

**\*\*\*ATTACHMENTS\*\*\***

## Sokolowski, Steve

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**From:** Sokolowski, Steve  
**Sent:** Monday, February 05, 2018 3:55 PM  
**To:** 'Erik Jensen'  
**Cc:** 'erik@distinctivedesignstudio.com'; Pelishek, Chad  
**Subject:** Blue Lite Bar Architectural Review Submittal  
**Attachments:** Nov 17,17 - Blue Lite - 1029 N. 8th Street.doc; Scan18020515000.pdf

Erik:

You submitted an architectural review application/drawings on behalf of Hans Graf of Blue Lite Bar located at 1029 N. 8<sup>th</sup> Street. City Development had forwarded Mr. Graf the attached letter because he installed new blue metal roof in the downtown area without permits and without Architectural Review approval.

The Blue Lite is located in downtown Sheboygan that has the 8<sup>th</sup> Street design standards. These design standards do not permit metal as a building material.

A couple of comments:

- It appears that you are proposing to try and keep the metal roof. Unfortunately, the 8<sup>th</sup> Street design guidelines do not permit metal so you will need to provide a design proposal that utilizes materials as detailed in the 8<sup>th</sup> Street design guidelines (will need to submit a material other than metal).
- You will need to come up with a building design that compliments the historical nature of the building – the present mural design does not appear to reflect the historical character of this building.
- Would be nice to consider a new knee wall and commercial window.

Feel free to submit new plans that meet the 8<sup>th</sup> Street Design guidelines.

Sincerely,

Steve Sokolowski  
(920) 459-3382

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**From:** Sokolowski, Steve  
**Sent:** Tuesday, January 30, 2018 4:19 PM  
**To:** 'Erik Jensen'  
**Subject:** RE: LJM Architects Acquired by Distinctive Design Studio

Sounds good.

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**From:** Erik Jensen [<mailto:erik@distinctivedesignstudio.com>]  
**Sent:** Tuesday, January 30, 2018 1:42 PM  
**To:** Sokolowski, Steve  
**Subject:** RE: LJM Architects Acquired by Distinctive Design Studio

Steve...we will have something to you by next Monday, 2/5/18.

**Erik Jensen** | AIA  
Distinctive Design Studio LLC  
215 Pine Street | Sheboygan Falls, WI 53085  
Direct Line: (920)-458-5584  
Main Office: (920)-395-1090  
[www.distinctivedesignstudio.com](http://www.distinctivedesignstudio.com)

**From:** Sokolowski, Steve [<mailto:Steve.Sokolowski@sheboyganwi.gov>]  
**Sent:** Thursday, January 25, 2018 12:00 PM  
**To:** Erik Jensen <[erik@distinctivedesignstudio.com](mailto:erik@distinctivedesignstudio.com)>  
**Subject:** RE: LJM Architects Acquired by Distinctive Design Studio

Can you please give a timeframe.

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**From:** Erik Jensen [<mailto:erik@distinctivedesignstudio.com>]  
**Sent:** Thursday, January 25, 2018 10:53 AM  
**To:** Sokolowski, Steve  
**Subject:** RE: LJM Architects Acquired by Distinctive Design Studio

Steve...the status is we aren't done with it yet. It's in the works, but we need a little more time.

**Erik Jensen** | AIA  
Distinctive Design Studio LLC  
215 Pine Street | Sheboygan Falls, WI 53085  
Direct Line: (920)-458-5584  
Main Office: (920)-395-1090  
[www.distinctivedesignstudio.com](http://www.distinctivedesignstudio.com)

**From:** Sokolowski, Steve [<mailto:Steve.Sokolowski@sheboyganwi.gov>]  
**Sent:** Thursday, January 25, 2018 10:02 AM  
**To:** Erik Jensen <[erik@distinctivedesignstudio.com](mailto:erik@distinctivedesignstudio.com)>  
**Subject:** RE: LJM Architects Acquired by Distinctive Design Studio

Erik:  
You indicated to me previously that you would be dropping the Hans Graf drawings on Tuesday. What is the status?

Thanks,  
Steve

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**From:** Erik Jensen [<mailto:erik@distinctivedesignstudio.com>]  
**Sent:** Wednesday, January 03, 2018 5:18 PM  
**To:** Sokolowski, Steve  
**Subject:** LJM Architects Acquired by Distinctive Design Studio



## Sokolowski, Steve

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**From:** Sokolowski, Steve  
**Sent:** Friday, November 17, 2017 4:59 PM  
**To:** 'hanscgraf@gmail.com'  
**Cc:** 'hansegraf@gmail.com'; 'hansgraf@gmail.com'  
**Subject:** RE: Architectural Review and Sign Permit Process and Procedure for 1029 N. 8th Street  
**Attachments:** Architectural Review.doc; Sign Permit Application.doc; Scan17111714370.pdf; Scan17111714441.pdf

Tracking:	Recipient	Delivery	Read
	'hanscgraf@gmail.com'		
	'hansegraf@gmail.com'		
	'hansgraf@gmail.com'		
	Hermann, Traci	Delivered: 11/17/2017 5:00 PM	
	VanDer Weele, Jack	Delivered: 11/17/2017 5:00 PM	
	Pelishkek, Chad	Delivered: 11/17/2017 5:00 PM	Read: 11/17/2017 6:10 PM

Hans:

See attached letter. Unfortunately it appears you decided to do some exterior renovations on 1029 N. 8<sup>th</sup> Street without the approvals and permits required to do so. In addition, you have used materials that are not allowed in Downtown Sheboygan. Please see attached letter detailing this issue and what must be done in order to rectify it.

Sincerely,

Steve Sokolowski

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**From:** Sokolowski, Steve  
**Sent:** Friday, November 03, 2017 5:01 PM  
**To:** 'hanscgraf@gmail.com'  
**Cc:** 'hansegraf@gmail.com'; 'hansgraf@gmail.com'  
**Subject:** Architectural Review and Sign Permit Process and Procedure for 1029 N. 8th Street

Hans:

Nice to see you today. Here is some information on architectural review and sign permits.

### **ARCHITECTURAL REVIEW PROCESS (only required for additions and exterior renovations):**

Applicant will complete the attached architectural review application (no fee), a narrative explaining the proposal and submit colored elevations of all four sides of the building. The attachments to the application will include:

- A colored scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.

- A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought. The building should be designed to blend in with the existing building and upgrade it from design perspective as much as possible.

For your information, the Architectural Review Board meets on the 2nd and 4th Mondays of the month and that is also the deadline for an architectural review board application submittal. Typically, 2 weeks between the time the application is submitted and when the Architectural Review Board reviews the request.

If an architectural review application is submitted by **Tuesday, November 14, 2017**, the City of Sheboygan Architectural Review Board will review the application on **Monday, November 27, 2017**. November 28 is the deadline for December 11. There is no meeting over the Christmas Holiday so December 12 is the deadline for January 8, 2018.

The Department of City Development has the following comments:

- **Building Design is a critical feature of this development** in the downtown – This property is a very visible Downtown location and will have to meet the 8<sup>th</sup> Street Design Guidelines (Downtown North). Therefore, any type of building construction will require a very aesthetic building and site design that fits in with very attractive area of the City of Sheboygan. The facilities need to be constructed utilizing quality materials and colors.
- Design of building and signage shall meet requirements of the 8<sup>th</sup> Street Design Guidelines (will need to describe how you believe the building is meeting the intent of the guidelines).

## SIGN PERMIT

1029 N. 8th Street is zoned Central Commercial (CC). The sign regulations in the CC zone are:

For CC Zoning District:

- a. Permitted Sign Type: On-building (Wall, Awning, Projecting or Marquee) Sign:
  - i. Maximum Permitted Number per Lot: Two On-building Signs for each fronting business or group for all walls not directly abutting residentially zoned property.
  - ii. Maximum Permitted Area per Sign: Two square feet of signage for every linear foot of exposed exterior wall length on that supporting wall, or per business minimum of 50 square feet, whichever is greater.
- b. Permitted Sign type: Projecting Sign

Maximum Permitted Number by Lot: One projecting sign per business in lieu of one flush on building sign

Maximum Permitted Area per Sign: 12 square feet.

Projecting signs may not be internally illuminated.

Minimum height above grade: 10 feet

Maximum projection over a public right of way: 4.5 feet

Swinging projecting signs shall not be installed over any public road, alley, sidewalk or pedestrian way

I can likely review the sign administratively (provided the proposed sign also meets the sign regulations above). If the use is conditional or if a variance is required, the City of Sheboygan Plan Commission would have to review such a proposal. The sign permit will include the following:

**Administrative Review of a Sign Permit Application** (if sign complies with all regulations and no variance is required):

Information you will need to provide for a sign permit request:

1. A sign permit application (see attached application).
2. A scale drawing of the proposed sign(s) listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.
3. Provide three 8.5 x 11 color renderings of proposed sign. Attach any superimposed photos or drawings that may help in reviewing sign application.
4. A site plan and/or photos showing the property, proposed signage location, etc.
5. A brief narrative explaining the sign:
  - What is the sign made out of?
  - How will the sign be designed?
  - What will the sign advertise?
  - What is the proposed square footage.
  - Where will be sign be located on the property?
  - Any additional information explaining your proposal so the Plan Commission can understand the sign permit request.

**Plan Commission Review of a conditional use permit, sign permit and variance application:**

Would require items 1-4 above as well as a conditional use permit application, fee of \$250.00 and a narrative justifying the variance.

If a conditional use, variance and sign permit applications are submitted by **Tuesday November 14, 2017**, the City of Sheboygan Plan Commission will review the application on **Tuesday, November 28, 2017**. November 28 is the deadline for December 12. There is no meeting over the Christmas Holiday so December 12 is the deadline for January 9, 2018.

You are in the City of Sheboygan Downtown area that has sign design guidelines that state:

- New signage shall be traditional in character to complement existing historic structures along 8th Street.

- Signage is limited to one primary sign per storefront. The primary sign, if present, shall be located above the storefront display windows but below the sills of the second floor windows.
- Backlit individual letter signs are allowed. Internally lit letters are permitted.
- Internally lit 'cabinet' type signs are prohibited on facades and in windows. Backlit cabinet signs do not fit the desired character of the 8<sup>th</sup> Street corridor and will not be allowed on new buildings or as replacements for existing signs.
- When awnings are present, awning color shall be selected to ensure compatibility with the building and adjacent buildings.
- Awnings shall be attached below the storefront cornice or sign panel and shall not cover the piers on either side of the storefront.
- Plastic and vinyl awnings are prohibited.

General Comments:

- Feel free to provide conceptual sign designs in order to discuss the proposal prior to an official submittal.
- This is a very visible downtown location so it is important that the new signage compliment the building.

Feel free to contact me with any questions at (920) 459-3382.

Sincerely,

Steve Sokolowski



November 17, 2017

Hans Graf  
1029 Properties LLC  
1210 Superior Avenue, Apt. A  
Sheboygan, WI 53081

Re: Architectural Renovations of the Blue Lite at 1029 N. 8<sup>th</sup> Street

Dear Mr. Graf:

The Department of City Development has been made aware and verified that you have started architectural renovations to the Blue Lite Tavern at 1029 N. 8<sup>th</sup> Street:

- Contractor installing blue industrial corrugated metal roofing over previously shingled mansard roof.
- Contractor also stated he was doing roofing work.
- Appears there are no permits for this work.

As we have previously discussed at the City Development Office and as I also explained in the attached November 3, 2017 email:

- Downtown 8<sup>th</sup> Street has design guidelines for buildings and signage. Those guidelines do not permit corrugated metal roofing. Any new façade renovation proposal/submittal will be required to meet those building guidelines with regards to design, materials, colors, etc.. The City of Sheboygan adopted these design guidelines in order to improve the design, aesthetics and identity of downtown Sheboygan.
- In addition, any sort of exterior renovations to commercial building require City of Sheboygan Architectural Review approval prior to issuance to construction.
- Building permits are required to be obtained prior to construction taking place.

Prior to any additional exterior renovations/construction taking place you will need to submit plans to the City of Sheboygan Architectural Review Board. I am including the same architectural review process and procedure information that I emailed to you previously on November 3, 2017 below.

**ARCHITECTURAL REVIEW PROCESS:**

Applicant will complete the attached architectural review application (no fee), a narrative explaining the proposal and submit colored elevations of all four sides of the building. The attachments to the application will include:

- A colored scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.

DEPARTMENT OF  
PLANNING AND  
DEVELOPMENT

828 Center Avenue,  
Suite 104  
Sheboygan, WI 53081

920-459-3377 (Phone)  
920-459-7302 (Fax)

- Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought. The building should be designed to blend in with the existing building and upgrade it from design perspective as much as possible.

For your information, the Architectural Review Board meets on the 2nd and 4th Mondays of the month and that is also the deadline for an architectural review board application submittal. Typically, 2 weeks between the time the application is submitted and when the Architectural Review Board reviews the request.

If an architectural review application is submitted by **Tuesday, November 28, 2017**, the City of Sheboygan Architectural Review Board will review the application on **Monday, December 11, 2017**.

The Department of City Development has the following comments:

- **Building Design is a critical feature of this development** in the downtown – This property is a very visible Downtown location and will have to meet the 8<sup>th</sup> Street Design Guidelines (Downtown North). Therefore, any type of building construction will require a very aesthetic building and site design that fits in with very attractive area of the City of Sheboygan. The facilities need to be constructed utilizing quality materials and colors.
- Design of building and signage shall meet requirements of the 8<sup>th</sup> Street Design Guidelines (will need to describe how you believe the building is meeting the intent of the guidelines).

The blue industrial corrugated metal roofing will be required to be removed and you will need to submit plans to the Architectural Review Board by no later than Tuesday, November 28 explaining how this matter is to be rectified.

Please feel free to contact me with any questions at (920) 459-3382.

Sincerely,

Steve Sokolowski  
Manager of Planning and Zoning



December 18, 2017

Hans Graf  
1029 Properties LLC  
1210 Superior Avenue, Apt. A  
Sheboygan, WI 53081

Re: Architectural Renovations of the Blue Lite at 1029 N. 8<sup>th</sup> Street

Dear Mr. Graf:

As you are aware per the attached November 17, 2017 letter, the Department of City Development verified architectural renovations to the Blue Lite Tavern at 1029 N. 8<sup>th</sup> Street that included:

- Contractor installing blue industrial corrugated metal roofing over previously shingled mansard roof.
- Contractor also stated he was doing roofing work.

No approval and/or permits were issued for construction to take place.

As we have previously discussed at the City Development Office and as I also explained in the attached November 3, 2017 email and the attached November 17, letter:

- Downtown 8<sup>th</sup> Street has design guidelines for buildings and signage. Those guidelines do not permit corrugated metal roofing. Any new façade renovation proposal/submittal will be required to meet those building guidelines with regards to design, materials, colors, etc. The City of Sheboygan adopted these design guidelines in order to improve the design, aesthetics and identity of downtown Sheboygan.
- In addition, any sort of exterior renovations to commercial building require City of Sheboygan Architectural Review approval prior to issuance to construction.
- Building permits are required to be obtained prior to construction taking place.

Prior to any additional exterior renovations/construction taking place you will need to submit plans to the City of Sheboygan Architectural Review Board. I am including the same architectural review process and procedure information that I emailed to you previously on November 3, 2017 below.

**ARCHITECTURAL REVIEW PROCESS:**

Applicant will complete the attached architectural review application (no fee), a narrative explaining the proposal and submit colored elevations of all four sides of the building. The attachments to the application will include:

DEPARTMENT OF  
PLANNING AND  
DEVELOPMENT

828 Center Avenue,  
Suite 104  
Sheboygan, WI 53081

920-459-3377 (Phone)  
920-459-7302 (Fax)

- A colored scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought. The building should be designed to blend in with the existing building and upgrade it from design perspective as much as possible.

The Department of City Development has the following comments:

- **Building Design is a critical feature of this development** in the downtown – This property is a very visible Downtown location and will have to meet the 8<sup>th</sup> Street Design Guidelines (Downtown North). Therefore, any type of building construction will require a very aesthetic building and site design that fits in with very attractive area of the City of Sheboygan. The facilities need to be constructed utilizing quality materials and colors.
- Design of building and signage shall meet requirements of the 8<sup>th</sup> Street Design Guidelines (will need to describe how you believe the building is meeting the intent of the guidelines).

Therefore, the blue industrial corrugated metal roofing will be required to be removed and you will need to submit plans to the Architectural Review Board by no later than Tuesday, January 9, 2018 detailing the proposed architecture to rectify this matter (January 9<sup>th</sup> application submittal for the January 22 meeting). If you do not submit a complete application with plans by January 9, 2018, **citations** will be issued for each day the building/property remains in noncompliance and this matter will be forwarded to the City Attorney for further action

Please feel free to contact me with any questions at (920) 459-3382.

Sincerely,

Steve Sokolowski  
Manager of Planning and Zoning

C: Hans Graf, 1029 N. 8<sup>th</sup> Street, Sheboygan, WI 53081

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Exterior Remodel of Blue Lite Bar at 1017 Michigan Avenue.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 9, 2018

**MEETING DATE:** March 12, 2018

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

Hans Graf is proposing to remodel the front building façade of the Blue Lite Bar located at 1017 Michigan Avenue. The applicant states:

- The street façade of the Blue Lite Bar at 1029 N. 8<sup>th</sup> Street is in the process of a face-lift and improvements. Work already accomplished includes sandblasting and tuck-pointing of the face brick exterior at the upper façade, replacement of the asphalt shingles with standing seam metal roof on the existing awning.
- Further work contemplated includes a new metal coping at the top of the wall, new double hung windows in the second floor openings, new painted kneewall and trim at the lower portion of the façade, painting of existing wood trim and front door, and added LED accent lights at the new wall coping and at the existing awning soffit.

**STAFF COMMENTS:**

Distinctive Design states that Hans Graf has completed some work already such as a new roof and replacing the asphalt awning with metal. All this work was done prior to receiving any approvals or permits to complete this work.

The Board should be aware of the following:

- Staff initially spoke to Hans Graf on November 3, 2017 about possible exterior renovations to the Blue Lite Bar in the City Development office. During that discussion, staff explained the architectural review and sign permit process and procedure. In addition, staff also provided an email later that day that again explained the architectural review and sign permit process and procedure.

- On November 17, 2017, staff did a site inspection of the Blue Lite Tavern and spoke to a contractor working on the facade renovation. The contractor working on the project indicated they installed a new roof and he was in the process of installing the standing seam metal roof on the awning. I asked if he had permits for the job and he stated “no.” I informed him that the Blue Lite had not received architectural review approval for the work he was doing and that the City of Sheboygan had design guidelines for N. 8<sup>th</sup> Street and the guidelines do not permit metal. I stated that he needed to stop work but he stated he needed to complete the metal awning. See attached photographs.
- After the site inspection, staff mailed Mr. Graf the attached November 17, 2017 letter that explained the following:
  - Exterior remodeling construction work that had been done with no approvals and no permits.
  - 1029 N. 8<sup>th</sup> Street is located in downtown Sheboygan which has design guidelines that need to be met when renovating properties – guidelines do not permit metal.
  - The Architectural review process and procedure.
  - That an architectural review application needed to be submitted by November 28, 2017.
- Mr. Graf elected not to submit the required architectural review application by November 28, 2017.
- Staff then wrote Mr. Graf another letter on December 18, 2017 that informed Mr. Graf that he needed to submit an architectural review application by January 9, 2018. This letter also informed Mr. Graf that if the application was not submitted by January 9, 2018, citations would be issued for this job.
- Shortly before the January 9, 2018 deadline, I received a phone call from Erik Jensen, of Distinctive Design Studios, who indicated that he had been retained by Mr. Graf to submit an architectural review application. During that conversation Mr. Jensen stated he would not be able to submit drawings in by January 9, 2018. I informed Mr. Jensen that as long as I knew Mr. Graf would be submitting an architectural review application by the next deadline that would be acceptable.
- On February 5, 2018, Mr. Jensen submitted drawings for the February 12, 2018 architectural review board meeting. As I reviewed the application I noticed that the drawings were still showing the standing seam metal roof on the awning which does not meet the downtown 8<sup>th</sup> Street guidelines.
- On February 5, 2018, I sent Mr. Jensen an email informing him that the drawings he submitted do not meet the design guidelines because the drawings show the standing seam metal roof awning. The email informed Mr. Jensen that he needed to submit drawings that meet the design guidelines.
- On February 21, 2018, I informed Distinctive Designs that I would not be placing their project on the February 26, 2018 Architectural Review Board agenda because the drawings had not been updated.

- On February 27, 2018, Mr. Jensen dropped off the Architectural Review application and drawings that are before you today. As we reviewed the application at the City Development office, I questioned why Mr. Jensen continued to have the standing seam metal roofing on the awning when that material is not permitted by the guidelines. Mr. Jensen questioned the guidelines and stated he would like to have the drawings as submitted forwarded to the Architectural Review Board for their review and consideration.

The 8<sup>th</sup> Street Design Standards state the following concerning building materials:

- *Materials for buildings fronting 8th Street shall be authentic and shall not mimic other materials.*
- *Every effort shall be made to preserve, and not remove, historic storefront materials (original plate glass, stone columns and piers, original doors, original brick, original trim. etc.).*
- *Concrete block (smooth or decorative split-face), stucco/EIFS (smooth, natural or textured synthetic), metal, plywood, pressboard, unfinished precast concrete, diagonal siding, board-and-batten surfaces, and poured-in-place concrete shall not be used on building facades or walls that are visible from streets, driveways, sidewalks, alleys or parking areas.*
- *Ground face, glazed block, synthetic stone, smooth/textured synthetic stucco or plaster, wood trim, and decorative metal shall be used only for decorative accent purposes and limited in use on building facades.*
- *Facade materials shall be horizontally oriented.*

The Board should be aware of the following:

- Downtown 8<sup>th</sup> Street has design guidelines for buildings and signage. Those guidelines do not permit standing seam corrugated metal roofing.
- The City of Sheboygan adopted these design guidelines in order to improve the design, aesthetics and identity of downtown Sheboygan.

The 2<sup>nd</sup> floor sandblasting and tuck-pointing of the face brick at the upper façade and the proposed windows look nice.

#### **ACTION REQUESTED:**

Staff would recommend holding this matter until such time as the applicant provides building plans that meet the intent of the 8<sup>th</sup> Street design guidelines.

#### **ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: 3/12/18

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Blue Lite Bar (Hans Graf)  
ADDRESS: 1029 N. 8<sup>th</sup> Street Sheboygan, WI  
E-MAIL ADDRESS: hanscgraf@gmail.com  
PHONE: (920) 946-1188 FAX NO.: ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Blue Lite Bar  
ADDRESS OF PROPERTY AFFECTED: 1029 N. 8<sup>th</sup> Street  
NEW BUILDING: \_\_\_\_\_ ADDITION: \_\_\_\_\_ REMODELING: x

DESCRIPTION OF PROPOSED PROJECT: Improvements to existing building to the front façade.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS:  
Existing materials include painted hardboard paneling, painted brick, shingle roofing, painted windows, door and trim, and wide aluminum trim around the front window.  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
Proposed materials include new painted kneewall and trim, painted hardboard, sandblasted brick, metal roofing at awning, metal coping at top, new double hung windows, painted door and trim, and LED strip lighting at top coping and awning.  
\_\_\_\_\_



February 27, 2018

City of Sheboygan Architectural Review Board

Re: Blue Lite Bar - Exterior Renovations

The street façade of the Blue Lite Bar at 1029 N. 8th Street is in the process of a face-lift and improvements. Work already accomplished includes sandblasting and tuck pointing of the face brick exterior at the upper façade, replacement of the asphalt shingles with standing seam metal roofing on the existing awning.

Further work contemplated includes; a new metal coping at the top of the wall, new double-hung windows in the second-floor openings, new painted “kneewall” and trim at the lower portion of the façade, painting of existing wood trim and front door, and added LED accent lighting at the new wall coping and at the existing awning soffit.

# BLUE LITE BAR

  
DISTINCTIVE DESIGN  
STUDIO  
215 Pine Street  
Sheboygan Falls, WI 53081  
Ph: (920)-395-1090

## PROJECT ADDRESS

1029 N. 8TH STREET  
SHEBOYGAN, WI 53081

## SHEET LIST

### GENERAL

G0.0 COVER  
G2.0 ELEVATIONS

## CONTRACTOR

TBD

CONTACT: TBD  
PHONE: TBD  
EMAIL: TBD

## ARCHITECTURE FIRM

DISTINCTIVE DESIGN STUDIO  
215 PINE STREET  
SHEBOYGAN FALLS, WI 53085

CONTACT: ERIK JENSEN  
PHONE: (920) 395-1090



## BLUE LITE BAR

EXTERIOR RENOVATIONS

1029 N. 8TH STREET  
SHEBOYGAN, WI 53081

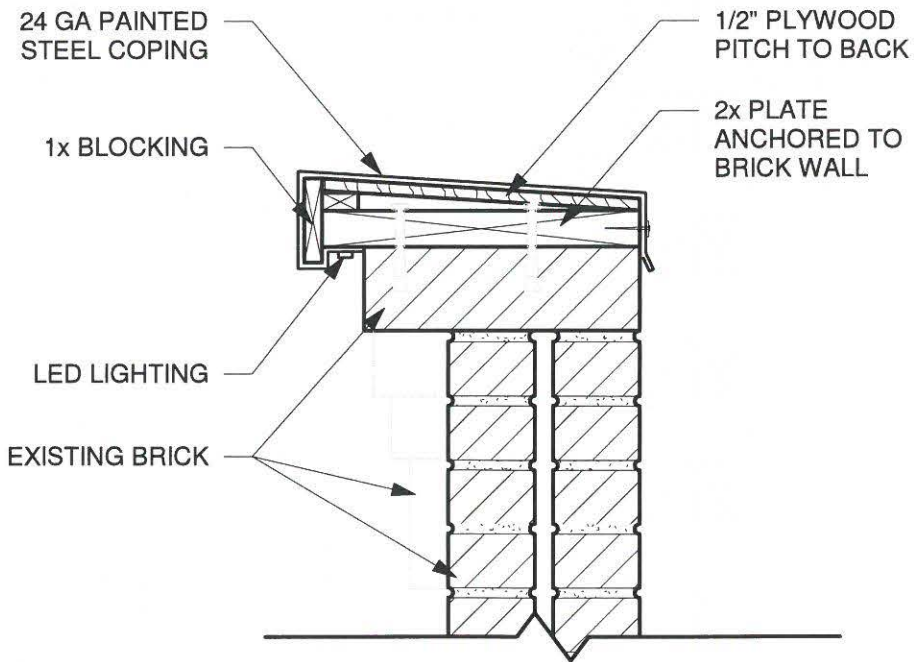
### REVISIONS

Date	Description
2/2/18	EXT. REVISION
2/24/18	EXT. REVISION
2/27/18	EXT. REVISION

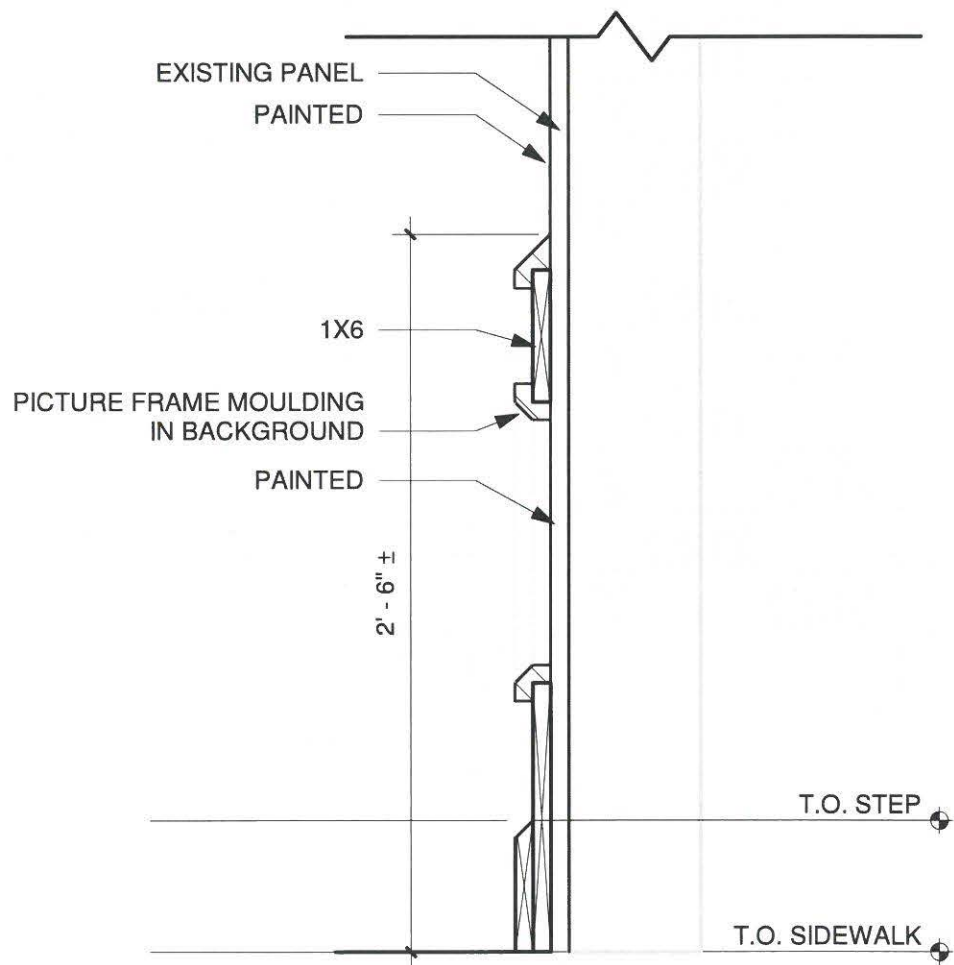
### PRELIMINARY PLANS

### COVER

ISSUE DATE: 01/30  
DRAWN BY: J  
CHECKED BY: E  
PROJECT #: 18-



③ SECTION DETAIL - WALL COPING  
1 1/2" = 1'-0"



SECTION DETAIL - MOULDING DETAIL

EXISTING SANDBLASTED BRICK  
NEW METAL AWNING - ROOF END PANELS TO MATCH

PAINTED METAL SOFFIT. NEW LED LIGHTS AT OUTER FRONT EDGE AND SIDES.

PAINTED DOOR AND TRIM

PAINTED BATTENS

EXTERIOR ELEVATION - WEST (FACING 8TH STREET)



NEW METAL COPING...MATCH AWNING COLOR. NEW LED LIGHTING ALONG UNDERSIDE.

NEW DOUBLE HUNG WINDOWS - MEDIUM BRONZE COLOR

EXIST. ALUM. FRAMED WINDOW W/ SIGNAGE TO REMAIN

PAINT EXIST. PANELING

30" H. WAINSCOT

PAINTED WAINSCOT PANELING

9" H. BASE

**BLUE LITE BAR**

EXTERIOR RENOVATIONS

1029 N. 8TH STREET  
SHEBOYGAN, WI 53081

REVISIONS

Date	Description
2/2/18	EXT. REVISI
2/24/18	EXT. REVISI
2/27/18	EXT. REVISI

PRELIMINARY PLANS

ELEVATIONS

ISSUE DATE: 01/30  
DRAWN BY:  
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