

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Exterior Remodel of 1336 Kentucky Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: July 13, 2018

MEETING DATE: July 16, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

In October of 2017, the City of Sheboygan Plan Commission approved a mini-storage use of this facility located at 1336 Kentucky Avenue. The applicant is proposing 300 mini-storage units in this 5-story, 54,000sf building (building footprint is approximately 10,000sf). The units will range in size from 20sf (5x4) to 200sf (10x20). We will have a full time manager and possibly a couple of part-time managers. The facility will also be monitored with security cameras throughout the interior & exterior of the facility.

During the conditional use permit hearing staff stated that the exterior of the building is tired and weathered and is certainly in need of remodeling especially since it is located at this very visible Indian Avenue and S. 14th Street intersection that leads to downtown Sheboygan, the riverfront and lakefront. The applicant has indicated that they are considering some exterior remodeling to this facility. Plan Commission may want to ask the applicant what they are considering and when such an exterior remodel to this building could take place.

The applicant states the following about the proposed remodel project:

- The plan is to install 12 new aluminum storefront windows in a clear anodized finish with one (1) inch clear insulating glass along the west/N. 14th Street side of the building.
- They will remove the eight (8) existing windows and will be installing four (4) new windows. All the windows are proposed to match in terms of design, dimensions, materials, colors, etc.
- The present building is an exposed fastener ribbed 26 gauge yellow metal panel with light green accent panels.

- The wall material will remain the same. Applicant mentions something about possibly painting the building.

STAFF COMMENTS:

The Board may want to have the applicant address the following:

- It appears that the applicant could look for ways to introduce an ordering system within their large/blank facades without spending a whole lot more.
- Are they just adding the windows to the west side of the building? No other building improvements are proposed for the rest of the building other than possibly painting?
- The applicant mentions painting the building – is that something they may do and if so what colors are they considering?

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised May 2018

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Richard Peterson
ADDRESS: 3502 Behrens Prky. Sheboygan, WI 53081
E-MAIL ADDRESS: richardp@mike.koenig.construction.com
PHONE: (920) 457-0923 FAX NO.: (920) 457-1024

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan Self Storage
ADDRESS OF PROPERTY AFFECTED: 1336 Kentucky Ave. Sheboygan, WI
NEW BUILDING: _____ ADDITION: _____ REMODELING:

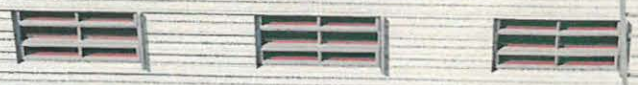
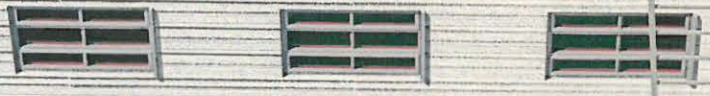
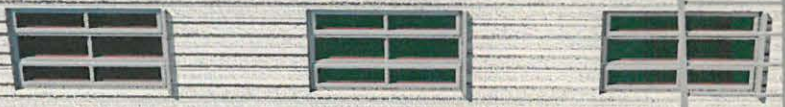
DESCRIPTION OF PROPOSED PROJECT: Remove (8) existing windows. Cut in (4) new openings the same size as the existing windows. Install (12) new aluminum store front windows in a clear anodized finish, with 1" clear insulating glass

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: Exposed fastener, ribbed 26ga metal panel, yellow with light green accent panels.

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: Wall material to remain the same.

(Painting of existing panels has been proposed but not accepted yet.)

Self-Storage
Climate Control



BOYGAN
STORAGE

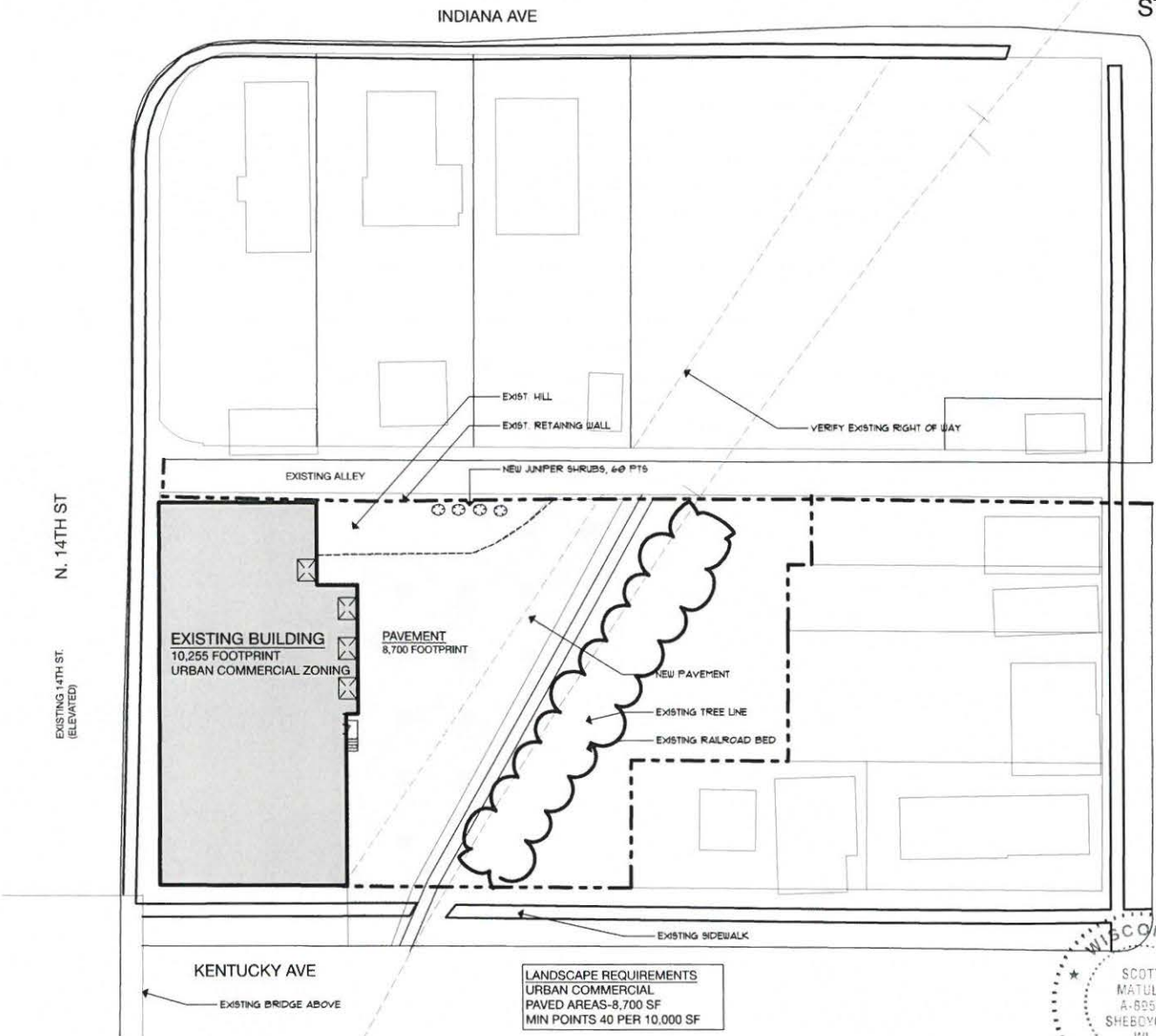


STORAGE BUILDING CONVERSION FOR:

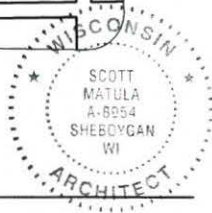
name
 1336 KENTUCKY
 SHEBOYGAN, WI.

SHEET INDEX	
ID	Name
C.1.1	SITE DETAILS
C.1.2	SITE PLANS
C.1.3	SITE LIGHTING AND LANDSCAPING
A.2.1	FIRST FLOOR PLAN
A.2.2	2ND & 3RD FLOOR

BUILDING DATA	
ZONING	--
REQUIRED SETBACK FRONT	0
PROVIDED SETBACK FRONT	N/A
REQUIRED SETBACK SIDE	0
PROVIDED SETBACK SIDE	N/A
REQUIRED SETBACK BACK	0
PROVIDED SETBACK BACK	N/A
BUILDING TYPE	VB UNSPRINKLERED
BUILDING USE	B
ALLOWABLE AREA	10875
ALLOWABLE PROVIDED AREA	7400
1ST FLOOR EXISTING	0
1ST FLOOR ADDITION	0
2ND FLOOR EXISTING	0
2ND FLOOR ADDITION	0
TOTAL EXISTING	0
TOTAL ADDITION	0
TOTAL BUILDING SIZE NEW	7,400



LANDSCAPE REQUIREMENTS
 URBAN COMMERCIAL
 PAVED AREAS-8,700 SF
 MIN POINTS 40 PER 10,000 SF



RAGE BUILDING CONVERSION for:

name
 1336 KENTUCKY SHEBOYGAN WI

ASPIRE ARCHITECTURE & DESIGN, LLC
 1416 N. 5th St. Sheboygan, WI. 53081
 920-457-4884
 scott@aspirearchitects.com
 www.aspirearchitects.com

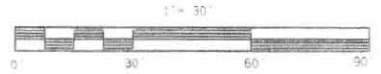
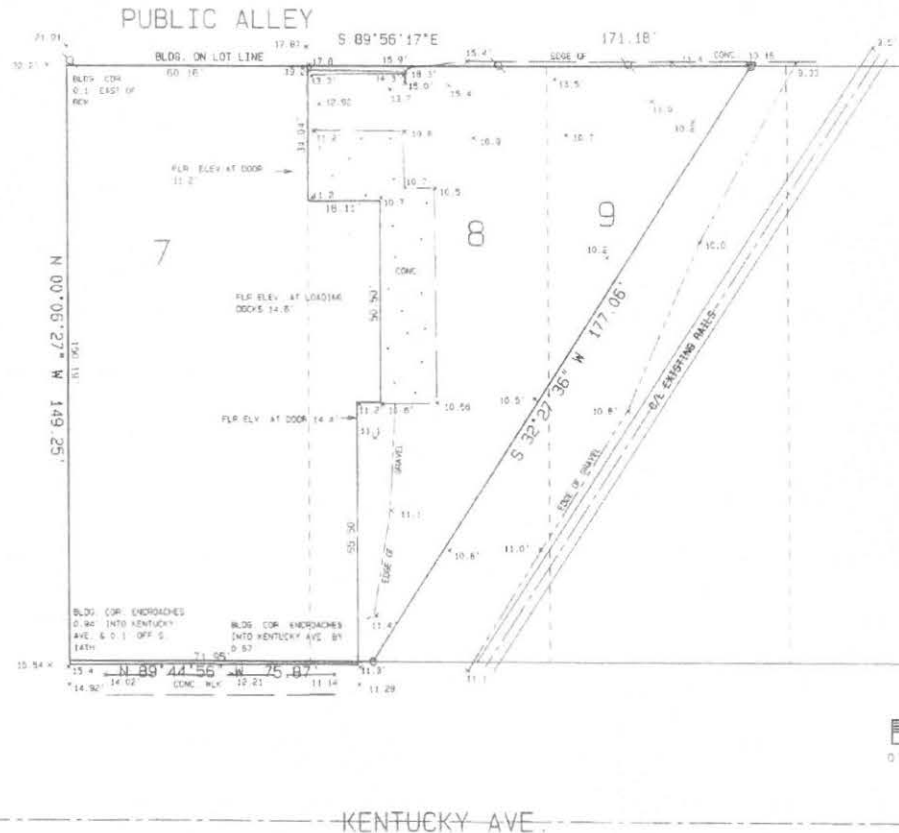


issue 2.19.17
 rev. --
 09-003
A1.1

4 SITE PLAN
 SCALE: 1" = 40'

D & H LAND SURVEYS LLC
 1628 GEORGIA AVENUE
 SHEBOYGAN, WISCONSIN

1336 KENTUCKY AVE.
 PARCEL NO. 59281507590
 DESCRIBED AS LOT 7 AND PART OF LOTS 8 AND 9 LYING NORTHWESTERLY OF A LINE
 DRAWN PARALLEL & 25 FEET NWLY AT RIGHT ANGLES WITH CENTERLINE OF RAILROAD,
 BLOCK 256 OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY,
 WISCONSIN.



THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON
 IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dennis J. Van Slyke
 Dennis J. Van Slyke S-1238

Dated this 9 day of October 2017

- = POWER POLE
 - x = EXISTING GRADE CITY DATUM
 - = 2" IRON PIPE FOUND
 - = 3" IRON PIPE SET
- DATA/CSHEB17/KENT/JC/1336KEN MAP: D-3235

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: New Transpo Mini-Storage building at 3515 Superior Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: July 13, 2018

MEETING DATE: July 16, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

At the June 25th meeting the Architectural Review Board met with the applicant and shared concerns with the present Transpo design of their proposed mini-storage building. There were a number of different suggestions and the applicant was directed to come up with new design options based on that discussion. The applicant has submitted a couple of options for the Boards review.

The applicant states:

Option A and C would work into the project budget, however Option B would not and force the project to be scrapped.

It appears that option "A" may work.

Board may want to have the applicant integrate the downspouts with the spacing of the piers which would likely require adding another downspout(s). It appears that the downspouts look better on the sides of the stone panels (like they have for their end downspouts) rather than on the stone panel.

Staff report from June 25th 2018 below:

Ron Becker is proposing to construct another 14 unit storage building at the Transpo Mini-Storage located at 3515 Superior Avenue. The applicant states:

- Transpo Mini-Storage presently has four (4) buildings on the site holding 164 storage units. They range in size from 50sf (5 x 10) to 200sf (10 x 20). 10 of the units are temperature controlled.

- Transpo Mini-Storage is proposing to add a 5th building which will be 2,800sf (20 x 140). The building will provide fourteen 200sf (10 x 20) storage units. The new building will be consistent with the appearance of the existing facility. The building is to be located on the north end of the site parallel to Superior Avenue.
- The new building will feature faux stone wall panels in the middle and on the east and west ends of the north elevation. Vertical, tan, metal siding will provide the make-up of the remaining wall surfaces. A dark brown metal coping, trim, and gutters will provide accent to the building while tan downspouts on the north elevation will help break up the horizontality of the building. A standing seam metal roof will slope to the south.

STAFF COMMENTS:

As the Plan Commission is aware, this section of Superior Avenue has been redeveloping very nicely from an architectural design and materials perspective. City Staff, the Plan Commission and the Architectural Review Board have been requiring well designed structures in this area of Superior Avenue. Most of these buildings are brick or have some type of brick component to them. In addition, there are residences across the street that will be looking at this new mini-storage building every day.

Staff's biggest concern with the Transpo Mini-Storage project is with the proposed architectural design which is a very basic industrial design which is not compatible with the existing commercial and residential development along Superior Avenue. Staff informed the applicant about these design concerns on several occasions. Based on those discussions, the applicant has made some very minor modifications. However, is staff's opinion that the present building design is neither consistent nor compatible with the architectural design of the buildings in this Superior Avenue commercial and residential neighborhood.

In addition, there is a significant amount of existing landscaping that presently does a nice job screening the mini-storage units from Superior Avenue. However, most of the landscaping that provides the screening will need to be removed in order to construct the building as proposed. It does appear that the applicant is proposing quite a bit of landscaping between the building and Superior Avenue in order to visually screen the building from Superior Avenue but this landscaping will take several years to grow to maturity. Therefore, the proposed building will now be very visible because the existing landscaping will be removed and because it sits on top of a hill that overlooks Superior Avenue(site is much higher than the road)..

The proposed mini storage structure will be closer to the street then virtually all other buildings located along the south side of Superior Avenue. You will begin to see the structure from Taylor and Superior to the east and just after the roundabout to the west. This will be a very visible structure.

Building Elevation Comments:

North Elevation – There is too much metal on this building elevation which gives it an industrial appearance/feel in this commercial/residential neighborhood. The metal should be more of an accent and not the main material. It appears that the applicant could draw on adjacent buildings for design elements that could be incorporated into this new building (brick, smartsiding, etc.).

This is a long/low building that needs better design to break-up the length of the 140 foot long mass of wall. This elevation needs to be given appropriate architectural detailing along this very visible Superior Avenue street frontage.

The applicant could add additional vertical “elements” to help reduce the perceived length of the façade including but not limited to introducing additional downspouts, columns, etc.

The roof is also going to be a defining element and maybe introducing some sort of breaks in the roof-line could be visually appealing.

South Elevation – Very basic design that faces that faces the interior of the Transpo property.

East Elevation – Very basic design that faces commercial properties to the east. Appears that the applicant should wrap the stone around the northeast corner of the building.

West Elevation – Very basic design that faces commercial properties to the west. Appears that the applicant should wrap the stone around the northwest corner of the building.

Other ideas:

- Is there an opportunity to incorporate signage along the building?
- A tower-element of some sort (possibly including signage) could become a nice architectural feature to break-up the long façade.
- Introducing breaks in the roof-line could be visually appealing.

ACTION REQUESTED:

Staff would recommend that the applicant submit revised drawings that provide additional architectural design to this new building.

ATTACHMENTS:

Architectural Review Board Application and required attachments.





TRANSPO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes
7/2/18	Options

PRELIMINARY PLANS

1ST FLOOR PLAN - OPTION 'A'

ISSUE DATE: 5/18/18

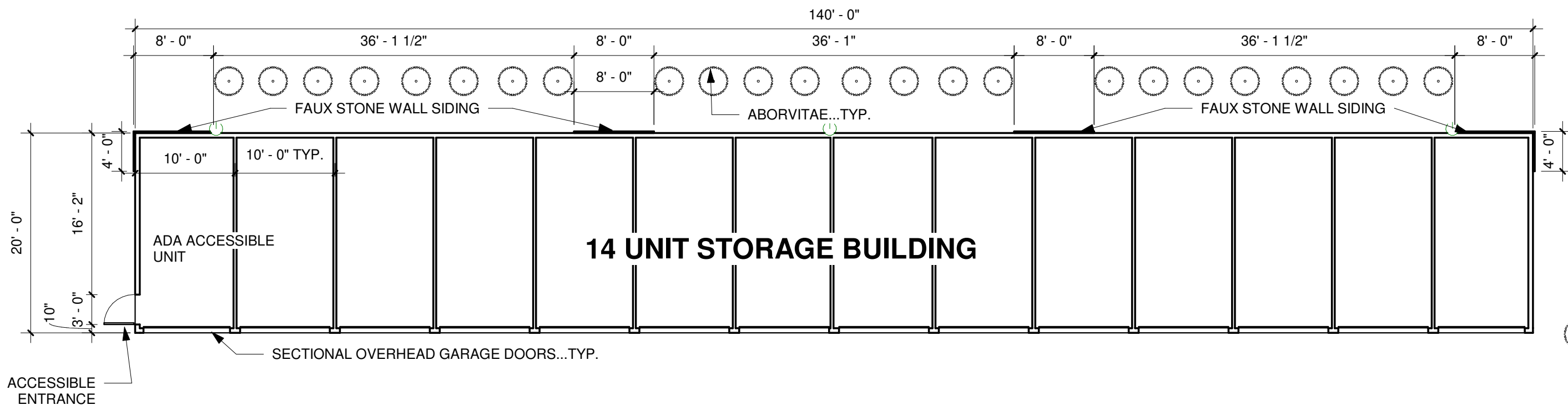
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CHECKED BY: EJ

PROJECT #: 18-039

A101

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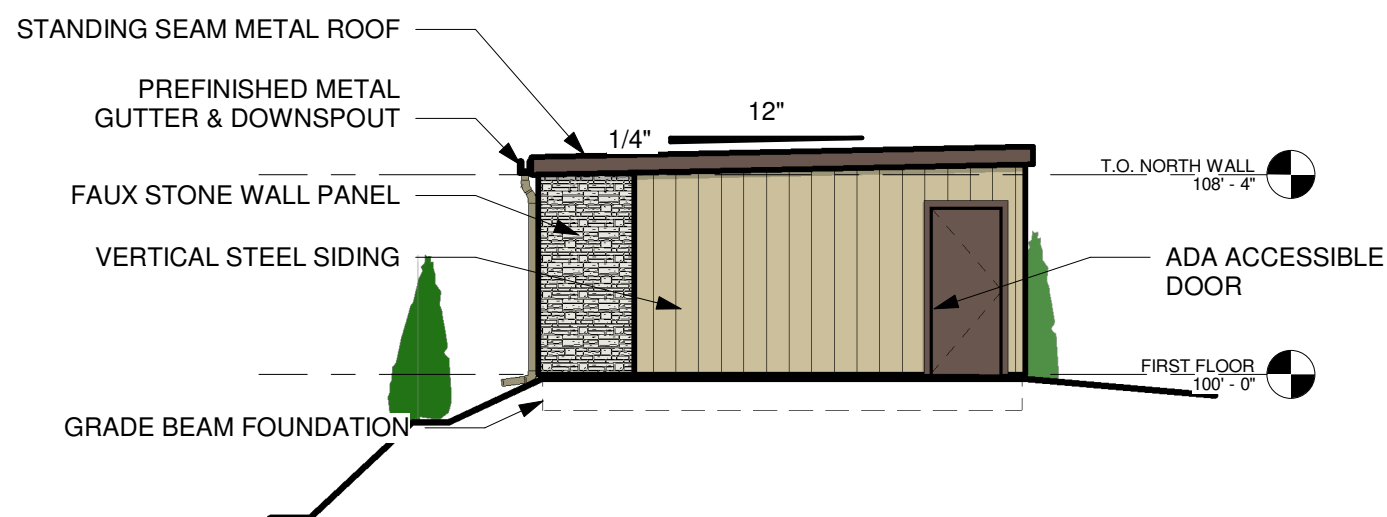


1 FLOOR PLAN - FIRST FLOOR PLAN - OPTION A
3/32" = 1'-0"

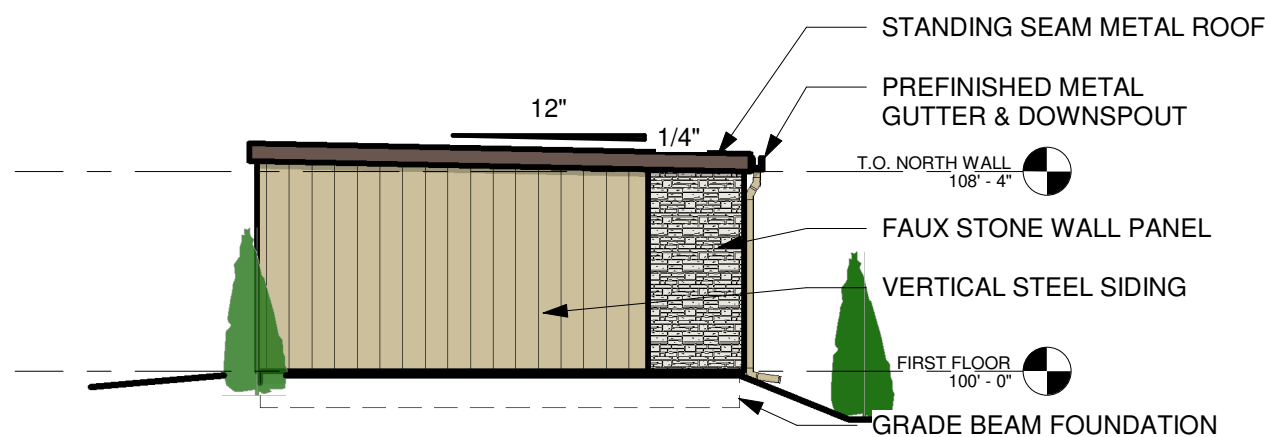


TRANSCO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



2 EXTERIOR ELEV. - WEST ELEVATION - OPTION 'A'
1/8" = 1'-0"



1 EXTERIOR ELEV. - EAST ELEVATION - OPTION 'A'
1/8" = 1'-0"

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes
7/2/18	Options

PRELIMINARY PLANS

EXTERIOR ELEVATIONS - OPTION 'A'

ISSUE DATE: 5/18/18

DRAWN BY: JA

CHECKED BY: EJ

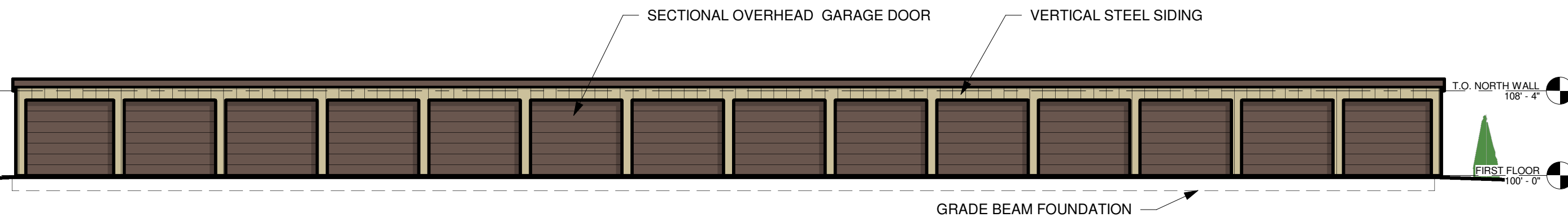
PROJECT #: 18-039

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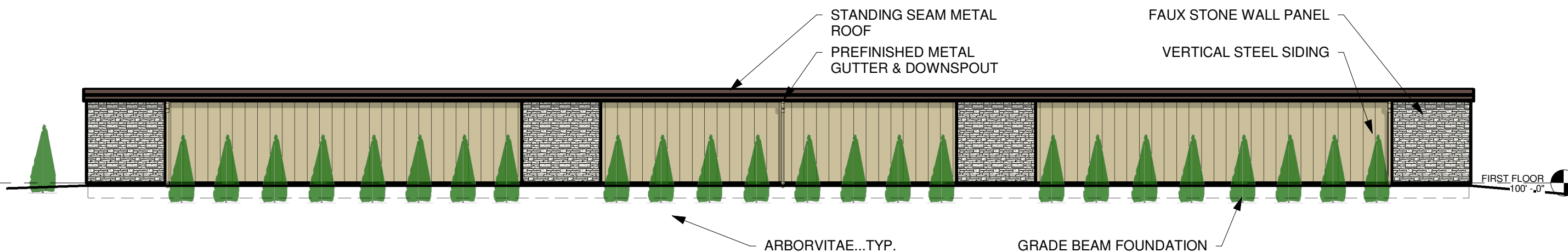
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TRANSCO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



2 FLOOR PLAN - SOUTH ELEVATION
3/32" = 1'-0"



1 EXTERIOR ELEV. - NORTH ELEVATION
3/32" = 1'-0"

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes
7/2/18	Options

PRELIMINARY PLANS

EXTERIOR ELEVATIONS - OPTION 'A'

ISSUE DATE: 5/18/18
DRAWN BY: JA
CHECKED BY: EJ
PROJECT #: 18-039

A202

SCALE: 3/32" = 1'-0"



TRANSPO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes
7/2/18	Options

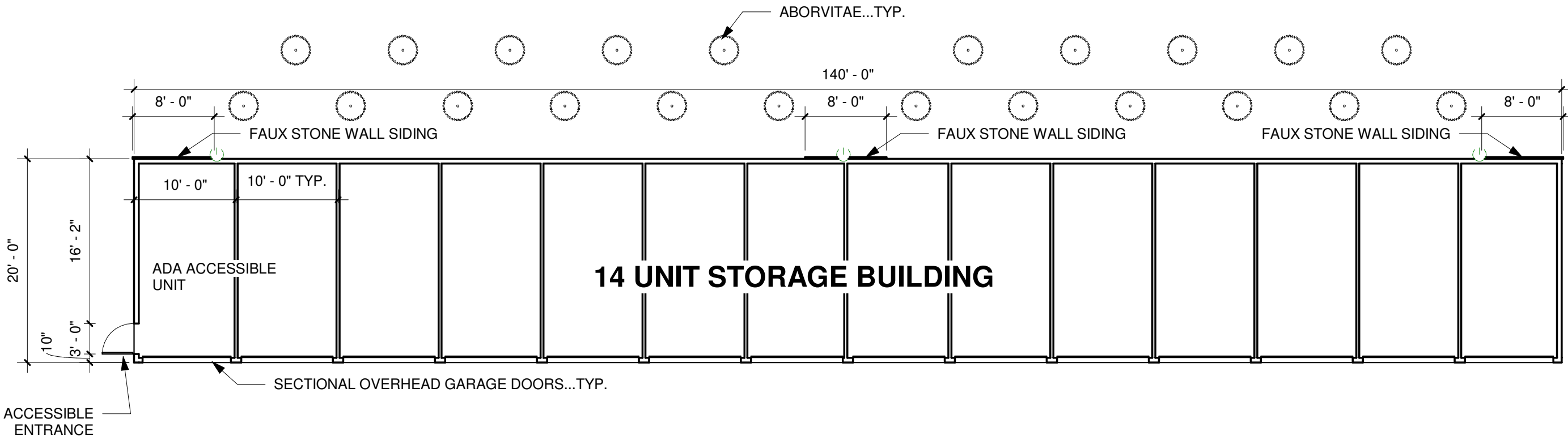
PRELIMINARY PLANS

1ST FLOOR PLAN - OPTION 'B'

ISSUE DATE: 5/18/18
DRAWN BY: JA
CHECKED BY: EJ
PROJECT #: 18-039

A101

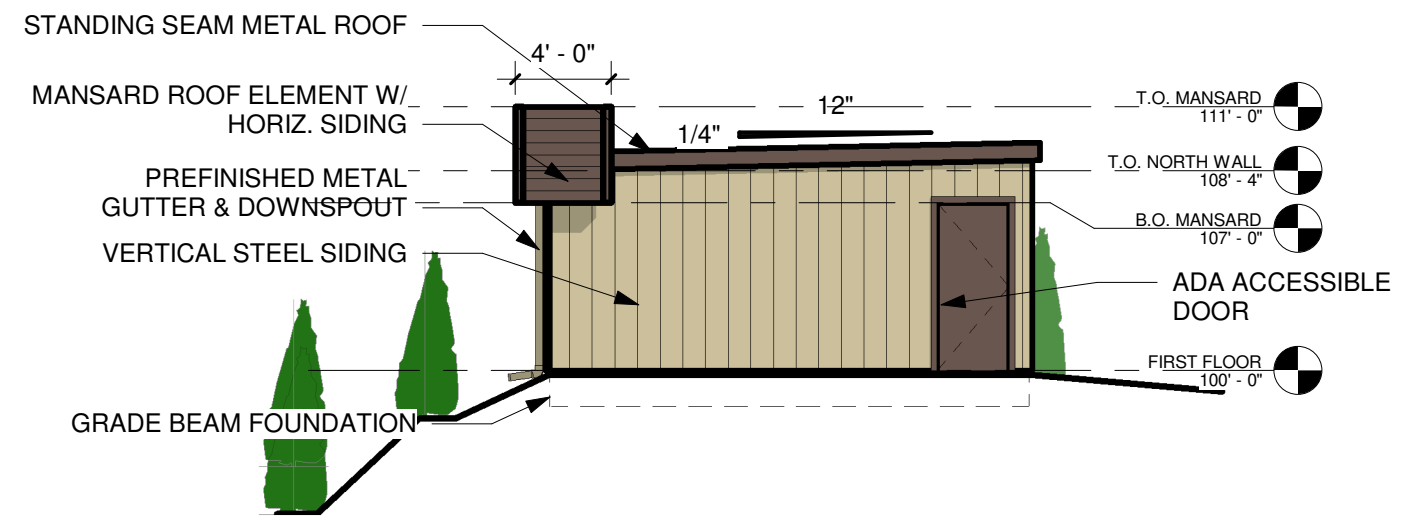
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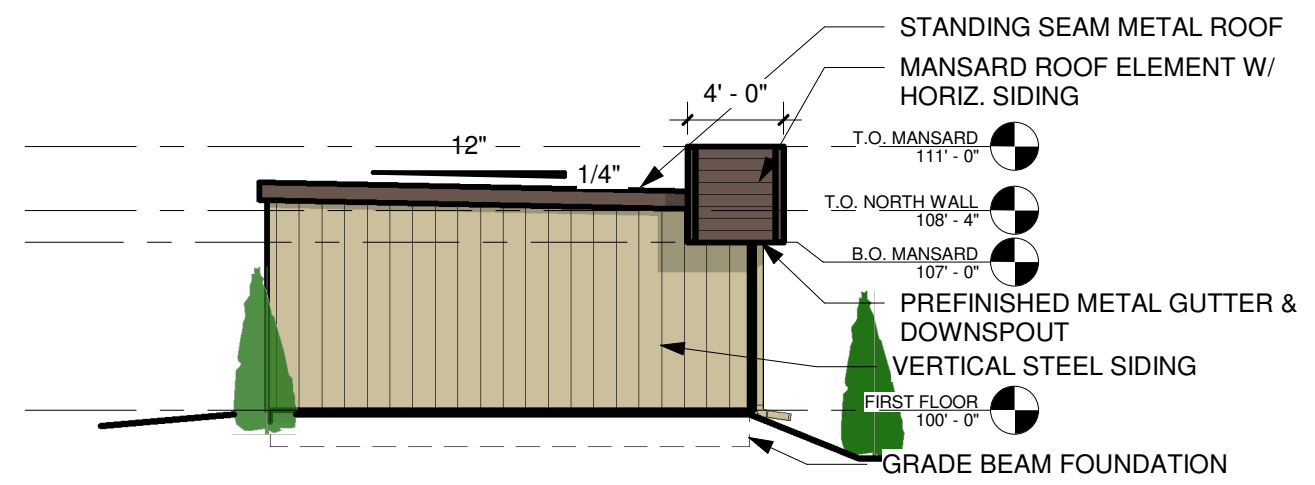
1 FLOOR PLAN - FIRST FLOOR PLAN - OPTION 'B'
3/32" = 1'-0"

TRANSCO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



2 EXTERIOR ELEV. - WEST ELEVATION - OPTION 'B'
1/8" = 1'-0"



1 EXTERIOR ELEV. - EAST ELEVATION - OPTION 'B'
1/8" = 1'-0"

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes
7/2/18	Options

PRELIMINARY PLANS

EXTERIOR ELEVATIONS - OPTION 'B'

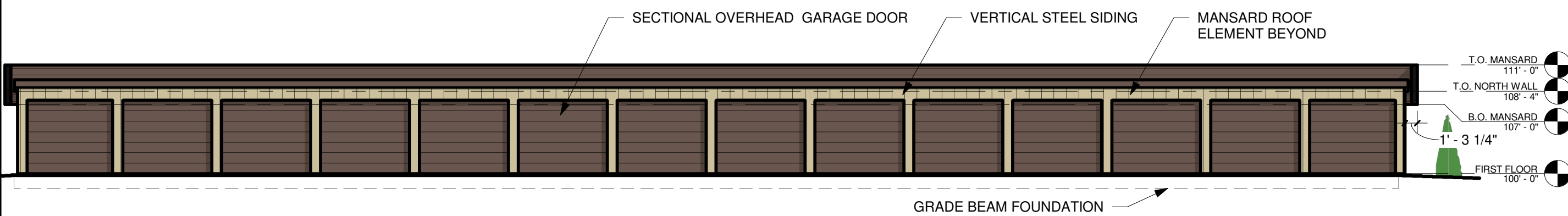
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PROJECT #: 18-039

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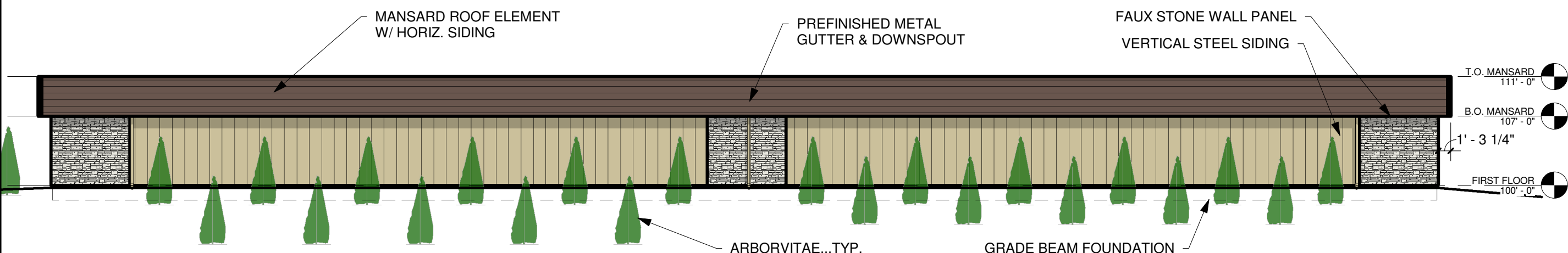
SCALE: 1/8" = 1'-0"

TRANSPO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



2 FLOOR PLAN - SOUTH ELEVATION - OPTION 'B'
3/32" = 1'-0"



1 EXTERIOR ELEV. - NORTH ELEVATION - OPTION 'B'
3/32" = 1'-0"

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes
7/2/18	Options

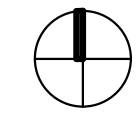
PRELIMINARY PLANS

EXTERIOR ELEVATIONS - OPTION 'B'

ISSUE DATE: 5/18/18
DRAWN BY: JA
CHECKED BY: EJ
PROJECT #: 18-039

A202

SCALE: 3/32" = 1'-0"



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TRANSPO MINI-STORAGE

NEW BUILDING
 3515 SUPERIOR AVENUE
 SHEBOYGAN, WI 53081

REVISIONS

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5/30/18	Elevs. & Bushes
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7/2/18	Options

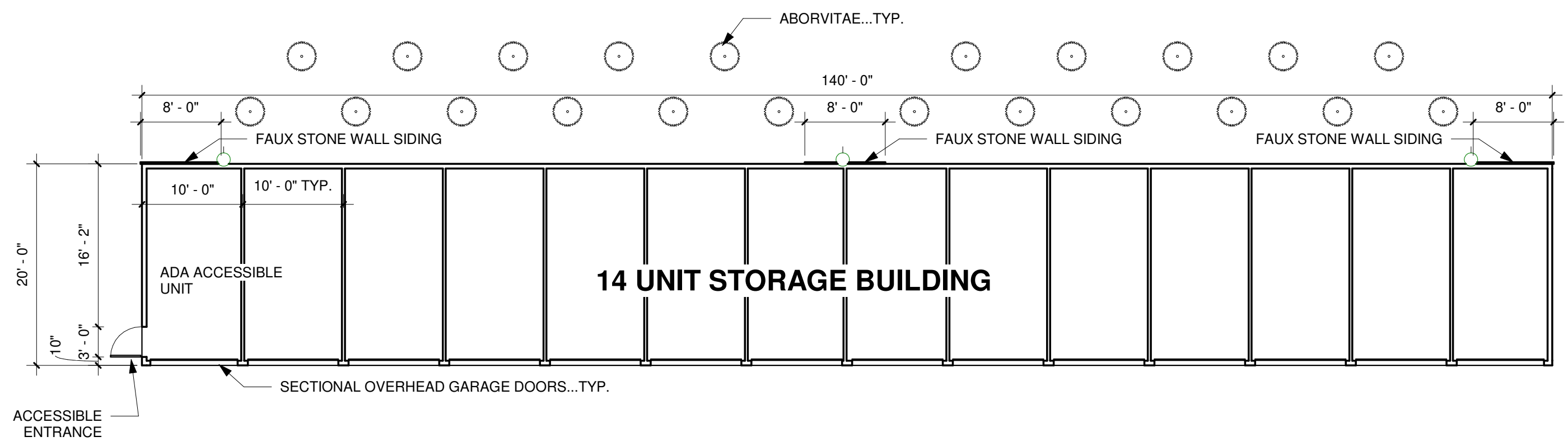
PRELIMINARY PLANS

1ST FLOOR PLAN - OPTION 'C'

ISSUE DATE: 5/18/18
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 CHECKED BY: EJ
 PROJECT #: 18-039

A101

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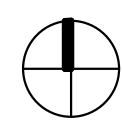


1 FLOOR PLAN - FIRST FLOOR PLAN - OPTION 'C'
3/32" = 1'-0"

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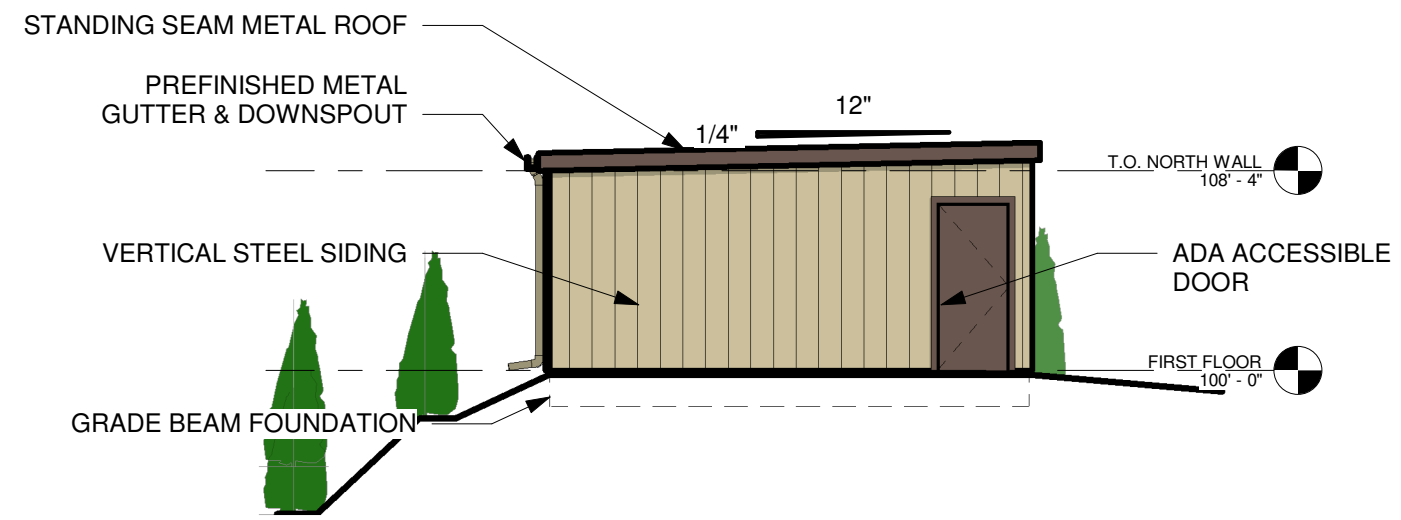


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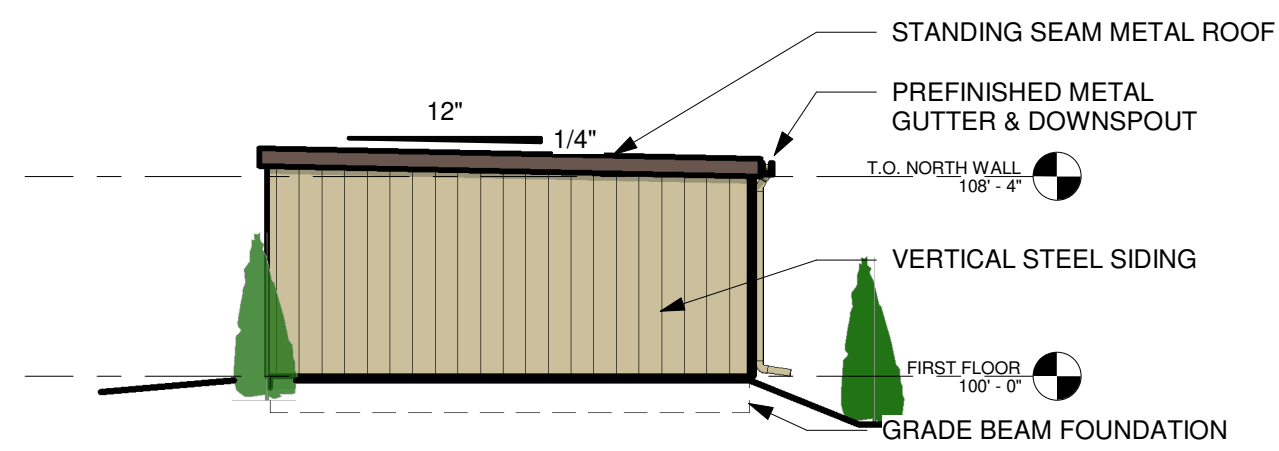
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TRANSCO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



2 EXTERIOR ELEV. - WEST ELEVATION - OPTION 'C'
1/8" = 1'-0"



1 EXTERIOR ELEV. - EAST ELEVATION - OPTION 'C'
1/8" = 1'-0"

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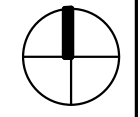
PRELIMINARY PLANS

EXTERIOR ELEVATIONS - OPTION 'C'

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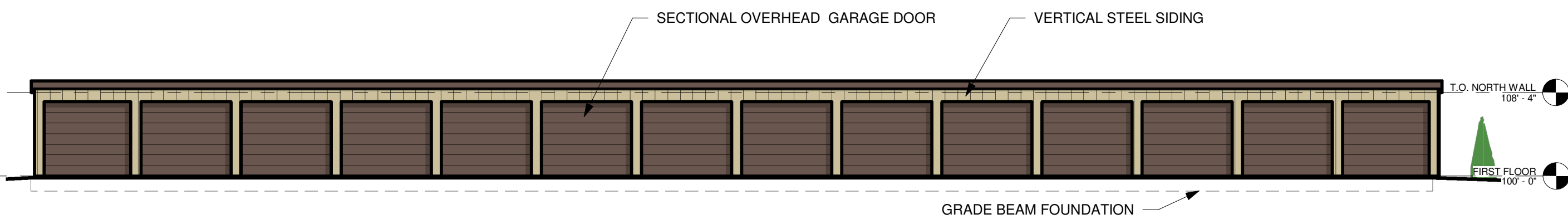
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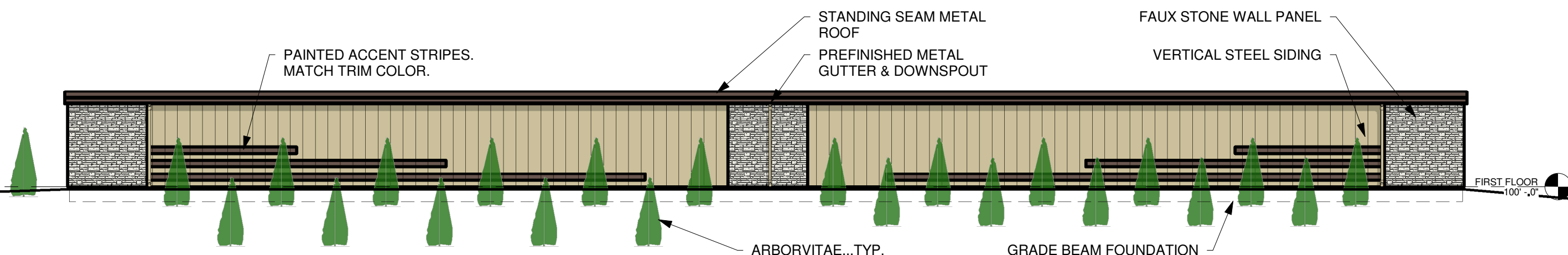


TRANSCO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



2 FLOOR PLAN - SOUTH ELEVATION - OPTION 'C'
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1 EXTERIOR ELEV. - NORTH ELEVATION - OPTION 'C'
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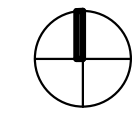
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CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: New Transpo Mini-Storage building at 3515 Superior Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 22, 2018

MEETING DATE: June 25, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Ron Becker is proposing to construct another 14 unit storage building at the Transpo Mini-Storage located at 3515 Superior Avenue. The applicant states:

- Transpo Mini-Storage presently has four (4) buildings on the site holding 164 storage units. They range in size from 50sf (5 x 10) to 200sf (10 x 20). 10 of the units are temperature controlled.
- Transpo Mini-Storage is proposing to add a 5th building which will be 2,800sf (20 x 140). The building will provide fourteen 200sf (10 x 20) storage units. The new building will be consistent with the appearance of the existing facility. The building is to be located on the north end of the site parallel to Superior Avenue.
- The new building will feature faux stone wall panels in the middle and on the east and west ends of the north elevation. Vertical, tan, metal siding will provide the make-up of the remaining wall surfaces. A dark brown metal coping, trim, and gutters will provide accent to the building while tan downspouts on the north elevation will help break up the horizontality of the building. A standing seam metal roof will slope to the south.

STAFF COMMENTS:

As the Plan Commission is aware, this section of Superior Avenue has been redeveloping very nicely from an architectural design and materials perspective. City Staff, the Plan Commission and the Architectural Review Board have been requiring well designed structures in this area of Superior Avenue. Most of these buildings are brick or have some

type of brick component to them. In addition, there are residences across the street that will be looking at this new mini-storage building every day.

Staff's biggest concern with the Transpo Mini-Storage project is with the proposed architectural design which is a very basic industrial design which is not compatible with the existing commercial and residential development along Superior Avenue. Staff informed the applicant about these design concerns on several occasions. Based on those discussions, the applicant has made some very minor modifications. However, is staff's opinion that the present building design is neither consistent nor compatible with the architectural design of the buildings in this Superior Avenue commercial and residential neighborhood.

In addition, there is a significant amount of existing landscaping that presently does a nice job screening the mini-storage units from Superior Avenue. However, most of the landscaping that provides the screening will need to be removed in order to construct the building as proposed. It does appear that the applicant is proposing quite a bit of landscaping between the building and Superior Avenue in order to visually screen the building from Superior Avenue but this landscaping will take several years to grow to maturity. Therefore, the proposed building will now be very visible because the existing landscaping will be removed and because it sits on top of a hill that overlooks Superior Avenue(site is much higher than the road)..

The proposed mini storage structure will be closer to the street then virtually all other buildings located along the south side of Superior Avenue. You will begin to see the structure from Taylor and Superior to the east and just after the roundabout to the west. This will be a very visible structure.

Building Elevation Comments:

North Elevation – There is too much metal on this building elevation which gives it an industrial appearance/feel in this commercial/residential neighborhood. The metal should be more of an accent and not the main material. It appears that the applicant could draw on adjacent buildings for design elements that could be incorporated into this new building (brick, smartsiding, etc.).

This is a long/low building that needs better design to break-up the length of the 140 foot long mass of wall. This elevation needs to be given appropriate architectural detailing along this very visible Superior Avenue street frontage.

The applicant could add additional vertical "elements" to help reduce the perceived length of the façade including but not limited to introducing additional downspouts, columns, etc.

The roof is also going to be a defining element and maybe introducing some sort of breaks in the roof-line could be visually appealing.

South Elevation – Very basic design that faces that faces the interior of the Transpo property.

East Elevation – Very basic design that faces commercial properties to the east. Appears that the applicant should wrap the stone around the northeast corner of the building.

West Elevation – Very basic design that faces commercial properties to the west. Appears that the applicant should wrap the stone around the northwest corner of the building.

Other ideas:

- Is there an opportunity to incorporate signage along the building?
- A tower-element of some sort (possibly including signage) could become a nice architectural feature to break-up the long façade.
- Introducing breaks in the roof-line could be visually appealing.

ACTION REQUESTED:

Staff would recommend that the applicant submit revised drawings that provide additional architectural design to this new building.

ATTACHMENTS:

Architectural Review Board Application and required attachments.



PARCEL NO.: 215822
MAP NO.: _____
ZONING CLASSIFICATION: UC

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 6/25/18

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised January 2014

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: TRANSPo MINI STORAGE, INC
ADDRESS: 1209 S 11TH ST, SHEBOYGAN, WI 53081
E-MAIL ADDRESS: TRANSPo.mini@HOTMAIL.COM
PHONE: (920) 457-1155 FAX NO.: (920) 457-0527

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: TRANSPo MINI STORAGE, INC

ADDRESS OF PROPERTY AFFECTED: 3515 SUPERIOR AVE.

NEW BUILDING: ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: BUILD A 20'X140' BUILDING TO HOUSE 14-10'X20' STORAGE UNITS

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: CURRENT 4 BUILDINGS ARE METAL CONSTRUCTION

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: MATCH THE EXISTING 4 BUILDINGS

CONDITIONAL USE PERMIT

- PREVIOUS USE OF THE EXISTING BUILDING OR USE is self storage. We currently have 4 buildings on the site holding 164 storage units. They range in size from 5 x 10' to 10 x 20'. 10 of the units are temperature controlled.
- THE PROPOSED OPERATION. We propose adding a 5th building, which will be 20' x 140'. The building will hold 14 – 10 x 20' storage units. Our office will continue to be at 1209 S. 11th St. We will meet tenants as necessary, but will continue to use the current office. Parking will continue in the current configuration. There will not be any additional signage or driveways. We don't anticipate having more than 1 or 2 additional vehicles per day entering the facility. The current site is satisfactorily served by utilities or public agencies.
- WHY ADDITIONAL SELF STORAGE BUILDING IS PROPOSED. Storage continues to be in high demand. The 2 main reasons are the increase in home sales and the large increase in apartments. We currently draw customers from Village Green and Mapledale in addition to the new developments in and near the downtown area. We have 5 locations and the Superior Ave. is always virtually full.
- EXPLANATION OF OUR BUSINESS. We currently operate 767 storage units at our other 4 locations. We have cameras for monitoring activity. In addition we do daily walk-throughs. We don't allow any outside parking. The storage units are used primarily for household goods. We do have some business clients, but the vast majority are storing household goods.
- DAYS/HOURS OF OPERATION. The facility is open 24 x 7 and will continue to be so. To the best of our knowledge, that has not been an issue. We anticipate 1 additional vehicle per day.
- NUMBER OF EMPLOYEES. We currently have 4 employees, and don't anticipate that changing.
- NO NUISANCE. Will patrol the area on a daily basis. We don't allow waste or outdoor storage. Likewise, we don't allow outside storage of vehicles or equipment. Any debris or junk that is left will be picked up daily. There should not be any noise.
- FENCING AND LANDSCAPING. We will submit a landscaping plan to be approved by the city.
- PARKING SPACES will be the current space.
- ACCESS No additional driveways are requested.
- CURRENT SIGNAGE IS SATISFACTORY. No additional signage is requested.
- Clients ARE MAINLY Sheboygan residents or people moving into the area.
- COMPANY BACKGROUND. Transpo Mini Storage was formed in 1995. From that time, we have diligently run attractive well managed facilities. To the best of my knowledge, we aren't considered a nuisance in any of our locations. We will continue to see that this facility will be an asset to the area.

TRANSPO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes

PRELIMINARY PLANS

1ST FLOOR PLAN

ISSUE DATE: 5/18/18

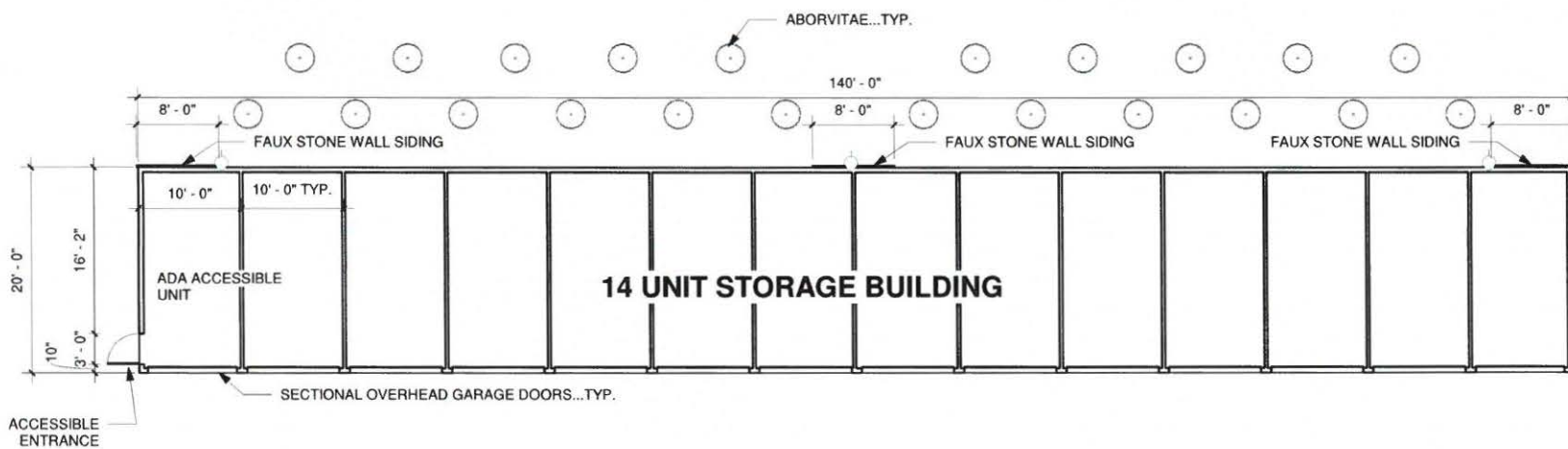
DRAWN BY: JA

CHECKED BY: E.J.

PROJECT #: 18-039

A101

SCALE: 3/32" = 1'-0"



1 FLOOR PLAN - FIRST FLOOR PLAN
3/32" = 1'-0"

THESE DOCUMENTS ARE NOT FOR CONSTRUCTION

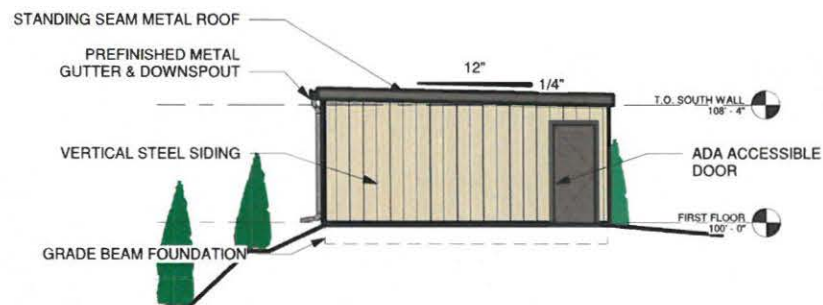
THESE DOCUMENTS ARE NOT FOR CONSTRUCTION

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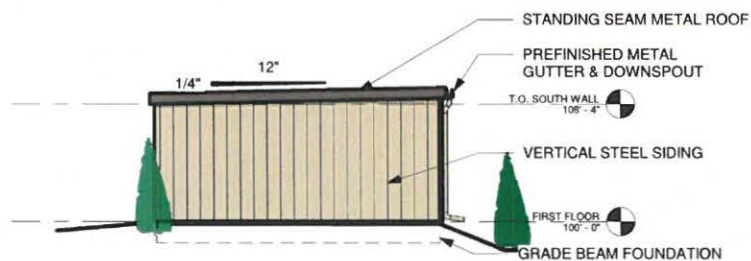


TRANSPO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



② EXTERIOR ELEV. - WEST ELEVATION
1/8" = 1'-0"



① EXTERIOR ELEV. - EAST ELEVATION
1/8" = 1'-0"

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes

PRELIMINARY
PLANS

EXTERIOR
ELEVATIONS

ISSUE DATE: 5/18/18
DRAWN BY: JA
CHECKED BY: EJ
PROJECT #: 18-039

A201

SCALE: 1/8" = 1'-0"



DISTINCTIVE DESIGN
STUDIO
215 Pine Street
Sheboygan Falls, WI 53085
Ph: (920)-395-1090

TRANSCO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes

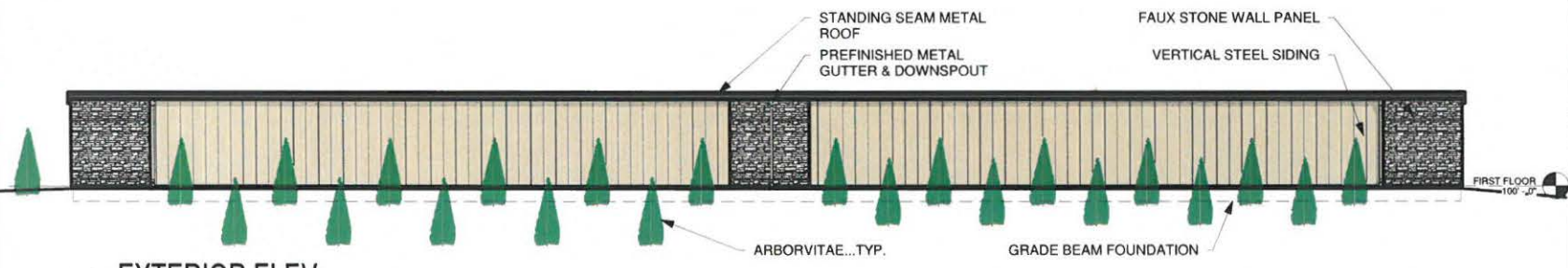
PRELIMINARY PLANS

EXTERIOR ELEVATIONS

ISSUE DATE: 5/18/18
DRAWN BY: JA
CHECKED BY: EJ
PROJECT #: 18-039
A202
SCALE: 3/32" = 1'-0"



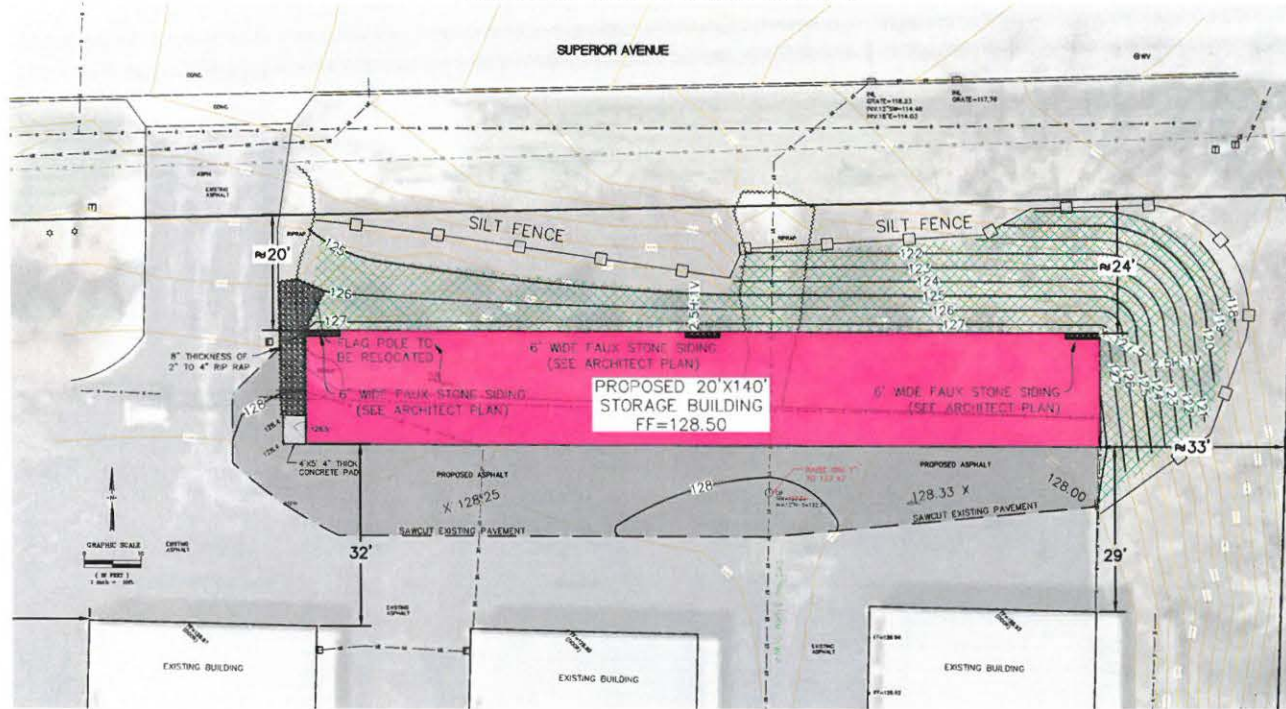
2 FLOOR PLAN - SOUTH ELEVATION
3/32" = 1'-0"



1 EXTERIOR ELEV. - NORTH ELEVATION
3/32" = 1'-0"

DISTINCTIVE DESIGN STUDIO, SHEBOYGAN, WISCONSIN, IS THE ARCHITECT OF RECORD FOR THIS PROJECT. ANY REVISIONS TO THESE DOCUMENTS SHALL BE MADE BY THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. ANY REVISIONS TO THESE DOCUMENTS SHALL BE MADE BY THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

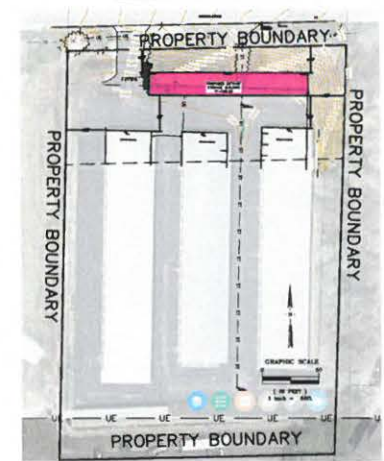
GRADING AND EROSION CONTROL PLAN VIEW



SITE LOCATION MAP



PARCEL PLAN VIEW



SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROL MEASURES AS SHOWN AND AS REQUIRED BY BMP'S.
2. CLEAR, GRUB, STRIP, AND STOCKPILE TOPSOIL.
3. PERFORM MASS GRADING.
4. INSTALL DENSE GRADED AGGREGATE BASE FOR PAVEMENTS, THEN PAVE.
5. PLACE TOPSOIL TO MEET ALL FINAL GRADES, SEED, MULCH, AND INSTALL LANDSCAPING.
6. DECOMMISSION EROSION CONTROL MEASURES ONLY AFTER ENTIRE SITE SURFACE IS STABILIZED WITH VEGETATION.

IMPLEMENTATION OF EROSION CONTROL METHODS

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DIRT CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS AND THE CITY OF SHEBOYGAN REQUIREMENTS.
2. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE D.O.T. EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION GIVEN TO THE SITE CONDITIONS.
4. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE INSTALLED BEFORE ANY GRADING WORK OR DISTURBANCE OF EXISTING SURFACE MATERIAL.
5. ALL TEMPORARY SOIL EROSION PROTECTION DEVICES SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.
6. OVERLAND SURFACE DRAINAGE SHALL BE PREVENTED FROM LEAVING THE WORK SITE BY INSTALLING EROSION CONTROL DEVICES AS SHOWN ON THE PLANS.
7. IF THERE ARE DISCREPANCIES BETWEEN THESE DETAILS AND THE ONE TECHNICAL STANDARDS FOR SEDIMENT AND EROSION CONTROL, THE MORE RESTRICTIVE REQUIREMENT SHALL BE FOLLOWED.
8. TOPSOIL, SEED, AND MULCH ANY NON-PAVED AREA WITHIN 9 WEEKS OF COMPLETION OF THE GRADING OPERATION IN THAT AREA.
9. SEED SITE WITH AN ANNUAL RYE OR PERMANENT VEGETATION AS SPECIFIED BY THE OWNER. ALL STORM WATER FACILITIES SHALL BE SEEDS WITH QUESTION BASH OR BOWMAN'S SEED MIX FROM PRAGMADIVERSITY.COM WITHIN 7 DAYS OF STOPPING OR COMPLETING WORK IN THAT AREA.
10. CLASS 1 - TYPE B EROSION CONTROL MAT SHALL BE PLACED ON ALL DISTURBED SLOPES GREATER THAN 10% AND ON THE BOTTOM OF ALL DRAINAGE DITCHES.

GENERAL NOTES

1. DIMENSIONS, WHEN SHOWN, TAKE PRECEDENCE OVER SCALE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
2. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE SERVICE FOR THE LOCATION AND STAGING OF EXISTING UNDERGROUND UTILITIES AT 1-800-742-8511. 2 WORKING DAYS PRIOR TO DIGGING, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL OF THE UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
3. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
4. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE ORDINANCES AND REQUIREMENTS OF THE CITY OF SHEBOYGAN AND THE STATE OF WISCONSIN DOT, COPS, AND DMV REQUIREMENTS AND PER THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, CURRENT EDITION.
5. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS APPROVED BY THE CITY OF SHEBOYGAN FOLLOWING PRIOR CONSTRUCTION TECHNIQUES.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND IS TO COMPARE THE SITE CONDITIONS TO THOSE SHOWN ON THE ENGINEERING PLANS. ANY DISCREPANCIES ARE TO BE AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
7. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ON THE PLANS BECOME APPARENT DURING CONSTRUCTION, PROVIDE IMMEDIATE NOTIFICATION.
8. THE CONTRACTOR SHALL VERIFY THE GRADE AND LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. RELATED WORK SHALL NOT COMMENCE UNTIL ANY DISCREPANCY IS RESOLVED.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH AS-BUILT INFORMATION OF THE IMPROVEMENTS.
10. THE CONTRACTOR SHALL INSTALL A RECDERBAR FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
11. THE RESTORATION OF EXISTING IMPROVEMENTS WHICH ARE DAMAGED DURING CONSTRUCTION, IS CONSIDERED INCIDENTAL WORK, AND ALL OTHER FEES REQUIRED FOR THE PROPOSED WORK TO BE DONE AND IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED IMPROVEMENTS AND FOR REPORTING ANY DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS FOR THE PROJECT.
13. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR THE PROPOSED WORK TO BE DONE AND IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
15. ANY EXISTING SANITARY SEWER, SANITARY SEWER LATERALS, WATER MAIN, WATER SERVICES, STORM SEWER, STORM SEWER LATERALS OR OTHER EXISTING UTILITIES WHICH ARE DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED TO THE UTILITY OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.

ASPHALT PAVEMENT

1. PREPARATION OF THE SURFACE AND FLEXIBLE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION GRANULAR BASE COURSE SHALL CONSIST OF CRUSHED STONE CONFORMING TO MOOT '86' GRADATION SECTION 305, COMPACTED TO AT LEAST 90% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY.
2. ASPHALTIC BINDER AND SURFACE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 315 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION. SURFACE MIX SHALL CONSIST OF A 1.5" 50-28.5" BINDER MIX SHALL CONSIST OF 1.5" 50-28.5".

LAYER THICKNESS

ASPHALT PAVEMENT SURFACE COURSE	1 1/2 INCHES
BINDER COURSE	2 INCHES
GRANULAR BASE COURSE	8 1/2 INCHES

SEAL ALL JOINTS BETWEEN ASPHALT AND CONCRETE PAVEMENT AND WALKS.

GRADING NOTES

1. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED SHALL BE STOCKPILED ON SITE AND SHALL BE USED IN THE FINISH GRADING OF THE AREAS TO BE SEEDS AT THE COMPLETION OF GRADING. THE FINISH GRADE SHALL INCLUDE 4" OF TOPSOIL. REMOVAL OF ANY EXCESS TOPSOIL FROM THE SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
2. IN PAVEMENT AREAS, REMOVE AND REPLACE ANY SOILS THAT HAVE BEEN SOFTENED BY RAIN, FREEZING, CONSTRUCTION EQUIPMENT, ETC. REPLACE WITH COMPACTED CONTROLLED FILL.
3. BEFORE PAVEMENT BASE COURSE MATERIALS ARE PLACED, THE SUBGRADE SHALL BE PROOF-ROLLED TO LOCATE ANY UNSTABLE AREAS WHICH SHALL BE REMOVE AND REPLACED WITH COMPACTED FILL.
4. ALL FILL SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 6" THICKNESS TO AT LEAST 90% OF THE STANDARD PROCTOR (ASTM D998) MAXIMUM DRY DENSITY. THE CLAY FILL SHALL BE COMPACTED AND MAINTAINED WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT UNTIL COVERED WITH AGGREGATE BASE.
5. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, INSTALLING, AND MAINTAINING THE EROSION CONTROL MEASURES SHOWN ON THE PLANS.
6. UNLESS OTHERWISE SHOWN ON THE PLANS, THE MAXIMUM ALLOWABLE GRADED SLOPE SHALL BE 3:1.
7. PROPOSED CONTOURS AND "SPOT" ELEVATIONS SHOWN HEREON INDICATE FINISH GRADE UPON COMPLETION OF THE PROJECT.
8. CONTRACTOR SHALL MEET EXISTING GRADE AT THE LIMITS OF THE PROPOSED CONTOURS AS SHOWN ON THESE PLANS.
9. SEEDING PREPARATION SHALL IMMEDIATELY FOLLOW CONSTRUCTION ACTIVITIES. PREPARE A FINE, FIRM SEEDBED TO A MINIMUM 3-INCH DEPTH. THE SUCCESS OF THIS SEEDING DEPENDS ON A PROPER SEEDBED. REFER TO LANDSCAPE PLAN FOR LAWN AND BOUTER BED SEED MIXES. PLANT ACCORDING TO SUPPLIER'S RECOMMENDATIONS.

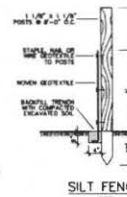


CLASS 1, TYPE B EROSION CONTROL MAT



CALL DIGGER'S HOTLINE
TOLL FREE
1-800-742-8511
100 DOW CENTER DRIVE
SHEBOYGAN, WI 53081

ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON FIELD NOTES OF OTHER ENGINEERS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR THE PROPOSED WORK TO BE DONE AND IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.



SILT FENCE CONSTRUCTION SPECIFICATIONS

1. PLACE SILT FENCE AROUND DISTURBED AREAS AS SHOWN ON THE PLANS.
2. THE GEOTEXTILE SHALL BE ATTACHED TO THE UPPER SIDE OF THE FENCE WITH WIRE STAPLES OR WOODEN LATHS AND NAILS.
3. WOOD JOISTS ARE NECESSARY, OVERLAP THE GEOTEXTILE AT A JOINT.
4. THE GEOTEXTILE SHALL BE WOVEN POLYESTER, POLYPROPYLENE, STABILIZED WOVEN POLYESTER, OR POLYPROPYLENE, CHLORIDE AND SHALL MEET THE ONE TECHNICAL STANDARDS REQUIREMENTS.
5. THE GEOTEXTILE SHALL BE CHECKED AT THE BOTTOM BY SPREADING AT LEAST 1" OF IT IN A 4" DEEP TRENCH AND BACKFILLING.
6. POSTS TO BE 1 1/2" X 1 1/2" OAK, HOLLOW OR STEEL, FROM 12' LONG AND SPACED A MAXIMUM OF 6' APART.

SHEET NO.
1
2

DESCRIPTION
EROSION CONTROL AND GRADING PLAN
LANDSCAPE PLAN

INDEX TO DRAWINGS

EROSION CONTROL AND GRADING PLAN

5208 S. 17th Street
Sheboygan, WI 53081-8099
Phone 920-458-6164
Fax 920-458-0384
www.millerengineers.com

MILLER
ENGINEERS
SCIENTISTS

JOS. SCHMITT CONSTRUCTION
TRANSPO MINI-STORAGE ADDITION
3515 SUPERIOR AVENUE
SHEBOYGAN, WISCONSIN

SCALE
HOR. 1" = 10'
VER. N/A
DATE
8-7-18
JOB
20583-6
BY
BRW
CHK
RCW
SHEET
1
OF
2



**TRANSPO
MINI-STORAGE**

Clean, Safe Storage for Your Goods

920-457-1155 • www.transpomini.com

Office: 1209 S. 11th St.







WALL AND TRIM COLORS



ICED WHITE



CLASSIC BEIGE



CREAM BEIGE



LIGHT STONE



SLATE GRAY

Light Stone now available in R-panel roof.

DOOR AND TRIM COLORS

*Not available in trim.



ICED WHITE



BRIGHT WHITE*



SHALE



DESERT TAN



CONTINENTAL BROWN



EVERGREEN



SUNSET ORANGE



ROYAL BLUE



POLAR BLUE



MATTE BLACK



GARNET



PATRIOT RED*



CEDAR RED

STANDING SEAM ROOF COLORS

Other premium colors are available. Contact Trachte for pricing and availability.



GALVALUME
Standard roof finish.



REGAL WHITE
Closest match to Iced White.



HARBOR/REGAL BLUE
Closest match to Royal Blue.



PATRICIAN BRONZE



SURREY BEIGE
Closest match to Classic Beige.



COLONIAL RED
Closest match to Cedar Red.



ROMAN BLUE
Closest match to Polar Blue.



EVERGREEN

R-PANEL ROOF COLORS



GALVALUME
Standard roof finish.



ICED WHITE



CLASSIC BEIGE



CREAM BEIGE



SLATE GRAY



CEDAR RED



ROYAL BLUE



EVERGREEN

Note: Colors shown are printed samples on paper. Colors vary from actual material. For an accurate color sample, please contact Trachte Building Systems at 800-356-5824.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a new park maintenance building at Deland Park at 901 Broughton Drive.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: July 13, 2018

MEETING DATE: July 16, 2018

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The City of Sheboygan is proposing to construct a new park maintenance building at Deland Park located at 901 Broughton Drive. The applicant states the following:

- Deland Park is owned by the city and maintained by the Parks Department under the guidance of the Department of Public Works. The proposed building site area is currently a grass berm landscape area between the Deland parking lot and the tennis courts. The vegetation consists of older overgrown Austrian Pines that are to be removed and one (1) nice evergreen tree that it is too large to transplant. Other than its use as a landscape buffer, there is little useable space in this area for the park.
- Currently, there are two (2) full time lakefront caretakers and two (2) seasonal employees who maintain all city owned lakefront property from the North Avenue overlook to King Park. The Armory is currently being used for storage of the lakefront parks maintenance equipment (just the south basement area), however, it is likely the Armory will be used by a new owner and/or may be demolished in the near future.
- Equipment kept at the lakefront includes two (2) trucks, a tool cat, a mule, three (3) zero turn mowers, four (4) push mowers, 10 trimmers, four (4) leaf blowers, 30 rakes and shovels, bathroom and cleaning supplies for 12 restrooms, two (2) fish cleaning stations and five (5) shelters. During lakefront events, additional equipment is stored at the lakefront for expediency. The department would need to purchase additional trailers for transporting equipment from the Municipal Service Building without a building close to the lakefront.
- The 2016-2020 Comprehensive Outdoor Recreation Plan references a new park

maintenance building located close to the lakefront. Department staff looked at all city owned property along the lakefront and determined that this proposed area offers the best location because it will cause the least amount of park disturbance and saves hours of travel time each week by providing needed equipment storage and maintenance capabilities along these lakefront parks.

- The new park maintenance building is approximately 1,800sf (32 x 56). The building will be constructed with two (2) courses of 24 x 12 inch split face block (mortar color), LP SmartTrim 6 inch lap siding (diamond coat pelican color) and the roof will be a 12 inch standing seam metal (Firestone Uni-Clad Regal Red). There will be three (3) white aluminum overhead doors and two (2) red stained commercial quality steel entry doors. The proposed building is designed to blend in with surrounding lakefront buildings including, SEAS, the marina, etc.
- The Department of Public Works would also like to keep the existing small storage building and dumpster and build the new maintenance facility adjacent to it.

Site improvements include:

- A significant amount of landscaping (grass, trees, etc.) and dirt will need to be removed in order to construct the building as proposed.
- There will be two (2) driveways – one towards the Deland parking lot (east side of building) and one towards the pathway that leads from Broughton Drive to the Deland parking lot (north side of the building).
- New concrete driveways, curb and gutter.

STAFF COMMENTS:

- There appears to be quite a large berm where the structure is proposed to be located – how much soil needs to be removed from the site, where is the soil being removed to and will retaining walls be required for this construction? If so, what will the retaining walls be designed like (materials, colors, etc.).
- What are the plans for the existing shelter and dumpster enclosure? It appears the dumpster could be tied into better with the current design and construction of the maintenance building.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
 Revised May 2018

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: ___ City of Sheboygan, DPW _____

ADDRESS: _____ 2026 New Jersey Ave., Sheboygan, WI 53081 _____

E-MAIL ADDRESS: ___ joe.kerlin@sheboyganwi.gov _____

PHONE: ___ (920) 920-3459 _____ FAX NO.: ___ (920) 459-3443 _____

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: ___ Deland Maintenance Building _____

ADDRESS OF PROPERTY AFFECTED: ___ 901 Broughton Drive _____

NEW BUILDING: ___ X ___ ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT:

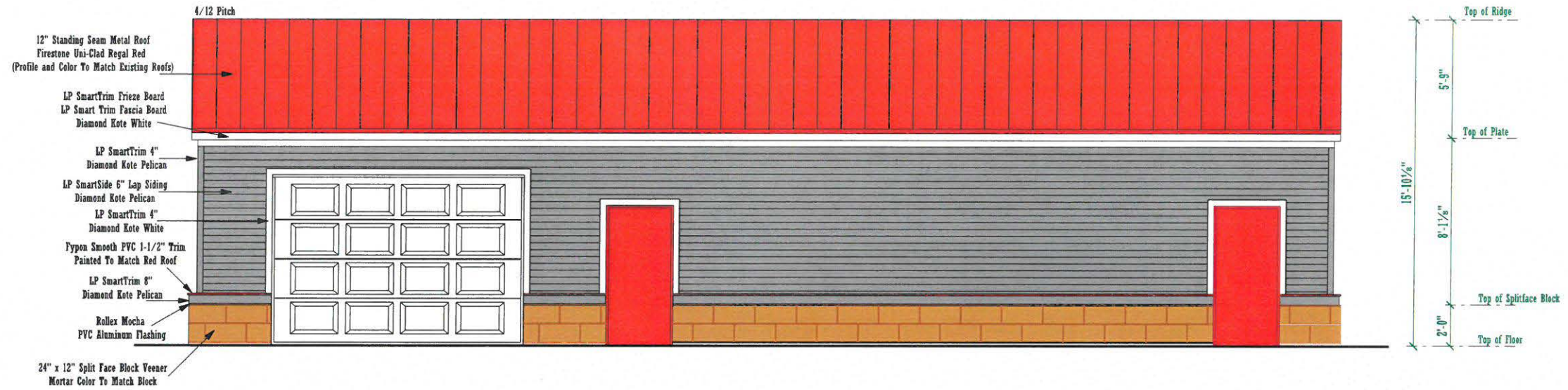
The Department of Public Works is proposing to build a 32' x 56' Park Maintenance Building that two full time parks employees and two seasonal employees will be stationed from.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: N/A

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS:

The proposed building is 32' x 56'. It is the intent of this building to blend with the surrounding lakefront buildings including the Marina and SEAS buildings. It will be constructed with two courses of 24" x 12" Split Face Block "Veener, Motar color base, 2" x 6" studded walls covered with LP SmartTrim 6" Lap Siding, Diamond

NOTICE:
Although every effort has been made in designing and preparing these plans and checking them for accuracy, the installer, owner, or contractor must check all details and dimensions and be responsible for any changes or adjustments required during actual construction. The installer is also responsible to follow all state and local codes.



EAST ELEVATION
SCALE: 1/4" = 1'



NORTH ELEVATION
SCALE: 1/4" = 1'

NOTICE:
THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF THE CITY OF SHEBOYGAN. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF:
OOSTBURG LUMBER COMPANY, INC.

Oostburg Lumber Company, Inc.
1218 Center Avenue P.O. Box 100258
Oostburg, WI 53070-0258
920-564-2378

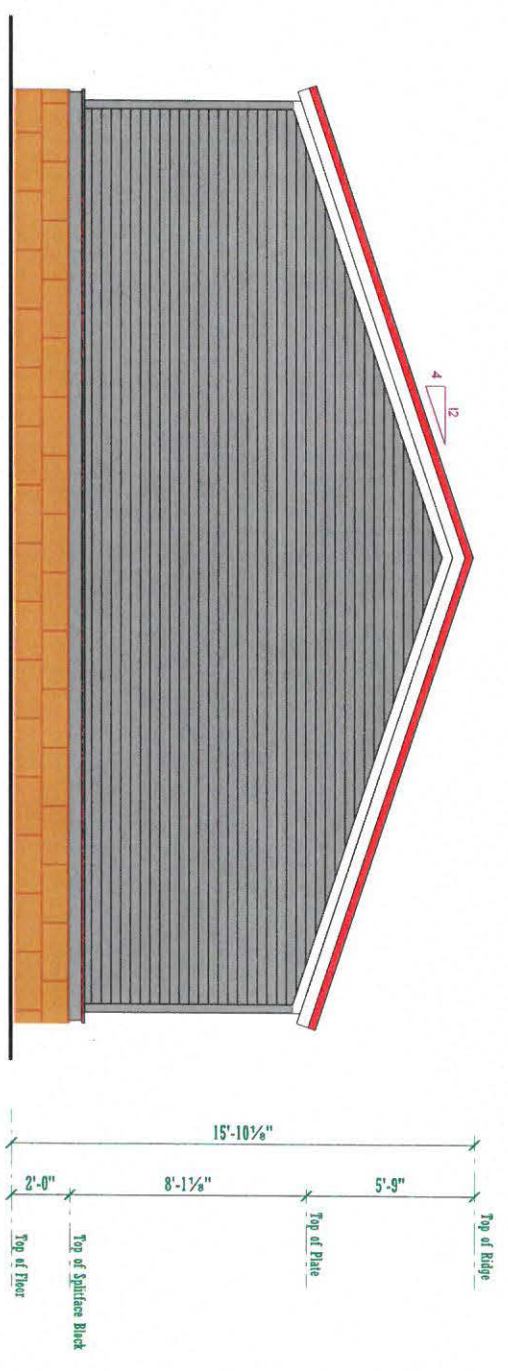
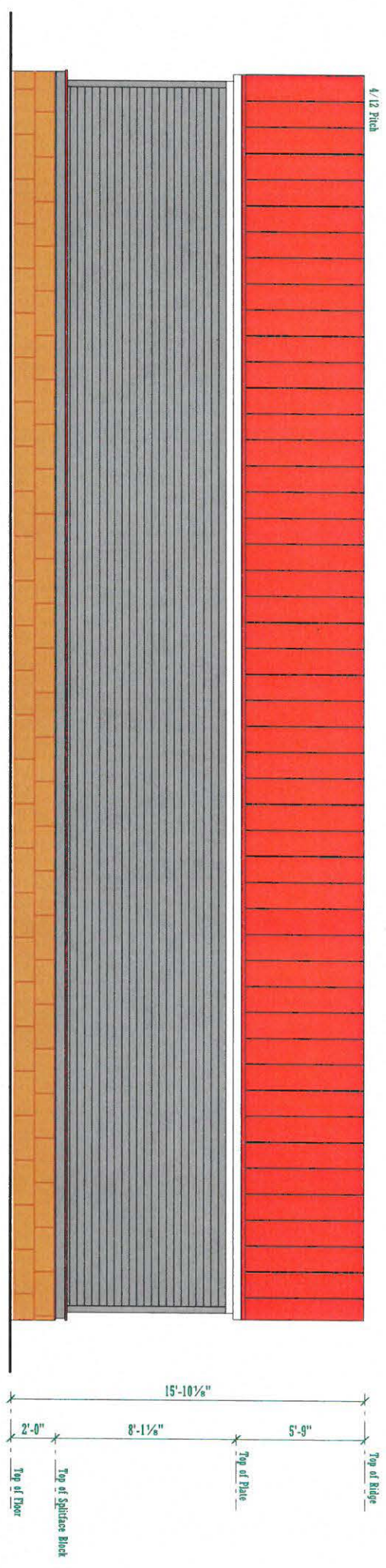
PROJECT FOR:
City of Sheboygan
Department of Public Works

DATE: 5/23/2018
REV. DATE: 6/10/2018
REV. DATE: 6/12/2018
REV. DATE:
REV. DATE:
REV. DATE:

Page: **1** of **4**
Drawn by: A. H.
Checked by: L.M.

CONCEPT PLANS
NOT FOR CONSTRUCTION

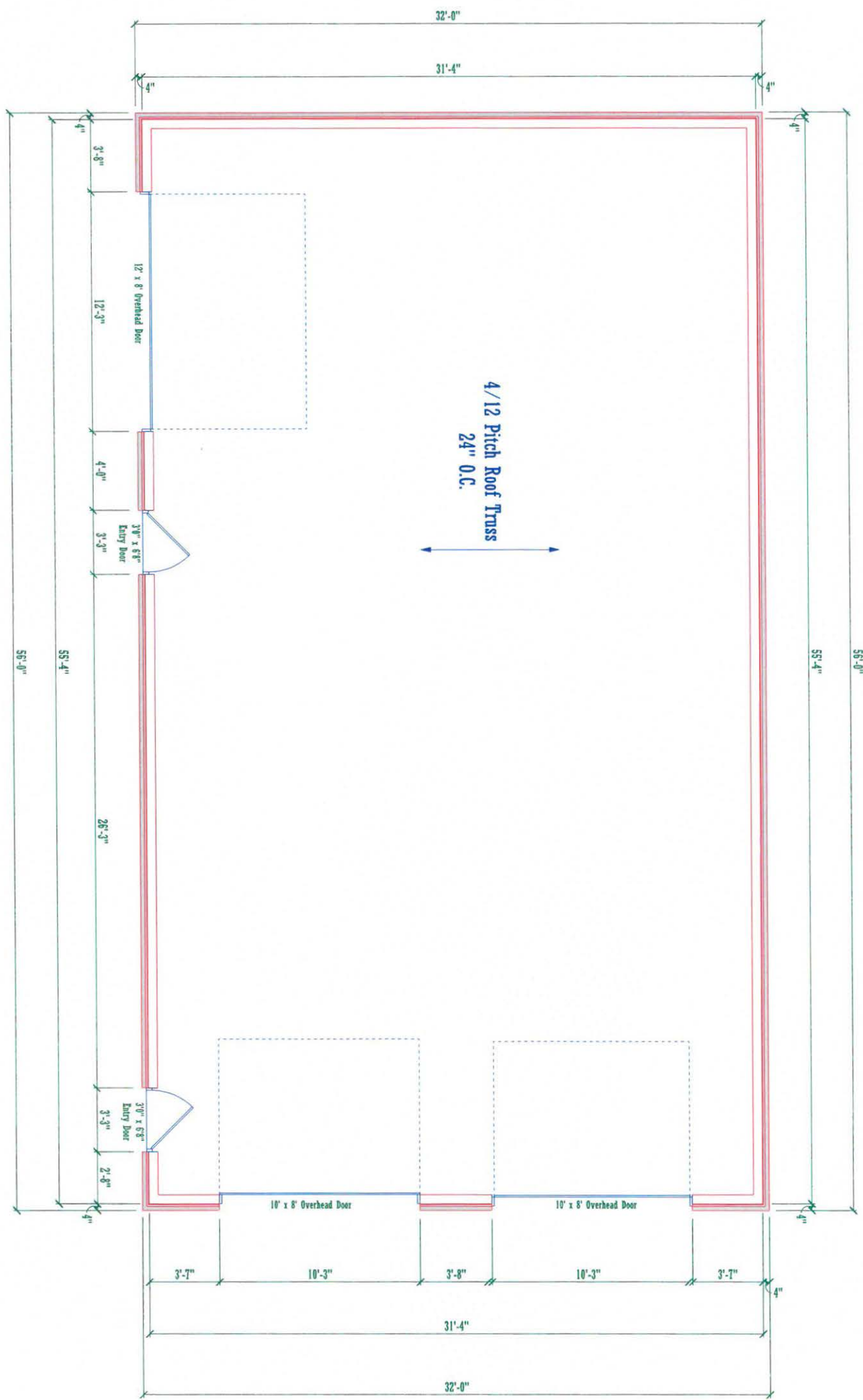
NOTICE:
 Although every effort has been made in designing and preparing these plans and directing them for execution, the designer, owner, or contractor must check all details and dimensions for accuracy and compliance with applicable codes and regulations before actual construction. The reader is also responsible to follow all state and local codes.



CONCEPT PLANS
 NOT FOR CONSTRUCTION

Page: 2 of 4	DATE: 5/23/2018	PROJECT FOR: City of Sheboygan Department of Public Works	<i>Oostburg Lumber Company, Inc.</i> 1218 Center Avenue P.O. Box 700258 Oostburg, WI 53070-0258 920-564-2378	NOTICE: THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF: OOSTBURG LUMBER COMPANY, INC.
	REV. DATE: 6/10/2018			
REV. DATE: 6/12/2018				
REV. DATE:				
REV. DATE:				
Drawn by: A. H.	REV. DATE:			
Checked by: L.M.	REV. DATE:			

NOTICE:
 Although every effort has been made in designing and preparing these plans and specifications, the designer shall not be responsible for any changes or adjustments required during actual construction. The installer is also responsible to follow all state and local codes.



PROPOSED SHEBOYGAN PARK DEPARTMENT GARAGE
 SCALE: 1/4" = 1'

CONCEPT PLANS
 NOT FOR CONSTRUCTION

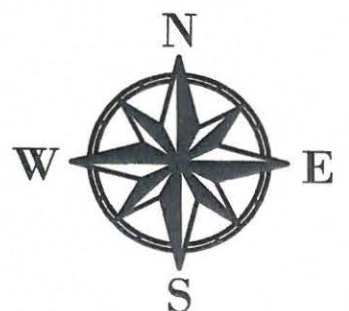
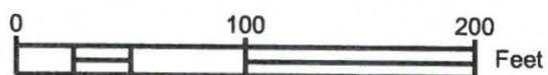
Page: 4 of 4	DATE: 5/23/2018	PROJECT FOR: City of Sheboygan Department of Public Works	<i>Oostburg Lumber Company, Inc.</i>	NOTICE: THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF - OOSTBURG LUMBER COMPANY, INC.
	REV. DATE: 6/10/2018			
Drawn by: A. H.	REV. DATE: 6/12/2018			
Checked by: L.M.	REV. DATE:			

DELAND MAINTENANCE BUILDING



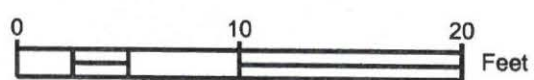
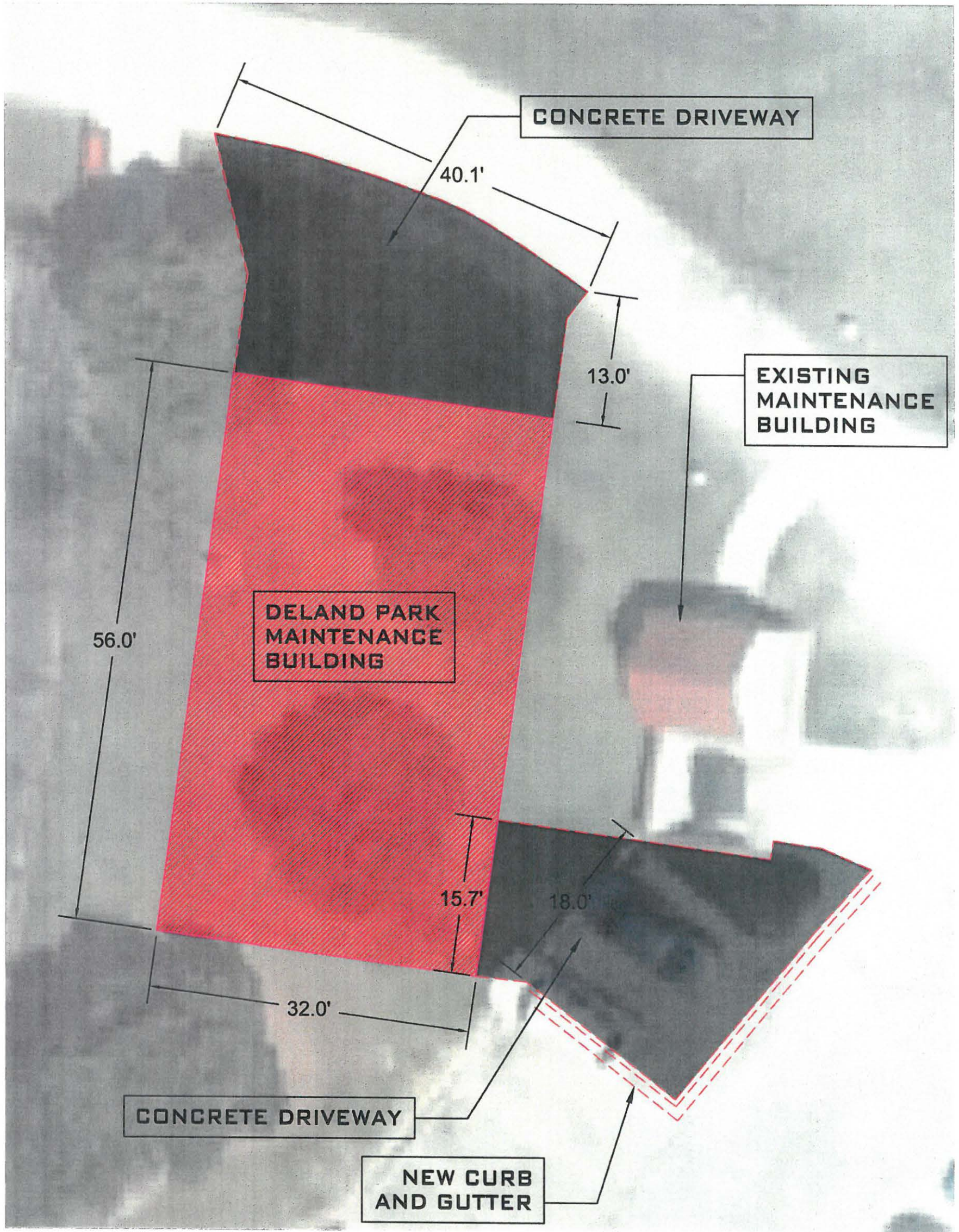
Lakefront Buildings

DELAND PARK MAINTENANCE BUILDING CITY OF SHEBOYGAN FIGURE 1 - LOCATION MAP



PLOT DATE: 6/25/2018

DELAND PARK MAINTENANCE BUILDING CITY OF SHEBOYGAN FIGURE 2 - DETAIL



PLOT DATE: 6/25/2018

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new Hampton Inn along Greenwing Drive (Parcel #479118).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: July 13, 2018

MEETING DATE: July 16, 2018

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

AAMAY, LLC is proposing to construct and operate a new Hampton Inn along Greenwing Drive on Parcel #479118. The applicant states the following about the project:

- AAMAY, LLC is requesting approval for construction of a new Hampton Inn located on the east side of Greenwing Drive, south of the Goodwill and east of Walmart. The Union Pacific Railroad borders the southeast side of the parcel.
- Hampton Inn is a Hilton franchise fitting the mid-price range of business and leisure accommodation. This hotel will serve customers for whom the greater Sheboygan area is their destination for business and/or leisure.
- This is an 11 million dollar investment which conforms to Hilton Development's specific standards for this brand in terms of amenities, architecture and site development features. This includes an indoor swimming pool and outdoor patio at the west end of the building. This site also accommodates a dog run in the greenspace at the northeast corner of the parcel. Architectural style is depicted in the attached figures with exterior material textures and colors as yet to be determined. The style is consistent with adjacent and nearby contemporary buildings.
- The existing site is a vacant and undeveloped 6.2 acre property that may eventually consists of two (2) commercial properties designated for development. This is Phase 1 of an overall development of possibly two (2) hotels.
- The Hampton Inn will be 4-story, 15,272sf hotel consisting of a 95 guest rooms and is located on the north side of this property.

The applicant has provided a very limited narrative explaining the proposal that states:

- Clean contemporary lines.
- Color and finish highlights.
- Window reveals and accent colors.
- Monolithic wall plane.
- Fin and frame.
- End Cap.
- Accent cladding at the ends of the building.
- Porte-Cochere – streamlined design.
- Masonry base.
- Architectural accent lighting.

STAFF COMMENTS:

The present design has many interesting elements but it seems like a random assignment of multiple materials. It is hard to understand the intent of the architecture - what goes where and why? Some examples:

- The lightest color material seems to be trying to define the “end towers” of the building, but at one “end tower” there’s a brick base that isn’t repeated at the other end.
- The brick shows up in two-story, single-story, and wainscot-applications, while other building elements don’t have any “base” treatment at all.
- Some of the windows are allowed to read as vertical stacks, but others have flanking panels working to break apart the stacked feel.
- It is difficult to understand the “ordering system” for the building elements.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.



July 10, 2018

Amita (Mike) Patel
1135 Buck Road
Rossford, OH 43460

RE: Hampton Inn by Hilton – Sheboygan, WI
Project No: 17-464ND | Facility No: 53278 | Inn Code: MKESN
Prototype Design

Dear Mr. Patel,

We are in receipt of your request for an explanation of why we update our Hilton Brand prototypes, specifically the new Hampton prototype.

Hampton by Hilton is a powerhouse Brands and is one of our most successful of the fourteen different Hotel Brands we provide. We believe this success is due in large part to the consistent brand standards and amenities our guests experience and expect wherever they travel and stay at a Hampton. Hampton's success is merited with more than 2,381 hotels currently operating worldwide with approximately 2,264 of those operating in North America.

All of our Hilton Brands evolve over time to add amenities and enhance both the interior and exterior designs of our hotel in order to remain "fresh" and relevant with our guests, and to remain competitive in the hospitality marketplace. We consistently strive to enhance our guest experience and drive guest loyalty by providing refreshed public spaces and updated guest rooms with functional furnishings and attractive decor. The design strategy for our new prototype was heavily influenced by the latest design trends, in-depth guest research and feedback, input from both our Owner Product Advisory Council and franchise partners. We are confident this innovative and efficient Hampton prototype design reflects Hilton's vision for the future for this Brand by displaying a non-traditional, modern, contemporary exterior and interior appearance design Branding that both guests and franchise owners appreciate.

We do allow and try to accommodate slight variations from the Brand prototype as much as possible as long as the design deviation does not alter the substance or character of the prototype design which we try very hard to maintain. Any design deviations would still need to be reviewed and approved by our Hilton Design Team for Brand compatibility.

I hope this has provided some insight into the basis of design for the new Hampton prototype. If I can be of any further assistance to you, please do not hesitate to contact me.

Most sincerely,

Greg Terry, Sr. Project Manager
Focused Service Brands – NW Region
Architecture, Design & Construction

NOTE: When addressing correspondence for this hotel to Hilton, please reference Project #17-464ND.

WE ARE HILTON
WE ARE HOSPITALITY



PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised May 2018

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

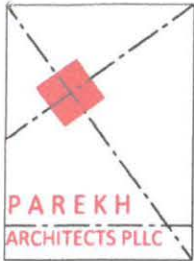
APPLICANT: Aamay Sheboygan LLC
ADDRESS: 9749 Clark Dr, Rossford, OH 43460
E-MAIL ADDRESS: patel.mike@icloud.com
PHONE: 419-560-4843 FAX NO: 419-872-0001

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: HAMPTON INN
ADDRESS OF PROPERTY AFFECTED: _____
NEW BUILDING: X ADDITION: _____ REMODELING: _____
DESCRIPTION OF PROPOSED PROJECT: _____
4-STORY HOTEL WITH INDOOR POOL. 95 ROOMS TOTAL.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____
VACANT SITE.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____
EIFS, BRICK AND TRESPA PANELS (ACCENT).



18218 E Morgans Bend Drive
Cypress, TX 77433
Phone: 832-878-1262
E-mail: sid@parekharch.com

June 8, 2018
Architectural Review Board
City of Sheboygan
Wisconsin

Re: Project Description - Hampton Inn, Sheboygan, WI

Dear Sir/ Ma'am

This letter is to provide a description of the proposed exterior design for the Hampton Inn, in Sheboygan, Wisconsin. Please see attached colored rendering and building elevations, based upon the latest prototype design released by Hilton. Also, attached is a document from Hilton showing the Essential Exterior Elements, listed below for reference.

1. Clean contemporary lines.
2. Color and finish highlights.
3. Window reveal and accent colors.
4. Monolithic wall plane.
5. Fin and frame.
6. End Cap.
7. Accent cladding at ends of the building.
8. Porte-Cochere – streamlined design.
9. Masonry base.
10. Architectural accent lighting.

Please let me know if you have any questions or if you need any additional information.

Thank you

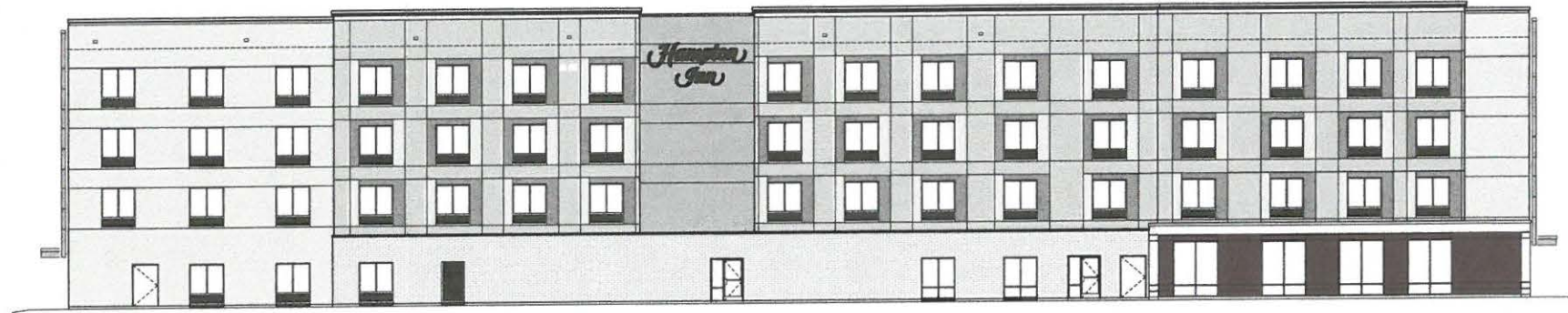
Sincerely,

06-08-2018

Architect - Sid Parekh

(Date)





- KEY NOTES**
1. ROOF SCUPPER SEE DETAIL SJA450
 2. CONTROL JOINT
 3. SIGNAGE - COORDINATE ELECTRICAL REQUIREMENTS AS NEEDED - REFER TO BUILDING SIGNAGE BELOW
 4. EXTERIOR INSULATION FINISH SYSTEM
 5. PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS, THERMALLY BROKEN FRAME, KYNAR 500 FINISH
 6. ALUMINUM STOREFRONT, THERMALLY BROKEN FRAME, KYNAR 500 FINISH
 7. PRE-FINISHED METAL LOUVERS AT DRIVER VENTS, KYNAR 500 FINISH
 8. AUTOMATIC SLIDING DOORS
 9. EXTERIOR WALL SCOOPE
 10. INSULATED HOLLOW METAL DOOR AND FRAME
 11. CL. EARRANCE SIGN
 12. SLOPE DRAIN 1/8" MAX (1/4" RECOMMENDED) TO DRAIN OUT FROM UNDER CANOPY
 13. PROVIDE EXTERIOR LOUVERS TO MATCH LOOK OF PTAC-BASED WINDOWS - PROVIDE INSULATED PANEL BEHIND LOUVER AT NON-PTAC LOCATIONS
 14. GUEST LAUNDRY THRU WALL VENT FOR OPTIONAL LAUNDRY IF USED
 15. HARD SURFACE BASE MATERIAL (MASCOR/TITILE)
 16. WELCOME SIGNAGE - REFER TO GLOBAL EXTERIOR SIGNAGE SPECIFICATIONS FOR ADDITIONAL INFORMATION
 17. RECESSED LED CAN LIGHT EQUIVALENT TO INTER LUX MODEL, DRAW R 55-89086 W-05-5 WITH EXTENDED STAINLESS STEEL MOUNTING SCREWS

- REVISION:**
- △ DATE
 - △ DATE
 - △ DATE
 - △ DATE

PROJECT INFO:
 PROJECT NUMBER: 1714
 DRAWN BY: SP

REVISION:

SIDDHARTH PAREKH LEED AP BD+C
 18118 E NORWALK BIRD DRIVE, CYPRESS, TX 77433
 PH: (832) 878 1327 | E-Mail: sidd@sdparekh.com

BUILDING SIGNAGE

1. ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY - LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
2. MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS - AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN
3. ELECTRICAL AND FANIL CONNECTION BY CONTRACTOR - ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY - TYPICAL 120V REQUIREMENT
4. PARAPETS / WIREWAYS ARE NOT ALLOWED
5. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNAGE IS LOCATED TO BE PROVIDED BY CONTRACTOR - CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL
6. QUESTIONS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL - PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY

- COLOR & FINISH LEGEND**
- MASONRY - STEEL GREY BRICK OR SIMILAR
 - EIFS COLOR 1 SW 9510
 - EIFS COLOR 2 SW 7015
 - EIFS COLOR 3 SW 7035
 - EIFS COLOR 4 SW 7658
 - EIFS COLOR 5 SW 7018
 - ARCHITECTURAL WOOD LOOK PANEL ACCENT - TRESSPA
- NOTE: ALL EIFS THICKNESS IS 7" UNLESS NOTED OTHERWISE

- GENERAL NOTES**
1. ALL ROOF TOP EQUIPMENT, PLUMBING VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS
 2. DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (I.E. BUILDING OFFSET, PLASTER, ETC.)

PRELIMINARY PLANS NOT FOR CONSTRUCTION

HAMPTON INN
 SHEBOYGAN, WISCONSIN
 PREPARED FOR
GALLANT HOSPITALITY

SHEET TITLE:
 COLORED BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"
DATE: 07-12-2018

SHEET NUMBER:
A1.06