

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new concession stand at Horace Mann Middle School located at 2820 Union Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 24, 2018

MEETING DATE: May 30, 2018

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The Sheboygan Area School District is proposing to construct new concession building at Horace Mann Middle School at 2820 Union Avenue. The applicant states the following about the project:

- Currently the Horace Mann Middle School property is extensively used for soccer practices and games involving many levels of competition. This is the home soccer field for both Sheboygan high schools. This site hosts many games and tournaments in both the spring and fall. Sheboygan South uses the facility for all soccer practices during the spring and fall seasons. Practices and games occur after school until dusk for teams, later when the lighted main field is used.
- The project will add a second location for toilets and concessions on the property (located on the east side of main entry drive). Adding concessions and toilets in this area will reduce the need for pedestrians from walking through the parking lot to reach the existing concessions facility on the west side of the site. This will provide a safer environment for all users of this facility.
- The Horace Mann Middle School site is being further developed into a soccer field complex. The East Concessions Building is the first step in upgrading the site. This building includes space for a small concessions area, men and women's toilets and maintenance storage. In addition, the existing fence enclosed water service in this area will be relocated into the building.
- The proposed concession building is one story, 996sf building with a 6:12 sloped roof with four (4) foot overhangs. Site work includes adding access off of the main

Horace Mann main entry drive and concrete paving surrounding the building.

- The site for the building was selected because of adjacencies to existing infra-structure, user safety and convenience to this end of the soccer complex.
- Construction is expected to be started and completed over the summer of 2018.
- The project shares the same site as Horace Mann Middle School. The exterior of this building consists of a tan/orange brick and white quartz stone.
- Although a distance away, it is the intent of this building to blend with the Horace Mann Middle school (the exterior of the school consists of a tan/orange brick and white quartz stone). The concession building will be constructed of single width load bearing masonry walls supporting a Dutch gable roof. The building uses concrete brick with a similar color to the Horace Mann School to 7'-4" above finished floor and white split face emu above the brick to the underside of the overhang. The Dutch gable roof will have white shingles. Fascia, soffit, gutters and downspout to be white.
- Doors will be painted to match the cement brick color and the roll down door is stainless steel.
- The building will have recessed can lights in the overhang soffits.

STAFF COMMENTS:

Why has the applicant placed the split faced block on the top of the wall instead of at the bottom of the wall?

The stand has doors and/or windows on every elevation except the south elevation which faces Union Avenue. Is there any reason why the applicant could not install windows (natural light in toilet areas) or other design elements on this elevation?

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: 431060
MAP NO.: _____
ZONING CLASSIFICATION: MR-8

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 5/30/18

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Mark K. Schuchardt
ADDRESS: 1227A N. 8th Street, Sheboygan, WI 53081
E-MAIL ADDRESS: mschuchardt@brayarch.com
PHONE: (920) 459-4200 FAX NO.: _____

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: East Concessions Building - Horace Mann Middle School
ADDRESS OF PROPERTY AFFECTED: 2820 Union Avenue

NEW BUILDING: ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: See attachment

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____
See attachment

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____
See attachment



East Concessions Building Horace Mann Middle School



City of Sheboygan Architectural Review Application Submittal

May 14th, 2018



1227A North 8th Street ■ P.O. Box 955 ■ Sheboygan, Wisconsin 53082-0995
920.459.4200 ■ www.brayarch.com

EAST CONCESSIONS BUILDING
HORACE MANN MIDDLE SCHOOL
SHEBOYGAN AREA SCHOOL DISTRICT
SHEBOYGAN, WISCONSIN
BRAY PROJECT NO. 3376



Bray Associates Architects, Inc.
Milwaukee & Sheboygan, Wisconsin

Monday | May 14, 2018

CITY OF SHEBOYGAN – ARCHITECTURAL REVIEW APPLICATION

DESCRIPTION OF PROPOSED PROJECT

The Horace Mann Middle School site is being further developed into a soccer field complex. The East Concessions Building is the first step in upgrading the site. The project will add a second location for toilets and concessions on the property. Although the building is located on the school property activities it is used for are not associated with the daily functions of the school. This building includes space for a small concessions area, men and women's toilets and maintenance storage. Concessions and Toilets in this area will reduce the need for pedestrians from walking through the parking lot to reach the existing concessions facility on the west side of the site. This will provide a safer environment for all users of this facility. The building will be used in spring, summer and fall. The facility will be available for any athletic events and practices using that area of the athletic complex. Likely hours of operation would be from after school until dark on weekdays and weekends as needed. In addition, the existing fence enclosed water service in this area will be relocated into the building. The school is located off of Union Avenue. The building is one story, 996 square feet building with a 6:12 sloped roof with 4' overhangs. Site work includes adding a service access off of the main Horace Mann main entry drive and concrete paving surrounding the building.

The site for the building was selected because of adjacencies to existing infra-structure, user safety and convenience to this end of the soccer complex.

Construction is expected to be started and completed over the summer of 2018.

DESCRIPTION OF EXISTING EXTERIOR DESIGN & MATERIALS

The project shares the same site as Horace Mann Middle School. The exterior of this building consists of a tan/orange brick and white quartz stone.

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN & MATERIALS

Although a distance away, it is the intent of this building to blend with the Horace Mann Middle school. The concession building will be constructed of single wythe load bearing masonry walls supporting a Dutch gable roof. The building uses concrete brick with a similar color to the Horace Mann School to 7'-4" a.f.f. and white split face cmu above the brick to the underside of the overhang. The Dutch gable roof will have white shingles. Fascia, soffit, gutters and downspouts to be white.

Doors will be painted to match the cement brick color. The roll-dn counter door is stainless steel.

No dumpsters will be located at this building.

The building will have recessed can lights in the overhang soffits.



No signage is planned.

DESCRIPTION OF THE BUILT ENVIRONMENT SURROUNDING PROPOSED PROJECT

Horace Mann Middle School is located in a Mixed Residential (MR-8) Zone and is considered an Indoor Institutional use. No staff or students are being added with the addition of this concession building. No parking is being lost or added with this project. Residences are located to the east and north. Apartment housing is to the south across Union Avenue. Business occupancy is located across the street on the far west end of the property.



Brick



Split-Face CMU

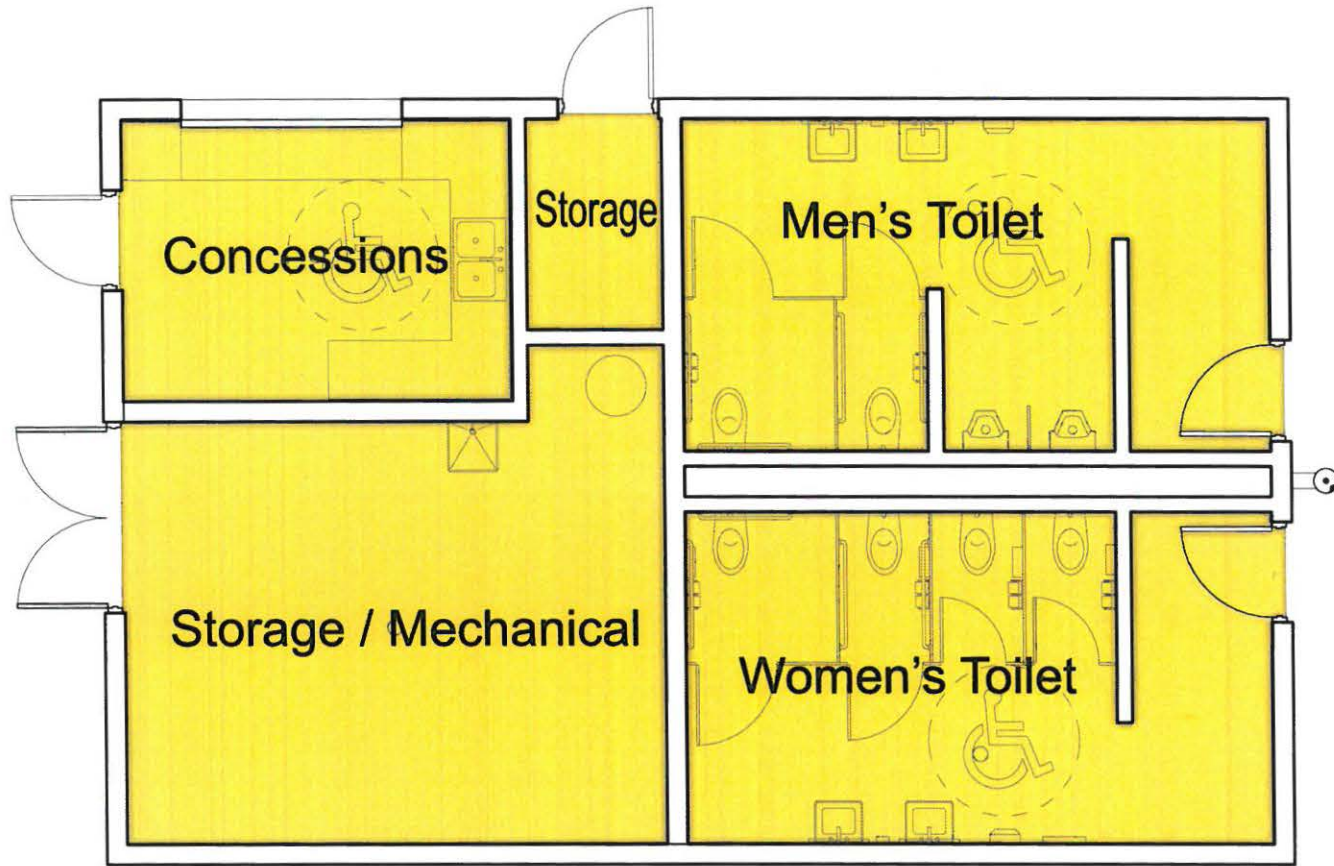


East Concessions Building Horace Mann Middle School

Proposed Concession

May 14, 2018





East Concessions Building Horace Mann Middle School

Plan

May 14, 2018





Existing Site

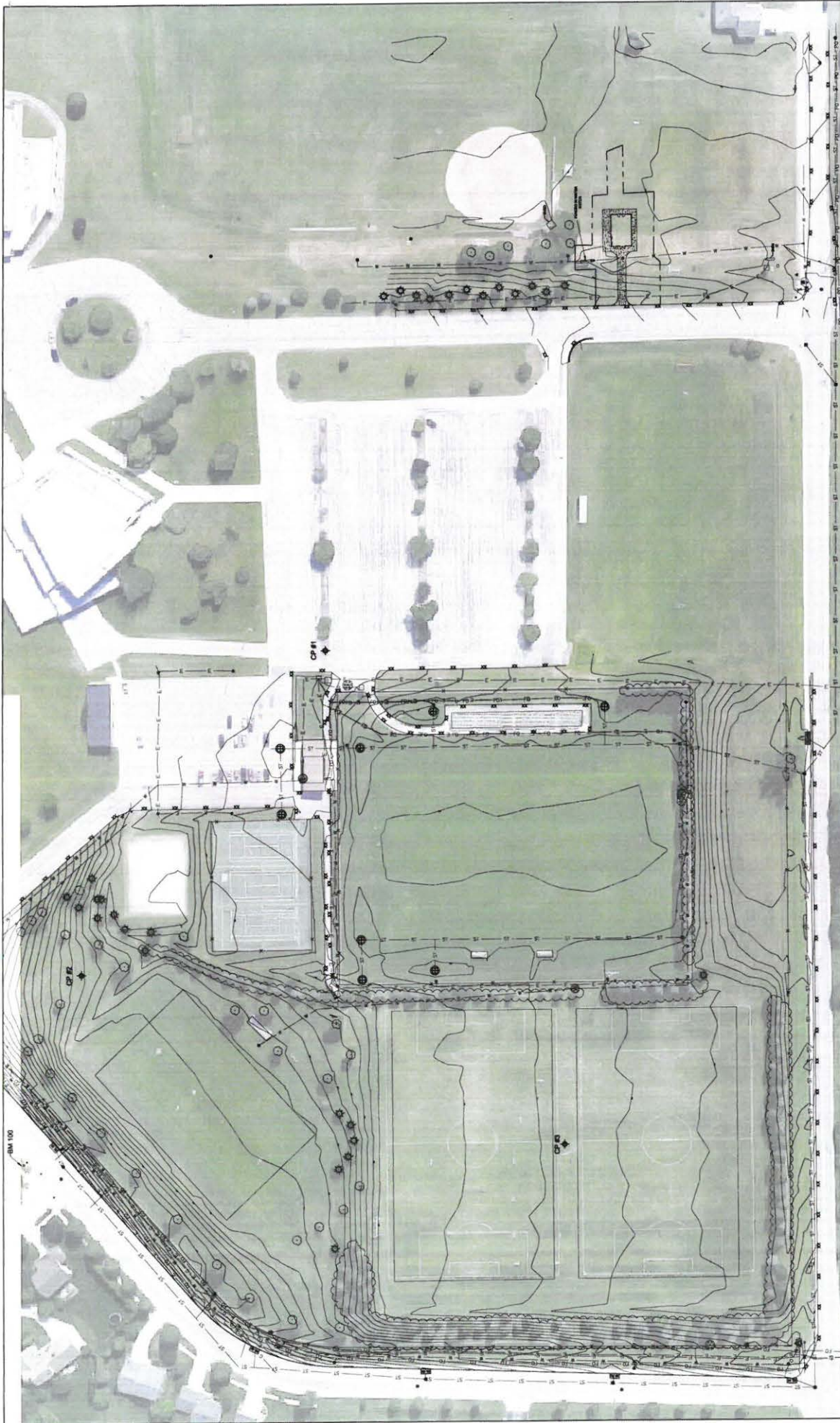


Site Facing South

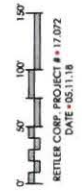
East Concessions Building Horace Mann Middle School

Site

May 14, 2018



**SHEBOYGAN AREA SCHOOL DISTRICT
 HORACE MANN MIDDLE SCHOOL - CONCESSION STAND
 SITE LAYOUT - SHEBOYGAN WI.**



RETTLER
 corporation
 5317 BUSINESS PARK DRIVE, COVINGTON, LA 70422
 TELEPHONE 715-341-2553 FAX 715-341-3442
 EMAIL: INFO@RETTLE.COM, WEBSITE: WWW.RETTLE.COM



East Concessions Building Horace Mann Middle School

Site Plan

May 14, 2018





Office Location
 Milwaukee
 1200 North Lincoln Street
 Milwaukee, Wisconsin 53204
 T 414.226.0200

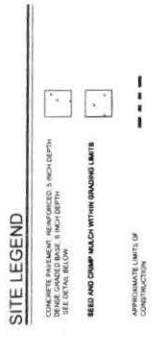
Sheboygan
 1225 North Lincoln Street
 Sheboygan, Wisconsin 53081
 T 920.452.0200
 www.brayarch.com

B:RETTLER
 corporation

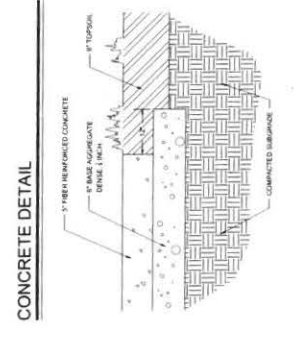
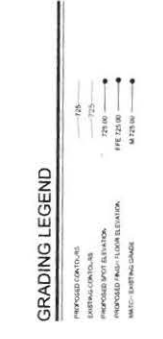
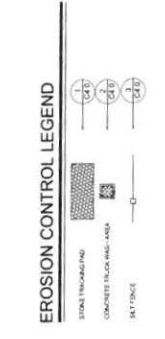
Project Number: **3376**
 Intended For
Construction Documents
 Sheet Title
SITE LAYOUT, GRADING AND EROSION CONTROL PLAN
 Sheet Number
C2.0

Project Name
Horace Mann Middle School
 East Concessions Building
 2820 Union Avenue, Sheboygan, WI 53081

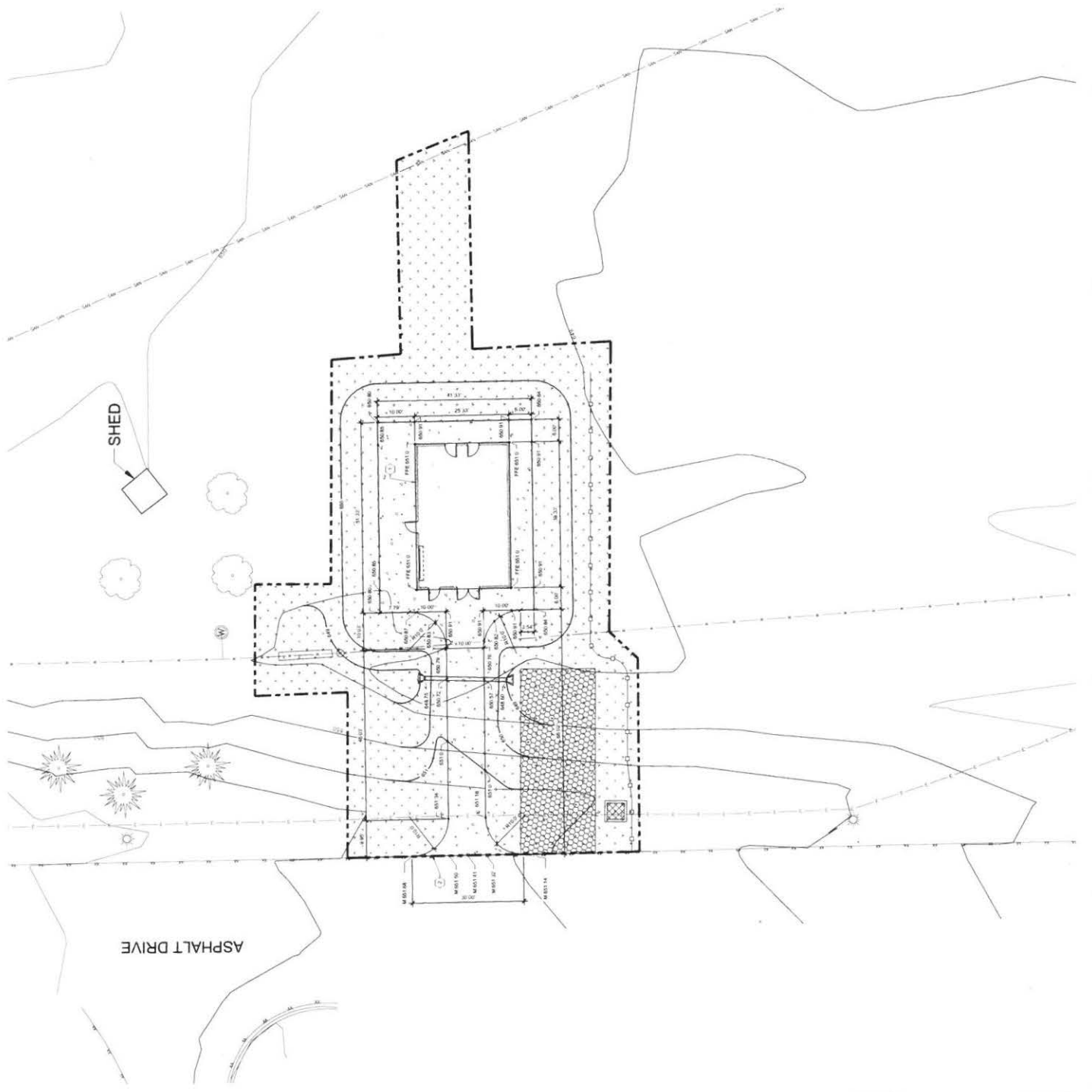
- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY AND COUNTY ORDINANCES AND THE STATE OF WISCONSIN.
 2. THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID TO THE STATE OF WISCONSIN SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 3. ALL PROPOSED CONSTRUCTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 4. ALL PROPOSED CONSTRUCTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 5. GRADE, LINE AND LEVEL SHALL BE SURVEYED IN THE FIELD BY THE CONTRACTOR.
 6. SLOPE, FERTILIZER AND COMPOST SHALL BE APPLIED TO ALL GENERAL LANDSCAPE AREAS.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.



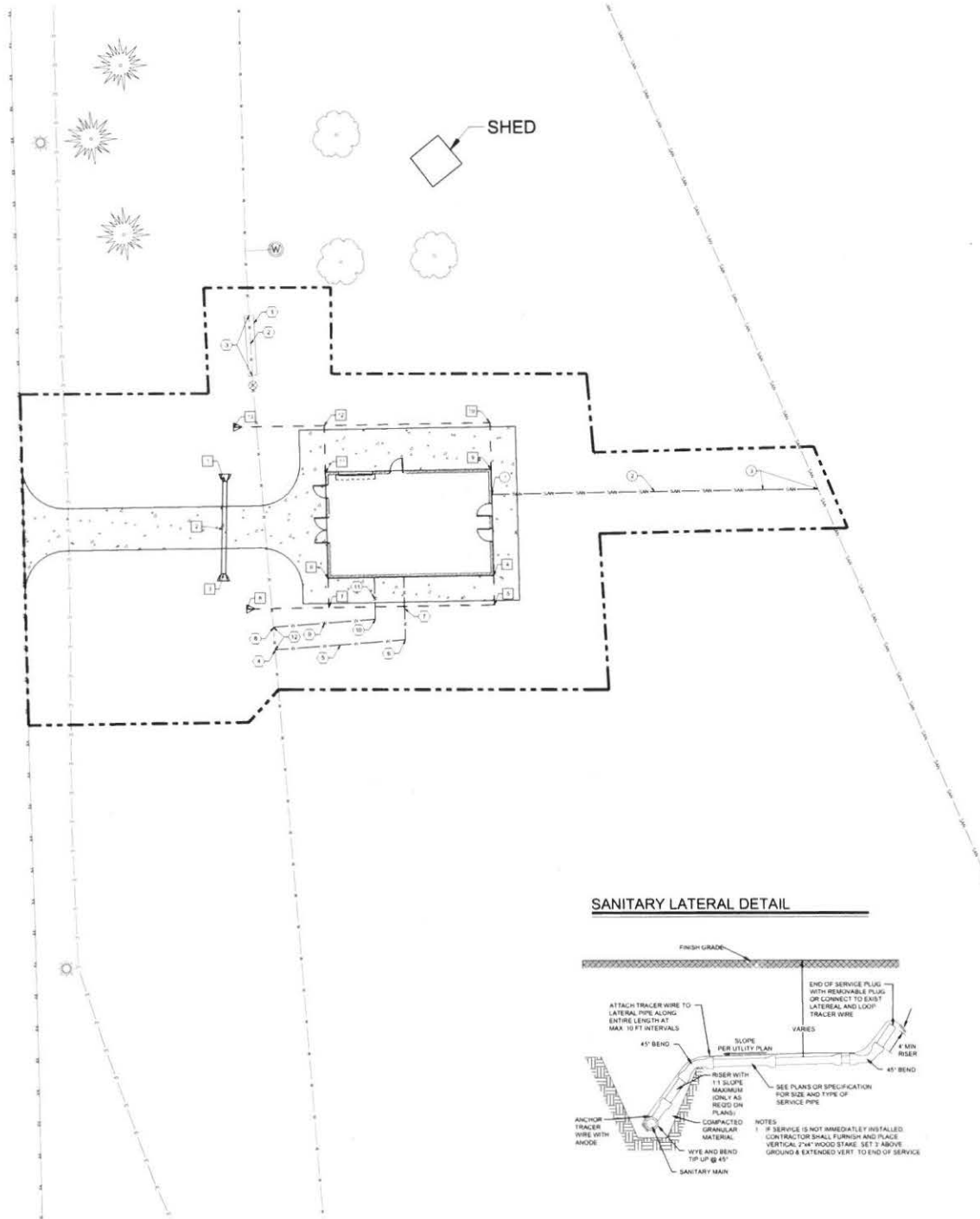
- LAYOUT KEYNOTES**
1. COMMISSION RESTROOM BUILDING (SEE ARCH. PLANS)
 2. MAIN USE MARKET CLEAN ROOM TO MATCH CONCRETE PAVEMENT



NOTES:
 CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 10' O.C.
 PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS.



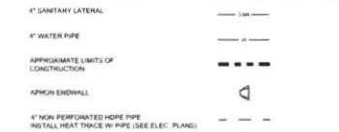
ASPHALT DRIVE



GENERAL NOTES

1. LOCATE ALL UTILITY RELOCATION WITH THE PROPER UTILITY COMPANY.
2. ANY EXISTING UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCLUDED IN THE BID.
3. INSULATE WATER SERVICE AND SANITARY SEWER W/ COVER LESS THAN 4' W/ MINIMUM 2" OF THICK 4" WIDE XPS INSULATION. DO NOT BURY WATER PIPE OR SANITARY SEWER WITH COVER LESS THAN 3'.
4. MAINTAIN MINIMUM 8" COVER OVER WATER MAIN.

UTILITY LEGEND



WATER KEYNOTES

1. REMOVE AND SALVAGE TO OWNER EXISTING METAL CAGE
2. REMOVE AND RELOCATE EXISTING WATER METER (SEE PLUMBING PLAN)
3. REPLACE 15 LF. 4" C900 PVC WATER PIPE
4. 90° ELBOW - 4" C900 PVC WATER FITTING
5. 35 LF. 4" C900 PVC WATER PIPE
6. 90° ELBOW - 4" C900 PVC WATER FITTING
7. 15 LF. 4" C900 PVC WATER PIPE, STUB TO WITHIN 5 LF. OF BUILDING
8. 90° ELBOW - 4" C900 PVC WATER FITTING
9. 24 LF. 4" C900 PVC WATER PIPE
10. 90° ELBOW - 4" PVC WATER FITTING
11. 35 LF. 4" C900 PVC WATER PIPE, STUB TO WITHIN 5 LF. OF BUILDING
12. REMOVE 5 LF. OF EXISTING 4" WATER MAIN BETWEEN NEW 90° ELBOWS

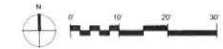
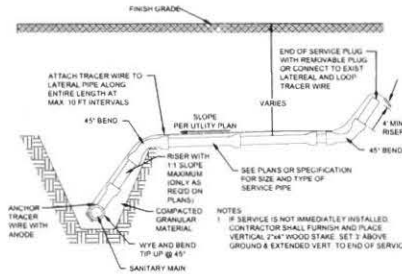
SANITARY KEYNOTES

1. 170' 4" SIDR 15 PVC SANITARY LATERAL TO WITHIN 5 LF. OF BUILDING. BUILDING INVERT = 545.10
2. 84 LF. 4" SIDR 15 PVC SANITARY SEWER PIPE @ 1.10% PER 84.2'
3. CONNECT LATERAL TO SANITARY MAIN USING 4" WYE
4. INSTALL 18 LF. OF RISER AT 45° ANGLE (SEE SANITARY LATERAL DETAIL BELOW). 8" SANITARY MAIN INV. = 531.19

STORM SEWER KEYNOTES

1. 12" METAL APRON ENDWALL INV. = 548.75
2. 42 LF. 12" HDPE STORM SEWER
3. 12" METAL ENDWALL INV. = 548.51
4. CONNECT 4" HDPE PIPE TO EXISTING 24" HOOP DRAIN INV. = 550.06. SEE DETAIL 4-C3-D
5. 4" HDPE TEE INV. = 550.00
6. CONNECT 4" HDPE PIPE TO EXISTING 24" HOOP DRAIN INV. = 549.95. SEE DETAIL 4-C3-D
7. 4" HDPE TEE INV. = 549.57
8. 4" MITERED DRAIN ENDWALL MODEL 4MDFP 8 INV. 549.35
9. CONNECT 4" HDPE PIPE TO EXISTING 24" HOOP DRAIN INV. = 550.08. SEE DETAIL 4-C3-D
10. 4" HDPE TEE INV. = 549.35
11. CONNECT 4" HDPE PIPE TO EXISTING 24" HOOP DRAIN INV. = 548.53. SEE DETAIL 4-C3-D
12. 4" HDPE TEE INV. = 549.55
13. 4" MITERED DRAIN ENDWALL MODEL 4MDFP 8 INV. 549.25

SANITARY LATERAL DETAIL



solid foundation. forward thinking.

bray architects

Office Locations:

Menasha
805 S. 1st Street
Menasha, Wisconsin 53204
T: 414.226.0500

Sheboygan
1227A North 5th Street
PO Box 995
Sheboygan, Wisconsin 53082
T: 920.459.4300
www.brayarch.com

RETTLER corporation

Project Title: **Horace Mann Middle School East Concessions Building**
2820 Union Avenue, Sheboygan, WI 53081

Project Number: **3376**

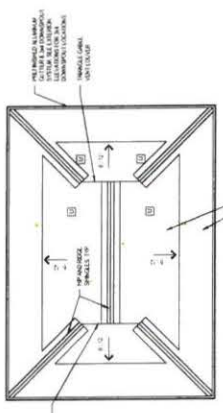
Issued For: **Construction Documents**

Issue Date: **4-27-2018**

Sheet Title: **SITE UTILITY PLAN**

Sheet Number: **C3.0**

4/11/2018 8:46:33 AM
C:\Users\architect\Documents\3376 Construction\Main\Construction_sheets\bray.rvt



Roof Plan
 Scale: 1/8" = 1'-0"

Total Accessory Schedule

Mark	Description	Furnished & Installed
A	Towel Paper Dispenser - 2 (80)	Owner Furnished, Contractor Installed
B	Hand Sanitizer Dispenser - 2 (80)	Owner Furnished, Contractor Installed
C	Grab Bars, 36" x 42" x 6" Vertical	Contractor Furnished, Contractor Installed
D	Grab Bars, 36" x 42" x 6" Vertical	Contractor Furnished, Contractor Installed
E	Electrical Conduit (Type 42 code)	Contractor Furnished, Contractor Installed
F	Electrical Conduit (Type 42 code)	Contractor Furnished, Contractor Installed
G	Sanitary Napkin Dispenser	Contractor Furnished, Contractor Installed
H	Sanitary Napkin Dispenser	Contractor Furnished, Contractor Installed

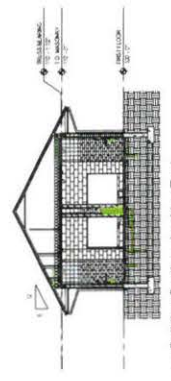
Room Finish Schedule

Room Number	Room Name	Wall Finish	Base Finish	Floor Finish	Comments
100	CONCESSIONS	EPF-1	SC-1	PF-1	"NO FINISH" OVER CONCRETE BRICK, BRICK
101	STORAGE	SC-1	SC-1	SC-1	"NO FINISH" OVER CONCRETE BRICK, BRICK
102	STORAGE / MECHANICAL	SC-1	SC-1	SC-1	"NO FINISH" OVER CONCRETE BRICK, BRICK
103	MEN'S TOILET	EPF-1	SC-1	SC-1	"NO FINISH" OVER CONCRETE BRICK, BRICK
104	WOMEN'S TOILET	EPF-1	SC-1	SC-1	"NO FINISH" OVER CONCRETE BRICK, BRICK

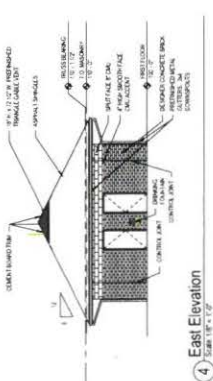


NOTE:
 1. WHEN MATERIAL TYPE IS FOLLOWED BY A NUMBER, THE NUMBER IS A REFERENCE TO THE MATERIAL SCHEDULE.
 2. WHEN MATERIAL NUMBER IS FOLLOWED BY A LETTER, THE LETTER IS A REFERENCE TO THE MATERIAL SCHEDULE.
 3. WHEN MATERIAL NUMBER IS FOLLOWED BY A LETTER AND A NUMBER, THE LETTER AND NUMBER ARE REFERENCES TO THE MATERIAL SCHEDULE.

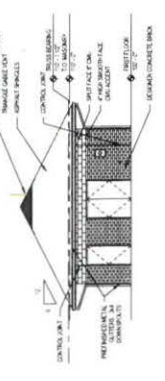
MATERIALS:
 1. ALL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR.
 2. ALL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR.
 3. ALL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR.



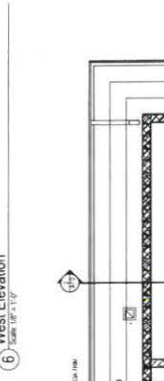
Building Section - Looking North
 Scale: 1/8" = 1'-0"



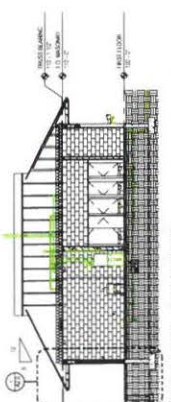
Building Section - Looking East
 Scale: 1/8" = 1'-0"



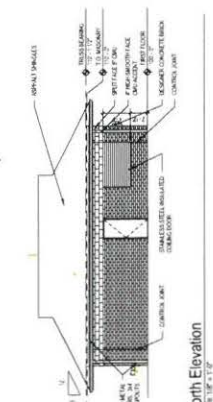
East Elevation
 Scale: 1/8" = 1'-0"



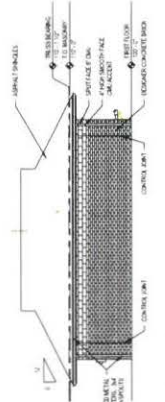
West Elevation
 Scale: 1/8" = 1'-0"



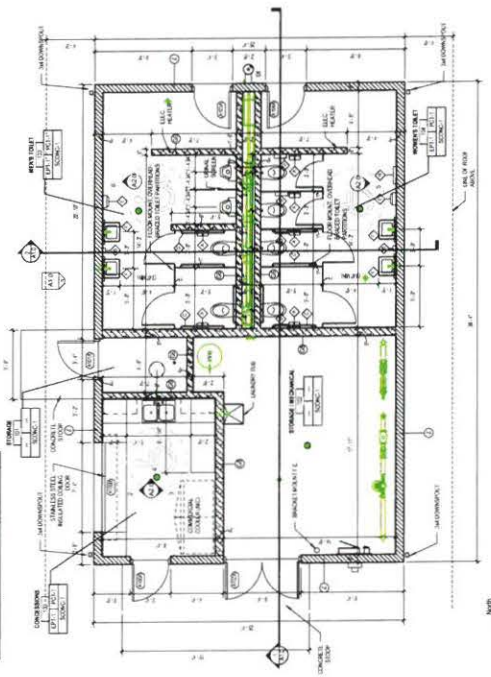
North Elevation
 Scale: 1/8" = 1'-0"



South Elevation
 Scale: 1/8" = 1'-0"



Reflected Ceiling Plan
 Scale: 1/8" = 1'-0"



Floor Plan
 Scale: 1/8" = 1'-0"

GENERAL NOTES:
 1. ALL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR.
 2. ALL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: New Building for Commerce State Bank located at 1123 N. 23rd Street.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 24, 2018

MEETING DATE: May 30, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

In April of 2017, the Architectural Review Board approved drawings from Commerce State Bank to construct and operate a new financial institution on Parcel #'s 206640 and 206650 located at the northeast corner of N. 23rd Street and Kohler Memorial Drive. The applicant stated the following:

- Construction of an 8,400sf bank with drive thru on a newly created 1.5 acre parcel.
- The building with its sweeping arc is sited to create and maximize landscape and lawn areas as a buffer to the building thus reducing the impact of paved area commonly found along Kohler Memorial Drive. We believe the building to be a dynamic and fitting addition to the Kohler Memorial Dr.
- The single story building's tall glassy entry and lobby is designed to flood the interior public spaces with abundant natural light and to serve as a landmark fitting for this prominent corner. The corporate architectural brand of the building suits this site well.
- Silver metallic metal panel references neighboring industrial buildings but in a refined, modern way. The cool nature of the metal panels is softened by the generous use of a smooth cast stone in a warm buff color with a textural detail of rock faced accent bands.
- Signage is tastefully incorporated into the architectural elements of the building and becomes a cohesive element to the overall composition.

Recently, I spoke to Commerce State Banks architect who stated that the owner is not happy with some of the architecture that was originally approved and therefore wanted the opportunity to submit new drawings for the board's consideration. The applicant states:

- This revised submittal is for the intention of changing the originally proposed tan metal panel on the approved building to the silver metallic that makes up the majority of the building. The original intention of the tan meal panels was to incorporate a hint of the cast stone color used on the building in other location on the building façade. Although this idea looked good on paper when the panels were actually installed, it was determined that the tan metal panels did not match the building well and deviated from the corporate identity that Commerce State Bank has established in their other branch's. By changing these tan panels to the silver metallic panels the building façade's will be improved by allowing a more homogenous color palate and better displaying the building's dynamic geometry. We have submitted for your review colored renderings and elevations that shows where these panels were originally proposed and what the building will look like with the proposed change. The original design statement made at the time of the original building approval is below and is great indication of how this change will better fill our original intentions.
- It is the intent of the new commercial bank building at the corner of N. 23rd Street and Kohler Memorial Drive to serve as a dynamic and attractive addition to the commercial corridor of Kohler Memorial Drive. The goal of our proposed design is to stylistically compliment the array of industrial and commercial buildings in the immediate area, and to continue the architectural corporate brand of the client. The building with its sweeping arc is sited to create and maximize landscape and lawn areas as a buffer to the building thus reducing the impact of paved area commonly found along Kohler memorial drive. The single story building's tall glassy entry and lobby is designed to flood the interior public spaces with abundant natural light and to serve as a landmark fitting for this prominent corner. The corporate architectural brand of the building suits this site well. Silver metallic metal panel references neighboring industrial buildings but in a refined, contemporary approach. The cool nature of the panels is softened by the generous use of a smooth cast stone in a warm buff color with a textural detail of rock faced accent bands. Signage is strategically incorporated into the architectural elements of the building and becomes a cohesive element to the overall composition. For these reasons we believe the building to be a dynamic and fitting addition to the Kohler Memorial Drive corridor.

STAFF COMMENTS:

None.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.:	_____
MAP NO.:	_____
ZONING CLASSIFICATION:	_____

Office Use Only	
DATE SUBMITTED:	_____
REVIEW DATE:	_____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Commerce State Bank

ADDRESS: 1700 S Silverbrook Dr, #1, West Bend WI

E-MAIL ADDRESS: DBorchardt@commercesb.com

PHONE: (262) 247-2804 FAX NO.: (262) 247-2882

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Commerce State Bank

ADDRESS OF PROPERTY AFFECTED: 2230 Kohler Memorial Drive

NEW BUILDING: ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: We are proposing to construct a 8,300 SF single story building with (1) parking lot to the north and (1) south of the building. There will also be a drive thru attached to the building with an overhead canopy.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: NA

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: **This submittal is for a proposed change to one of the metal panel colors to change from tan to the metallic silver utilized throughout the building. The rationale for this change is described in the attached narrative**The original description of the project is as follows: The building was designed to utilize the views from both 23rd Street and Kohler Memorial Drive. We achieved this by curving the front facade of the building, and turning the building slightly to the corner. We are using a mixture of cast stone masonry, prefinished metal panels, & glazing to create an identifiable building that mimics the materials utilized in the surrounding building and yet establishes its own identity.

3. NAMES AND ADDRESSES

OWNER OF SITE: 2230 LLC
ADDRESS: 909 N 8th Street, #115, Sheboygan, WI
PHONE: (414) 840-6667

ARCHITECT: Zimmerman Architectural Studios
ADDRESS: 2122 W Mt Vernon Ave, Milwaukee, WI
E-MAIL ADDRESS: paul.richter@zastudios.com
PHONE: 414-918-1429 **FAX NO.:** 414-476-8582

CONTRACTOR: Jos. Schmitt & Sons Const. Co. Inc.
ADDRESS: 2104 Union Ave, Sheboygan, WI 53081
PHONE: (920) 457-4426 **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

5/18/18

DATE

DAVID R. BOLCHARD

PRINT ABOVE NAME *COMMENCE SMITH BTRAL*
CKS/COO

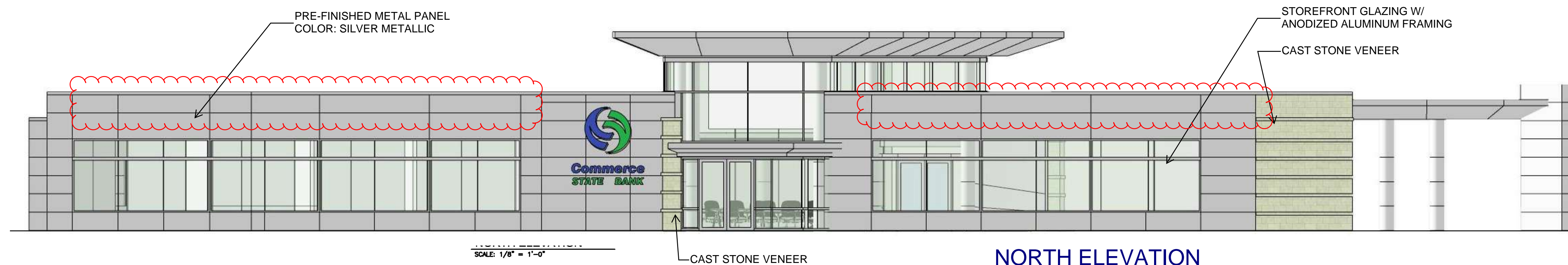
May 17, 2018

City of Sheboygan Plan Commission
828 Center Ave, Suite 104
Sheboygan, WI 53081

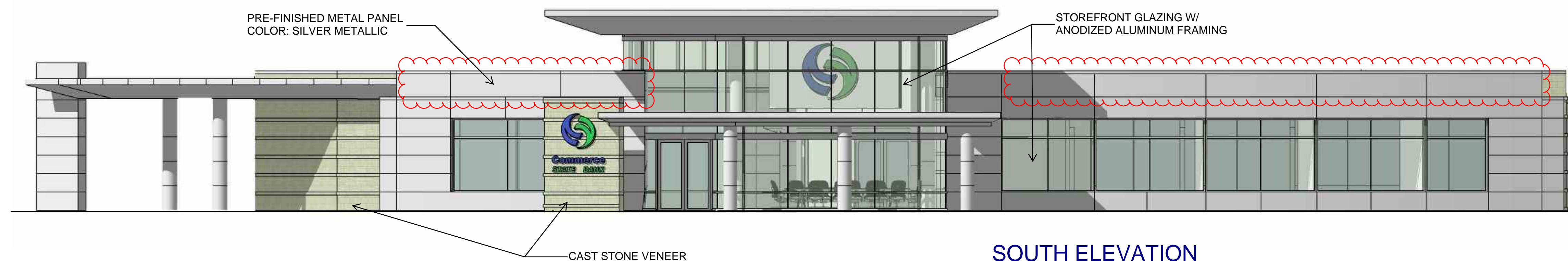
RE: Design Statement for Proposed Commerce State Bank Building at N 23rd Street & Kohler Memorial Drive
2230 Kohler Memorial Drive
Sheboygan, WI 53081

This revised submittal is for the intention of changing the originally proposed tan metal panel on the approved building to the silver metallic that makes up the majority of the building. The original intention of the tan meal panels was to incorporate a hint of the cast stone color used on the building in other location on the building façade. Although this idea looked good on paper when the panels were actually installed, it was determined that the tan metal panels did not match the building well and deviated from the corporate identity that Commerce State Bank has established in their other branch's. By changing these tan panels to the silver metallic panels the building façade's will be improved by allowing a more homogenous color palate and better displaying the building's dynamic geometry. We have submitted for your review colored renderings and elevations that shows where these panels were originally proposed and what the building will look like with the proposed change. The original design statement made at the time of the original building approval is below and is great indication of how this change will better fill our original intentions.

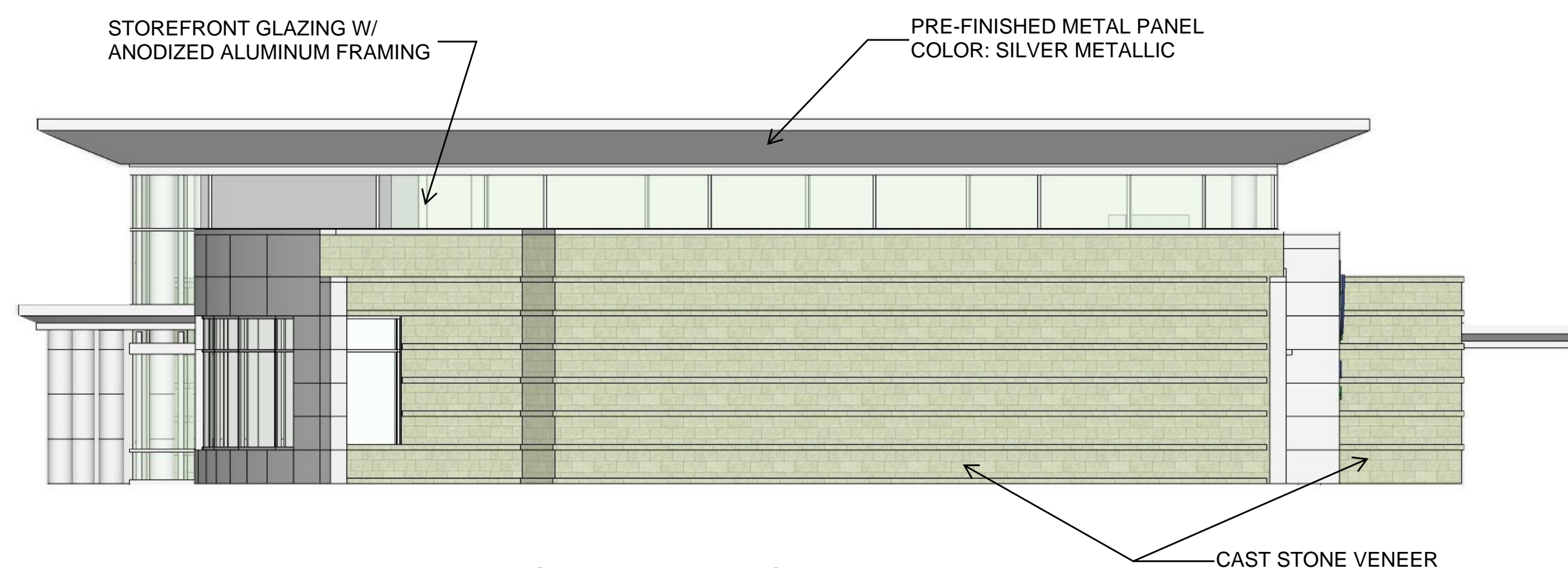
It is the intent of the new commercial bank building at the corner of N 23rd street and Kohler Memorial Drive to serve as a dynamic and attractive addition to the commercial corridor of Kohler Memorial Drive. The goal of our proposed design is to stylistically compliment the array of industrial and commercial buildings in the immediate area, and to continue the architectural corporate brand of the client. The building with its sweeping arc is sited to create and maximize landscape and lawn areas as a buffer to the building thus reducing the impact of paved area commonly found along Kohler memorial drive. The single story building's tall glassy entry and lobby is designed to flood the interior public spaces with abundant natural light and to serve as a landmark fitting for this prominent corner. The corporate architectural brand of the building suits this site well. Silver metallic metal panel references neighboring industrial buildings but in a refined, contemporary approach. The cool nature of the panels is softened by the generous use of a smooth cast stone in a warm buff color with a textural detail of rock faced accent bands. Signage is strategically incorporated into the architectural elements of the building and becomes a cohesive element to the overall composition. For these reasons we believe the building to be a dynamic and fitting addition to the Kohler Memorial Drive corridor.



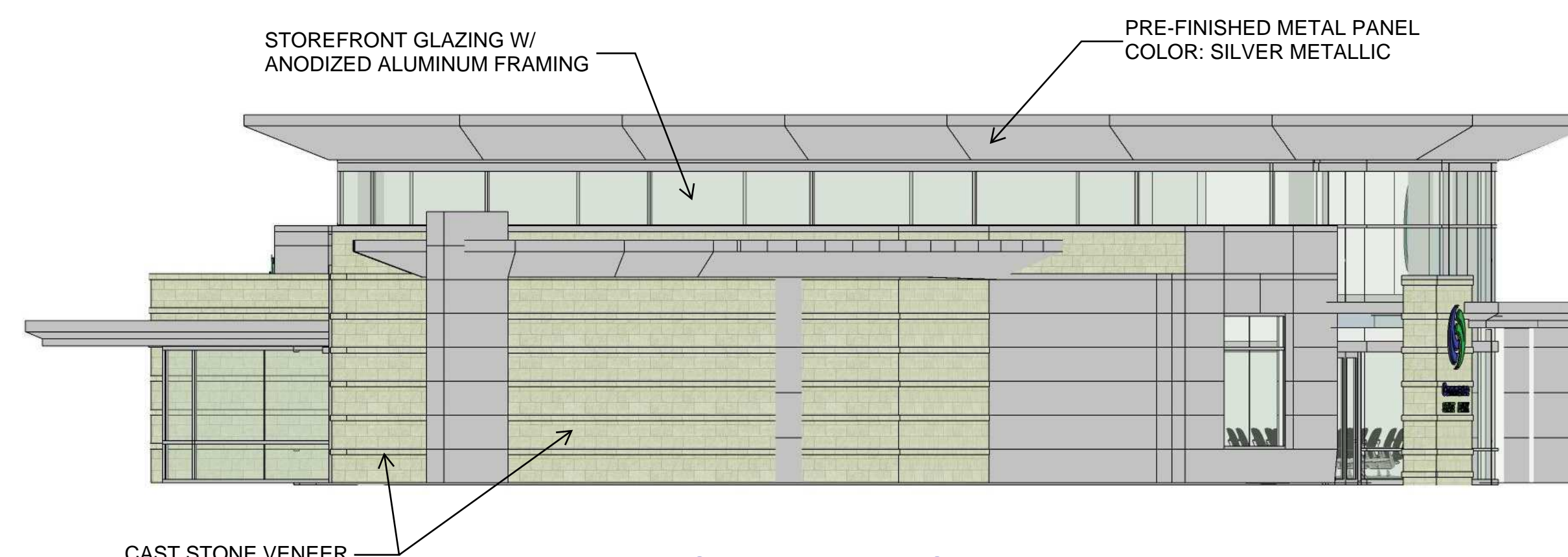
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

Consultant:

Project:
Commerce State Bank - Sheboygan Branch

Location:
 N 23rd Street & Kohler Memorial Dr.
 Sheboygan, WI

Sheet:

Scale:
 1/8" = 1'-0"

Revisions:

No.	Date	Description

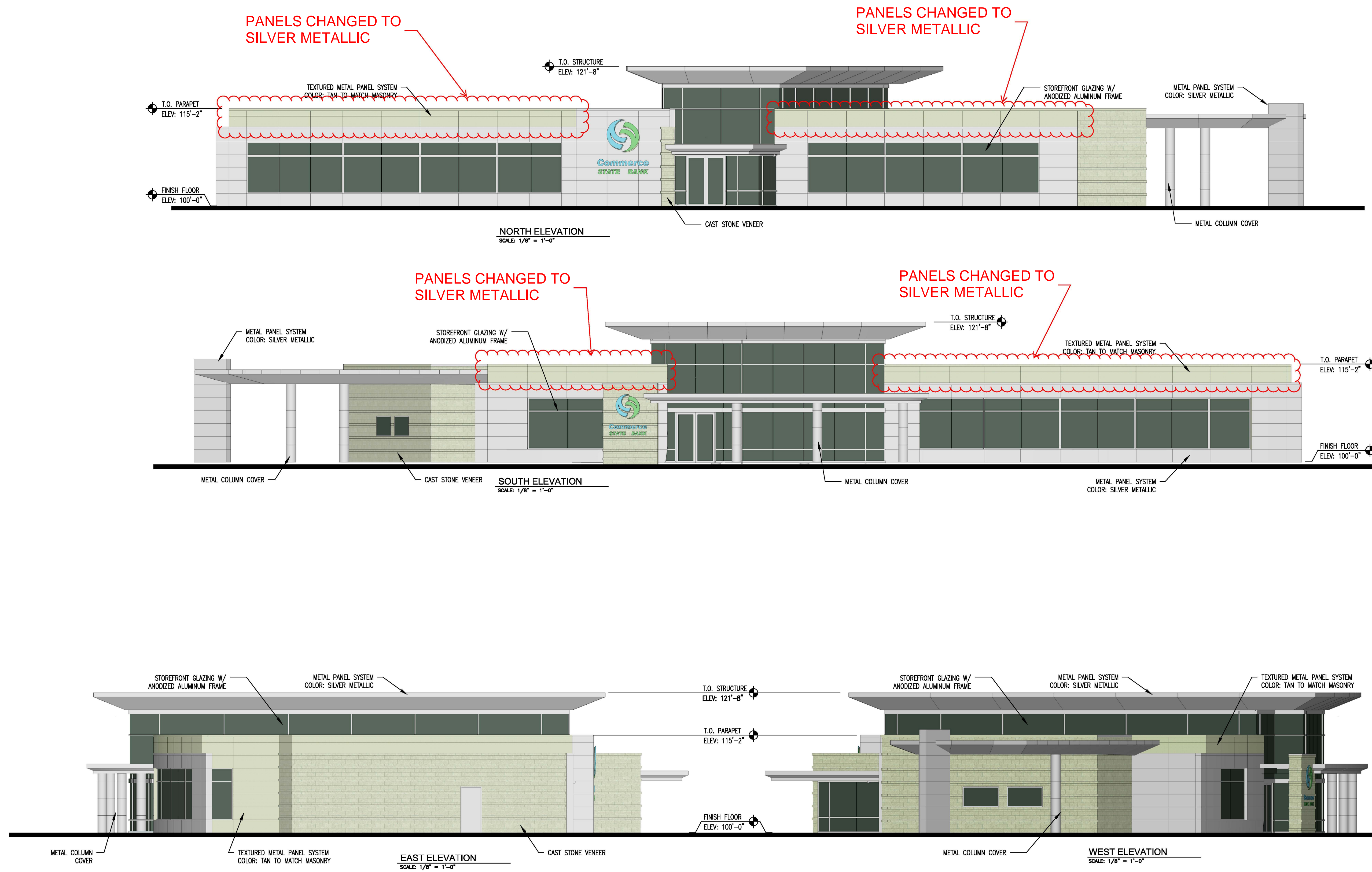
Date:

Project No.:
 160085.01

Sheet No.:

A4.0

ORIGINALLY SUBMITTED ELEVATIONS



Consultant:

Project:
Commerce State Bank - Sheboygan Branch

Location:
 N 23rd Street & Kohler Memorial Dr.
 Sheboygan, WI

Sheet:

Scale:
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Revisions:

No.	Date	Description

Date:

Project No.:
 160085.01

Sheet No.:

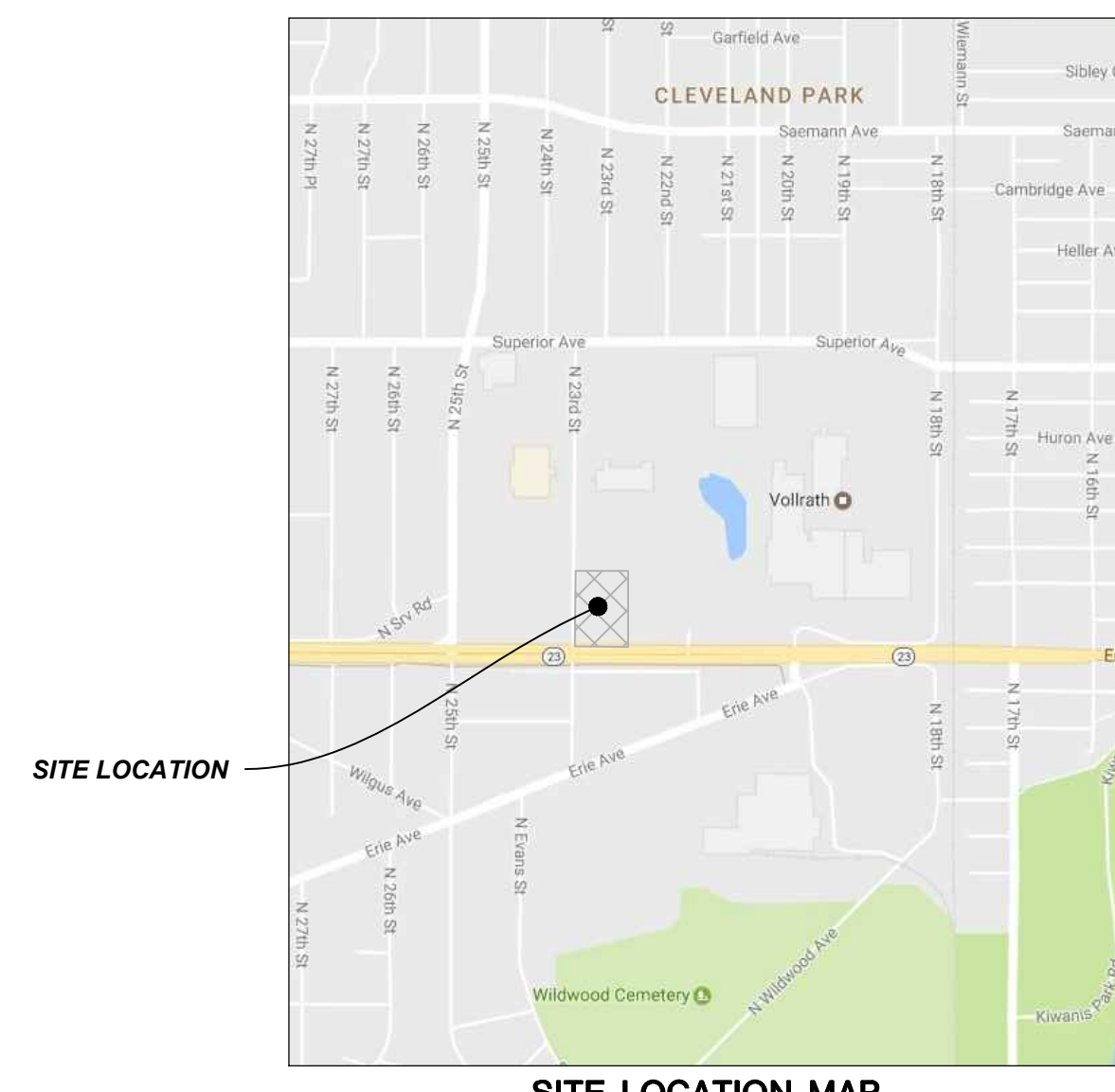
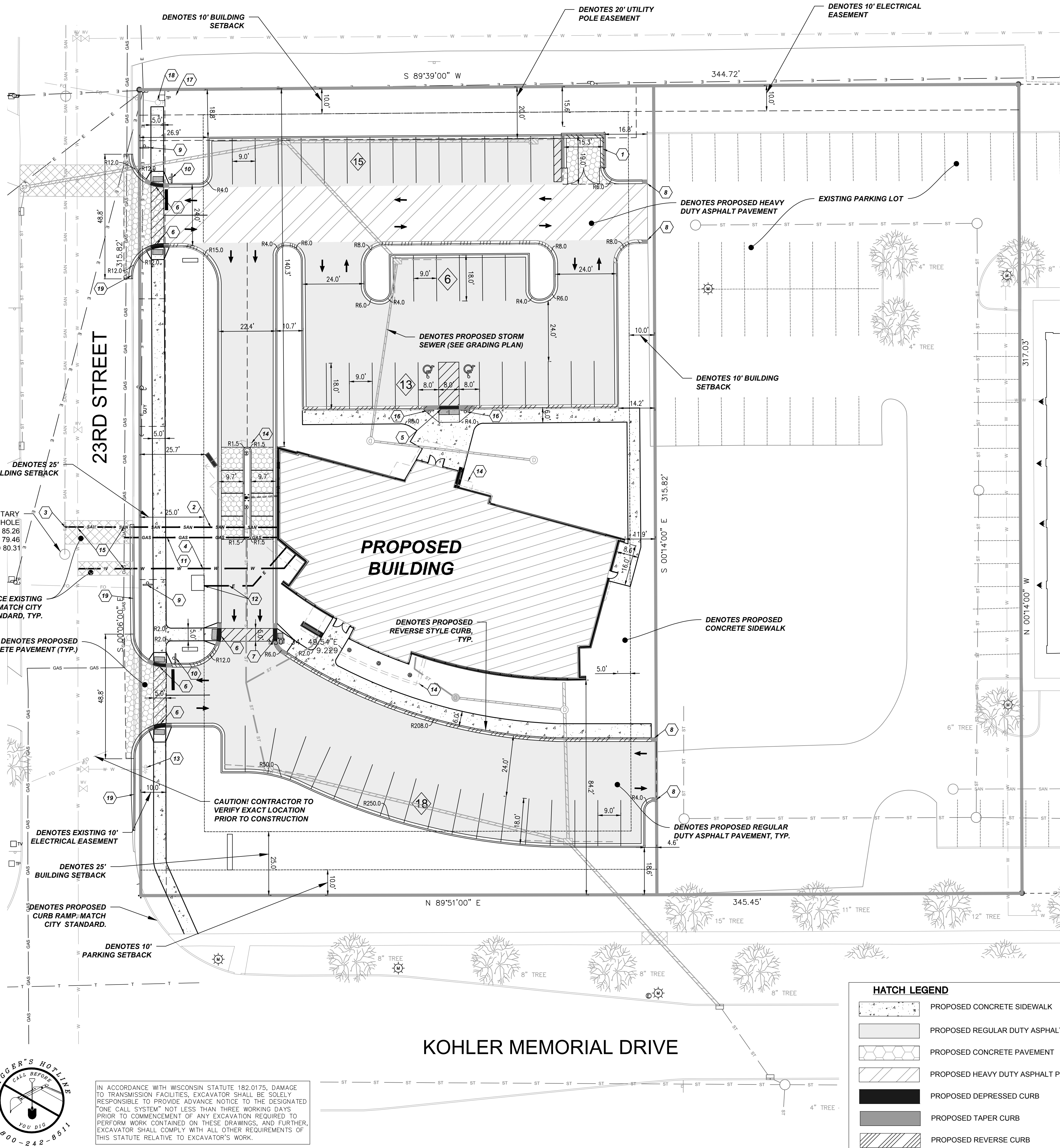
A4.0



Commerce State Bank-
View from South
5/17/2017



Commerce State Bank-
Sheboygan - View from North
5/17/18



SITE ZONING AND LOCATION TABLE

LEGAL DESCRIPTION:
PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 15 NORTH, RANGE 22 EAST

PROPERTY LOCATION:	1123 NORTH 23RD STREET SHEBOYGAN, WI
EXISTING ZONING:	S-O SUBURBAN OFFICE
PROPOSED ZONING:	S-O SUBURBAN OFFICE
ZONING SETBACKS:	BUILDING SETBACK: - 25 FEET (FRONT) - 10' (SIDE & REARS YARD) PARKING SETBACK: - 10' (FRONT YARD)
PROPERTY OWNER:	COMMERCE STATE BANK
PROPOSED USAGE:	BANK

SITE CALCULATION TABLE

TOTAL SITE AREA	1.467 AC
TOTAL BUILDING AREA	8360 SF
TOTAL DISTURBED AREA	1.425 AC
EXISTING IMPERVIOUS AREA	0.220 AC
PROPOSED IMPERVIOUS AREA	0.875 AC
NET IMPERVIOUS AREA ADDED	0.655 AC
PROPOSED GREENSPACE	0.592 AC (40% OF SITE)
PROPOSED REGULAR PARKING SPACES	50
PROPOSED HANDICAP PARKING	2
PROPOSED TOTAL PARKING	52*

*CITY CODE REQUIRES 28 PARKING SPACES FOR AN 8360 SF BUILDING

CIVIL SHEET INDEX:

C1.10	SITE PLAN
C1.20	GRADING PLAN
C1.21	EROSION CONTROL PLAN
C1.30	DEMOLITION PLAN
C1.40	EXISTING SURVEY
C5.00	CONSTRUCTION DETAILS
C5.01	CONSTRUCTION DETAILS

- NOTES**
- DENOTES PROPOSED TRASH ENCLOSURE. (SEE ARCHITECTURAL PLANS FOR DETAILS).
 - DENOTES PROPOSED 4" SANITARY SEWER SERVICE.
 - VERIFY ELEVATION PRIOR TO CONSTRUCTION. CONNECT WITH INSERTA TEE FITTING.
 - DENOTES PROPOSED 2" COPPER WATER SERVICE.
 - DENOTES PROPOSED 8" L.F. DEPRESSED CURB W/ 6" CURB TAPERS BOTH SIDES, AND TRUNCATED DOMES.
 - DENOTES PROPOSED 5" L.F. DEPRESSED CURB W/ 2" CURB TAPERS BOTH SIDES, AND TRUNCATED DOMES.
 - DENOTES PROPOSED 5" L.F. DEPRESSED CURB W/ 2" CURB TAPER ON NORTH SIDE AND 6" CURB TAPER PARALLEL WITH SIDEWALK (SEE CURB RAMP - TYPE 2 DETAIL).
 - DENOTES PROPOSED 2" CURB TAPER.
 - DENOTES RELOCATED STREET SIGN.
 - DENOTES PROPOSED STOP SIGN & STOP BAR.
 - DENOTES PROPOSED GAS LINE (SEE MECHANICAL PLANS FOR DETAIL).
 - DENOTES PROPOSED ELECTRICAL LINE & TRANSFORMER PAD (SEE ELECTRICAL PLANS FOR DETAIL).
 - EXISTING FIRE HYDRANT (TO REMAIN).
 - PROPOSED BUILDING OVERHANG.
 - CAUTION! BURIED UTILITIES. CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
 - PROPOSED HANDICAP SIGN (TYP.).
 - DENOTES RELOCATED TELEPHONE PEDESTAL.
 - CONTRACTOR TO VERIFY LOCATION, RELOCATE AS REQUIRED.
 - DENOTES PROPOSED CURB, MATCH CITY STANDARD.

UTILITY LEGEND

SYMBOL	DESCRIPTION
— W — W —	EXISTING WATER MAIN
— E — E —	PROPOSED WATER SERVICE
— F — F —	EXISTING ELECTRICAL LINE
— GAS — GAS —	PROPOSED ELECTRICAL LINE
— GAS — GAS —	EXISTING GAS MAIN
— SAN — SAN —	PROPOSED GAS MAIN
— ST — ST —	EXISTING SANITARY SEWER
— ST — ST —	PROPOSED SANITARY SEWER
— ST — ST —	EXISTING STORM SEWER
— ST — ST —	PROPOSED STORM SEWER
— CHW — CHW —	OVERHEAD WIRES
— ST — ST —	EXISTING POWER POLES
— ST — ST —	EXISTING LIGHT POLES
— SAN — SAN —	SANITARY MANHOLE
— ST — ST —	FIRE HYDRANT
— ST — ST —	EXISTING WATER VALVE
— ST — ST —	PROPOSED WATER VALVE
— ST — ST —	EXISTING STORM STRUCTURE
— ST — ST —	PROPOSED STORM STRUCTURE
— ST — ST —	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
— ST — ST —	PROPOSED & EXISTING SPOT GRADE

HATCH LEGEND

[Hatch Pattern]	PROPOSED CONCRETE SIDEWALK
[Hatch Pattern]	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
[Hatch Pattern]	PROPOSED CONCRETE PAVEMENT
[Hatch Pattern]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
[Hatch Pattern]	PROPOSED DEPRESSED CURB
[Hatch Pattern]	PROPOSED TAPER CURB
[Hatch Pattern]	PROPOSED REVERSE CURB

Consultant:

Project:
Commerce State Bank - Sheboygan Branch

Location:
2230 Kohler Memorial Dr.
Sheboygan, WI 53081

Sheet:
Site Plan

Scale: 1" = 20'

Revisions:
No. Date Description:

Date:
7/6/2017

Project No.:
160085.00

Sheet No.:
C1.10

DIGGER'S HOTLINE
CALL BEFORE YOU DIG
1-800-242-8511

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: New Building for Commerce State Bank located at 1123 N 23rd Street.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: April 7, 2017

MEETING DATE: April 10, 2017

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Commerce State Bank is proposing to construct and operate a new financial institution with on Parcel #'s 206640 and 206650 located at the northeast corner of N. 23rd Street and Kohler Memorial Drive. The applicant states the following:

- Construction of an 8,400sf bank with drive thru on a newly created 1.5 acre parcel.
- The building with its sweeping arc is sited to create and maximize landscape and lawn areas as a buffer to the building thus reducing the impact of paved area commonly found along Kohler Memorial Drive. We believe the building to be a dynamic and fitting addition to the Kohler Memorial Dr.
- The single story building's tall glassy entry and lobby is designed to flood the interior public spaces with abundant natural light and to serve as a landmark fitting for this prominent corner. The corporate architectural brand of the building suits this site well.
- Silver metallic metal panel references neighboring industrial buildings but in a refined, modern way. The cool nature of the metal panels is softened by the generous use of a smooth cast stone in a warm buff color with a textural detail of rock faced accent bands.
- Signage is tastefully incorporated into the architectural elements of the building and becomes a cohesive element to the overall composition.

STAFF COMMENTS:

Staff believes this is an attractive design that will look very nice along Kohler Memorial Drive.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Commerce State Bank

ADDRESS: 1700 S Silverbrook Dr, #1, West Bend WI

E-MAIL ADDRESS: DBorchardt@commercesb.com

PHONE: (262) 247-2804 FAX NO.: (262) 247-2882

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Commerce State Bank

ADDRESS OF PROPERTY AFFECTED: 1123 N 23rd Street

NEW BUILDING: ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: We are proposing to construct a 8,300 SF single story building with (1) parking lot to the north and (1) south of the building. There will also be a drive thru attached to the building with an overhead canopy.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: NA

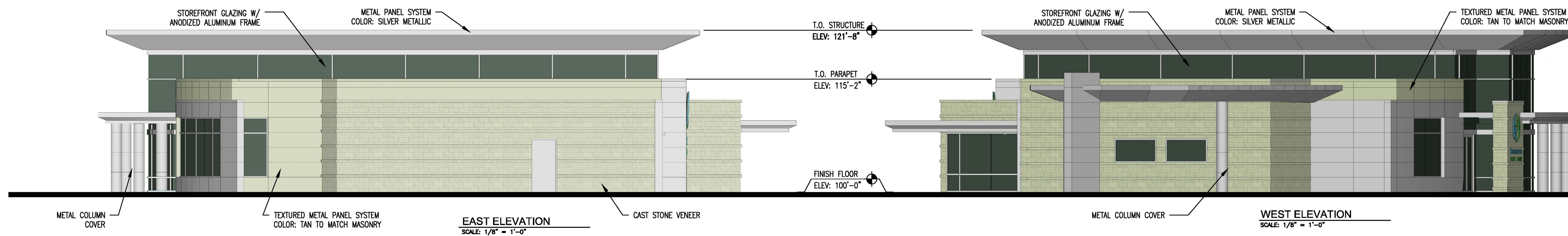
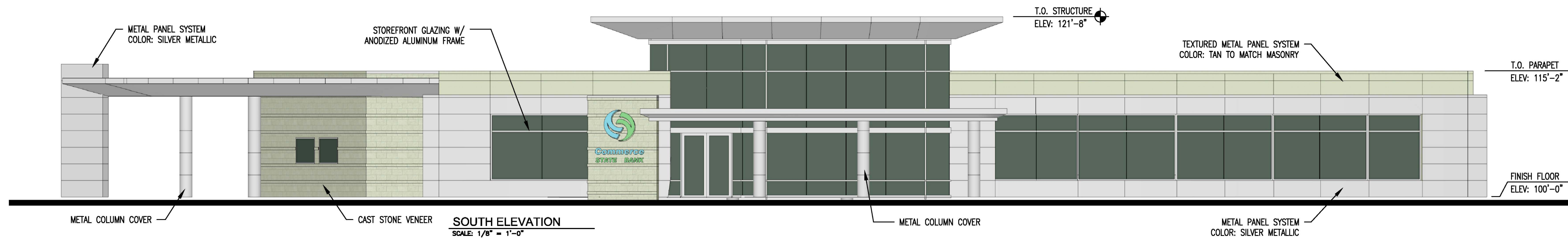
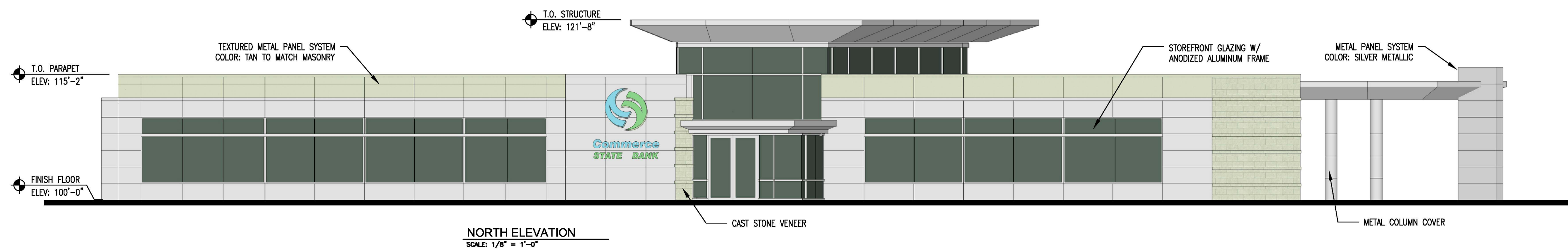
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3. NAMES AND ADDRESSES

OWNER OF SITE: 2230 LLC

ADDRESS: 909 N 8th Street, #115, Sheboygan, WI

PHONE: (414) 840-6667



Consultant:

Project:
Commerce State Bank - Sheboygan Branch

Location:
 N 23rd Street & Kohler Memorial Dr.
 Sheboygan, WI

Sheet:

Scale:
 1/8" = 1'-0"

Revisions:

No.	Date	Description

Date:

Project No.:
 160085.01

Sheet No.:

A4.0



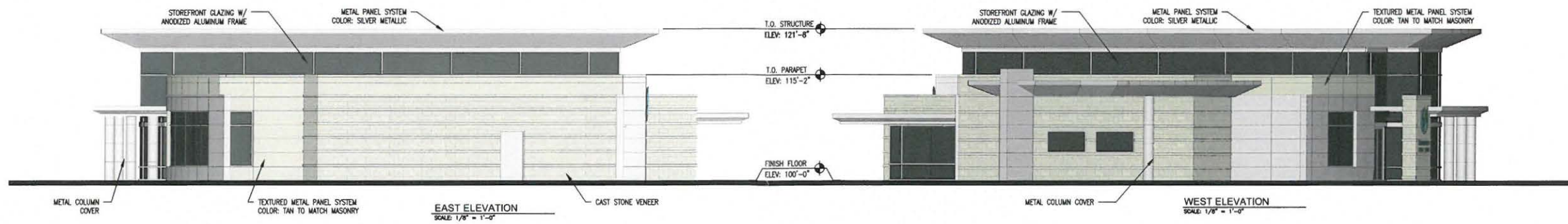
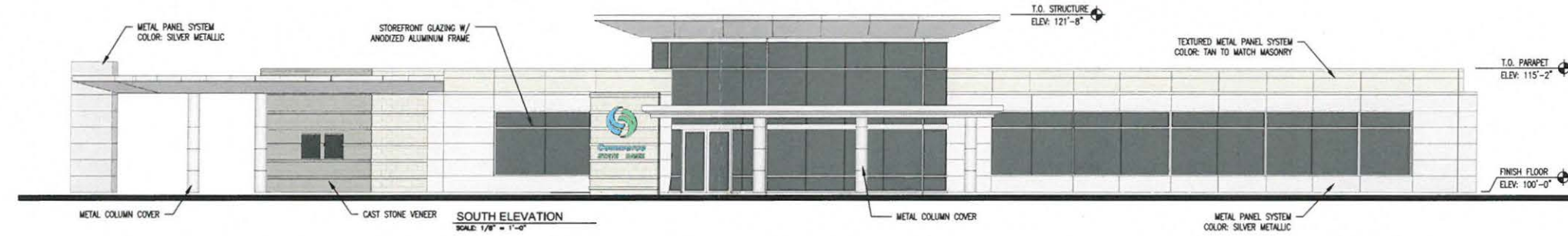
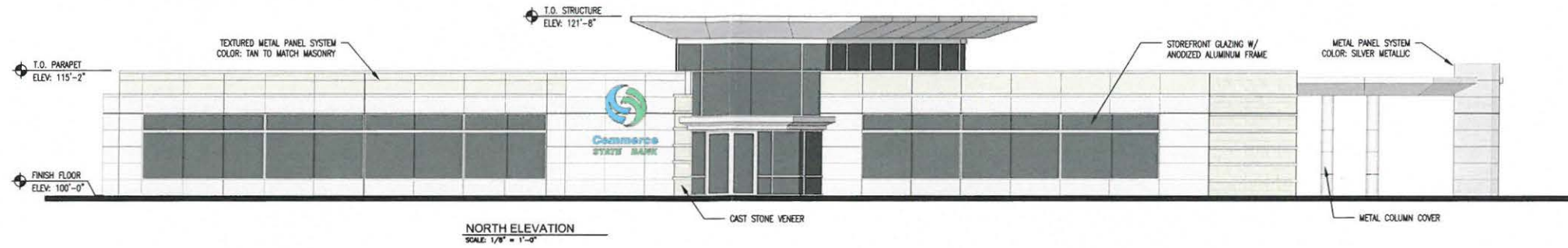
Commerce State Bank-
Sheboygan - View from South
3/14/17



Commerce State Bank-
Sheboygan - View from North
3/14/17



Commerce State Bank-
View from South
3/14/2017



Consultant:

Project:
**Commerce State Bank -
 Sheboygan Branch**

Location:
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