

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Renovation and new building addition at Sheboygan City Hall located at 828 Center Avenue

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 19, 2018

MEETING DATE: January 22, 2018

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

City of Sheboygan elected representatives and administration have made the decision to renovate and construct a new building addition to City Hall located at 828 Center Avenue. Once the decision was made to renovate City Hall, it was necessary to categorically address all of the required improvements needed to construct a well-functioning and efficient City Hall.

Exterior improvements include:

- The existing boiler/radiator system is being replaced by a "central forced-air" system that will also provide air conditioning from a chiller on the roof which shall be hidden behind parapet walls. The new central forced air system eliminates the collection of air conditioners and condensing units hanging from the building. Heating/cooling system will be controlled by a digital energy management system compatible with controls at other City properties. New electrical service and completely new wiring will insure safety and efficiency. New emergency generator on the roof keeps facility up-and-running in case of outage. New water service and all new piping replace the 100 year old system.
- In terms of life-safety, the old, degraded fire escapes that hang on the north façade will be replaced by interior exit stairways. A building that is presently not protected by an automatic fire sprinkler system will have one as part of the project. New modern, digital fire alarm, security systems will be integrated. It's worth pointing out that the exit stairs replacing unsafe fire escapes were a driving factor for the addition on the north side. The north (back) of the building was never given the same architectural features (stone-work) as the other sides. Over the years, additions, such as electrical transformer and condensing units have accumulated on that north side. The building addition is an

opportunity to “clean-up” a neglected façade and make it the new entrance to City Hall. This does not diminish the traditional south entry. In fact, the stone/brick restoration, along with window replacement, will bring them closer to their original condition.

- The brick/stone/steel elements of the existing building are in need of cleaning, restoration and repair. The stone/brick restoration, along with window replacement, will bring the existing building closer to its original condition. This project preserves the “shell” of the historic building while creating a modern, safe and efficient interior.
- Another crucial maintenance element is a new roof membrane. The new roof and insulation replaces an uninsulated condition. At the same time, we can structurally reinforce aging brick parapet walls. As mentioned earlier, unsightly equipment such as the chiller unit and the emergency generator will be hidden on the roof behind tall parapet walls. Other “unsightly” features that must remain at ground level, such as electrical transformer and refuse bins will be screened behind masonry walls with upgraded gates.
- Along with the stair towers, the north addition contains a new elevator to replace the present unreliable elevator. These needs required that the existing free-standing garage be removed.
- Demolishing the garage opened the potential for a whole new façade and a new primary entrance. The space available on the north with the removal of the garage allows for 14 off-street, customer parking stalls. The rise in elevation (between parking / sidewalk and first floor) is accomplished around two symmetrical planters between the new parking and the building. A central stair and ADA ramps lead up to a semi-circular “plaza”, but one that relates to the new organizing principle of the interior layout. The masonry material on the planter walls (and even the transformer/dumpster screen walls) serve as a visual base on which the addition stands.
- The addition maintains and reinforces the imagery and prominence suitable for a municipal building. It does not try to mimic or replicate architectural features that were only achievable with 100 year old construction methods. Like other (interior features) the exterior takes the approach of incorporating contemporary materials alongside older traditional materials. Therefore, the addition is clad with terra cotta panels that are not only low-maintenance and energy efficient, but that also respects the color and horizontal banding of the existing building. Likewise, a large curtainwall of glass in aluminum framing signals the entrance and reflects a more contemporary, open and forward looking image.

STAFF COMMENTS:

None.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: City of Sheboygan
ADDRESS: 828 Center Avenue, Sheboygan, WI 53081

E-MAIL ADDRESS: david.biebel@sheboyganwi.gov

PHONE: (920) 459-3366

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan City Hall

ADDRESS OF PROPERTY AFFECTED: 828 Center Avenue, Sheboygan, WI

NEW BUILDING: _____ ADDITION: yes REMODELING: yes

DESCRIPTION OF PROPOSED PROJECT:

Window replacement and masonry restoration / cleaning on south, west and east facades. Abandonment of east and west entries, as well as the present ADA ramp on south. Building addition on the north side (1,675 sq. ft. footprint) contains stair towers, elevator and entrance atrium.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS:

The building is a 1916 brick and stone Neo-Classical design intended to project an institutional image of governance, stability and authority. It is a free-standing, three-story building with all facades exposed to view.

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS:

The masonry restoration and window replacement attempts to bring the south, east and west sides closer to their original state. Verdigris (green patina) color of aluminum clad wood windows is an *homage* to colors used in the original building and is consistent with the green frames on neighboring buildings (Post Office, 532 N. 8th St., 632 N. 8th St.). The proposed addition stands equally as tall as the existing structure. The brick and stone of the existing building is being represented

in a contemporary cladding material of terra cotta rain screen panels. Horizontal lines and color have been respected. A large expanse of curtainwall reinforces the prominence of the entry and importance of the building's function / image. Grade elevation changes are worked into a symmetrical landscape / plaza design stairs and ramps around large landscape planters. Cast stone cladding of landscape walls and screening walls provide a base / plinth on which the addition rests. The semi-circular plaza associates an interior-exterior motif that ties the two together.

NAMES AND ADDRESSES

OWNER OF SITE: City of Sheboygan

ADDRESS: 828 Center Avenue, Sheboygan, Wi 53081

PHONE: (920) 459-3366

ARCHITECT: Bray Architects

ADDRESS: 1227 A N. 8th Street, Sheboygan WI 53081 (P.O. Box 955 zip 53092)

E-MAIL ADDRESS: sjaeger@brayarch.com

PHONE: (920) 459-4200

CONTRACTOR: TBD

3. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

4. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE



DATE

STEPHEN KUHNEN
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY ARCHITECTURAL REVIEW BOARD

DATE OF MEETING: _____

APPROVED: _____

CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, Architectural Review Board OR
Manager of Planning & Zoning

DATE: _____

Sheboygan City Hall project
A written description of the proposed general design
January 2018 – Architectural Review Board

The City's administration and elected representatives recognized the need to improve infrastructure, life-safety and overdue maintenance to Sheboygan City Hall. Once the decision was made to remain in the traditional seat of municipal administration, it was necessary to categorically address those improvements. From an infrastructure point of view, the existing boiler/radiator system is being replaced by a "central forced-air" system that will also provide air conditioning from a chiller on the roof, hidden behind parapet walls. This will eliminate the collection of air conditioners / condensing units hanging off the building. Heating / cooling system will be controlled by a digital, energy management system compatible with controls at other City properties. New electrical service and completely new wiring will insure safety and efficiency. New emergency generator on the roof keeps facility up-and-running in case of outage. New water service and all new piping replaces 100 year old system.

In terms of life-safety, the old, degraded fire escapes that hang on the north façade will be replaced by interior exit stairways. A building that is presently not protected by an automatic fire sprinkler system will have one as part of the project. New modern, digital fire alarm, security systems will be integrated. It's worth pointing out that the exit stairs replacing unsafe fire escapes were a driving factor for the addition on the north side. The north (back) of the building was never given the same architectural features (stone-work) as the other sides. Over the years, "ugly" additions, such as electrical transformer and condensing units have accumulated on that north side. The building addition is an opportunity to "clean-up" a neglected façade and actually make it a feature – a new entrance- to the facility. This does not diminish the traditional south entry. In fact, the stone / brick restoration, long with window replacement, will hence the traditional facades and bring them closer to their original condition.

This ties in with maintenance issues, the brick / stone / steel elements of the existing building are in need of cleaning, restoration and repair. This project preserves the "shell" of the historic building while creating a modern, safe and efficient interior. Another crucial maintenance element is a new roof membrane. The new roof and insulation replaces an uninsulated condition. At the same time, we can structurally reinforce aging brick parapet walls. As mentioned earlier, unsightly equipment such as the chiller unit and the emergency generator will be hidden on the roof behind tall parapet walls. Other "unsightly" features that must remain at ground level, such as electrical transformer and refuse bins will be screened behind masonry walls with upgraded gates (not chain link).

Along with the stair towers the north addition contains a new elevator to replace the present "unreliable contraption". The required for these basic needs mandated that the existing free-standing garage be removed. This fact opened potential for a whole new façade and a second (maybe primary) entrance. Again, this takes nothing from the south entrance. But the space available on the north with the removal of the garage allows for 14 off-street, customer parking stalls. The rise in elevation (between parking / sidewalk and first floor) is accomplished around two symmetrical planters between the new parking and the building. A central stair and ADA ramps lead up to a semi-circular "plaza" (a

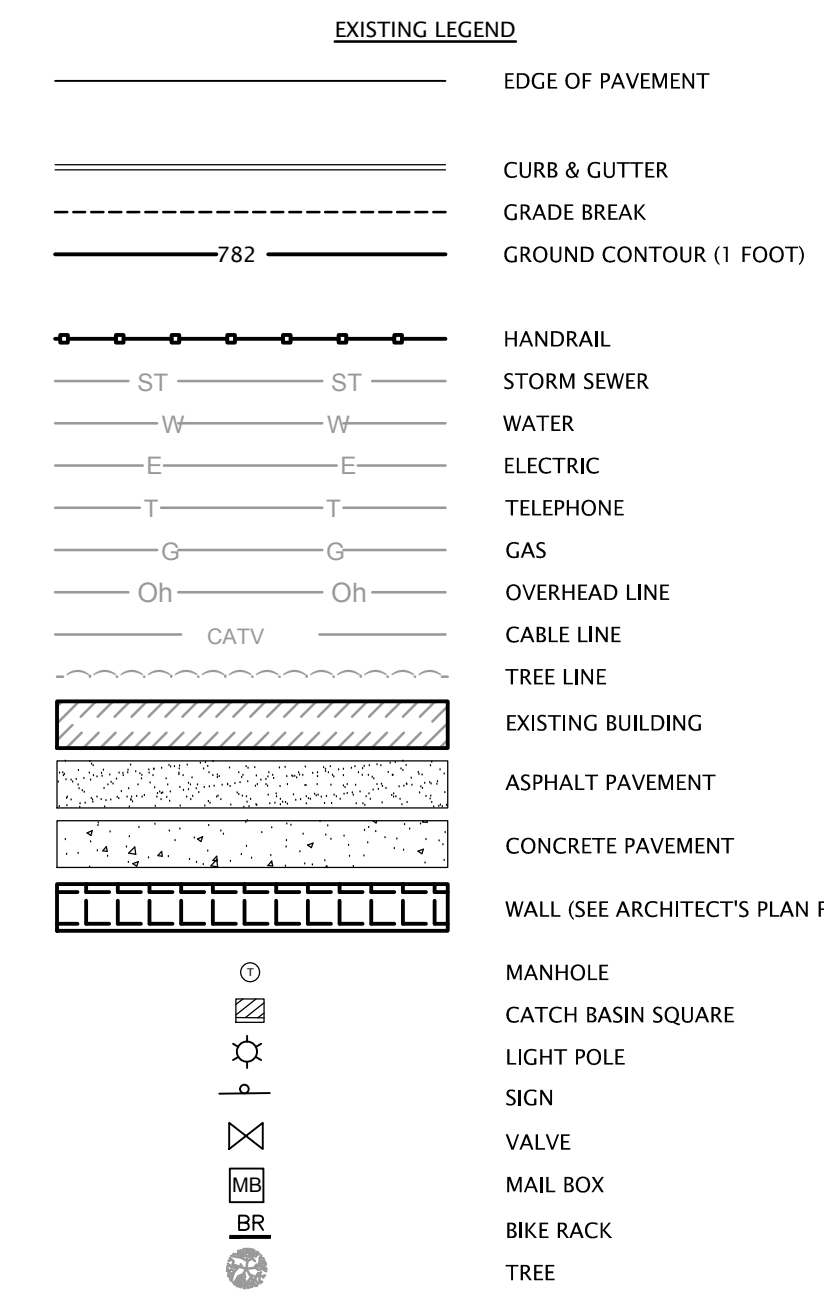
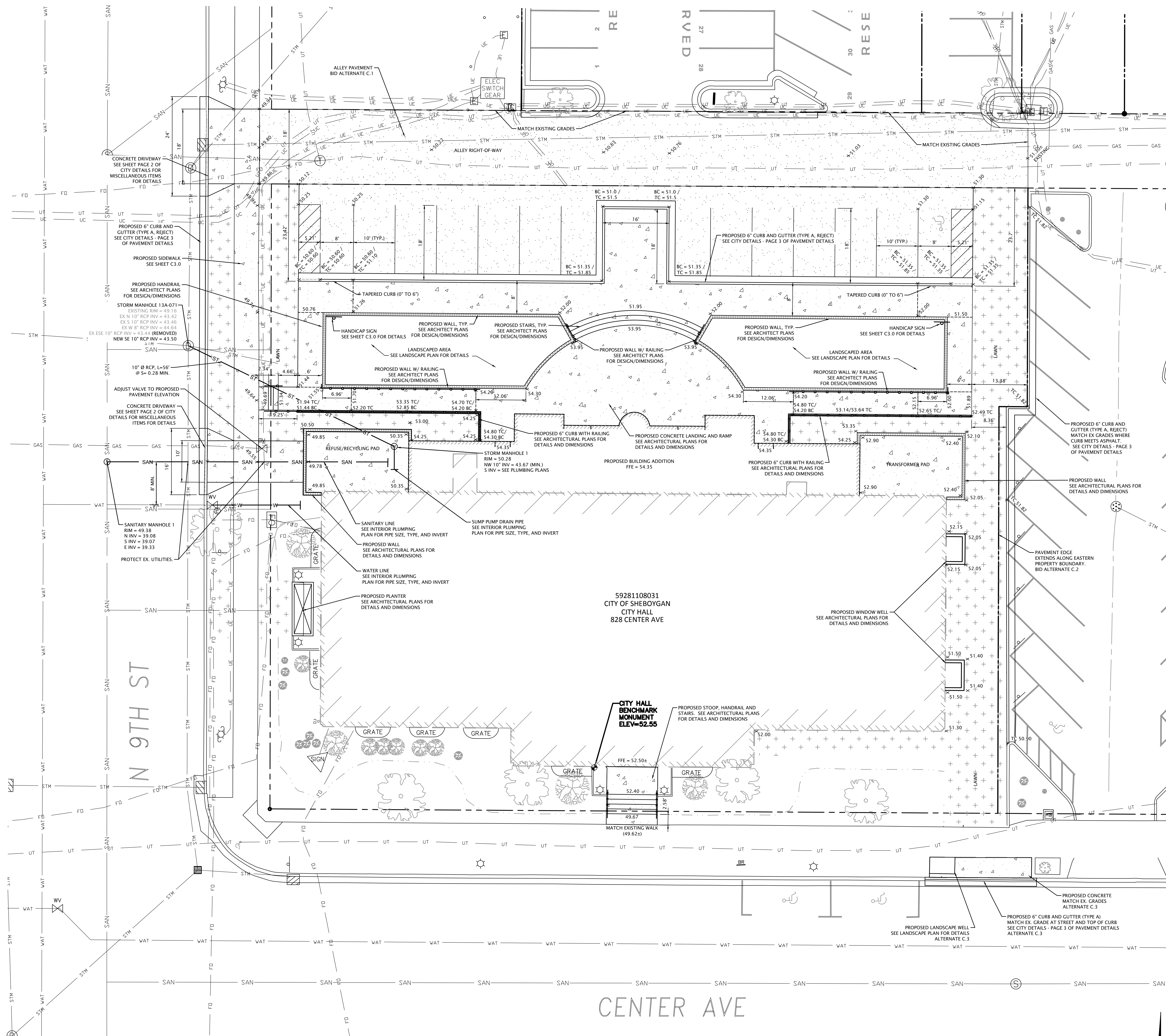
very modest plaza), but one that relates to the new organizing principle of the interior layout. Before moving to the interior however, I'd like to point out that the masonry material on the planter walls (and even the transformer/dumpster screen walls) serve as a visual base, a plinth on which the addition stands.

The addition maintains and reinforces the imagery and prominence suitable for a municipal building. It does not try to mimic or replicate architectural features that were only achievable with 100 year old construction methods. Like other (interior features) the exterior takes the approach of incorporating contemporary materials alongside (and juxtaposed against) older materials. Therefore, the addition is clad with terra cotta panels that are not only low-maintenance and energy efficient, but that also respects the color and horizontal banding of the existing building. Likewise, a large curtainwall of glass in aluminum framing signals the entrance and reflects a more contemporary, open and forward looking image.

Openness is not only the image that is meant to be projected, but the organizing concept behind the interior arrangement. Beyond the tall entrance vestibule (behind the curtainwall) the visitor will encounter a mix of new and old. For the most part, the interior walls on all floors will be removed to make way for a new arrangement. Two exceptions to this rule are the preservation of the present central stair and the historic Council Chamber. The old idea of a central east-west corridor with closed-off offices on either side will be gone. The semi-circular exterior plaza is mirrored inside by a semi-circular lobby / atrium. The existing stair becomes a free-standing, "sculptural feature in that public space. Customers visiting City Hall will be met at new service counters for the various departments of city administration. The driving principle behind every decision was based around open, transparent administration and enhanced customer service. It's anticipated that the various conference rooms spread throughout the building will be available to the community or guests needing comfortable, technologically connected meeting spaces to conduct business.

The Council Chamber as originally built on the third floor of the building has undergone several interior remodels and "encroachments". These remodels have hidden away a few architectural gems. Above the suspended acoustical tile ceiling remains the original plaster crown molding and ornate plaster beams. In the center of the ceiling remains a stained glass panel that originally had a skylight above to provide light. The hope now is to clean and stabilize the stained glass panel and backlight it with artificial light available anytime day or night. The size of the Council Chamber has been reduced over the years. It will be returned to its original dimensions with all three arch-top windows along its south side. A new dais and desk will seat all the alderpersons along with the mayor, the city administrator and the primary officials. All will face the public at Common Council proceedings and no longer have their backs to the public.

Every effort has been made to provide a safe, comfortable, efficient and technologically updated facility for the administrative functions of city government well into the future. Again, we hope to create a modern environment within a traditional enclosure. All the tradition, prominence, familiarity and stability of municipal administration is being maintained and enhanced. Civic pride and prominence will be embodied in this structural that will stand and function efficiently into the future.

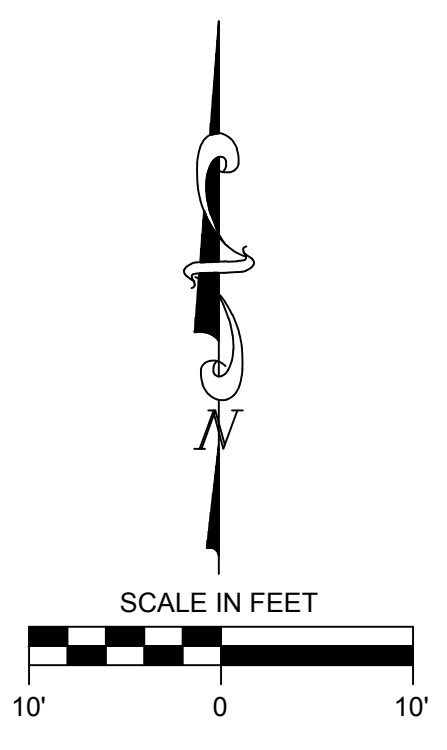


GENERAL NOTES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE CITY OF SHEBOYGAN DEPARTMENT OF PUBLIC WORKS TECHNICAL STANDARDS, LATEST EDITION.
2. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF 3 WORK DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE MUNICIPALITY AND ARCHITECT SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS DETAILED IN THESE CIVIL PLANS.
4. THE CONTRACTOR SHALL INDEMNIFY THE CITY, TERRATEC ENGINEERING, BRAY ARCHITECTS, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE CIVIL WORK INCLUDED ON THESE CIVIL PLANS.
5. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN BIDDER'S PROPOSAL. BIDDER SHALL BASE BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE TO NOTIFY THE UTILITIES OF THE CONSTRUCTION AND REQUIRES FIELD STAKING OF EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND SHALL REPAIR DAMAGED UTILITIES AT CONTRACTOR'S EXPENSE TO SATISFACTION OF CITY AND UTILITY.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A SITE GEOTECHNICAL REPORT IS AVAILABLE FROM THE ARCHITECT.
9. CONTRACTOR SHALL MAINTAIN EROSION CONTROLS AS SPECIFIED ON SHEET C1.0.
10. CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
11. CONTRACTOR SHALL NOT ALLOW MUD AND DEBRIS TO BE DEPOSITED ONTO ADJACENT ROADWAYS OR PROPERTIES. CLEANUP SHALL BE PERFORMED AT A MINIMUM OF DAILY OR AS NEEDED.
12. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSES.
13. CONTRACTOR SHALL REFER TO OTHER PLANS AS NOTED FOR ADDITIONAL DESIGN INFORMATION. CONTRACTOR SHALL EXAMINE ALL APPROPRIATE PLANS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION COMMENCEMENT SO THAT PROPER MODIFICATIONS CAN BE MADE. ANY NOTIFICATIONS MADE AFTER CONSTRUCTION COMMENCEMENT SHALL BE PERFORMED BY ARCHITECT, BUT CONSTRUCTION-RELATED COSTS SHALL MADE AT CONTRACTOR'S COST.

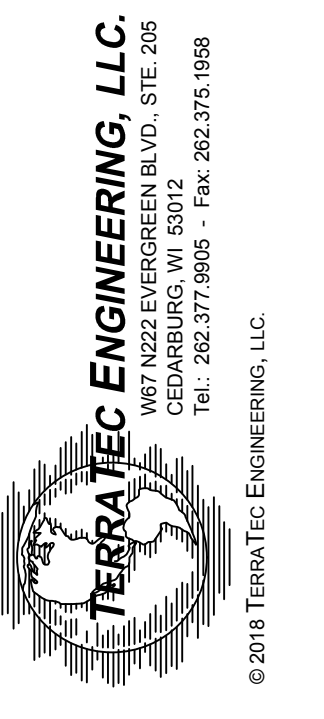
GENERAL GRADING/PAVING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. DISCREPANCIES OR OTHER MODIFICATIONS REPORTED/MADE AFTER CONSTRUCTION COMMENCEMENT SHALL BE AT CONTRACTOR'S COST.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL/STATE/FEDERAL REQUIREMENTS.
4. SUBGRADE TO BE PREPARED AS SPECIFIED BY PROJECT GEOTECHNICAL ENGINEER (NOT TERRATEC ENGINEERING, LLC).
5. MINIMUM PAVEMENT STRUCTURE (TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER, WHICH IS NOT TERRATEC ENGINEERING):
 ASPHALTIC CONCRETE PAVEMENT
 12" CRUSHED AGGREGATE BASE COURSE - WISDOT SECTION 305, 3/4" CRUSHED STONE
 1.5" ASPHALTIC HOT MIX BINDER COURSE - WISDOT SECTION 460, E-0.3
 1.5" ASPHALT HOT MIX SURFACE COURSE - WISDOT SECTION 460, E-0.3
 DRIVEWAY APRON AND TRAMP DUMPSTER LOCATIONS:
 6" PORTLAND CEMENT CONCRETE ON 8" CRUSHED AGGREGATE BASE COURSE
6. ASPHALTIC CONCRETE PAVING SPECIFICATIONS:
 CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 401, 405 AND 407 OF WISDOT SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).
 GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 SURFACE PREPARATION - TO BE PREPARED PER SITE GEOTECHNICAL REPORT, NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
7. SIDEWALKS:
 SIDEWALK SHALL BE CONSTRUCTED WITH ALL PORTLAND CEMENT CONCRETE. SIDEWALKS SHALL BE A MINIMUM OF 4" IN THICKNESS, EXCEPT IN AREAS OF DRIVE APPROACHES WHERE THE SIDEWALKS SHALL BE A MINIMUM OF 6" IN THICKNESS.
 CONSTRUCT 1/2" EXPANSION JOINTS EVERY 50' AND AT EACH END OF ANY NEW SIDEWALK CONSTRUCTED BETWEEN TWO EXISTING WALKS, AND IF SUCH NEW SIDEWALK EXCEEDS 50' IN LENGTH.
8. ALL WORK TO BE COMPLETED IN CONJUNCTION WITH ALL STATE AND LOCAL CODES AND ORDINANCES.
9. SEE ARCHITECTURAL PLANS FOR ALL BUILDING AND RETAINING WALL SYSTEM DIMENSIONS.
10. SEE SHEET C3.0 FOR STORM, SANITARY AND WATER DETAILS AND NOTES.



Office Locations:
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 T. 414.226.0200

Sheboygan
 1227A North 8th Street
 PO Box 955
 Sheboygan, Wisconsin 53082
 T. 920.459.4200
 www.brayarch.com



Project Title:
**RENOVATION & ADDITION TO
 SHEBOYGAN CITY HALL
 CITY OF SHEBOYGAN
 828 CENTER AVENUE, SHEBOYGAN, WI 53081**

REVISIONS:
 DATE

Project Number:
3245

Issued For:

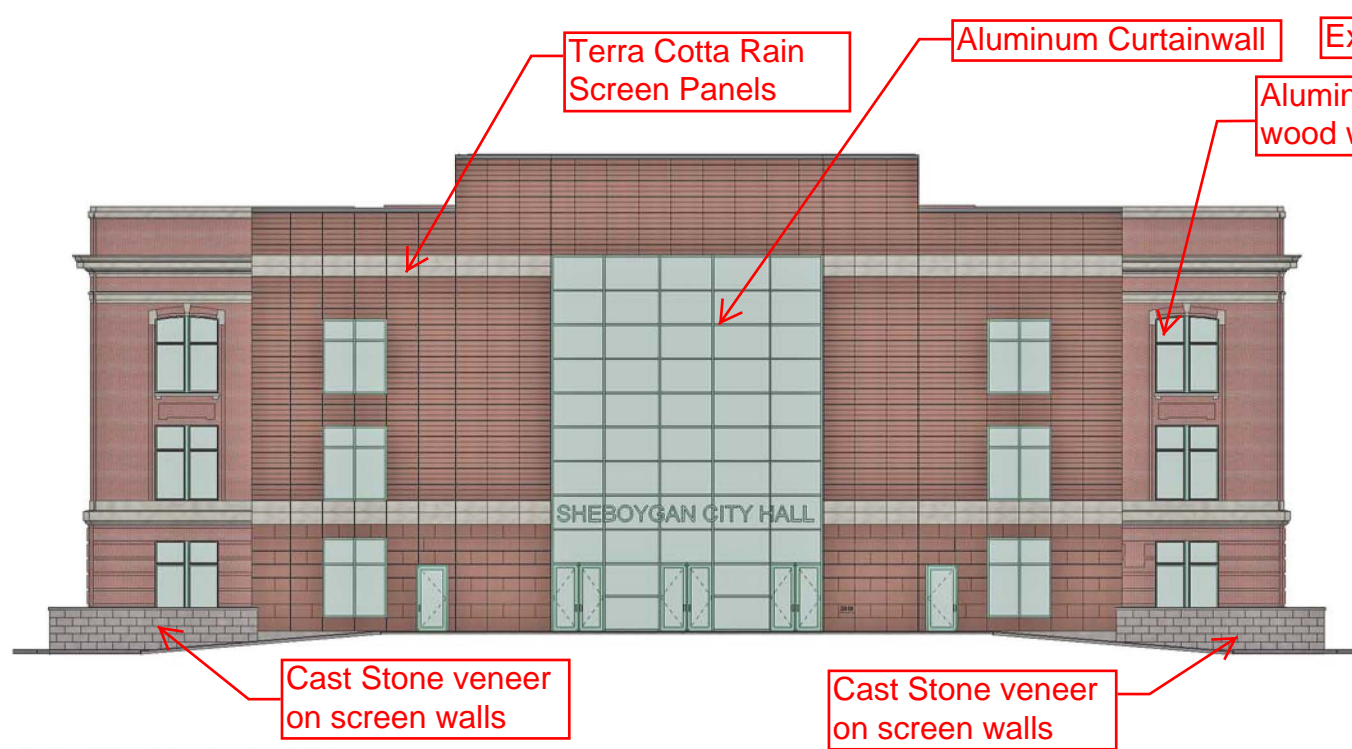
**DESIGN
 DEVELOPMENT**

Sheet Title:
**Site
 Grading &
 Utility Plan**

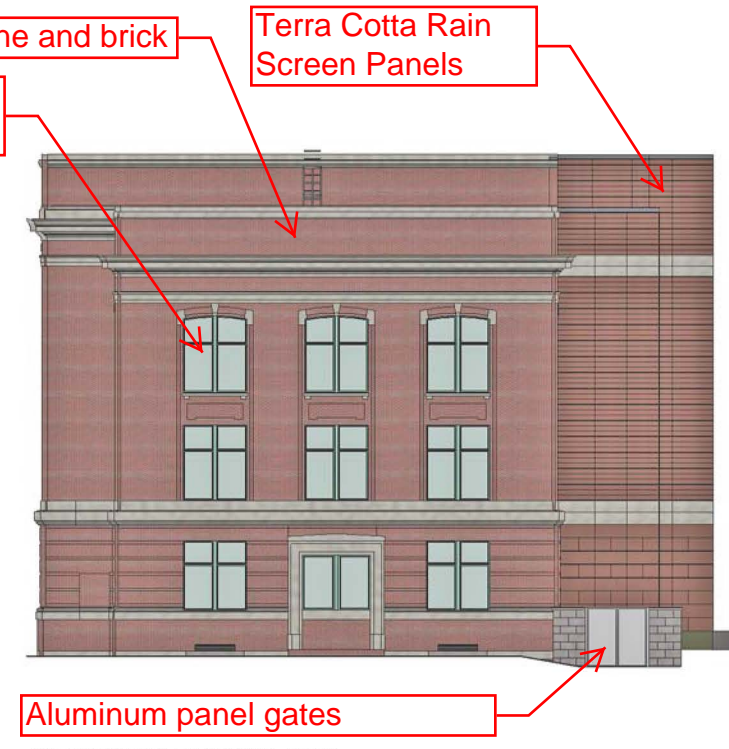
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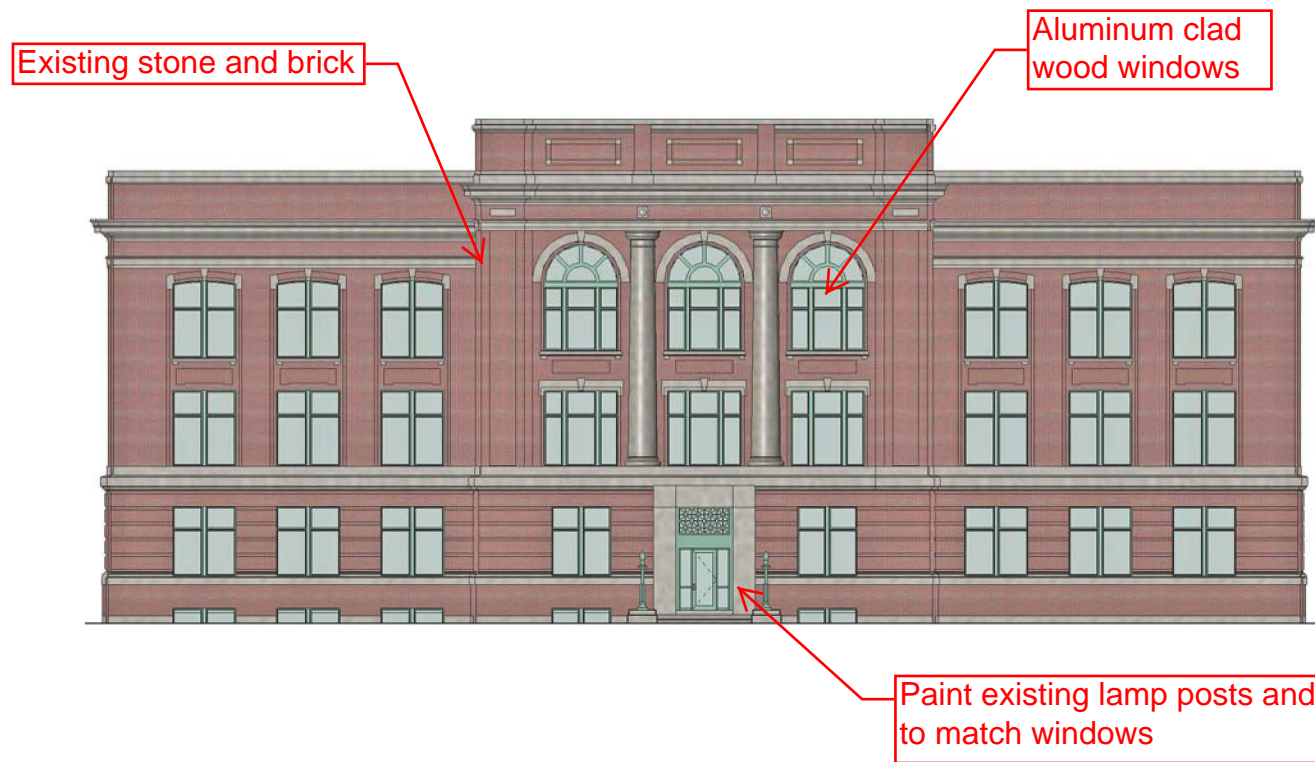




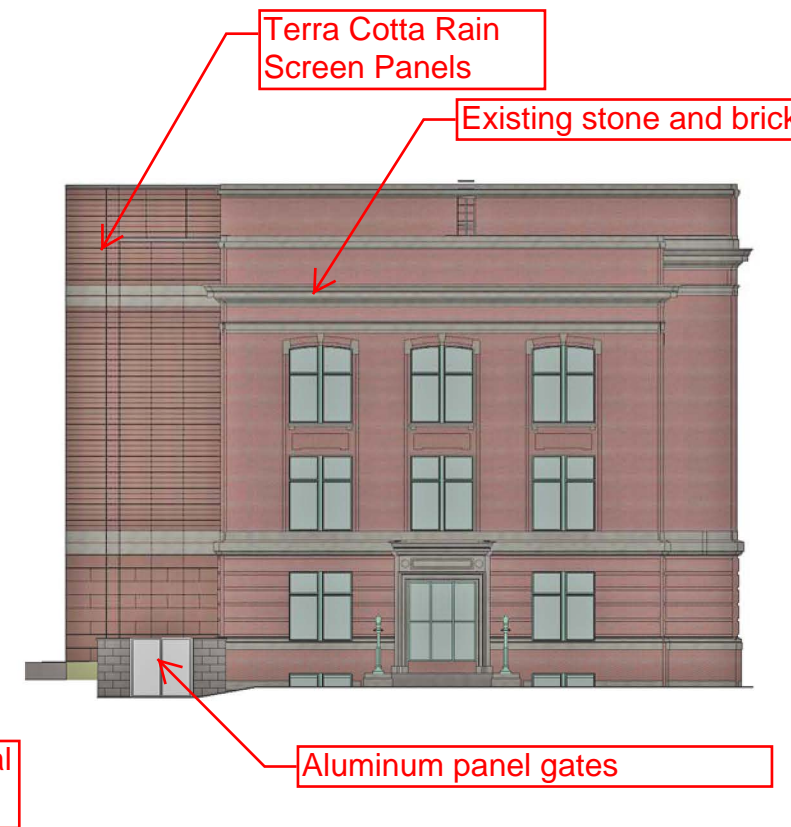
PRESENTATION ELEVATION - NORTH
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - EAST
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - SOUTH
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - WEST
Scale: 1/8" = 1'-0"

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Project Title:
**RENOVATION & ADDITION TO
SHEBOYGAN CITY HALL
CITY OF SHEBOYGAN
828 CENTER AVENUE, SHEBOYGAN, WI 53081**

REVISIONS:

DATE	DESCRIPTION

Project Number:
3245

Issued For:
Progress Set

January 2, 2018

Sheet Title:
**PRESENTATION
ELEVATIONS**

Sheet Number:

ELEV.

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PRESENTATION ELEVATION - NORTH
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - EAST
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - SOUTH
Scale: 1/8" = 1'-0"



PRESENTATION ELEVATION - WEST
Scale: 1/8" = 1'-0"



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828 CENTER AVENUE, SHEBOYGAN, WI 53081**

REVISIONS:

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January 2, 2018

Sheet Title:
**PRESENTATION
ELEVATIONS**

Sheet Number:

ELEV.

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CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new Prevea Medical Office building on the St. Nicholas Hospital Campus located at 3100 Superior Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 19, 2018

MEETING DATE: January 22, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The proposed \$17,500,000 project includes constructing a new medical office building for Prevea Health on the existing St. Nicholas Hospital campus. The proposed building will be a standalone building located on the north side of the existing hospital building and east of the existing surgery center within the existing parking lot area. This facility will join St. Nicholas Hospital, Marsho Family Medical Group, St. Nicholas Surgery Center, and other medical facilities on this block.

The applicant states the following about the proposed medical office building:

- The exterior materials proposed for the new medical office building are a combination of face brick, glass, quarried stone and metal wall panel. At approximately 61,000 square feet, the proposed structure will stand five (5) stories tall with the parapet approximately 67 feet above grade.
- The building's form, materials and textures are distinctive components of Prevea's architectural brand. Other Prevea facilities include smaller scale health centers in Manitowoc, Mondovi, Rice Lake and Shawano. Additional facilities are planned for Altoona, Menomonie, and Ladysmith. A facility similar in size to this proposed building is planned in the Eau Claire area.
- Primary structure forms are paralleled by the individual program components within the building. The double-height space of the entry sequence, clad mostly in north-facing glass and trimmed in wall panel is utilized to clearly identify a welcoming front door. A drive-up canopy offers protection for patients in adverse weather and a modest outdoor

plaza provides gathering space immediately adjacent to the first-floor library.

- Various specialty services offered within the structure are differentiated by metal wall panels. This cladding provides versatility in shape and fenestration configurations, and is expandable to meet the programmatic needs of the internal spaces. The wall panel, anchored by a quarried stone base, includes a housing for the glass openings throughout the second, third and fourth floors. A fourth-floor walk-out patio, set-back and overlooking the park to the north, caps the entry sequence while offering users a brief area of respite from the consultation and conference rooms within.
- The Primary Care and Family Medicine portion of the building is identified with a dark, iron-spot, velour clay brick and repetitive punched windows. Set back from the specialty services block, it serves as a sturdy back up to the glass and wall panel foreground. Solid stone walls anchor the various building components together. The locally quarried Limestone (Fond du Lac) was selected to celebrate Prevea's interest in locally procured materials and longevity within a community. Together the various exterior elements and forms articulate the program, provide a sense of scale to the building and unify Prevea's branded architecture throughout the state.

STAFF COMMENTS:

A canopy is part of this new structure – see elevation drawing A413.

Appears to be an attractive new building on the St. Nicholas Hospital Campus.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: 59281631920 & 59281631540
MAP NO.: _____
ZONING CLASSIFICATION: S-O

Office Use Only

DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Berners-Schober Associates/o Steve Srubas
ADDRESS: 310 Pine Street Green Bay, WI
E-MAIL ADDRESS: SSrubas@bsagb.com
PHONE: (920) 432-4865 FAX NO.: (920) 432-1284

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Prevea Health
ADDRESS OF PROPERTY AFFECTED: 3100 Superior Avenue
NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT:
Located on the northwest side of St Nicholas' Campus, a new 61,000 square foot, five story medical office building with fifth floor mechanical and future build-out space. Services include Lab, X-Ray, Physical Therapy, Occupational Therapy, and clinical space for GI, Surgery, Urology, Orthopedics, Podiatry, Pain and Spine, Sports Medicine, Ear/Nose/Throat, Audiology, Cardiology, Endoscopy and Neurology. Space is included for a future MRI suite. See attached.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____
n/a

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____
Proposed exterior design includes a composition of face brick, quarried stone, metal wall panel and glass affiliated with complimentary forms. See enclosed write-up for further description.

ARCHITCTURAL REVIEW

ST. NICHOLAS HOSPITAL
CAMPUS
Sheboygan, WI

PREVEA MEDICAL OFFICE
BUILDING
5872.00

PREVEA MEDICAL OFFICE BUILDING | ST. NICHOLAS HOSPITAL CAMPUS

CLINICAL SERVICES

Services include Lab, X-Ray, Physical Therapy, Occupational Therapy, and clinical space for GI, Surgery, Urology, Orthopedics, Podiatry, Pain and Spine, Sports Medicine, Ear/Nose/Throat, Audiology, Cardiology, Endoscopy and Neurology. Space is included for a future MRI suite. These services include a consolidation and expansion of Medical Services offered throughout the Sheboygan area.

ARCHITECTURAL LANDSCAPE

The proposed building location is shown on the north side of St Nicholas Campus, nearest Saemann Avenue. The neighboring buildings include:

The St Nicholas Surgery Center, immediately west -

A 2008 Project, made of face brick and gabled roof building with punched openings and a masonry base

The Marsho Family Medical Group Building; southwest of the proposed project

An early 2000's building, clad with face brick and a large standing seam roof portico.

St. Nicholas Hospital, due south -

A 1970's vintage, six-story, face brick and punched opening structure. The proposed project will be nearest the loading dock, generator space and mechanical services.

Other structures on the city block of St. Nicholas's campus include a medical arts building on the far southwest corner and a row of houses facing north 29th street.

BUILDING EXTERIOR DESCRIPTION

The exterior materials proposed for the new Medical Office Building on St. Nicholas Hospital's campus are a combination of face brick, glass, quarried stone and metal wall panel.

At approximately 61,000 square feet, the proposed structure will stand five stories tall, with the parapet 66'-10" above grade.

The building's form, materials and textures are distinctive components of Prevea's architectural brand. Other Prevea facilities include smaller scale Health Centers in Manitowoc, Mondovi, Rice Lake, and Shawano. Additional facilities are in planning for Altoona, Menomonie, and Ladysmith. A facility similar in size to this proposed building is planned in the Eau Claire area.



Mondovi Health Center



Manitowoc Health Center

Primary structure forms are paralleled by the individual program components within the building. The double-height space of the entry sequence, clad mostly in north-facing glass and trimmed in wall panel, is utilized to clearly identify a welcoming front door. A drive-up canopy offers protection for

PREVEA MEDICAL OFFICE BUILDING | ST. NICHOLAS HOSPITAL CAMPUS

patients in adverse weather; and a modest outdoor plaza provides gathering space immediately adjacent to the first-floor library.

Various specialty services offered within the structure are differentiated by metal wall panels. This cladding provides versatility in shape and fenestration configurations, and is expandable to meet the programmatic needs of the internal spaces. The wall panel, anchored by a quarried stone base, includes a housing for the glass openings throughout the second, third and fourth floors. A fourth-floor walk-out patio, set-back and overlooking the park to the north, caps the entry sequence while offering users a brief area of respite from the consultation and conference rooms within.



Quarried Stone



Face Brick



Metal Wall Panel

The Primary Care and Family Medicine portion of the building is identified with a dark, iron-spot, velour clay brick and repetitive punched windows. Set back from the specialty services block, it serves as a sturdy back up to the glass and wall panel foreground. Solid stone walls anchor the various building components together. The locally quarried limestone (Fond du Lac) was selected to celebrate Prevea's interest in locally procured materials and longevity within a community.

Together the various exterior elements and forms articulate the program, provide a sense of scale to the building, and unify Prevea's branded architecture throughout the state.



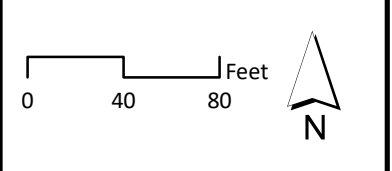
Bird's Eye View of location on St. Nick's Campus



Proposed Prevea MOB Development
 City of Sheboygan
 Sheboygan County, WI

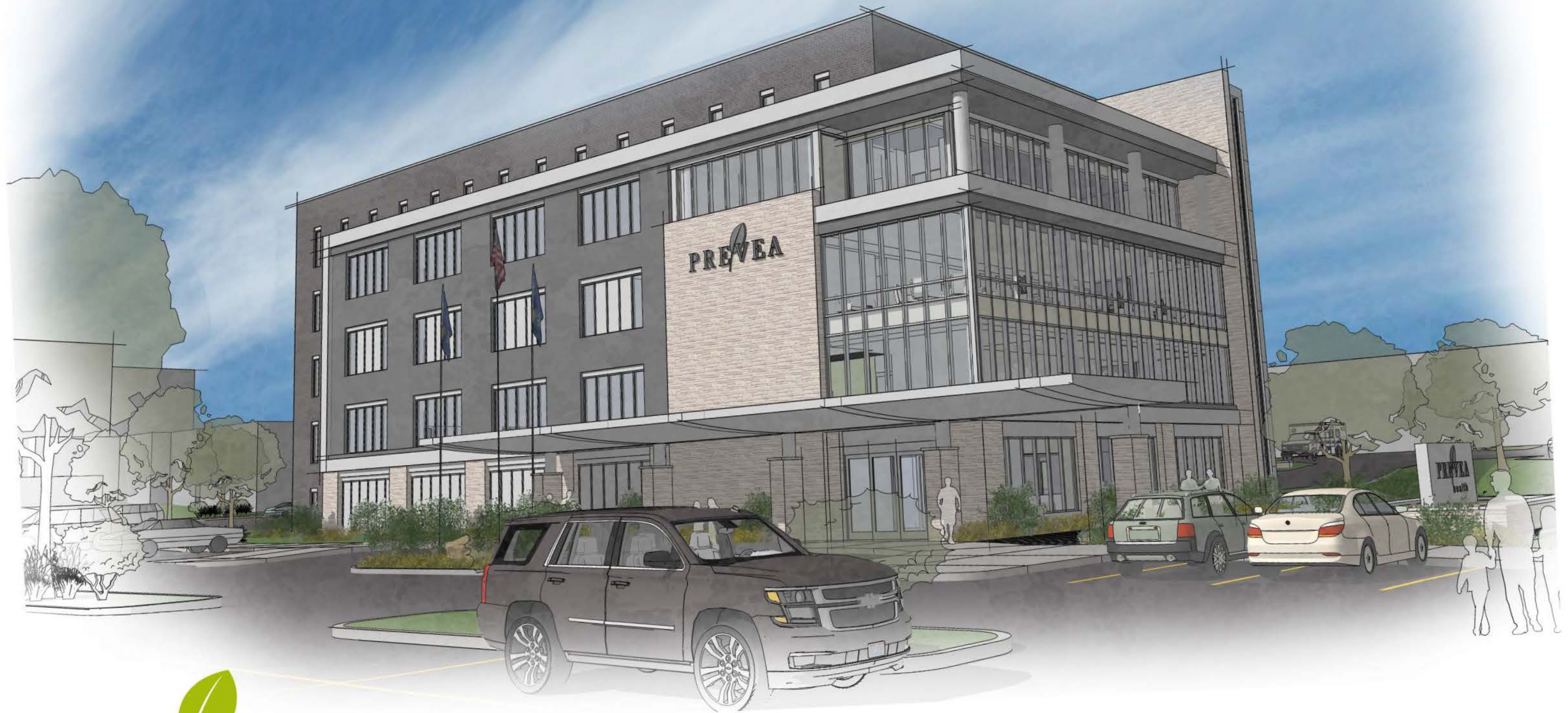
DATE: 1/3/2018
 JOB: 0978012
 DRAWN: PFO

Legend	
	PR Building
	PR Canopy
	PR Curb Line
	No Parking Area
	PR Concrete
	Parcels
	Future Curb Line
	PR Concrete Line
	PR Parking Striping
	PR Pond
	PR Asphalt



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 ESRI, Sheboygan County
 Disclaimer: Robert E. Lee & Associates, Inc. makes every effort to ensure the map is free of errors but does not warrant the map or its contents. Robert E. Lee & Associates, Inc. provides this map as a service to its clients and does not assume any liability for errors or omissions. Robert E. Lee & Associates, Inc. is not responsible for any errors or omissions.

Robert E. Lee & Associates, Inc.
 Engineering, Surveying and Environmental Services
 1250 Centennial Centre Boulevard, Hobart, WI 54155
 Phone: (920) 862-9641 FAX: (920) 862-9141
 www.releinc.com

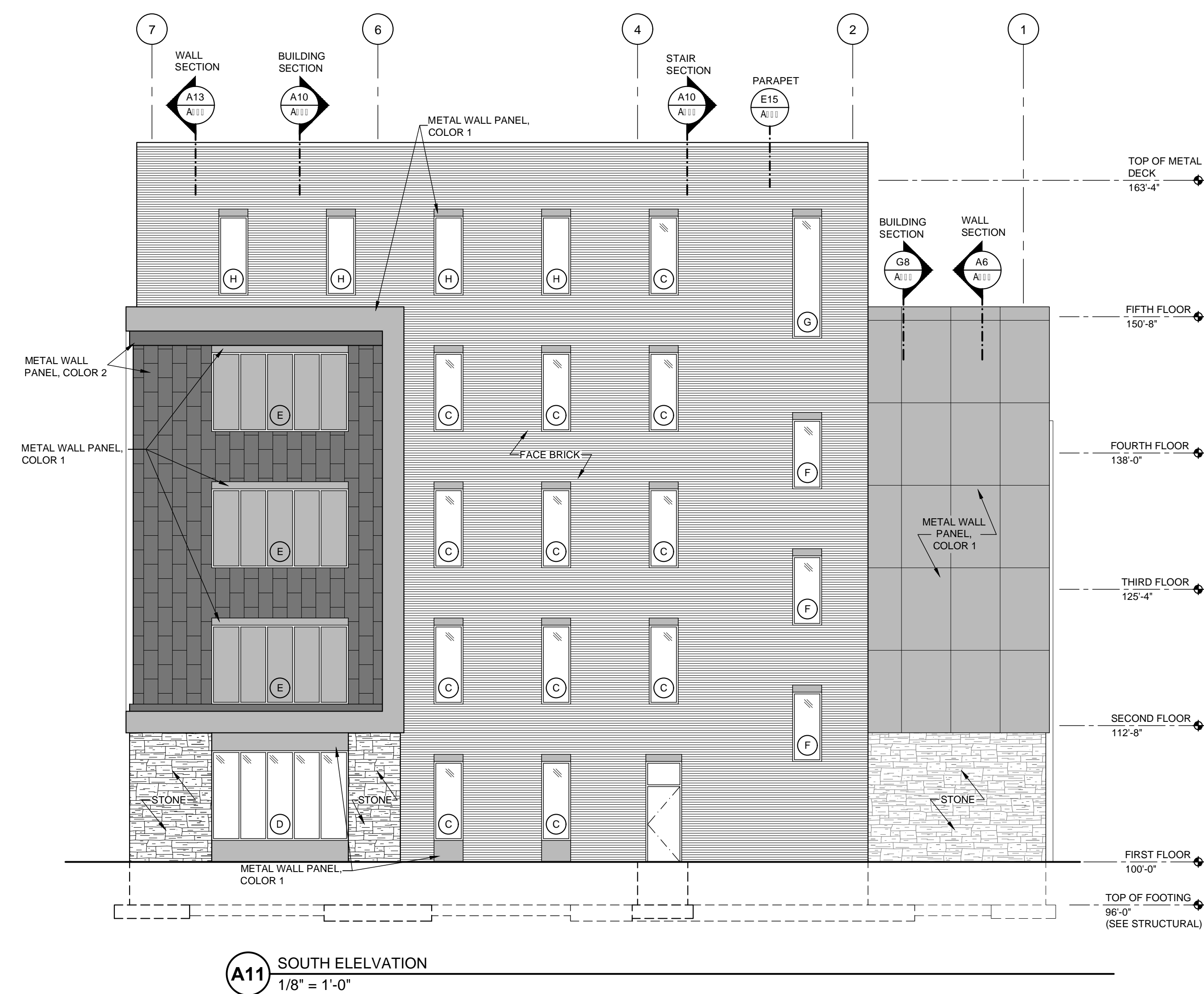
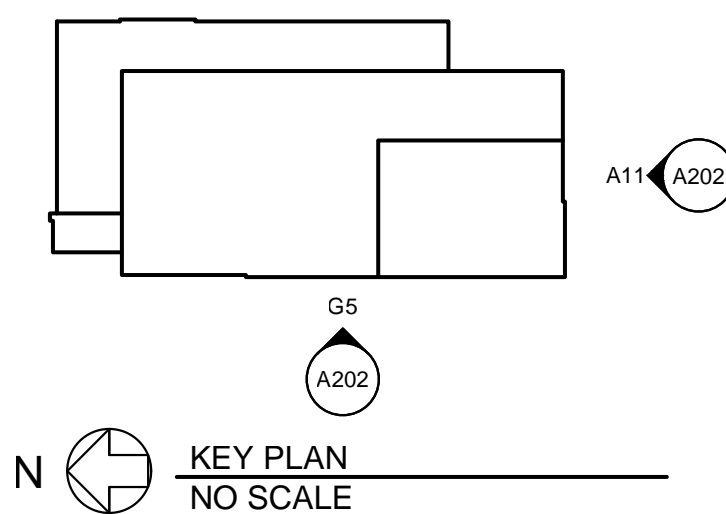
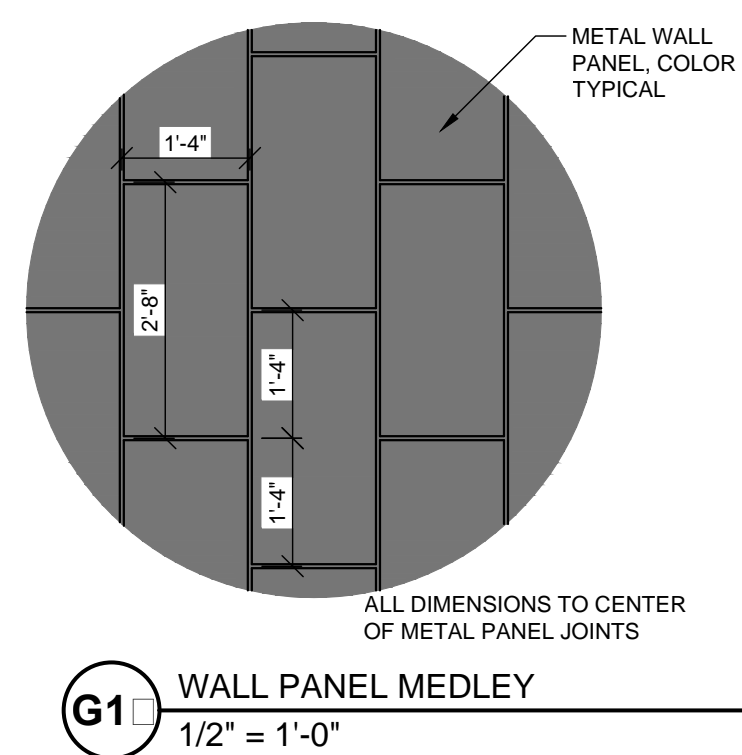


PREVEA
health

**BERNERS
SCHOBER**
architecture + engineering + interiors

RODAC
DEVELOPMENT & CONSTRUCTION LLC

WINDOW DETAIL LEGEND			
WINDOW	HEAD	JAMB	SILL
A	F4/A505	E13/A505	A13/A505
B	A12/A506	E13/A505	A13/A505
B1	A12/A506	H13/A505	A13/A505
C	H9/A505	E9/A505	A9/A505 B5/A505
D	A12/A506	E13/A505	A13/A505
E	G6/A506	J12/A506	A12/A506 B6/A506
F	G2/A506	E2/A506	B2/A506
G	G2/A506	E2/A506	B2/A506
H	E13/A507	C13/A507	A13/A507
J	F8/A507	C8/A507	-
K			
L			F4/A505
M			
N			
P			
Q			



OWNER REVIEW SET

PREVEA ST. NICHOLAS
MEDICAL OFFICE
BUILDING



Street | Sheboygan, WI 53081

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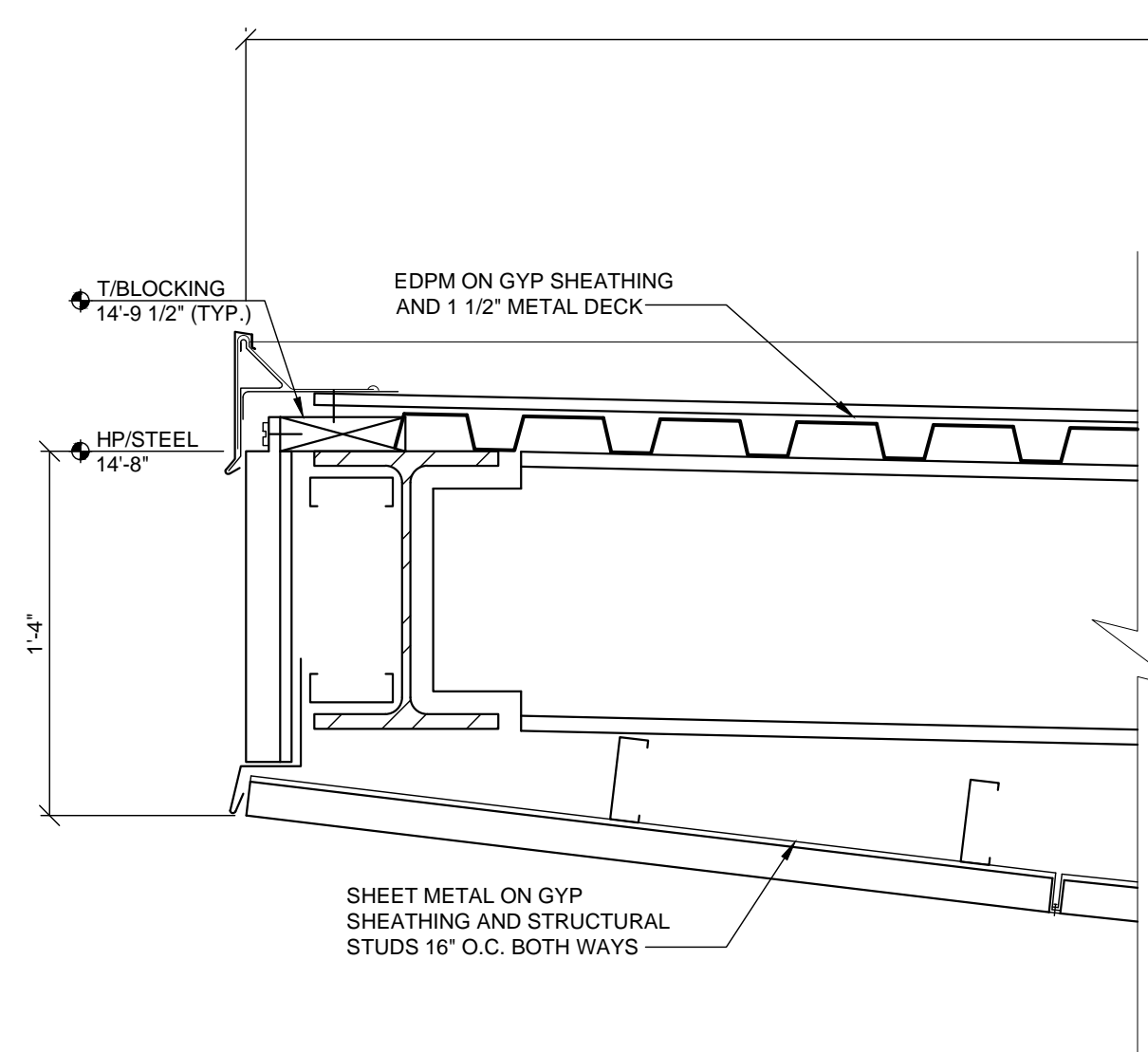
OWNER REVIEW SET 12-22-2017

ELEVATIONS WEST AND SOUTH

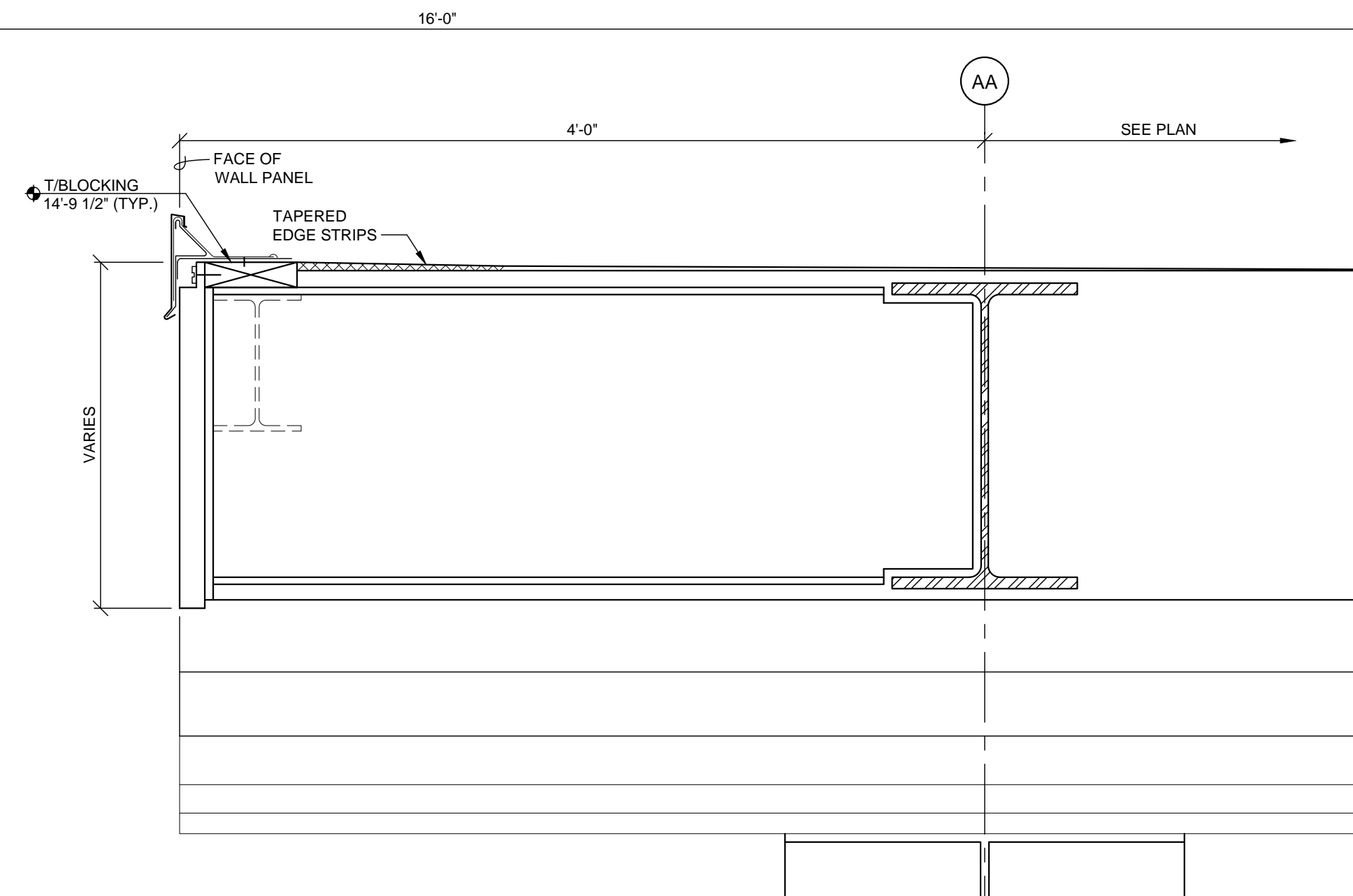
A202
58 2.00

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COMMISSION

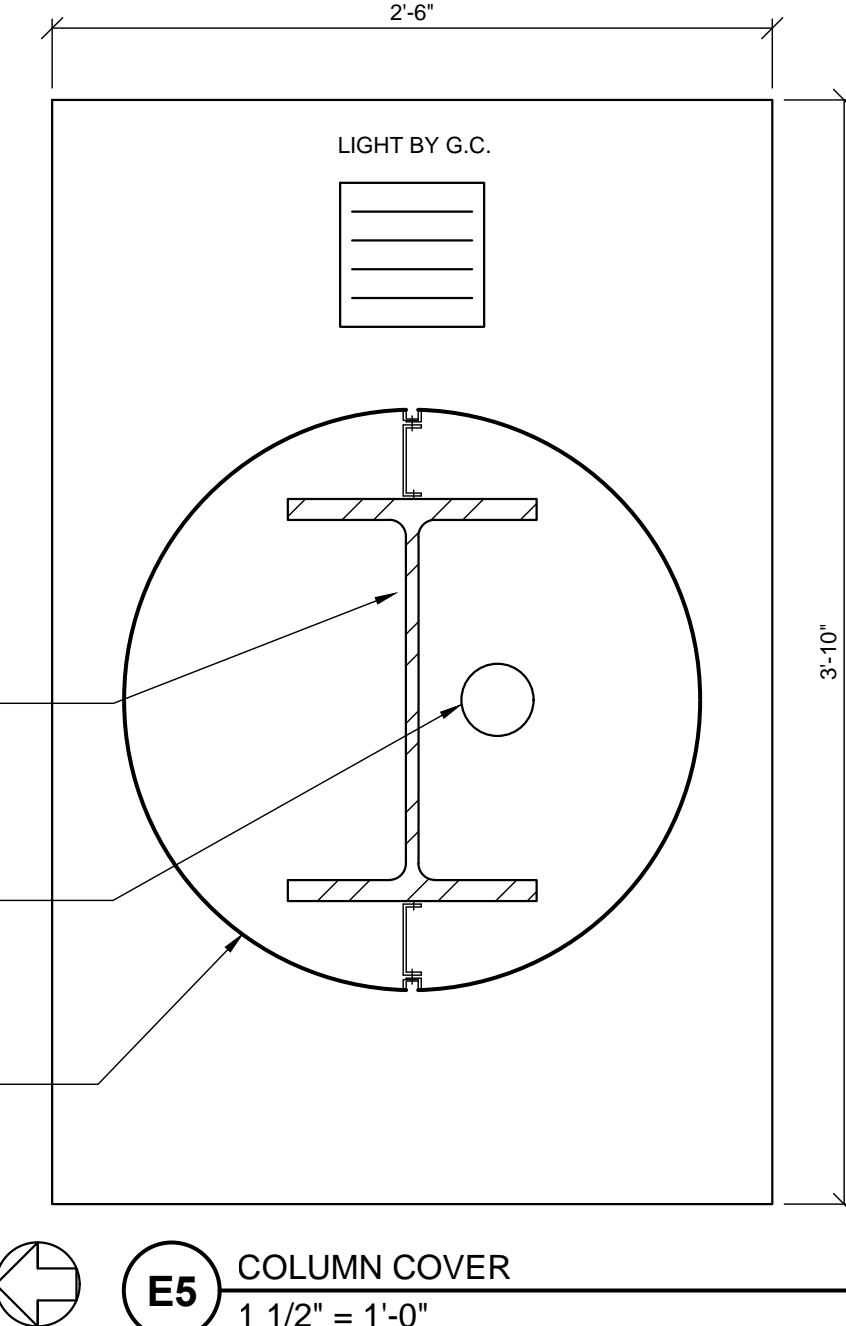
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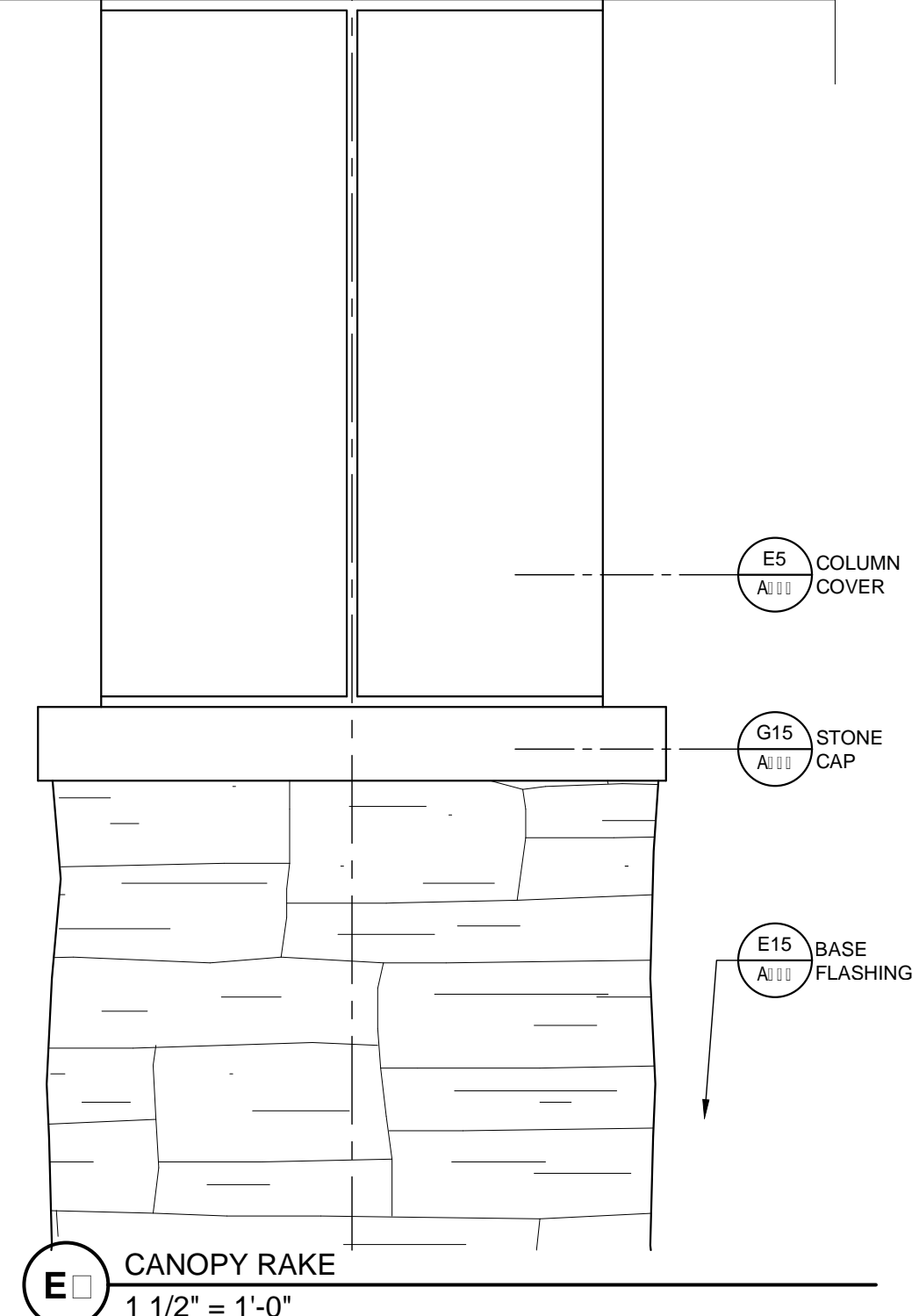
H1 CANOPY FASCIA
1 1/2" = 1'-0"



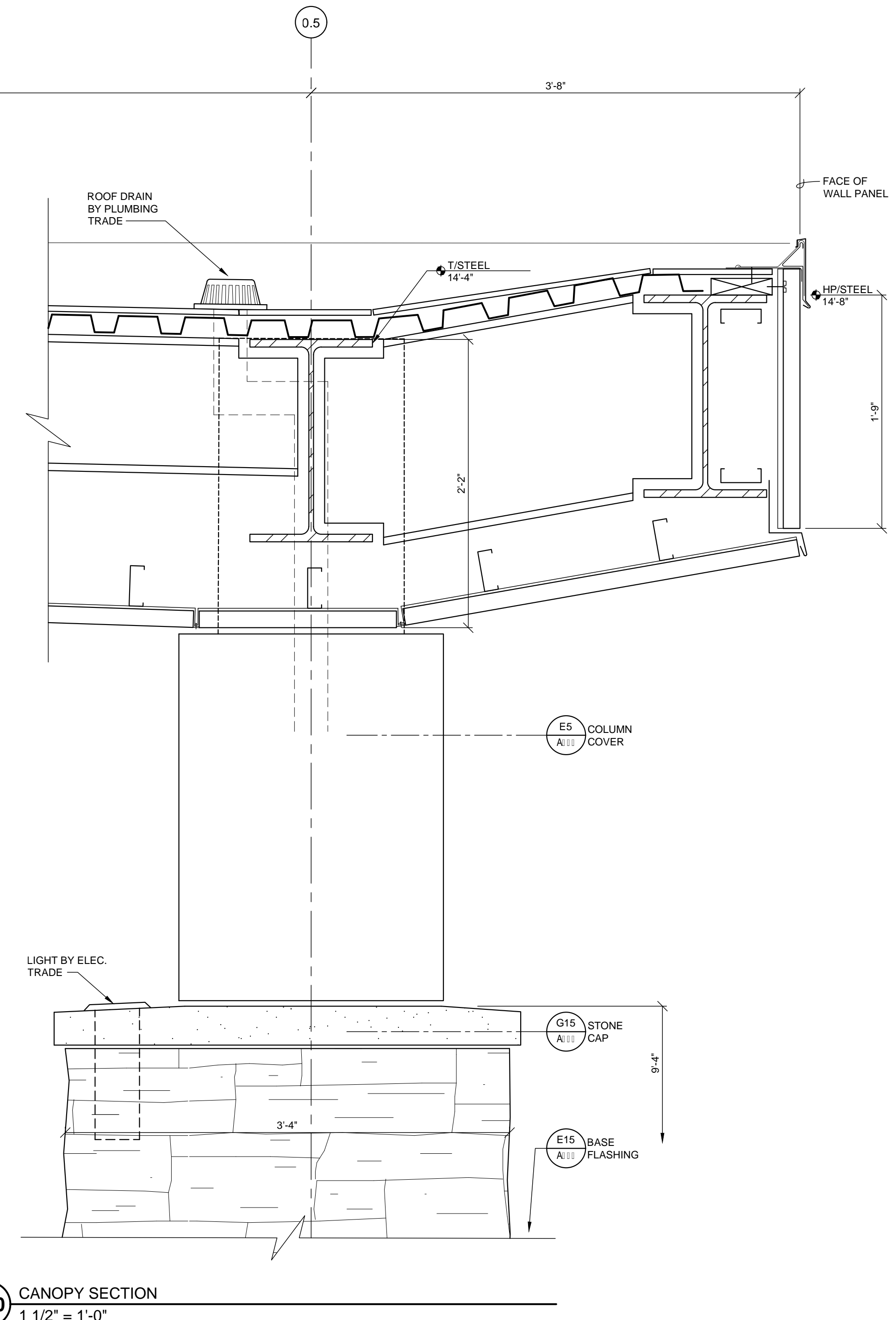
E1 COLUMN PLAN SECTION
1 1/2" = 1'-0"



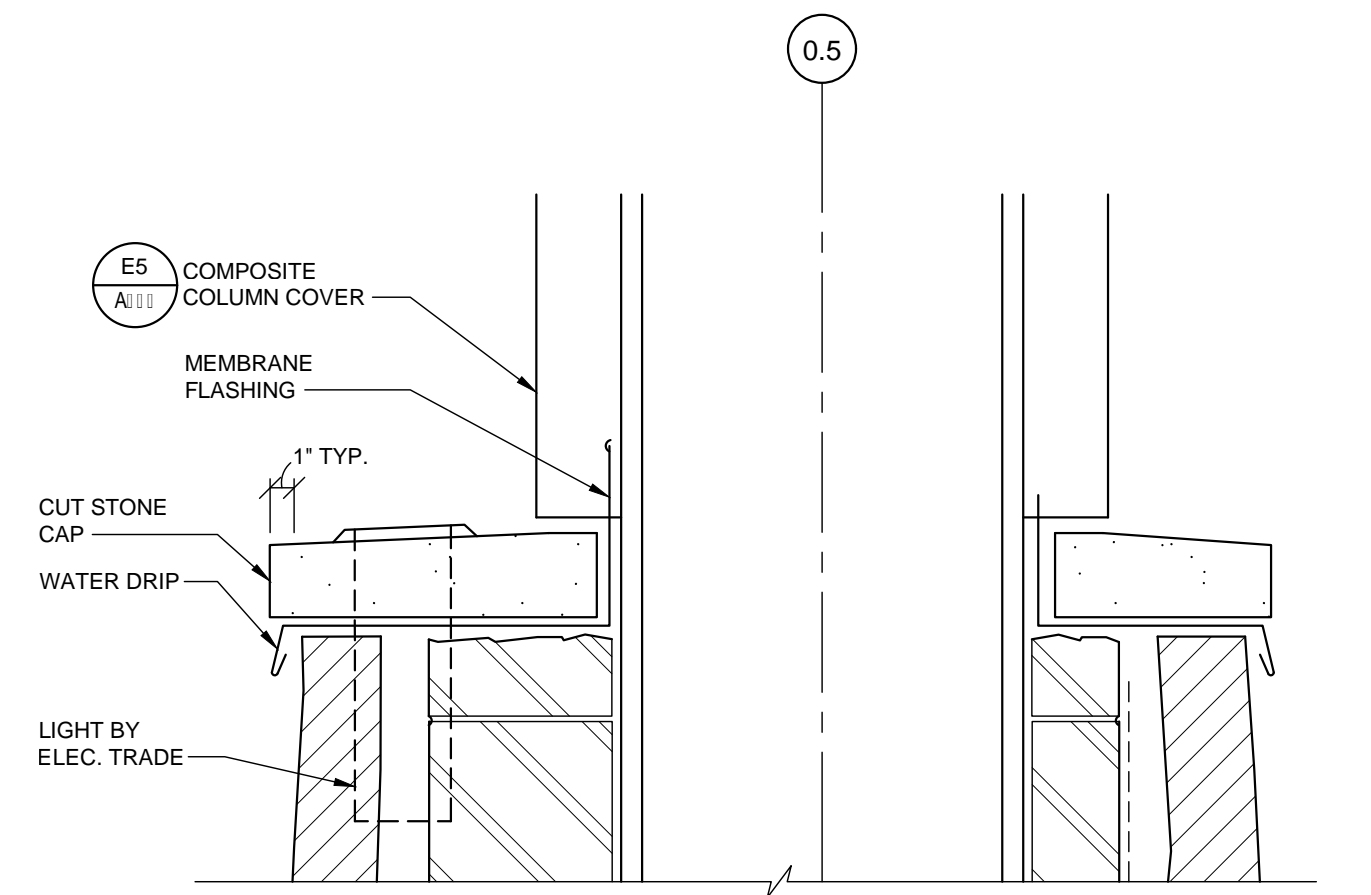
E5 COLUMN COVER
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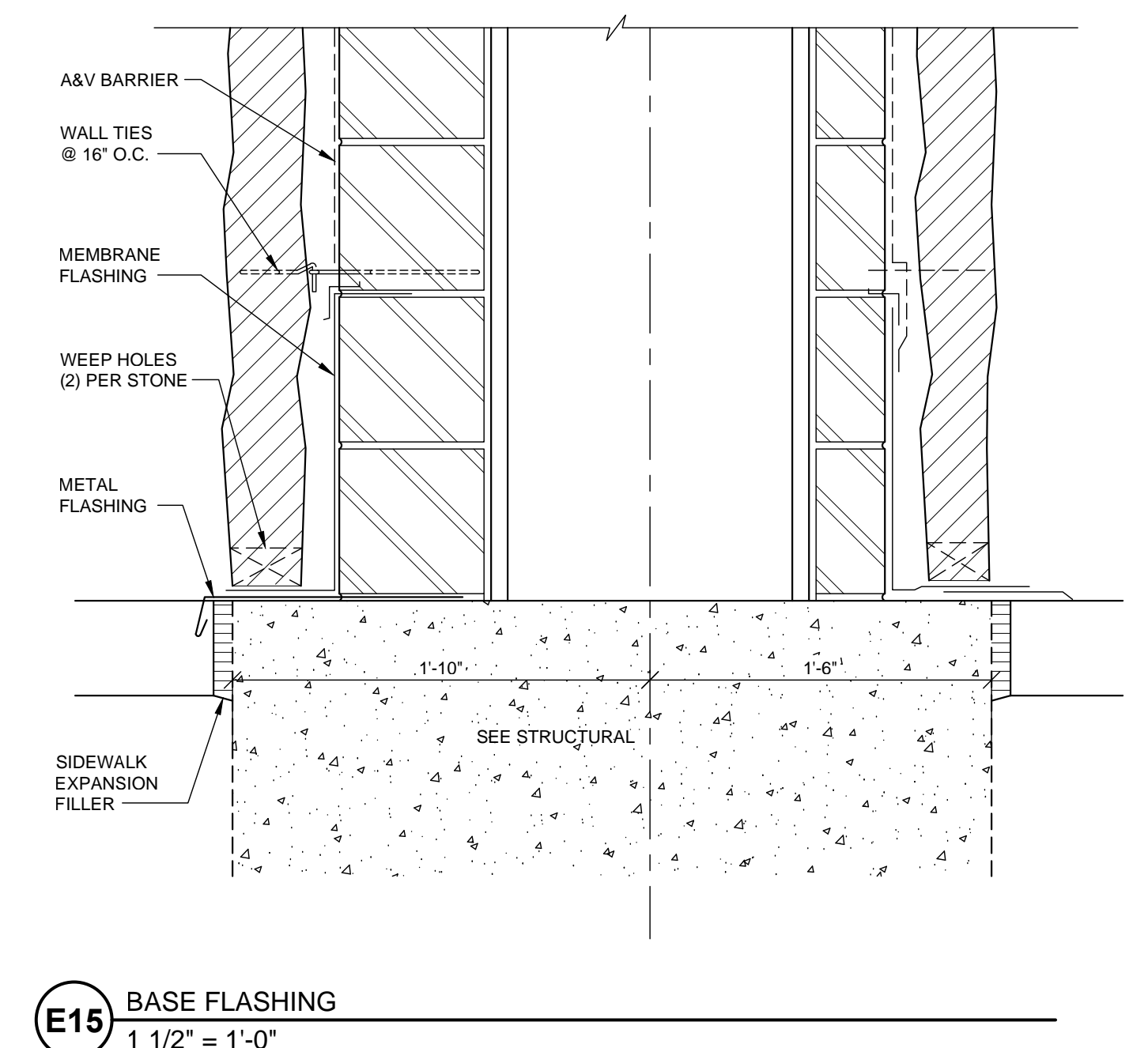
E2 CANOPY RAKE
1 1/2" = 1'-0"



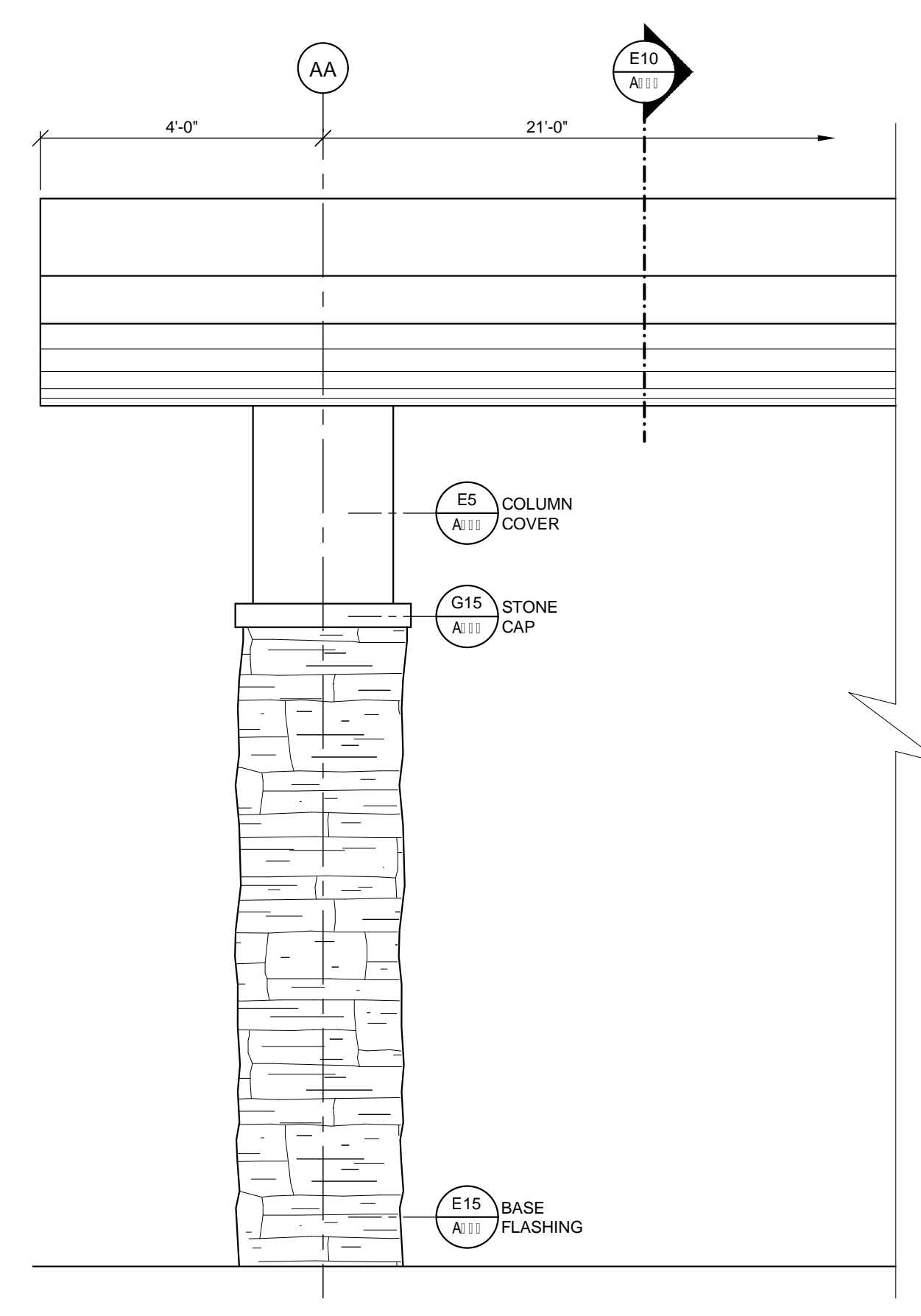
E10 CANOPY SECTION
1 1/2" = 1'-0"



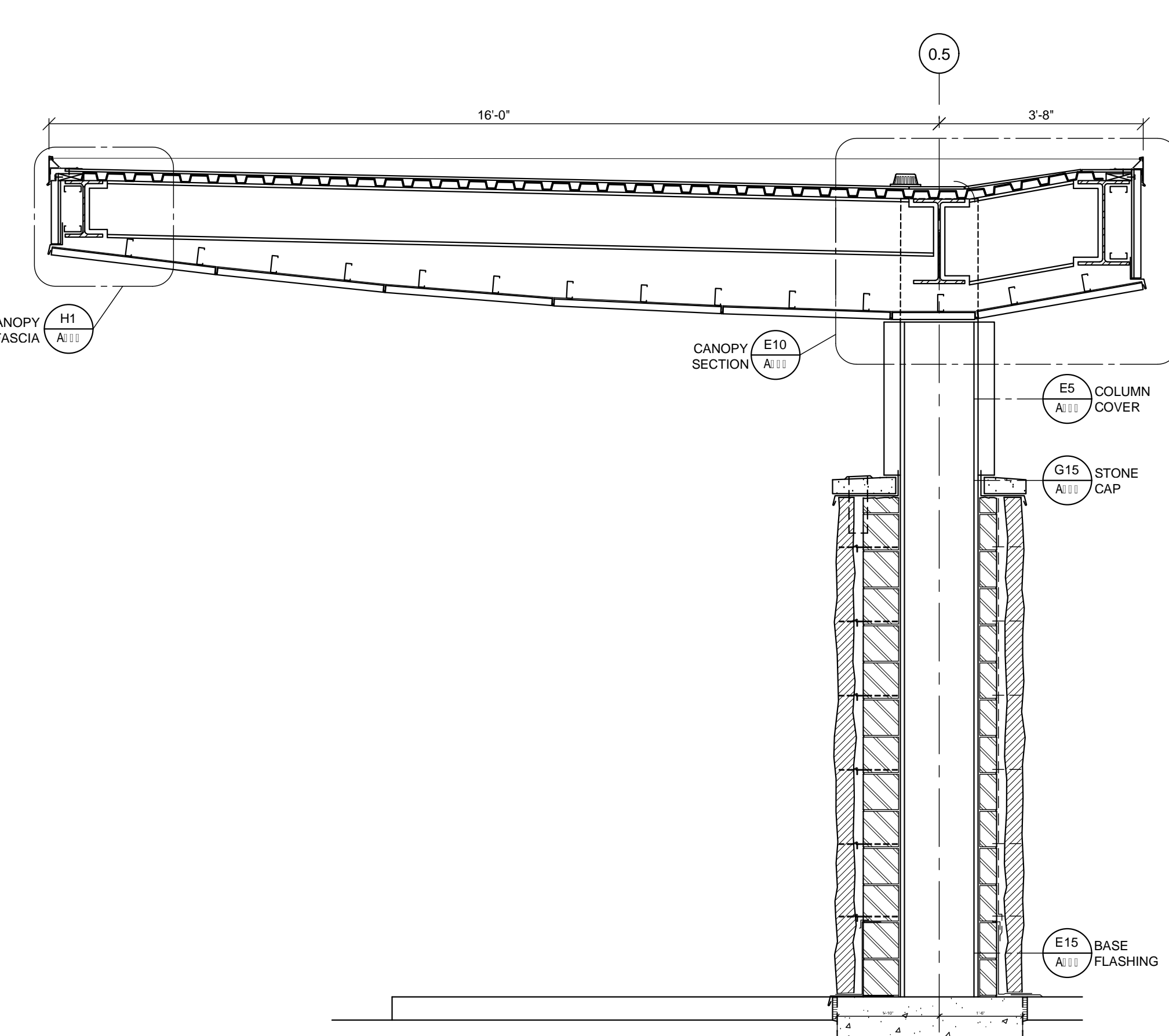
G15 STONE CAP
1 1/2" = 1'-0"



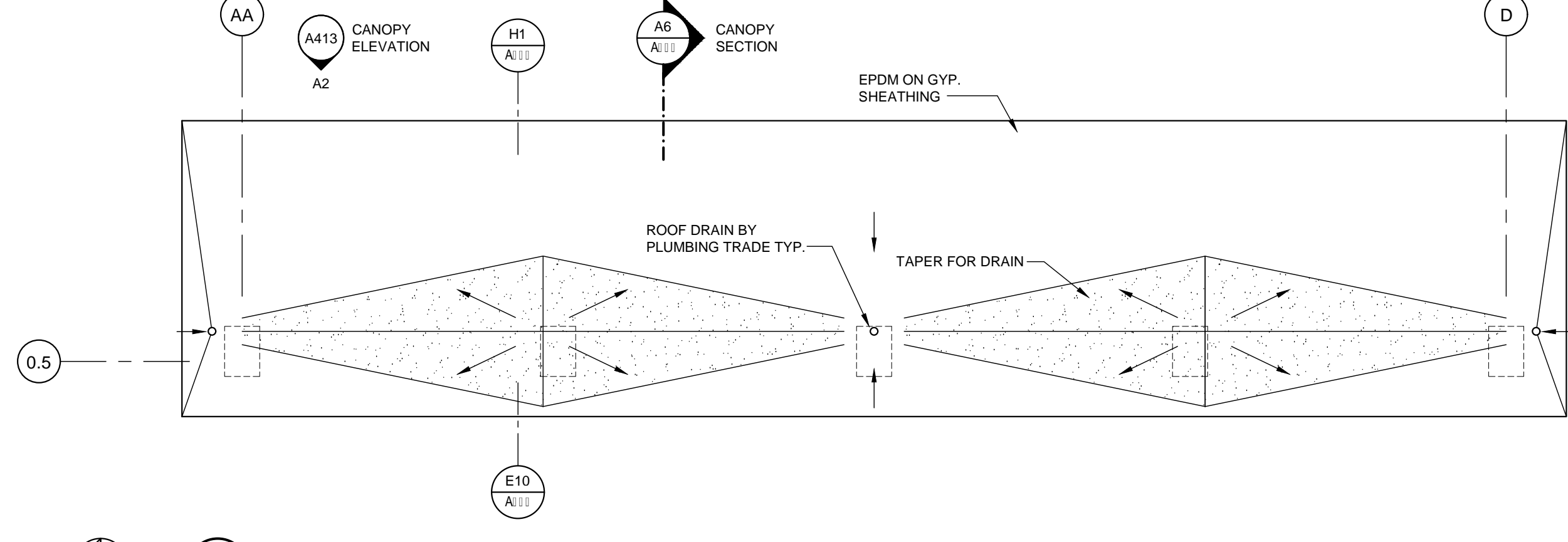
E15 BASE FLASHING
1 1/2" = 1'-0"



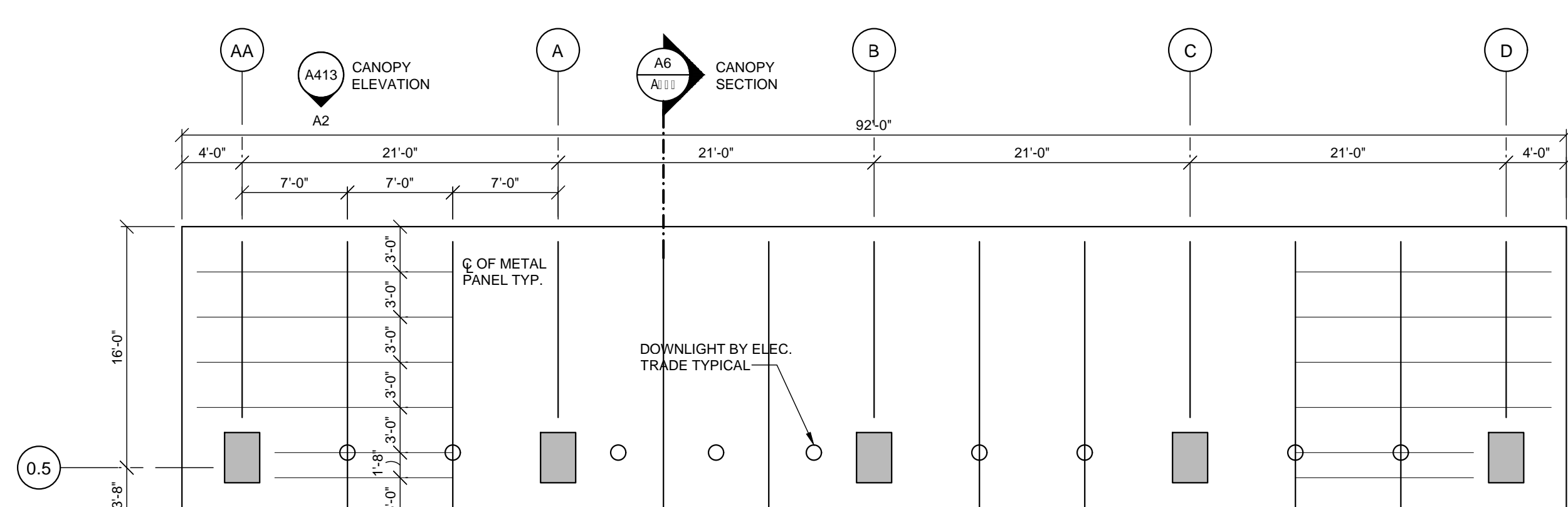
A2 CANOPY ELEVATION
1/2" = 1'-0"



A1 CANOPY SECTION
1/2" = 1'-0"



C11 CANOPY ROOF PLAN
1/8" = 1'-0"



A11 CANOPY REFLECTED CEILING PLAN
1/8" = 1'-0"

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BUILDING



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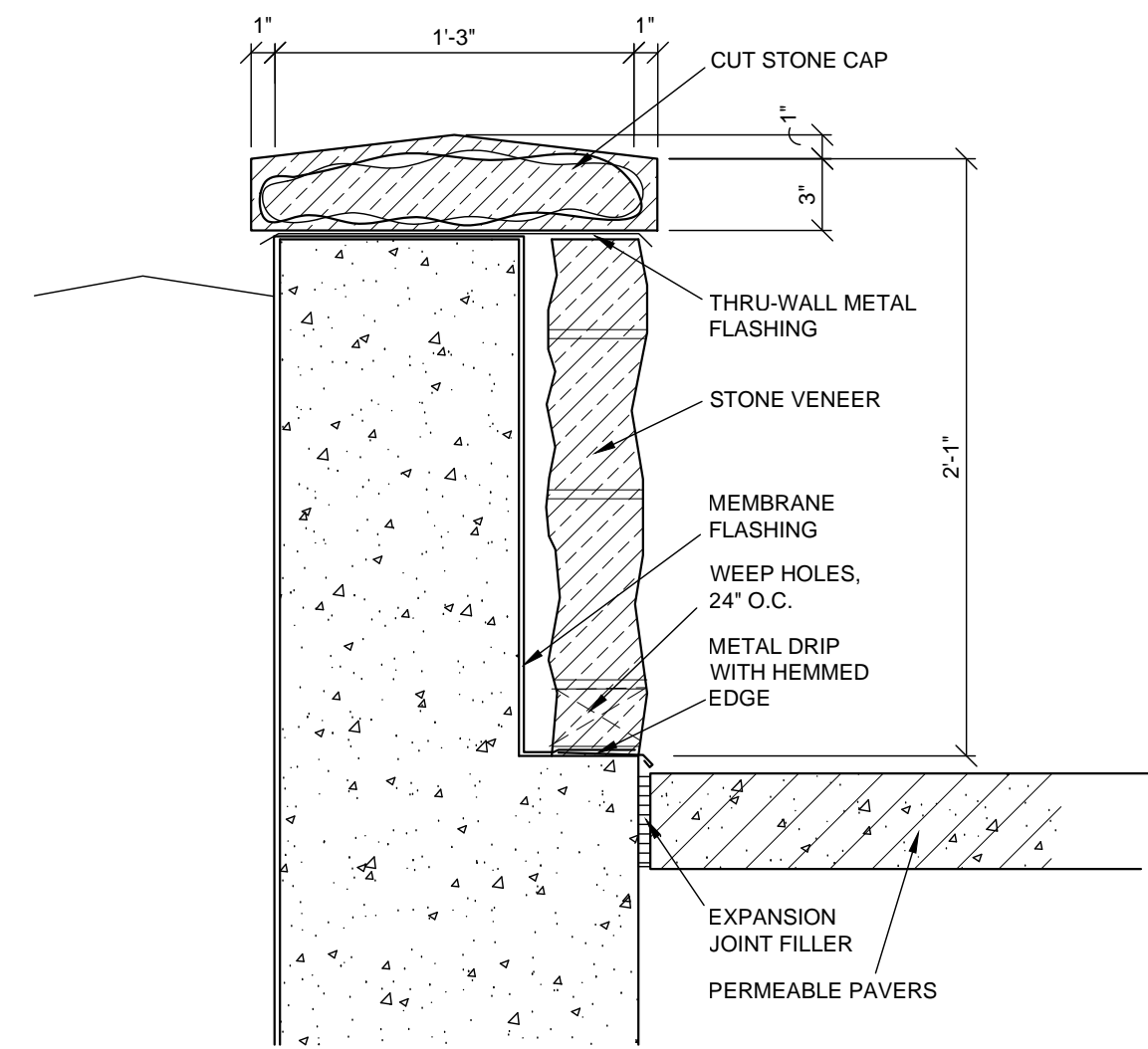
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CANOPY DETAILS

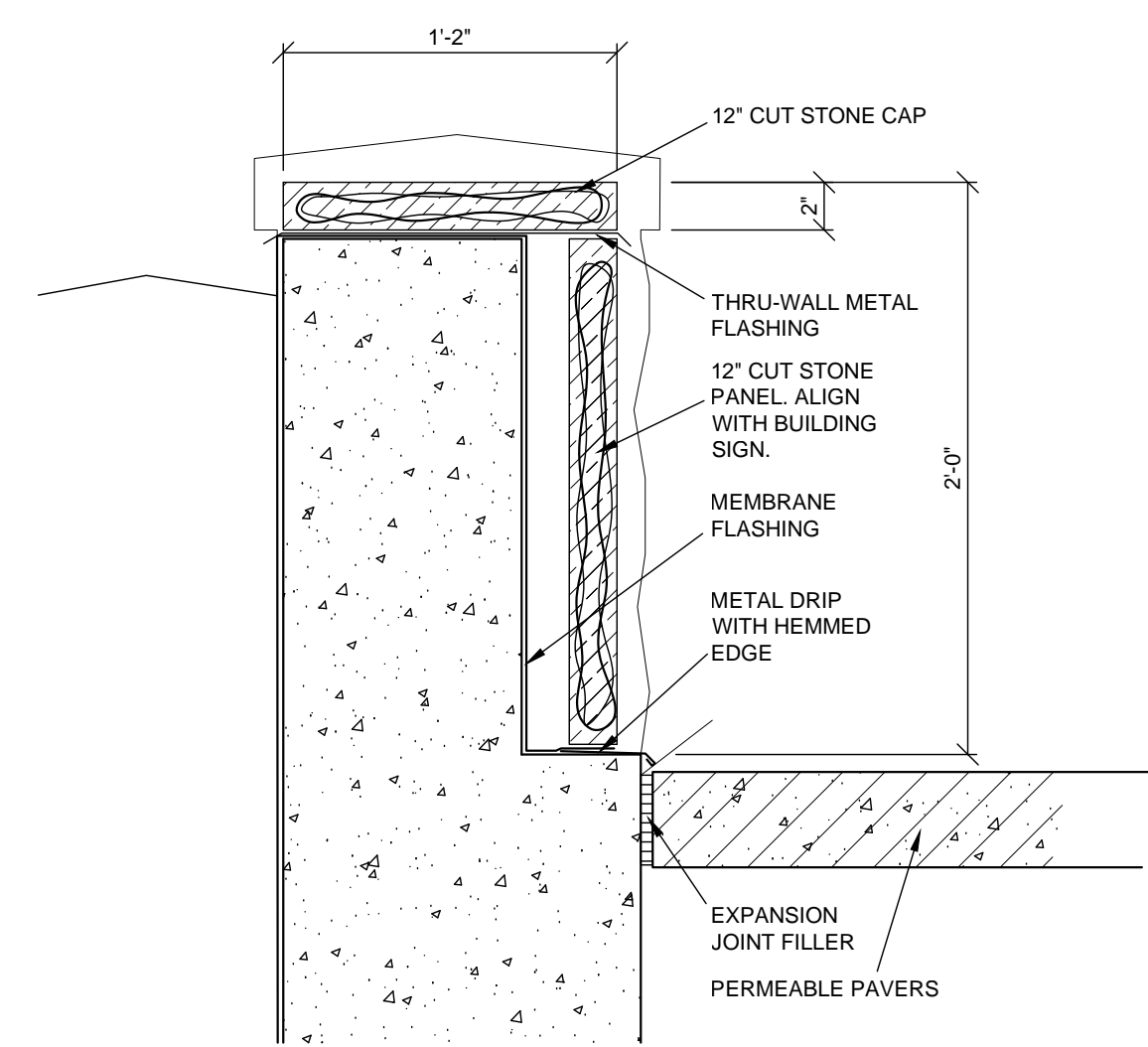
A413

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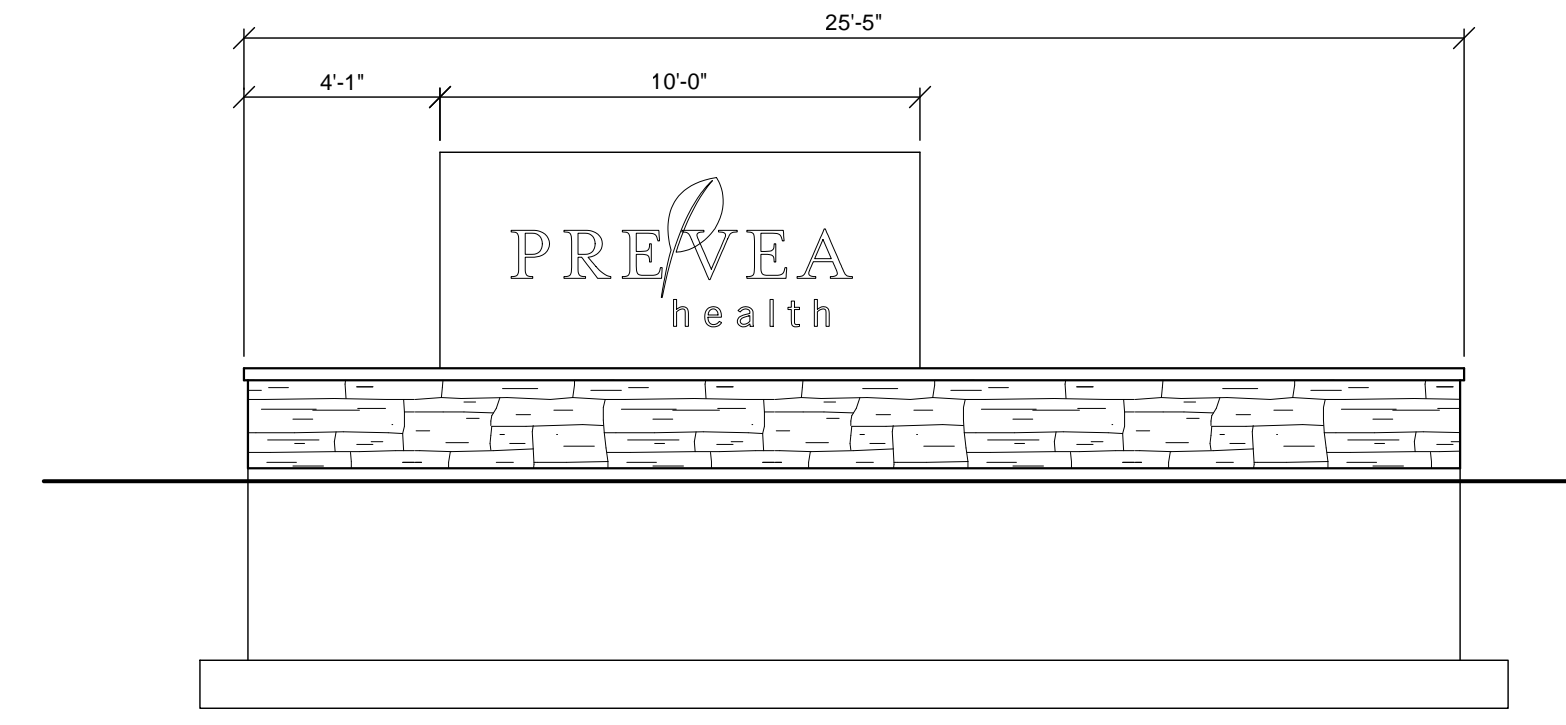
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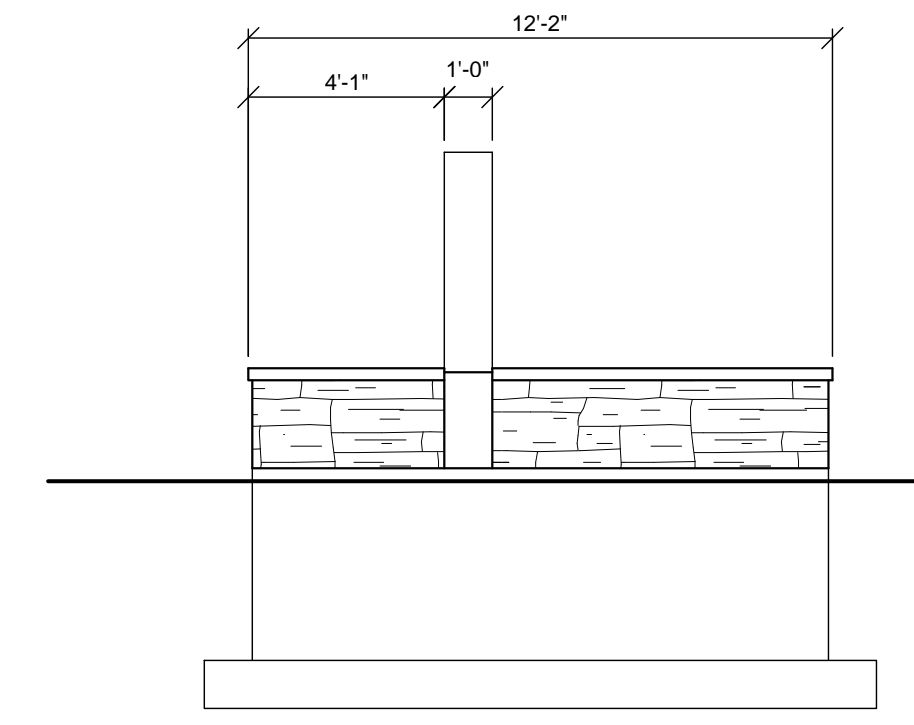
H3 PLANTER SECTION
1 1/2" = 1'-0"



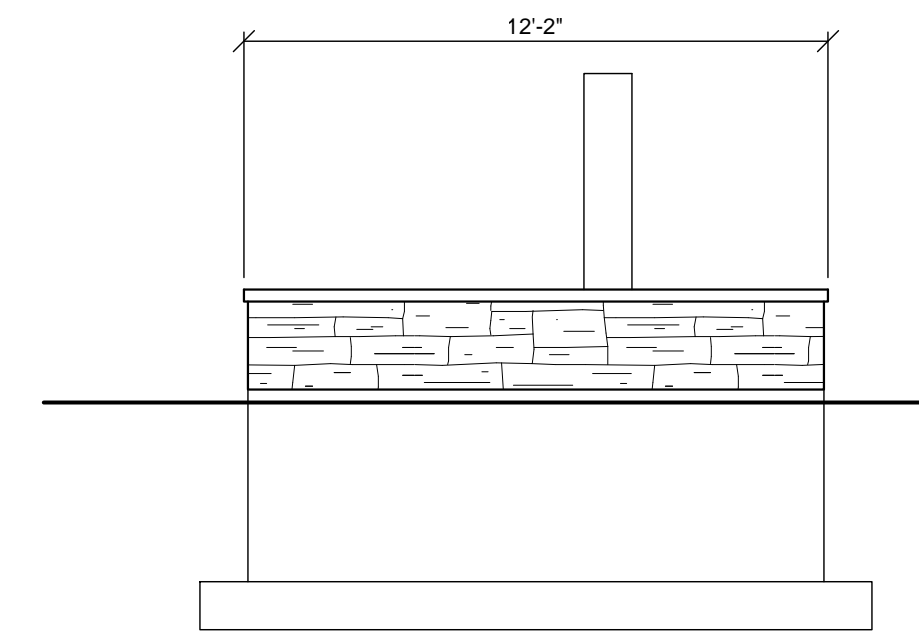
H STONE REVEAL
1 1/2" = 1'-0"



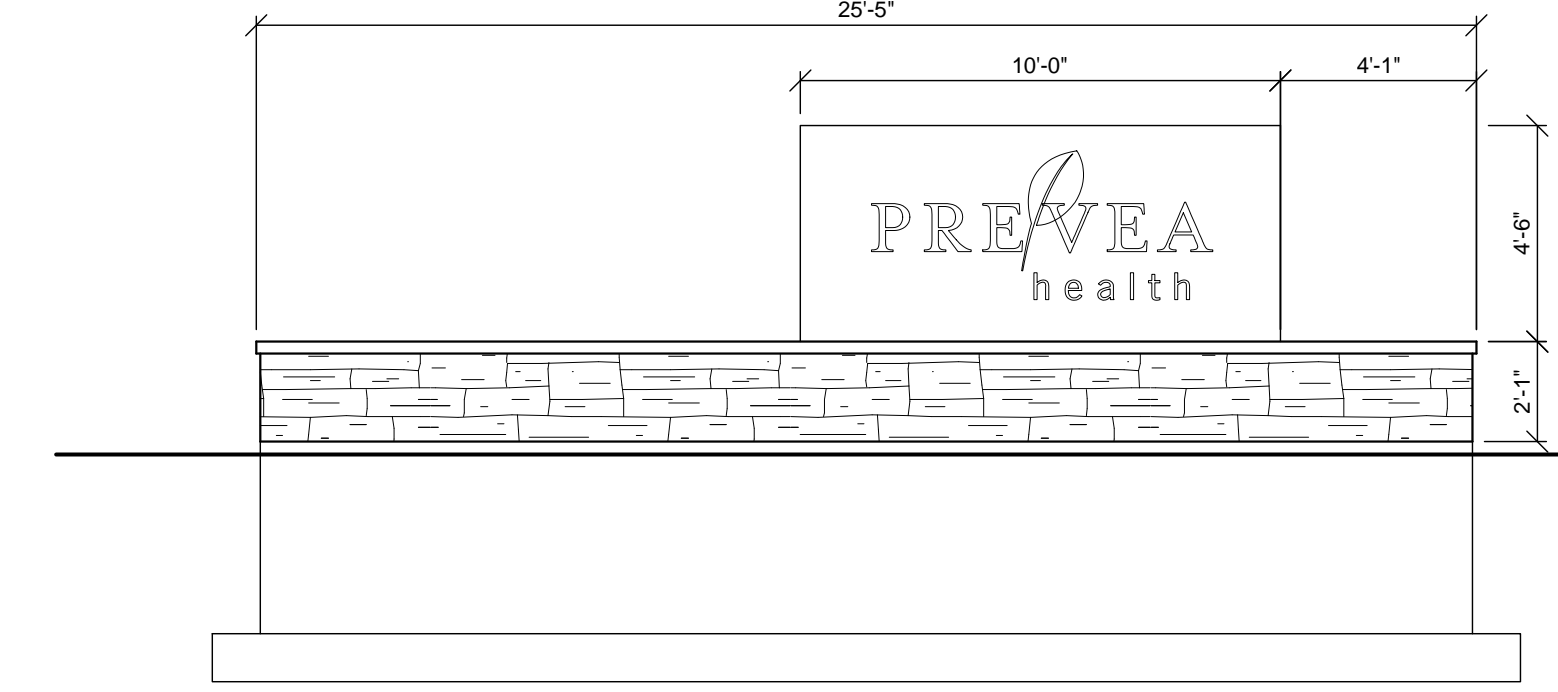
H11 PLANTER - LOOKING NORTH
1/4" = 1'-0"



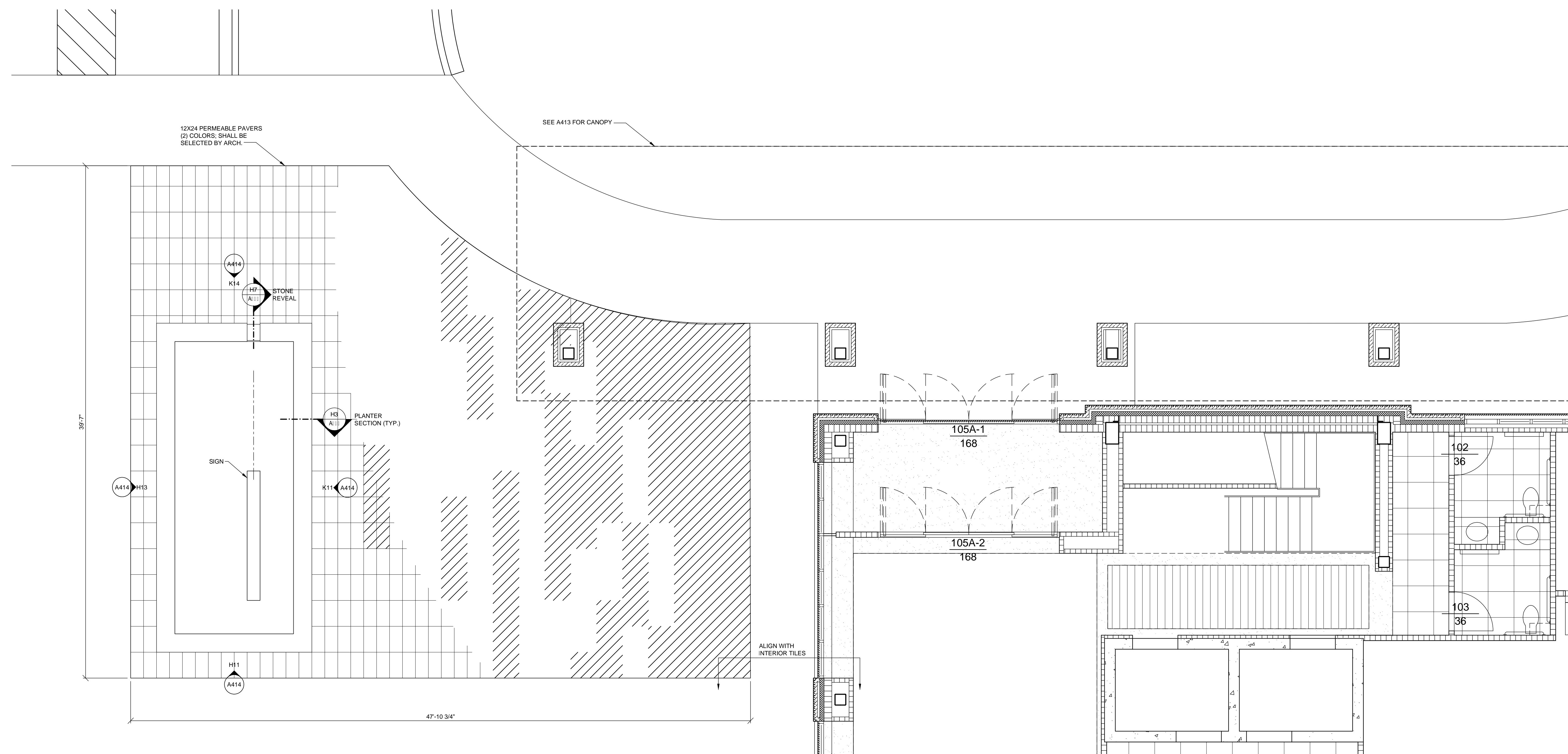
H14 PLANTER - LOOKING WEST
1/4" = 1'-0"



H11 PLANTER - LOOKING EAST
1/4" = 1'-0"



H13 PLANTER - LOOKING SOUTH
1/4" = 1'-0"



A5 PLAZA PLAN
1/4" = 1'-0"

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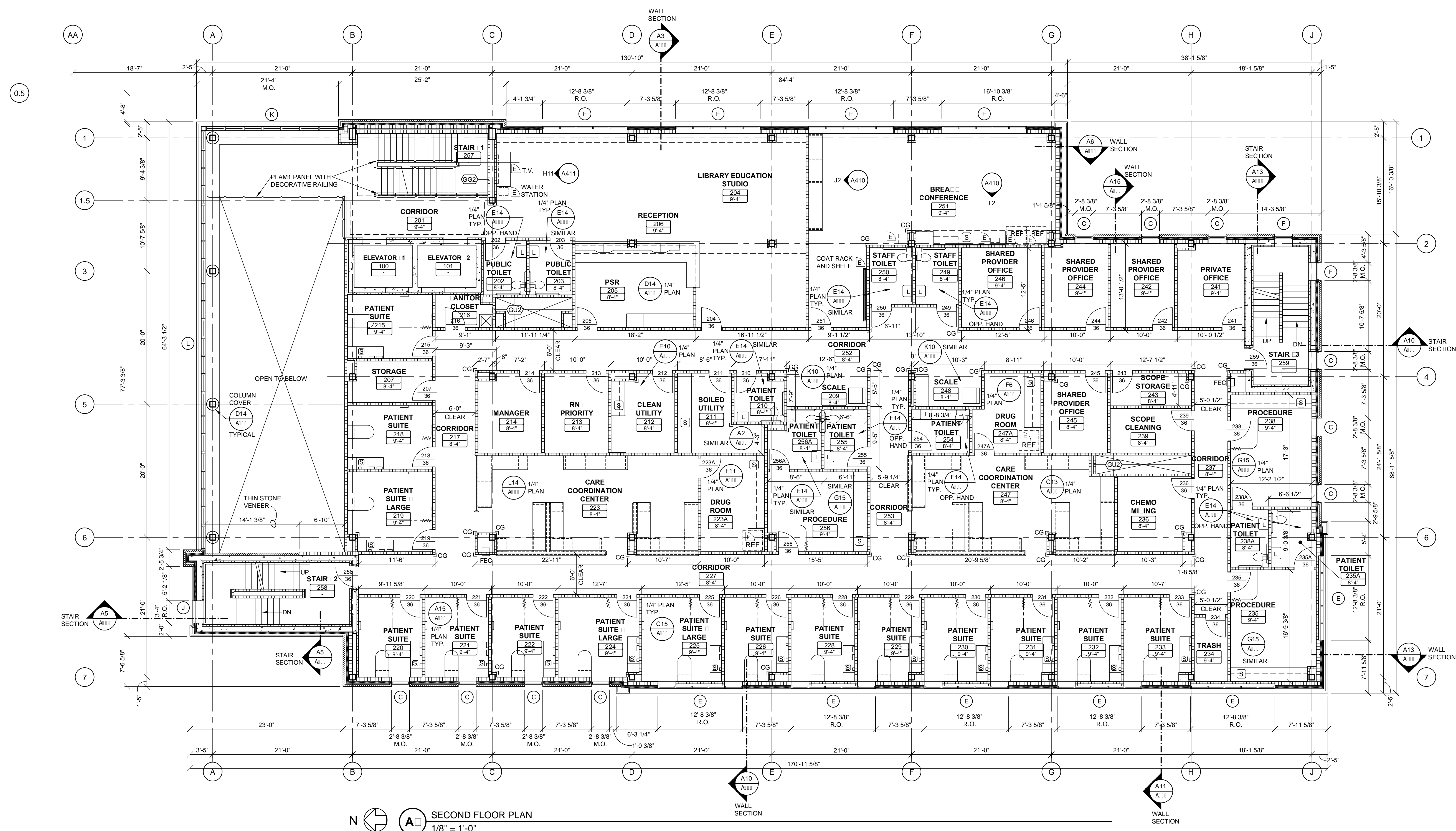
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010819 18 A414 PLAZA DETAILS gph/ps



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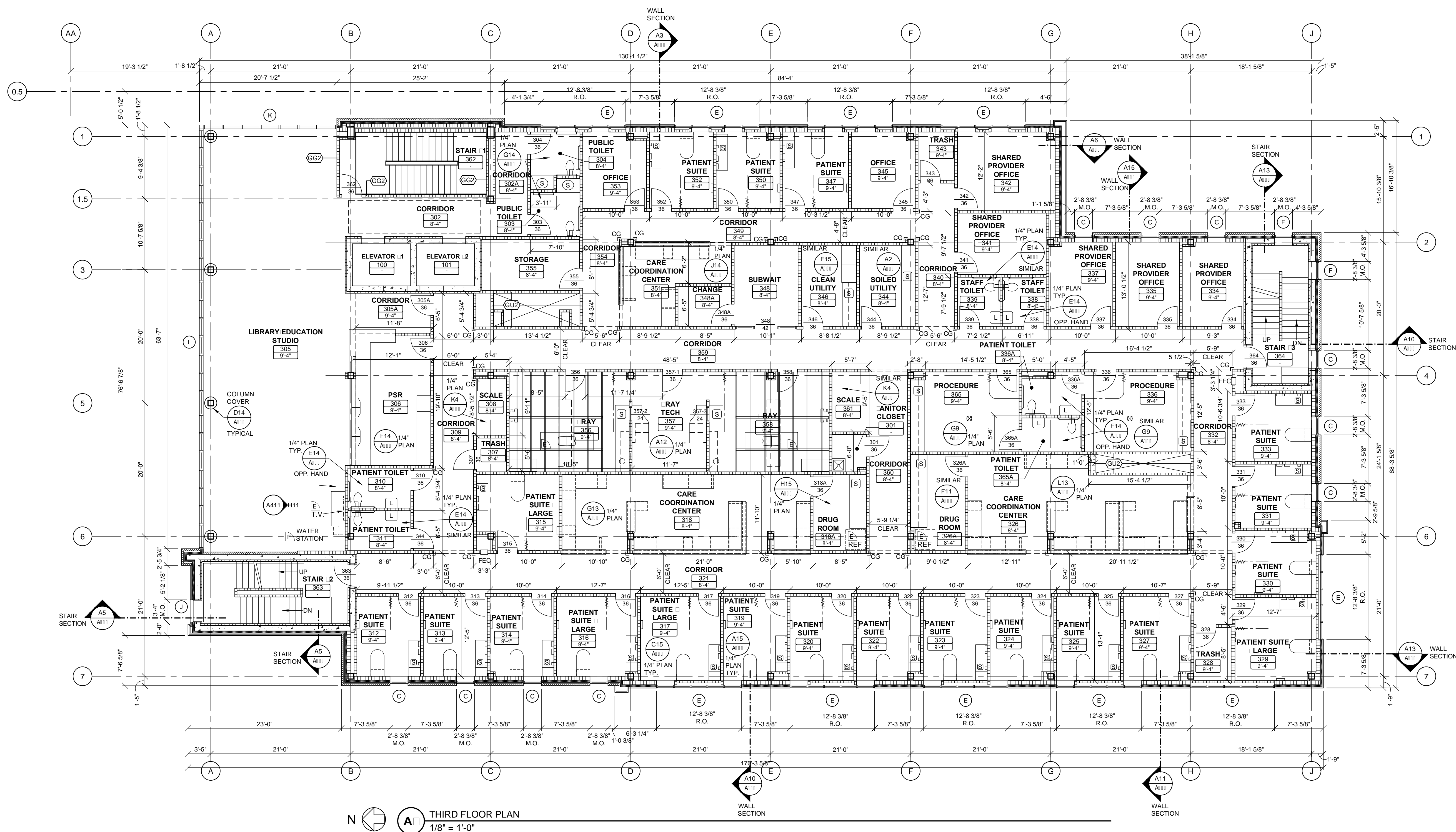
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SECOND FLOOR PLAN

A102

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THIRD FLOOR PLAN
1/8" = 1'-0"

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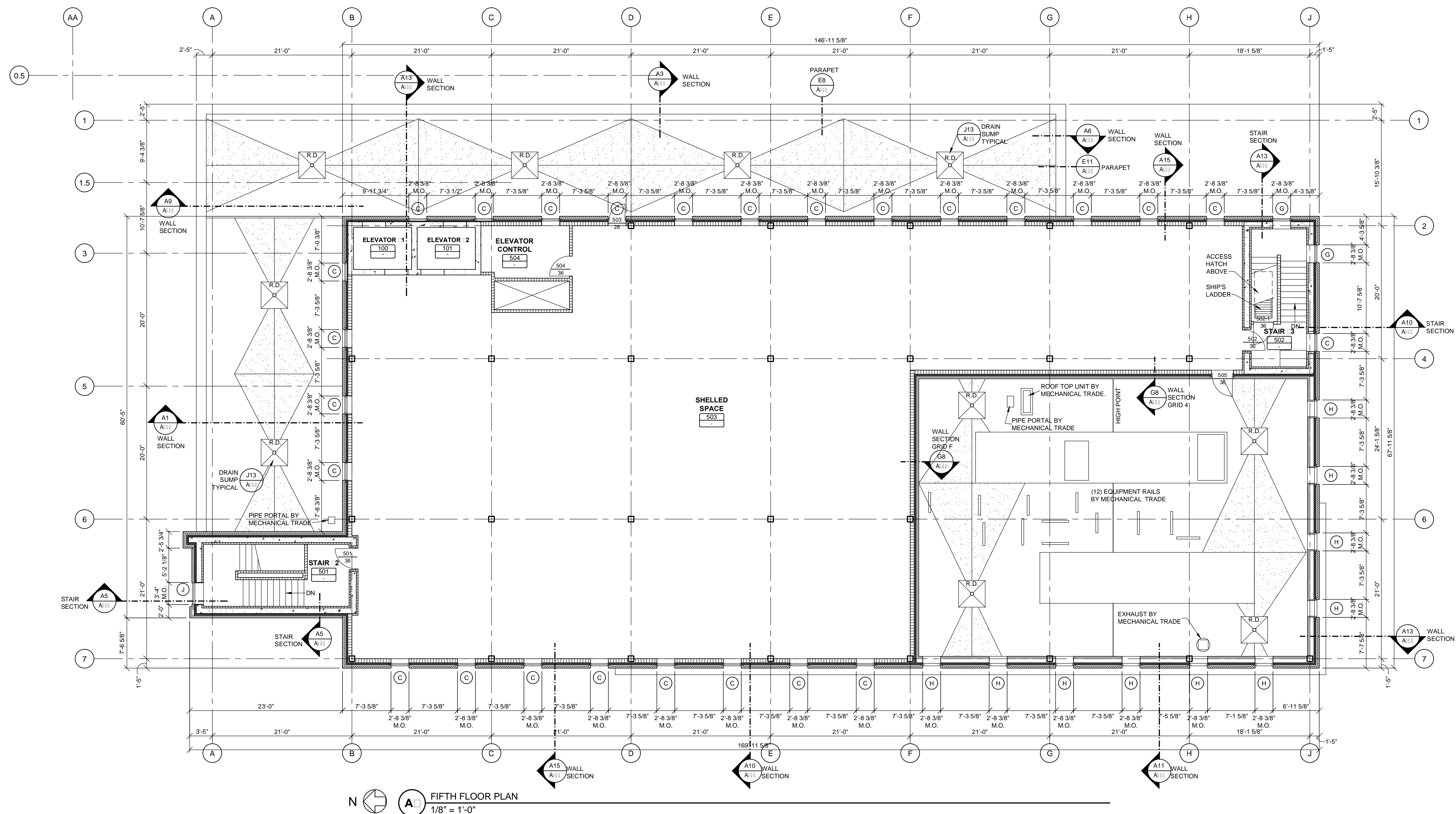
THIRD FLOOR PLAN

A103

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010819 587200A103 schaney



FIFTH FLOOR PLAN
 1/8" = 1'-0"

OWNER REVIEW SET

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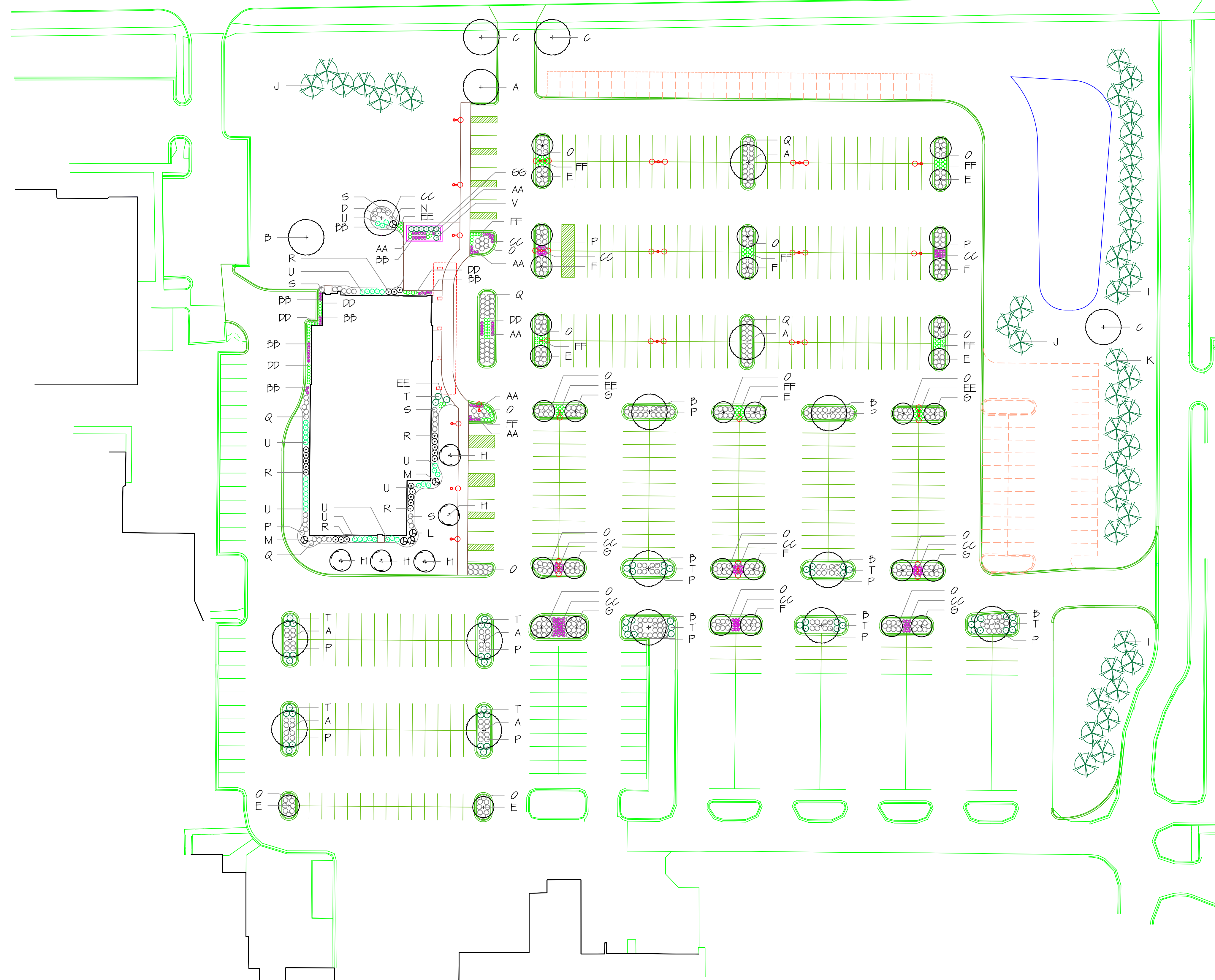
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FIFTH FLOOR PLAN

A105

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PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
A	7	Acer fromanii 'Autumn Blaze'	AUTUMN BLAZE MAPLE	2"	BB
B	7	Celtis occidentalis	COMMON HACKBERRY	2"	BB
C	3	Quercus bicolor	SWAMP WHITE OAK	2"	BB
D	1	Gleditsia tria. inermis 'Skyline'	SKYLINE HONEYLOCUST	2"	BB
E	12	Syringa reticulata 'hony Silk'	IVORY SILK TREE LILAC	2"	BB
F	10	Malus 'Purple Prince'	PURPLE PRINCE CRABAPPLE	2"	BB
G	12	Malus 'Adirondack'	ADIRONDACK CRABAPPLE	2"	BB
H	5	Amelanchier	AUTUMN BRILLIANCE SERVICEBERRY	2"	BB
I	22	Picea albaica densata	BLACK HILLS SPRUCE	5'	BB
J	10	Picea americana	SERBIAN SPRUCE	5'	BB
K	11	Pinus nigra	AUSTRIAN PINE	5'	BB
L	3	Hydrangea paniculata 'Limelight'	LIMELIGHT HYDRANGEA	5 GAL.	CONT.
M	2	Syringa meyeri 'Pallean'	DWARF KOREAN LILAC	5 GAL.	CONT.
N	1	Viburnum dentatum 'Christom'	BLUE MUFFIN VIBURNUM	5 GAL.	CONT.
O	247	Spiraea betulifolia 'Tor'	TOR BIRCHLEAF SPIREA	3 GAL.	CONT.
P	150	Spiraea japonica 'Mertensii'	DAKOTA GOLDOCHARM SPIREA	3 GAL.	CONT.
Q	79	Spiraea nipponica 'Halward Silver'	HALWARD SILVER SPIREA	3 GAL.	CONT.
R	21	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	3 GAL.	CONT.
S	18	Hydrangea macrophylla 'PINK-II'	ENDLESS SUMMER BLOOMSTRUCK HYDRANGEA	3 GAL.	CONT.
T	63	Juniperus x pfitzeriana 'Kallay's Compact'	KALLAY'S COMPACT JUNIPER	3 GAL.	CONT.
U	34	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	3 GAL.	CONT.
V	8	Juniperus squamata 'Blue Star'	BLUE STAR JUNIPER	3 GAL.	CONT.
AA	35	Dianthus 'Firestone'	FIREWITCH DIANTHUS	1 GAL.	CONT.
BB	23	Heimericallis 'Paradise Me'	PARDON ME DAYLILY	1 GAL.	CONT.
CC	127	Nepeta x faassenii 'Walker's Low'	WALKER'S LOW CATMINT	1 GAL.	CONT.
DD	40	Calamagrostis x acutifolia 'Karl Foerster'	KARL FOERSTER REATHER REED GRASS	1 GAL.	CONT.
EE	32	Deschampsia cespitosa	TUFTED HAIR GRASS	1 GAL.	CONT.
FF	88	Sporobolus heterolepis	PRAIRIE DROPSSEED	1 GAL.	CONT.
GG	5	Sporobolus heterolepis	AUTUMN MOOR GRASS	1 GAL.	CONT.

LANDSCAPE POINT REQUIREMENTS:

ZONED: SUBURBAN OFFICE

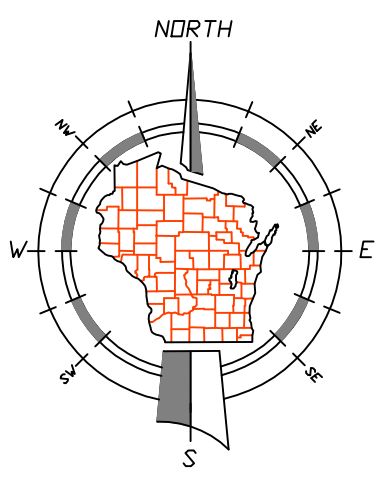
62,00 SQUARE FEET BUILDING	= 930 POINTS
521 LINEAL FEET BUILDING FOUNDATION	= 208 POINTS
632 LINEAL FEET OF STREET FRONTAGE	= 252 POINTS
212 PARKING STALLS	= 848 POINTS
TOTAL POINTS REQUIRED	= 2238

POINTS PER LANDSCAPE PLAN

Climax Trees 18@75	= 1350 POINTS
Tall Deciduous Trees 39@30	= 1170 POINTS
Tall Evergreen Tree 40@40	= 1600 POINTS
Medium Deciduous Shrub 521@3	= 1563 POINTS
Medium Evergreen Shrubs 105@5	= 525 POINTS
Non-Contributory Plantings 250@0	= 0 POINTS
TOTAL POINTS	= 6208

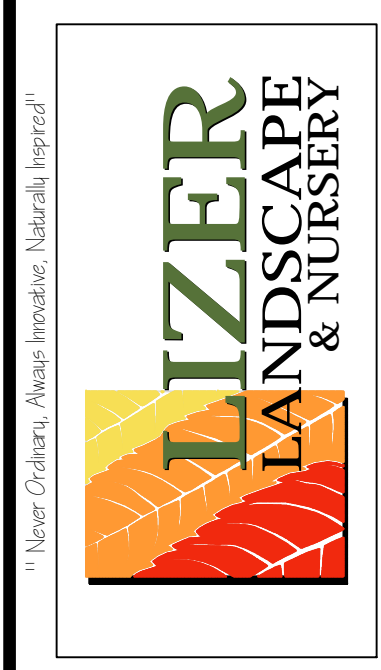
LANDSCAPE NOTES

- Topsoil shall be provided by and rough graded by grading contractor. Rough grading to be completed within +/- .1 foot.
- Any imported topsoil must be a loose, pulverized, sandy mixture free of excess debris. Topsoil shall be in a workable condition for landscape contractor. Landscape contractor shall inspect site to determine workability and should take necessary measures to correct any potential discrepancies. Once topsoil is placed and rough graded, no construction equipment or vehicles shall be allowed to drive on area.
- Landscape contractor shall seed, fertilize and mulch all disturbed areas as indicated on plans. Landscape contractor shall provide all trees, shrubs, plantings, edgings and mulch material as indicated on plans.
- All planting beds to mulched with 3" Hardwood bark.
- All planting beds to edged with Cobra commercial grade vinyl edging.
- Landscape contractor to be responsible for restoring all damaged turf within construction limit lines. Landscape contractor shall verify construction limits with general contractor prior to start of work.



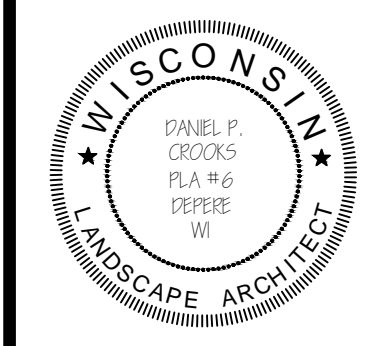
LANDSCAPE ARCHITECTURE
DEVELOPMENT AND
CONSTRUCTION

9884 BELLEVUE STREET
GREEN BAY, WISCONSIN 54311
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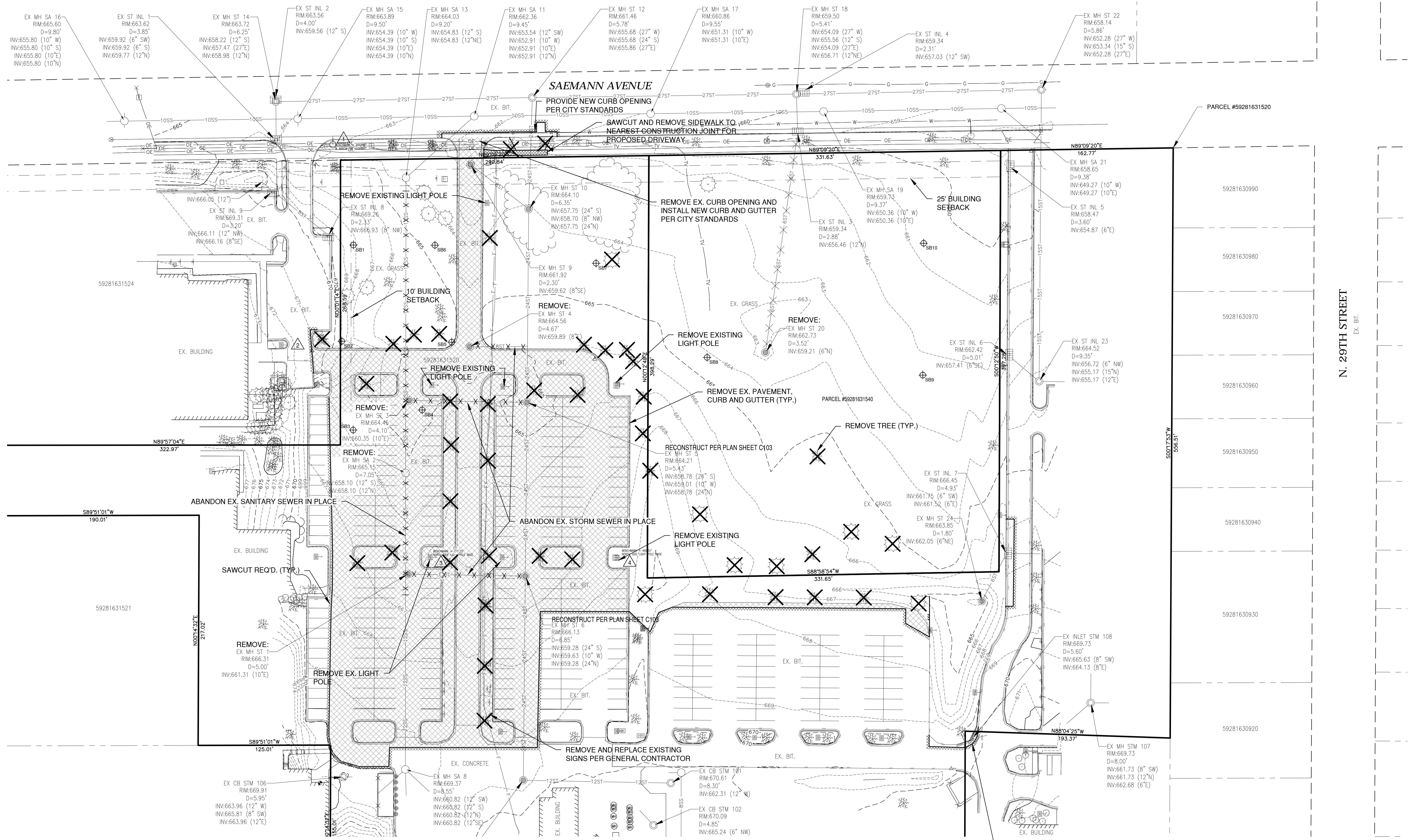
DO NOT SCALE
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DATE: 1-5-18
REVISED:
REVISED:
REVISED:
DRAWN BY: DAN CROOMS
SHEET TITLE: LANDSCAPE PLAN

PROJECT: PREVEA CLINIC
ADDRESS: SHEBOYGAN, WISCONSIN

SHEET NO.
JOB # FILE NO.



BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	E.L.
△	WEST ARROW ON HYDRANT	666.06
△	WEST SIDE CONCRETE LIGHT POLE BASE	674.45
△	NORTH SIDE LIGHT POLE BASE 1	667.25
△	NORTH SIDE LIGHT POLE BASE 2	668.51

DEMOLITION NOTES

- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
- ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
- DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.

LEGEND

<ul style="list-style-type: none"> ○ FIRE HYDRANT ⊙ WATER VALVE/CURB STOP ⊕ WATER MANHOLE ⊖ REDUCER/INCREASER ○ SANITARY MANHOLE ○ AIR RELIEF MANHOLE ○ STORM MANHOLE ○ OPEN STORM MANHOLE ⊕ STORM INLET ⊕ STORM INLET MANHOLE ⊕ TANK COVER ⊕ SOIL BORING ⊕ POST ● IRON PIPE/ROD △ PK NAIL 	<ul style="list-style-type: none"> ⊕ POWER POLE ⊕ POWER POLE W/GUY WIRE ⊕ LIGHT POLE ⊕ TRAFFIC SIGNAL POLE ⊕ ELECTRIC METER ⊕ TELEPHONE MANHOLE ⊕ TELEPHONE PEDESTAL ⊕ CABLE TV MANHOLE ⊕ CABLE TV PEDESTAL ⊕ GAS VALVE ⊕ GAS METER ⊕ MAILBOX ⊕ SIGN ⊕ BOLLARD 	<ul style="list-style-type: none"> ○ DECIDUOUS TREE ○ CONIFEROUS TREE ○ BUSH ○ RIP RAP ○ CULVERT ○ CONCRETE ○ WETLANDS ○ HANDICAP PARKING 	<ul style="list-style-type: none"> ⊕ TO BE DEMOLISHED ⊕ TREE/SHRUB TO BE REMOVED
---	--	---	--

<ul style="list-style-type: none"> —— 8SS —— 8SS —— SANITARY SEWER (SIZE NOTED) —— 4FM —— 4FM —— FORCEMAIN (SIZE NOTED) —— 10ST —— 10ST —— STORM SEWER (SIZE NOTED) —— 6W —— 6W —— WATERMAIN (SIZE NOTED) —— G —— G —— GAS LINE —— OT —— OT —— OVERHEAD TELEPHONE LINE —— T —— T —— UNDERGROUND TELEPHONE LINE —— OE —— OE —— OVERHEAD ELECTRIC LINE —— E —— E —— UNDERGROUND ELECTRIC LINE —— OTV —— OTV —— OVERHEAD CABLE TV LINE —— TV —— TV —— CABLE TV LINE —— F —— F —— FIBER OPTIC LINE —— RW —— RW —— RIGHT-OF-WAY LINE —— P —— P —— PROPERTY LINE —— E —— E —— EASEMENT LINE —— B —— B —— BUILDING SETBACK LINE —— S —— S —— SECTION LINE 	<ul style="list-style-type: none"> —— EDGE OF ASPHALT —— EDGE OF GRAVEL —— CURB & GUTTER —— TREE/BRUSH LINE —— CONTOUR LINE —— RETAINING WALL —— GUARD RAIL —— FENCE
---	--

OWNER INFORMATION:

PREVEA CLINIC, INC.
2710 EXECUTIVE DRIVE
GREEN BAY, WI 54303-1902
(920) 431-1902
CONTACT: JOHN ZELLER

ARCHITECT INFORMATION:

BERNERS SCHOBER
310 PINE STREET
GREEN BAY, WI 54301
(920) 569-8664
CONTACT: STEVE SRUBAS, AIA

UTILITY INFORMATION:

UTILITIES PRESENT:
CITY OF SHEBOYGAN, SHEBOYGAN WATER UTILITY, SHEBOYGAN STREET DEPT., ALLIANT ENERGY, WINDSTREAM AND AT & T.
UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

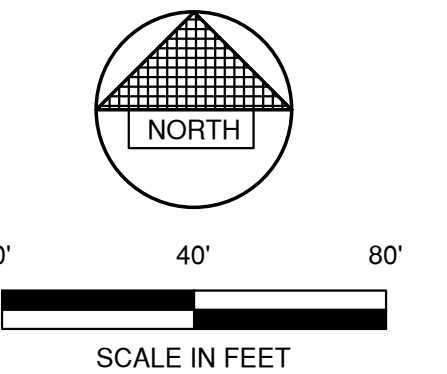
DIGGER'S HOTLINE TICKET NUMBERS 20172918291, 20172918297, DATED 7/21/17 AND 20174212365, 20174212371, 20174212429 DATED 10/18/17 VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

<p>MUNICIPALITY: CITY OF SHEBOYGAN 828 CENTER AVE # 100 SHEBOYGAN, WI 53081 (920) 459-3361</p>	<p>CITY WATER: SHEBOYGAN WATER UTILITY 72 PARK AVENUE SHEBOYGAN, WI 53081 (920) 459-3800</p>	<p>STREET & STORM: SHEBOYGAN STREET DEPT. 2026 NEW JERSEY AVE SHEBOYGAN, WI 53081 (920) 459-3440</p>	<p>ELECTRIC: ALLIANT ENERGY 883 W SCOTT ST FOND DU LAC, WI 54937 (800) 255-4268</p>	<p>TELECOMMUNICATIONS: WINDSTREAM COMMUNICATIONS 1441 N TAYLOR DR SHEBOYGAN WI (920) 783-0832</p>	<p>TELECOMMUNICATIONS: AT & T / SBC 205 S. JEFFERSON ST. GREEN BAY, WI 54301 (920) 433-4147</p>
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DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-9641 www.releinc.com

OWNER REVIEW SET

PREVEA ST. NICHOLAS MEDICAL OFFICE BUILDING



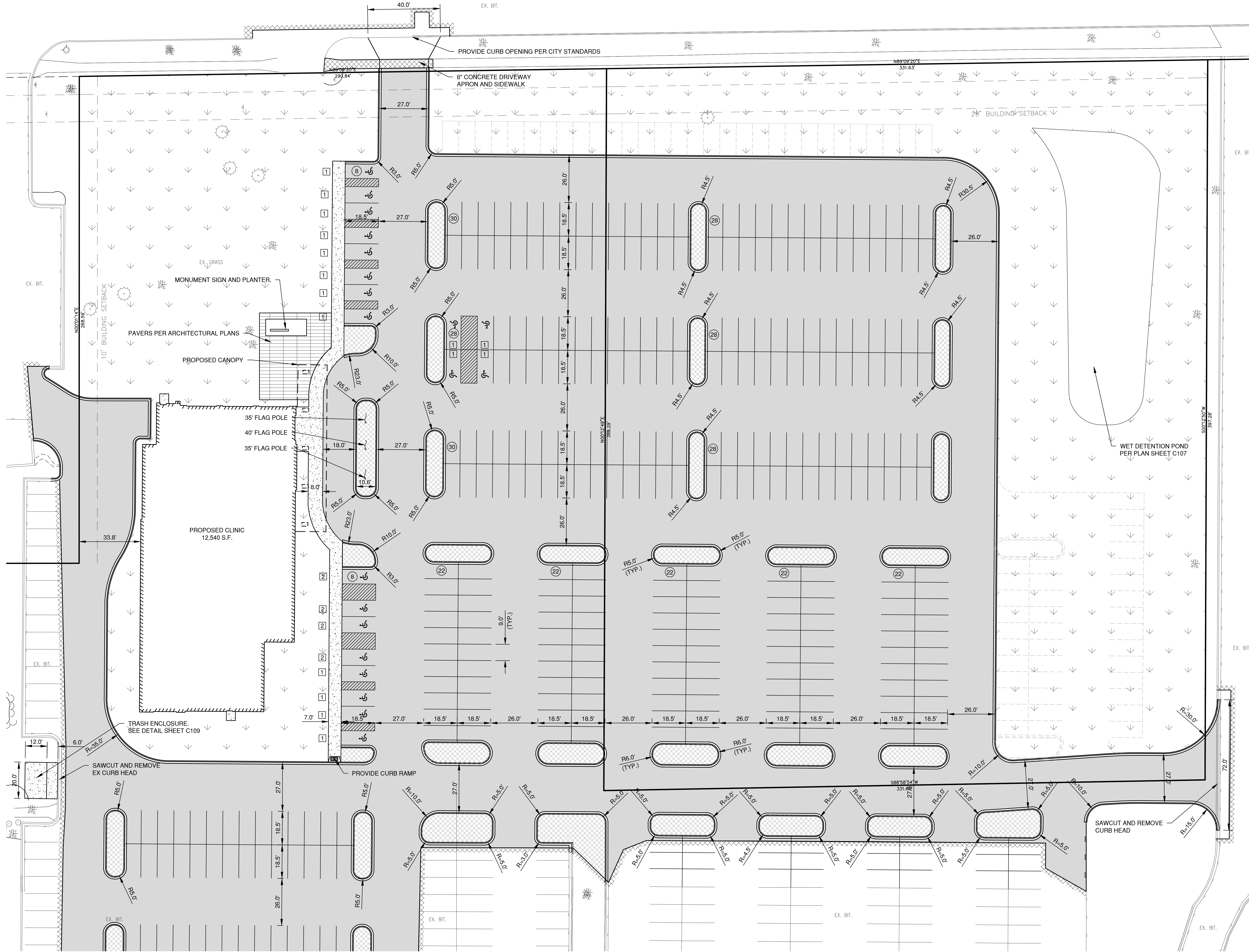
OWNER REVIEW SET 12.22.17

EXISTING SITE CONDITIONS

DATE: DECEMBER 22, 2017
COMMISSION
58 2.00

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SAEMANN AVENUE



NOTE
 ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
 TOTAL PARKING SPACES PROVIDED = 352
 HANDICAP ACCESSIBLE PARKING SPACES = 20
 TOTAL PARKING SPACES REQUIRED =

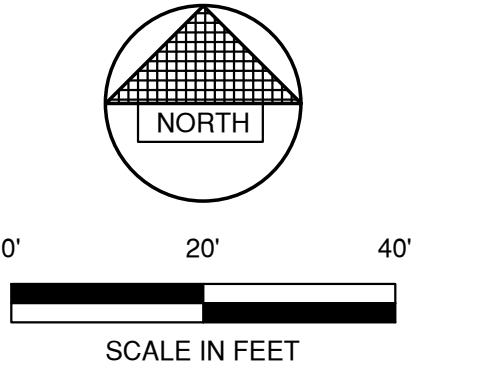
SITE DATA PARCEL 59281631920
 TOTAL AREA = 20.21 ACRES, 880,348 S.F.
 BUILDING AREA = 2.35 ACRES, 102,528 S.F. (11.6%)
 SIDEWALK/PARKING LOT AREA = 9.37 ACRES, 408,180 S.F. (46.4%)
 GREEN SPACE = 8.49 ACRES, 369,640 S.F. (42.0%)

SITE DATA PARCEL 59281631540
 TOTAL AREA = 3.03 ACRES, 131,894 S.F.
 BUILDING AREA = 0.0 ACRES, 0 S.F. (0.0%)
 SIDEWALK/PARKING LOT AREA = 1.68 ACRES, 73,206 S.F. (55.5%)
 GREEN SPACE = 1.35 ACRES, 58,688 S.F. (45.5%)

ZONING
 SO - SUBURBAN OFFICE

PARCEL NO.
 59281631920, 59281631540

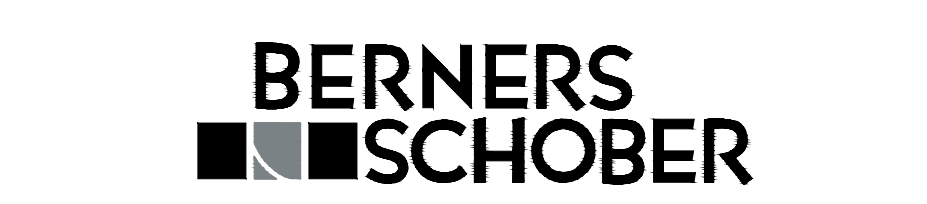
- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT (LIGHT) (S.F.)
 - ASPHALT PAVEMENT (HEAVY) (S.F.)
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED 18" STANDARD CURB AND GUTTER (UNLESS OTHERWISE NOTED)
 - PROPOSED 18" SHEDDING CURB AND GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - INDICATES NUMBER OF PARKING STALLS
- *NOTE:** ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE



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 920-662-9641 www.releinc.com

OWNER REVIEW SET

PREVEA ST. NICHOLAS MEDICAL OFFICE BUILDING



310 Pine Street | Green Bay, WI 54301 | 920-432-4865 | www.berniers-schober.com

OWNER REVIEW SET 12 22 17

SITE PLAN

DATE: DECEMBER 22, 2017
 COMMISSION
58 2.00

C102

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