

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new drive thru canopy at UnitedOne Credit Union located at 2122 Superior Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 22, 2018

MEETING DATE: June 25, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

UnitedOne Credit Union is proposing to reconstruct their existing parking lot, drive thru, access drive and drive thru canopy at 2122 Superior Avenue. The applicant states the following about the projects:

- This project consists of an interior remodel, the demolition of the existing attached drive-thru canopy, rebuilding a new detached canopy of a similar aesthetic, and associated site work. The overall function of the building is not changing in any way.
- The design intent of the new canopy is to closely mimic the existing canopy in terms of design, shape, scale, and materials. This will allow it to relate to the main building despite being detached. All materials used – brick, siding, and asphalt shingles – would match the existing building. The intent is to either re-stain or replace the existing building siding with a composite board material depending on the existing siding's condition, and the new canopy would match the new color selected.
- The main purpose of presenting the new detached canopy is to increase member safety in the parking lot. If a member visits the site today, he or she must cross over (3) lanes of drive-thru traffic to enter the building. Moving the new canopy to the outer portion of the lot where the member parking currently is allows the parking to move closer to the building to make access easier and safer.
- This change results in the use of remote automated teller interactive machines which is a secondary reason for the change. The credit union is implementing automated tellers throughout its branches in order to centralize teller staff and make operations more efficient.

- The existing building is primarily cedar siding with some brick areas and clad wood windows.
- New canopy will mimic the existing siding and shingles. The siding will likely be composite board as opposed to cedar.

STAFF COMMENTS:

The applicant's states:

The intent is to either re-stain or replace the existing building siding with a composite board material depending on the existing siding's condition, and the new canopy would match the new color selected.

The Board will want to have the applicant verify if they are re-staining existing siding or installing new siding because they state they are likely doing composite on the new canopy. The existing credit union facility is a bit weathered.

The Board will also want to consider whether or not the four (4) support columns should be completely brick or is the board ok with only a portion being brick and the rest an exposed structural post (galvanized steel column, painted to match).

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: 660170
MAP NO.: _____
ZONING CLASSIFICATION: NO

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 6/25/18

**CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION**

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: The Redmond Company
ADDRESS: W228 N745 Westmound Dr.
E-MAIL ADDRESS: pnajel@theredmondco.com
PHONE: (262) 8968748 FAX NO.: +

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: United One Credit Union
ADDRESS OF PROPERTY AFFECTED: 2122 Superior Ave
NEW BUILDING: _____ ADDITION: _____ REMODELING:

DESCRIPTION OF PROPOSED PROJECT: interior remodel w/ reconfiguration of member parking lot and drive-thru for ~~more~~ safer customer access; this includes a new detached drive-thru canopy

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: The existing building is primarily cedar siding with some brick areas and clad wood windows. The siding ~~will~~ be retained or replaced depending on its condition, in the same color family. Shingle roof may be replaced with same color.

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: The new canopy would mimic the existing siding and shingles. The siding will likely be a composite board as opposed to cedar.

June 14, 2018

City of Sheboygan
Department of City Development
c/o Steve Sokolowski, Manager of Planning & Zoning
828 Center Ave, Suite 104
Sheboygan, WI 53081

Re: June Plan Commission and Architectural Review Board

Mr. Sokolowski,

Please consider the remodel project located at 2122 Superior Avenue for conditional approval. This project consists of an interior remodel, the demolition of the existing attached drive-thru canopy, rebuilding a new detached canopy of a similar aesthetic, and associated site work. The overall function of the building is not changing in any way.

The design intent of the new canopy is to closely mimic the existing canopy in terms of design, shape, scale, and materials. This will allow it to relate to the to the main building despite being detached. All materials used – brick, siding, and asphalt shingles – would match the existing building. The intent is to either re-stain or replace the existing building siding with a composite board material depending on the existing siding's condition, and the new canopy would match the new color selected. Samples of proposed colors and materials will be brought to the Plan Commission and Architectural Review Board meetings.

The main purpose of presenting the new detached canopy is to increase member safety in the parking lot. If a member visits the site today, he or she must cross over (3) lanes of drive-thru traffic to enter the building. Moving the new canopy to the outer portion of the lot where the member parking currently is allows the parking to move closer to the building to make access easier and safer. This change results in the use of remote automated teller interactive machines which is a secondary reason for the change. The credit union is implementing automated tellers throughout its branches in order to centralize teller staff and make operations more efficient.

The relocated drive-thru would include new curbing and signage to direct traffic to exit along 22nd Street to the west (as it currently does today), rather than to the east, in order to not increase traffic and noise onto 21st Street. The auxiliary employee lot that exits onto 21st St today would remain as is. In addition, a significant portion of the parking lot is pulled closer to the building and away from houses, and some additional hedges and landscaping are proposed throughout the site, most notably a new hedge between the employee parking lot and the property on 21st & Superior to reduce shining of headlights onto that property. Overall there will not be an increased load into the municipal sewer and the site utilities will not significantly change; the intent is to maintain if not slightly increase the current amount of impervious area and plantings for both aesthetic and functional reasons.

If there are any other concerns or questions about this project, I am happy to answer them or address in person at the Plan Commission and Architectural Review Board meetings later this month. Our client is committed to be a courteous neighbor to the surrounding community and an upstanding business in the City of Sheboygan.

4D. The design intent for the new detached canopy is to closely mimic the existing canopy in terms of design, shape, scale, and materials. This will allow it to relate to the main building despite being detached. All materials used - namely brick, siding, and asphalt shingles - would match the existing building. The intent is to either restrain, or replace the existing building siding with a composite board material depending on its condition, and the new canopy will match the new color selected. I will bring samples to the meeting of the color selected.

T.O. ROOF 113' - 6"

ASPHALT SHINGLES -
COLOR TO MATCH BUILDING

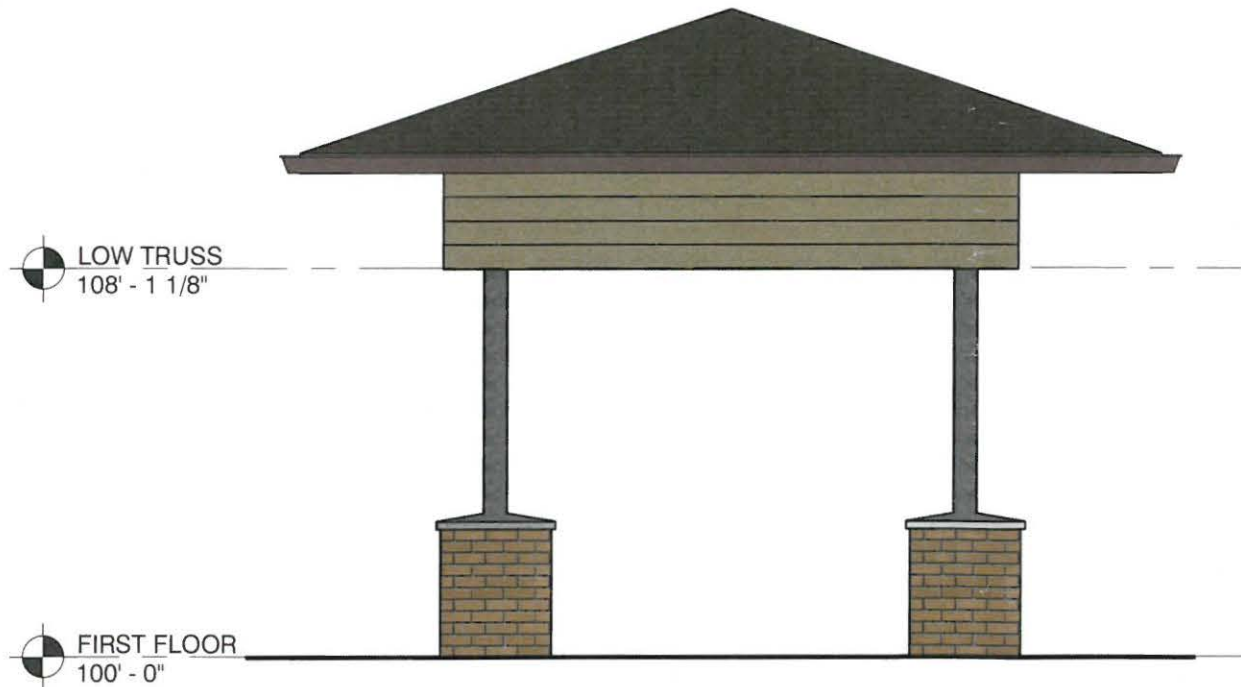
COMPOSITE PLANK SIDING
WITH WOOD TEXTURE -
COLOR TO MATCH BUILDING

GALVANIZED STEEL
COLUMN, PAINT

CONCRETE CAP

BRICK TO MATCH
BUILDING

1 SOUTH ELEVATION
1/4" = 1'-0"



LOW TRUSS
108' - 1 1/8"

FIRST FLOOR
100' - 0"

2 EAST ELEVATION
1/4" = 1'-0"

UnitedOne Credit Union - Sheboygan North



CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a new park shelter at Evergreen Park at 3401 Calumet Drive.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 22, 2018

MEETING DATE: June 25, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The City of Sheboygan is proposing a new park shelter with restroom at Evergreen Park Area 2 located at 3401 Calumet Drive. The applicant states the following about the project:

- This will be a block construction with metal roof park shelter with restroom.
- This will have a standing seam metal roof.
- There will be LP Smartsiding in the gable, trim, fascia and soffit.
- Burnished CMU in stack bond.
- 24 inch high smoothface CMU wainscot in stack bond. Chamfered edge on top course.
- Prefinished metal gutters and downspouts.

Welcome to the Shaw Family Playground!

Ryan and Angie Shaw began working to fundraise for a playground after Angie gave birth to conjoined twins, Mateo and McHale in 2006. In September of that year, a team of 65 medical professionals spent 19 hours separating the spinal cord the boys shared. Now the boys are healthy, in school and have friends they want to share a playground and park with. Construction will begin in the spring of 2017 on the southeast corner of Evergreen Park in Sheboygan.

We are spearheaded by the Sheboygan Park Project in partnership with the Sheboygan Jaycees to create a fully accessible ADA playground. Sheboygan County schools and parks currently have none. Our mission is to remove every barrier possible to allow each and every child the opportunity to experience unorganized, imaginative play alongside their peers on a safe and accessible playground. For many children, so often left on the sidelines, this will be their first experience at inclusive play and unrestrained FUN!

During the process of designing the playground we consulted with experts, both small — lots of kids, both able and disabled to see what THEY wanted in a playground — and large — professionals in our community, and nationally recognized ADA playground designers and equipment manufacturers to be sure the playground is state-of-the-art. Together we have worked diligently to ensure that every child, regardless of ability, can have a play experience that will create wonderful family memories.

The Shaw family has partnered with the Sheboygan County Jaycees, who are providing support and the ability to access the group's 501-(c)(3) status, which makes all donations tax deductible. The Jaycees will also be managing the long term endowment fund the city can access to ensure the playground remains accessible and properly maintained.

The City of Sheboygan has provided property within the city's Evergreen Park and will provide in-kind labor for site preparation and partnership in new restroom facilities.

Steven Schmitt of Jos. Schmitt & Sons is leading the Lakeshore area Fund Raising and Community Volunteer Construction efforts together with other community leaders, individuals and organizations.

STAFF COMMENTS:

None.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: 628 964
MAP NO.: _____
ZONING CLASSIFICATION: SR-5

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 6/25/18

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised May 2018

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: City of Sheboygan, DPW
ADDRESS: 2026 New Jersey Ave., Sheboygan, WI 53081
E-MAIL ADDRESS: joe.kerlin@sheboyganwi.gov
PHONE: (920) 920-3459 FAX NO.: (920) 459-3443

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Evergreen Park Area 2

ADDRESS OF PROPERTY AFFECTED: N. 25th Street and Pine Grove Ave

NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: Park shelter/restroom 74'x34'

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____

Block construction with metal roof

SHAW FAMILY PLAYGROUND

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.B.	ANCHOR BOLT
AGGR.	AGGREGATE
ALT.	ALTERNATE
APPROX.	APPROXIMATELY
B.W.	BOTH WAYS
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BM.	BEAM
BOT.	BOTTOM
C.J.	CONTROL JOINT
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
DEG.	DEGREE
DIAG.	DIAGONAL
DN.	DOWN
D.S.	DOWNSPOUT
E.J.	EXPANSION JOINT
E.W.	EACH WAY
EA.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXP.	EXPANSION
F.D.	FLOOR DRAIN
F.F.	FINISH FLOOR
F.O.B.	FACE OF BRICK
F.O.C.	FACE OF CONCRETE
FDN.	FOUNDATION
FIN.	FINISH
FLR.	FLOOR
FTG.	FOOTING
FURR.	FURRING
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GA.	GAUGE
GALV.	GALVANIZED
H.B.	HOSE BIB
HDWD.	HARDWOOD
HDWE.	HARDWARE
HT.	HEIGHT
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
LD.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JNT.	JOINT
JST.	JOIST
KIT.	KITCHEN
LAV.	LAVATORY
LT.	LIGHT
M.O.	MASONRY OPENING
MAX.	MAXIMUM
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MIR.	MIRROR
MTL.	METAL
MUL.	MULLION
N.T.S.	NOT TO SCALE
NOM.	NOMINAL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OH.	OVERHEAD
OPG.	OPENING
OPP.	OPPOSITE
PLYWD.	PLYWOOD
PR.	PAIR
R.O.	ROUGH OPENING
REQD.	REQUIRED
ROOM.	ROOM
S.C.	SOLID CORE
S.F.	SQUARE FOOT
S.S.	STAINLESS STEEL
SCHED.	SCHEDULE
SECT.	SECTION
SH.	SHIELD
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
SUSP.	SUSPENDED
T&B	TOP AND BOTTOM
THK.	THICK
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VER.	VERIFY
VERT.	VERTICAL
W/	WITH
W/O	WITHOUT
WD.	WOOD



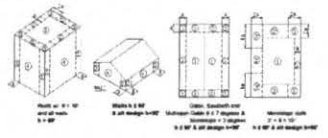
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STATE ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE. SHOULD A CONFLICT OCCUR BETWEEN THE IBC AND THE DRAWINGS, THE IBC SHALL GOVERN.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE TO THE FACE OF STUO OR FACE OF CONCRETE, UNO.
- THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. OWNERSHIP OF THESE DOCUMENTS REMAINS WITH DISTINCTIVE DESIGN STUDIO.
- THE DESIGNER IS NOT RESPONSIBLE FOR THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
- THE CONTRACTOR AND ANY SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL WORK, AND MUST MEET ALL REQUIREMENTS DICTATED BY THE IBC.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, LOCAL, AND SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO NOTIFY, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE FOR SECURING AND MAINTAINING ALL NECESSARY SIGNAGE INCLUDING WORKING COMPANION.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK INCLUDING ADEQUATE PRE-REVIEW OF ALL SHOP DRAWINGS. ERRORS DUE TO LACK OF REVIEW AND/OR COORDINATION SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL REPORT IMMEDIATELY TO THE DESIGNER ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
- ALL MATERIAL USED IN THE CONSTRUCTION OF THIS PROJECT SHALL BE NEW UNLESS OTHERWISE NOTED. REJECT AND REPLACE ANY DAMAGED MATERIAL RESULTING FROM WRAPPAGE, WEATHER DAMAGE, OR OTHER CAUSE.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PREMISES IN A NEAT AND ORDERLY FASHION. CONSTRUCTION DEBRIS REMOVAL FROM THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRESTOPS PER IBC REQUIREMENTS.
- ALL WINDOW / DOOR SIZES ARE NOMINAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH OPENING SIZES FROM SUPPLIER BEFORE CONSTRUCTION.
- PROVIDE A MINIMUM OF 1:00 NET FREE VENTILATION OF THE ROOFED AREA BELOW. THIS VENTILATION TO BE DIVIDED EQUALLY AND PROVIDED AT BOTH ROOF AND SOFFIT AREAS. PROVIDE A CONTINUOUS MEANS OF ATTIC VENTILATION BY THE USE OF INSULATION STOPS, PROPER VENTS, AND OUTGUTS AT OVER FRAMED ROOF AREAS.

MISC. NOTES

STRUCTURAL DESIGN CRITERIA

DESIGN LOADS	DESIGN STRESSES
BUILDING DESIGN CATEGORY/SEISMIC USE GROUP: I	SOIL PARAMETERS
IMPORTANCE FACTORS	ALLOWABLE SOIL BEARING PRESSURE
SEISMIC: IE	SPREAD AND STRIP FOOTINGS: 2,000 PSF
SNOW: IS	CAST-IN-PLACE CONCRETE (28 DAY COMPRESSIVE STRENGTH)
WIND: IW	FOOTINGS: F _c = 3,000 PSI
FLOOR LOAD DESIGN DATA	WALLS: F _c = 4,000 PSI
ROOF LOAD DESIGN DATA	INTERIOR SLAB ON GRADE: F _c = 3,000 PSI
GROUND SNOW LOAD (PSF)	EXTERIOR SLAB ON GRADE: F _c = 4,500 PSI
THERMAL FACTOR (2) (INTERIOR SPACE)	SLAB ON METAL DECK: F _c = 4,000 PSI
THERMAL FACTOR (2) (EXPOSED SPACE)	ALL EXPOSED CONCRETE SHALL CONTAIN AIR ENTRAINMENT
EXPOSURE FACTOR (2)	CONCRETE REINFORCEMENT
FLAT ROOF SNOW LOAD (PSF)	FIELD BARS: BARS ASTM A615: F _y = 40,000 PSI
WIND LOAD DATA	ALL OTHER ASTM A615: F _y = 60,000 PSI
ULTIMATE WIND SPEED	WELDED WIRE REINFORCEMENT ASTM A108: F _y = 60,000 PSI
NOMINAL WIND SPEED	MASONRY LOAD BEARING CONCRETE MASONRY UNIT WALLS
WIND EXPOSURE CATEGORY	MASONRY: F _m = 2,000 PSI
WIND EXPOSURE CATEGORY	MASONRY GROUT
ADJUSTED COMPONENTS AND CLADDING (CLIMATE PRESSURES) IN POUNDS PER SQUARE FOOT:	CONCRETE MASONRY UNIT MORTAR
ZONE	ABOVE GRADE
AREA (F)	TYPE S
1	TYPE M
2	TYPE S
3	TYPE M
4	TYPE S
5	TYPE M
10	TYPE S
20	TYPE M
30	TYPE S
40	TYPE M
50	TYPE S
60	TYPE M
70	TYPE S
80	TYPE M
90	TYPE S
100	TYPE M
POSITIVE ZONES	
AREA (F)	
1	
2	
3	
4	
5	
10	
20	
30	
40	
50	
60	
70	
80	
90	
100	
ROOF OVERHANGS	
AREA (F)	
1	
2	
3	
4	
5	
10	
20	
30	
40	
50	
60	
70	
80	
90	
100	



MECHANICAL NOTES

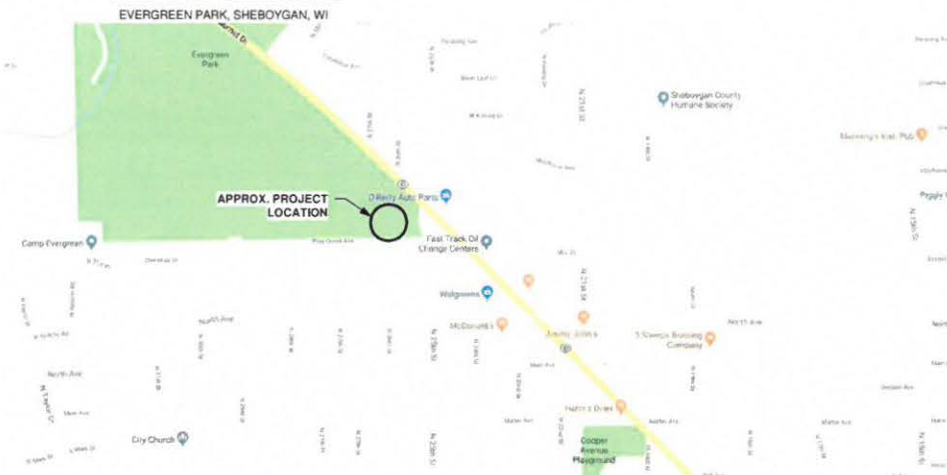
- ALL MECHANICAL DRAWINGS AND WORK SHALL BE PROVIDED BY THE DESIGN BUILD MECHANICAL CONTRACTOR. THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL PERMIT REQUIRED DRAWINGS AND ENERGY CALCULATIONS PER THE BUILDING CODE.
- KITCHEN, BATH, LAUNDRY, AND SIMILAR ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION, VENTING DIRECTLY TO THE OUTSIDE.

PLUMBING NOTES

- ALL PLUMBING DRAWINGS AND WORK SHALL BE PROVIDED BY THE DESIGN BUILD PLUMBING CONTRACTOR. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL PERMIT REQUIRED DRAWINGS AND CALCULATIONS PER THE BUILDING CODE.
- VERIFY SIZE OF ALL PLUMBING FIXTURES AND APPLIANCES.

PROJECT INFORMATION

PROJECT ADDRESS



DESIGN FIRM

DISTINCTIVE DESIGN STUDIO
215 PINE STREET
SHEBOYGAN FALLS, WI 53085
CONTACT: STEVEN M PESKIE (PRINCIPAL)
PHONE: (920)-395-1090
EMAIL: STEVE@DISTINCTIVEDESIGNSTUDIO.COM

BUILDER

JOS. SCHMITT CONSTRUCTION
2104 UNION AVENUE
SHEBOYGAN, WI 53082
CONTACT: STEVE SCHMITT, PRESIDENT
PHONE: (920) 546-0991
EMAIL: SSC@SCHMITTJSCMITT.CC

STRUCTURAL ENGINEER

INTEGRATED STRUCTURAL ENGINEERING, LLC
7700 HILL N DALE COURT
CEDARBURG, WI 53012
CONTACT: PETE BARTNIK, P.E.
PHONE: (920) 470-3119
EMAIL: PETE@INTEGRATEDSTRUCTURALENGINEERING.COM

CIVIL ENGINEER

MILLER ENGINEERS & SCIENTISTS
5308 S. 12TH STREET
SHEBOYGAN, WI 53081
CONTACT: ROGER MILLER,
PHONE: (920) 458-6164
EMAIL: RMILLER@STARTWITHMILLER.COM

SHEET LIST

CONSTRUCTION PLANS	
A1.1	1ST FLOOR PLAN
A5.0	EXTERIOR ELEVATIONS
A6.0	SECTIONS
A8.0	SCHEDULES

AREA CALCULATIONS

292 SF	COVERED WALK
658 SF	RESTROOMS
912 SF	COVERED SHELTER

BUILDING DATA

BUILDING CODE	IBC2015
OCCUPANCY	U-UTILITY
CLASS OF CONSTRUCTION	II
FIRE PROTECTION SYSTEM	NONE
# OF STORIES	1-STORY

REVISIONS	
Date	Description
03-26-18	SD DOCS
03-26-18	Plan Revision
5-17-18	Construction Documents

DISTINCTIVE DESIGN STUDIO
215 Pine Street
Sheboygan Falls, WI 53085
Ph: (920)-395-1090
www.distinctivedesignstudio.com

SHAW FAMILY PLAYGROUND

TOILET/ SHELTER BUILDING
EVERGREEN PARK, SHEBOYGAN, WI

CONSTRUCTION DOCUMENTS

COVER

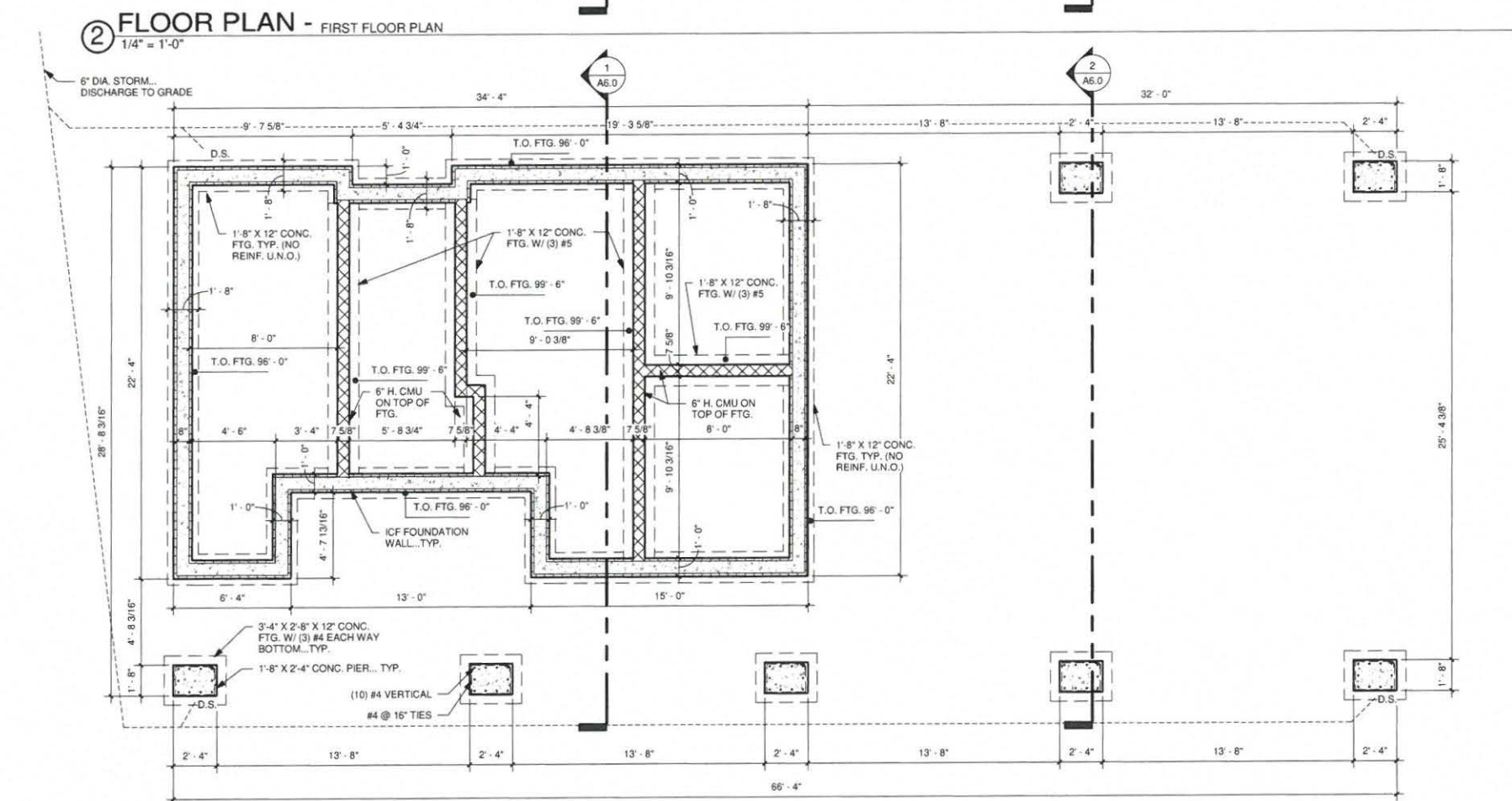
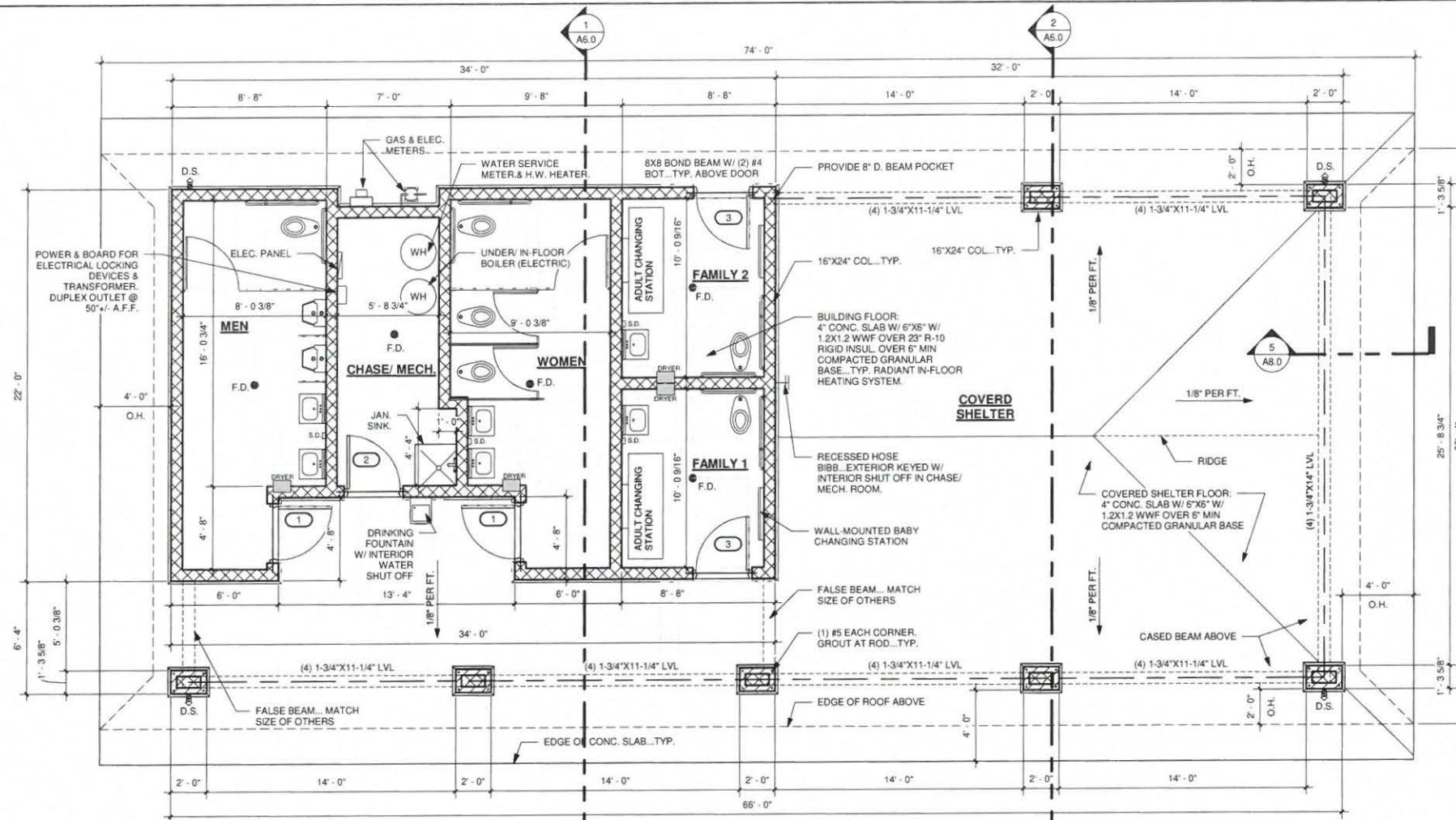
ISSUE DATE:	3/2/18
DRAWN BY:	JRA
CHECKED BY:	EJA
PROJECT #:	18-016

GO.0

SCALE: 1/2" = 1'-0"
NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

STRUCTURAL NOTE:
ALL CMU SHALL HAVE 9 GA. HORIZ. JOINT REINFORCING @ 16" O.C.



REVISIONS	
Date	Description
03-26-18	SD DOCS
5-17-18	Plan Revision
	Construction Documents

DISTINCTIVE DESIGN
STUDIO
215 Pine Street
Sheboygan Falls, WI 53085
Ph: (920)-395-1090
www.distinctivedesignstudio.com

SHAW FAMILY PLAYGROUND

TOILET/ SHELTER BUILDING
EVERGREEN PARK, SHEBOYGAN, WI

CONSTRUCTION DOCUMENTS

1ST FLOOR PLAN

ISSUE DATE: 3/2/18
DRAWN BY: JRA
CHECKED BY: EAJ
PROJECT #: 18-016

A1.1

SCALE: 1/4" = 1'-0"
NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

DESIGNER/ARCHITECT/ENGINEER/PLUMBER/ELECTRICIAN/MECHANICAL CONTRACTOR SHALL HAVE PRECEDENCE OVER ALL OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS ON THE PLAN.

REVISIONS	
Date	Description
03-26-18	SD DOCS
03-26-18	Plan Revision
5-17-18	Construction Documents

DISTINCTIVE DESIGN
 STUDIO
 215 Pine Street
 Sheboygan Falls, WI 53085
 Ph: (920)-395-1090
 www.distinctivedesignstudio.com

SHAW FAMILY PLAYGROUND

TOILET/ SHELTER BUILDING

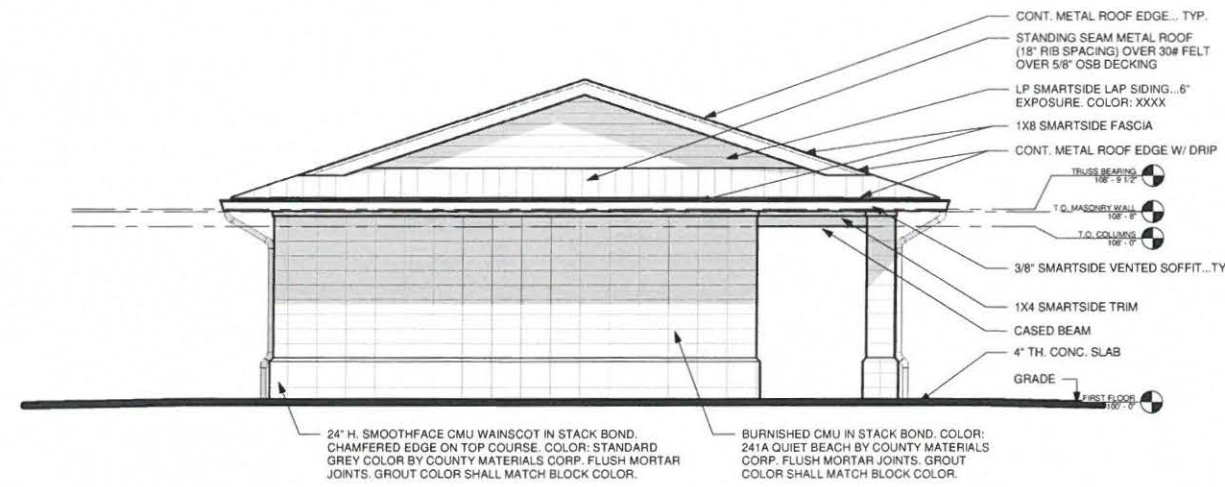
EVERGREEN PARK, SHEBOYGAN, WI

CONSTRUCTION DOCUMENTS

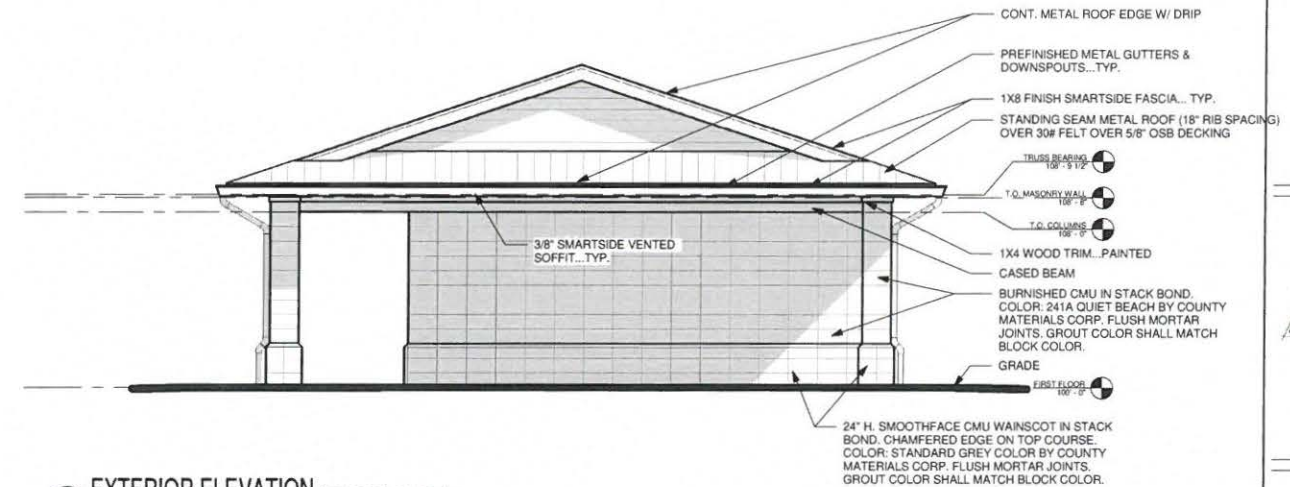
EXTERIOR ELEVATIONS

ISSUE DATE: 3/2/18
 DRAWN BY: JRA
 CHECKED BY: EAJ
 PROJECT #: 18-016

A5.0
 SCALE: 1/4" = 1'-0"
 NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY



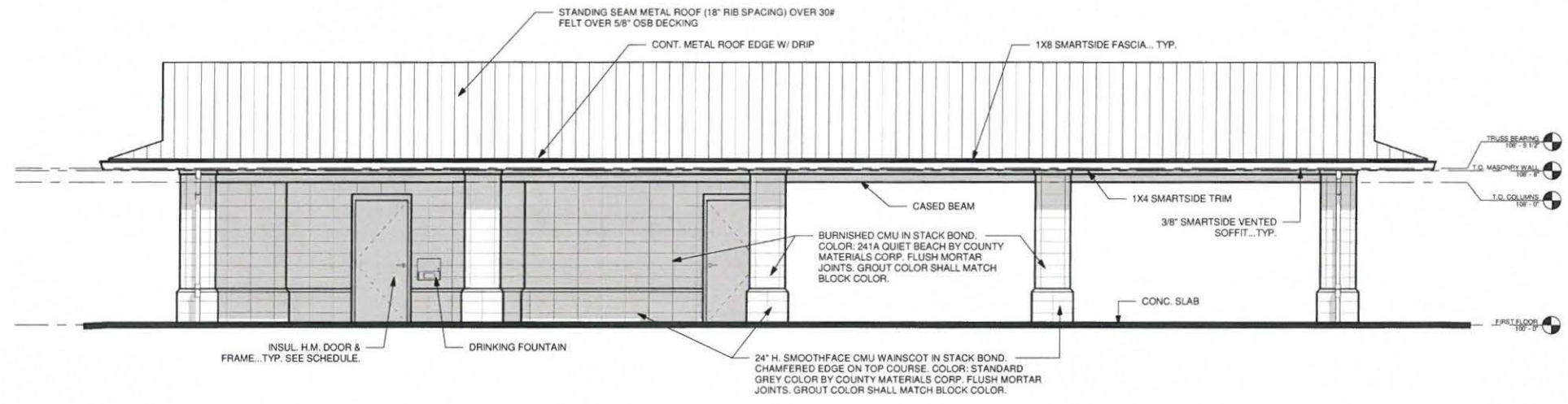
4 EXTERIOR ELEVATION - WEST ELEVATION
 1/4" = 1'-0"



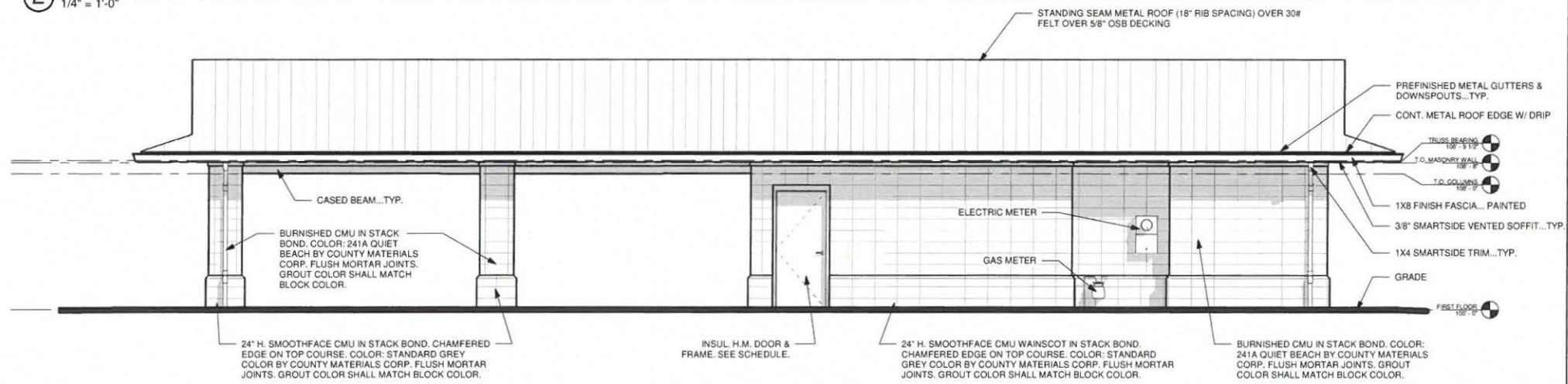
3 EXTERIOR ELEVATION - EAST ELEVATION
 1/4" = 1'-0"

- ROOFING NOTES:**
- ICE AND WATER SHIELD SHALL BE USED WITHIN 3'-0" OF RAKES, EAVES, AND HIPS. GAF WEATHER WATCH XT OR APPROVED EQUAL.
 - ASPHALT SHINGLE BASIS OF DESIGN: GAF TIMBERLINE HD ASPHALT SHINGLES, 40 YEAR WARRANTY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COLOR: CHARCOAL.
 - RIDGE VENT. COR. A-VENT V-300 8 1/2" OR APPROVED EQUAL.

- MASONRY NOTES:**
- CONCRETE MASONRY UNITS SHALL BE BURNISHED BLOCK OR SMOOTHFACE BLOCK AS SUPPLIED BY COUNTY MATERIALS, PREFINISHED WITH WATER RESISTANT AND ANTI-GRAFFITI COATING.
 - CONCRETE MASONRY UNITS SHALL BE STANDARD WEIGHT 8X8X16, 4X8X16, OR 6X8X16 UNITS AS NOTED ON THE DRAWINGS.
 - BURNISHED SURFACE SHALL BE EXPOSED.
 - EXPOSED EDGES SHALL BE BULL-NOSED.



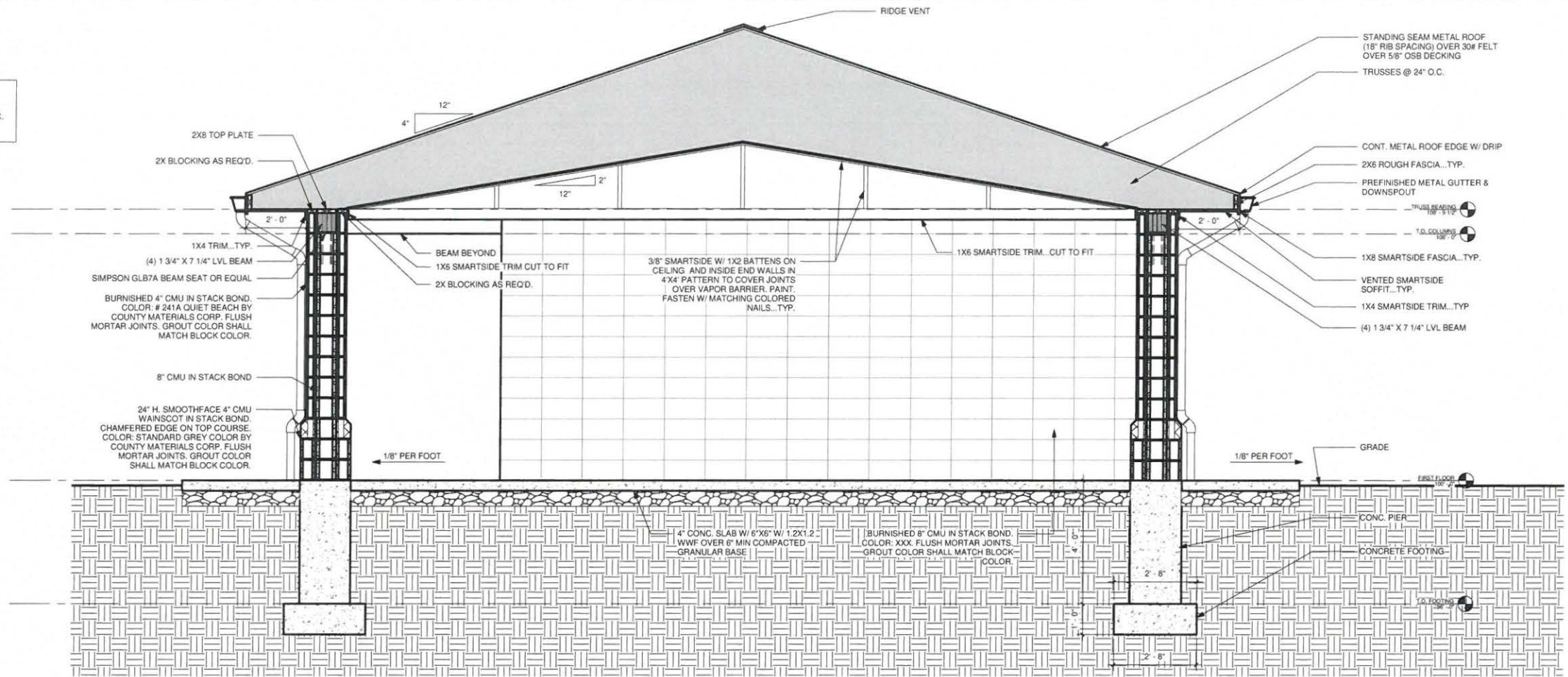
2 EXTERIOR ELEVATION - SOUTH ELEVATION
 1/4" = 1'-0"



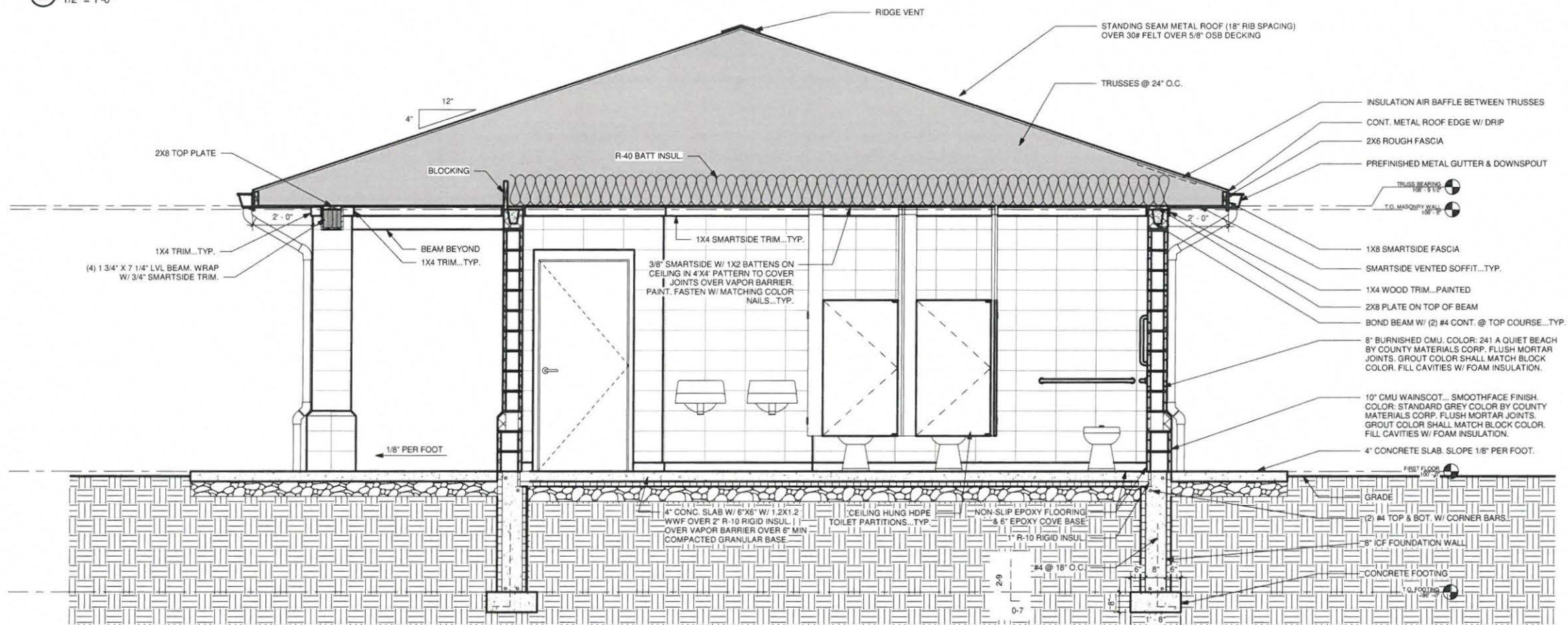
1 EXTERIOR ELEVATION - NORTH ELEVATION
 1/4" = 1'-0"

WRITTEN AND/OR THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER ANY OTHER DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF DISTINCTIVE DESIGN STUDIO.

STRUCTURAL NOTE:
ALL CMU SHALL HAVE 9 GA. HORIZ. JOINT REINFORCING @ 16" O.C.



SECTION 2 - Section Thru Covered Space Looking East
1/2" = 1'-0"



SECTION 1 - Section Thru Toilets Looking East
1/2" = 1'-0"

REVISIONS	
Date	Description
03-26-18	SD DOCS
03-26-18	Plan Revision
5-17-18	Construction Documents

DISTINCTIVE DESIGN
STUDIO
215 Pine Street
Sheboygan Falls, WI 53085
Ph: (920)-395-1090
www.distinctivedesignstudio.com

SHAW FAMILY PLAYGROUND

TOILET/ SHELTER BUILDING
EVERGREEN PARK, SHEBOYGAN, WI

CONSTRUCTION DOCUMENTS

SECTIONS

ISSUE DATE: 3/2/18
DRAWN BY: JRA
CHECKED BY: EAJ
PROJECT #: 18-016

A6.0

SCALE: 1/2" = 1'-0"
NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PLUMBING FIXTURE SCHEDULE							
FIXTURE	MANUFACTURER	STYLE	ID	MODEL #	FINISH	DESCRIPTION	QTY
TOILET	KOHLER	FLOOR MOUNTED	HIGHCLIFF	K-96057-B-0	WHITE	FLOOR MOUNTED ADA COMPLIANT TOILET	6
TOILET FLUSH VALVE	KOHLER	TOUCHLESS	TRIPPOINT 1.6 GAL.	K-10957-SV-CP	CHROME	TOUCHLESS ADA COMPLIANT FLUSH VALVE	6
TOILET SEAT	KOHLER		LUSTRA	K-4670-CA-0	WHITE	OPEN ENDED COMMERCIAL TOILET SEAT WITH INTEGRAL ANTIMICROBIAL AGENT	6
URINAL	KOHLER	FLOOR MOUNTED	BRANHAM	K-4920-T-0	WHITE	FLOOR MOUNTED URINAL	2
URINAL FLUSH VALVE	KOHLER	TOUCHLESS	TRIPPOINT 1.0 GAL.	K-10960-SV-CP	CHROME	TOUCHLESS ADA COMPLIANT FLUSH VALVE	2
SINK	KOHLER	WALL MOUNTED	HUDSON SINGLE HOLE	K-2812-0	WHITE	18" X 20" WALL MOUNTED ADA COMPLIANT SINK	6
SINK FAUCET	KOHLER	TOUCHLESS	SCULPTED INSIGHT	K-7515	CHROME	TOUCHLESS ADA COMPLIANT FAUCET	6
JANITOR SINK	KOHLER	FLOOR MOUNTED	WHITBY	K-6710	WHITE	24" X 24" FLOOR MOUNTED MOP BASIN	1
JANITOR SINK FAUCET	KOHLER	WALL MOUNTED	KINLOCK	K-8907	CHROME	WALL MOUNTED ADA COMPLIANT SINK FAUCET	1
DRINKING FOUNTAIN	ELKAY	ADA WALL MOUNTED		EDFP214C	STAINLESS STEEL	18" X 20" ADA WALL MOUNTED ADA COMPLIANT DRINKING FOUNTAIN	1

ROOM FINISH NOTES:

MEN'S, WOMEN'S, FAMILY RESTROOMS
 FLOOR - NON-SLIP EPOXY COATING W/ 6" EPOXY COVE BASE.
 WALLS - BURNISHED CMU W/ ANTI GRAFITTI COATING
 CEILING - M.D.O. PLYWOOD AND 1X2 BATTENS @ 6'-9" A.F.F.

CHASE/ MECH. ROOM
 FLOOR - SEALED CONCRETE FLOOR
 WALLS - BURNISHED CMU W/ ANTI GRAFITTI COATING
 CEILING - M.D.O. PLYWOOD @ 8'-9" A.F.F.

* EPOXY COATING BY LATIGRETE OR APPROVED EQUAL. MATERIAL MUST BE MOISTURE TOLERANT. COLOR SAMPLES TO BE PROVIDED TO ARCHITECT FOR REVIEW AND APPROVAL. APPLY COATING PER MANUFACTURER'S RECOMMENDATIONS.

DOOR SCHEDULE									
SYMBOL	QTY.	SIZE	PNL	TYPE	HWDR	INTERIOR FINISH	EXTERIOR FINISH	Comments	
FIRST FLOOR									
1	2	3'0" x 7'0"	F	HM	1	PAINTED	PAINTED	4" FRAME HEAD	
2	1	3'0" x 7'0"	F	HM	2	PAINTED	PAINTED	4" FRAME HEAD	
3	2	3'0" x 7'0"	F	HM	3	PAINTED	PAINTED	4" FRAME HEAD	

PANEL TYPE		CONSTRUCTION TYPE	
F	FLAT	HW	WOOD, HOLLOW
2	2 PANEL	WD	WOOD, SOLID CORE
3	3 PANEL	IW	WOOD, INSULATED
4	4 PANEL	AL	ALUMINUM
5	5 PANEL	HM	METAL, HOLLOW
6	6 PANEL	IM	METAL, INSULATED
CR	CRAFTSMEN	ME	MATCH EXISTING
ME	MATCH EXISTING	RE	REUSE EXISTING
RE	REUSE EXISTING	ETR	EXISTING TO REMAIN
ETR	EXISTING TO REMAIN		

HARDWARE SCHEDULE:

CYLINDERS SHALL BE MASTER KEYED WITH STAMPING "DO NOT DUPLICATE". VERIFY KEYING W/ OWNER.

HARDWARE SET # 1:
 1 1/2" PR. S.S. 4 1/2" X 4 1/2" B.B. HINGES (N.R.P.)
 S.S. PUSH & PULL
 S.S. KICKPLATE ON INTERIOR SIDE OF DOOR
 CLOSER
 DEADBOLT LOCK
 ELECTRIC DEADBOLT
 WALL STOP
 ADA THRESHOLD (MINIMUM)
 WEATHERSTRIPPING
 SWEEPS

HARDWARE SET # 2:
 1 1/2" PR. S.S. 4 1/2" X 4 1/2" B.B. HINGES (N.R.P.)
 S.S. KICKPLATE ON INTERIOR SIDE OF DOOR
 CLOSER W/ HOLD OPEN
 DEADBOLT LOCK WITH THUMBTURN
 PASSAGE LATCHSET W/ LEVER HANDLE
 WALL STOP
 THRESHOLD
 WEATHERSTRIPPING
 SWEEPS

HARDWARE SET # 3:
 1 1/2" PR. S.S. 4 1/2" X 4 1/2" B.B. HINGES (N.R.P.)
 S.S. PUSH & PULL
 S.S. KICKPLATE ON INTERIOR SIDE OF DOOR
 CLOSER
 DEADBOLT LOCK W/ THUMBTURN
 ELECTRIC DEADBOLT
 WALL STOP
 ADA THRESHOLD (MINIMUM)
 WEATHERSTRIPPING
 SWEEPS

GENERAL DOOR & HARDWARE NOTES:

DOORS:
 FLOOR ELEVATION:
 LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 0.25 UNIT VERTICAL IN 12 UNITS HORIZONTAL.

THRESHOLDS:
 THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.5 INCH. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 0.25 INCH AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL.

HARDWARE:
 DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

HARDWARE HEIGHT:
 DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.

CLOSERS:
 INTERIOR DOOR CLOSING FORCE SHALL BE 5 LBS. MAX AND 5 SECONDS CLOSING TIME FROM 90 DEGREES OPEN TO 7" FROM CLOSED.
 EXTERIOR DOOR CLOSING FORCE SHALL BE 8.5 LBS. MAX AND 5 SECONDS CLOSING TIME FROM 90 DEGREES OPEN TO 7" FROM CLOSED.

TOILET ROOM GENERAL NOTES:

MIRRORS:
 MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. A.F.F.

COAT HOOKS:
 COAT HOOKS PROVIDED WITHIN TOILET ROOMS SHALL BE MOUNTED AT 48" MAX. A.F.F.

URINALS:
 URINALS SHALL BE OF THE STALL TYPE OR SHALL BE OF THE WALL-HUNG TYPE WITH THE RIM AT 17" MAX. A.F.F.

WATER CLOSETS:
 THE CENTERLINE OF WATER CLOSETS SHALL BE 16" MIN. TO 18" MAX. FROM SIDE WALLS OR PARTITIONS. THE TOP OF WATER CLOSET SEATS SHALL BE 17" MIN. TO 19" MAX. A.F.F. SEATS SHALL NOT RETURN AUTOMATICALLY TO A LIFTED POSITION. FLUSH TRIP LEVER MUST BE LOCATED ON OPEN SIDE OF TANK.

ACCESSIBLE STALLS:
 DOORS ON ACCESSIBLE STALLS SHALL BE SELF-CLOSING AND SHALL HAVE HARDWARE MOUNTED 34"-48" A.F.F. DOOR HARDWARE SHALL BE OPERABLE WITH A CLOSED FIST.

GRAB BARS:
 SIDE WALL GRAB BARS SHALL BE 42" LONG MIN., 12" MAX. FROM THE REAR WALL AND EXTENDING 54" MIN. FROM THE REAR WALL. THE REAR WALL GRAB BAR SHALL BE 24" LONG MIN., CENTERED ON THE WATER CLOSET. WHERE SPACE PERMITS, THE BAR SHALL BE 36" LONG MIN., WITH THE ADDITIONAL LENGTH PROVIDED ON THE TRANSFER SIDE OF THE WATER CLOSET. VERTICAL GRAB BAR SHOULD BE 18" TALL. BOTTOM OF GRAB BAR SHOULD BE 39"-41" A.F.F. CENTER OF GRAB BAR SHOULD BE 39"-41" FROM BACK WALL. GRAB BARS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" MIN. AND 2" MAX. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1 1/2". GRAB BARS SHALL BE MOUNTED 33" MIN. AND 36" MAX. A.F.F.

TOILET PAPER DISPENSERS:
 TOILET PAPER DISPENSERS SHALL BE 7" MIN. AND 9" MAX. IN FRONT OF THE WATER CLOSET. THE OUTLET OF THE DISPENSER SHALL BE 15" MIN. AND 48" MAX. A.F.F. THERE SHALL BE A CLEARANCE OF 11 1/2" MIN. BELOW AND 12" MIN. ABOVE THE GRAB BAR.

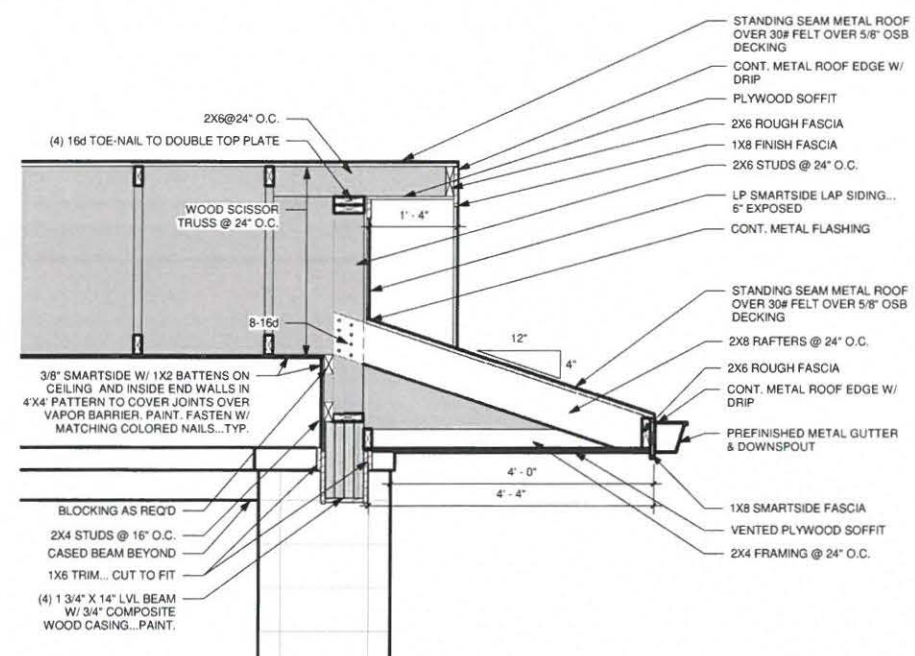
LAVATORIES AND SINKS:
 THE FRONT OF LAVATORIES AND SINKS SHALL BE 34" MAX. A.F.F. MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE. KNEE CLEARANCE SHALL BE 27" MIN. A.F.F. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE CLEARANCES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.

SURROUNDING MATERIALS:
 IN BATHROOMS WITH MORE THAN ONE WATER CLOSET, WALLS WITHIN TWO FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF FOUR FEET ABOVE THE FLOOR. ACCESSORIES PROVIDED ON OR WITHIN WALLS SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.

TOILET ROOM ACCESSORIES:

MEN'S & WOMEN'S ROOMS:
 TOILET TISSUE HOLDERS FOR EACH STALL, ROBE HOOK ON BACK OF ACCESSIBLE STALL DOOR, 24"X36" S.S. FRAME MIRRORS ABOVE SINKS, RECESSED WARM AIR HAND DRYER (MOUNT DRYER 48" A.F.F. TO OPERATING MECHANISM. DRYER SHALL NOT PROTRUDE MORE THAN 4" INTO ACCESSIBLE ROUTE).

FAMILY ROOMS:
 TOILET TISSUE HOLDERS FOR EACH STALL, ROBE HOOK ON BACK OF DOOR, 24"X36" S.S. FRAME MIRRORS ABOVE SINK, RECESSED WARM AIR HAND DRYER (MOUNT DRYER 48" A.F.F. TO OPERATING MECHANISM. DRYER SHALL NOT PROTRUDE MORE THAN 4" INTO ACCESSIBLE ROUTE). ADA COMPLIANT BABY CHANGING STATION (MOUNT CHANGER TO MEET ADA REQUIREMENTS FOR REACH RANGE AND KNEE SPACE), HEIGHT ADJUSTABLE ADULT CHANGING TABLE.



SECTION 5 - Section Thru Gable End
 3/4" = 1'-0"

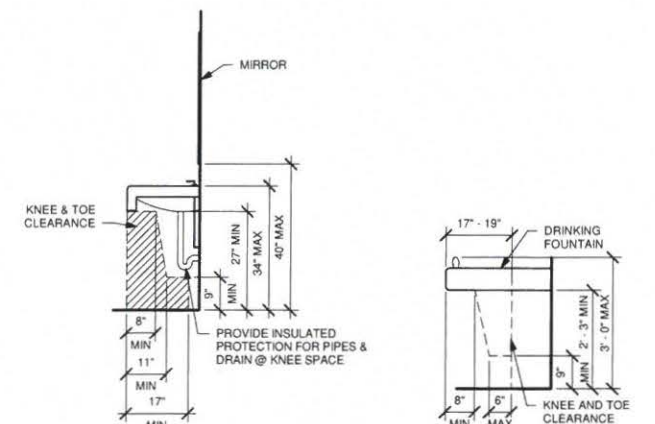


4 ADA TOILET ROOM SIGNS
 3" = 1'-0"

PLAQUE WITH VISUAL, TACTILE & BRAILLE CHARACTERS, PICTOGRAM, AND SYMBOL OF ACCESSIBILITY INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. SIGNS SHALL HAVE WHITE SYMBOLS, CHARACTERS, AND LETTERS ON BLACK BACKGROUND. VERIFY EXACT LANGUAGE WITH OWNER.

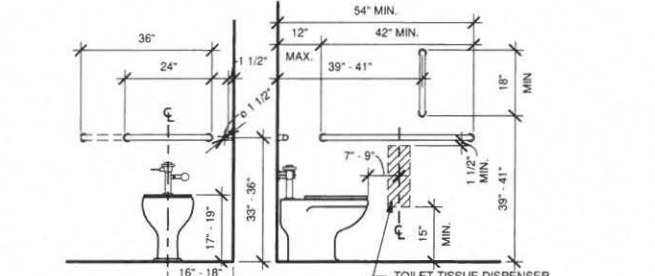
WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR AREA 18 INCHES MINIMUM BY 18 INCHES MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.

SIGNS WITH TACTILE CHARACTERS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.



3 ADA LAVATORY
 1/2" = 1'-0"

2 ADA DRINKING FOUNTAIN
 1/2" = 1'-0"



1 ADA TOILETS - FLOOR MOUNTED FLUSH VALVE
 1/2" = 1'-0"

REVISIONS	
Date	Description
03-26-18	Plan Revision
5-17-18	Construction Documents

DISTINCTIVE DESIGN
 STUDIO

215 Pine Street
 Sheboygan Falls, WI 53085
 Ph: (920)-395-1090
 www.distinctivedesignstudio.com

SHAW FAMILY PLAYGROUND

TOILET/ SHELTER BUILDING
 EVERGREEN PARK, SHEBOYGAN, WI

CONSTRUCTION DOCUMENTS

SCHEDULES

ISSUE DATE: 3/2/18
 DRAWN BY: JRA
 CHECKED BY: EAJ
 PROJECT #: 18-016

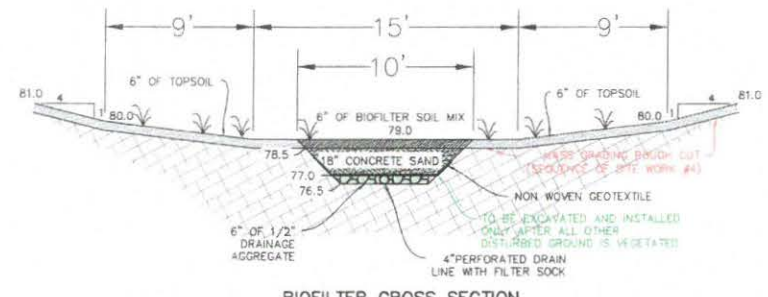
A8.0

SCALE: As indicated
 NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE USER SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

GENERAL NOTES

- DIMENSIONS, WHEN SHOWN, TAKE PRECEDENCE OVER SCALE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
- THE CONTRACTOR SHALL CALL DIGGERS HOTLINE SERVICE FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES AT 1-800-242-8511, 3 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL OF THE UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE ORDINANCES AND REQUIREMENTS OF THE CITY OF SHEBOYGAN AND THE STATE OF WISCONSIN DOT, DCOMM, AND DNR REQUIREMENTS AND PER THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, CURRENT EDITION.
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS APPROVED BY THE CITY OF SHEBOYGAN, FOLLOWING PROPER CONSTRUCTION TECHNIQUES.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND IS TO COMPARE THE SITE CONDITIONS TO THOSE SHOWN ON THE ENGINEERING PLANS. ANY DISCREPANCIES ARE TO BE AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ON THE PLANS BECOME APPARENT DURING CONSTRUCTION, PROVIDE IMMEDIATE NOTIFICATION.
- THE CONTRACTOR SHALL VERIFY THE GRADE AND LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. RELATED WORK SHALL NOT COMMENCE UNTIL ANY DISCREPANCY IS RESOLVED.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH AS-BUILT INFORMATION OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE RESTORATION OF EXISTING IMPROVEMENTS WHICH ARE DAMAGED DURING CONSTRUCTION, IS CONSIDERED INCIDENTAL AND SHALL BE DONE PER THE REQUIREMENTS OF THE MUNICIPALITY AND SHOULD INCLUDE PAVEMENT, CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED IMPROVEMENTS AND FOR REPORTING ANY DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS FOR THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR THE PROPOSED WORK TO BE DONE AND IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ANY EXISTING SANITARY SEWER, SANITARY SEWER LATERALS, WATER MAIN, WATER SERVICES, STORM SEWER, STORM SEWER LATERALS OR OTHER EXISTING UTILITIES WHICH ARE DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED TO THE UTILITY OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.



BIOFILTER CROSS SECTION

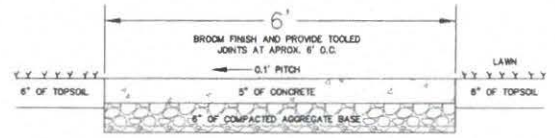
Evergreen Park Playground
Sheboygan, WI
Concrete Take-off Items
May 15, 2018

Item No.	Item Description	Notes	Quantity
1	Playground Ring Sidewalk	I assumed 5" thick with no reinforcing per detail	3,364 sf 52.5 cy
2	5" Thick Stamped & Colored Concrete	There are (3) total areas of this type of concrete.	1,750 sf 27.0 cy
3	Sandbox Barrier Curb	I assumed an 8" wide x 18" deep concrete curb with (2) #5 bars running in the curb	44 lf 174 cy
	Reinforcing Steel		97 lf 101 lbs.
4	Restroom Building Pad & Sidewalk	The thickness of the pad is not indicated on the drawing - I assumed 5" thick. Concrete sidewalk is priced as Type A.	3,273 sf 51 cy
5	Sidewalk Along Parking Lot & East Side of Playground	This is a combination of Types A, B & C sidewalks - I have included the drop curb at Type C sidewalks per detail	2,810 sf 46 cy
	Detectable Warning Fields		1 ea
6	Pine Grove Ave. Sidewalk, Aprons and Curb Patch	I assumed 6" thick concrete aprons. All sidewalk is shown to be Type A.	3,729 sf 60.5 cy
	Detectable Warning Fields		4 ea
	Curb Patch	I assumed 24" wide curb & gutter.	38 lf 3.0 cy
	Reinforcing Steel	I assumed (3) #5 bars running continuous in the curb & gutter.	125 lf 130 lbs.

MANHOLE TABLE

KEY	RIM ELEV.	INV. ELEV.	DIAMETER	GRATE
NYLOPLAST 1	78.85	75.60	8"	8" GRATE
NYLOPLAST 2	81.00	79.50	6"	6" GRATE
NYLOPLAST 3	80.60	79.10	8"	8" GRATE
NYLOPLAST 4	81.20	79.70	6"	6" GRATE
NYLOPLAST 5	80.70	79.20	10"	10" GRATE
NYLOPLAST 6	77.75	76.50	8"	8" GRATE
NYLOPLAST 7	81.10	77.20	10"	10" SOLID
NORTH OUTLET STRUCTURE	80.00	SEE DETAIL	30"	R-1711-B
SOUTH OUTLET STRUCTURE	80.50	SEE DETAIL	30"	R-2050-C

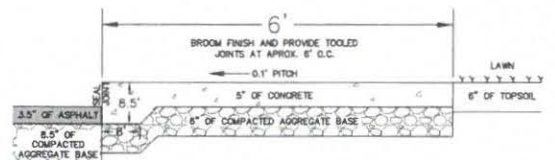
- CITY WILL COORDINATE WITH ALLIANT ENERGY CORP PROVIDING POWER TO THE SITE
- LIGHT POLE DETAILS/CONDUIT/WIRING SPECIFICATIONS TO BE PROVIDED BY FAITH TECHNOLOGIES
- LIGHT POLE BASES MUST BE PLACED A MINIMUM OF 2' FROM ANY PAVEMENTS
- LIGHT POLE BASE LOCATIONS TO BE FIELD VERIFIED BY THE CITY



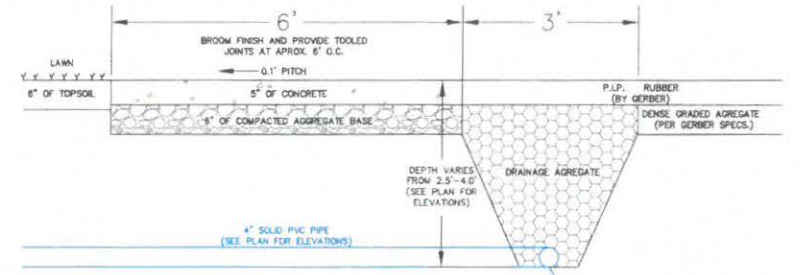
CONCRETE SIDEWALK TYPE A



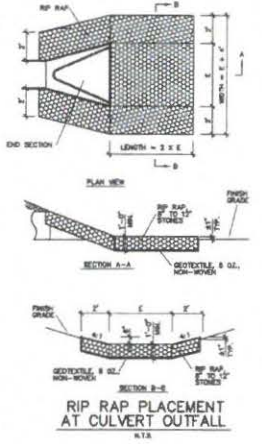
CONCRETE SIDEWALK TYPE B



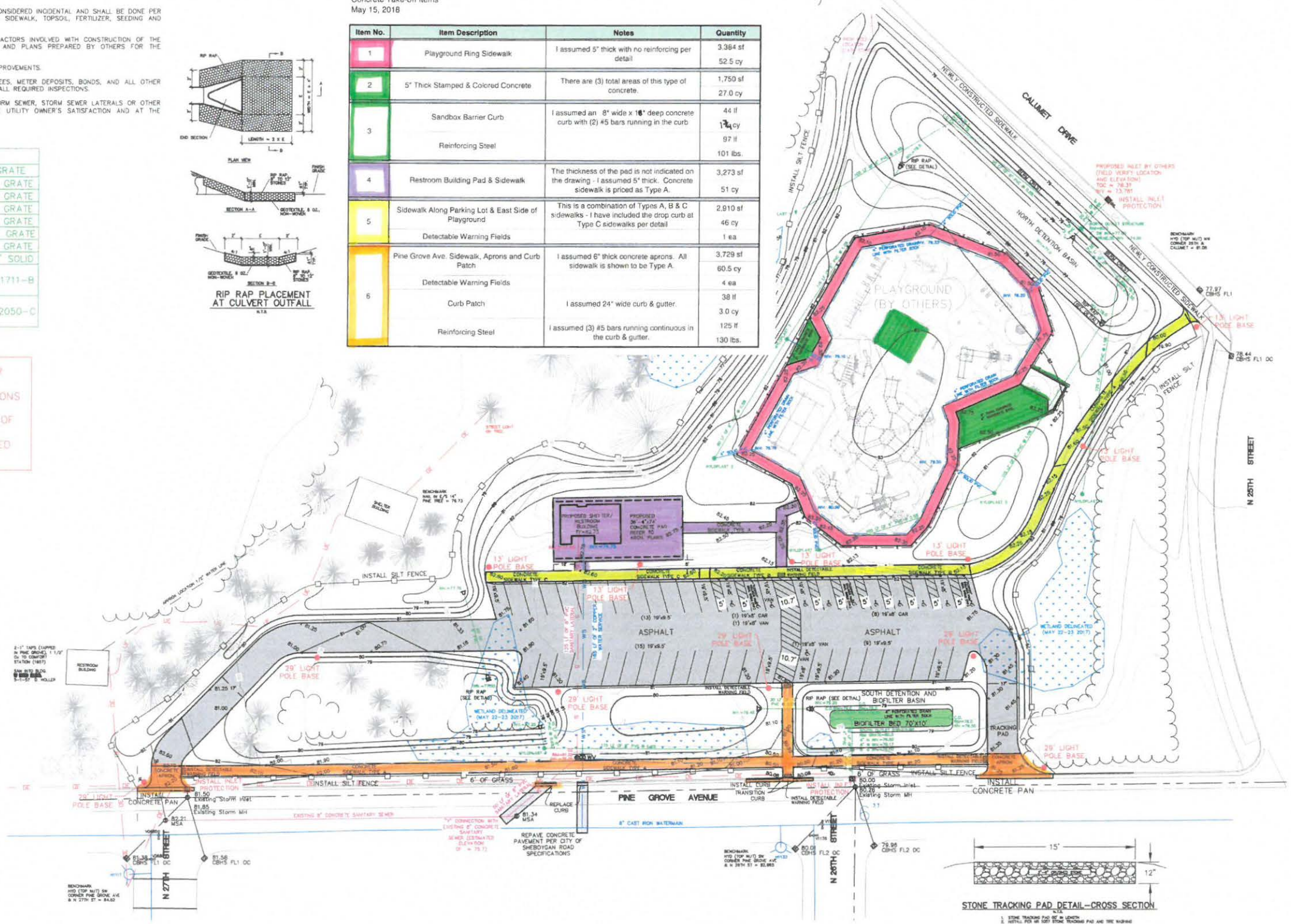
CONCRETE SIDEWALK TYPE C



PLAYGROUND DRAIN TILE AND PERIMETER SIDEWALK DETAIL



RIP RAP PLACEMENT AT CULVERT OUTFALL



STONE TRACKING PAD DETAIL - CROSS SECTION

GRADING AND EROSION CONTROL PLAN

5308 S. 12th Street
Sheboygan, WI 53081-8099
Phone 920-458-6164
Fax 920-458-0369
www.storlwithmiller.com

MILLER ENGINEERS SCIENTISTS

NO.	DATE	DESCRIPTION	BY
4	5/14/18	UPDATES TO BUILDING AND PAVING REQUIREMENTS AND	BRW
3	3/1/18	ADDED SANITARY AND WATER SERVICES PER CITY'S REQUEST	BRW
2	12/22/17	EXTENDING PARKING LOT TEXT PER CITY'S REQUEST	BRW
1	10/14/17	ISSUE SET FOR THE SHEBOYGAN PLAYGROUND AND CONCRETE	BRW

CITY OF SHEBOYGAN
EVERGREEN PARK PLAYGROUND
PINE GROVE AVENUE
SHEBOYGAN, WISCONSIN

SCALE: HOR. 1"=30'
VER. 1"=10'

DATE: 9-14-17

JOB: 20315-A

BY: BRW

CK: RGM

SHEET: 26 OF 3

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: New Transpo Mini-Storage building at 3515 Superior Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 22, 2018

MEETING DATE: June 25, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Ron Becker is proposing to construct another 14 unit storage building at the Transpo Mini-Storage located at 3515 Superior Avenue. The applicant states:

- Transpo Mini-Storage presently has four (4) buildings on the site holding 164 storage units. They range in size from 50sf (5 x 10) to 200sf (10 x 20). 10 of the units are temperature controlled.
- Transpo Mini-Storage is proposing to add a 5th building which will be 2,800sf (20 x 140). The building will provide fourteen 200sf (10 x 20) storage units. The new building will be consistent with the appearance of the existing facility. The building is to be located on the north end of the site parallel to Superior Avenue.
- The new building will feature faux stone wall panels in the middle and on the east and west ends of the north elevation. Vertical, tan, metal siding will provide the make-up of the remaining wall surfaces. A dark brown metal coping, trim, and gutters will provide accent to the building while tan downspouts on the north elevation will help break up the horizontality of the building. A standing seam metal roof will slope to the south.

STAFF COMMENTS:

As the Plan Commission is aware, this section of Superior Avenue has been redeveloping very nicely from an architectural design and materials perspective. City Staff, the Plan Commission and the Architectural Review Board have been requiring well designed structures in this area of Superior Avenue. Most of these buildings are brick or have some

type of brick component to them. In addition, there are residences across the street that will be looking at this new mini-storage building every day.

Staff's biggest concern with the Transpo Mini-Storage project is with the proposed architectural design which is a very basic industrial design which is not compatible with the existing commercial and residential development along Superior Avenue. Staff informed the applicant about these design concerns on several occasions. Based on those discussions, the applicant has made some very minor modifications. However, is staff's opinion that the present building design is neither consistent nor compatible with the architectural design of the buildings in this Superior Avenue commercial and residential neighborhood.

In addition, there is a significant amount of existing landscaping that presently does a nice job screening the mini-storage units from Superior Avenue. However, most of the landscaping that provides the screening will need to be removed in order to construct the building as proposed. It does appear that the applicant is proposing quite a bit of landscaping between the building and Superior Avenue in order to visually screen the building from Superior Avenue but this landscaping will take several years to grow to maturity. Therefore, the proposed building will now be very visible because the existing landscaping will be removed and because it sits on top of a hill that overlooks Superior Avenue(site is much higher than the road)..

The proposed mini storage structure will be closer to the street then virtually all other buildings located along the south side of Superior Avenue. You will begin to see the structure from Taylor and Superior to the east and just after the roundabout to the west. This will be a very visible structure.

Building Elevation Comments:

North Elevation – There is too much metal on this building elevation which gives it an industrial appearance/feel in this commercial/residential neighborhood. The metal should be more of an accent and not the main material. It appears that the applicant could draw on adjacent buildings for design elements that could be incorporated into this new building (brick, smartsiding, etc.).

This is a long/low building that needs better design to break-up the length of the 140 foot long mass of wall. This elevation needs to be given appropriate architectural detailing along this very visible Superior Avenue street frontage.

The applicant could add additional vertical "elements" to help reduce the perceived length of the façade including but not limited to introducing additional downspouts, columns, etc.

The roof is also going to be a defining element and maybe introducing some sort of breaks in the roof-line could be visually appealing.

South Elevation – Very basic design that faces that faces the interior of the Transpo property.

East Elevation – Very basic design that faces commercial properties to the east. Appears that the applicant should wrap the stone around the northeast corner of the building.

West Elevation – Very basic design that faces commercial properties to the west. Appears that the applicant should wrap the stone around the northwest corner of the building.

Other ideas:

- Is there an opportunity to incorporate signage along the building?
- A tower-element of some sort (possibly including signage) could become a nice architectural feature to break-up the long façade.
- Introducing breaks in the roof-line could be visually appealing.

ACTION REQUESTED:

Staff would recommend that the applicant submit revised drawings that provide additional architectural design to this new building.

ATTACHMENTS:

Architectural Review Board Application and required attachments.



PARCEL NO.: 215822
MAP NO.: _____
ZONING CLASSIFICATION: UC

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 6/25/18

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised January 2014

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: TRANSPo MINI STORAGE, INC
ADDRESS: 1209 S 11TH ST, SHEBOYGAN, WI 53081
E-MAIL ADDRESS: TRANSPo.mini@HOTMAIL.COM
PHONE: (920) 457-1155 FAX NO.: (920) 457-0527

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: TRANSPo MINI STORAGE, INC

ADDRESS OF PROPERTY AFFECTED: 3515 SUPERIOR AVE.

NEW BUILDING: ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: BUILD A 20'X140' BUILDING TO HOUSE 14-10'X20' STORAGE UNITS

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: CURRENT 4 BUILDINGS ARE METAL CONSTRUCTION

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: MATCH THE EXISTING 4 BUILDINGS

CONDITIONAL USE PERMIT

- PREVIOUS USE OF THE EXISTING BUILDING OR USE is self storage. We currently have 4 buildings on the site holding 164 storage units. They range in size from 5 x 10' to 10 x 20'. 10 of the units are temperature controlled.
- THE PROPOSED OPERATION. We propose adding a 5th building, which will be 20' x 140'. The building will hold 14 – 10 x 20' storage units. Our office will continue to be at 1209 S. 11th St. We will meet tenants as necessary, but will continue to use the current office. Parking will continue in the current configuration. There will not be any additional signage or driveways. We don't anticipate having more than 1 or 2 additional vehicles per day entering the facility. The current site is satisfactorily served by utilities or public agencies.
- WHY ADDITIONAL SELF STORAGE BUILDING IS PROPOSED. Storage continues to be in high demand. The 2 main reasons are the increase in home sales and the large increase in apartments. We currently draw customers from Village Green and Mapledale in addition to the new developments in and near the downtown area. We have 5 locations and the Superior Ave. is always virtually full.
- EXPLANATION OF OUR BUSINESS. We currently operate 767 storage units at our other 4 locations. We have cameras for monitoring activity. In addition we do daily walk-throughs. We don't allow any outside parking. The storage units are used primarily for household goods. We do have some business clients, but the vast majority are storing household goods.
- DAYS/HOURS OF OPERATION. The facility is open 24 x 7 and will continue to be so. To the best of our knowledge, that has not been an issue. We anticipate 1 additional vehicle per day.
- NUMBER OF EMPLOYEES. We currently have 4 employees, and don't anticipate that changing.
- NO NUISANCE. Will patrol the area on a daily basis. We don't allow waste or outdoor storage. Likewise, we don't allow outside storage of vehicles or equipment. Any debris or junk that is left will be picked up daily. There should not be any noise.
- FENCING AND LANDSCAPING. We will submit a landscaping plan to be approved by the city.
- PARKING SPACES will be the current space.
- ACCESS No additional driveways are requested.
- CURRENT SIGNAGE IS SATISFACTORY. No additional signage is requested.
- Clients ARE MAINLY Sheboygan residents or people moving into the area.
- COMPANY BACKGROUND. Transpo Mini Storage was formed in 1995. From that time, we have diligently run attractive well managed facilities. To the best of my knowledge, we aren't considered a nuisance in any of our locations. We will continue to see that this facility will be an asset to the area.

TRANSPO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes

PRELIMINARY PLANS

1ST FLOOR PLAN

ISSUE DATE: 5/18/18

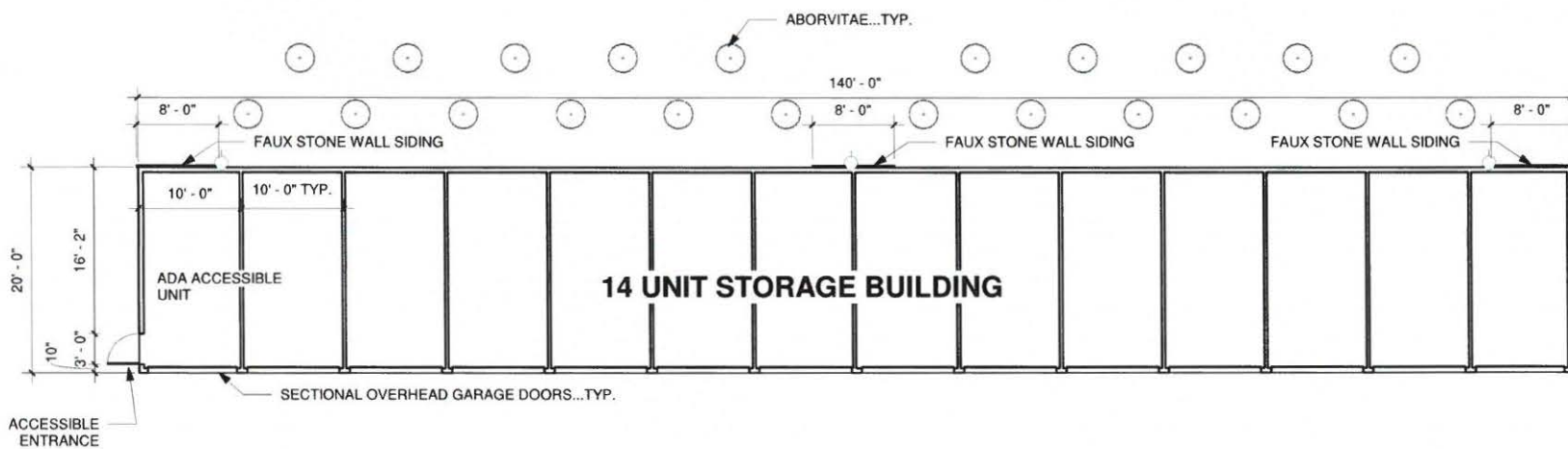
DRAWN BY: JA

CHECKED BY: E.J.

PROJECT #: 18-039

A101

SCALE: 3/32" = 1'-0"



1 FLOOR PLAN - FIRST FLOOR PLAN
3/32" = 1'-0"

THESE DOCUMENTS ARE NOT FOR CONSTRUCTION

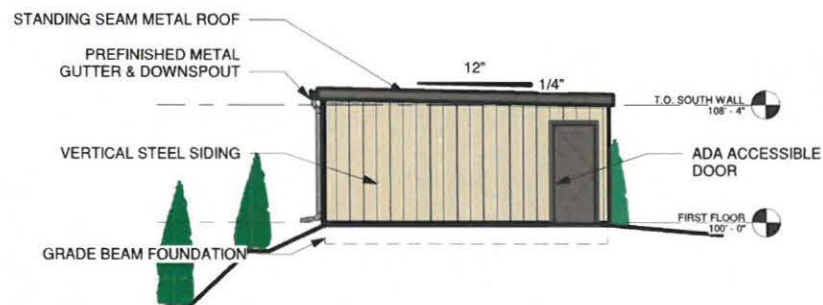
THESE DOCUMENTS ARE NOT FOR CONSTRUCTION

THIS DRAWING IS PRINTED ON 12 X 18. IF THIS SCALE BAR IS NOT EXACTLY 1", THIS DRAWING IS NOT TO SCALE.

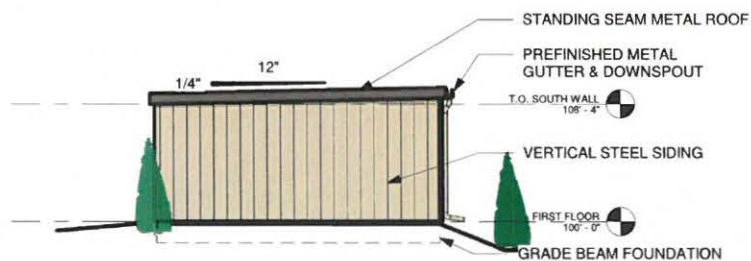


TRANSPO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081



2 EXTERIOR ELEV. - WEST ELEVATION
1/8" = 1'-0"



1 EXTERIOR ELEV. - EAST ELEVATION
1/8" = 1'-0"

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes

PRELIMINARY
PLANS

EXTERIOR
ELEVATIONS

ISSUE DATE: 5/18/18
DRAWN BY: JA
CHECKED BY: EJ
PROJECT #: 18-039

A201

SCALE: 1/8" = 1'-0"



DISTINCTIVE DESIGN
STUDIO
215 Pine Street
Sheboygan Falls, WI 53085
Ph: (920)-395-1090

TRANSCO MINI-STORAGE

NEW BUILDING
3515 SUPERIOR AVENUE
SHEBOYGAN, WI 53081

REVISIONS

Date	Description
5/30/18	Elevs. & Bushes
6/7/18	Bushes

PRELIMINARY PLANS

EXTERIOR ELEVATIONS

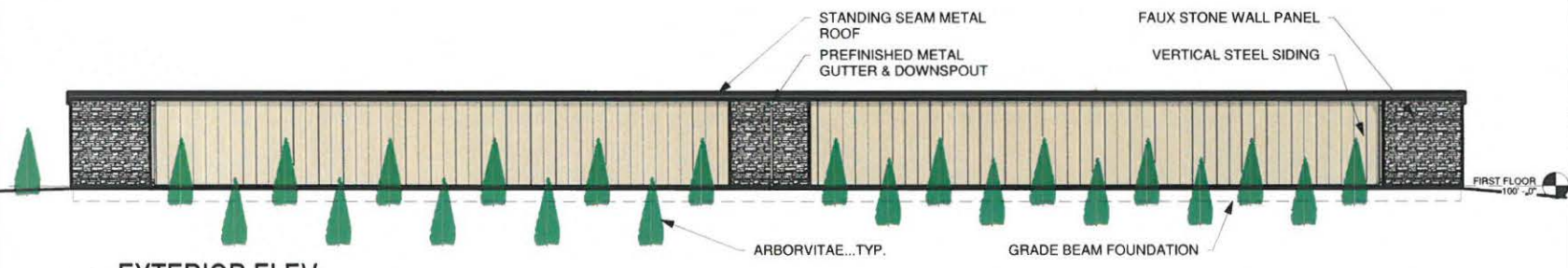
ISSUE DATE: 5/18/18
DRAWN BY: JA
CHECKED BY: EJ
PROJECT #: 18-039

A202

SCALE: 3/32" = 1'-0"



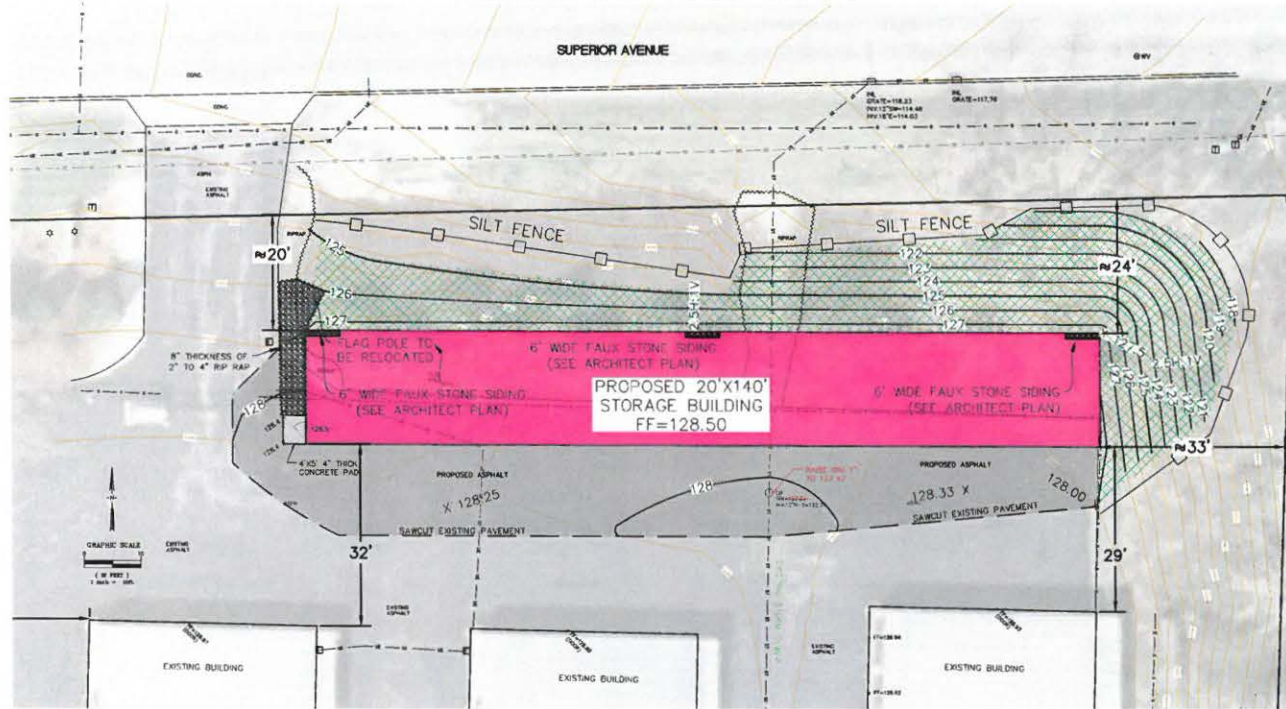
2 FLOOR PLAN - SOUTH ELEVATION
3/32" = 1'-0"



1 EXTERIOR ELEV. - NORTH ELEVATION
3/32" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

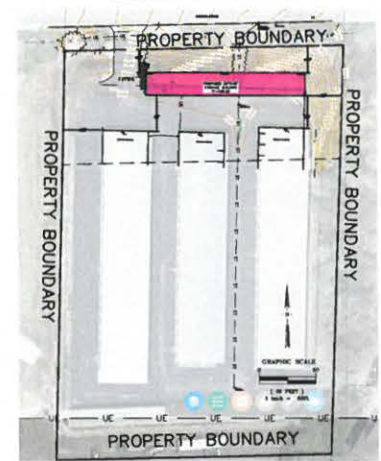
GRADING AND EROSION CONTROL PLAN VIEW



SITE LOCATION MAP



PARCEL PLAN VIEW



SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROL MEASURES AS SHOWN AND AS REQUIRED BY BMP'S.
2. CLEAR, GRUB, STRIP, AND STOCKPILE TOPSOIL.
3. PERFORM MASS GRADING.
4. INSTALL DENSE GRADED AGGREGATE BASE FOR PAVEMENTS, THEN PAVE.
5. PLACE TOPSOIL TO MEET ALL FINAL GRADES, SEED, MULCH, AND INSTALL LANDSCAPING.
6. DECOMMISSION EROSION CONTROL MEASURES ONLY AFTER ENTIRE SITE SURFACE IS STABILIZED WITH VEGETATION.

IMPLEMENTATION OF EROSION CONTROL METHODS

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DIRT CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS AND THE CITY OF SHEBOYGAN REQUIREMENTS.
2. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE D.O.T. EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION GIVEN TO THE SITE CONDITIONS.
4. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE INSTALLED BEFORE ANY GRADING WORK OR DISTURBANCE OF EXISTING SURFACE MATERIAL.
5. ALL TEMPORARY SOIL EROSION PROTECTION DEVICES SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.
6. OVERLAND SURFACE DRAINAGE SHALL BE PREVENTED FROM LEAVING THE WORK SITE BY INSTALLING EROSION CONTROL DEVICES AS SHOWN ON THE PLANS.
7. IF THERE ARE DISCREPANCIES BETWEEN THESE DETAILS AND THE ONE TECHNICAL STANDARDS FOR SEDIMENT AND EROSION CONTROL, THE MORE RESTRICTIVE REQUIREMENT SHALL BE FOLLOWED.
8. TOPSOIL, SEED, AND MULCH ANY NON-PAVED AREA WITHIN 9 WEEKS OF COMPLETION OF THE GRADING OPERATION IN THAT AREA.
9. SEED SITE WITH AN ANNUAL RYE OR PERMANENT VEGETATION AS SPECIFIED BY THE OWNER. ALL STORM WATER FACILITIES SHALL BE SEEDS WITH QUESTION BASH OR BOWMAN'S SEED MIX FROM PRAGMADSEEDS.COM WITHIN 7 DAYS OF STOPPING OR COMPLETING WORK IN THAT AREA.
10. CLASS 1 - TYPE B EROSION CONTROL MAT SHALL BE PLACED ON ALL DISTURBED SLOPES GREATER THAN 10% AND ON THE BOTTOM OF ALL DRAINAGE DITCHES.

GENERAL NOTES

1. DIMENSIONS, WHEN SHOWN, TAKE PRECEDENCE OVER SCALE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
2. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE SERVICE FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES AT 1-800-742-8511. 2 WORKING DAYS PRIOR TO DIGGING, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL OF THE UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
3. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
4. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE ORDINANCES AND REQUIREMENTS OF THE CITY OF SHEBOYGAN AND THE STATE OF WISCONSIN D.O.T. CORP. AND ONE REQUIREMENTS AND PER THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, CURRENT EDITION.
5. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS APPROVED BY THE CITY OF SHEBOYGAN FOLLOWING PRIOR CONSTRUCTION TECHNIQUES.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND IS TO COMPARE THE SITE CONDITIONS TO THOSE SHOWN ON THE ENGINEERING PLANS. ANY DISCREPANCIES ARE TO BE AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
7. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ON THE PLANS BECOME APPARENT DURING CONSTRUCTION, PROVIDE IMMEDIATE NOTIFICATION.
8. THE CONTRACTOR SHALL VERIFY THE GRADE AND LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. RELATED WORK SHALL NOT COMMENCE UNTIL ANY DISCREPANCY IS RESOLVED.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH AS-BUILT INFORMATION OF THE IMPROVEMENTS.
10. THE CONTRACTOR SHALL INSTALL A RECDERBAR FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
11. THE RESTORATION OF EXISTING IMPROVEMENTS WHICH ARE DAMAGED DURING CONSTRUCTION, IS CONSIDERED INCIDENTAL WORK, AND ALL OTHER FEES REQUIRED FOR THE PROPOSED WORK TO BE DONE AND IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED IMPROVEMENTS AND FOR REPORTING ANY DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS FOR THE PROJECT.
13. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR THE PROPOSED WORK TO BE DONE AND IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
15. ANY EXISTING SANITARY SEWER, SANITARY SEWER LATERALS, WATER MAIN, WATER SERVICES, STORM SEWER, STORM SEWER LATERALS OR OTHER EXISTING UTILITIES WHICH ARE DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED TO THE UTILITY OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.

ASPHALT PAVEMENT

1. PREPARATION OF THE SUBGRADE AND FLEXIBLE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION GRANULAR BASE COURSE SHALL CONSIST OF CRUSHED STONE CONFORMING TO MOOT '82' GRADATION SECTION 305. COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY.
2. ASPHALTIC BINDER AND SURFACE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 315 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION. SURFACE MIX SHALL CONSIST OF A 1.5" 50-20 5" BINDER MIX SHALL CONSIST OF 1.5" 50-20 5."

LAYER THICKNESS

ASPHALT PAVEMENT SURFACE COURSE	1 1/2 INCHES
BINDER COURSE	2 INCHES
GRANULAR BASE COURSE	8 1/2 INCHES

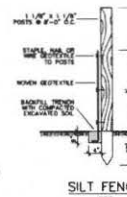
SEAL ALL JOINTS BETWEEN ASPHALT AND CONCRETE PAVEMENT AND WALKS.

GRADING NOTES

1. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED SHALL BE STOCKPILED ON SITE AND SHALL BE USED IN THE FRESH GRADING OF THE AREAS TO BE SEEDS AT THE COMPLETION OF GRADING. THE FINISH GRADE SHALL INCLUDE 4" OF TOPSOIL. REMOVAL OF ANY EXCESS TOPSOIL FROM THE SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
2. IN PAVEMENT AREAS, REMOVE AND REPLACE ANY SOILS THAT HAVE BEEN SOFTENED BY RAIN, FREEZING, CONSTRUCTION EQUIPMENT, ETC. REPLACE WITH COMPACTED CONTROLLED FILL.
3. BEFORE PAVEMENT BASE COURSE MATERIALS ARE PLACED, THE SUBGRADE SHALL BE PROOF-ROLLED TO LOCATE ANY UNSTABLE AREAS WHICH SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL.
4. ALL FILL SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 6" THICKNESS TO AT LEAST 98% OF THE STANDARD PROCTOR (ASTM D998) MAXIMUM DRY DENSITY. THE CLAY FILL SHALL BE COMPACTED AND MAINTAINED WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT UNTIL COVERED WITH AGGREGATE BASE.
5. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, INSTALLING, AND MAINTAINING THE EROSION CONTROL MEASURES SHOWN ON THE PLANS.
6. UNLESS OTHERWISE SHOWN ON THE PLANS, THE MAXIMUM ALLOWABLE GRADED SLOPE SHALL BE 3:1.
7. PROPOSED CONTOURS AND "SPOT" ELEVATIONS SHOWN HEREON INDICATE FINISH GRADE UPON COMPLETION OF THE PROJECT.
8. CONTRACTOR SHALL MEET EXISTING GRADE AT THE LIMITS OF THE PROPOSED CONTOURS AS SHOWN ON THESE PLANS.
9. SEEDING PREPARATION SHALL IMMEDIATELY FOLLOW CONSTRUCTION ACTIVITIES. PREPARE A FINE, FIRM SEEDBED TO A MINIMUM 3-INCH DEPTH. THE SUCCESS OF THIS SEEDING DEPENDS ON A PROPER SEEDBED. REFER TO LANDSCAPE PLAN FOR LAWN AND BOUTER BED SEED MIXES. PLANT ACCORDING TO SUPPLIER'S RECOMMENDATIONS.



CLASS 1, TYPE B EROSION CONTROL MAT



SILT FENCE CONSTRUCTION SPECIFICATIONS

1. PLACE SILT FENCE AROUND DISTURBED AREAS AS SHOWN ON THE PLANS.
2. THE GEOTEXTILE SHALL BE ATTACHED TO THE UPLIFT SIDE. THE POSTS WITH WIRE STAPLES OR WOODEN LATHS AND RAILS.
3. WIRE STAPLES ARE NECESSARY, OVERLAP THE GEOTEXTILE AT A POINT.
4. THE GEOTEXTILE SHALL BE WOVEN POLYESTER, POLYPROPYLENE, STABILIZED WOVEN POLYESTER OR POLYPROPYLENE, CHLORIDE AND SHALL MEET THE ONE TECHNICAL STANDARDS REQUIREMENTS.
5. THE GEOTEXTILE SHALL BE CHECKED AT THE BOTTOM BY SPREADING AT LEAST 1" OF IT IN A 4" DEEP TRENCH AND BACKFILLING.
6. POSTS TO BE 1 1/2" X 1 1/2" OAK, HOLLOW OR STEEL, 8'-10' LONG AND SPACED A MAXIMUM OF 6' APART.

SHEET NO. 1 2

INDEX TO DRAWINGS
EROSION CONTROL AND GRADING PLAN
LANDSCAPE PLAN

WISCONSIN
JOS. SCHMITT CONSTRUCTION
TRANSPO MINI-STORAGE ADDITION
3515 SUPERIOR AVENUE
SHEBOYGAN, WISCONSIN

EROSION CONTROL AND GRADING PLAN

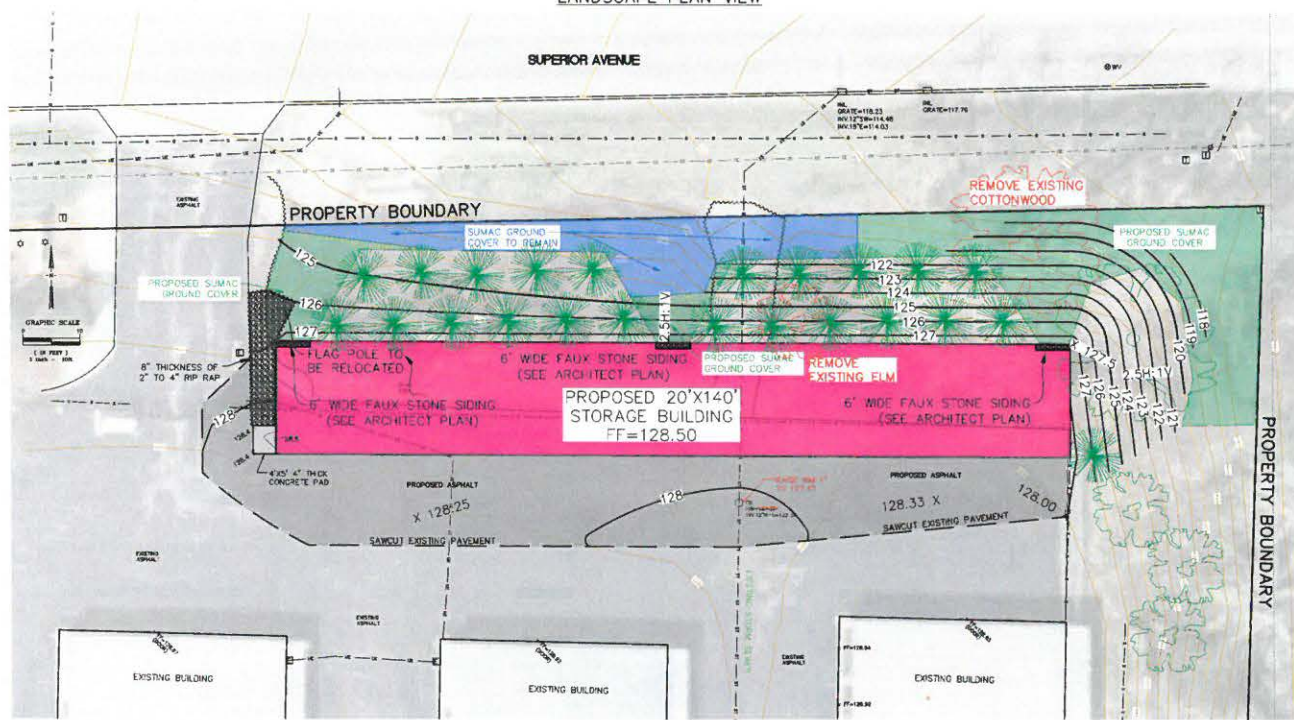
5208 S. 17th Street
Sheboygan, WI 53081-8099
Phone 920-458-6164
Fax 920-458-0384
www.jos.schmitt.com

DATE	11/17/2015
SCALE	AS SHOWN
PROJECT	TRANSPO MINI-STORAGE ADDITION
CLIENT	JOS. SCHMITT CONSTRUCTION
LOCATION	3515 SUPERIOR AVENUE, SHEBOYGAN, WISCONSIN

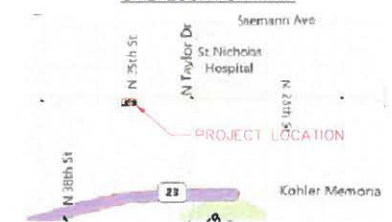
JOS. SCHMITT CONSTRUCTION
TRANSPO MINI-STORAGE ADDITION
3515 SUPERIOR AVENUE
SHEBOYGAN, WISCONSIN

SCALE: 1" = 10'
DATE: 8-7-18
JOB: 20583-6
BY: BRW
CHK: RDM
SHEET: 1 OF 2

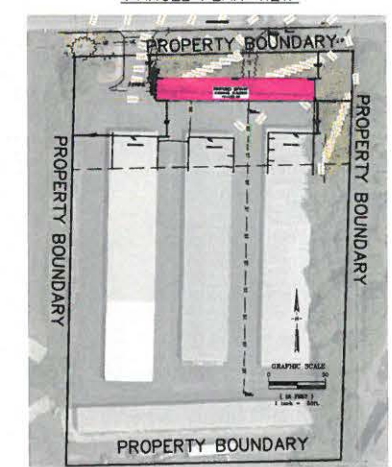
LANDSCAPE PLAN VIEW







SITE LOCATION MAP



PARCEL PLAN VIEW



Key

-  Keep/Replace Gro-Low Fragrant Sumac (*Rhus aromatica*) ground cover along north property boundary where shown (1:1) (Space/plant @ 6' on center)
 -  Plant Arborvitae (*Thuja occidentalis*) (23 medium evergreen trees, 6' tall)
20 points each/ 460 total points provided
 -  Plant Paper Birch (*Betula papyrifera*) (3 medium deciduous trees @ 6' tall)
15 points each/ 45 total points provided
 -  Plant Silver Maple (*Acer saccharinum*) (1 tall deciduous tree @ 1 1/2" DBH)
30 points each/ 30 total points provided
- TOTAL POINTS PROVIDED = 535

Zoning: Urban Commercial (UC)

New Building Points Required

- Floor Area (2800 SF) = 14 points
 - Foundation (320 LF) = 64 points
 - Paved Area (-1400 SF) = 0 points
 - Street Frontage (245 LF) = 49 points
 - Medium Evergreen Trees Removed (18 x 20 points each) = 360 points
 - Medium Deciduous Tree Removed (1 x 15 points each) = 15 points
 - Tall Deciduous Tree Removed (1 x 30 points each) = 30 points
- TOTAL POINT REQUIRED = 532 points

CALL DIGGERS HOTLINE
 1-800-242-8911
 TOLL FREE
 FOR THE ABOVE NUMBER 1-800-242-2286
 WE STRIKE 100% OF THE TIME
 REQUIRED AND UP TO 100% DISCOUNT
 NOTICE BEFORE YOU CONTRACT

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED
 ARE SHOWN UNLESS OTHERWISE SPECIFIED
 DIMENSIONS SHOWN ARE FOR INFORMATION ONLY
 THE ACTUAL DIMENSIONS OF THE FIELD SHALL BE
 AS SHOWN ON THE FIELD LOCATIONS AND SHOWN
 PRINT TO BE SHOWN ON CONSTRUCTION

DESIGNED BY: BHW
 DATE: 6/7/18



**TRANSPO
MINI-STORAGE**

Clean, Safe Storage for Your Goods

920-457-1155 • www.transpomini.com

Office: 1209 S. 11th St.







WALL AND TRIM COLORS



ICED WHITE



CLASSIC BEIGE



CREAM BEIGE



LIGHT STONE



SLATE GRAY

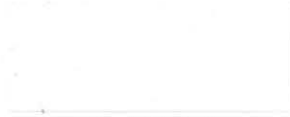
Light Stone now available in R-panel roof.

DOOR AND TRIM COLORS

*Not available in trim.



ICED WHITE



BRIGHT WHITE*



SHALE



DESERT TAN



CONTINENTAL BROWN



EVERGREEN



SUNSET ORANGE



ROYAL BLUE



POLAR BLUE



MATTE BLACK



GARNET



PATRIOT RED*



CEDAR RED

STANDING SEAM ROOF COLORS

Other premium colors are available. Contact Trachte for pricing and availability.



GALVALUME
Standard roof finish.



REGAL WHITE
Closest match to Iced White.



HARBOR/REGAL BLUE
Closest match to Royal Blue.



PATRICIAN BRONZE



SURREY BEIGE
Closest match to Classic Beige.



COLONIAL RED
Closest match to Cedar Red.



ROMAN BLUE
Closest match to Polar Blue.



EVERGREEN

R-PANEL ROOF COLORS



GALVALUME
Standard roof finish.



ICED WHITE



CLASSIC BEIGE



CREAM BEIGE



SLATE GRAY



CEDAR RED



ROYAL BLUE



EVERGREEN

Note: Colors shown are printed samples on paper. Colors vary from actual material. For an accurate color sample, please contact Trachte Building Systems at 800-356-5824.