

**\*\*\*ATTACHMENTS\*\*\***

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

---

**ITEM DESCRIPTION:** Construction of a new Panera Restaurant on Parcel # 215852 (Meijer Outlot – Northeast corner of property along N. Taylor Drive).

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

---

**REPORT DATE:** June 8, 2018

**MEETING DATE:** June 11, 2018

---

**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

---

Wisconsin Statutes: N/A  
Municipal Code: N/A

**BACKGROUND / ANALYSIS:**

Greenberg Farrow is proposing to construct a new Panera Restaurant on Parcel # 215852 (Meijer outlot located at the northeast corner of the property along N. Taylor Drive – CSM Lot 2). The applicant states the following:

- The new Panera Restaurant with outdoor patio and drive thru will be approximately 4,300sf and is proposed to be located on the vacant, undeveloped 1.7 acre parcel located at the northeast corner of the property just to the north of the new Meijer gas station (CSM Lot 2 along S. Taylor Drive - The site was formally Firestone Auto Repair Center).
- The site was selected for its unique placement to the Meijer project and its close proximity to both Interstate I-43 and the populated area of Sheboygan. The applicant believes the proposal will add another vibrant businesses and attractive building to this newly redeveloping property in one of the City’s busiest and visible commercial corridor.

The applicant states the following about the architecture for the restaurant:

- The material and scale of the building has been carefully selected, so as to blend with the surrounding environment, while also maintaining approachability from both a pedestrian and vehicular level. The materials chosen are a mixture of natural and painted masonry units, so as to complement the adjacent Meijer store’s aesthetic.
- The project’s Architects designed the building with simple clean lines, so as to reinforce Panera’s authenticity and to bring a level of sophistication to both the project’s interior and exterior spaces.

- Additionally, the project is sited to take advantage of views from all 4-sides, with careful attention given to each facade. The front is clearly identifiable with its prominent glass corner entry with canopies, while the adjacent sides are broken up with horizontal entrances and a series of windows that have awnings or green-screen trellises.

### **STAFF COMMENTS:**

The new Meijer is redeveloping the former Memorial Mall nicely. That being said, Panera's present design is very simple/basic for this highly visible, traveled and redeveloping intersection of the City. Many people entering the City of Sheboygan will get off at this HWY 23 exit and their first impression of the City of Sheboygan will come from viewing the Panera Restaurant. Staff has the following concerns with the proposal:

- Applicant is proposing a very basic design. It appears that Panera could certainly improve the architecture of this restaurant at this very important and visible commercial intersection/corridor. There are many other Panera Restaurant's that have much more design detail and the applicant needs to add similar design details at this very important location in the City of Sheboygan.
- The board really needs to review the east/back side of the building which is fronting on Taylor Drive. The board will want to make sure that this public façade does not end up cluttered with back of house equipment, etc. What is the plan for improving the overall building design of this elevation and how does the applicant plan on addressing/screening any ground level mechanicals.
- The Board will definitely want to know Panera's plans for screening ground/rooftop units.
- Staff is concerned about the present location of the dumpster enclosure. As people exit HWY 23 to Taylor Drive, one of the first things you will see is the Panera dumpster enclosure. So the first thing you will see as you enter the City of Sheboygan is Panera's dumpster enclosure. Panera is proposing a significant amount of landscaping around the dumpster. The Board needs to really discuss this item with the Panera representatives because staff has some reservations with locating the dumpster enclosure in this very visible street frontage area. There is a significant amount of land to the north and there appears to be no reason, other than convenience, that a dumpster could not be located in this location.

### **ACTION REQUESTED:**

Staff believes that the present architectural design of the Panera Restaurant is way too simple for this well designed redevelopment site. Staff is recommending that this matter be held in order to permit the applicant to resubmit new drawings that improve the design of the proposed Panera Restaurant at this very important, visible and redeveloping Taylor Drive and Memorial Drive commercial intersection.

### **ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Keri Williams - GreenbergFarrow  
ADDRESS: 21 South Evergreen Avenue, Suite 200, Arlington Heights, IL 60005  
E-MAIL ADDRESS: kwilliams@greenbergfarrow.com  
PHONE: (781) 929-1651 FAX NO.: (847) 788-9536

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Panera  
ADDRESS OF PROPERTY AFFECTED: 3347 Kohler Memorial Drive, Sheboygan, WI 53081  
NEW BUILDING: X ADDITION: \_\_\_\_\_ REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: To construct a new 4,421-square foot Panera restaurant that is to be located on Meijer's Lot 2.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: The existing project is a vacant outlot for the proposed Meijer development. The site was formally a Sears Auto Repair Center. With that being said, there are no existing exterior design elements or materials for the site.  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The proposed project is sited to take advantage of views from all four sides with care and attention given to each facade. The front is clearly identifiable from the prominent glass corner entry with canopies. While adjacent sides are broken up by horizontal entrance and series of windows with awning or green-screen trellis'. Architectural accent lighting will highlight each façade and give interest from a distance and provide safety locally.

May 24, 2018

To City of Sheboygan  
Department of City Development  
Attn: Steve Sokolowski  
606 North 9<sup>th</sup> Street  
Sheboygan, WI 53081  
Tel (920) 459-3382

Project Panera 6106  
Meijer Lot 2, North Taylor Drive  
Sheboygan, Wisconsin

Project # 20180523.0

Re Architectural Review Board and  
Conditional Use Permit Submission

Dear Mr. Sokolowski,

On behalf of our Client, Panera, LLC, please consider this written narrative as a formal request to submit for an Architectural Review Board and Conditional Use Permit with the City of Sheboygan. Panera is proposing to develop on Lot 2 (1.73-acres) of Meijer, which is located on North Taylor Drive (north of the proposed Meijer Convenience Store currently under construction by Meijer). The site was formally a Firestone Auto Repair Center. However, the building has since been demolished and Lot 2 is vacant land. Panera proposes to construct a +/- 4,300-square foot, sit-down, restaurant with an outdoor dining patio and drive-thru. Panera will be the sole Tenant for the project's proposed building.

**Location Details:**

The site was selected for its unique placement to the Memorial Mall, Meijer project, and close proximity to both Interstate I-43 and the populated area of Sheboygan. Panera will become an active participant in the community, not only by serving the immediate residences, but also by serving nearby workers. Panera strives for a personal touch in all aspects of their culture, from the selection of the site and design of the building, to the numerous customization menu options available to its customers.

**Operational Details:**

On average, Panera will serve 400-Customers a day or 3,800-Customers a week. Panera will also provide the community 60 to 75-jobs, averaging around 12 to 15-employees per shift. Additionally, the site will receive nightly deliveries of dough, around 1:00am, from a 52-foot long delivery truck. Panera will also receive deliveries of small ware and dry goods, twice a week, from a similar sized truck. Panera estimates the entire value of the project to cost around \$1,100,00.00.

**Architectural Details:**

The material and scale of the building has been carefully selected, so as to blend with the surrounding environment, while also maintaining an approachability from both a pedestrian and vehicular level. The materials chosen are a mixture of natural and painted masonry units, so as to complement the adjacent Meijer store's aesthetic. The project's Architects designed the building with simple clean lines, so as to reinforce Panera's authenticity and to bring a level of sophistication to both the project's interior and exterior spaces. Additionally, the project is sited to take advantage of views from all 4-sides, with careful attention given to each facade. The front is clearly identifiable with its prominent glass corner entry with canopies, while the adjacent sides are broken up with horizontal entrances and a series of windows that have awnings or green-screen trellises.

**Lighting Details:**

Architectural accent lighting will highlight each façade and give interest from a distance, as well as, provide nighttime safety to the building's customers and workers. The project will also have LED site lighting for an additional level of safety to the site, as well as, to help draw customers to the Café.

**Signage Details:**

Panera's signage shall comprise of 5-wall signs. 1-wall sign for each exterior facade of the building and 1-Drive-Thru wall sign. Each wall sign will consist of individual aluminum channel letters with acrylic faces that are mounted directly to the face of the wall. All signs are internally illuminated with low voltage white LED lighting. Non-illuminated reflective signs shall be provided around the site, so as to direct drive-thru traffic. Lastly, the site will have 1-monument sign that is to be located near North Taylor Drive.

**Parking Details:**

The Panera store parking lot will be designed for a total of 52-vehicles, which will include 3-handicapped stalls (1 of which is van accessible). The parking that is provided for the existing portions of the mall are to remain. No major improvements to the street network are anticipated for the development. Per City Code, all Indoor Commercial Entertainment use will require 1 parking stall for every 3 restaurant patrons. Based on a rough interior occupant Load of 145 people, the project would require 51 parking stalls (145 people / 3 people = 48 parking stalls).

**Utility Details:**

The proposed Panera will receive new water, sanitary sewer, electric and gas service from the proposed Meijer development. Additionally, the approved Meijer development has accommodated for stormwater management associated with Lot 2 - Panera.

**Variance Details:**

The variances being sought include setback reductions and an increase in the number of wall signs. Panera has been including drive-thru service for approximately 12-years and has found, through experience, that locations without building signage indicating the presence of this service do not perform at the same level as those with building signage indicating this service. The additional signage on the West Elevation of the building is tastefully understated, with the additional "DRIVE THRU" appropriately scaled and located to reflect the service offered.

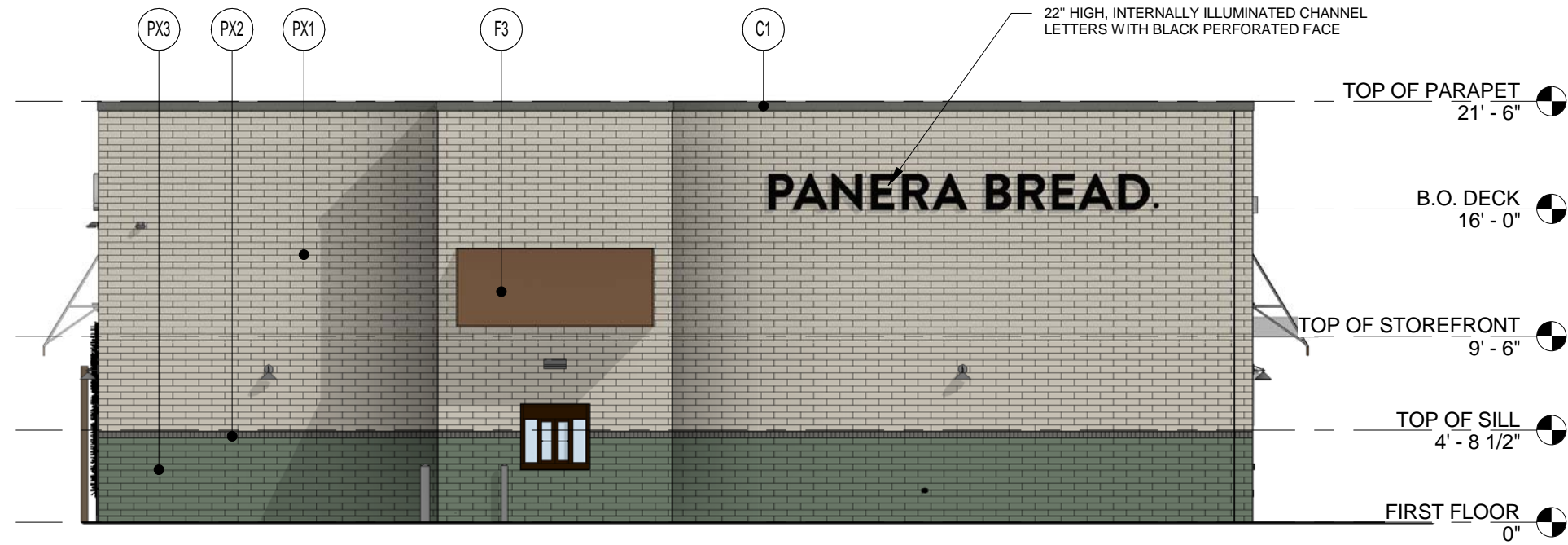
The allowance for sign area is established at 1.5-square feet per every linear foot of wall length. The West elevation is 70-feet long, allowing for a total of 105-square feet of signage. The combined area of the primary "PANERA BREAD" sign, the secondary "DRIVE THRU" sign and the Logo sign is considerably less than that allowed, containing just under 50-square feet (48.92-square feet to be exact). The remaining 3-elevations, as proposed, will each have one sign at 36.65-square feet. If viewed as a whole, the building qualifies for 390-square feet of wall signs (based on the wall lengths). The total proposed sign area is 159.87-square feet, which is less than half the allowed area.

It is the opinion of Panera and the Design Professionals involved in the project that the use of 1-large sign, although compliant in number and area, would create a less pleasing final product. The balance and scale attained by the use of 3-separate smaller signs would be lost and the result would be an unpleasant massing of signage. As the primary purpose of the Zoning Department, which is to control the overuse of signage and to avoid sign clutter, it is our opinion that the proposal meets the intent of the ordinance. With that being said, we ask for your careful consideration of this variance request.

Thank you for consideration in this matter. Please contact me via email [kwilliams@greenbergfarrow.com](mailto:kwilliams@greenbergfarrow.com) or (781-929-1651 if you have any comments or questions.

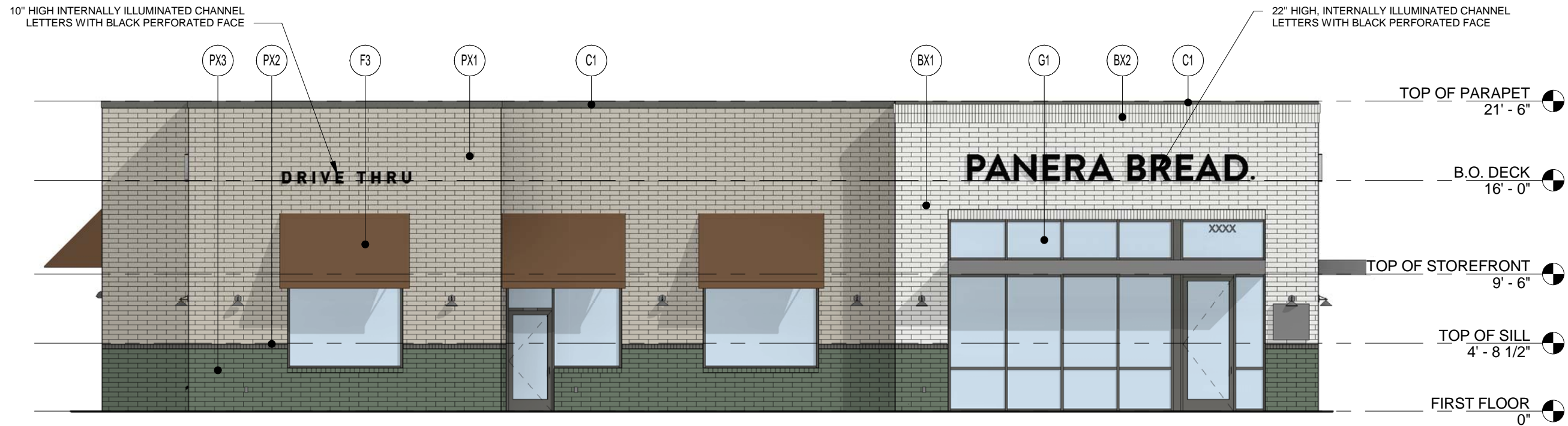
Sincerely,

Keri Williams, P.E.  
Civil Engineering Dept. Manager / Senior Associate



**1 | NORTH ELEVATION**

1/8" = 1'-0"



**2 | WEST ELEVATION**

1/8" = 1'-0"

**EXTERIOR MATERIALS:**

- (PX1) HARVARD BRIK (ENDURAMAX), COLOR: BM # 861 SHALE, P160
- (PX2) QUICK BRIK, ROWLOCK COURSE-PAINTED, COLOR: BM #HC-166 KENDALL CHARCOAL
- (PX3) QUICK BRIK, RUNNING BOND-PAINTED, COLOR: BM #HC-125 CUSHING-GREEN, P163
- (BX1) HARVARD BRIK (ENDURAMAX), RUNNING BOND, COLOR: WHITE
- (BX2) HARVARD BRIK (ENDURAMAX), SOLDIER COURSE, COLOR: WHITE
- (G1) ALUM. STOREFRONT, PERMACOAT CHARCOAL
- (F3) AWNING, SUMBRELLA, COLOR: WALNUT
- (C1) PRE-FORMED METAL COPING, COLOR: MATCH STOREFRONT

Bakery-Cafe:

**#6106**

ARCHITECTURAL REVIEW  
**Bakery Cafe #6106**  
 MEMORIAL MALL SHOPPING CENTER  
 EIRE & TAYLOR DRIVE  
 SHEBOYGAN, WI 53081



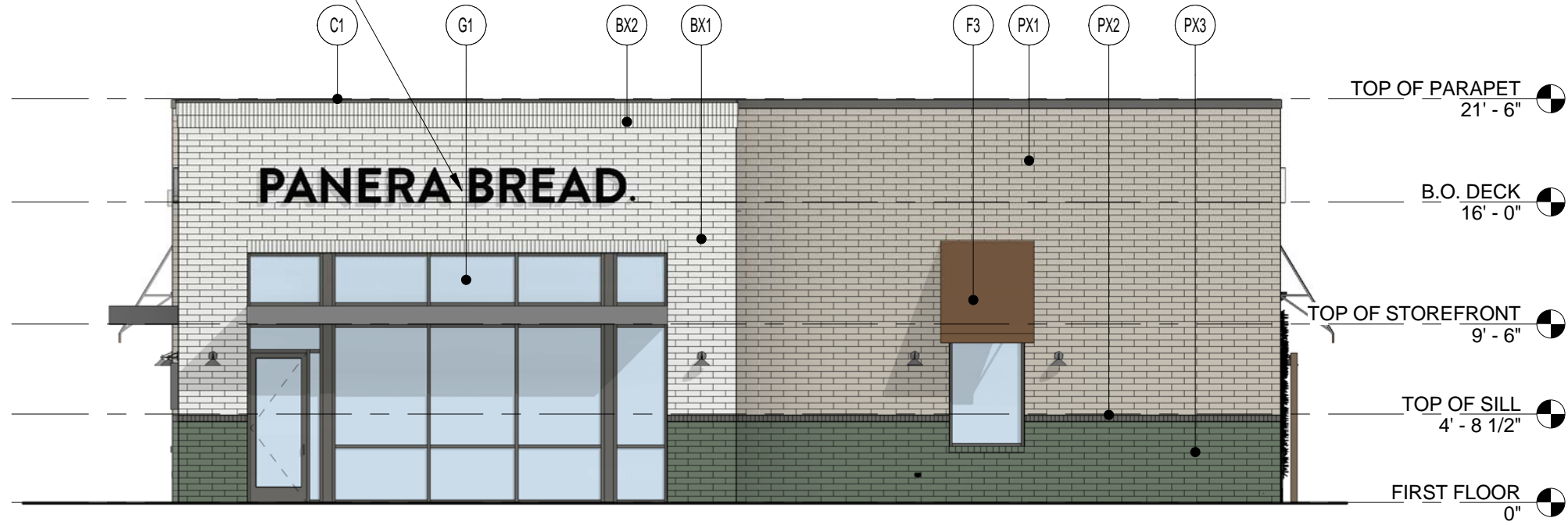
THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ARCHITECTURAL REVIEW	05.25.18

**EXT. ELEVATIONS**

Project Number: Sheet Number:  
 NICH18.0117  
 Drawn By:  
 H. TKACH **A205**  
 Issue Date:  
**5.25.2018**  
 DPM: DM: CPM:  
 JK DC GJ

22" HIGH, INTERNALLY ILLUMINATED CHANNEL LETTERS WITH BLACK PERFORATED FACE



**1 SOUTH ELEVATION**

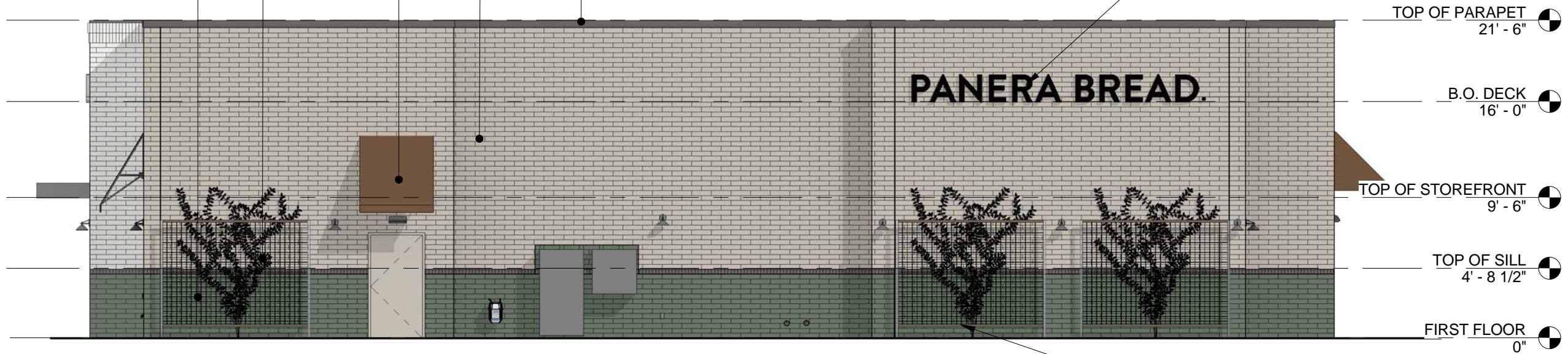
1/8" = 1'-0"

**EXTERIOR MATERIALS:**

- PX1 HARVARD BRIK (ENDURAMAX), COLOR: BM # 861 SHALE, P160
- PX2 QUICK BRIK, ROWLOCK COURSE-PAINTED, COLOR: BM #HC-166 KENDALL CHARCOAL
- PX3 QUICK BRIK, RUNNING BOND-PAINTED, COLOR: BM #HC-125 CUSHING-GREEN, P163
- BX1 HARVARD BRIK (ENDURAMAX), RUNNING BOND, COLOR: WHITE
- BX2 HARVARD BRIK (ENDURAMAX), SOLDIER COURSE, COLOR: WHITE
- G1 ALUM. STOREFRONT, PERMACOAT CHARCOAL
- F3 AWNING, SUMBRELLA, COLOR: WALNUT
- C1 PRE-FORMED METAL COPING, COLOR: MATCH STOREFRONT

PX3 PX1 F3 PX1 C1

22" HIGH INTERNALLY ILLUMINATED CHANNEL LETTERS WITH BLACK PERFORATED FACE



**2 EAST ELEVATION**

1/8" = 1'-0"

GREEN SCREEN TRELLIS

#6106

ARCHITECTURAL REVIEW  
**Bakery Cafe #6106**  
 MEMORIAL MALL SHOPPING CENTER  
 EIRE & TAYLOR DRIVE  
 SHEBOYGAN, WI 53081



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ARCHITECTURAL REVIEW	05.25.18

**EXT. ELEVATION**

Project Number: Sheet Number:

NICH18.0117

Drawn By:

H. TKACH

Issue Date:

5.25.2018

DPM: DM: CPM:

JK DC GJ

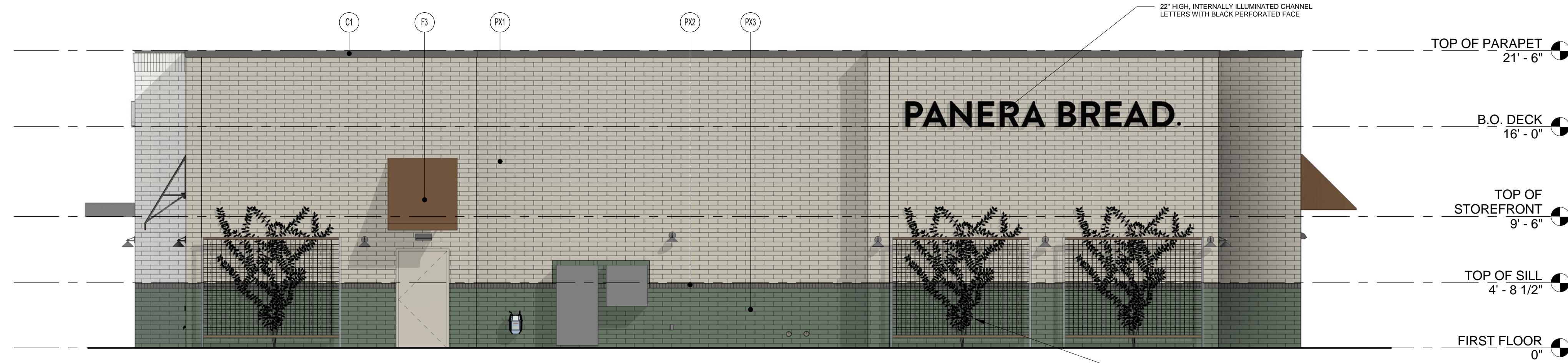
**A206**

10" HIGH, INTERNALLY ILLUMINATED CHANNEL LETTERS WITH BLACK PERFORATED FACE

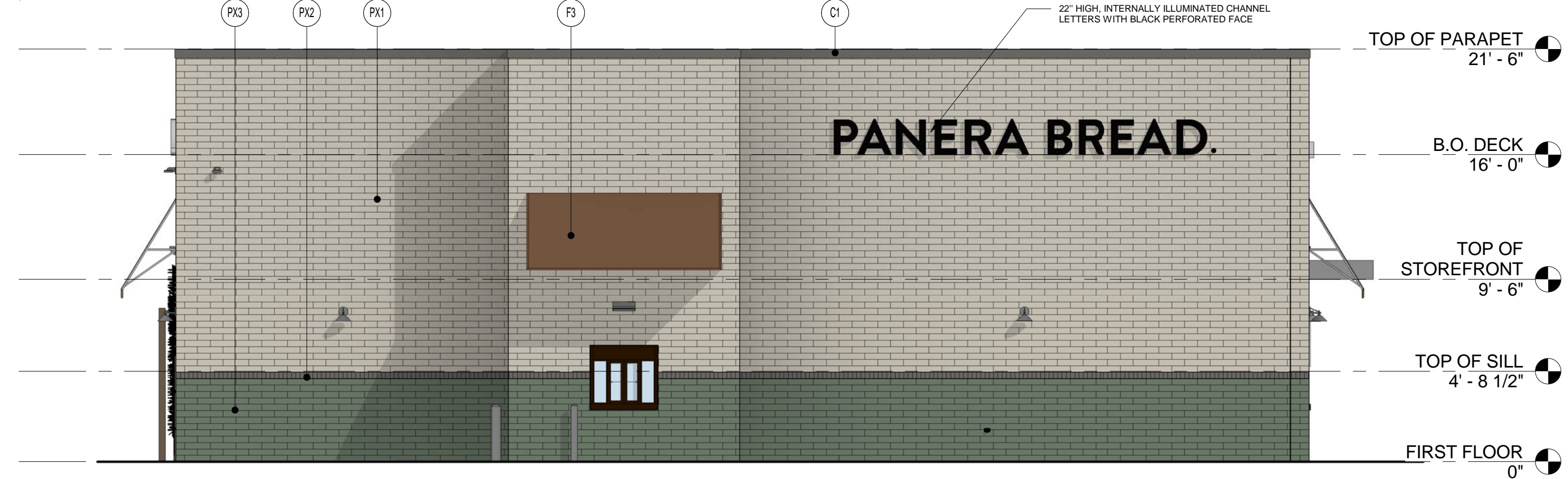
22" HIGH, INTERNALLY ILLUMINATED CHANNEL LETTERS WITH BLACK PERFORATED FACE



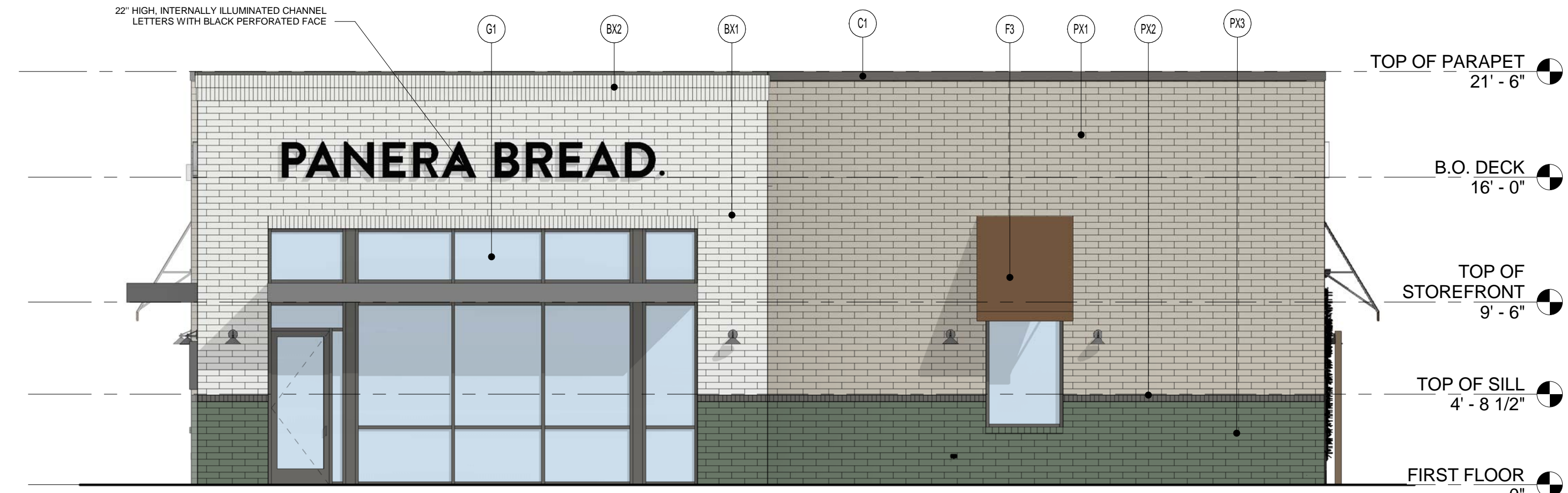
**1 WEST ELEVATION**  
3/16" = 1'-0"



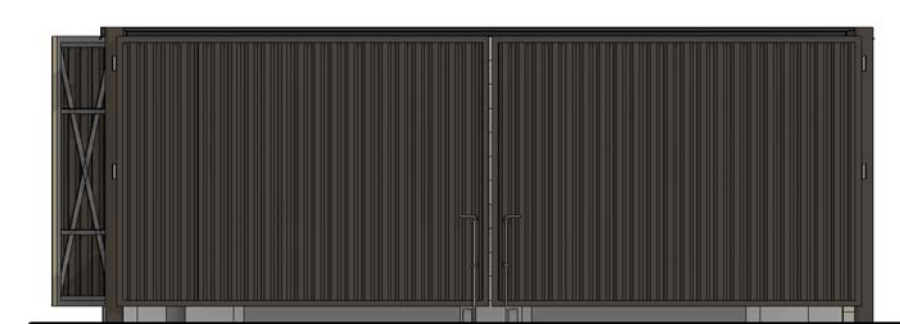
**2 EAST ELEVATION**  
3/16" = 1'-0"



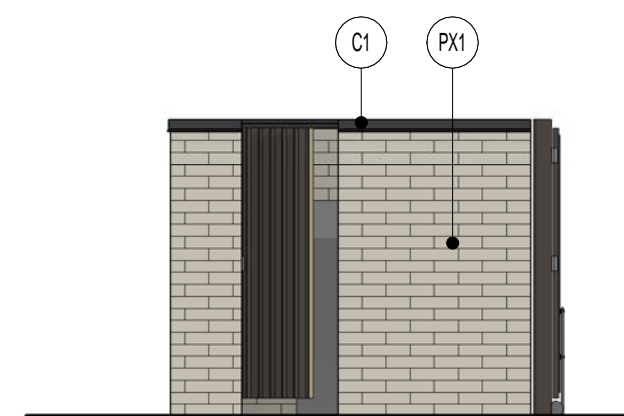
**3 NORTH ELEVATION**  
3/16" = 1'-0"



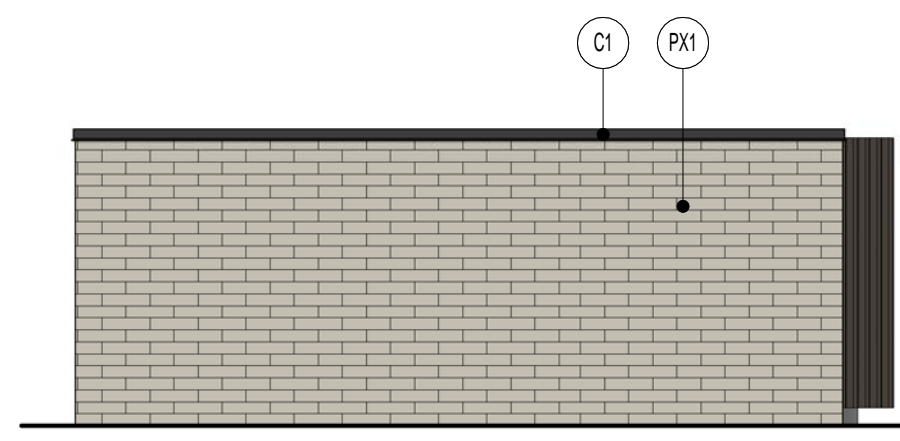
**4 SOUTH ELEVATION**  
3/16" = 1'-0"



**5 TRASH ENCLOSURE FRONT**  
3/16" = 1'-0"



**6 TRASH ENCLOSURE SIDE**  
3/16" = 1'-0"



**7 TRASH ENCLOSURE REAR**  
3/16" = 1'-0"

**EXTERIOR MATERIALS:**

- PX1 HARVARD BRIK (ENDURAMAX), COLOR: BM #861 SHALE, P160
- PX2 QUICK BRIK, ROWLOCK COURSE-PAINTED, COLOR: BM #HC-166 KENDALL CHARCOAL
- PX3 QUICK BRIK, RUNNING BOND-PAINTED, COLOR: BM #HC-125 CUSHING-GREEN, P163
- BX1 HARVARD BRIK (ENDURAMAX), RUNNING BOND, COLOR: WHITE
- BX2 HARVARD BRIK (ENDURAMAX), SOLDIER COURSE, COLOR: WHITE
- G1 ALUM. STOREFRONT, PERMACOAT CHARCOAL
- F3 AWNING, SUMBRELLA, COLOR: WALNUT
- C1 PRE-FORMED METAL COPING, COLOR: MATCH STOREFRONT

Bakery-Cafe:

**#6106**

SYSTEM: G4 (ARIA)

Project Team:



Professional Seal:

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF ARCHITECTURAL REVIEW. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES.

Project Title:

**Bakery Cafe #6106**  
**MEMORIAL MALL**  
**SHOPPING CENTER**  
**EIRE & TAYLOR DRIVE**  
**SHEBOYGAN, WI 53081**



COPYRIGHT (C) NORR, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR OTHERWISE WITHOUT THE EXPRESS WRITTEN CONSENT OF NORR INC. ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF NORR INC. SHALL RENDER IT INVALID AND UNUSABLE.

No.	Description	Date
	ARCHITECTURAL REVIEW	05.25.18

**EXT. ELEVATIONS**

Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_

NICH18.0117

Drawn By: \_\_\_\_\_

H. TKACH

Issue Date: \_\_\_\_\_

5.25.2018

DPM: \_\_\_\_\_ DM: \_\_\_\_\_ CPM: \_\_\_\_\_

DPM DM CPM

**A018**

5/24/2018 2:44:40 PM

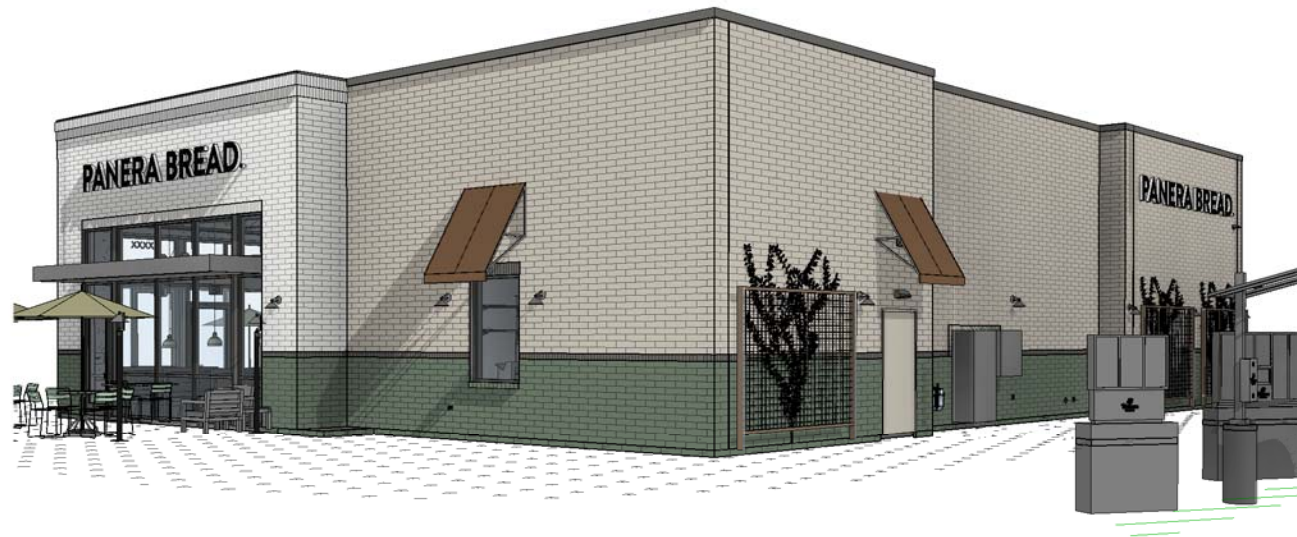
PB 2015.01



1 | NORTHEAST PERSPECTIVE



2 | NORTHWEST PERSPECTIVE



3 | SOUTHEAST PERSPECTIVE



4 | SOUTHWEST PERSPECTIVE

# #6106

ARCHITECTURAL REVIEW  
**Bakery Cafe #6106**  
MEMORIAL MALL SHOPPING CENTER  
EIRE & TAYLOR DRIVE  
SHEBOYGAN, WI 53081



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ARCHITECTURAL REVIEW	05.25.18

## EXT. 3D

Project Number:      Sheet Number:

NICH18.0117

Drawn By:

H. TKACH

# A207

Issue Date:

5.25.2018

DPM:

JK

DM:

DC

CPM:

GJ



1 | VIEW FROM TAYLOR SOUTHBOUND

Bakery-Cafe:

# #6106

ARCHITECTURAL REVIEW  
**Bakery Cafe #6106**  
 MEMORIAL MALL SHOPPING CENTER  
 EIRE & TAYLOR DRIVE  
 SHEBOYGAN, WI 53081



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	REVISED OPS PACKGE	05.18.18

## TRASH ENCLOSURE

Project Number: \_\_\_\_\_ Sheet Number: \_\_\_\_\_

NICH18.0117

Drawn By:

H. TKACH

# A208

Issue Date:

5.25.2018

DPM: \_\_\_\_\_ DM: \_\_\_\_\_ CPM: \_\_\_\_\_

JK \_\_\_\_\_ DC \_\_\_\_\_ GJ \_\_\_\_\_



**PX1** - MASONRY VENEER



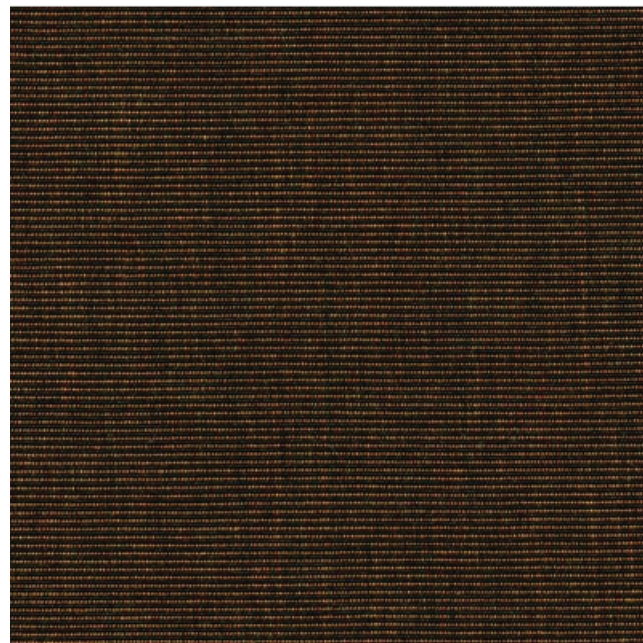
**PX2** - MASONRY VENEER



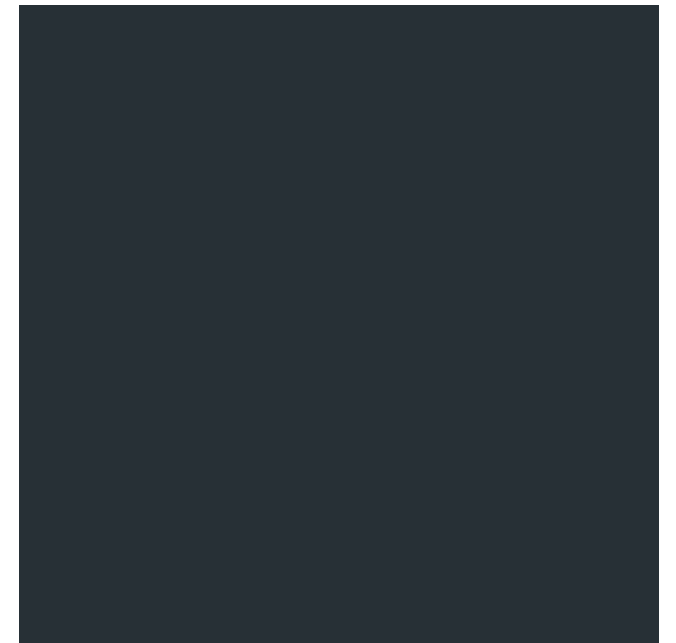
**BX1/BX2** - MASONRY VENEER



**PX3** - MASONRY VENEER



**F3** - FABRIC AWNING



**G1/C1** - ALUMINUM STOREFRONT

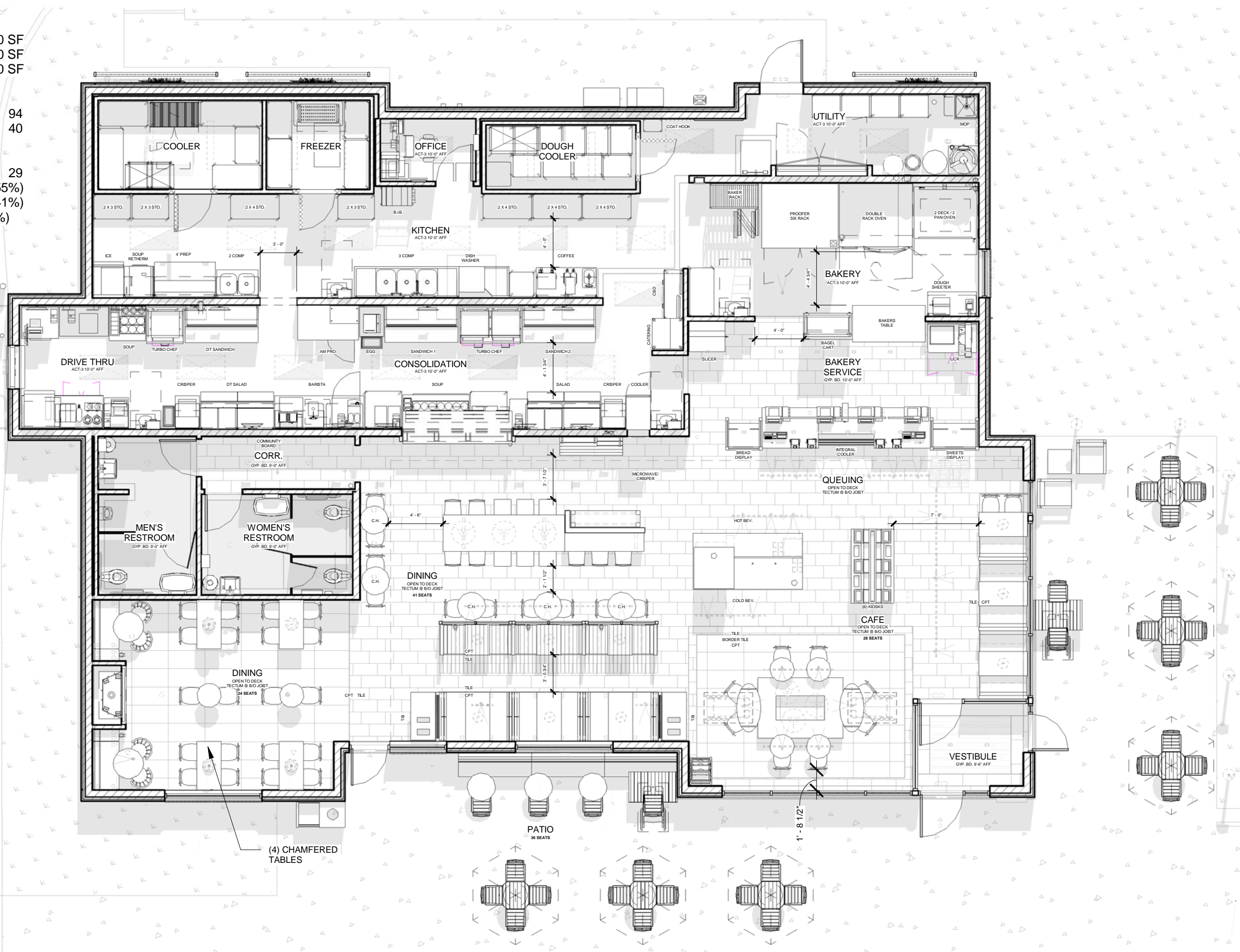


**PANERA BREAD CAFE #6106  
MEMORIAL MALL SHOPPING CENTER  
ERIE & TAYLOR DR  
SHEBOYGAN, WI 53081**

**AREA ANALYSIS**  
 TOTAL AREA: 4,400 SF  
 FOH AREA: 2,220 SF  
 BOH AREA: 2,180 SF

**SEAT ANALYSIS**  
 INTERIOR SEATS: 94  
 EXTERIOR SEATS: 40

**TABLE ANALYSIS**  
 TOTAL TABLES: 29  
 2-TOPS: 16 (55%)  
 4-TOPS: 12 (41%)  
 13-TOPS: 1 (4%)



# #6106

ARCHITECTURAL REVIEW  
**Bakery Cafe #6106**  
 MEMORIAL MALL SHOPPING CENTER  
 EIRE & TAYLOR DRIVE  
 SHEBOYGAN, WI 53081



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ARCHITECTURAL REVIEW	05.25.18

## FLOOR PLAN

Project Number: Sheet Number:

NICH18.0117

Drawn By:

H. TKACH

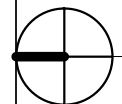
Issue Date:

5.25.2018

DPM: DM: CPM:

JK DC GJ

# A204

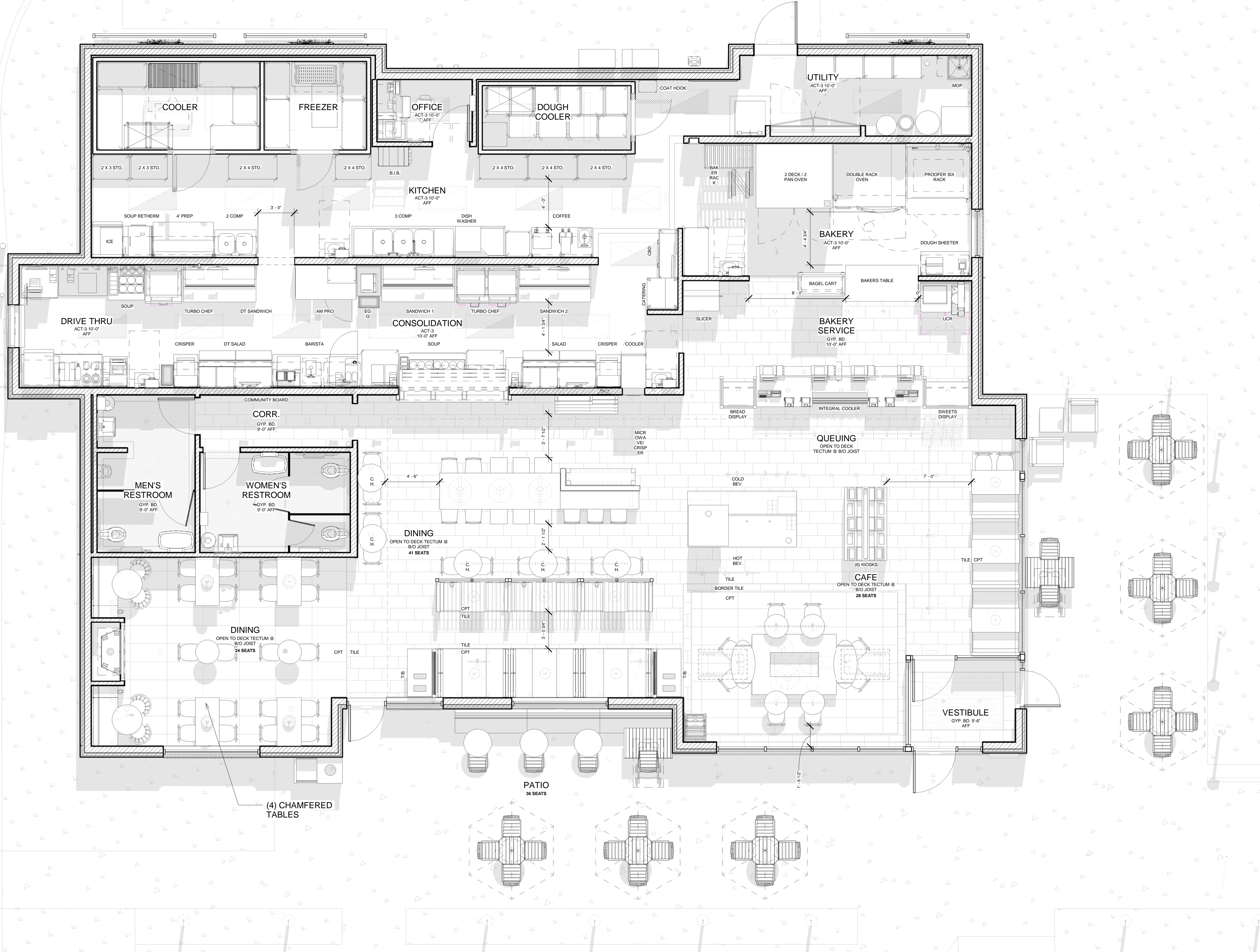




**AREA ANALYSIS**  
 TOTAL AREA: 4,400 SF  
 FOH AREA: 2,220 SF  
 BOH AREA: 2,180 SF

**SEAT ANALYSIS**  
 INTERIOR SEATS: 92  
 EXTERIOR SEATS: 40

**TABLE ANALYSIS**  
 TOTAL TABLES: 29  
 2-TOPS: 16 (55%)  
 4-TOPS: 12 (41%)  
 13-TOPS: 1 (4%)



5/24/2018 2:40:45 PM

Bakery-Cafe:

**#6106**

SYSTEM: G4 (ARIA)

Project Team:

**NORR**

ARCHITECTS PLANNERS  
 335 N. LaSalle St. | Suite 500 | Chicago, IL 60654  
 1.312.424.2400 | 1.312.424.2424 | www.norr.com

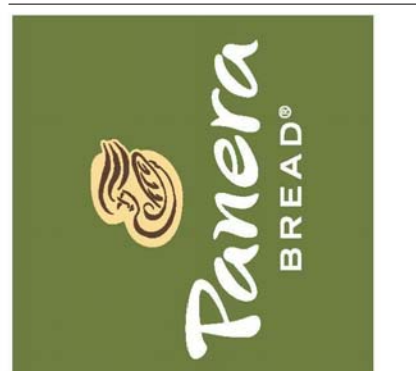
Professional Seal:

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF ARCHITECTURAL REVIEW. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES.

Project Title:

**Bakery Cafe #6106**  
**MEMORIAL MALL**  
**SHOPPING CENTER**  
**EIRE & TAYLOR DRIVE**  
**SHEBOYGAN, WI 53081**

ARCHITECTURAL REVIEW



COPYRIGHT (C) NORR, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR OTHERWISE WITHOUT THE EXPRESS WRITTEN CONSENT OF NORR INC. ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF NORR INC. SHALL RENDER IT INVALID AND UNUSABLE.

No.	Description	Date
	ARCHITECTURAL REVIEW	05.25.18

**FLOOR CONCEPT PLAN**

Project Number: Sheet Number:

NICH18.0117

Drawn By:

H. TKACH

Issue Date:

5.25.2018

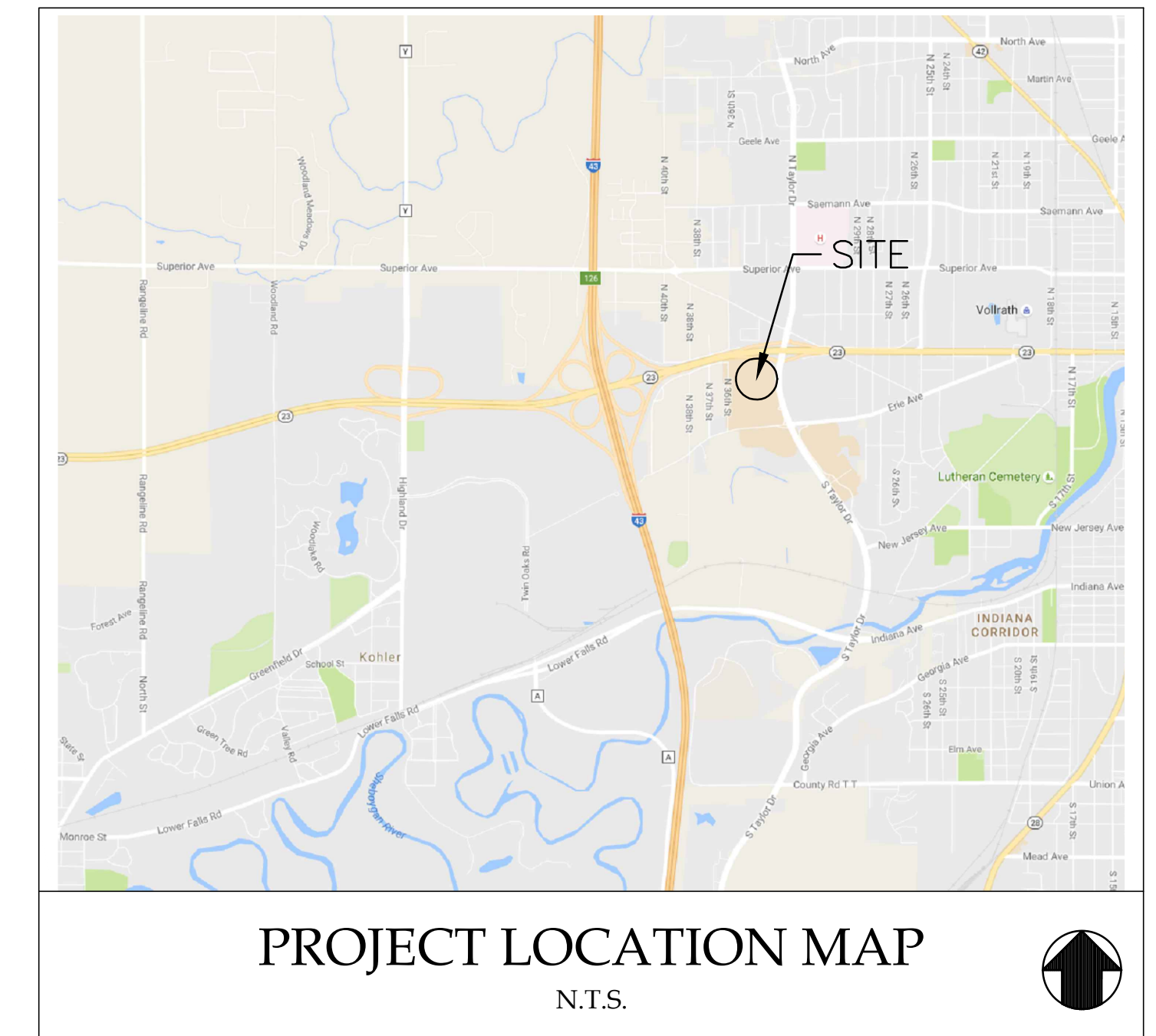
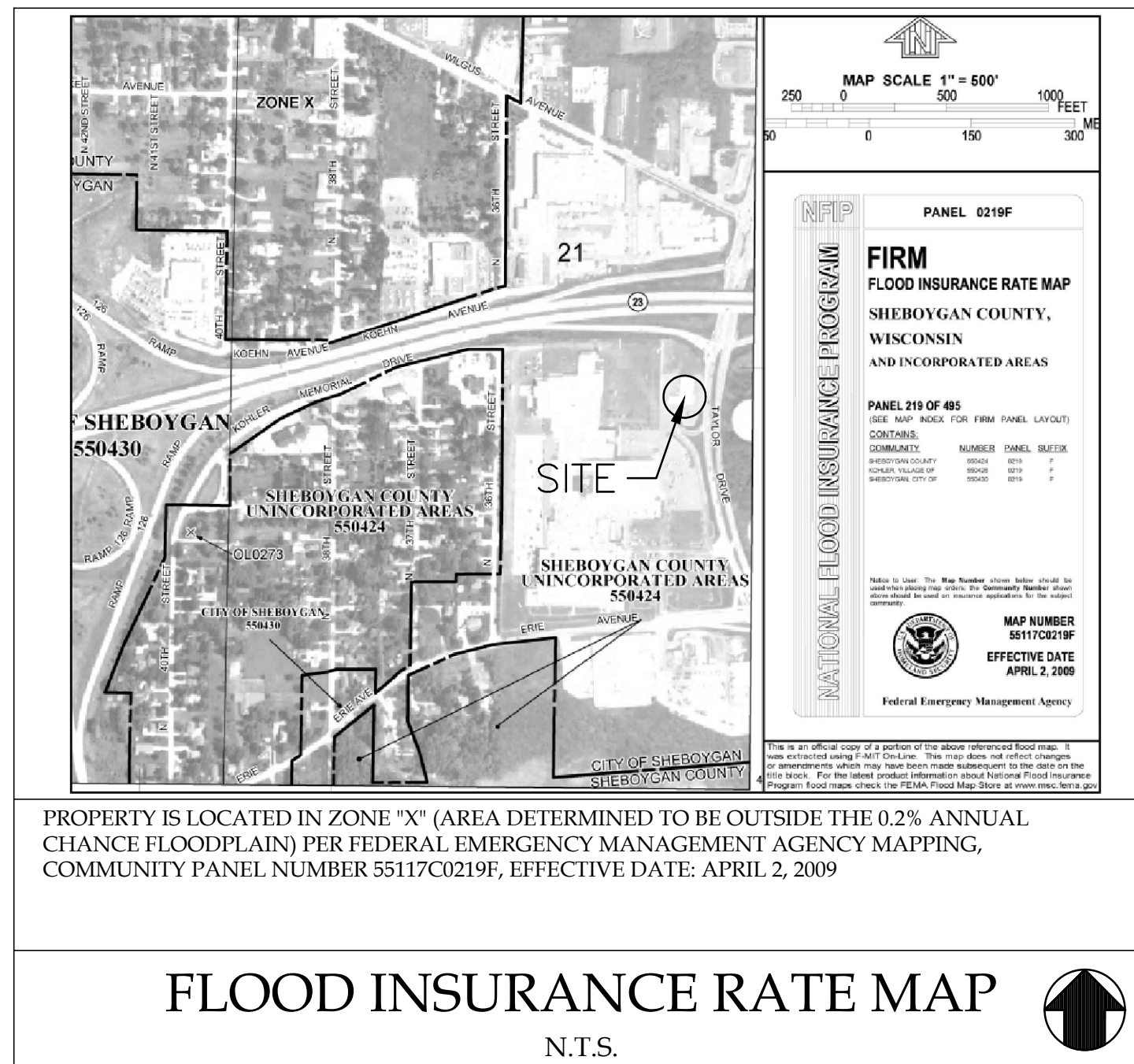
DPM: DM: CPM:

DPM DM CPM

**A017**

1 | FLOOR CONCEPT PLAN  
 1/4" = 1'-0"

PB 2015.01



**MEIJER-305, LOT 2  
PANERA CAFE 6106  
NORTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081**

**CONTACTS:**

**PLANNING:**

CITY OF SHEBOYGAN  
ATTN: STEVE SOKOLOWSKI  
828 CENTER AVE.  
SHEBOYGAN, WI 53081  
TEL: 920-459-3382  
EMAIL: STEVE.SOKOLOWSKI@SHEBOYGANWI.GOV

**SAN. & STORM:**

CITY OF SHEBOYGAN  
2029 NEW JERSEY AVE.  
SHEBOYGAN, WI 53061  
TEL: 920-459-3440

**FIRE:**

CITY OF SHEBOYGAN  
ATTN: ROBERT KOCMOUD  
828 CENTER AVE.  
SHEBOYGAN, WI 53081  
TEL: 920-459-3321  
EMAIL: ROBERT.KOCMOUD@SHEBOYGANWI.GOV

**WATER:**

SHEBOYGAN WATER  
ATTN: RICHARD DALE  
72 PARK AVE.  
SHEBOYGAN, WI 53081  
TEL: 920-459-3839  
EMAIL: RICHDALE@SHEBOYGANWATER.ORG

**GAS:**

WISCONSIN PUBLIC SERVICE  
933 SOUTH WILDWOOD AVE.  
SHEBOYGAN, WI 53081  
TEL: 920-617-9237

**ELECTRIC:**

ALLIANT ENERGY  
883 W SCOTT ST.  
FOND DU LAC, WI 54935  
TEL: 920-748-4011

**SHEET INDEX:**

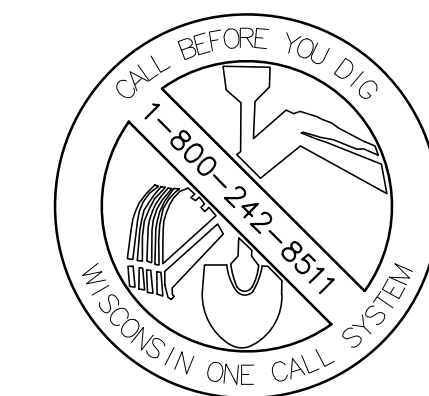
- C0.0 COVER SHEET
- C2.0 SITE PLAN
- C2.1 TRUCK TURN PLAN
- C4.0 UTILITY PLAN

**ATTACHMENTS**

- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE NOTES AND DETAILS

**ENGINEER:  
GreenbergFarrow**

CONTACT: KERI WILLIAMS, P.E.  
21 S. EVERGREEN AVENUE, SUITE 200  
ARLINGTON HEIGHTS, ILLINOIS 60005  
TEL: (781) 929-1651  
EMAIL: KWILLIAMS@GREENBERGFARROW.COM



MILWAUKEE AREA: 414-259-1181  
TDD: 1-800-542-2289

JOB NO. 20180523.0

DATE: 05-24-2018

**COPYRIGHT NOTICE**  
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional.

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
05/24/18	CUP/ARB SUBMITTAL

**PROFESSIONAL IN CHARGE**  
**KERI WILLIAMS**  
PROFESSIONAL ENGINEER  
LICENSE NO. 42288-6

**PROJECT MANAGER**  
JAMES COYLE

**QUALITY CONTROL**  
JAMES COYLE

**DRAWN BY**  
ERIC CARRANZA

**PROJECT NAME**

**PANERA CAFE 6106**

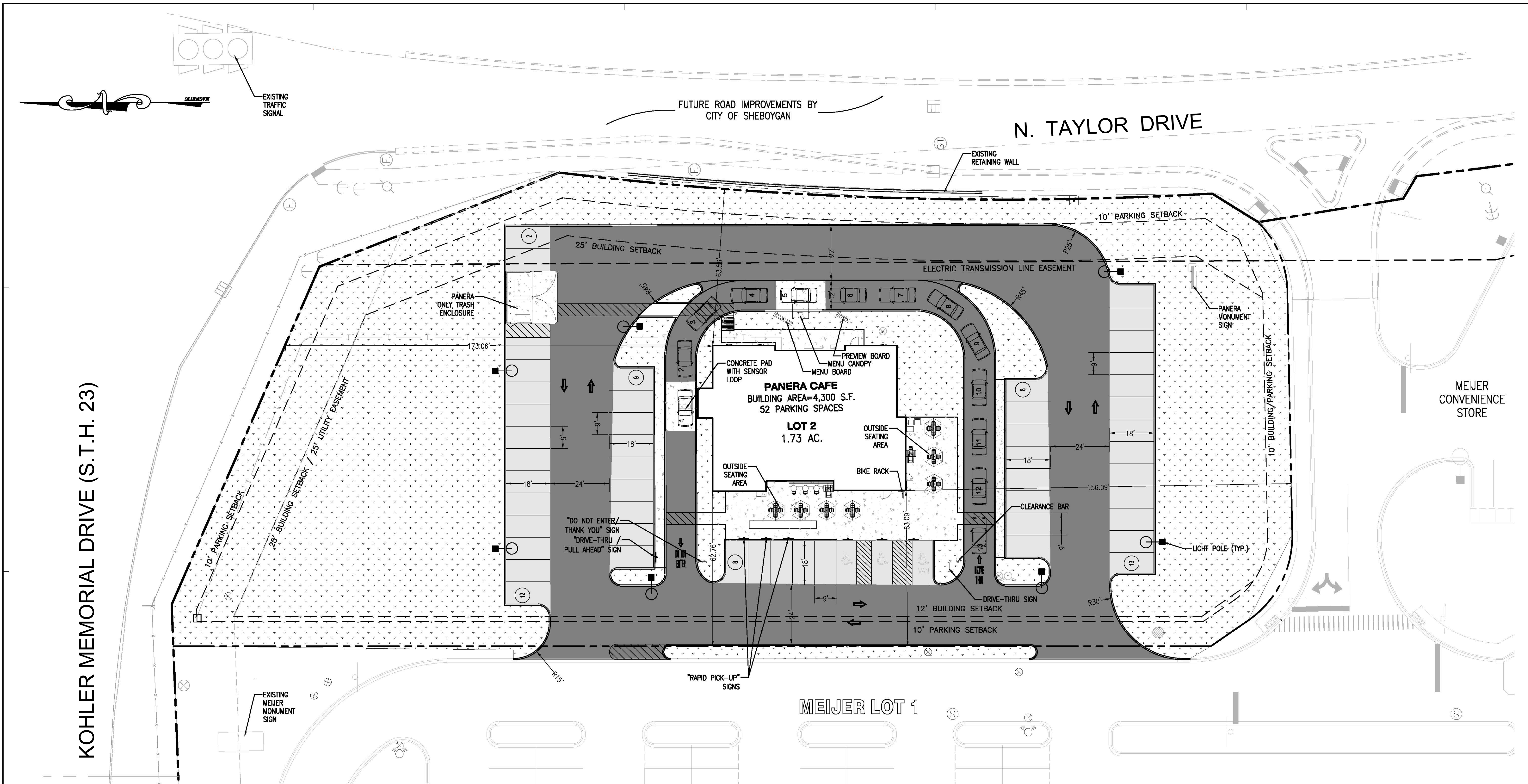
**SHEBOYGAN WISCONSIN**  
**NORTH TAYLOR DRIVE**

**PROJECT NUMBER**  
20180523.0

**SHEET TITLE**  
**SITE PLAN**

**SHEET NUMBER**  
**C2.0**

NOT ISSUED FOR CONSTRUCTION



KOHLER MEMORIAL DRIVE (S.T.H. 23)

FUTURE ROAD IMPROVEMENTS BY CITY OF SHEBOYGAN

N. TAYLOR DRIVE

MEIJER LOT 1

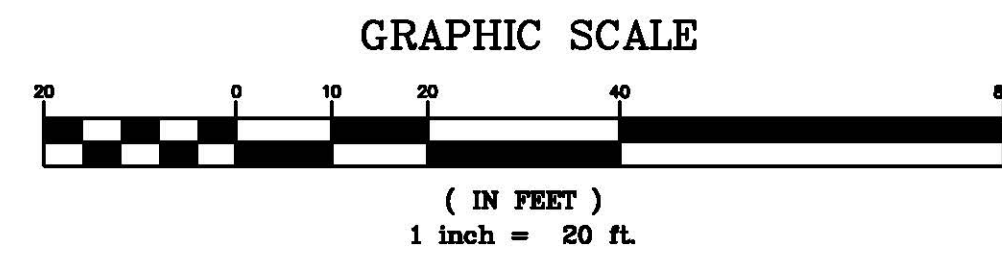
MEIJER CONVENIENCE STORE

**GENERAL SITE NOTES:**

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

**PAVEMENT SECTION DETAIL**

- PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- LANDSCAPE AREA



COPYRIGHT NOTICE  
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional.

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
05/24/18	CUP/ARB SUBMITTAL

**PROFESSIONAL IN CHARGE**

**KERI WILLIAMS**  
PROFESSIONAL ENGINEER  
LICENSE NO. 42288-6

**PROJECT MANAGER**

JAMES COYLE

**QUALITY CONTROL**

JAMES COYLE

**DRAWN BY**

ERIC CARRANZA

**PROJECT NAME**

**PANERA CAFE 6106**

**SHEBOYGAN WISCONSIN**  
**NORTH TAYLOR DRIVE**

**PROJECT NUMBER**

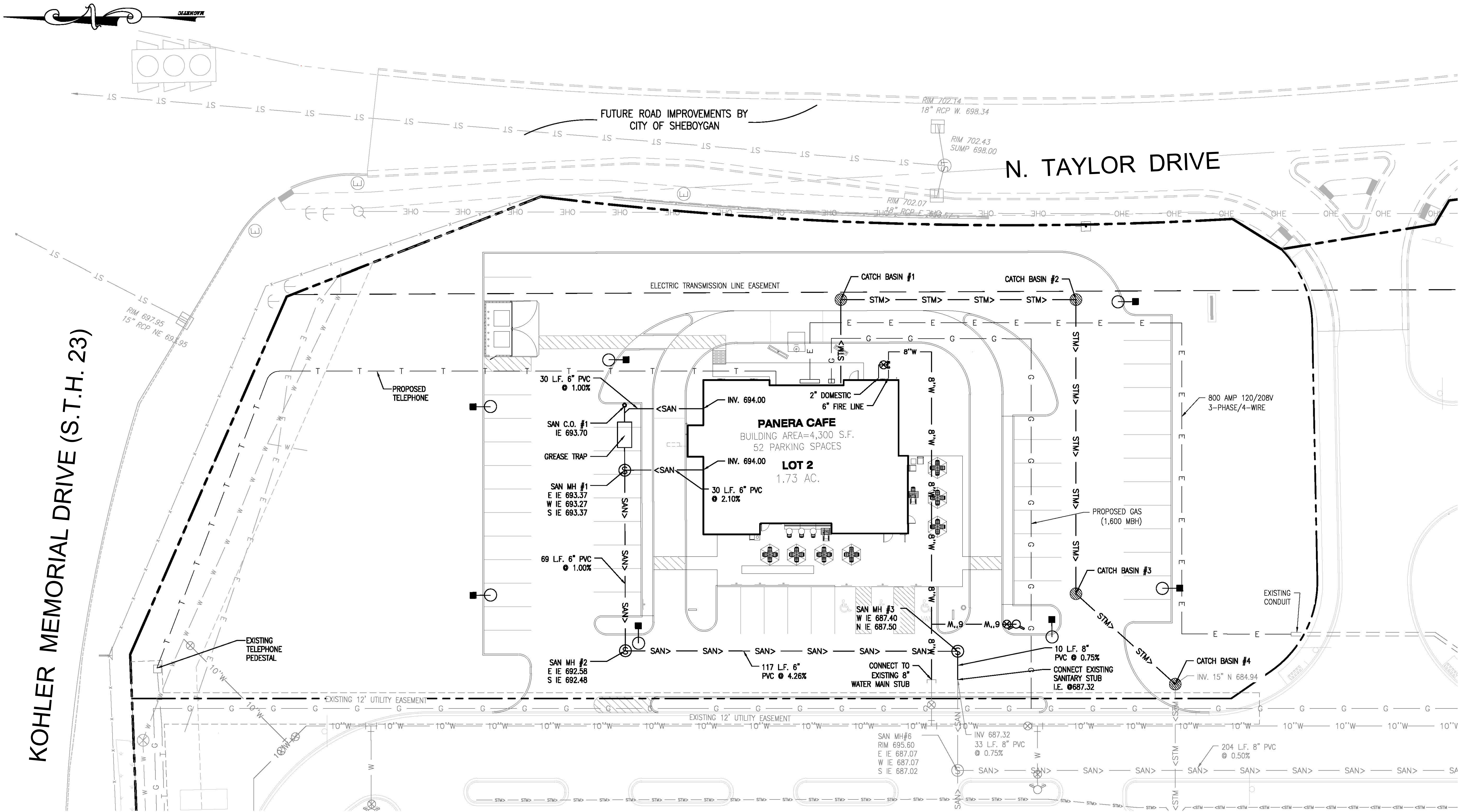
**SHEET TITLE**

**UTILITY PLAN**

**SHEET NUMBER**

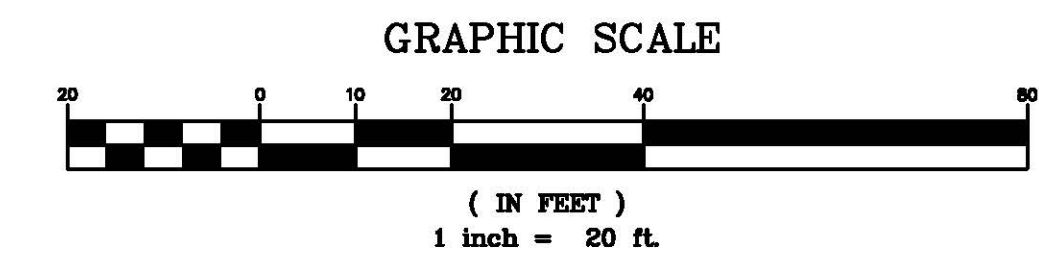
**C4.0**

NOT ISSUED FOR CONSTRUCTION



**GENERAL UTILITY NOTES:**

- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
- SEE THE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS INCLUDING ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.



KOHLER MEMORIAL DRIVE (S.T.H. 23)

FUTURE ROAD IMPROVEMENTS BY CITY OF SHEBOYGAN

N. TAYLOR DRIVE

**PANERA CAFE**  
BUILDING AREA=4,300 S.F.  
52 PARKING SPACES  
**LOT 2**  
1.73 AC.

DATE	DESCRIPTION
05/18/18	CLIENT REVIEW
05/24/18	CUP/ARB SUBMITTAL



MILWAUKEE AREA: 414-259-1181  
TDD: 1-800-542-2289

**LANDSCAPE CALCULATIONS:**

	REQUIRED	PROVIDED
<b>15.503 NON RESIDENTIAL INTENSITY STANDARDS</b>	18,845 SF (25% MIN LANDSCAPE SURFACE RATIO (LSR) FOR SC ZONING: 18,845.25 SF) (75,381 SF X .25=18,845.25 SF)	37,989.00 SF (50%)
<b>15.604 BUILDING FOUNDATION LANDSCAPING</b>	1,654 POINTS 4,134 LF (1,654 POINTS) (4,134 LF /100 LF=41.34 POINTS) (41.34 POINTS X 40 POINTS=1,653.60 POINTS)	591 POINTS MEDIUM DECIDUOUS TREES: 3X15=45 POINTS TALL EVERGREEN TREES: 6X40=240 POINTS TALL DECIDUOUS SHRUBS: 32X5=160 POINTS MEDIUM DECIDUOUS SHRUBS: 7X3=21 POINTS MEDIUM EVERGREEN SHRUBS: 25X5=125 POINTS
<b>15.605 DEVELOPED LOT LANDSCAPING</b>	43 POINTS (4,300 SF / 1000 SF=4.30 SF) (4.30 SF X 10 POINTS=43 POINTS)	45 POINTS MEDIUM DECIDUOUS TREE: 6X15=45 POINTS
<b>15.606 STREET FRONTAGE LANDSCAPING</b>	224 POINTS (557 LF/100 POINTS=5.60 LF) (5.60 LF X 40 POINTS=224 POINTS)	390 POINTS TALL DECIDUOUS SHRUBS: 61X5=305 POINTS MEDIUM EVERGREEN SHRUBS: 17X5=85 POINTS
<b>50% CLIMAX/TALL TREES</b>	112 POINTS (224 POINTS X .50 CLIMAX/TALL TREES=112 POINTS)	150 POINTS* CLIMAX TREES: 2X75=150 POINTS
<b>30% SMALL TREES</b>	67 POINTS (224 POINTS X .30 SMALL TREES=67.20 POINTS)	75 POINTS** MEDIUM DECIDUOUS TREES: 5X15=75 POINTS
<b>15.607 PAVED AREA LANDSCAPING</b> 100 POINTS WITHIN 10' OF PAVED AREA	248 POINTS (31,038.54 SF X 80 POINTS=24,830.83 POINTS) (24,830.83 POINTS /10,000 SF=248.30 POINTS)	1,159 POINTS MEDIUM DECIDUOUS TREE: 1X15=15 POINTS
<b>30% CLIMAX/TALL TREES</b>	75 POINTS (248.30 POINTS X .30 CLIMAX/TALL TREES=74.49 POINTS)	575 POINTS CLIMAX TREES: 5X75=375 POINTS TALL EVERGREEN TREES: 5X40= 200 POINTS
<b>40% SHRUBS</b>	99 POINTS (248.30 POINTS X .40 SHRUBS=99.32 POINTS)	569 POINTS TALL DECIDUOUS SHRUBS: 53X5=265 POINTS MEDIUM DECIDUOUS SHRUBS: 17X3=51 POINTS LOW DECIDUOUS SHRUBS: 28X1=28 POINTS MEDIUM EVERGREEN SHRUBS: 45X5=225 POINTS

\*UTILITY CONFLICTS, TREES RELOCATED THROUGHOUT SITE  
\*\*MEDIUM TREES PLACED THROUGHOUT SITE IN LIEU OF SMALL TREES

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	AG	2	Amelanchier x grandiflora 'Autumn Brilliance' MEDIUM DECIDUOUS TREE (15 PTS)	Autumn Brilliance Serviceberry	B & B		6' HT
	MA	4	Malus x 'Adirondack' MEDIUM DECIDUOUS TREE (15 PTS)	Adirondack Crabapple	B & B		6' HT
	PC	4	Pyrus calleryana 'Redspire' CLIMAX TREE (75 PTS)	Redspire Pear	B & B	3"Cal	
	SR	3	Syringa reticulata MEDIUM DECIDUOUS TREE (15 PTS)	Japanese Tree Lilac	B & B	2"Cal	
	TR	3	Tilia americana 'Redmond' CLIMAX TREE (75 PTS)	Redmond American Linden	B & B	2"Cal	

**PLANT SCHEDULE**

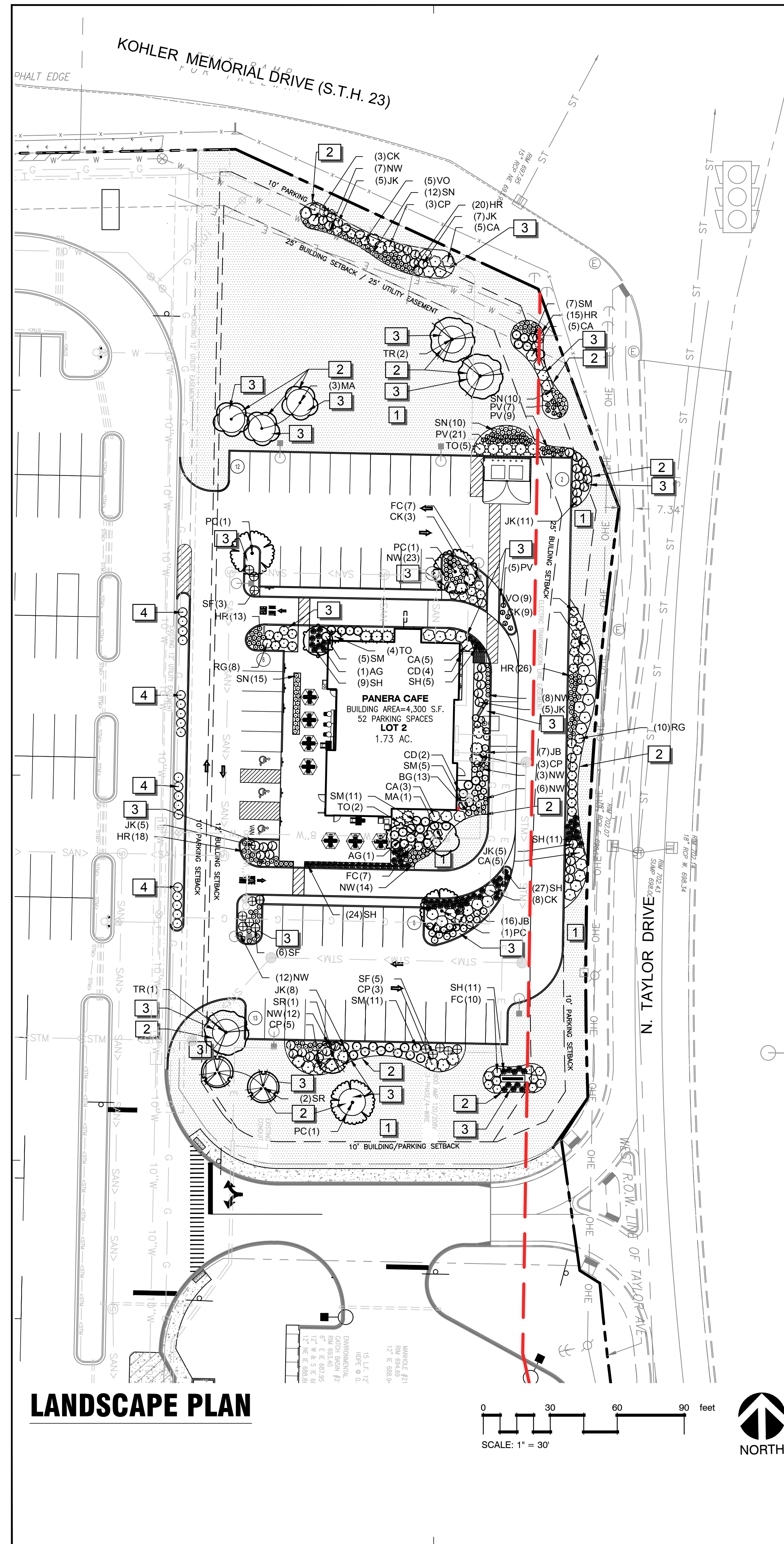
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	BG	13	Buxus microphylla 'Wintergreen' MEDIUM EVERGREEN SHRUB (5 PTS)	Wintergreen Boxwood	B & B	24"-36" Ht. Min.	
	CA	42	Cornus alba 'Baillhali' TALL DECIDUOUS SHRUB (5 PTS)	Ivory Halo Dogwood	B & B	36" Ht.	
	CP	14	Cornus alba 'Prairie Fire' TALL DECIDUOUS SHRUB (5 PTS)	Prairie Fire Dogwood	B & B	48" Ht.	
	CK	23	Cornus sericea 'Kelsey' TALL DECIDUOUS SHRUB (5 PTS)	Kelsey Dogwood	B & B	36" Ht. Min.	18"-24" Spr. Min.
	FC	24	Forsythia x 'Cortasol' MEDIUM EVERGREEN SHRUB (5 PTS)	Gold Tide Forsythia	#05/5 gal	24" Ht.	
	JB	23	Juniperus squamata 'Blue Star' MEDIUM EVERGREEN SHRUB (5 PTS)	Blue Star Juniper	#05/5 gal	24" Ht.	
	JK	59	Juniperus x pfitzeriana 'Kallay's Compact' MEDIUM EVERGREEN SHRUB (5 PTS)	Juniper	#05/5 gal	18"-24" Ht. Min.	18"-24" Spr. Min.
	RG	18	Rhus aromatica 'Gro-Low' LOW DECIDUOUS SHRUB (1 PT)	Gro-Low Fragrant Sumac	#03/3 gal	18" HT. MIN.	
	SF	14	Spiraea japonica 'Neon Flash' LOW DECIDUOUS SHRUB (1 PT)	Neon Flash Spirea	#05/5 gal	18" HT. MIN.	15"-18" SPRD
	SM	54	Syringa meyeri 'Palibin' TALL DECIDUOUS SHRUB (5 PTS)	Dwarf Korean Lilac	B & B	36" Ht. Min.	
	TO	11	Thuja occidentalis 'Techny' TALL EVERGREEN TREE (40 PTS)	Techny Arborvitae	B & B	6' Ht.	
	VO	39	Viburnum opulus TALL DECIDUOUS SHRUB (5 PTS)	Cranberrybush Viburnum	B & B	36" Ht. Min.	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	HR	115	Hemerocallis x 'Rosy Returns'	Daylily	#01/1 gal		
	NW	85	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	#03/3 gal		
	SN	47	Salvia nemorosa 'May Night'	May Night Sage	#01/1 gal		
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	PV	55	Panicum virgatum 'Shenandoah'	Switch Grass	#01/1 gal		
	SH	110	Sporobolus heterolepis	Prairie Dropseed	#01/1 gal		
VINE/ESPALIER	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	CD	6	Clematis x 'Diamond Ball'	Diamond Ball Clematis	1 gal		
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD
	SEED	27,838 sf	Lawn Grasses With Blanket	Kentucky Bluegrass Blend	seed		

**REFERENCE NOTES SCHEDULE**

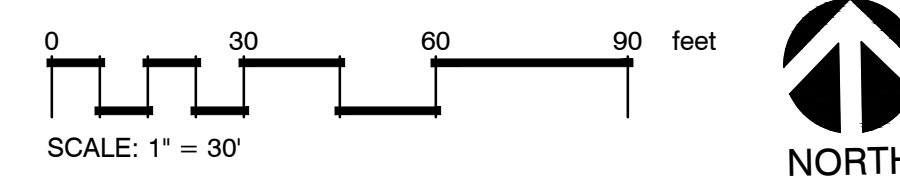
SYMBOL	DESCRIPTION
	SEED LAWNS WITH A KENTUCKY BLUEGRASS BLEND. EROSION CONTROL BLANKET IS REQUIRED.
	CULTIVATED BEDLINE 4" DEPTH. (TYP.)
	INSTALL 3" DEPTH OF SHREDDED BARK MULCH OVER WEED BARRIER FABRIC. (TYP.)
	SHRUBS DO NOT COUNT TOWARD PANERA LANDSCAPE CALCULATIONS. TO BE INSTALLED WITH MEIJER LOT ONE IMPROVEMENTS.

**GENERAL NOTES:**

- GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
- CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.
- TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
- EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
- EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
- ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
- NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
- REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO FIELD CONDITIONS. SEE CIVIL SITE PLAN.



**LANDSCAPE PLAN**



**PROFESSIONAL IN CHARGE**  
LORI VIEROW  
PROFESSIONAL LANDSCAPE ARCHITECT  
LICENSE NO.

**PROJECT MANAGER**

**QUALITY CONTROL**  
SARAH DREIER  
**DRAWN BY**  
AMANDA WESTHOFF

**PROJECT NAME**

**PANERA  
CAFE 6106**

**SHEBOYGAN,  
WISCONSIN**

**PROJECT NUMBER**  
20180523.0

**SHEET TITLE**

**LANDSCAPE PLAN**

**SHEET NUMBER**

**L1.0**

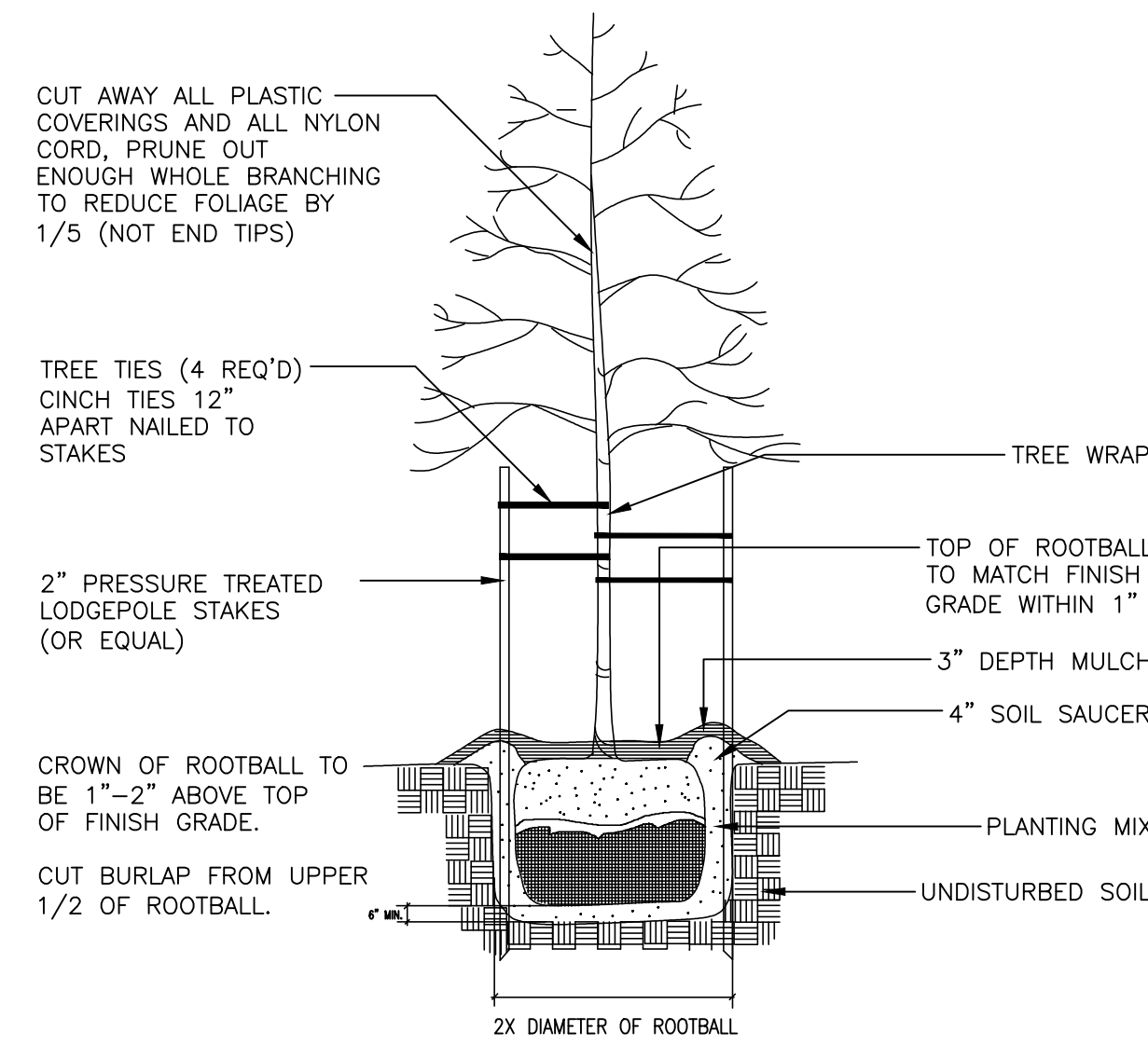
NOT ISSUED FOR CONSTRUCTION

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)

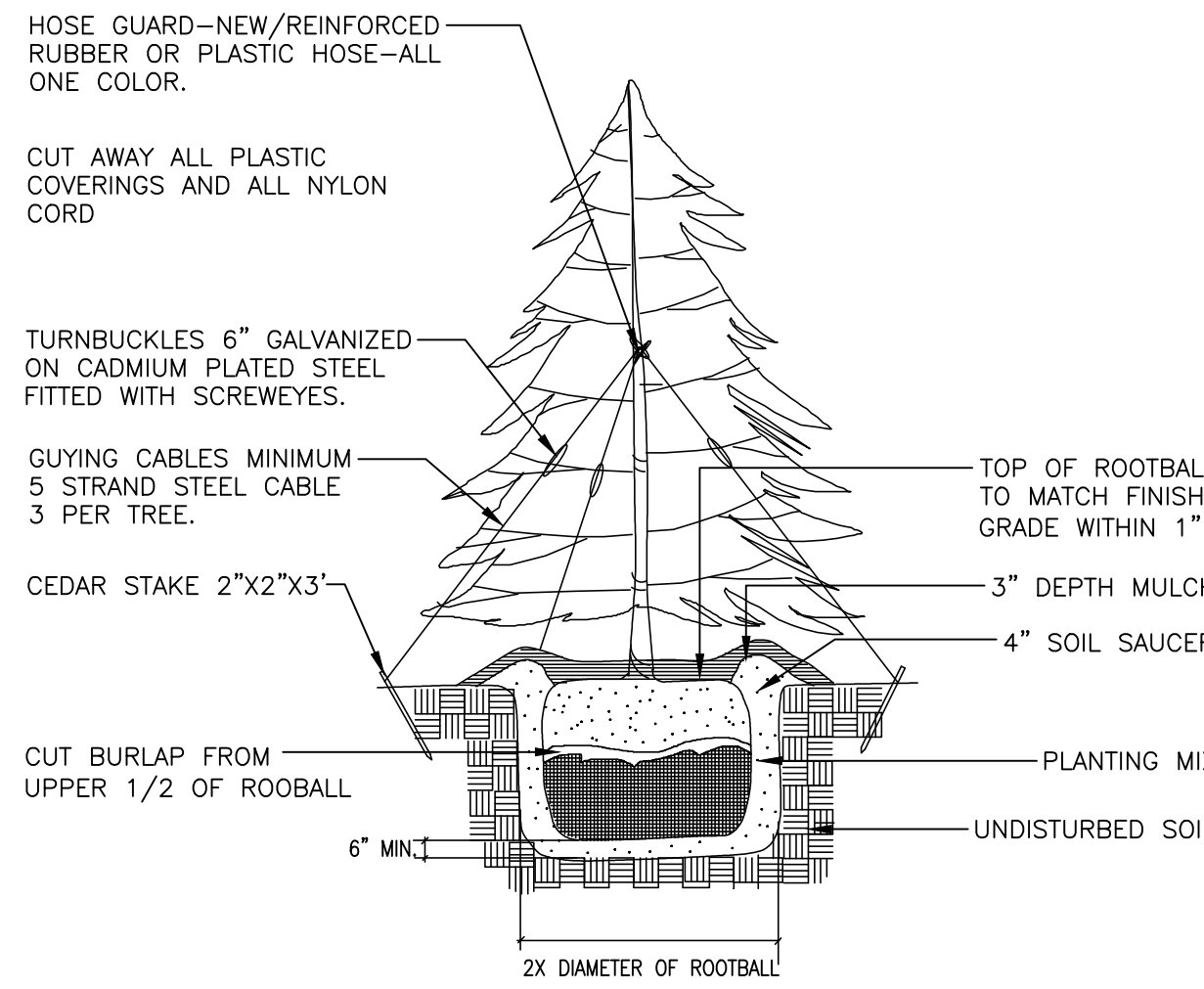
# LANDSCAPE PLAN GENERAL NOTES

- THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND DIRECTIONS OF THE SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL WORK FROM DAMAGE BY OTHER UNTIL THE WORK IS COMPLETE AND ACCEPTED BY THE CLIENT.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.
- EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE DETERMINED AND IDENTIFIED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL AVOID ALL EXISTING UTILITIES—UNDERGROUND AND OVERHEAD WHERE APPLICABLE. WHERE UNDERGROUND UTILITIES EXISTS, FIELD ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 230 SOUTHERN BUILDING, WASHINGTON D.C. 20005 (ANSI Z60.1).
- ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME NURSERY SOURCE.
- PLANT TREES AND SHRUBS AFTER THE FINAL GRADES HAVE BEEN ESTABLISHED AND PRIOR TO THE PLANTING OF LAWNS UNLESS OTHERWISE ACCEPTABLE TO THE OWNER. IF PLANTING OF TREES OCCURS AFTER LAWN WORK, THE LANDSCAPE CONTRACTOR SHALL PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGED LAWN RESULTING FROM PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO THE NEW GRADE AS IT BORE TO THE GRADE AT THE NURSERY.
- PRUNE BROKEN OR CROSS BRANCHING AT THE TIME OF PLANTING. DO NOT REMOVE LEADER.
- FOR TREES PLANTED IN TURF AREAS, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 6'-0" DIA. SHREDDED HARDWOOD BARK MULCH RING (REMOVE EXISTING TURF) AT A MINIMUM OF 3" THICK (AFTER SETTLEMENT) WITH A CULTIVATED EDGE AT THE BASE OF EACH TREE. MULCH SHALL BE PLACED WITHIN TWO (2) DAYS AFTER TREES ARE PLANTED. THIS SHALL BE CONSIDERED INCIDENTAL TO TREE PLANTINGS. INCLUDE TERRA-SORB HYDROGEL CRYSTALS WITH PLANTING MIX.
- TREES SHALL BE SET IN TRUE, VERTICAL ALIGNMENT AFTER PLANTING.
- ALL PLANTS SHALL BE PLANTED PER THE LANDSCAPE PLAN AND SPECIFICATIONS. PLANTINGS NOT FOUND TO BE IN COMPLIANCE SHALL BE REPLANTED CORRECTLY AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ADJUST SHRUB, PERENNIAL, AND GROUNDCOVER SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS.
- THE LANDSCAPE ARCHITECT OR OWNER RESERVES THE RIGHT TO REJECT PLANTS ON SITE WHETHER STOCK PILED OR PLANTED IN PLACE. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM SITE.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- WHERE PLANTING BEDS MEET TURF AREAS, THE CONTRACTOR SHALL PROVIDE A CULTIVATED EDGE. MULCH ALL SHRUB BEDS TO THE LINE SHOWN. THE CONTRACTOR SHALL FURNISH AND INSTALL 3" LAYER OF SHREDDED HARDWOOD MULCH UNDER ALL TREE PLANTINGS AND SHRUB BEDS.
- AN APPROVED ORGANIC PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
- STORE ALL PLANTS ON SITE OUT OF DIRECT WINDS IN AN AREA DESIGNATED BY THE OWNER'S AGENT.
- THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING, AND MAINTENANCE OPERATIONS.
- ALL PLANTS SHALL BE GROUPED TOGETHER BY SPECIES AND SIZE AND SHALL BE COVERED WITH MULCH OR COMPOST TO PREVENT DESICCATION.
- FOR ALL GROUNDCOVERS, ROTOTILL 2" OF SPHAGNUM PEAT INTO TOPSOIL TO A DEPTH OF 6" TO YIELD A HOMOGENOUS MIXTURE OF TOPSOIL AND PEAT.
- GROUNDCOVER AREAS SHALL ONLY RECEIVE 1 1/2" SHREDDED HARDWOOD MULCH. CAREFULLY PLACE MULCH AROUND PLANT BASE.
- IMPORTATION OF CLEAN TOPSOIL AND FILL MATERIAL IS A MUST FOR THIS PROJECT. TOPSOIL FOR USE ON THE SITE MUST COME FROM AN APPROVED SOURCE.
- FINE GRADE, FERTILIZE, AND SEED ALL DISTURBED AREAS WITHIN THE CONSTRUCTION LIMITS AS SHOWN. ALL TURF AREAS SHALL DRAIN COMPLETELY AND SHALL NOT POND NOR PUDDLE. ALL TURF AREAS SHALL RECEIVE 6" THICK BLACK TOPSOIL—ALLOW FOR SETTLEMENT.

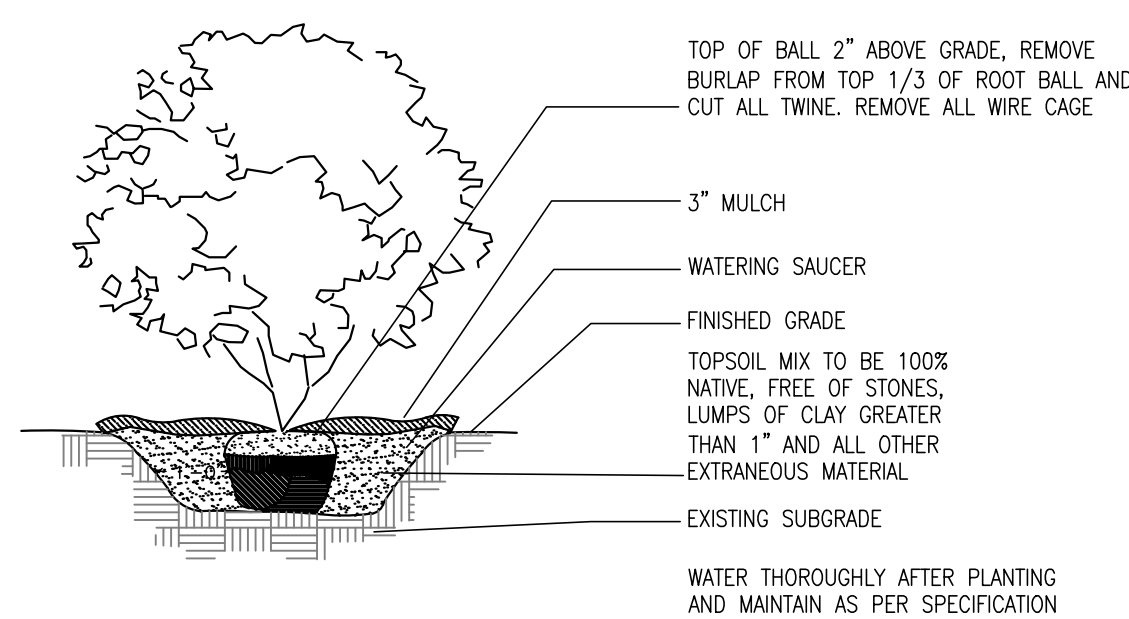
- DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREAS IN AN ORDERLY MANNER. REMOVE ALL DEBRIS FROM THE JOB SITE ON A DAILY BASIS.
- ALL PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. DEAD OR UNHEALTHY PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT.
- SUBSTITUTION OF PLANT MATERIAL DUE TO LACK OF AVAILABILITY MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTE PLANTS SHALL BE THE SAME SIZE, OR LARGER, AND OF EQUAL OR BETTER VALUE THAN THE ITEMS SPECIFIED. THE "EQUALITY" WILL REST WITHIN THE SOLE JUDGMENT OF THE LANDSCAPE ARCHITECT.



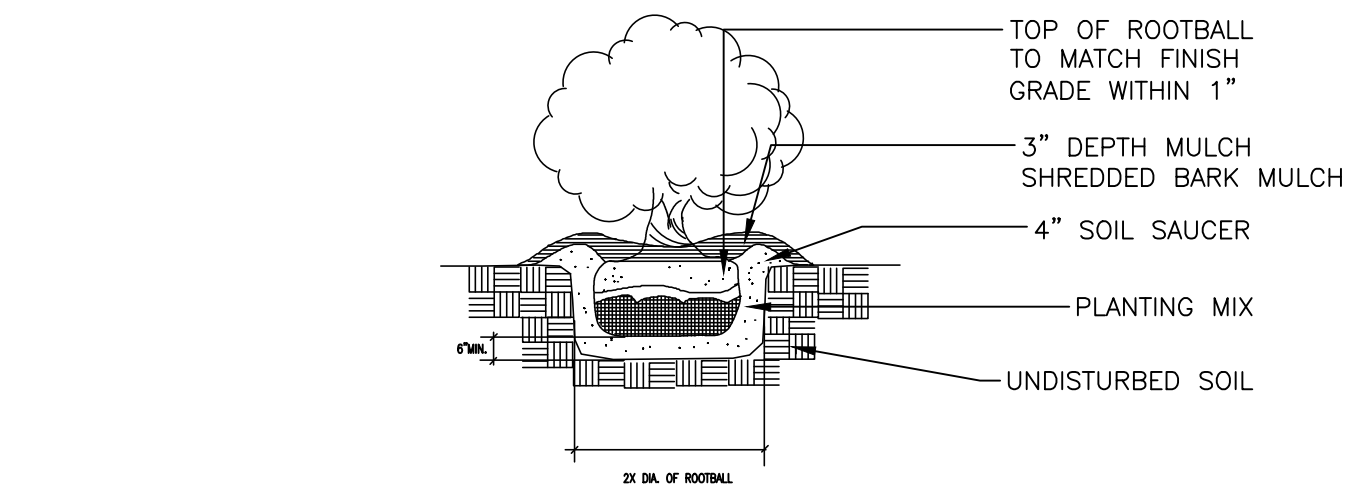
**1 TREE PLANTING DETAIL**  
NOT TO SCALE 329343.39-01



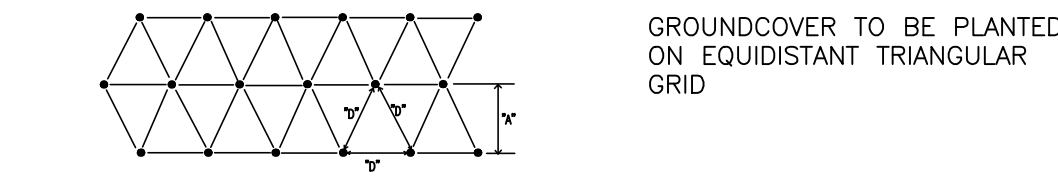
**2 EVERGREEN TREE PLANTING DETAIL**  
1" = 1" 329343.46-01



**3 ORNAMENTAL TREE**  
NOT TO SCALE



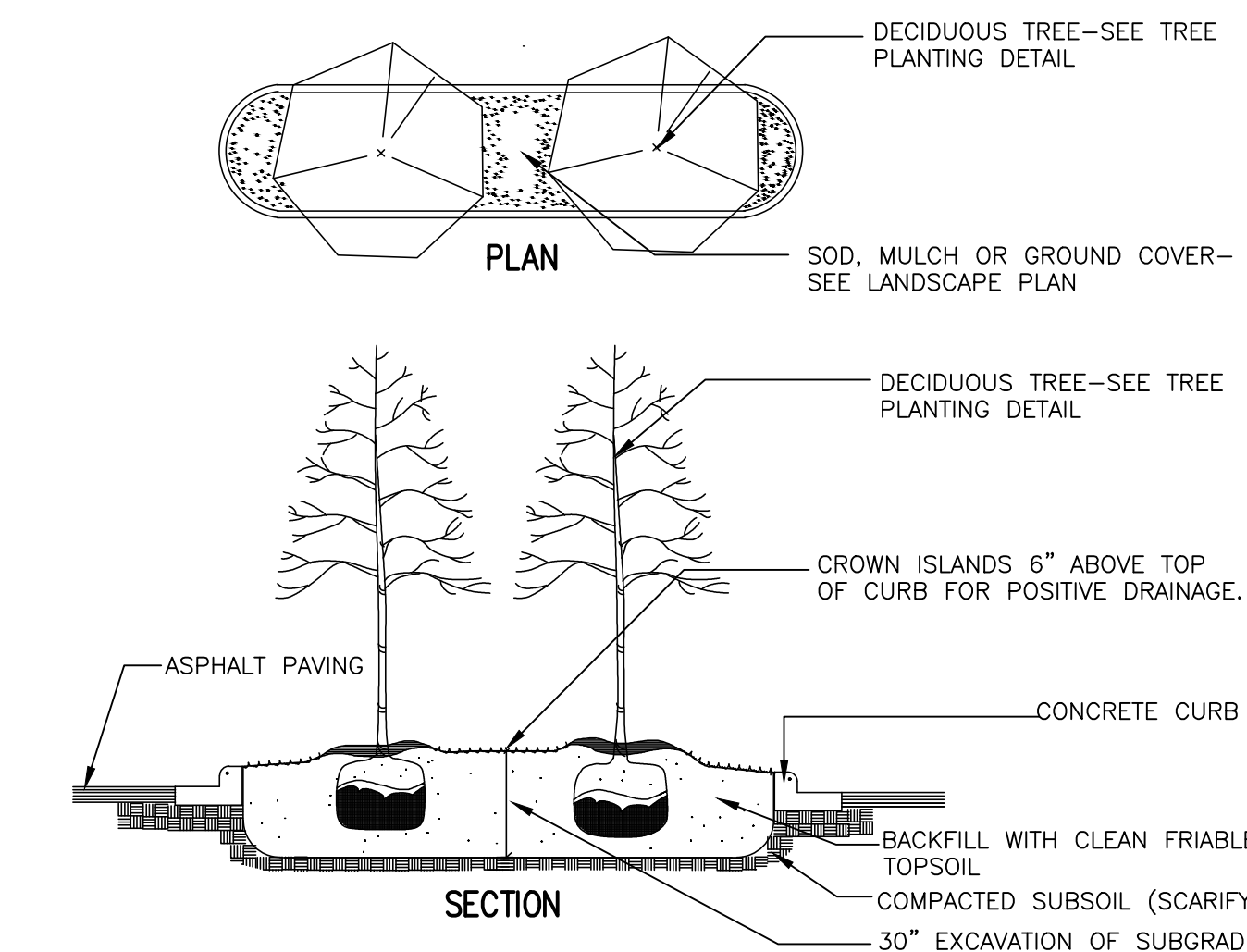
**4 SHRUB PLANTING DETAIL**  
NOT TO SCALE



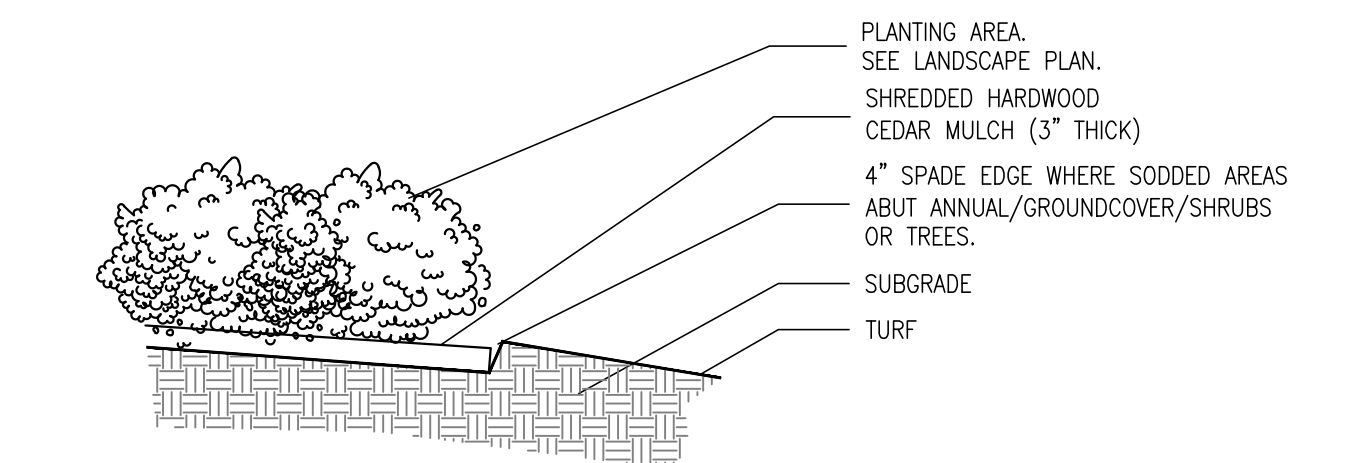
\*\*SEE PLAN FOR REQUIRED SPACING

SPACING "D"	ROW WIDTH "A"	NO. OF PLANTS/SF
6" O.C.	5.20"	4.61
8" O.C.	6.93"	2.60
10" O.C.	8.66"	1.66
12" O.C.	10.44"	1.15
15" O.C.	13.00"	.738
18" O.C.	15.60"	.512
24" O.C.	20.80"	.330

**5 GROUNDCOVER PLANTING DETAIL**  
NOT TO SCALE 329333.83-01



**6 TYPICAL ISLAND PLANTING DETAIL**  
NOT TO SCALE 329343.69-01



**7 NATURAL SPADE EDGE**  
NOT TO SCALE

**PROJECT TEAM**

COPYRIGHT NOTICE  
This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the Professional.

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
05/18/18	CLIENT REVIEW
05/24/18	CUP/ARB SUBMITTAL

**PROFESSIONAL IN CHARGE**  
LORI VIEROW  
PROFESSIONAL LANDSCAPE ARCHITECT  
LICENSE NO.

**PROJECT MANAGER**

**QUALITY CONTROL**  
SARAH DREIER  
**DRAWN BY**  
AMANDA WESTHOFF

**PROJECT NAME**

**PANERA  
CAFE 6106**

**SHEBOYGAN,  
WISCONSIN**

**PROJECT NUMBER**  
20180523.0

**SHEET TITLE**  
**LANDSCAPE  
NOTES AND DETAILS**

**SHEET NUMBER**  
**L2.0**