

**\*\*\*ATTACHMENTS\*\*\***

## Sokolowski, Steve

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**From:** Steven Jaeger <sjaeger@brayarch.com>  
**Sent:** Wednesday, January 24, 2018 2:01 PM  
**To:** Sokolowski, Steve  
**Cc:** Stephen Kuhnen; Biebel, David  
**Subject:** City Hall north elevation revised  
**Attachments:** SCH revised north elevation.pdf

Steve,

I've attached a revised north elevation of City Hall in response to Monday's Architectural Review Board comments.

Here are the things that were revised

1. Changed the very top row of panels to gray (stone representative color) in order to cap the addition more like the existing building's coping.
2. Changed two rows of panels immediately above the curtainwall to gray in order to create a visual lintel.
3. We added another panel type, which is the same color as the rest of the terra cotta (brick representative color) but instead of the natural, smooth finish, these new panels have a combed, or textured finish. We are a vertical stack of those in the center of each "tower" flanking the curtainwall, as well as a horizontal field of this textured panel in the parapet above the curtainwall.

It should also be pointed out that all of the terra cotta colored panels above the lowest gray band have a horizontal reveal through the center that further breaks-down the scale. These horizontal reveals may not have come though as well on the previous drawings.



Steve Jaeger | Bray Architects  
Project Team Leader  
1227A North 8<sup>th</sup> Street | Sheboygan, WI | 53082  
O 920.459.4200 D 920.395.7355

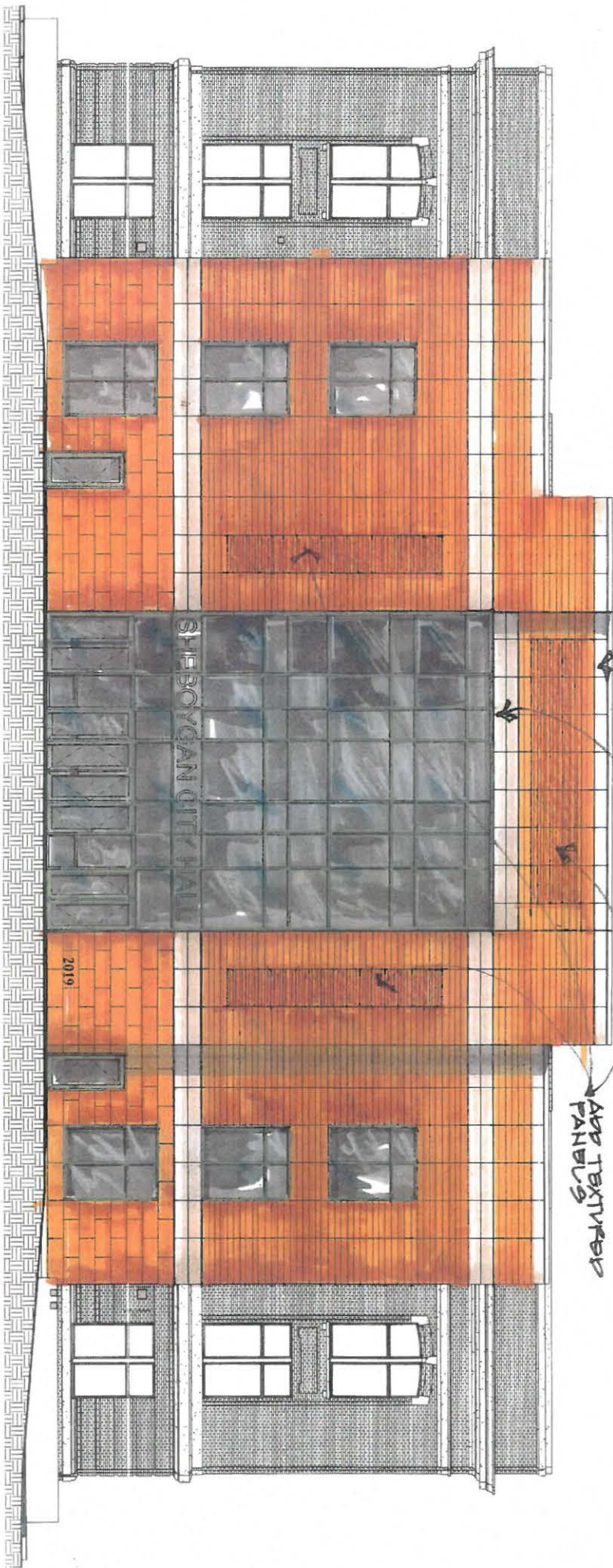
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ADD "STONE" COLOR TO  
PANELS

ADD TEXTURED  
PANELS

2019

018

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Renovation and new building addition at Sheboygan City Hall located at 828 Center Avenue

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** January 19, 2018

**MEETING DATE:** January 22, 2018

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

City of Sheboygan elected representatives and administration have made the decision to renovate and construct a new building addition to City Hall located at 828 Center Avenue. Once the decision was made to renovate City Hall, it was necessary to categorically address all of the required improvements needed to construct a well-functioning and efficient City Hall.

Exterior improvements include:

- The existing boiler/radiator system is being replaced by a "central forced-air" system that will also provide air conditioning from a chiller on the roof which shall be hidden behind parapet walls. The new central forced air system eliminates the collection of air conditioners and condensing units hanging from the building. Heating/cooling system will be controlled by a digital energy management system compatible with controls at other City properties. New electrical service and completely new wiring will insure safety and efficiency. New emergency generator on the roof keeps facility up-and-running in case of outage. New water service and all new piping replace the 100 year old system.
- In terms of life-safety, the old, degraded fire escapes that hang on the north façade will be replaced by interior exit stairways. A building that is presently not protected by an automatic fire sprinkler system will have one as part of the project. New modern, digital fire alarm, security systems will be integrated. It's worth pointing out that the exit stairs replacing unsafe fire escapes were a driving factor for the addition on the north side. The north (back) of the building was never given the same architectural features (stone-work) as the other sides. Over the years, additions, such as electrical transformer and condensing units have accumulated on that north side. The building addition is an

opportunity to “clean-up” a neglected façade and make it the new entrance to City Hall. This does not diminish the traditional south entry. In fact, the stone/brick restoration, along with window replacement, will bring them closer to their original condition.

- The brick/stone/steel elements of the existing building are in need of cleaning, restoration and repair. The stone/brick restoration, along with window replacement, will bring the existing building closer to its original condition. This project preserves the “shell” of the historic building while creating a modern, safe and efficient interior.
- Another crucial maintenance element is a new roof membrane. The new roof and insulation replaces an uninsulated condition. At the same time, we can structurally reinforce aging brick parapet walls. As mentioned earlier, unsightly equipment such as the chiller unit and the emergency generator will be hidden on the roof behind tall parapet walls. Other “unsightly” features that must remain at ground level, such as electrical transformer and refuse bins will be screened behind masonry walls with upgraded gates.
- Along with the stair towers, the north addition contains a new elevator to replace the present unreliable elevator. These needs required that the existing free-standing garage be removed.
- Demolishing the garage opened the potential for a whole new façade and a new primary entrance. The space available on the north with the removal of the garage allows for 14 off-street, customer parking stalls. The rise in elevation (between parking / sidewalk and first floor) is accomplished around two symmetrical planters between the new parking and the building. A central stair and ADA ramps lead up to a semi-circular “plaza”, but one that relates to the new organizing principle of the interior layout. The masonry material on the planter walls (and even the transformer/dumpster screen walls) serve as a visual base on which the addition stands.
- The addition maintains and reinforces the imagery and prominence suitable for a municipal building. It does not try to mimic or replicate architectural features that were only achievable with 100 year old construction methods. Like other (interior features) the exterior takes the approach of incorporating contemporary materials alongside older traditional materials. Therefore, the addition is clad with terra cotta panels that are not only low-maintenance and energy efficient, but that also respects the color and horizontal banding of the existing building. Likewise, a large curtainwall of glass in aluminum framing signals the entrance and reflects a more contemporary, open and forward looking image.

**STAFF COMMENTS:**

None.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: City of Sheboygan  
ADDRESS: 828 Center Avenue, Sheboygan, WI 53081

E-MAIL ADDRESS: david.biebel@sheboyganwi.gov

PHONE: (920) 459-3366

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan City Hall

ADDRESS OF PROPERTY AFFECTED: 828 Center Avenue, Sheboygan, WI

NEW BUILDING: \_\_\_\_\_ ADDITION: yes REMODELING: yes

**DESCRIPTION OF PROPOSED PROJECT:**

Window replacement and masonry restoration / cleaning on south, west and east facades. Abandonment of east and west entries, as well as the present ADA ramp on south. Building addition on the north side (1,675 sq. ft. footprint) contains stair towers, elevator and entrance atrium.

**DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS:**

The building is a 1916 brick and stone Neo-Classical design intended to project an institutional image of governance, stability and authority. It is a free-standing, three-story building with all facades exposed to view.

**DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS:**

The masonry restoration and window replacement attempts to bring the south, east and west sides closer to their original state. Verdigris (green patina) color of aluminum clad wood windows is an *homage* to colors used in the original building and is consistent with the green frames on neighboring buildings (Post Office, 532 N. 8<sup>th</sup> St., 632 N. 8<sup>th</sup> St.). The proposed addition stands equally as tall as the existing structure. The brick and stone of the existing building is being represented

in a contemporary cladding material of terra cotta rain screen panels. Horizontal lines and color have been respected. A large expanse of curtainwall reinforces the prominence of the entry and importance of the building's function / image. Grade elevation changes are worked into a symmetrical landscape / plaza design stairs and ramps around large landscape planters. Cast stone cladding of landscape walls and screening walls provide a base / plinth on which the addition rests. The semi-circular plaza associates an interior-exterior motif that ties the two together.

**NAMES AND ADDRESSES**

**OWNER OF SITE:** \_City of Sheboygan

**ADDRESS:** 828 Center Avenue, Sheboygan, Wi 53081

**PHONE:** (920) 459-3366

**ARCHITECT:** Bray Architects

**ADDRESS:** 1227 A N. 8<sup>th</sup> Street, Sheboygan WI 53081 (P.O. Box 955 zip 53092)

**E-MAIL ADDRESS:** sjaeger@brayarch.com

**PHONE:** (920) 459-4200

**CONTRACTOR:** TBD

**3. APPLICATION SUBMITTAL REQUIREMENTS**

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

**4. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
APPLICANT'S SIGNATURE

  
\_\_\_\_\_  
DATE

STEPHEN KUHNEN  
PRINT ABOVE NAME

OFFICE USE ONLY

**ACTION BY ARCHITECTURAL REVIEW BOARD**

DATE OF MEETING: \_\_\_\_\_

APPROVED: \_\_\_\_\_

CONDITIONALLY APPROVED: \_\_\_\_\_

DENIED: \_\_\_\_\_

**CONDITIONS**

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**SIGNATURE:** \_\_\_\_\_  
Chairperson, Architectural Review Board OR  
Manager of Planning & Zoning

**DATE:** \_\_\_\_\_

**Sheboygan City Hall project**  
**A written description of the proposed general design**  
**January 2018 – Architectural Review Board**

The City's administration and elected representatives recognized the need to improve infrastructure, life-safety and overdue maintenance to Sheboygan City Hall. Once the decision was made to remain in the traditional seat of municipal administration, it was necessary to categorically address those improvements. From an infrastructure point of view, the existing boiler/radiator system is being replaced by a "central forced-air" system that will also provide air conditioning from a chiller on the roof, hidden behind parapet walls. This will eliminate the collection of air conditioners / condensing units hanging off the building. Heating / cooling system will be controlled by a digital, energy management system compatible with controls at other City properties. New electrical service and completely new wiring will insure safety and efficiency. New emergency generator on the roof keeps facility up-and-running in case of outage. New water service and all new piping replaces 100 year old system.

In terms of life-safety, the old, degraded fire escapes that hang on the north façade will be replaced by interior exit stairways. A building that is presently not protected by an automatic fire sprinkler system will have one as part of the project. New modern, digital fire alarm, security systems will be integrated. It's worth pointing out that the exit stairs replacing unsafe fire escapes were a driving factor for the addition on the north side. The north (back) of the building was never given the same architectural features (stone-work) as the other sides. Over the years, "ugly" additions, such as electrical transformer and condensing units have accumulated on that north side. The building addition is an opportunity to "clean-up" a neglected façade and actually make it a feature – a new entrance- to the facility. This does not diminish the traditional south entry. In fact, the stone / brick restoration, long with window replacement, will hence the traditional facades and bring them closer to their original condition.

This ties in with maintenance issues, the brick / stone / steel elements of the existing building are in need of cleaning, restoration and repair. This project preserves the "shell" of the historic building while creating a modern, safe and efficient interior. Another crucial maintenance element is a new roof membrane. The new roof and insulation replaces an uninsulated condition. At the same time, we can structurally reinforce aging brick parapet walls. As mentioned earlier, unsightly equipment such as the chiller unit and the emergency generator will be hidden on the roof behind tall parapet walls. Other "unsightly" features that must remain at ground level, such as electrical transformer and refuse bins will be screened behind masonry walls with upgraded gates (not chain link).

Along with the stair towers the north addition contains a new elevator to replace the present "unreliable contraption". The required for these basic needs mandated that the existing free-standing garage be removed. This fact opened potential for a whole new façade and a second (maybe primary) entrance. Again, this takes nothing from the south entrance. But the space available on the north with the removal of the garage allows for 14 off-street, customer parking stalls. The rise in elevation (between parking / sidewalk and first floor) is accomplished around two symmetrical planters between the new parking and the building. A central stair and ADA ramps lead up to a semi-circular "plaza" (a

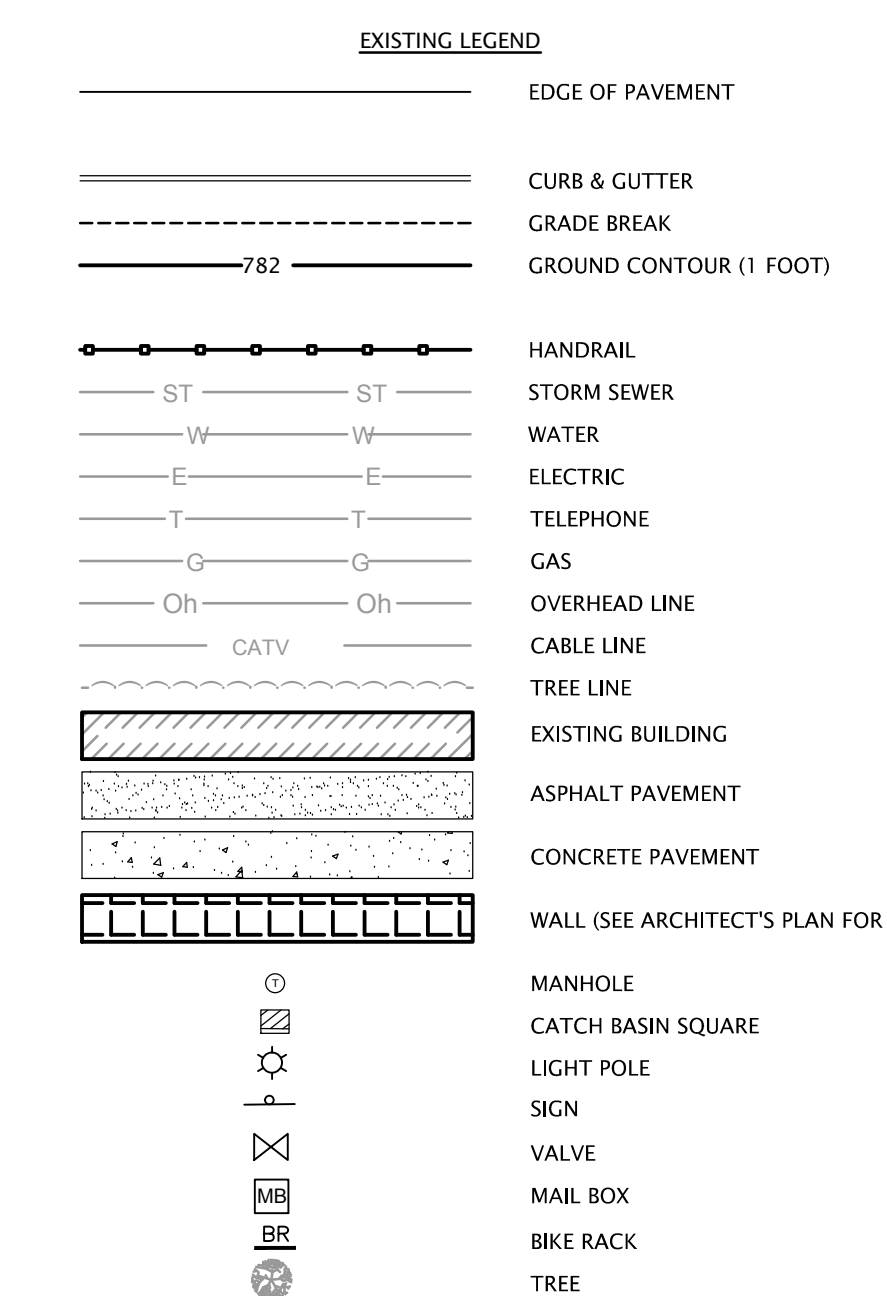
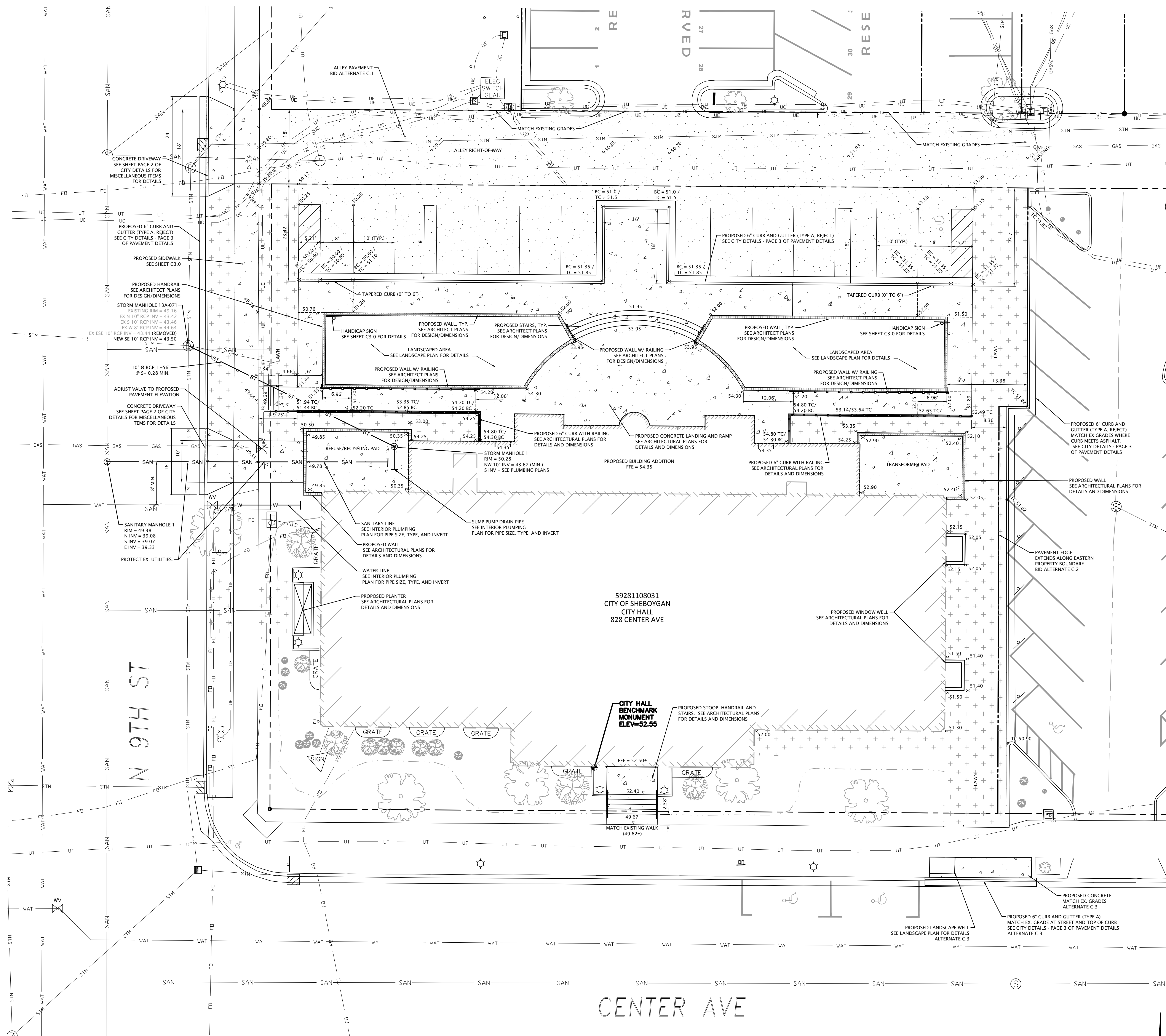
very modest plaza), but one that relates to the new organizing principle of the interior layout. Before moving to the interior however, I'd like to point out that the masonry material on the planter walls (and even the transformer/dumpster screen walls) serve as a visual base, a plinth on which the addition stands.

The addition maintains and reinforces the imagery and prominence suitable for a municipal building. It does not try to mimic or replicate architectural features that were only achievable with 100 year old construction methods. Like other (interior features) the exterior takes the approach of incorporating contemporary materials alongside (and juxtaposed against) older materials. Therefore, the addition is clad with terra cotta panels that are not only low-maintenance and energy efficient, but that also respects the color and horizontal banding of the existing building. Likewise, a large curtainwall of glass in aluminum framing signals the entrance and reflects a more contemporary, open and forward looking image.

Openness is not only the image that is meant to be projected, but the organizing concept behind the interior arrangement. Beyond the tall entrance vestibule (behind the curtainwall) the visitor will encounter a mix of new and old. For the most part, the interior walls on all floors will be removed to make way for a new arrangement. Two exceptions to this rule are the preservation of the present central stair and the historic Council Chamber. The old idea of a central east-west corridor with closed-off offices on either side will be gone. The semi-circular exterior plaza is mirrored inside by a semi-circular lobby / atrium. The existing stair becomes a free-standing, "sculptural feature in that public space. Customers visiting City Hall will be met at new service counters for the various departments of city administration. The driving principle behind every decision was based around open, transparent administration and enhanced customer service. It's anticipated that the various conference rooms spread throughout the building will be available to the community or guests needing comfortable, technologically connected meeting spaces to conduct business.

The Council Chamber as originally built on the third floor of the building has undergone several interior remodels and "encroachments". These remodels have hidden away a few architectural gems. Above the suspended acoustical tile ceiling remains the original plaster crown molding and ornate plaster beams. In the center of the ceiling remains a stained glass panel that originally had a skylight above to provide light. The hope now is to clean and stabilize the stained glass panel and backlight it with artificial light available anytime day or night. The size of the Council Chamber has been reduced over the years. It will be returned to its original dimensions with all three arch-top windows along its south side. A new dais and desk will seat all the alderpersons along with the mayor, the city administrator and the primary officials. All will face the public at Common Council proceedings and no longer have their backs to the public.

Every effort has been made to provide a safe, comfortable, efficient and technologically updated facility for the administrative functions of city government well into the future. Again, we hope to create a modern environment within a traditional enclosure. All the tradition, prominence, familiarity and stability of municipal administration is being maintained and enhanced. Civic pride and prominence will be embodied in this structural that will stand and function efficiently into the future.

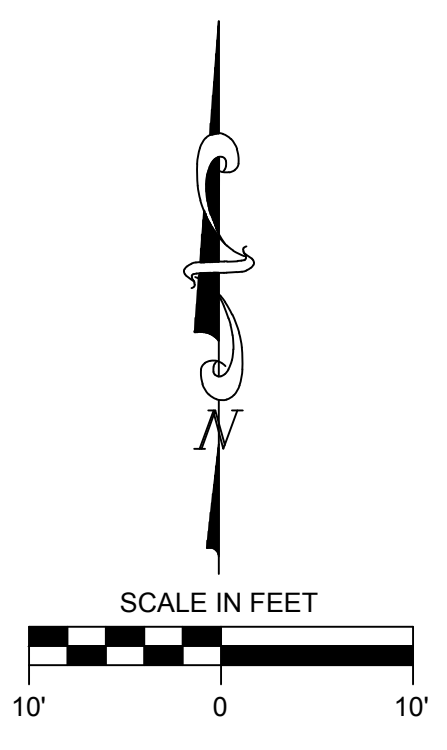


**GENERAL NOTES**

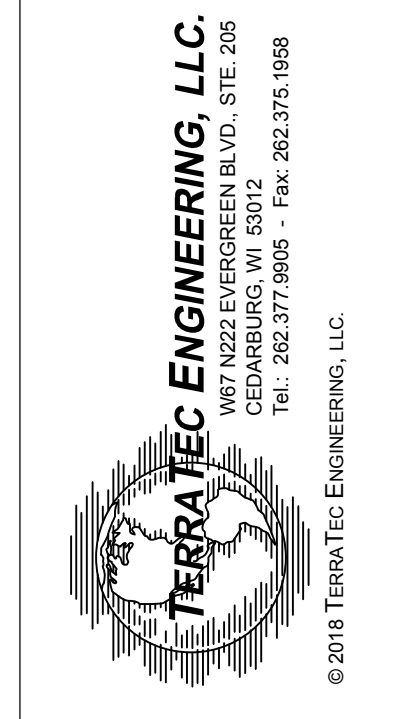
1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE CITY OF SHEBOYGAN DEPARTMENT OF PUBLIC WORKS TECHNICAL STANDARDS, LATEST EDITION.
2. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF 3 WORK DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE MUNICIPALITY AND ARCHITECT SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS DETAILED IN THESE CIVIL PLANS.
4. THE CONTRACTOR SHALL INDEMNIFY THE CITY, TERRATEC ENGINEERING, BRAY ARCHITECTS, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE CIVIL WORK INCLUDED ON THESE CIVIL PLANS.
5. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN BIDDER'S PROPOSAL. BIDDER SHALL BASE BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE TO NOTIFY THE UTILITIES OF THE CONSTRUCTION AND REQUIRES FIELD STAKING OF EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND SHALL REPAIR DAMAGED UTILITIES AT CONTRACTOR'S EXPENSE TO SATISFACTION OF CITY AND UTILITY.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A SITE GEOTECHNICAL REPORT IS AVAILABLE FROM THE ARCHITECT.
9. CONTRACTOR SHALL MAINTAIN EROSION CONTROLS AS SPECIFIED ON SHEET C1.0.
10. CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
11. CONTRACTOR SHALL NOT ALLOW MUD AND DEBRIS TO BE DEPOSITED ONTO ADJACENT ROADWAYS OR PROPERTIES. CLEANUP SHALL BE PERFORMED AT A MINIMUM OF DAILY OR AS NEEDED.
12. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSES.
13. CONTRACTOR SHALL REFER TO OTHER PLANS AS NOTED FOR ADDITIONAL DESIGN INFORMATION. CONTRACTOR SHALL EXAMINE ALL APPROPRIATE PLANS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION COMMENCEMENT SO THAT PROPER MODIFICATIONS CAN BE MADE. ANY NOTIFICATIONS MADE AFTER CONSTRUCTION COMMENCEMENT SHALL BE PERFORMED BY ARCHITECT, BUT CONSTRUCTION-RELATED COSTS SHALL MADE AT CONTRACTOR'S COST.

**GENERAL GRADING/PAVING NOTES**

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. DISCREPANCIES OR OTHER MODIFICATIONS REPORTED/MADE AFTER CONSTRUCTION COMMENCEMENT SHALL BE AT CONTRACTOR'S COST.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL/STATE/FEDERAL REQUIREMENTS.
4. SUBGRADE TO BE PREPARED AS SPECIFIED BY PROJECT GEOTECHNICAL ENGINEER (NOT TERRATEC ENGINEERING, LLC).
5. MINIMUM PAVEMENT STRUCTURE (TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER, WHICH IS NOT TERRATEC ENGINEERING):  
 ASPHALTIC CONCRETE PAVEMENT  
 12" CRUSHED AGGREGATE BASE COURSE - WISDOT SECTION 305, 3/4" CRUSHED STONE  
 1.5" ASPHALTIC HOT MIX BINDER COURSE - WISDOT SECTION 460, E-0.3  
 1.5" ASPHALT HOT MIX SURFACE COURSE - WISDOT SECTION 460, E-0.3  
 DRIVEWAY APRON AND TRAMP DUMPSTER LOCATIONS:  
 6" PORTLAND CEMENT CONCRETE ON 8" CRUSHED AGGREGATE BASE COURSE
6. ASPHALTIC CONCRETE PAVING SPECIFICATIONS:  
 CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 401, 405 AND 407 OF WISDOT SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.  
 WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).  
 GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.  
 SURFACE PREPARATION - TO BE PREPARED PER SITE GEOTECHNICAL REPORT, NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
7. SIDEWALKS:  
 SIDEWALK SHALL BE CONSTRUCTED WITH ALL PORTLAND CEMENT CONCRETE. SIDEWALKS SHALL BE A MINIMUM OF 4" IN THICKNESS, EXCEPT IN AREAS OF DRIVE APPROACHES WHERE THE SIDEWALKS SHALL BE A MINIMUM OF 6" IN THICKNESS.  
 CONSTRUCT 1/2" EXPANSION JOINTS EVERY 50' AND AT EACH END OF ANY NEW SIDEWALK CONSTRUCTED BETWEEN TWO EXISTING WALKS, AND IF SUCH NEW SIDEWALK EXCEEDS 50' IN LENGTH.
8. ALL WORK TO BE COMPLETED IN CONJUNCTION WITH ALL STATE AND LOCAL CODES AND ORDINANCES.
9. SEE ARCHITECTURAL PLANS FOR ALL BUILDING AND RETAINING WALL SYSTEM DIMENSIONS.
10. SEE SHEET C3.0 FOR STORM, SANITARY AND WATER DETAILS AND NOTES.



**Office Locations:**  
 Milwaukee  
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 Milwaukee, Wisconsin 53204  
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 Sheboygan  
 1227A North 8th Street  
 PO Box 955  
 Sheboygan, Wisconsin 53082  
 T. 920.459.4200  
 www.brayarch.com



Project Title:  
**RENOVATION & ADDITION TO  
 SHEBOYGAN CITY HALL  
 CITY OF SHEBOYGAN  
 828 CENTER AVENUE, SHEBOYGAN, WI 53081**

REVISIONS:  
 DATE

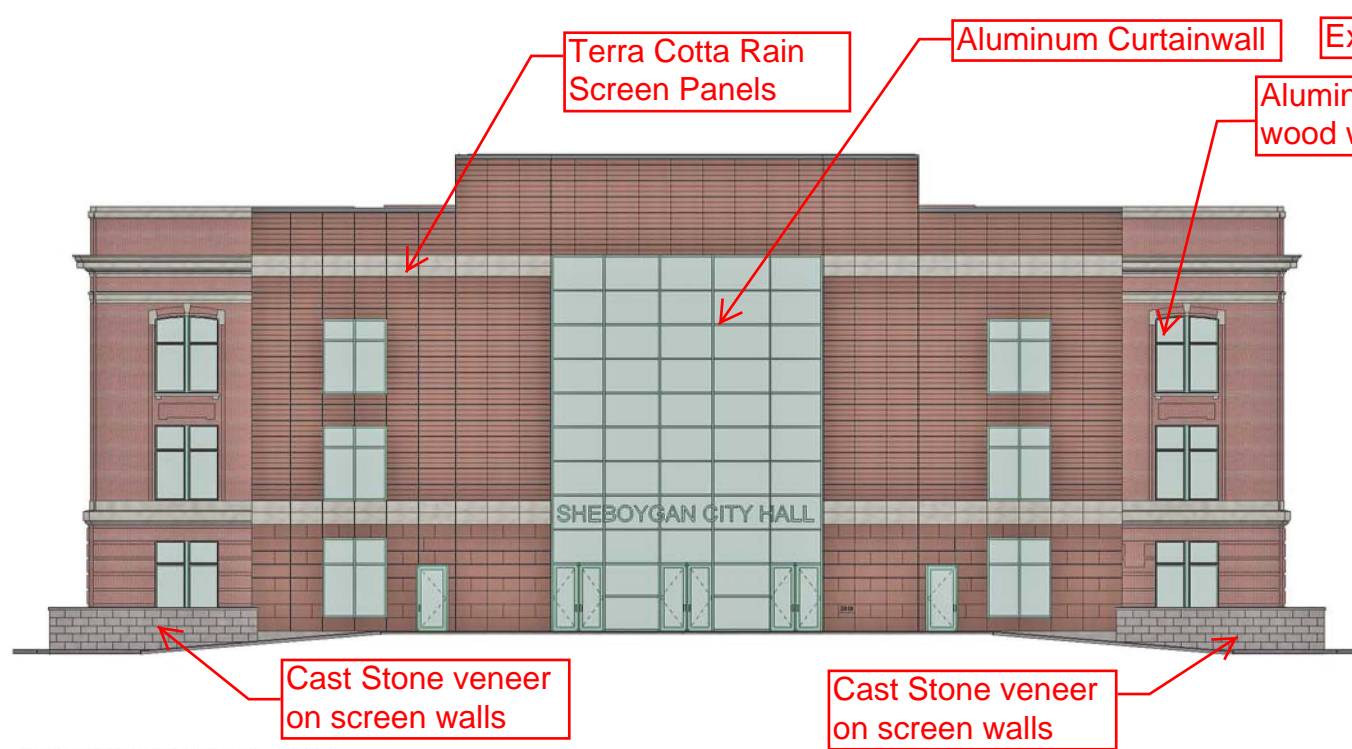
Project Number:  
**3245**

Issued For:  
**DESIGN DEVELOPMENT**

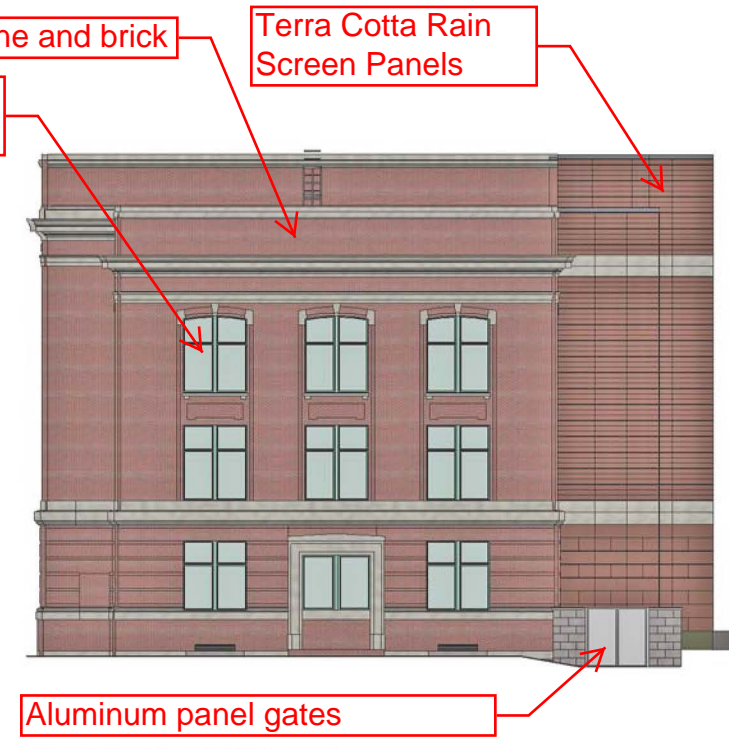
Sheet Title:  
**Site Grading & Utility Plan**

Sheet Number:  
**C2.0**

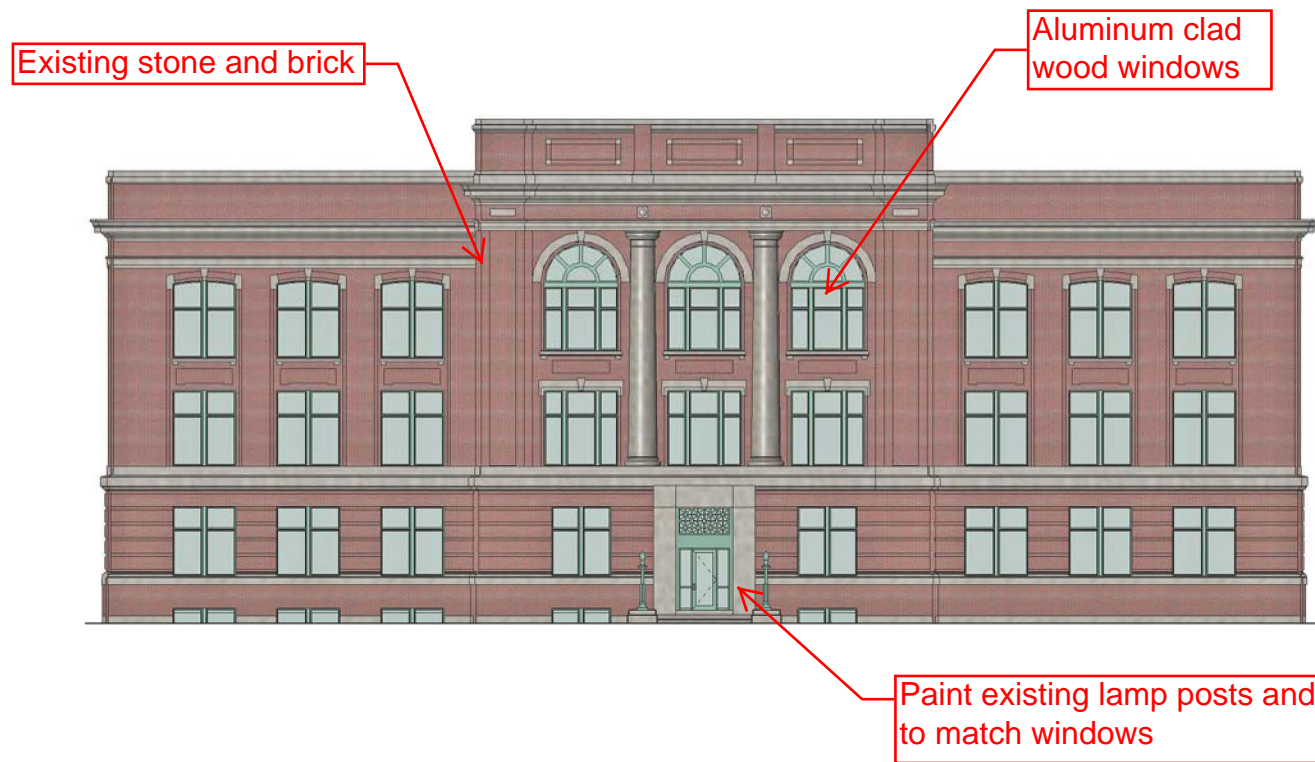




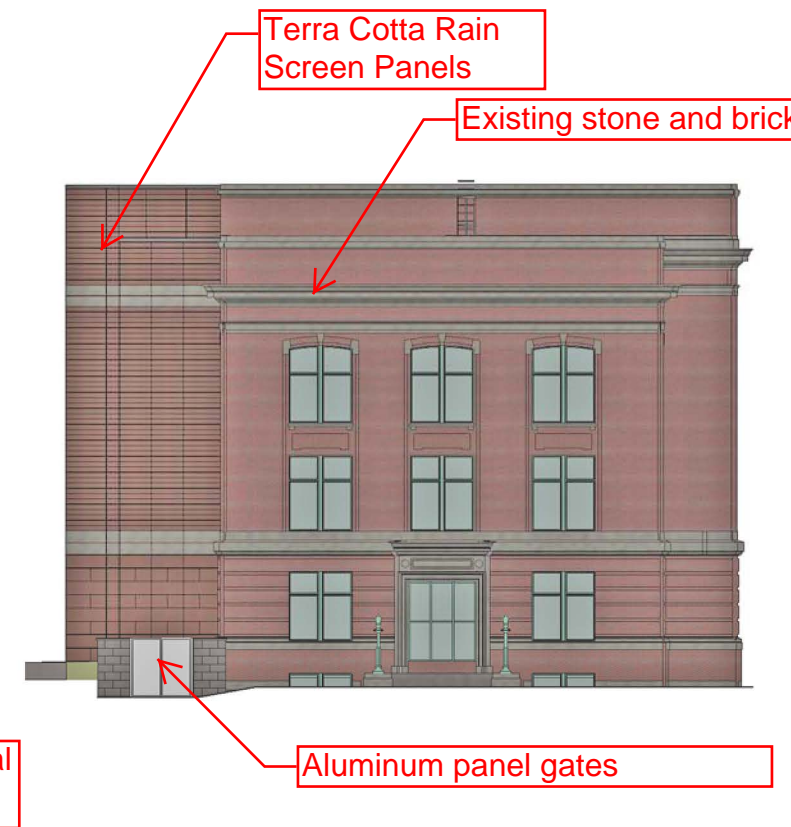
PRESENTATION ELEVATION - NORTH  
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - EAST  
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - SOUTH  
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - WEST  
Scale: 1/8" = 1'-0"

1/8/2018 2:58:02 PM C:\Users\jgibbs\Documents\3245\_SheboyganCityHall\_center\_release\Rendering\10176\_ambonyjgibbs.rvt



Office Locations:

**Milwaukee**  
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CITY OF SHEBOYGAN  
828 CENTER AVENUE, SHEBOYGAN, WI 53081**

REVISIONS:

DATE	DESCRIPTION

Project Number:  
**3245**

Issued For:  
**Progress Set**

January 2, 2018

Sheet Title:  
**PRESENTATION  
ELEVATIONS**

Sheet Number:

**ELEV.**

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PRESENTATION ELEVATION - NORTH  
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - EAST  
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - SOUTH  
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - WEST  
Scale: 1/8" = 1'-0"



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Sheet Title:  
**PRESENTATION  
ELEVATIONS**

Sheet Number:

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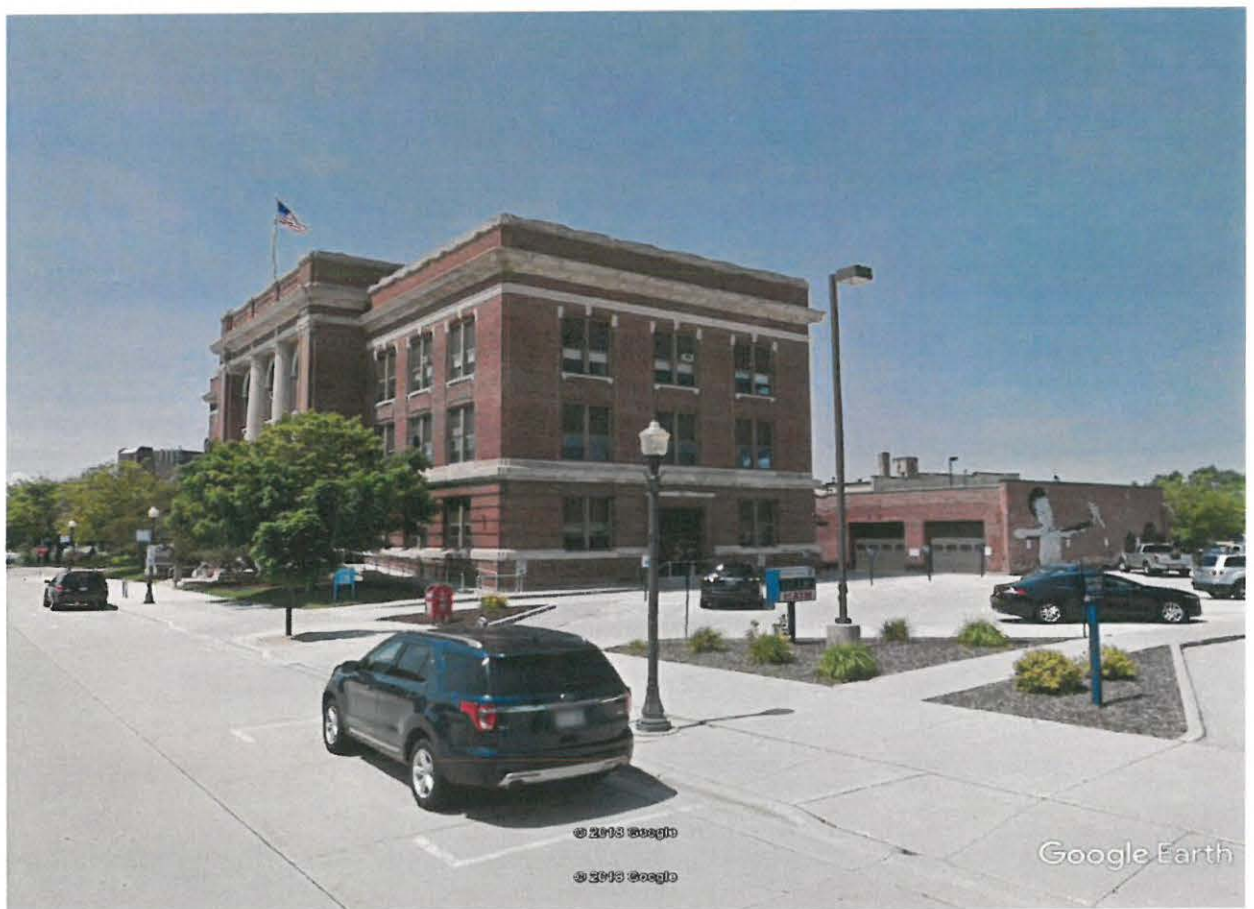






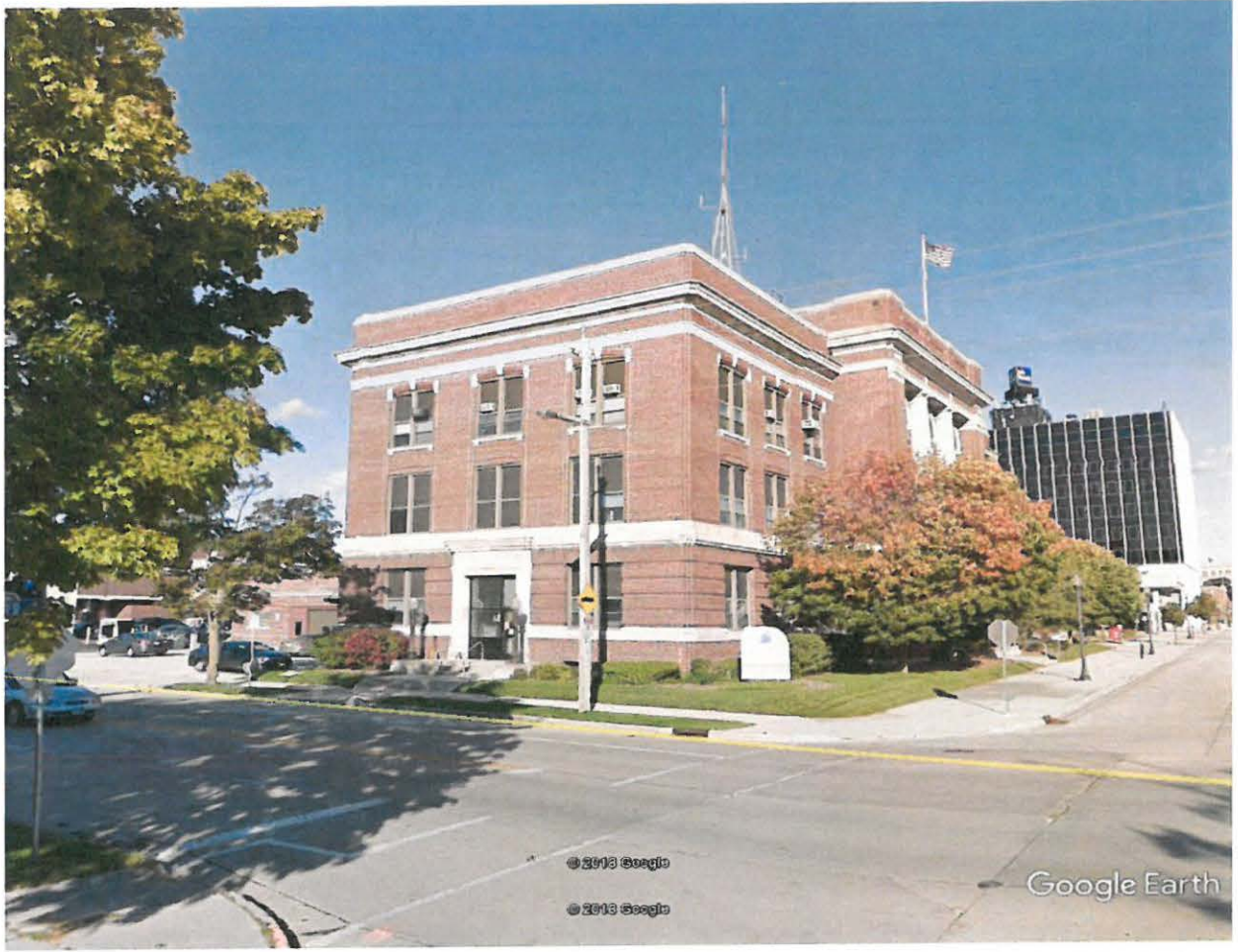
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