

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: New Lakeshore Community Health Care garage/storage building at 1721 Saemann Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 25, 2019

MEETING DATE: January 28, 2019

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Lakeshore Community Health Care is proposing to construct a new garage/storage building at their property located at 1721 Saemann Avenue. The applicant states the following about the project:

- The new garage/storage building will be 1,410sf (30 x 47) and there will be new paving (paving from garage to existing alley, reconfigured asphalt drives and concrete walks).
- The garage is necessary for the day-to-day operations of Lakeshore Community Health Care that include vehicle storage (that would otherwise be located in the parking lot) and for bulk storage of necessary medical, dental and administrative supplies. The building should also alleviate any short term storage needs.
- Proposed exterior design and materials will match the most recent building addition/remodel. This will include using gray LP Smart Siding/Trim, aluminum windows and hollow metal doors. The gray siding is also a nice compliment to the existing house on the northeast corner of Saemann and 17th Street.
- The proposed storage garage will be a wood framed structure with a single slope membrane roof. The exterior finish will be a pre-finished trim and siding with colors to match the existing facility. Aluminum fixed windows, hollow metal panel and frame walk doors matching the existing facility will be used, along with existing steel overhead doors re-used from the existing building. Pre-finished metal gutter and downspouts along with pre-finished metal trim package will be used to match the existing facility. All new materials will be of the same materials used on the adjacent existing facility to make the proposed building to complement the existing visually appealing facility.

STAFF COMMENTS:

None

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: 607432
MAP NO.: _____
ZONING CLASSIFICATION: UC

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 1/28/19

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Lakeshore Community Health Care

ADDRESS: 1721 Saemann Avenue

E-MAIL ADDRESS: kstearns@lakeshorechc.org

PHONE: (920) 783-6633 Ext. 204 FAX NO.: () N/A

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Lakeshore Community Health Care

ADDRESS OF PROPERTY AFFECTED: 1721 Saemann Avenue

NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: New Storage Garage Facility to house vehicle(s) and bulk storage for the day to day operation of the facility.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: The existing facility adjacent to the new Proposed Storage Garage is an existing masonry structure. The exterior of the existing masonry structure has been remodeled and a new pre-finished metal panel façade has been added. The façade includes various colors and different levels of depth to be visually appealing.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: The Proposed Storage Garage will be a wood framed structure with a single slope membrane roof. The exterior finish will be a pre-finished Trim and Siding with colors to match the existing facility. Aluminum fixed windows, hollow metal panel and frame walk doors matching the existing facility will be used, along with existing steel overhead doors re-used from the existing building. Pre-finished metal gutter and downspouts along with pre-finished metal trim package will be used to match the existing facility.



Architectural and Engineering Services

Project Narrative

Lakeshore community Health Care, Site Plan Addition and Remodeling-
1713 Saemann Avenue Sheboygan, WI 53081

Zoning District

Urban Commercial (UC)

Existing Land Use

Land Use:

Personal or Professional Services – Lakeshore Community Health Care - Primary Care including Medical, Behavioral Health Dental and Administrative services for Sheboygan County Residents.

Proposed Land Use

Personal Storage Facility (Requires Conditional Use)

New 1,410 S.F. garage

(Entire garage to be constructed over Former House on 17th Street)

Time Frame

Start Construction

Spring 2019

Finish Construction

Summer 2019

Setbacks (based on 1713 Saemann Avenue)

Building to Front or Street Lot Line: 0 feet

- Saemann Avenue

Building to Residential Side Lot Line: 25 feet

- Variance being requested to match existing House to North at approx.. 12'-0" or roughly 15'-0" from back of walk.

Building to Rear Lot Line: 25 feet

-)

Maximum Building Height: 50 feet

- 16' Proposed

Parking Requirements

No Additional Parking required. There will not be any additional personnel for the new garage.

Summary of Site Improvements

Reconfigured asphalt drives and concrete walks

Additional landscaping in compliance with current City of Sheboygan Zoning Ordinance

Additional site lighting in compliance with current City of Sheboygan Zoning Ordinance

Building Design

The project includes:

New Building: 1,410 S.F. (30'-0" x 47'-0") for storage of vehicles and bulk storage for the day to day operation of LCHC. The purpose of this facility is to better serve the users of LCHC and to help alleviate potential temporary storage issues on site. The storage garage will also continue the economic viability of the existing development.

Proposed exterior design and materials will match the most recent building addition/ remodel. This will include using gray LP Smart Siding/ Trim, aluminum windows and hollow metal doors. The gray siding is also a nice compliment to the existing house on the northeast corner of Saemann and 17th Street.

Architect to provide sample at Architectural Review Meeting.

At this time there is no signage proposed for the new garage.

Landscape Requirements

Landscape plan submittal complying with all standards per City of Sheboygan Zoning Ordinance Subchapter 15-6 to be provided at time of permitting.

Performance Standards / Potential Nuisances / Site Lighting

All performance standards comply per City of Sheboygan Zoning Ordinance Subchapter 15-7 to ensure this development will not become a nuisance to adjacent property owners.

New garage will be served via the existing alley from 17th Street and from existing parking lot adjacent to the main building. Existing traffic patterns should not be affected by this project.

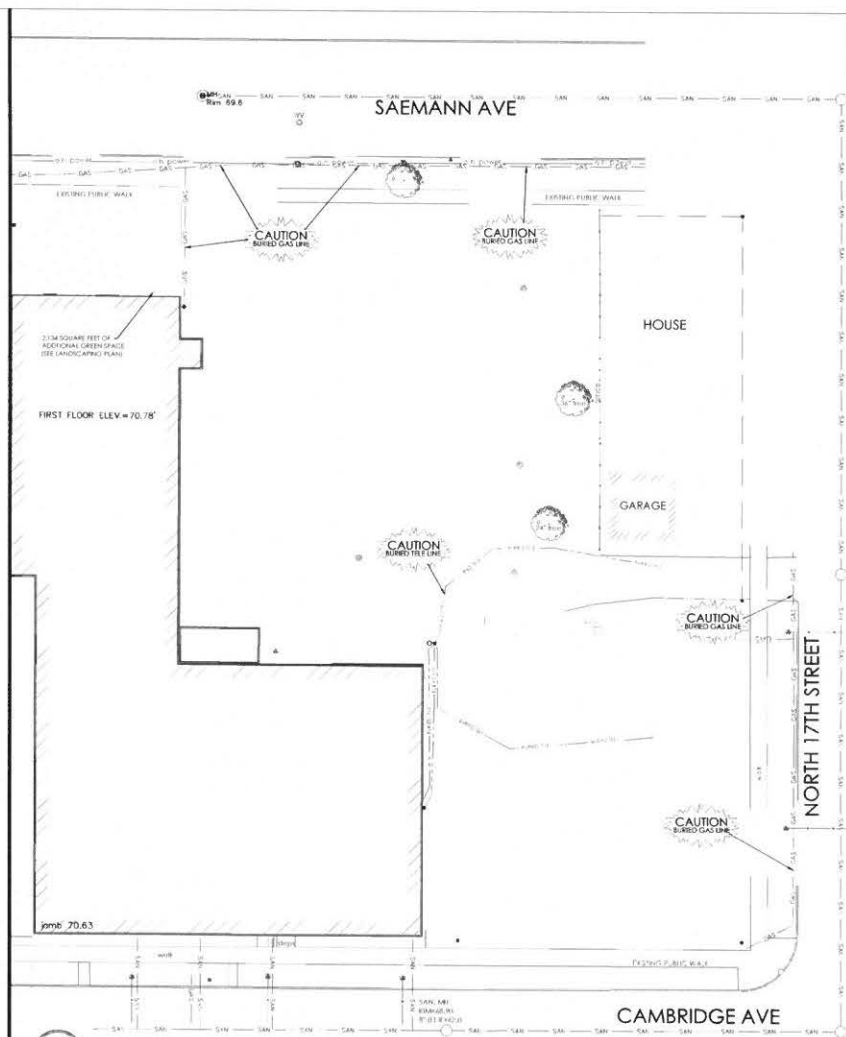
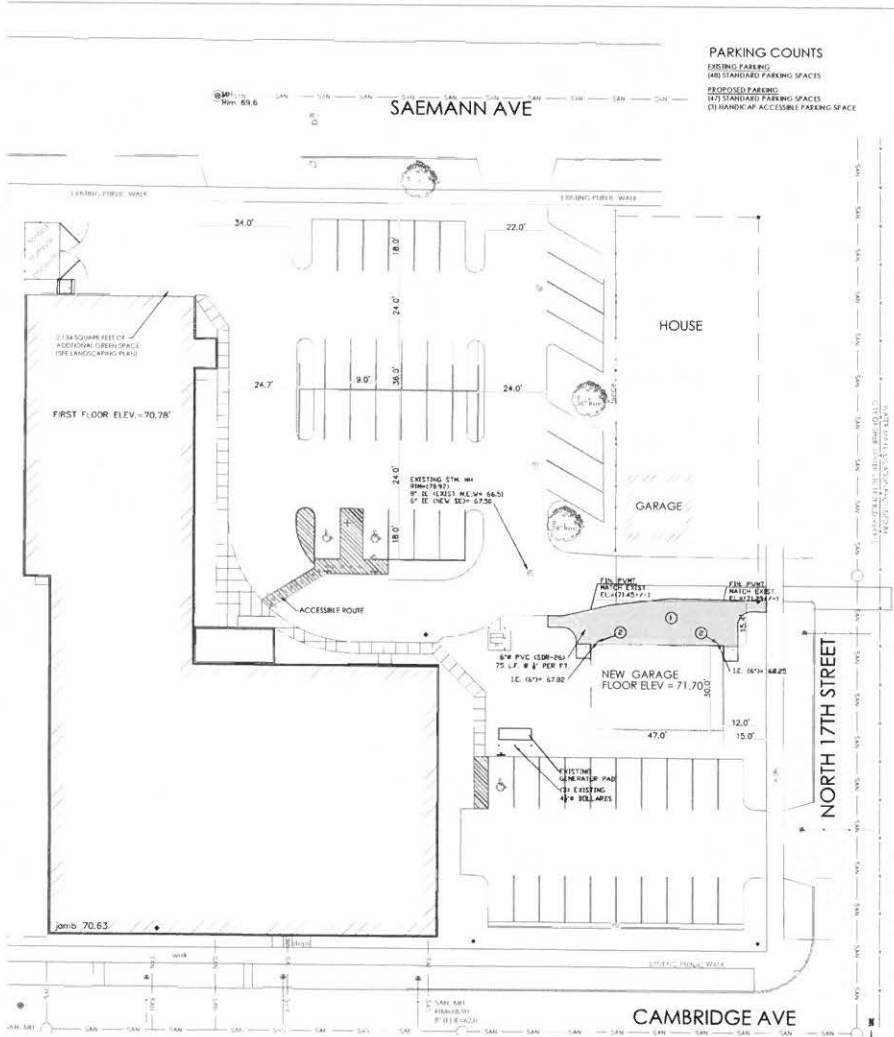
Storm Drainage will be routed via sloped roof to gutters and downspouts that eventually tie into the existing storm line in the alley.

Site lighting to be provided via three fixture types including:

- Building Mounted Wall Pack Light Fixture
- Building Mounted Decorative Pendant Light Fixture

Note: Styles and heights to match adjacent properties.

Locations of light fixtures to be determined at time of submittal to City of Sheboygan Building Inspection Department.



SITE PLAN
1"=20'

PLAN NOTES

- 1) 4" CONCRETE WALK WITH REBAR AND REINFORCING OVER 4" COMPACTED AGGREGATE BASE COURSE MATERIAL
- 2) METALLIC CURB & WALK (SEE TYP. DETAIL)
- 3) LANDSCAPE SIGN (SEE TYPICAL DETAIL)
- 4) RE-CONSTRUCTED BITUMINOUS PAVEMENT AREA WITH 1 1/2" BITUMINOUS SURFACE COURSE OVER 4" SHAKED AGGREGATE BASE COURSE MATERIAL
- 5) 2" BITUMINOUS SURFACE COURSE OVER 4" SHAKED AGGREGATE BASE COURSE MATERIAL
- 6) EXISTING CONCRETE TO REMAIN
- 7) NEW TRANSFORMER PAD WITH BRAND OWNER (SEE ELECTRICAL SITE PLAN FOR PAD DIMENSION AND TRENCH)
- 8) PPE BOLLARDS (SEE TYP. DETAIL)
- 9) STANDARD 24" CURB AND GUTTER (SEE TYPICAL SECTION)
- 10) PROPOSED PAVEMENT
- 11) BITUMINOUS SURFACE COURSE OVER 4" COMPACTED AGGREGATE BASE COURSE MATERIAL
- 12) PROVIDE TREE PROTECTION (SEE DEMOLITION PLAN)
- 13) EXISTING CONCRETE TO REMAIN
- 14) NEW TRANSFORMER PAD WITH BRAND OWNER (SEE ELECTRICAL SITE PLAN FOR PAD DIMENSION AND TRENCH)
- 15) PPE BOLLARDS (SEE TYP. DETAIL)

PROPOSED IMPERVIOUS AREAS (WITHIN THE CERTIFIED SURVEY MAP)

- 20,700 SQUARE FOOT BUILDING (FORMER 1714 CAMBRIDGE AVENUE)
- 235 SQUARE FOOT VESTIBULE ADDITION
- 900 SQUARE FOOT SINGLE FAMILY RESIDENCE (FORMER 1712 NORTH 17TH STREET)
- 300 SQUARE FOOT DETACHED GARAGE
- 5,500 SQUARE FOOT PARKING LOT FOR 200 VEHICLES
- 16,733 SQUARE FOOT RE-CONSTRUCTED ASPHALT PAVED PARKING LOT
- 44,988 SQUARE FEET

SITE DEMOLITION PLAN
1"=20'

EXISTING IMPERVIOUS AREAS (WITHIN THE CERTIFIED SURVEY MAP)

- 20,700 SQUARE FOOT BUILDING (FORMER 1714 CAMBRIDGE AVENUE)
- 900 SQUARE FOOT SINGLE FAMILY RESIDENCE (FORMER 1712 NORTH 17TH STREET)
- 300 SQUARE FOOT DETACHED GARAGE
- 2,500 SQUARE FOOT VACATED CHURCH BUILDING (DEMOLISHED, SUMMER 2015)
- 19,463 SQUARE FOOT ASPHALT PAVED PARKING LOT
- 44,263 SQUARE FEET

SITE DATA
PROPERTY ZONE - UC1 URBAN COMMERCIAL

- BUILDING SETBACKS - 8 FEET
- FRONT YARD - 25 FEET (ADJACENT TO RESIDENTIAL DISTRICT)
- REAR YARD - 35 FEET (ADJACENT TO NON-RESIDENTIAL DISTRICT)
- REAR YARD - 25 FEET (ADJACENT TO RESIDENTIAL DISTRICT)
- PAVEMENT SETBACK - 10 FEET
- EXISTING OUTDOOR REUSE ENCLOSURE TO REMAIN (INDENTMENT CORNER OF THE SITE)
- NEW WATER SERVICE PIPING WILL BE PROVIDED TO ADDRESS DOMESTIC WATER SERVICE AND FIRE PROTECTION.



C.B. #6 - (10-27-16)

NOTICE TO HOMEOWNERS
BEFORE SHOWN TO ANY OTHER PARTIES AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER UTILITIES OR MORE ON THIS OWN WORK.

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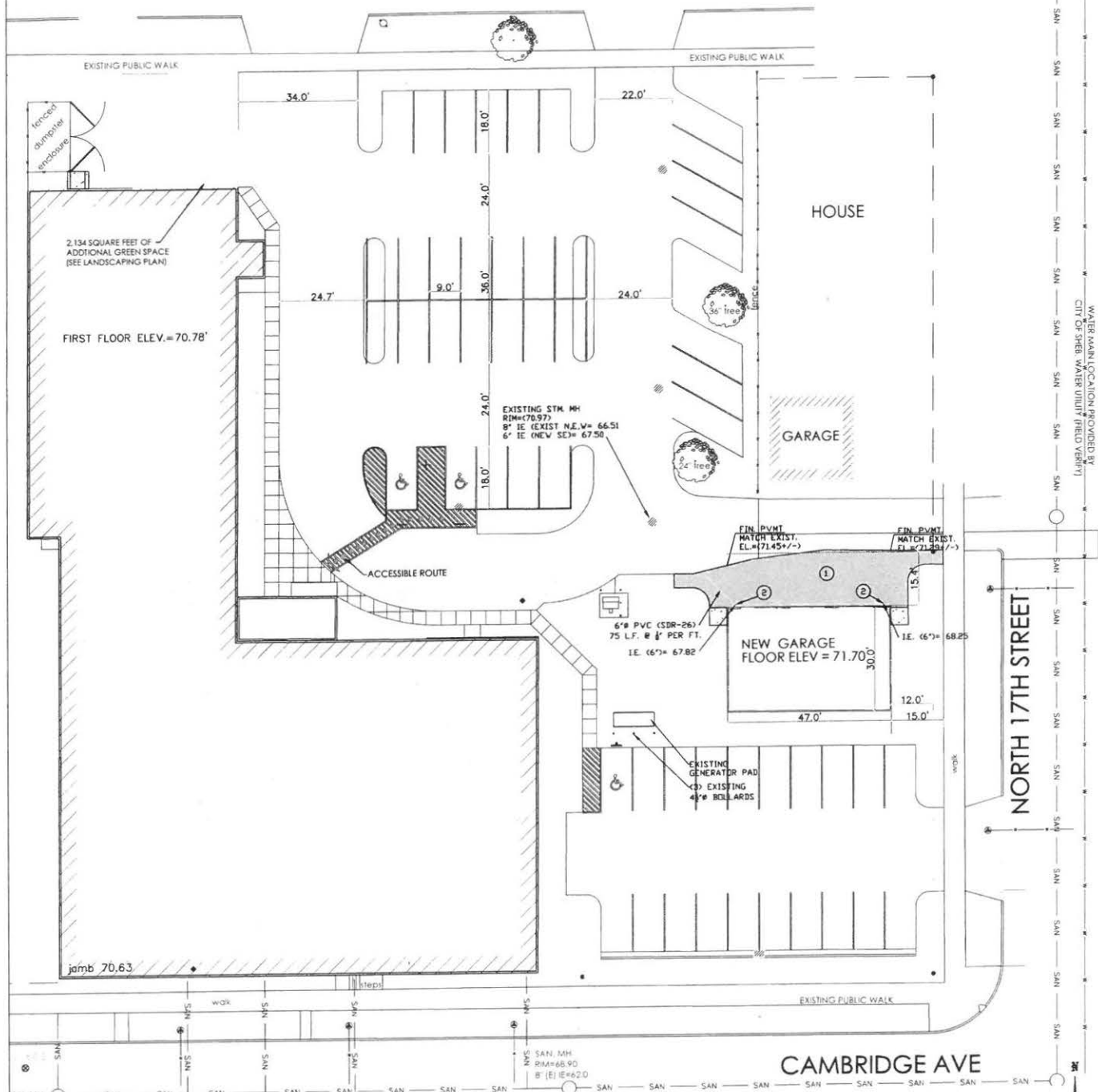
JANUARY 4, 2019
ADDITION AND REMODEL
LAKESHORE COMMUNITY HEALTH CARE
1714 CAMBRIDGE AVE. SHEBOYGAN, WI. 53081
ABACUS ARCHITECTS INC., 1115A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 P. 920-452-4444 F. 920-452-8198

DRAWN BY: J.E.G.
CHECKED BY: J.R.V.

A
201

PROJ. NO. 2015-76

PARKING COUNTS
 EXISTING PARKING
 (48) STANDARD PARKING SPACES
 PROPOSED PARKING
 (47) STANDARD PARKING SPACES
 (3) HANDICAP ACCESSIBLE PARKING SPACE

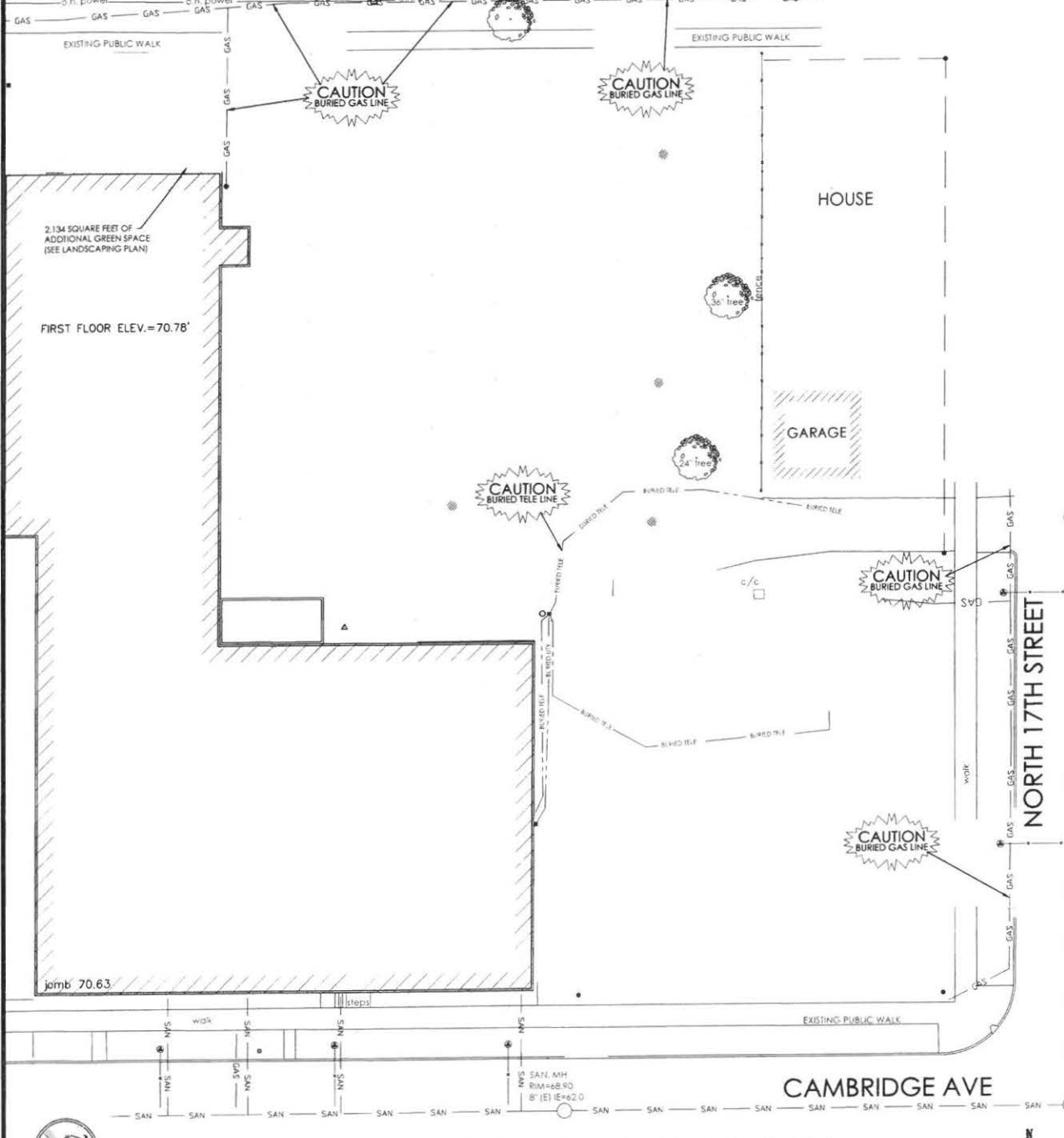


SITE PLAN
1"=20'

- PLAN NOTES**
- 4" CONCRETE WALK WITH FIBER MESH REINFORCING OVER 6" COMPACTED AGGREGATE BASE COURSE MATERIAL
 - INTEGRAL CURB & WALK (SEE TYP. DETAIL)
 - HANDICAP SIGN (SEE TYPICAL DETAIL)
 - RE-CONSTRUCTED BITUMINOUS PAVEMENT AREA WITH 1" BITUMINOUS SURFACE COURSE OVER RE-SHAPED AGGREGATE BASE COURSE MATERIAL. NOTE: EXISTING SUB BASE TO BE PROOF ROLLED WITH THE PROOF ROLL WITNESSED BY THE ARCHITECT. SOFT AREAS TO BE ADDRESSED AS NEEDED PRIOR TO PLACEMENT OF NEW BITUMINOUS PAVEMENT.
 - STANDARD 24" CURB AND GUTTER (SEE TYPICAL SECTION)
 - PROPOSED PAVEMENT
1 1/2" BITUMINOUS SURFACE COURSE COVER
1" BITUMINOUS BINDER OVER
8" COMPACTED AGGREGATE BASE COURSE MATERIAL
 - PROVIDE TREE PROTECTION (SEE DEMOLITION PLAN)
 - EXISTING CONCRETE TO REMAIN
 - NEW TRANSFORMER PAD WITH TRANSFORMER (SEE ELECTRICAL SITE PLAN FOR PAD DIMENSION AND THICKNESS)
 - PIPE BOLLARDS (SEE TYP. DETAIL)

PROPOSED IMPERVIOUS AREAS (WITHIN THE CERTIFIED SURVEY MAP)

20,700 SQUARE FOOT BUILDING (FORMER 1714 CAMBRIDGE AVENUE)
255 SQUARE FOOT VESTIBULE ADDITION
900 SQUARE FOOT SINGLE FAMILY RESIDENCE (FORMER 1712 NORTH 17TH STREET)
500 SQUARE FOOT DETACHED GARAGE
5,900 SQUARE FOOT DETACHED GARAGE
16,733 SQUARE FOOT RECONSTRUCTED ASPHALT PAVED PARKING LOT
44,988 SQUARE FEET



SITE DEMOLITION PLAN
1"=20'

TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

EXISTING IMPERVIOUS AREAS (WITHIN THE CERTIFIED SURVEY MAP)

20,700 SQUARE FOOT BUILDING (FORMER 1714 CAMBRIDGE AVENUE)
900 SQUARE FOOT SINGLE FAMILY RESIDENCE (FORMER 1712 NORTH 17TH STREET)
500 SQUARE FOOT DETACHED GARAGE
2,500 SQUARE FOOT VACATED CHURCH BUILDING (DEMOLISHED, SUMMER 2015)
19,665 SQUARE FOOT ASPHALT PAVED PARKING LOT
44,265 SQUARE FEET

SITE DATA
PROPERTY ZONED - 1'U' URBAN COMMERCIAL

BUILDING SETBACKS	- 0 FOOT
FRONT YARD	- 25 FOOT (ADJACENT TO RESIDENTIAL DISTRICT)
SIDE YARD	- 5 FOOT (ADJACENT TO NON-RESIDENTIAL DISTRICT)
REAR YARD	- 25 FOOT (ADJACENT TO RESIDENTIAL DISTRICT)
	- 10 FOOT (ADJACENT TO NON-RESIDENTIAL DISTRICT)
PAVEMENT SETBACK	- 5 FOOT
EXISTING OUTDOOR REFUSE ENCLOSURE TO REMAIN (NORTHWEST CORNER OF THE SITE).	
NEW WATER SERVICE PIPING WILL BE PROVIDED TO ADDRESS DOMESTIC WATER SERVICE AND FIRE PROTECTION.	



C.B. #6 - (10-27-16)

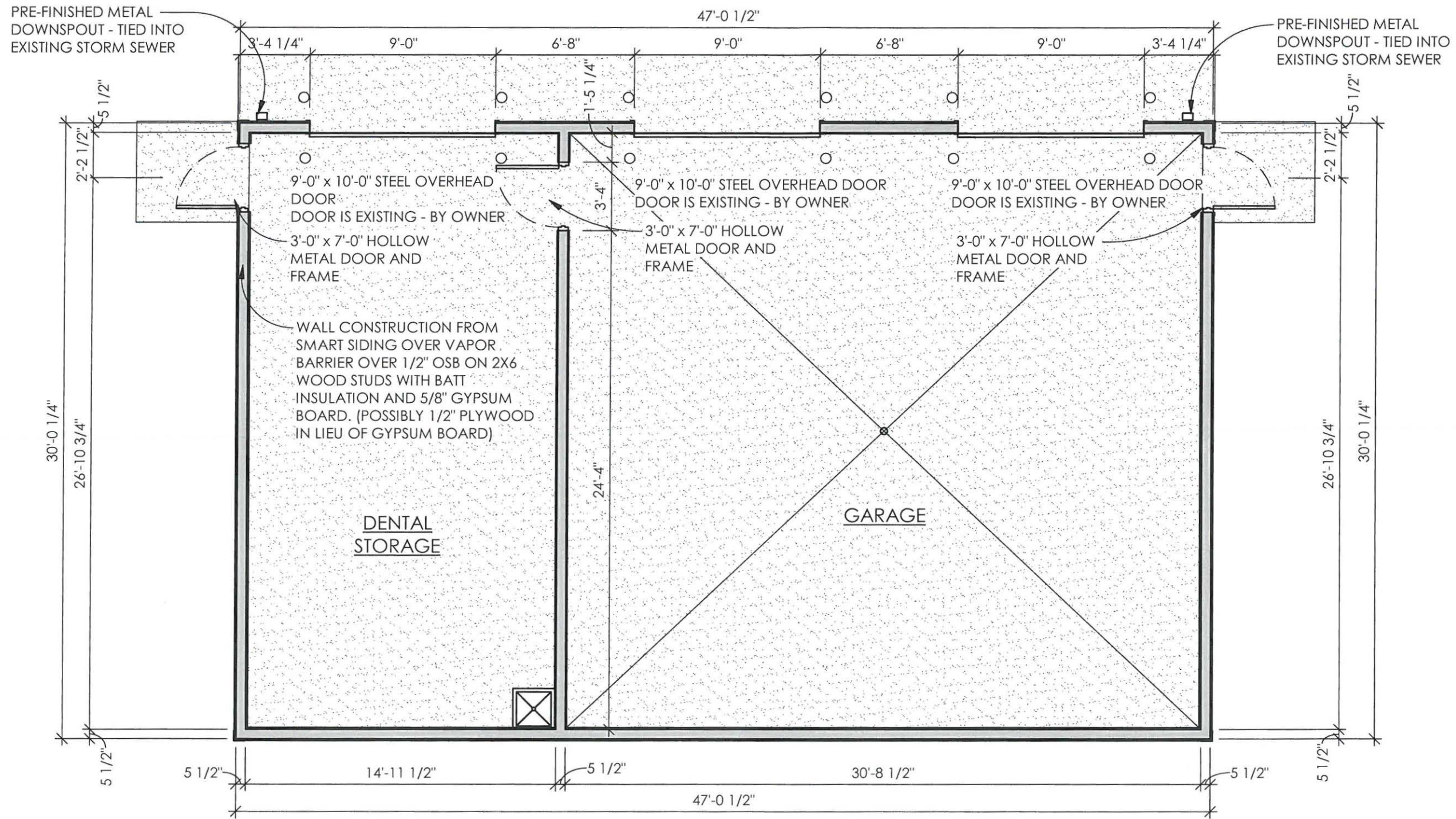
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JANUARY 4, 2019
 ADDITION AND REMODEL
LAKESHORE COMMUNITY HEALTH CARE
 1714 CAMBRIDGE AVE. SHEBOYGAN, WI, 53081
 ABACUS ARCHITECTS INC., 1135A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 P: 920-452-4444 F: 920-452-9198

DRAWN BY: J.E.G.
 CHECKED BY: J.R.V.

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PROJ. NO. 2015-76



FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
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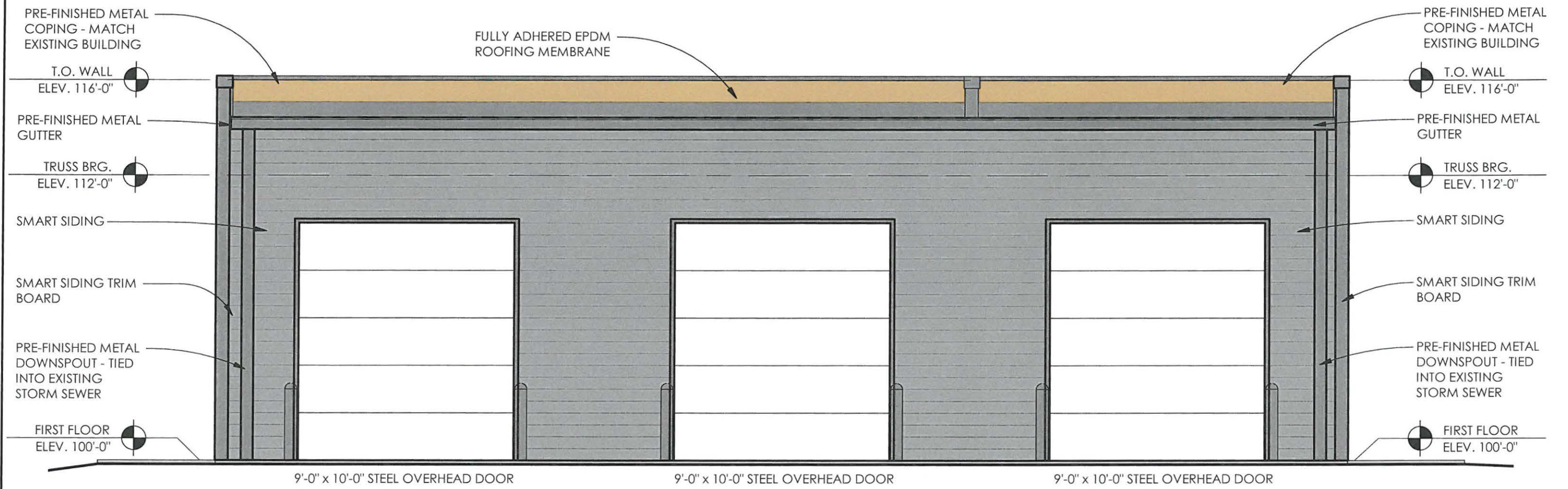
JANUARY 11, 2019
 NEW STORAGE GARAGE

LAKESHORE COMMUNITY HEALTH CARE

1721 SAEMANN AVENUE, SHEBOYGAN, WI 53081
 PROJ. NO. 2017-78

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NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

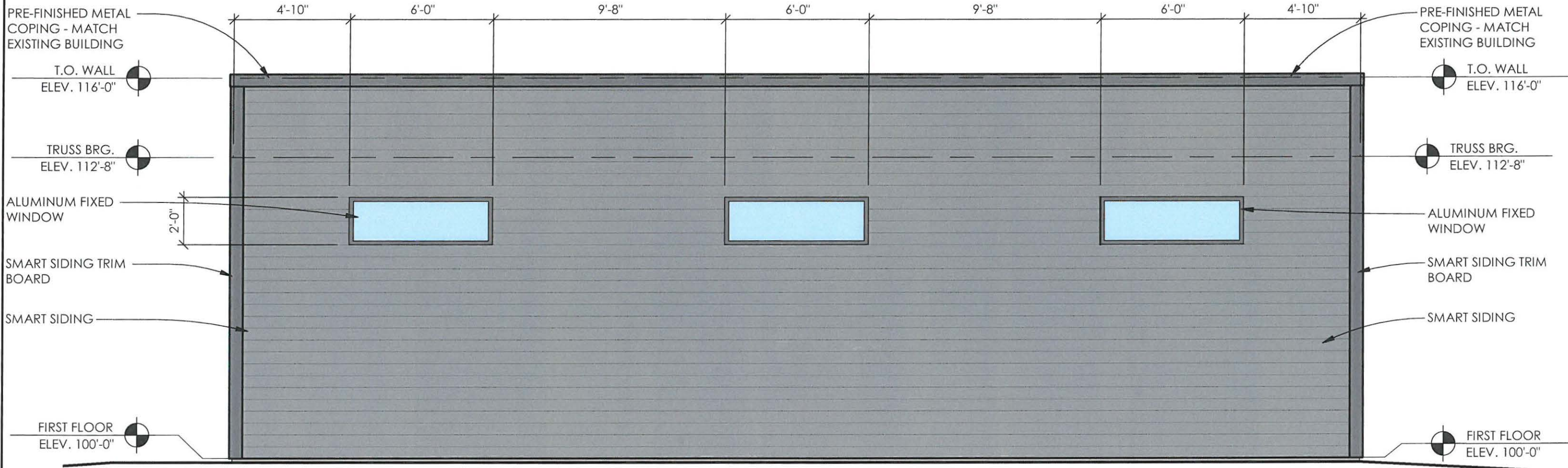
JANUARY 11, 2019
 NEW STORAGE GARAGE

LAKESHORE COMMUNITY HEALTH CARE

1721 SAEMANN AVENUE, SHEBOYGAN, WI 53081
 PROJ. NO. 2017-78

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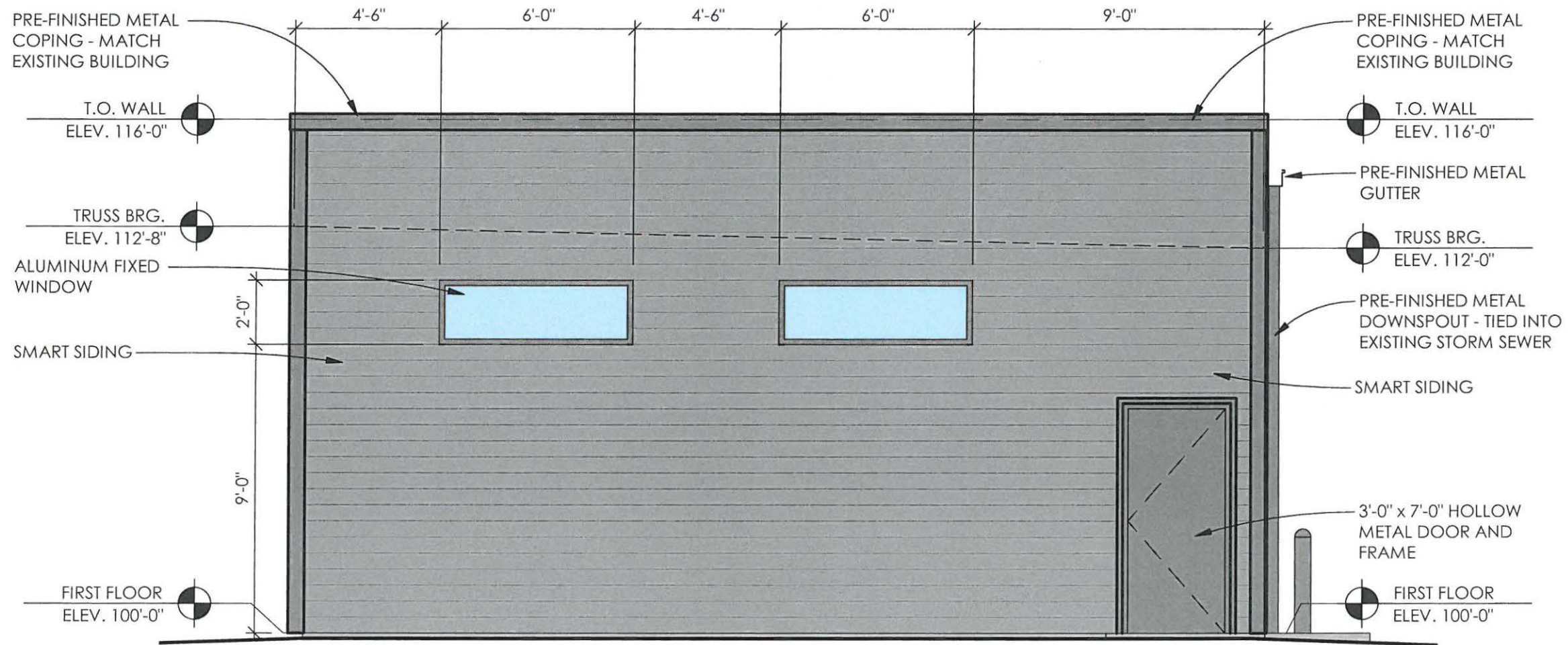


SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

JANUARY 11, 2019
 NEW STORAGE GARAGE
LAKESHORE COMMUNITY HEALTH CARE
 1721 SAEMANN AVENUE, SHEBOYGAN, WI 53081
 PROJ. NO. 2017-78

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EAST ELEVATION

SCALE: 1/4" = 1'-0"

JANUARY 11, 2019

NEW STORAGE GARAGE

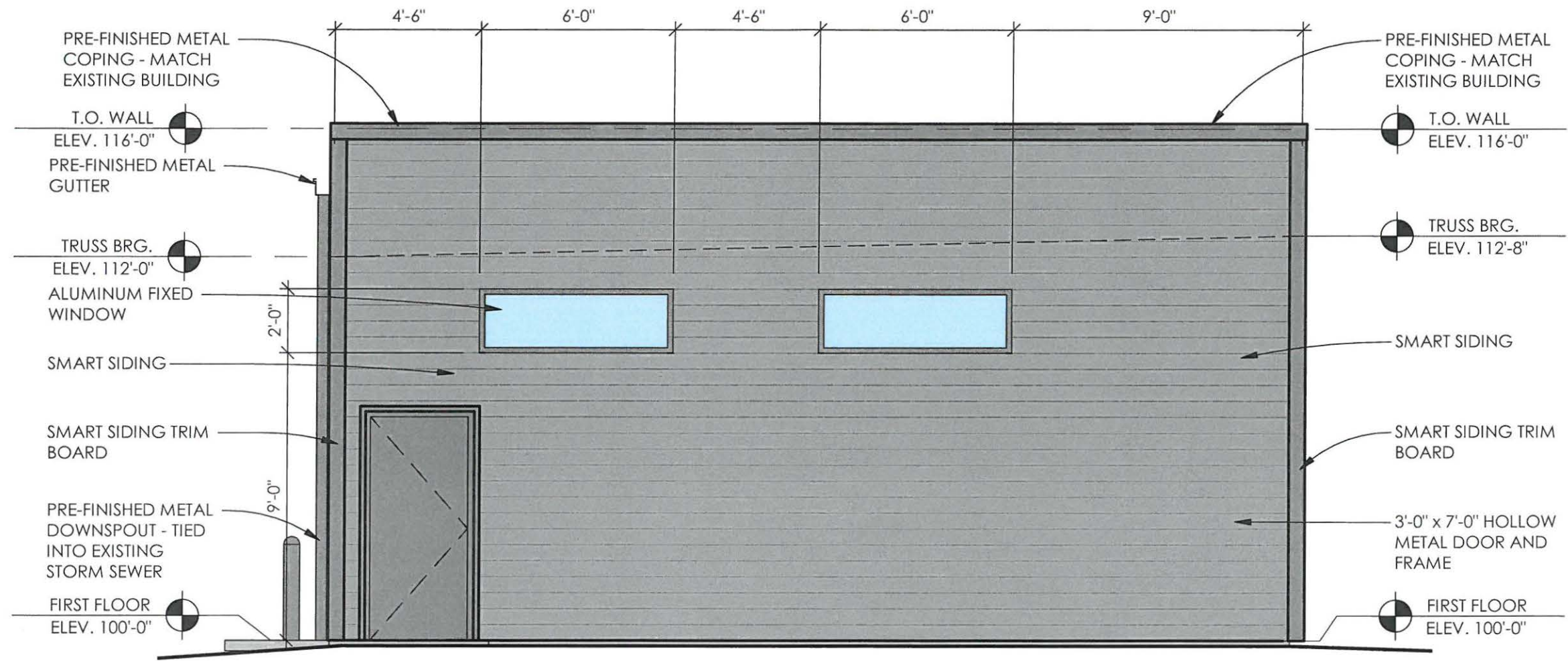
LAKESHORE COMMUNITY HEALTH CARE

1721 SAEMANN AVENUE, SHEBOYGAN, WI 53081

PROJ. NO. 2017-78

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WEST ELEVATION
SCALE: 1/4" = 1'-0"

JANUARY 11, 2019
NEW STORAGE GARAGE

LAKESHORE COMMUNITY HEALTH CARE

1721 SAEMANN AVENUE, SHEBOYGAN, WI 53081
PROJ. NO. 2017-78

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CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new Sheboygan A's deck at Wildwood Baseball Park located at 2328 New Jersey Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 25, 2019

MEETING DATE: January 28, 2019

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The Sheboygan A's are proposing to construct a new deck at Wildwood Baseball Park located at 2328 New Jersey Avenue. The applicant states:

- The proposed development consists of the addition of an 800sf deck immediately north of the current press box, between the grandstand and the concession/restroom facility. The floor level of this deck is just above the top of the grand stand seating.
- Materials for the project are inspired by the existing structures adjacent to the new addition. The deck is made up of stained wood columns, wood floor structure, with membrane roofing to provide a drainage plane below the wood decking walking surface. Metal railings will be provided in a similar fashion to the existing railings with additional horizontal wiring for safety.
- The A's are facing new baseball competition from Northwood League franchises in Mequon, Fond du Lac and Green Bay so enhancing the game day experience is a must.
- Current fan base is aging and the club continues to work on ways to appeal to our "new" fans that will be the club's lifeblood of the future. The deck provides an amenity to attract a new younger fan base that are looking for a greater entertainment experience. The deck provides an amenity to attract a new fan base interested in more than just the game. Construction of the deck will offer a premier seating area to groups and general fans that will enhance the fan experience.

STAFF COMMENTS:

None.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: 59281208790
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: SHEBOYGAN A'S BASEBALL
MAILING ADDRESS: P.O. BOX 32 SHEBOYGAN WI 53082-0036
E-MAIL ADDRESS: SCOTT.STANGEL@QUALITYSTATE.COM
PHONE: (920) 946-6764 FAX NO.: () N/A

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: SHEBOYGAN A'S BASEBALL
ADDRESS OF PROPERTY AFFECTED: 2328 NEW JERSEY AVE SHEBOYGAN
NEW BUILDING: _____ ADDITION: X REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: THE ADDITION OF A ^{SF} GROUP DECK IMMEDIATELY NORTH OF THE CURRENT PRESS BOX AND BETWEEN THE NORTH GRAND STAND & THE TOILET ROOM BUILDING. THE FLOOR LEVEL OF THIS DECK IS JUST ABOVE THE TOP OF THE GRAND STAND SEATING. THIS DECK CREATES A COVERED WALKING ARE BY THE CONCESSIONS.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: THE PRESS BOX IS WOOD SIDING & THE RESTROOM BUILDING IS A FLUTED CONCRETE BLOCK BUILDING. THE BLEACHER SEATING IS ALUMINUM FRAME. THE GROUND IS ASPHALT PAVED

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: THE STRUCTURE OF THE NEW DECK IS MADE UP OF STAINED WOOD COLUMNS, WOOD FLOOR STRUCTURE WITH MEMBRANE ROOFING & COMPOSITE DECKING SECTIONS OVER ROOFING. THERE ARE METAL RAILINGS AT THE PERIMETER OF THE DECK.

SITE NARRATIVE - CONDITIONAL USE APPLICATION

January 14, 2019

PROJECT NAME AND ADDRESS:

2328 New Jersey Ave.,
Sheboygan, Wisconsin 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is defined as tax parcel 59281208790.
- It is defined as LYMAN ADDN BLKS 4 & 5 AND LOTS 12 THRU 21.

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

SR-5 - Suburban Residential 5
25-foot front yard setback
25-foot rear yard setback
(35)-foot maximum building height

EXISTING SITE CONDITIONS/LAND USE:

Currently in use as a baseball field and bleachers, with moderate amenities, including restrooms.

PROPOSED LAND USE/LOT COVERAGE SITE DATA

- The proposed development consists of the addition of 800 SF deck immediately north of the current press box and between the north grand stand and the toilet building.
- The floor level of this deck is just above the top of the grand stand seating.

- Proposed pavement area: No Additional Pavement
- Proposed green space: No change to green space.

LANDSCAPE REQUIREMENTS

- Landscape requirements are handled by existing landscape.
- Drainage will be handled by existing infrastructure.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards to comply with City of Sheboygan Zoning Ordinance, Section 15-7 to ensure this development will not become a nuisance to neighboring property owners.

SITE LIGHTING:

- Site lighting will be limited to wall mounted fixtures and down-lights mounted to underside of deck structure.
- No pole lighting will be provided.

ARCHITECTURE:

- This deck is a necessary expansion to the existing grandstand, and provides a new type of seating, notably on a flat surface, for a group of spectators. This deck will be built within the current footprint of the pavement and between other existing structures.

- Materials on the project are inspired by the existing structures adjacent to the new addition. The new structure of the deck is made up of stained wood columns, wood floor structure, with membrane roofing to provide a drainage plane below the wood deck walking surface. Metal railings at the perimeter of the deck will be provided in a similar fashion to the existing railings with additional horizontal wires to meet railing gap requirements.

VARIANCE REQUEST/VARIANCE DESCRIPTION:

- No variance is requested.



S Wildwood Ave

Virginia Ave

New Jersey Ave

St

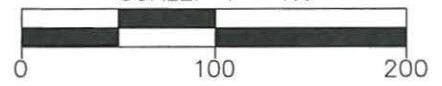
January 11, 2019
Wildwood Park

Sheboygan, WI

2015-79



SCALE: 1" = 100'



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1/11/2019

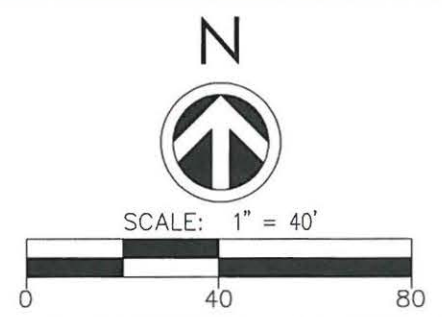
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1/11/2019

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January 11, 2019
Wildwood Park
 Sheboygan, WI 2015-79

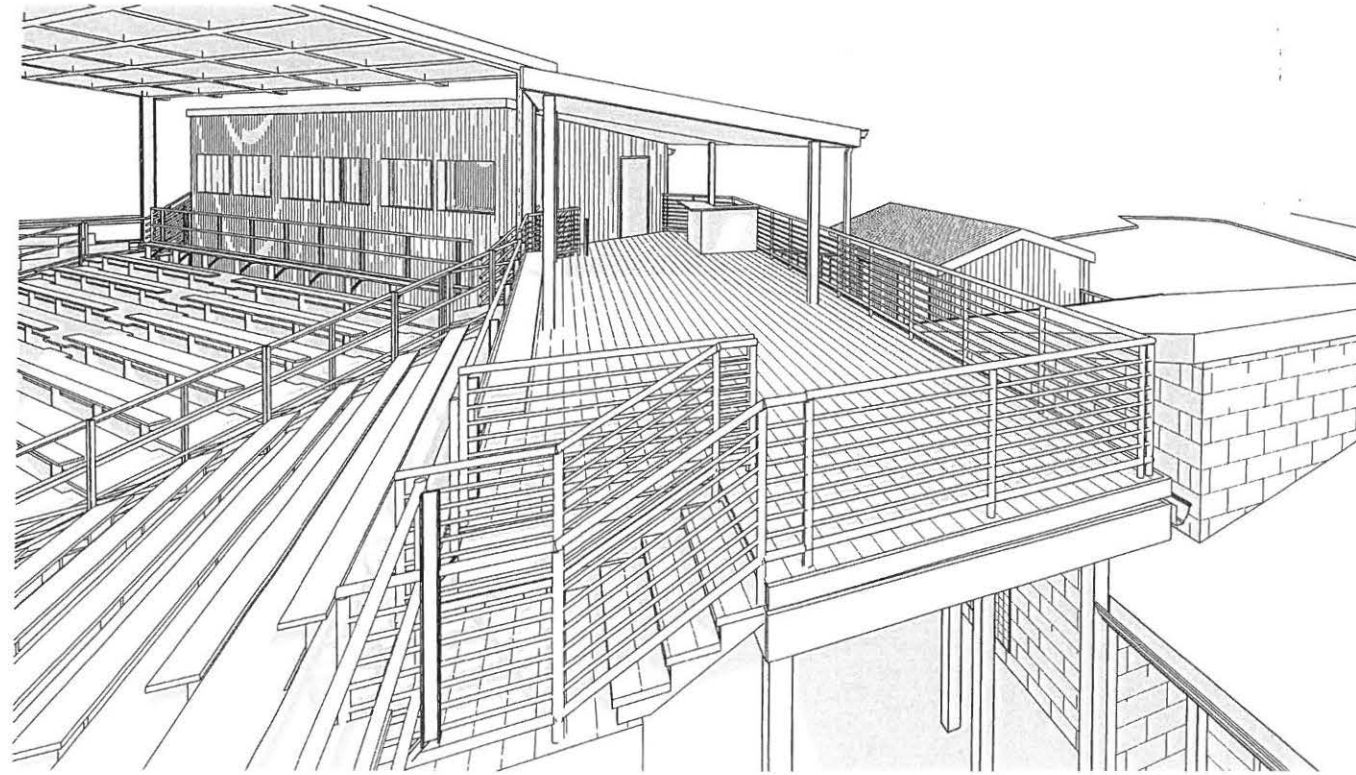


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NEW SPECTATOR DECK FOR:
WILDWOOD PARK

2276 NEW JERSEY, SHEBOYGAN, WI 53081



REVISIONS:

NOTICE TO BIDDERS
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ARCHITECTURAL

ABACUS ARCHITECTS, INC.
 1135A MICHIGAN AVENUE
 SHEBOYGAN, WISCONSIN 53081
 P: 920-452-4444

A 101	TITLE SHEET
A 301	DEMOLITION PLAN
A 302	DECK PLANS
A 501	SECTIONS AND ELEVATIONS
A 502	SECTIONS

PROJECT NOTES

EXTENT OF WORK

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

SITE VISIT

THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

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ABBREVIATIONS

A.B.	ANCHOR BOLT	CONC	CONCRETE	F.A.C.E.	FAMILY AND CONSUMER EDUCATION	J.B.	JOIST BEARING	PLYWD	PLYWOOD	T&G	TONGUE AND GROOVE
A.D.A.	AMERICAN WITH DISABILITIES ACT	CONT CORR	CONTINUOUS CORRIDOR, CORRUGATED	F.C.O.	FLOOR CLEAN OUT	JAN	JANITOR	PR	PAIR	T.B.	TACK BOARD
A.F.F.	ABOVE FINISHED FLOOR	CPT	CARPET	F.D.	FLOOR DRAIN	JST	JOIST	PREFAB	PREFABRICATED	T.O.	TOP OF
A/C	AIR CONDITIONING	D	DEPTH	F.E.	FIRE EXTINGUISHER	JT	JOINT	PSF	POUNDS PER SQUARE FOOT	T.O.B.	TOP OF BEAM
ACOUS	ACOUSTIC(AL)	D.F.	DRINKING FOUNTAIN	F.F.	FINISHED FLOOR	K.O.	KNOCK OUT	PSI	POUNDS PER SQUARE INCH	T.O.F.	TOP OF FOOTING
ADD	ADDITION	D.L.	DEAD LOAD	FAB	FABRICATED	KIP	KITCHEN	PT. P.I.	POINT, PORCELAIN TILE, PAINT, PRESSURE TREATED	T.O.M.	TOP OF MASONRY
ADJ	ADJUSTABLE	DBL	DOUBLE	FDN	FOUNDATION	L	LENGTH	Q.T.	QUARRY TILE	T.O.P.	TOP OF PIER
ALT	ALTERNATE	DEG	DEGREE	FIN	FINISH	L.H.	LEFT HAND	R	RADIUS, RISER	T.O.S.	TOP OF STEEL
ALUM	ALUMINUM	DEPT	DEPARTMENT	FL	FLOOR	L.L.	LIVE LOAD	R.C.	ROOF, CONDUCTOR	T.S.	TUBE STEEL
APPROX	APPROXIMATE	DET	DETAIL	FT	FOOT, FEET	LAM	LAMINATE(D)	R.D.	ROOF DRAIN	T.W.	TACK WALL
ARCH	ARCHITECTURAL	DIA	DIAMETER	FTG	FOOTING	LAV	LAVATORY	R.O.	ROUGH OPENING	TEL	TELEPHONE
ATTEN	ATTENUATION	DIM	DIAGONAL	FURN	FURNACE, FURNITURE	LB	LOUVER	R.H.	RIGHT HAND	TERR	TERRAZZO
AUTO	AUTOMATED	DISP	DISPENSER	FURR	FURRING	LOUV	LOUVER	R.I.	ROUGH OPENING	THK	THICK
B.L.	BORROWED LINE	DIV	DIVISION	G	GAS	M.B.	MARKER BOARD	REF	REFERENCE	TOT	TOTAL
B.M.	BENCH MARK	DN	DOWN	G.S.	GRAB BAR	M.O.	MASONRY OPENING	REG	REGISTER	TV	TELEVISION
B.O.	BOTTOM OF	DR	DOOR	G.C.	GENERAL CONTRACTOR	MACH	MACHINE	REIN	REINFORCING (REINFORCING)	TYP	TYPICAL
B.T.U.	BRITISH THERMAL UNIT	DS	DOWNSPOUT	G.M.	GAS METER	MAINT	MAINTENANCE	REQD	REQUIRED	UNFIN	UNFINISHED
BD	BOARD	DW	DRYWALL	GA	GAUGE	MATL	MATERIAL	RESIL	RESILIENT	UTIL	UTILITIES
BLDG	BUILDING	E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	GALV	GALVANIZED	MAX	MAXIMUM	REV	REVISION	V	VINYL
BLK(G)	BLOCK(ING)	E.J.	EXPANSION JOINT	G.F.P. BD.	GYP(SUM) BOARD	MECH	MECHANICAL	R.M.	ROOM	V.B.	VINYL BASE
BOT	BOTTOM	E.W.C.	EACH WAY ELECTRIC WATER COOLER	H. HGT	HEIGHT	MEMB	MEMBRANE	S.C.	SOLID CORE	V.C.T.	VINYL COMPOSITION TILE
BRG	BEARING	E.A.	EACH	H.	HEAD	MEZZ	MEZZANINE	S.S.	SOLID CORE	VENT	VENTILATION
C.B.	CATCH BASIN, CHALK BOARD	EL ELEV	ELEVATION, ELEVATOR	H.H.	HOLE BIBB	MFR	MANUFACTURER	SAN	STAINLESS STEEL	VERT	VERTICAL
C.F.	CUBIC FEET	ENG	ENGINEER(D)	H.M.	HOLLOW METAL HEATING, VENTILATION AND AIR CONDITIONING	MH	MANHOLE	SECT	SANITARY SEWER	VEST	VESTIBULE
C.G.	CORNER GUARD	ENCL	ENCLOSED	H.V.A.C.	HOT WATER HANDICAPPED HEAD	MIN	MINIMUM	SECUR	SECTION SECURITY	VOL	VOLUME
C.J.	CONTROL JOINT	EMER	EMERGENCY	H.W.	HOT WATER	MISC	MISCELLANEOUS	SERV	SERVICE	W	WIDTH, WATER
C.L.	CENTER LINE	ENCL	ENCLOSED	HC	HANDICAPPED	MTL	METAL	SHT	SHEET	W.C.	WATER CLOSET, WATER COOLER
C.M.P.	CORRUGATED METAL PIPE	ENCL	ENCLOSED	HD	HEAD	MULL	MULLION	SIM	SIMILAR	W/O	WALL CLEAN OUT, WATER HEATER
C.O.	CLEAN OUT	ENCL	ENCLOSED	HDR	HEADER	N	NORTH	SPEC(S)	SPECIFICATION(S)	W/	WITH
C.W.	COLD WATER	ENCL	ENCLOSED	HWV	HARDWARE	N.I.C.	NOT IN CONTRACT	SPKLR	SPRINKLER	W/O	WITH OUT
CAB	CABINET	ENCL	ENCLOSED	HORZ	HORIZONTAL	N.I.S.	NOT TO SCALE	SQ	SQUARE	WD	WOOD
CLG	CEILING	ENCL	ENCLOSED	HORZ	HORIZONTAL	NO	NUMBER	ST. STORE	STANDARD	WT	WEIGHT
CLB	CLEAR	ENCL	ENCLOSED	HR	HOUR	NOM	NOMINAL	STD	STANDARD	WWM	WELDED WIRE MESH
CMU	CONCRETE MASONRY UNIT	EQ	EQUAL	HTR	HEATER	O.C./O/C	ON CENTER	STL	STEEL	YD	YARD
COL	COLUMN	EQUIP	EQUIPMENT	ID.	INSIDE DIAMETER	O.D.	OUTSIDE DIAMETER	STRM	STORM SEWER		
COMP	COMPOSITION, COMPACT	EXCAV	EXCAVATE	INSUL	INSULATION	OH	OVERHEAD	STRUCT	STRUCTURAL		
		EXIST	EXISTING	INT	INTERIOR	P.L.A.M.	PLASTIC LAMINATE	SUSP	SUSPENDED		
		EXP	EXPOSED	INV	INVERT	PLAS	PLASTIC	T	TREAD		
		EXT	EXTERIOR			PLBG	PLUMBING	T&B	TOP AND BOTTOM		

MATERIALS AND SYMBOLS

	ROUGH LUMBER		CENTER LINE
	FINISH LUMBER		PROPERTY LINE
	STRUCTURAL STEEL		NEW CONTOURS
	BRICK		EXISTING CONTOURS
	CONCRETE MASONRY UNIT		ELEVATION MARKER
	POURED-IN-PLACE CONCRETE		ELEVATION REFERENCE
	METAL / WOOD STUD WALL		SECTION REFERENCE
	GLAZING		PLAN / DETAIL REFERENCE
	SPRAYED FOAM INSULATION		CEILING TAG
	BATT INSULATION		DOOR TAG
	RIGID INSULATION		WINDOW TAG
	PLYWOOD / PARTICLE BOARD		PLAN NOTE TAG
	SAND / MORTAR / GYPSUM BOARD		DEMOLITION NOTE TAG
	COMPACTED DRAINAGE FILL		COLUMN GRID
	COMPACTED STRUCTURAL FILL		REVISION TAG
	TOPSOIL		VIEW / DETAIL IDENTIFICATION
	NON-STRUCTURAL FILL		
	EXISTING CONSTRUCTION / MATERIAL		

PROJECT INFORMATION

APPLICABLE BUILDING CODES
 2018 WISCONSIN COMMERCIAL BUILDING CODE (2015 IBC)

BUILDING AREA
 NEW BUILDING AREA:
 DECK AREA - 800 S.F.

CONSTRUCTION CLASSIFICATION
 TYPE VB CONSTRUCTION (W.C.B.C. SECTION 602.5)

OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP "A-5" (W.C.B.C. SECTION 303.6)

FIRE PROTECTION
 BUILDING IS UN-SPRINKLERED.

ISSUE DATE: 12/18/2018
 NEW SPECTATOR DECK FOR:
WILDWOOD PARK
 2276 NEW JERSEY, SHEBOYGAN, WI 53081
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920.452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 | 414.837-6450

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 CHECKED BY: Checker

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PROJ. NO. 2015-79

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GENERAL PLAN NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES, AND STANDARDS.
- THE INSTALLATION AND EXECUTION OF ALL PRODUCTS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS, INSTRUCTIONS AND SPECIFICATIONS.
- ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS ARE TO BE FIELD VERIFIED PRIOR TO DEMOLITION AND CONSTRUCTION.
- EACH TRADE IS RESPONSIBLE FOR THE DEMOLITION IN THEIR AREA OF EXPERTISE.

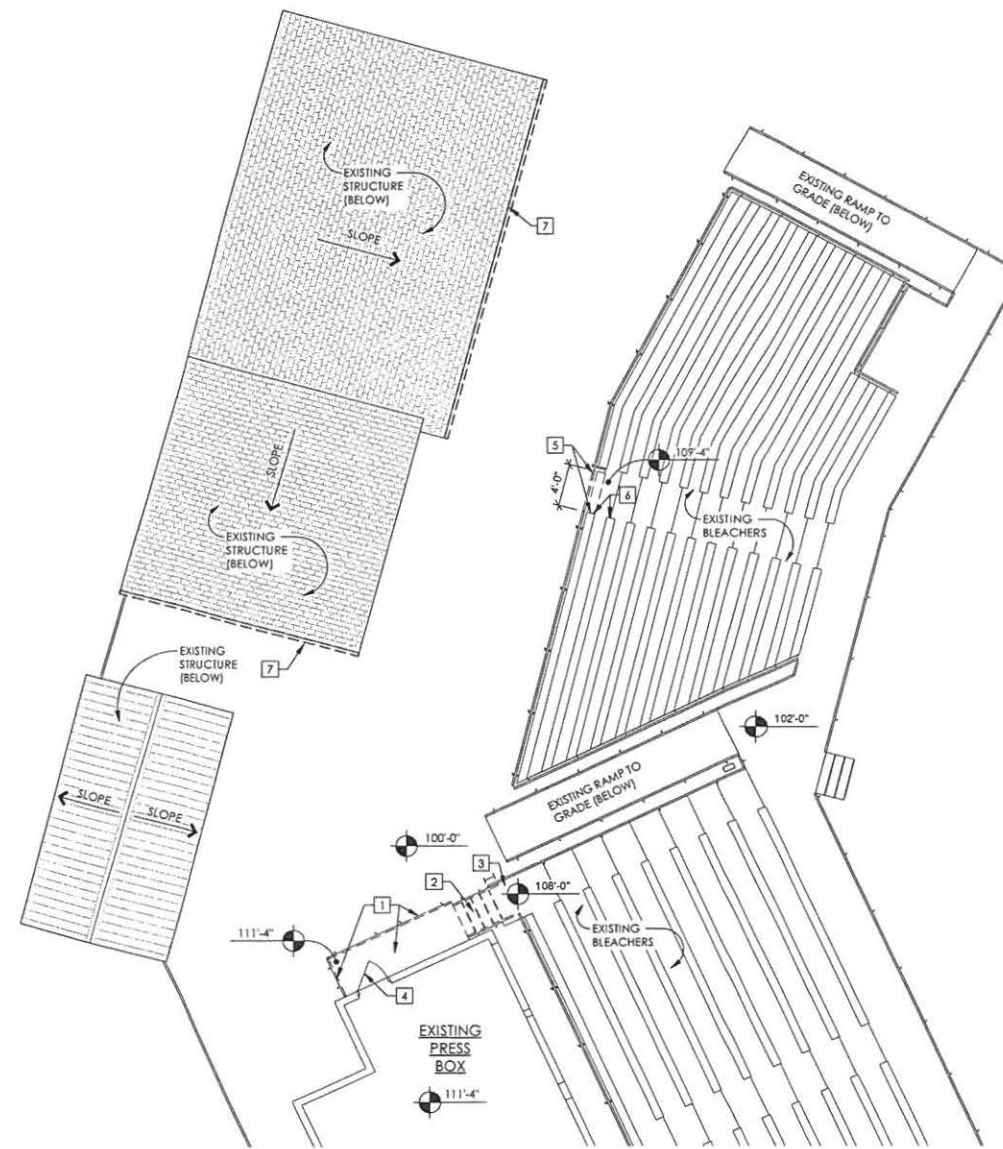
DEMOLITION PLAN KEYNOTES

NO.	DESCRIPTION
1	REMOVE EXISTING ELEVATED DECK, SUPPORT COLUMNS, GUARDS AND ALL ASSOCIATED CONSTRUCTION - PATCH AND REPAIR EXISTING ADJACENT CONSTRUCTION AS NEEDED FOR NEW PLAN.
2	TEMPORARILY REMOVE EXISTING STAIR & ALL ASSOCIATED EQUIPMENT AND SALVAGE FOR RE-USE IN EXISTING LOCATION.
3	EXISTING BLEACHER CONSTRUCTION AND STAIR LANDING TO REMAIN.
4	EXISTING SECOND FLOOR PRESS BOX DOOR AND WINDOWS TO REMAIN.
5	REMOVE SEGMENT OF EXISTING GUARD RAIL AND BLEACHER SEAT AS NECESSARY FOR INSTALLATION OF NEW STAIR - CAP AND REPAIR ADJACENT CONSTRUCTION TO REMAIN AS NECESSARY. SEE NEW PLAN FOR ADDITIONAL INFORMATION.
6	ALIGN END OF TOP BLEACHER SEAT, FOLLOWING REMOVAL OF SEGMENT, WITH EXISTING BLEACHER SEATS BELOW ON SOUTH SIDE OF AISLE.
7	REMOVE EXISTING GUTTER AND DOWNSPOUT



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DEMOLITION PLAN
SCALE: 1/8" = 1'-0"
N
W
E
S

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NEW SPECTATOR DECK FOR:
WILDWOOD PARK

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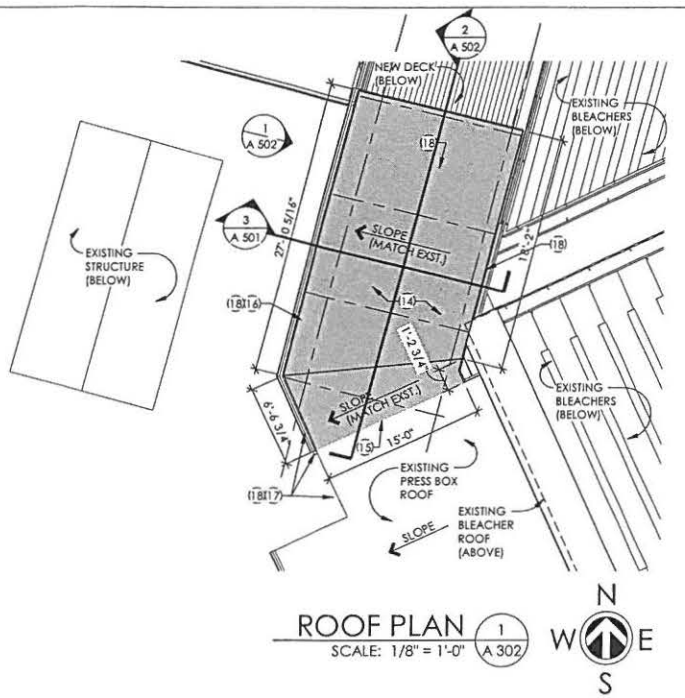
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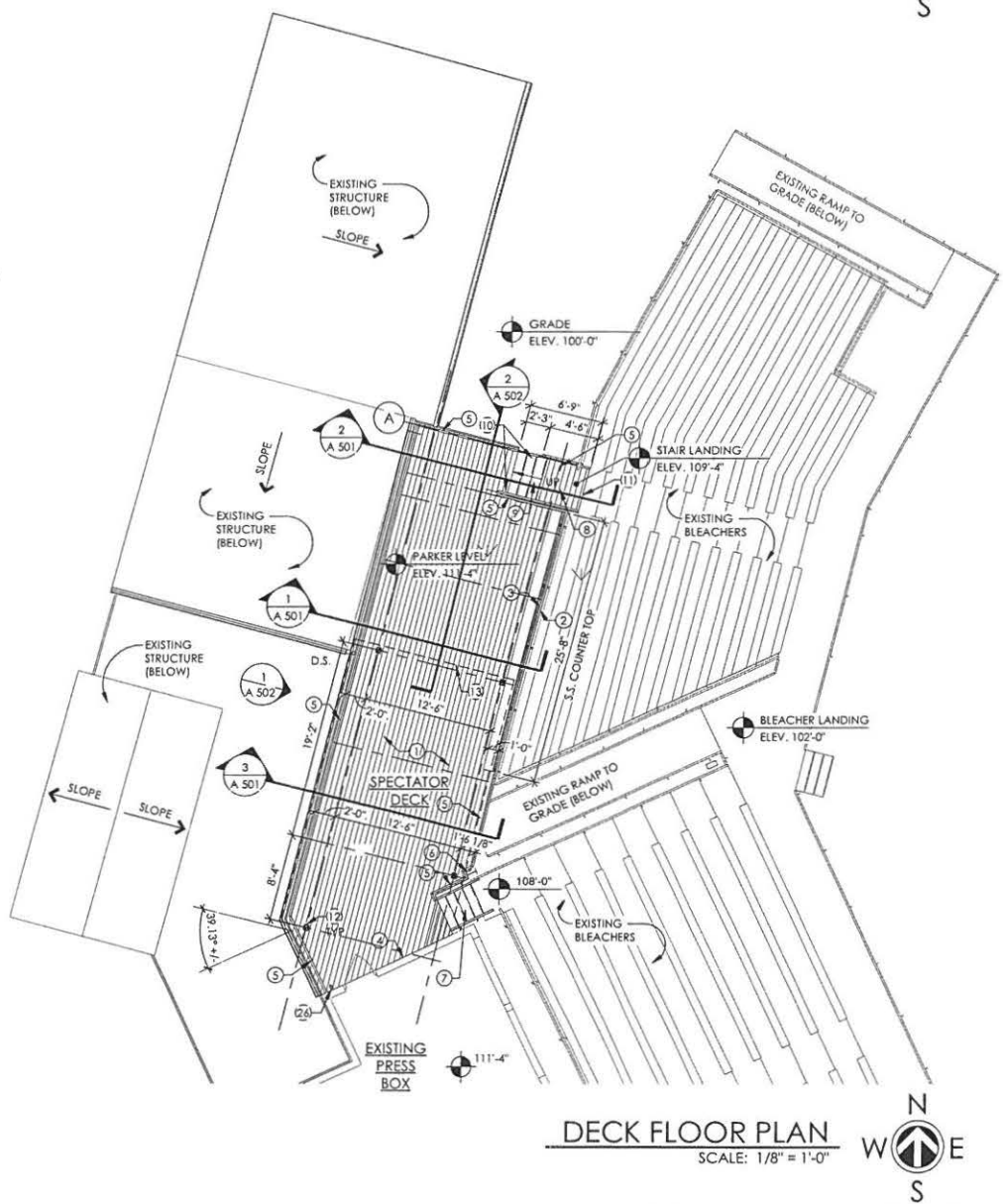
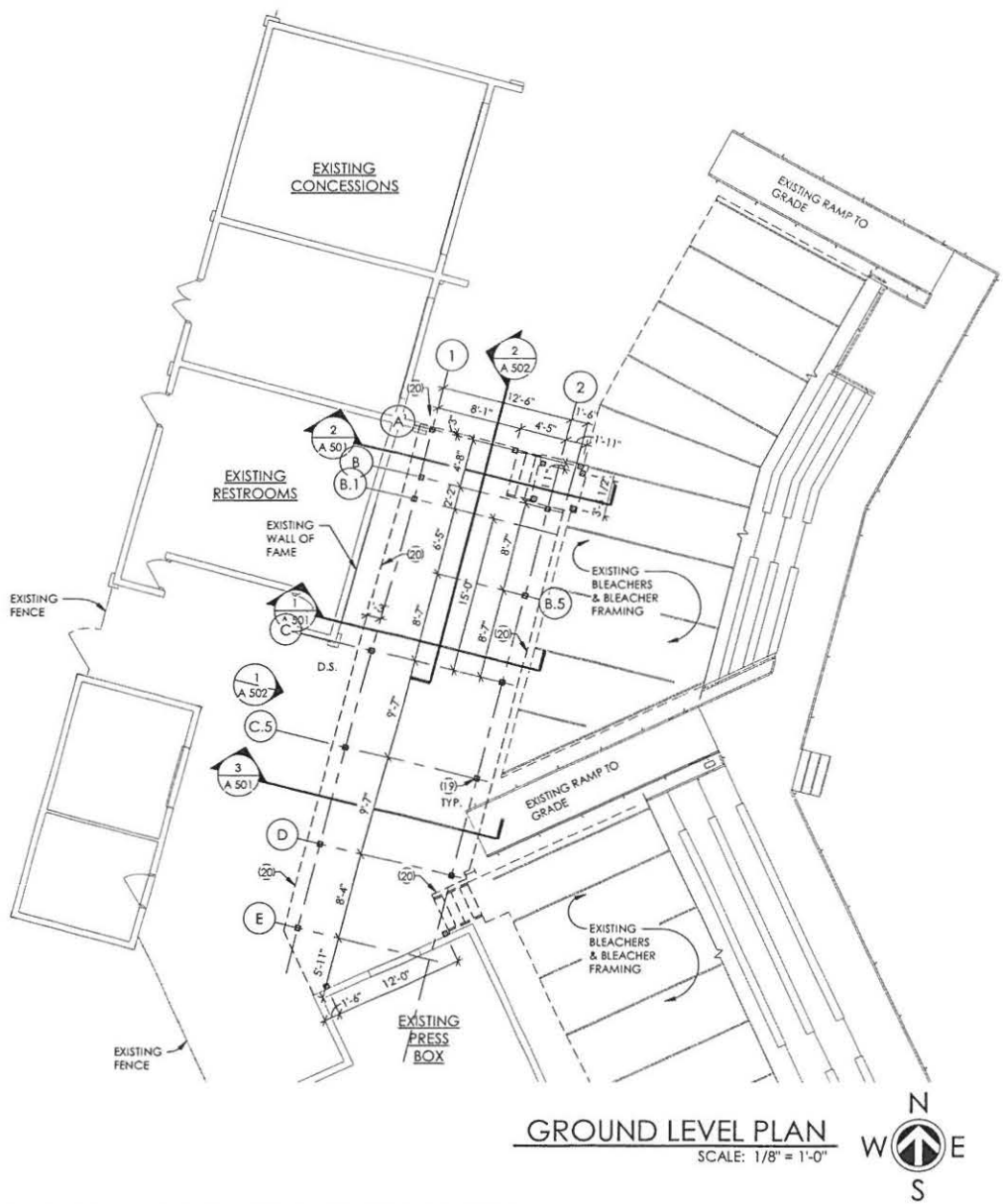
ROOF SYMBOLS

- SLOPED STRUCTURE ROOF DRAINAGE ROOF CONSTRUCTION VARIES
- FILLED REGION DENOTES AREA OF NEW ROOF CONSTRUCTION



FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	COMPOSITE DECKING ON PRESERVATIVE TREATED WOOD JOISTS, SEE STRUCTURAL DRAWINGS
2	EXISTING GUARD AT TOP OF BLEACHERS TO REMAIN.
3	ALIGN NEW DECK WITH BACK SIDE OF EXISTING GUARD - NOTCH DECK CONSTRUCTION AROUND EXISTING GUARD SUPPORTS AS NECESSARY.
4	SECURE DECK CONSTRUCTION TO EXISTING PRESS BOX STRUCTURE, SEE STRUCTURAL DRAWINGS.
5	NEW 1 1/2" O.D. PAINTED STEEL GUARD RAIL (42" HIGH) WITH 1" HORIZONTAL INTERMEDIATE STEEL RAILS. GUARD SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A 4" SPHERE FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT PER IBC 1015.4. THE TRIANGULAR OPENINGS AT THE OPEN SIDES OF A STAIR FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER PER IBC 1015.4. EXCEPTION 2. GUARD MUST BE DESIGNED TO RESIST A LOAD OF 50 POUNDS PER LINEAR FOOT PER IBC 1607.8.1 AND DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION PER IBC 1607.8.1.1. REFER TO SECTIONS AND FOR ADDITIONAL INFORMATION.
6	NOTCH DECK & GUARD CONSTRUCTION AROUND EXISTING STRUCTURAL COLUMN AS NECESSARY.
7	REINSTALL SALVAGED STAIR AND ALL ASSOCIATED EQUIPMENT IN EXISTING LOCATION.
8	STAIR LANDING ELEVATION TO MATCH HEIGHT OF TOP BLEACHER TREAD. CONSTRUCTION TO BE COMPOSITE DECKING ON PRESERVATIVE TREATED WOOD FRAMING, SEE STRUCTURAL DRAWINGS.
9	PREFABRICATED METAL STAIR WITH 4 EQUAL RISERS INCLUDING TOP STEP TO DECK SURFACE (7" MAX.) - SECURED TO DECK & LANDING.
10	1 1/2" O.D. PAINTED STEEL HANDRAILS (36" HIGH) ATTACHED TO ADJACENT GUARD WITH HANDRAIL EXTENSIONS PER IBC 1014.6. HANDRAIL MUST BE DESIGNED TO RESIST A LOAD OF 50 POUNDS PER LINEAR FOOT PER IBC 1607.8.1. AND DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION PER IBC 1607.8.1.1. SEE SECTIONS FOR ADDITIONAL INFORMATION.
11	ALIGN EDGE OF STAIR LANDING WITH BACK EDGE OF TOP BLEACHER TREAD AND SECURE TO EXISTING BLEACHERS, SEE STRUCTURAL DRAWINGS.
12	COLUMN TO SUPPORT EXTENDED ROOF ABOVE. SEE STRUCTURAL DRAWINGS FOR EXACT COLUMN DESIGN AND LOCATIONS, TYPICAL.
13	DASHED LINE DENOTES PERIMETER OF ROOF EXTENSION ABOVE, SEE ROOF PLAN.
14	ASPHALT SHINGLES OVER # 15 ROOFING FLET ON 3/4" OSB SHEATHING ON WOOD STRUCTURE. SEE STRUCTURAL DRAWINGS.
15	REMOVE EXISTING FACIA WHERE NECESSARY FOR NEW ROOF EXTENSION AND TIE NEW ROOF CONSTRUCTION INTO EXISTING AS NEEDED TO PROVIDE SEAMLESS TRANSITION TO THE FULLEST EXTENT POSSIBLE.
16	NEW PREFABRICATED ALUMINUM GUTTER - STYLE & FINISH TO MATCH EXISTING.
17	REMOVE EXISTING GUTTER AND DOWNSPOUT AS NECESSARY AND REPLACE WITH NEW PREFABRICATED ALUMINUM GUTTER & DOWNSPOUT AT ROOF EXTENSION AND ADJACENT LOCATION - STYLE & FINISH TO MATCH EXISTING
18	NEW FACIA CONSTRUCTION TO MATCH EXISTING - PROVIDE FLASHING AT ROOF EDGES AND GU
19	COLUMNS FOR DECK AND STAIR LANDING ABOVE - LOCATIONS SHOWN AND DIMENSIONS ARE FOR REFERENCE ONLY. SEE STRUCTURAL DRAWINGS FOR EXACT LOCATIONS AND SPECIFICATIONS
20	DASHED LINE DENOTES PERIMETER OF DECK AND STAIR LANDING ABOVE
26	ROUGH IN HOT/ COLD WATER AND DRAIN FOR FUTURE SINK



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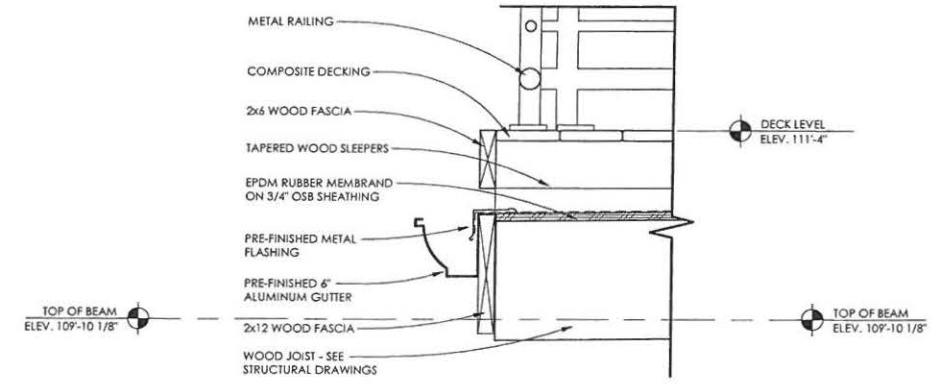
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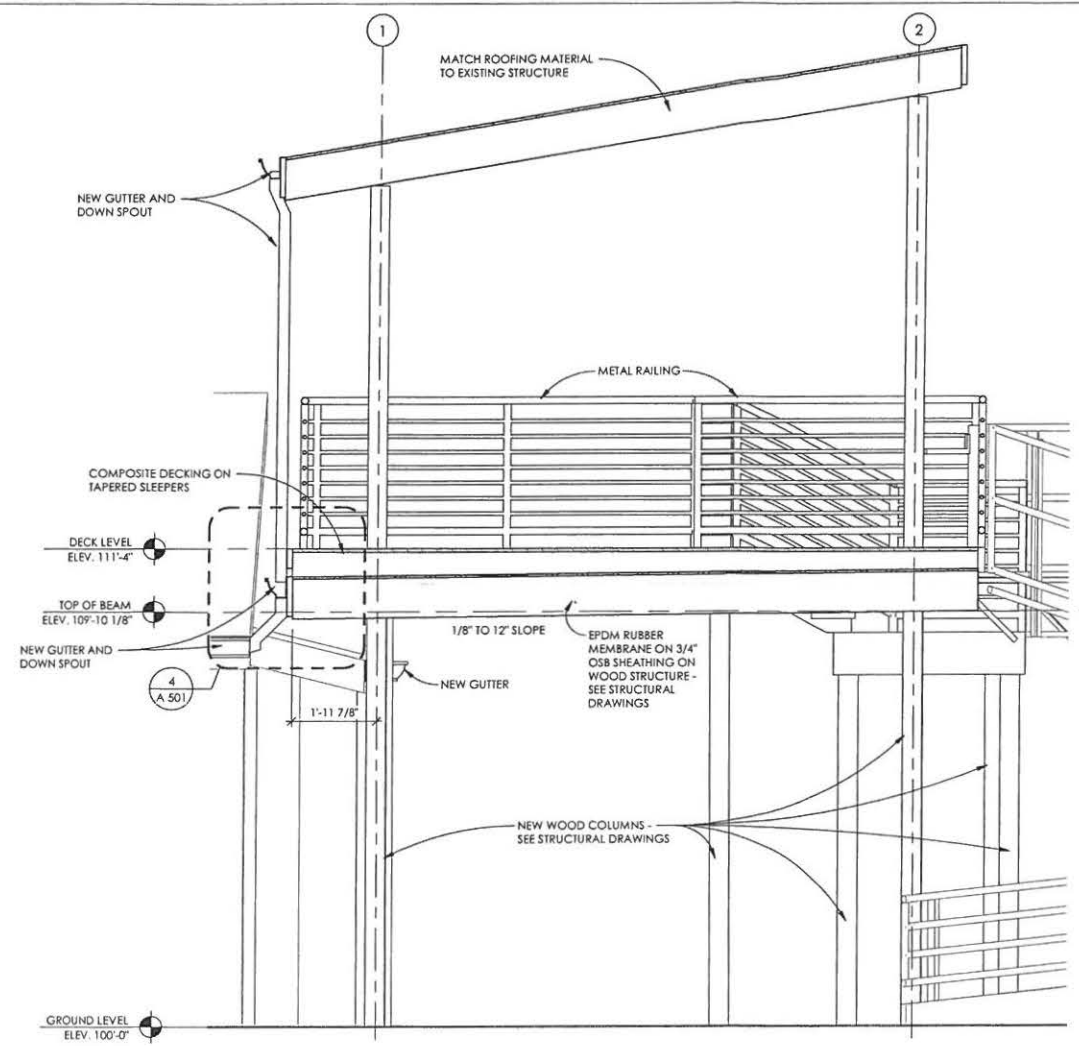
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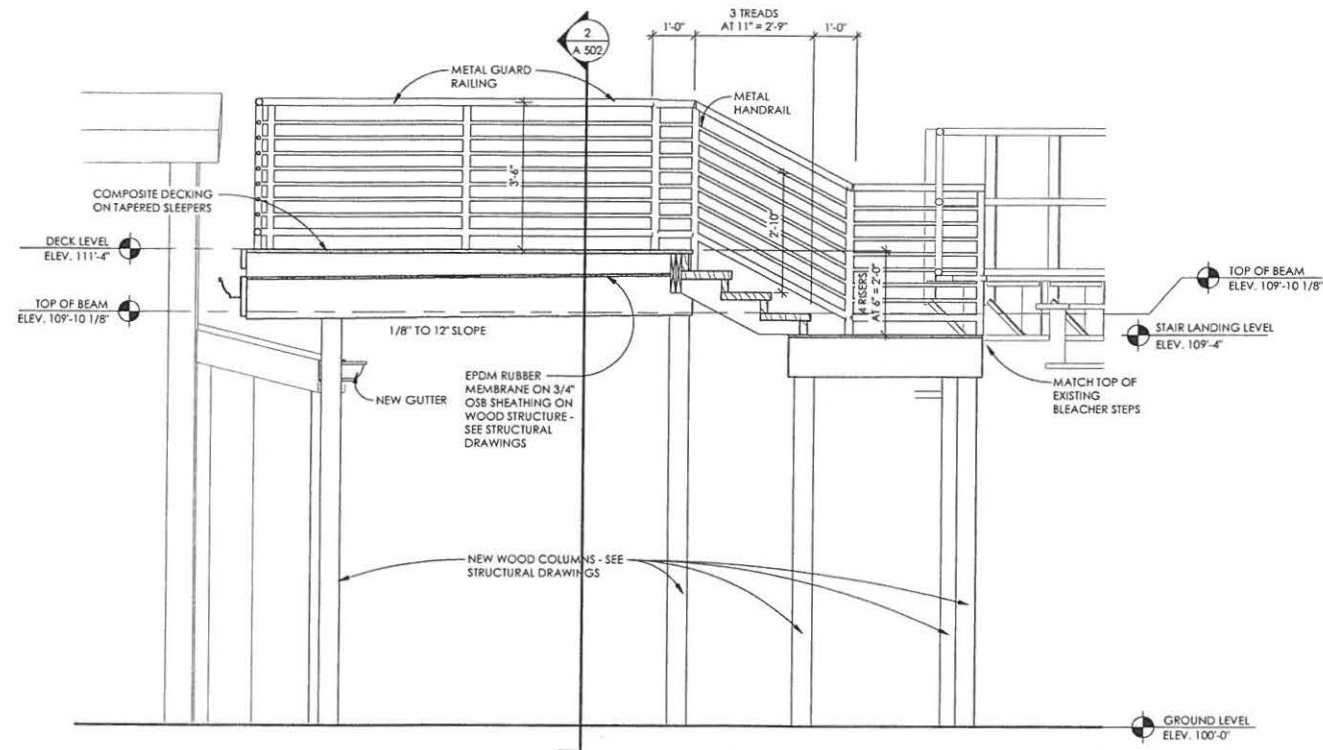
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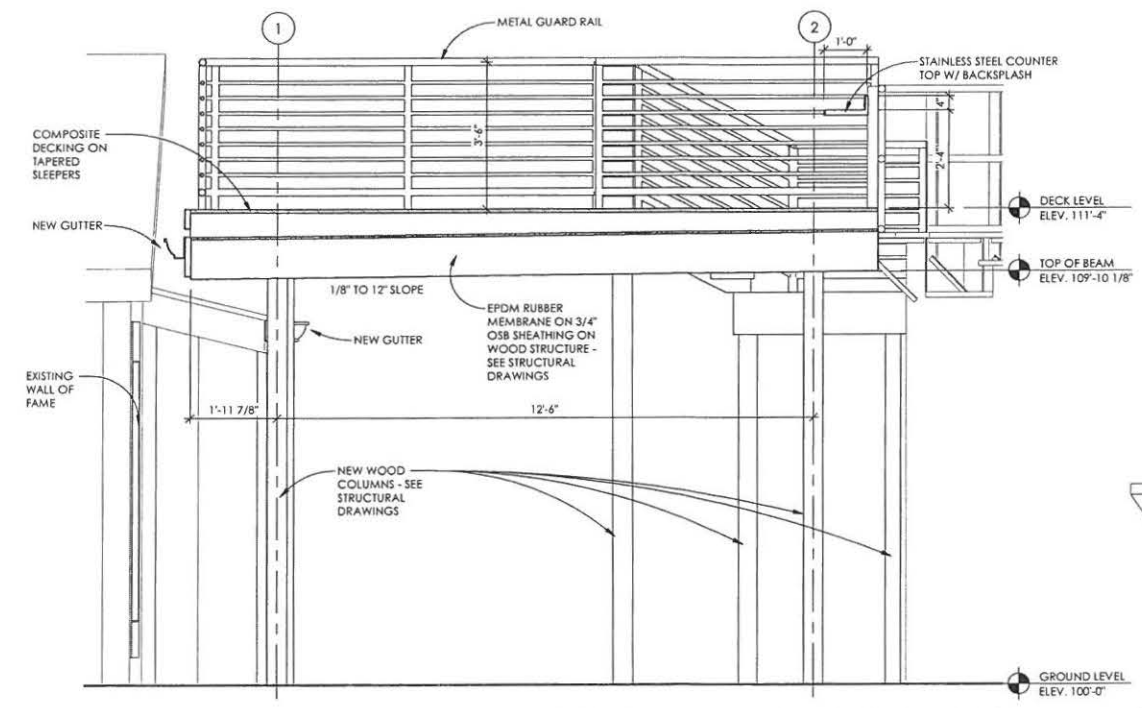
GUTTER DETAIL 4
SCALE: 1 1/2" = 1'-0" A 501



SECTION THROUGH ROOF 3
SCALE: 1/2" = 1'-0" A 501



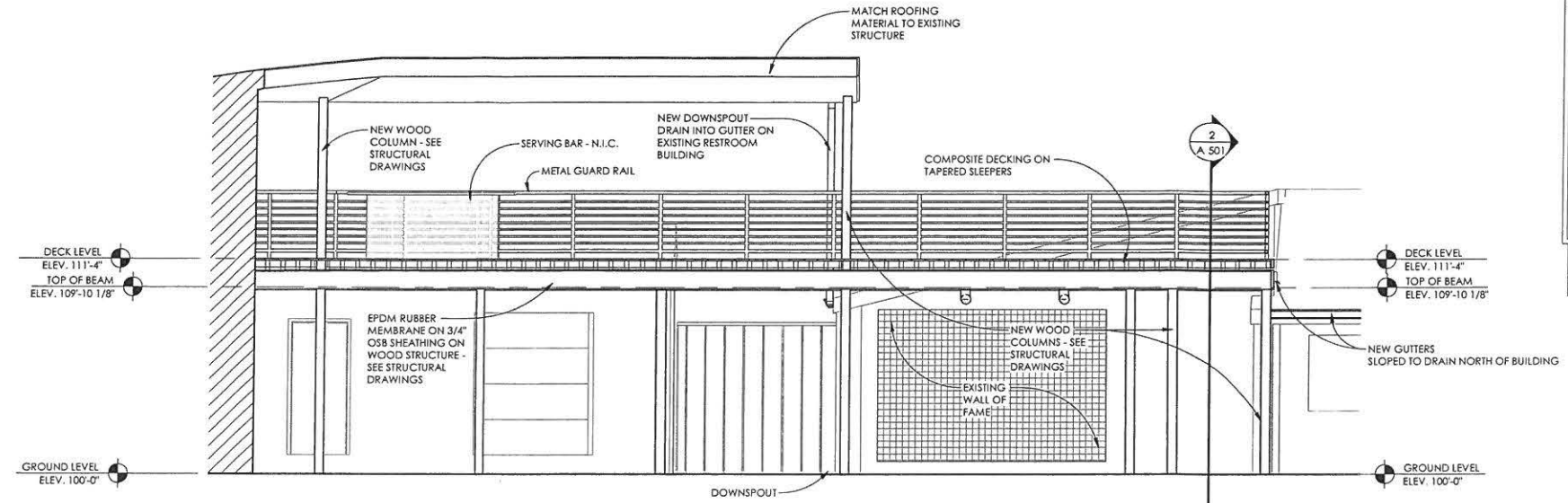
SECTION THROUGH STAIRS 2
SCALE: 1/2" = 1'-0" A 501



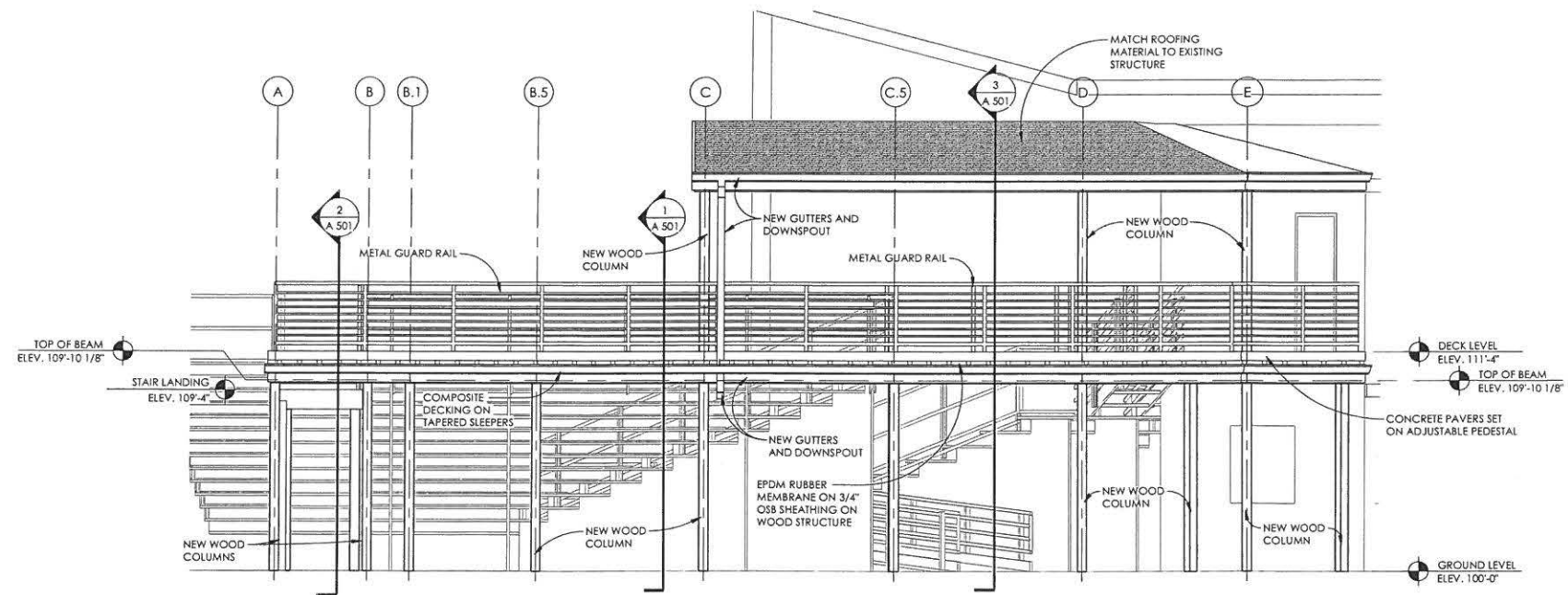
TYPICAL SECTION THROUGH DECK 1
SCALE: 1/2" = 1'-0" A 501

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LONGITUDINAL SECTION 2
SCALE: 1/4" = 1'-0" A 502



WEST ELEVATION 1
SCALE: 1/4" = 1'-0" A 502

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