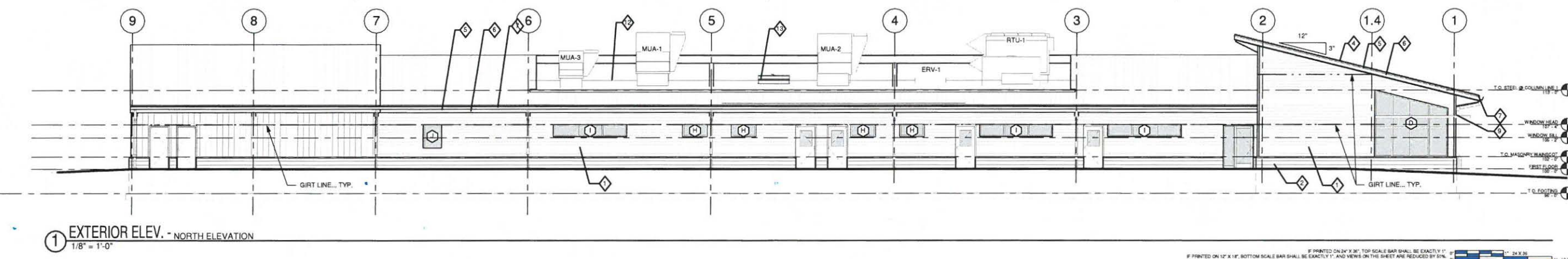
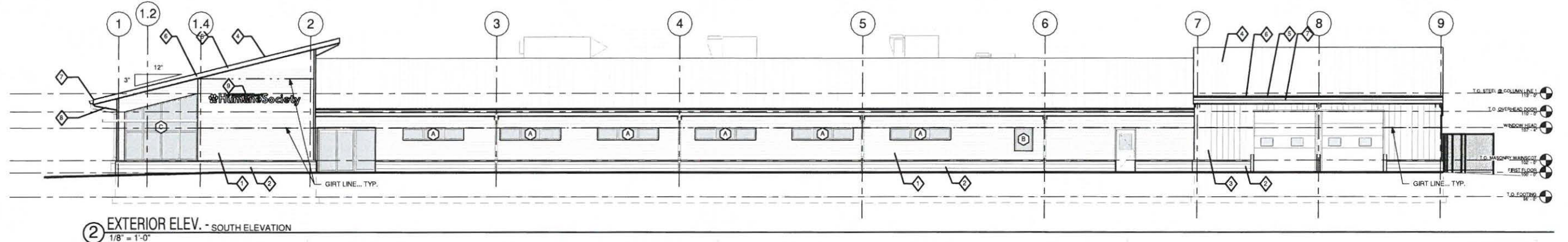
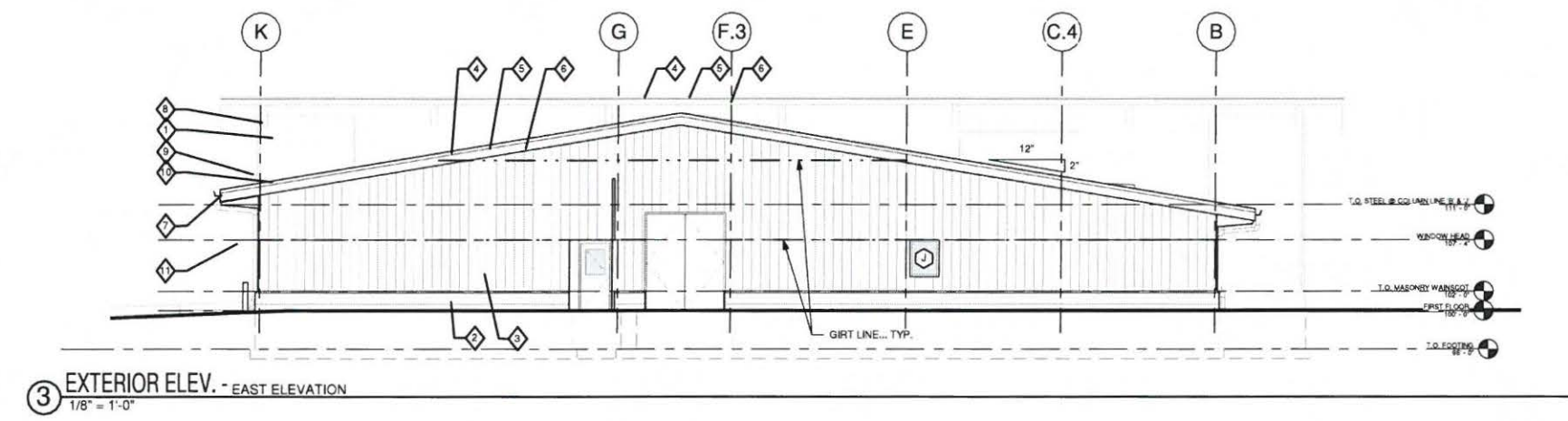
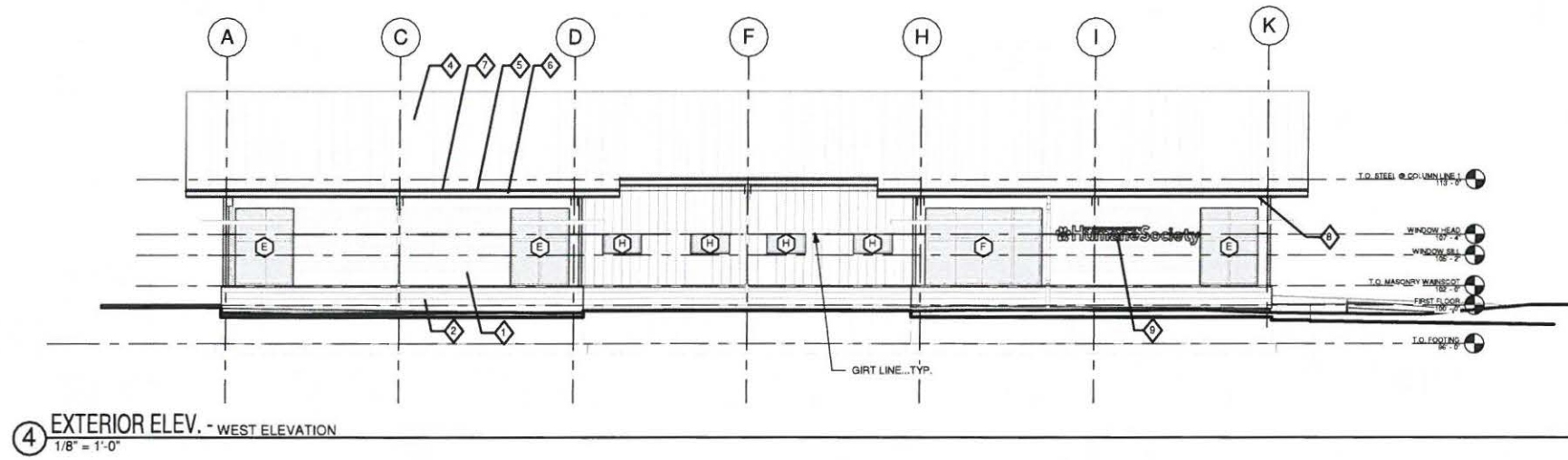
The new building for the Humane Society is a single story, 20,400 s.f. metal building which will provide space for the many functions found in a modern, up-to-date animal shelter. Among those functions are a variety of public use areas which have been placed in the front (street side) element of the building. All other shelter business functions are located in the rear portion of the building.

The front element is approximately 110' long and parallel with the street, set back approximately 80'. The setback area will become a landscaped front yard. Spaces in the front element include the main building entrance and lobby with reception desk, a retail sales area, a "catio" for public interaction with selected animals, a 1,000+ s.f. community room, public toilet rooms, and storage rooms. The roof of the front building element is a single slope which serves to visually screen the back portions of the building from street view. The low edge of the roof is at 12' high, rising to the east to approximately 22' high.

A 24" high wainscot of charcoal colored concrete masonry will form the base. Siding is a combination of horizontal wood grain and vertical painted metal. Roofing and roof edges are dark bronze painted steel. Exposed structural components will be painted to match dark bronze. Windows and doors will be clear anodized aluminum. Large glazed openings in the retail, catio, and community room spaces will receive projecting window sunshades, painted Humane Society green.

The rear portion of the building will accommodate the working functions of the shelter and include: dog and cat kennels, staff offices, adoption rooms, surgical suite, animal intake, grooming, food prep, laundry, storage garage, break room, volunteer room, etc. This part of the facility is a low slope pre-engineered building with roofing and siding similar to the front building element. Windows are aluminum and the doors are fiberglass.

MATERIAL KEYNOTE	
#	MATERIAL
1	HORIZONTAL METAL SIDING
2	CMU WAINSCOT
3	VERTICAL METAL SIDING
4	STANDING SEAM METAL ROOF
5	CONTINUOUS METAL ROOF EDGE W/ DRIP
6	FASCIA
7	PREFINISHED METAL GUTTER AND DOWNSPOUT (TO UNDERGROUND DRAINAGE SYSTEM)
8	OUTRIGGER
9	BUILDING SIGNAGE
10	CONTINUOUS METAL FLASHING
11	ALUMINUM AWNING
12	MEMBRANE ROOF
13	ROOF HATCH



REVISIONS	DATE	DESCRIPTION
1	08/07/18	STATE SUBMITTAL

**DISTINCTIVE DESIGN**  
ARCHITECTS  
215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920) 395-1090  
www.distinctivedesignstudio.com

**HUMANE SOCIETY OF SHEB. CO.**  
NEW FACILITY  
NORTH 21st STREET  
SHEBOYGAN, WI 53083

CONSTRUCTION DOCUMENTS  
EXTERIOR ELEVATIONS  
ISSUE DATE: 4/17/18  
DRAWN BY: JRA  
CHECKED BY: EAJ  
PROJECT #: 18-022  
**A201**  
SCALE: 1/8" = 1'-0"  
NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

IF PRINTED ON 24" X 36", TOP SCALE BAR SHALL BE EXACTLY 1" IF PRINTED ON 12" X 18", BOTTOM SCALE BAR SHALL BE EXACTLY 1" IF EITHER SCALE BAR IS NOT EXACTLY 1", DRAWING IS NOT TO SCALE

HUMAN SOCIETY OF SHEBOYGAN COUNTY, WISCONSIN  
 THESE DOCUMENTS ARE THE PROPERTY OF DISTINCTIVE DESIGN ARCHITECTS AND SHALL BE KEPT IN CONFIDENCE AND NOT REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DISTINCTIVE DESIGN ARCHITECTS. IF ANY PART OF THESE DOCUMENTS IS REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DISTINCTIVE DESIGN ARCHITECTS, THE USER SHALL BE RESPONSIBLE FOR ALL DAMAGES AND CONSEQUENCES THEREOF.



VIEW LOOKING NORTHEAST (WIDE)



VIEW LOOKING NORTHEAST

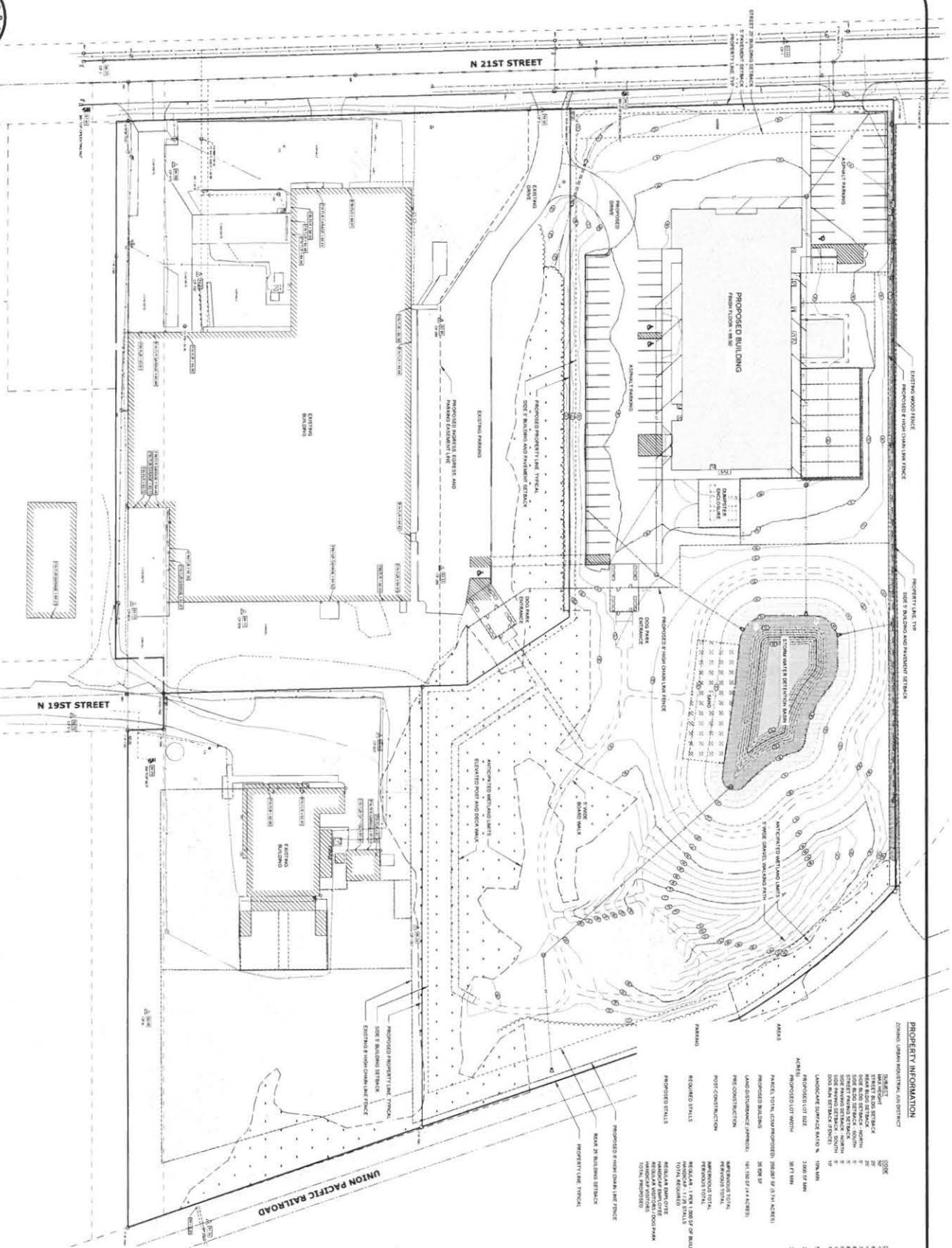


VIEW LOOKING SOUTHEAST





GRAPHIC SCALE:  
1 INCH = 30 FT.  
FROM 0' TO 60'



**PROPERTY INFORMATION**

ZONING: URBAN INDUSTRIAL, UNDISTRICT

DESCRIPTION	AMOUNT	REMARKS
TOTAL LOT AREA	100,000 SQ. FT.	
EXISTING BUILDING AREA	20,000 SQ. FT.	
PROPOSED BUILDING AREA	10,000 SQ. FT.	
PROPOSED DOG PARK AREA	15,000 SQ. FT.	
PROPOSED PARKING AREA	50,000 SQ. FT.	
PROPOSED DRIVEWAY AREA	5,000 SQ. FT.	
PROPOSED WALKWAY AREA	10,000 SQ. FT.	
PROPOSED LANDSCAPING AREA	10,000 SQ. FT.	
PROPOSED TOTAL AREA	110,000 SQ. FT.	

**OVERALL SITE PLAN**

DATE: 5/28/19  
3

New Building and Dog Park  
Sheboygan Co. Humane Society  
3107 North 20th Street  
Sheboygan, Wisconsin



No.	Revision	Date
1		
2		
3		
4		
5		

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

---

**ITEM DESCRIPTION:** Exterior remodel Jos Schmitt Construction at 2104 Union Avenue.

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** June 7, 2019

**MEETING DATE:** June 10, 2019

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

The applicant states:

- Proposing interior office renovations (construction of new conference room and offices along the east/S. 21st Street wall), new exterior storefront glass and cover existing masonry and overhead doors with similar color EIFS to match existing EIFS on Union and S. 21<sup>st</sup> Street.
- The existing materials are painted masonry.
- Dark bronze anodized frames and prefinished metal flashing to match.
- Existing roof edge and metal paneling to remain.

**STAFF COMMENTS:**

None.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: 414010  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: UT

JU

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: June 10, 2019

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Jos Schmitt Construction  
ADDRESS: 2104 Union Avenue, Sheboygan, WI 53081  
E-MAIL ADDRESS: sschmitt@jschmitt.cc  
PHONE: (920) 946-0991 FAX NO.: (920) 457-9474

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Same  
ADDRESS OF PROPERTY AFFECTED: Same  
NEW BUILDING: \_\_\_\_\_ ADDITION: \_\_\_\_\_ REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: Interior office renovations, new exterior storefront glass and cover existing masonry with same colored EFIS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

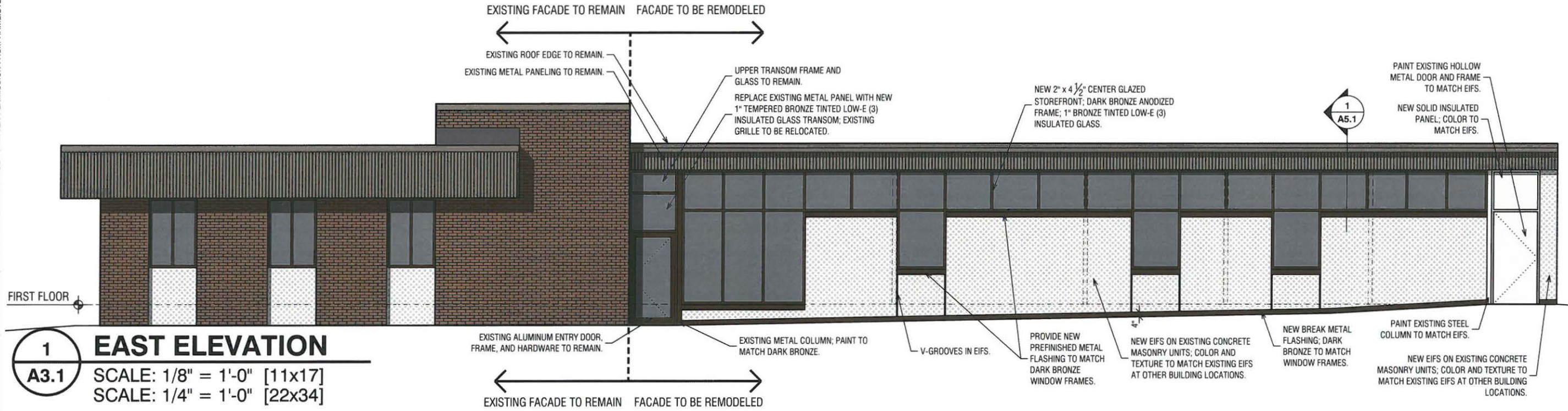
DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: Masonry Painted ( See Elevations)

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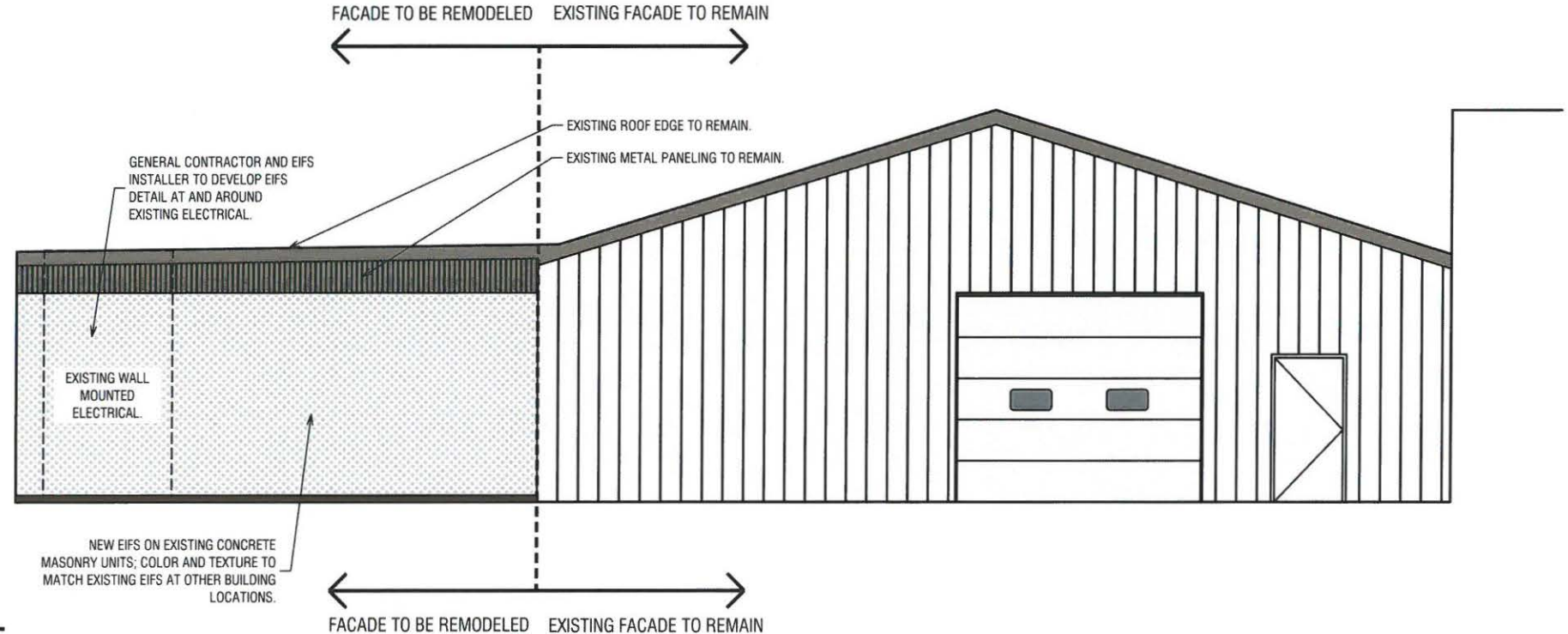
DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: EFIS

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4/2/2019 12:26:18 PM BY CHRIS \\MAIN-PC\CHINA\PROJECTS\ACTIVE PROJECTS\100419 JOS SCHMITT OFFICE REMODEL\DRAWINGS\100419 JOS SCHMITT OFFICE REMODEL.DWG © COPYRIGHT 2019 - HAMEISTER ARCHITECTS, INC. - ALL RIGHTS RESERVED  
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**1 EAST ELEVATION**  
**A3.1** SCALE: 1/8" = 1'-0" [11x17]  
 SCALE: 1/4" = 1'-0" [22x34]



**2 NORTH ELEVATION**  
**A3.1** SCALE: 1/8" = 1'-0" [11x17]  
 SCALE: 1/4" = 1'-0" [22x34]

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**JOS. SCHMITT CONSTRUCTION**  
**OFFICE REMODELING**  
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 SHEBOYGAN, WI 53082

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PROJECT NUMBER	100419
SHEET DESCRIPTION	ELEVATIONS
SHEET NUMBER	<b>A3.1</b>

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**1**  
**EXISTING EAST ELEVATION**  
 SCALE: NOT TO SCALE



**2**  
**EXISTING NORTH ELEVATION**  
 SCALE: NOT TO SCALE

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**A3.2**

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## WALL TYPES

NOTE: SEE ROOM FINISH SCHEDULE FOR WALL FINISHES.

### W1 FACE APPLIED GYPSUM BOARD

• 5/8" TYPE-X GYPSUM BOARD FACE APPLIED TO EXISTING CMU. MEANS OF APPLYING GYPSUM BOARD TO BE DETERMINED BY GENERAL CONTRACTOR.

### W2 INTERIOR 3 5/8" STEEL STUD PARTITION

- 5/8" TYPE-X GYPSUM BOARD FASTENED AT 6" O/C AT PERIMETER AND AT 12" O/C IN FIELD.
- GYPSUM BOARD SHALL EXTEND FULL HEIGHT OF WALL OR TO GYPSUM BOARD CEILING.
- 3 5/8" WIDE x 1-3/8" FLANGE x 20 GAUGE STEEL C-STUDS AT 1'-4" O.C.
- 3 5/8" WIDE x 1-1/4" FLANGE x 20 GAUGE STEEL STUD TRACK TOP AND BOTTOM OF WALL. PROVIDE DEFLECTION TRACK ALLOWING MINIMUM 1-1/2" MOVEMENT AT TOP OF WALLS.
- LATERALLY BRACE STUDS WITH 1-1/2" x 16-GAUGE COLD-ROLLED CHANNEL HORIZONTAL BRIDGING AT MAXIMUM 4'-0" O.C.
- FASTEN STEEL STUD WALL SYSTEM TO CONCRETE SLAB ABOVE.
- STEEL STUD WALLS SHALL EXTEND UP TO ROOF DECK ABOVE.
- CONSTRUCT STEEL STUD WALL SYSTEM AND COMPONENTS AS RECOMMENDED, DETAILED, AND SPECIFIED BY THE MANUFACTURER, AND AS DETAILED AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
- FIBERGLASS INSULATION FULL THICKNESS AND HEIGHT OF WALL.
- 5/8" TYPE-X GYPSUM BOARD FASTENED AT 6" O/C AT PERIMETER AND AT 12" O/C IN FIELD.
- GYPSUM BOARD SHALL EXTEND FULL HEIGHT OF WALL OR TO GYPSUM BOARD CEILING.
- SEE ROOM FINISH SCHEDULE FOR INTERIOR FINISHES AND CEILING HEIGHTS.

### W3 3 5/8" STEEL STUD FURRING WALL

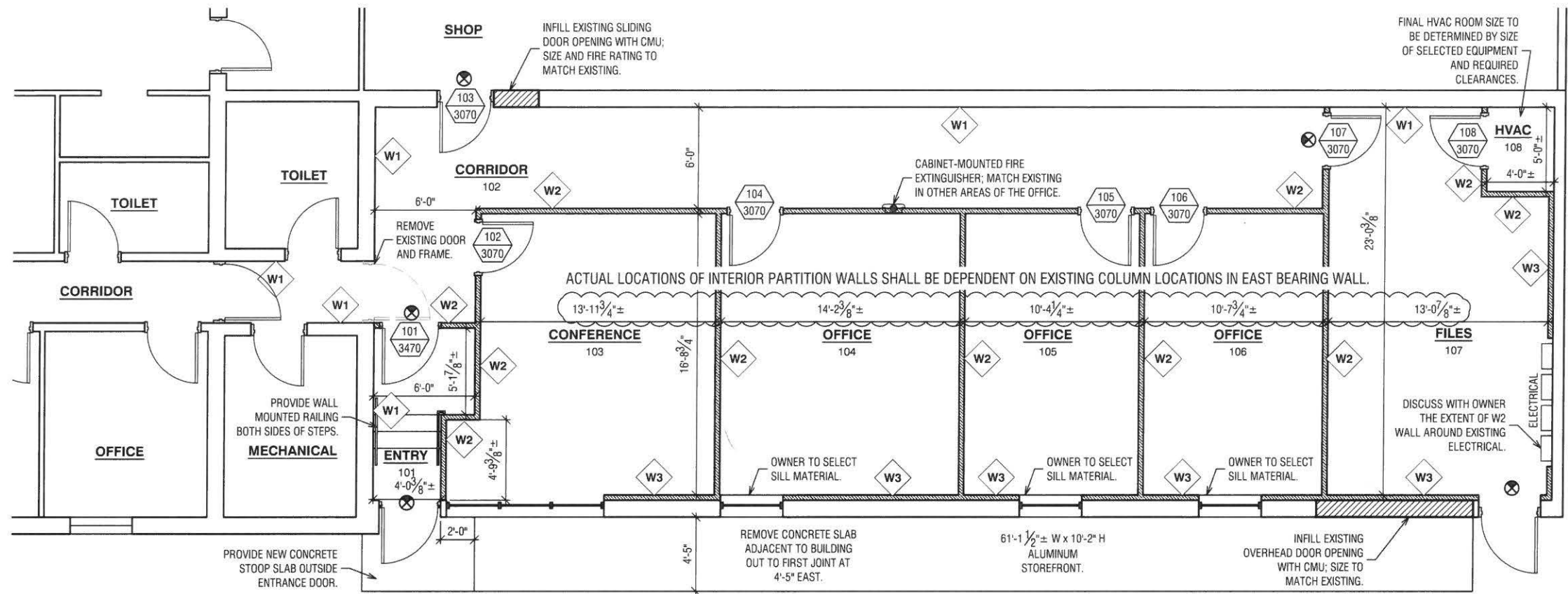
SIMILAR TO WALL-W2 EXCEPT:

- 5/8" TYPE-X GYPSUM BOARD ONLY ON ROOM SIDE OF WALL.
- OTHER COMPONENTS CAN BE MODIFIED PER ONSITE CONDITIONS.

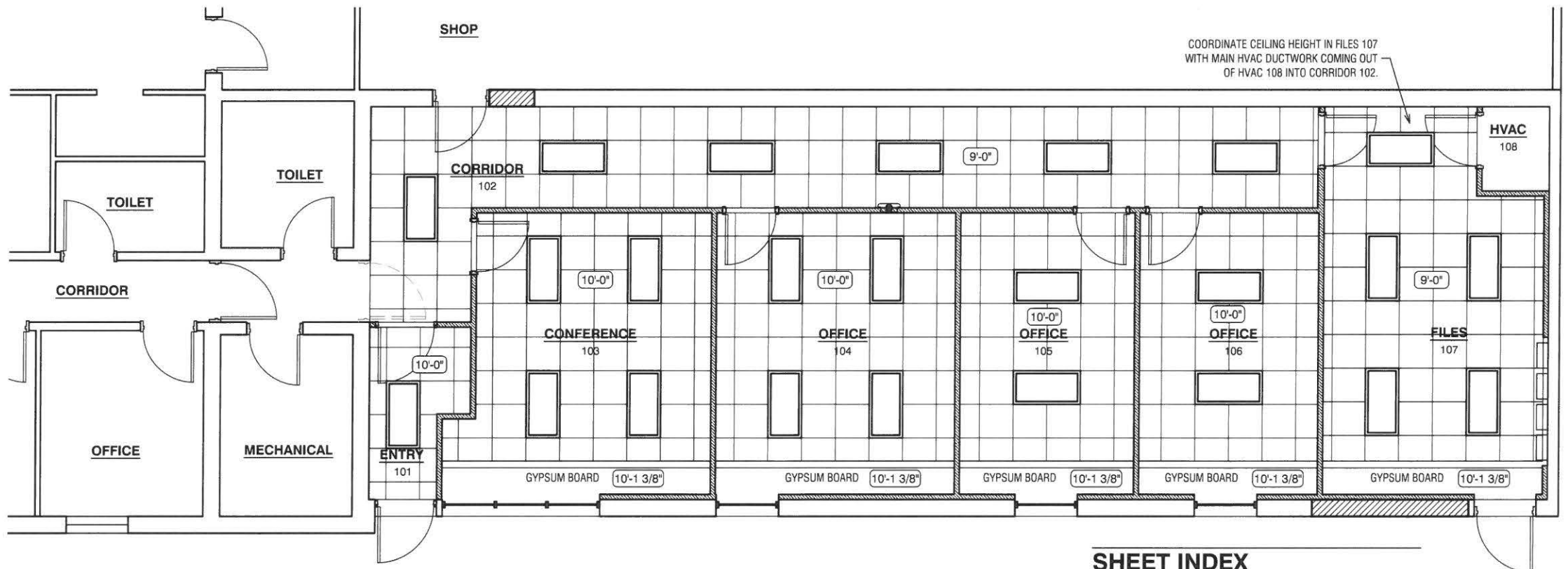
## ELECTRICAL

### EXIT LIGHT

- ILLUMINATED EXIT SIGN SHALL BE 'LED' LAMPS AT LESS THAN 5 WATTS PER FIXTURE.
- OWNER SHALL CONFIRM LOCATION AND QUANTITY OF EXIT LIGHTS WITH LOCAL BUILDING AND FIRE INSPECTORS.



**1 FIRST FLOOR PLAN**  
A2.1 SCALE: 1/8" = 1'-0" [11x17]  
SCALE: 1/4" = 1'-0" [22x34] NORTH



**2 REFLECTED CEILING PLAN**  
A2.1 SCALE: 1/8" = 1'-0" [11x17]  
SCALE: 1/4" = 1'-0" [22x34] NORTH

## SHEET INDEX

- ARCHITECTURAL DRAWINGS
- A2.1 FLOOR PLAN AND REFLECTED CEILING PLAN
  - A3.1 ELEVATIONS
  - A5.1 DETAILS
  - A6.1 DOOR AND FINISH SCHEDULES

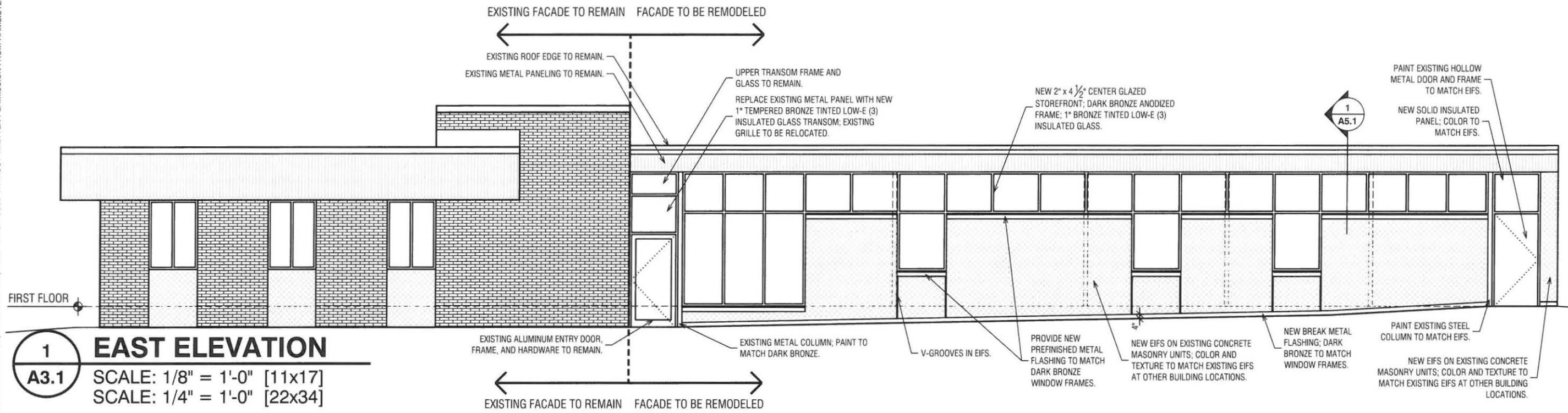
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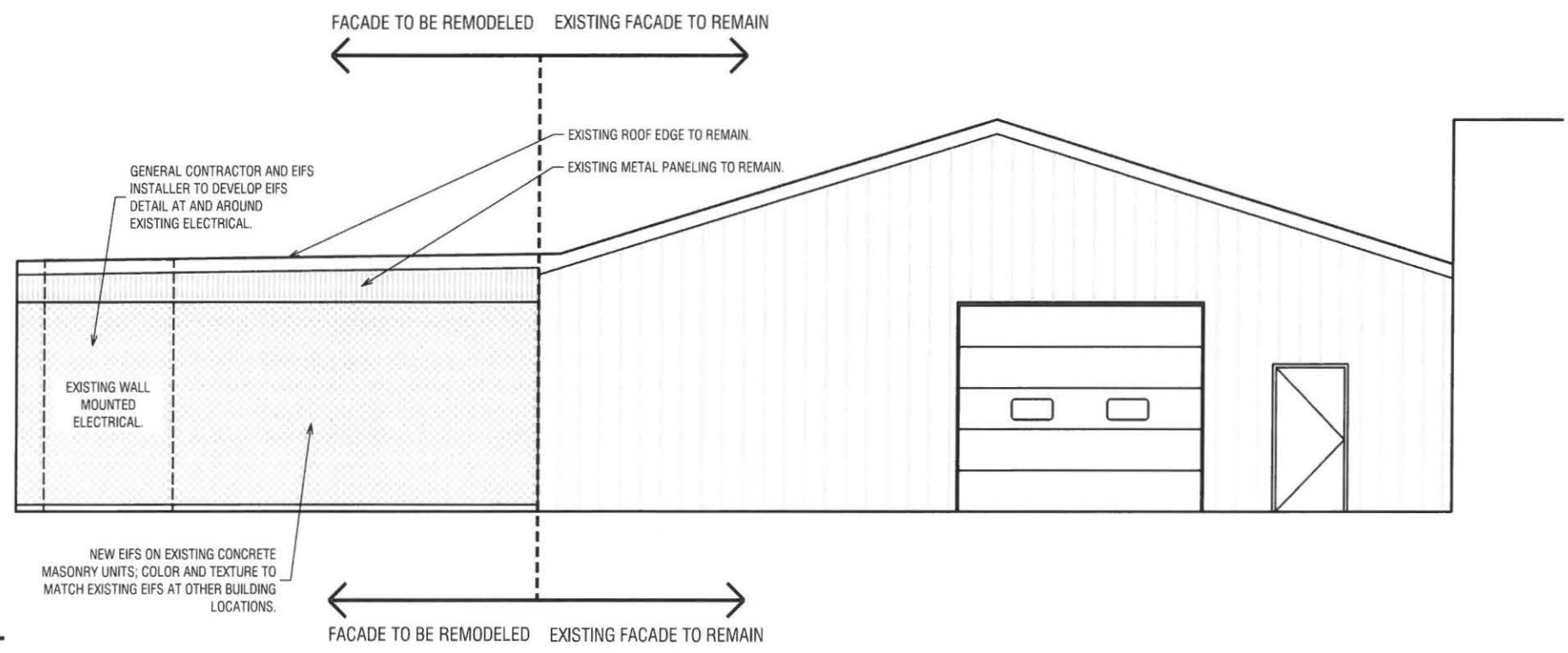
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PROJECT NUMBER	100419
SHEET DESCRIPTION	FLOOR PLAN
SHEET NUMBER	A2.1

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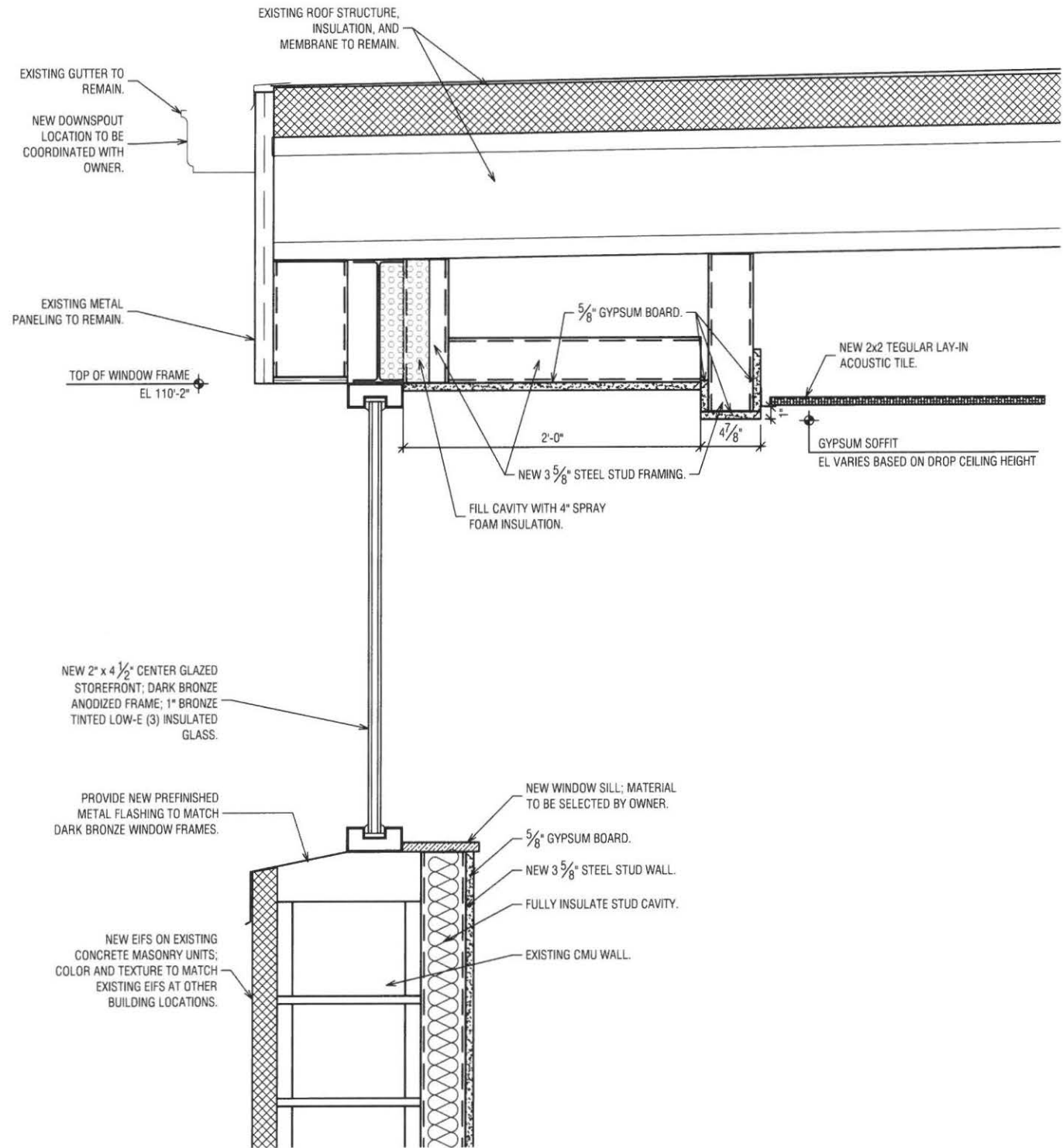
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1  
A5.1

**SECTION DETAIL AT NEW ALUMINUM STOREFRONT**

SCALE: 1" = 1'-0" [11x17]  
 SCALE: 2" = 1'-0" [22x34]

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