

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Review and consideration of Packer Fastener sign proposal at 4728 S. Taylor Drive (Sheboygan Business Park).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: September 23, 2016

MEETING DATE: September 26, 2016

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Packer Fastener is proposing to install wall signage at 4728 S. Taylor Drive in the Sheboygan Business Park. The applicant states:

- Install a 64sf (4.5 x 14) individual LED channel letter sign on a raceway located on the rear/west side of the building advertising Packer Fastener.
- Install a 50sf (4.5 x 11) flat cut aluminum and painted individual letter sign on the front/east side of the building advertising Packer Fastener.

STAFF COMMENTS:

The Sheboygan Business Park has protective covenants with regards to signage in the business park that state:

- One corporate identity sign may be placed on each building façade. No roof mounted billboards or signs will be permitted. No wall-mounted billboards will be permitted. All lettering on the building must be smaller in height than twenty (20) percent of the wall height and all of the combined graphics shall not be longer than twenty-five (25) percent of the wall length.
- All lettering and logos on buildings or sign wall panels shall be individually cut or fabricated letters. No panel signs are permitted.
- Individual letters may be internally illuminated.

- All sign designs must be submitted to the Architectural Review Board for approval prior to construction.

The applicant sign proposal complies with the requirements and staff is recommending approval.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 9/26/16

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Colortech of WI, Inc.
ADDRESS: 1011 Ashwaubenon St., Green Bay, WI 54304
E-MAIL ADDRESS: Kristina@colortechwi.com
PHONE: (920) 337-0660 FAX NO.: (920) 337-9175

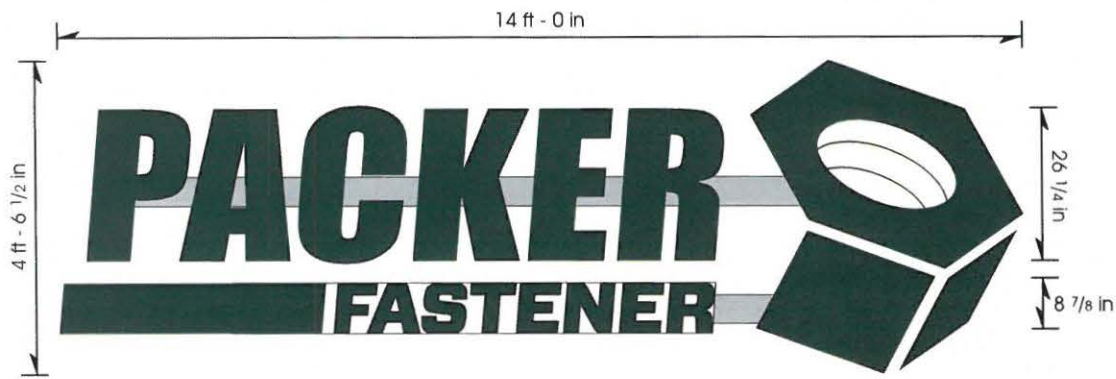
2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Packer Fastener
ADDRESS OF PROPERTY AFFECTED: 4728 S-Taylor Ave., Sheboygan, WI 53081
NEW BUILDING: _____ ADDITION: _____ REMODELING: _____

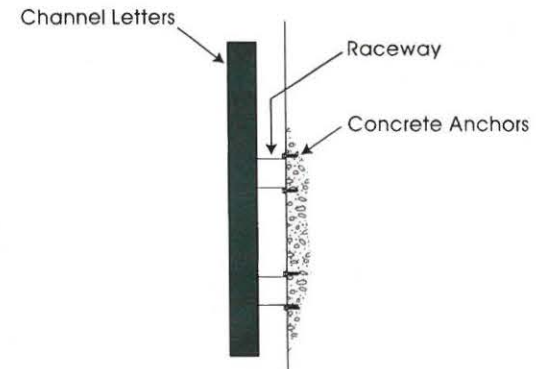
DESCRIPTION OF PROPOSED PROJECT: New company name signage at the front and back doors of business space.
LED illuminated Channel Letters above back garage door which faces highway.
Flat-cut individual letters flush mounted to front entrance above entrance door

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: _____
None

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: _____
LED illuminated, aluminum constructed Channel Letters flush-mounted above back garage door on raceways.
Painted flat-cut individual aluminum letters of company name flush-mounted to building above front entrance.



Proposed Race Way Mounted Channel Letters: 3/8" = 1'



Installation Detail: 1/2" = 1'

SQUARE FOOTAGE:

Allowable Horizontal Square Footage: 56' X 25% = 14'

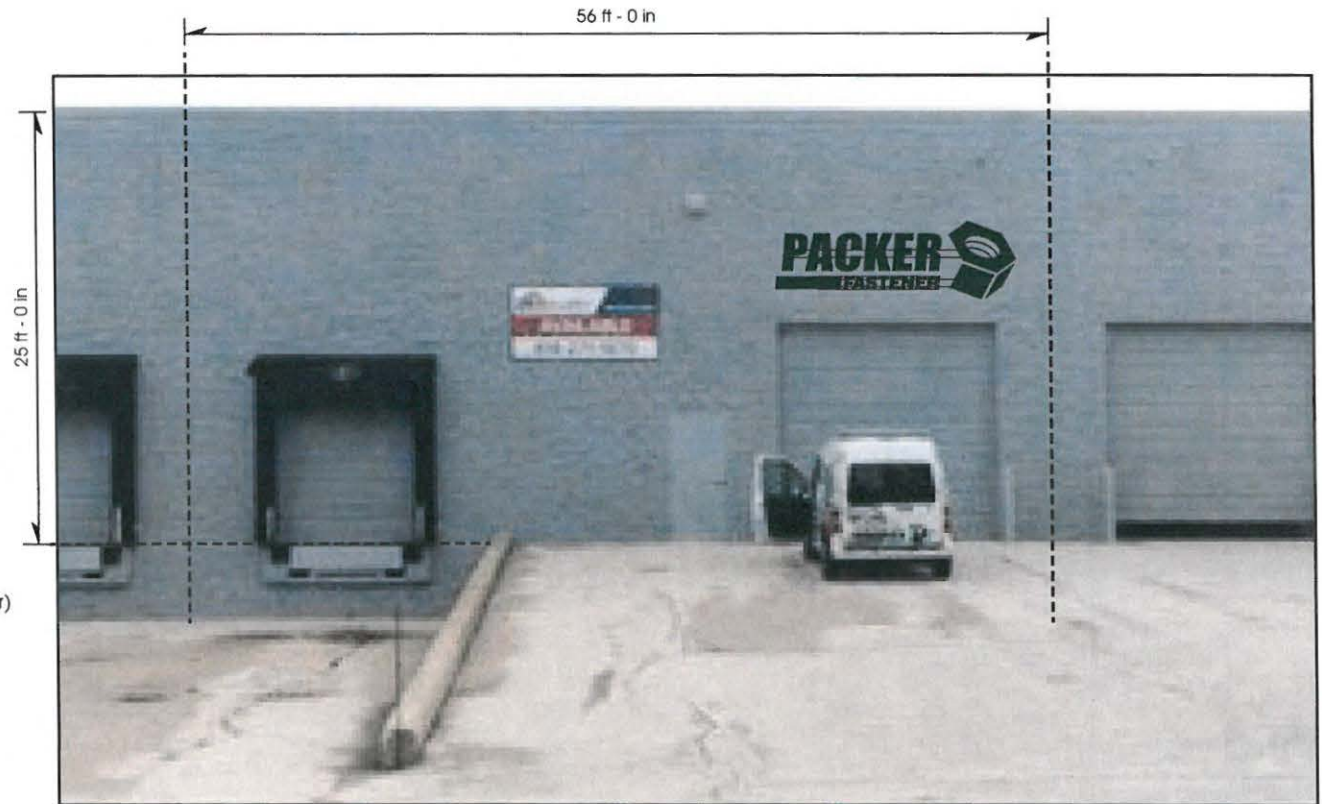
Allowable Vertical Square Footage: 25' X 20% = 5'

DESCRIPTION:

Manufacture and install (1) set of raceway mounted channel letters. Letter faces to be white polycarbonate with vinyl overlays applied first surface. Letter returns and backs to be of aluminum construction. Letters to be internally illuminated with high output LEDs and power packs.

COLOR SCHEDULE:

- Letter Faces:** Digitally Printed to Match PMS 3455c
- Trim Cap:** 1" Hunter Green Jewelite
- Letter Returns:** Pre-Finished Ivy Green
- Raceways:** Painted to Match Building (Verify Color)



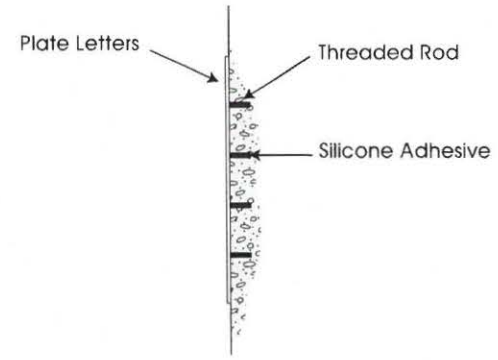
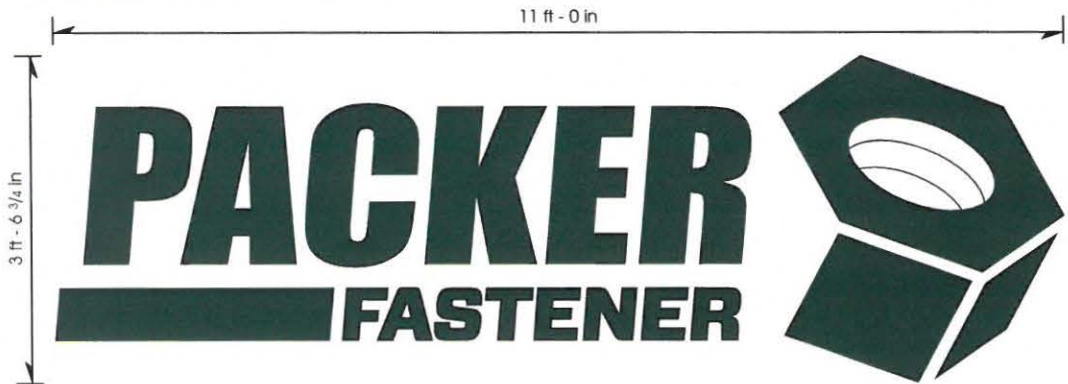
Proposed Conditions: 3/32" = 1'



Client: Packer Fastner
 Salesperson: Kristina Coppo
 Designer: TK
 Date: August 17th, 2016
 File Name: Packer Fastner 10070 8-16 Channel Letters

PROOF APPROVED. I have reviewed all aspects of this proof, including but not limited to: spelling, grammar, layout, design, color etc. I understand that my project will reflect the layout specifications and I assume all responsibility for any rework after signing this proof. Colortech makes every effort to ensure this proof is an accurate representation of the final project. Project may vary slightly due to environmental conditions and/or material limitations.

Acceptance Of Proof: Signature _____ Date _____



Proposed Flush Mounted Routed Letters: 1/2" = 1'

Installation Detail: 1/2" = 1'


SQUARE FOOTAGE:

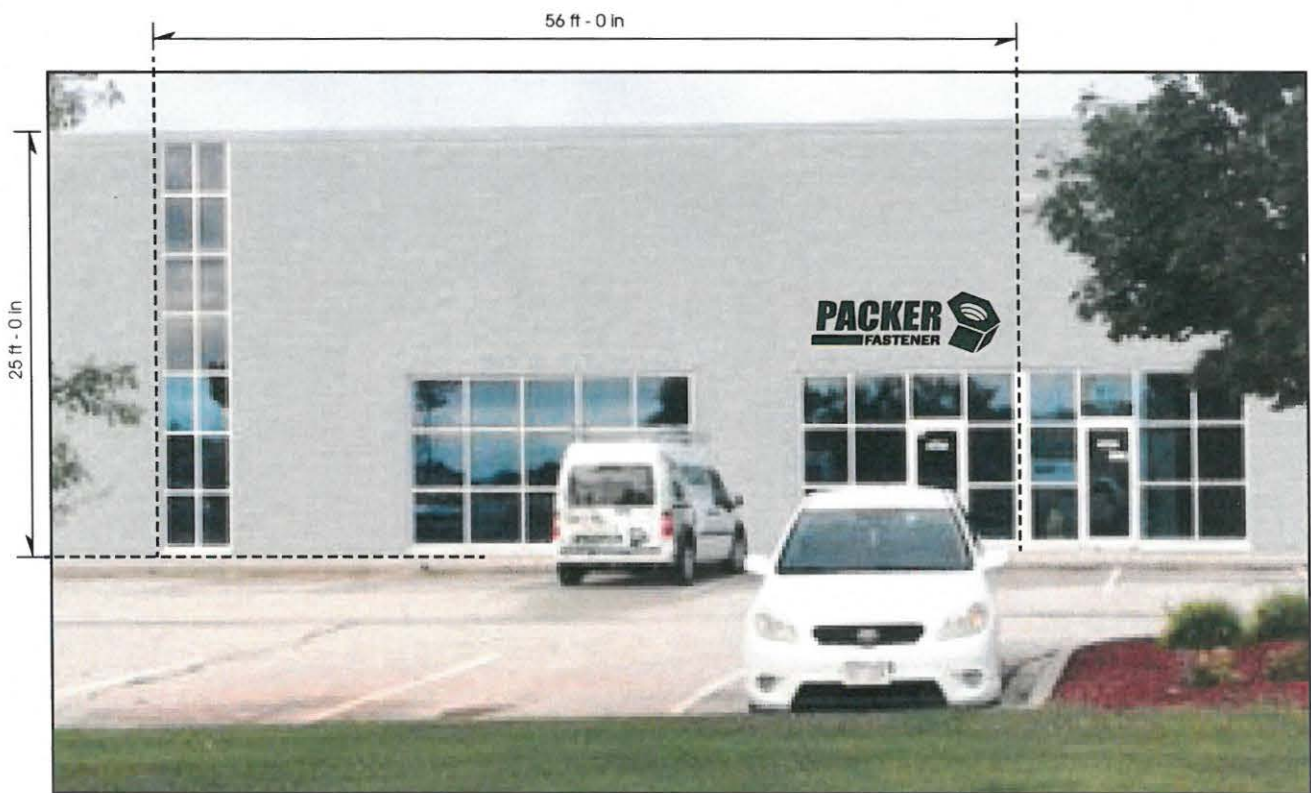
Allowable Horizontal Square Footage: 56' X 25% = 14'
 Allowable Vertical Square Footage: 25' X 20% = 5'

DESCRIPTION:

Manufacture and install (1) set of routed aluminum letters. Letters to be routed out of .080 aluminum and flush mounted to wall.

COLOR SCHEDULE:

 Letter Faces: Painted to Match Match PMS 3455c



Client: Packer Fastner
 Salesperson: Kristina Coppo
 Designer: TK
 Date: August 17th, 2016
 File Name: Packer Fastner 10070 8-16 Channel Letters

PROOF APPROVED. I have reviewed all aspects of this proof, including but not limited to: spelling, grammar, layout, design, color etc. I understand that my project will reflect the layout specifications and I assume all responsibility for any rework after signing this proof. Colortech makes every effort to ensure this proof is an accurate representation of the final project. Project may vary slightly due to environmental conditions and/or material limitations.

Acceptance Of Proof: Signature _____ Date _____

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Review and consideration of Memorial Plaza pylon sign at 3418 Kohler Memorial Drive.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: September 23, 2016

MEETING DATE: September 26, 2016

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

In June 2016, the Architectural Review Board and Plan Commission approved a conditional use permit to construct a new Harbor Freight building addition to Memorial Plaza located at 3418 Kohler Memorial Drive. Most of the discussion that took place related to how the proposed development was going to improve the Memorial Mall property – building design, sign design, landscaping, etc.

The Plan Commission approved the Harbor Freight conditional use permit with several conditions of approval including a condition that required the sign package, most specifically the redesign of the pylon sign, to be reviewed by both the City of Sheboygan Plan Commission and Architectural Review Board.

The applicant has now submitted the sign package for the Plan Commission and Architectural Review Boards consideration.

Previous comments at the June 2016 conditional use hearing regarding the existing legal nonconforming pylon sign included:

- The existing legal nonconforming pylon sign is very tired, weathered and is not very attractive.
- This existing legal nonconforming pylon sign is one of the first things you see as you enter the City and one of the last things you see as you leave the City. The present look of this sign is very underwhelming.

- As the Plan Commission is aware, staff and the commission have consistently attempted to have lower, high quality design monument signage in very visible corridors of the City. However, we have determined that the design of the sign is imperative when considering a proposed pylon sign request.
- Staff has spoken to the applicant on numerous occasions informing them that if we are to even consider adding additional signage to the existing legal nonconforming pylon sign that the proposed design is critical and the present sign appearance needs to be significantly upgraded.
- Staff believes that the applicant has NOT done enough from a design perspective for the Plan Commission to even consider adding signage to this legal nonconforming pylon sign.
- The Plan Commission should only consider allowing new signage on the pylon sign if and only if the applicant provides a much better sign design.
- Such design should at a minimum include:
 - Pylon signs are more aesthetic when the pole portion is designed with materials matching the rest of the sign and/or building instead of a rather unattractive painted pole. It would appear that improving the pole portion of this pylon sign would fit nicely with the overall improvement of the site.
 - Pylon signs are more aesthetic when the new sign is designed so it looks like one (1) sign instead of two (2) or more signs. Therefore, it is staff's position that the pylon sign be redesigned in order to make it look like one (1) new sign (reduce the number of cabinets signs - eliminate the gap between signs and eliminate the number of cabinets).

Staff would like to make the Plan Commission aware of the following information that is incorporated into the City of Sheboygan Master Plan:

A. SIGNAGE

- Limited high quality signage is a distinguishing feature that enhances the quality of life of a community.

B. COMMUNITY ENTRYWAYS

- The comprehensive plan seeks to preserve each community entryway and to establish a complimentary "sense of entry" in carefully designed areas along the expanding edges of the City.
- The plan seeks to protect and enhance these unique aesthetic qualities through the use of zoning standards requiring high quality landscaping, building design, signage, lighting and public furnishings.

- The primary entryways into Sheboygan are its visual “front doors,” and wherever possible, should be protected and enhanced.

Thus, when sign proposals are considered, a proposal should be reviewed carefully to ensure these signs enhance the quality of life in our community and that community entryway areas are protected and enhanced. It is staff’s belief that the proposed pylon sign does not enhance this entryway and that the Plan Commission should recommend that the applicant work with staff to come up with a more appropriate sign design. The sign will need to come back to Plan Commission for their approval.

STAFF COMMENTS:

Staff still questions why the applicant cannot include a decorative cap at the top of this sign to match the columns and the bottom base instead of the flat aluminum cabinet sign. A decorative cap appears to be the final design element that would really improve the look of this pylon sign.

Staff is recommending that the Architectural Review Board hold this proposal until the applicant adequately addresses these sign design concerns.

ACTION REQUESTED:

Staff is recommending that the Architectural Review Board hold this proposal until the applicant adequately addresses these sign design concerns.

ATTACHMENTS:

- I. Architectural Review Board Application and required attachments.



PLOT DATE: 5/2/2016 4:42:47 PM

FILE NAME: P:\PROJECTS\KVG-HARBOR FREIGHT SHEBOYGAN\MCOLOR\M-COLOR_HARBOR FREIGHT_SHEBOYGANDWG



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**PERSPECTIVE
DESIGN, INC.**
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

Harbor Freight at Memorial Plaza
N Taylor Drive & Wilgus Avenue
Sheboygan, WI 53081

THIS
BOX IS
1/2" x 1/2"

DRAWING TITLE:
COLORED
MONUMENT
SIGN

DATE: 06/28/16
SCALE: 1/4"=1'-0"
DRAWN: KBJ
JOB: -

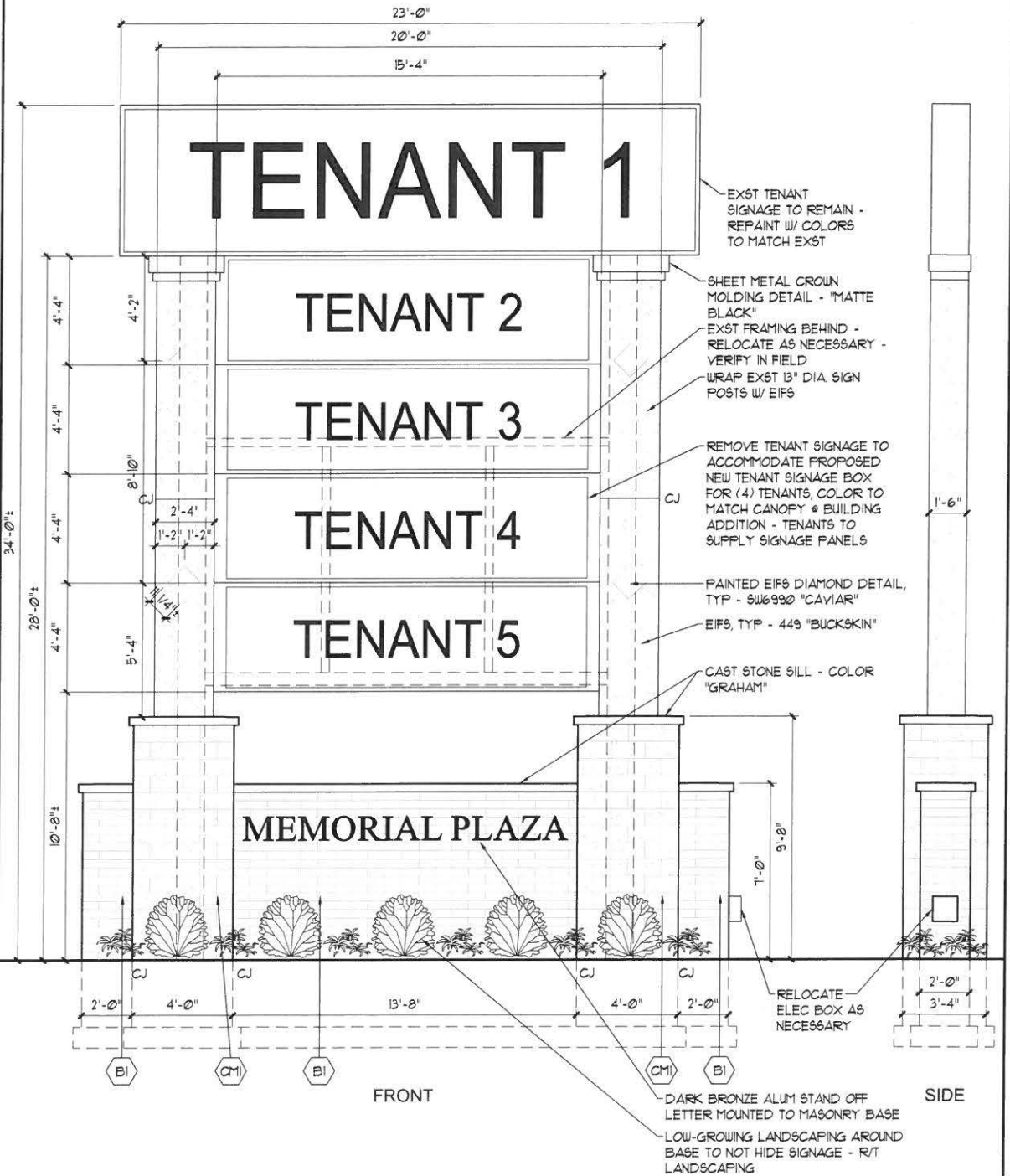
SHEET:
**Color
Sign**

FULL SIZE PRINT = 11" x 17" SHEET

PLOT DATE: 9/20/2016 2:12:26 PM

FILE NAME: P:\PROJECTS\KVB-HARBOR FREIGHT_SHEBOYGAN\ARCHIVE\160920_XR-MONUMENTSIGN_HARBOR FREIGHT_SHEBOYGAN.DWG

EXISTING TENANT SIGN SQUARE FOOTAGE: APPROX 314 SF / SIDE
 PROPOSED TENANT SIGN SQUARE FOOTAGE: APPROX 404 SF / SIDE



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PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel (414) 302-1750 Fax (414) 302-1781

Harbor Freight at Memorial Plaza
 3510 Kohler Memorial Drive
 Sheboygan, WI 53081

THIS BOX IS 1/2" x 1/2"

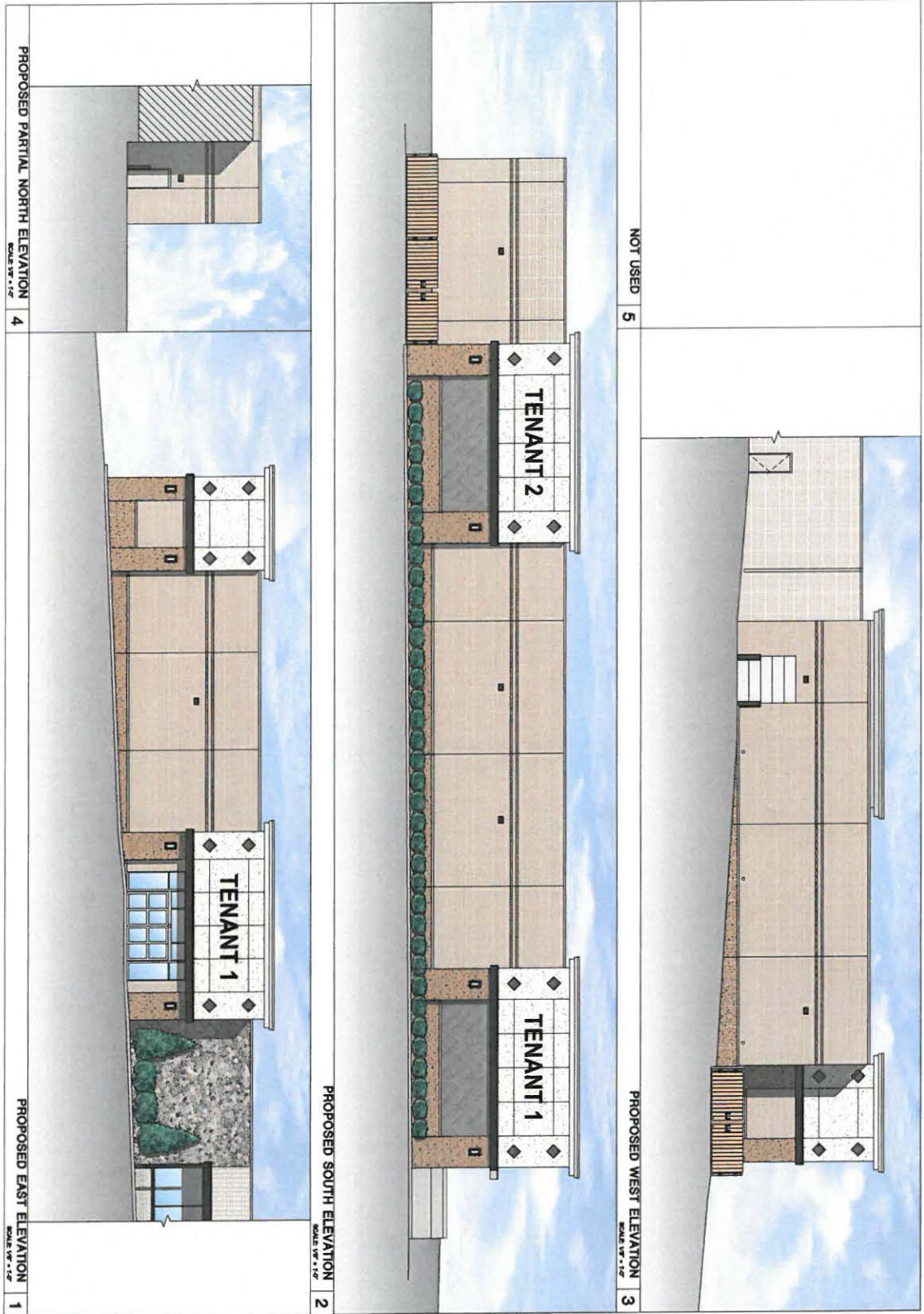
DRAWING TITLE: PROPOSED MONUMENT SIGN

DATE: 09/20/16
 SCALE: 1/4"=1'-0"
 DRAWN: KBJ
 JOB: -

SHEET:

Sign

FULL SIZE PRINT = 11" x 17" SHEET



DO NOT SCALE THESE DRAWINGS

FULL SIZE PRINT = 36" x 48" SHEET

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DATE:	08/07/16
SCALE:	NOTED
DRAWN BY:	MSJ
CHECKED BY:	MSJ
PROJECT:	R2.1n

PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel: (414) 302-1750 Fax: (414) 302-1751

Proposed Building Addition For:
Harbor Freight Tools at Memorial Plaza
 3808 Kohler Memorial Drive
 Sheboygan, WI 53081

REV. #	REV. DATE	DESCRIPTION	REV. BY
05/07/16		CITY PLAN CORRECTION SUBMITTAL	PLD

- PRELIMINARY -
 FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION

Sokolowski, Steve

From: Randy Goll <rgoll@kvgbuilding.com>
Sent: Tuesday, August 23, 2016 12:36 PM
To: Sokolowski, Steve
Cc: Scott Christianson
Subject: FW: Memorial Plaza Pylon Sign Modifications
Attachments: 160628_R201_HarborFeight_ColorSign.pdf

Steve:

Just making sure that this revised pylon sign is approved. Please advise if we need to do anything else.

Randy

o 414.463.8900
c 414.750.5151

From: Randy Goll
Sent: Tuesday, June 28, 2016 2:14 PM
To: 'Sokolowski, Steve' <Steve.Sokolowski@sheboyganwi.gov>
Subject: Memorial Plaza Pylon Sign Modifications

Steve:

Here is an elevation of the sign that incorporates your requested changes. Tenants 2 – 5 will not necessarily be black letters on a white background. Colors/ fonts/ logos/ etc. will all be determined by the tenants, provided they stay within the city requirements and any mall sign requirements. Let me know if I need to submit anything other than this to you for approval.

Randy Goll

VICE PRESIDENT CONSTRUCTION
rgoll@kvgbuilding.com



KVG
Building
Corporation

802 N. 109th Street, Milwaukee WI 53226
o 414.463.8900 f 414.463.8975 c 414.750.5151

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Review and consideration of architectural plans to remodel Nouvelle Salon and Day Spa located at 1520 Union Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: September 23, 2016

MEETING DATE: September 26, 2016

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Nouvelle Salon and Day Spa is proposing to update the exterior of the salon located at 1520 Union Avenue. The applicant states:

- They are going to remove the small overhang that is above the windows.
- The existing awning will be replaced with a new canvas awning.
- The façade will be constructed of MDO plywood capped with a six (6) inch crown molding and other small trims to compliment the traditional feel they are after.
- The new façade will be painted to match the awning (Sherwin Williams aquarium).
- The new façade windows will include a recessed area that will include a painted sign to give an old world feel.
- The glass block that is presently in the four (4) window areas will be replaced with four (4) thermal panes of glass to allow more natural light in to the salon.

STAFF COMMENTS:

None.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 9/26/16

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT John Sauermilch Jr. GC

ADDRESS: 1717 Cambridge Ave. Sheboygan WI 53081

E-MAIL ADDRESS: 1tylerkober@gmail.com

PHONE: (920) 458-5722 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Nouvelle Salon & Day Spa

ADDRESS OF PROPERTY AFFECTED: 1520 Union Ave. Sheboygan WI 53081

NEW BUILDING: _____ ADDITION: _____ REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: See Attached

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____
See Attached

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____
See Attached

John Sauermilch, Jr. General Contractor, Inc.

1717 Cambridge Avenue, Sheboygan, WI 53081

Residential and Light Commercial

Phone 920-458-5722 Fax 920-458-1566 Cell 920-377-0127

www.johnsauermilch.com

Letter to Architectural Review Committee Nouvelle Salon & Day Spa

September 12, 2016

Dear Sir's and Madam's of the Architectural Review Committee,

Thank you for taking the time to review the façade and awning improvements at the Nouvelle Salon and Day Spa. This will bring a new look to a building that is in need of a face lift.

We are going to remove the small overhang that is above the windows this is in picture number one, the awning in this picture will also be replaced with a new canvas awing picture on page three of the attached plan. The façade will be constructed of MDO plywood capped with a 6" crown molding and other small trims to complement the traditional feel we are after. The new façade will be painted to match the awning with Sherwin Williams Color (SW6767 Aquarium).

The new façade window trims will include recessed area that will include a painted sign, to give an old world feel. The glass block that is in the four window areas now, will be replaced with four thermal panes of glass to allow more natural light into the salon. The addition to the front of the salon will not in any way deter from the buildings character, being a brick building.

Thank you for your review of this project.

Tyler Kober

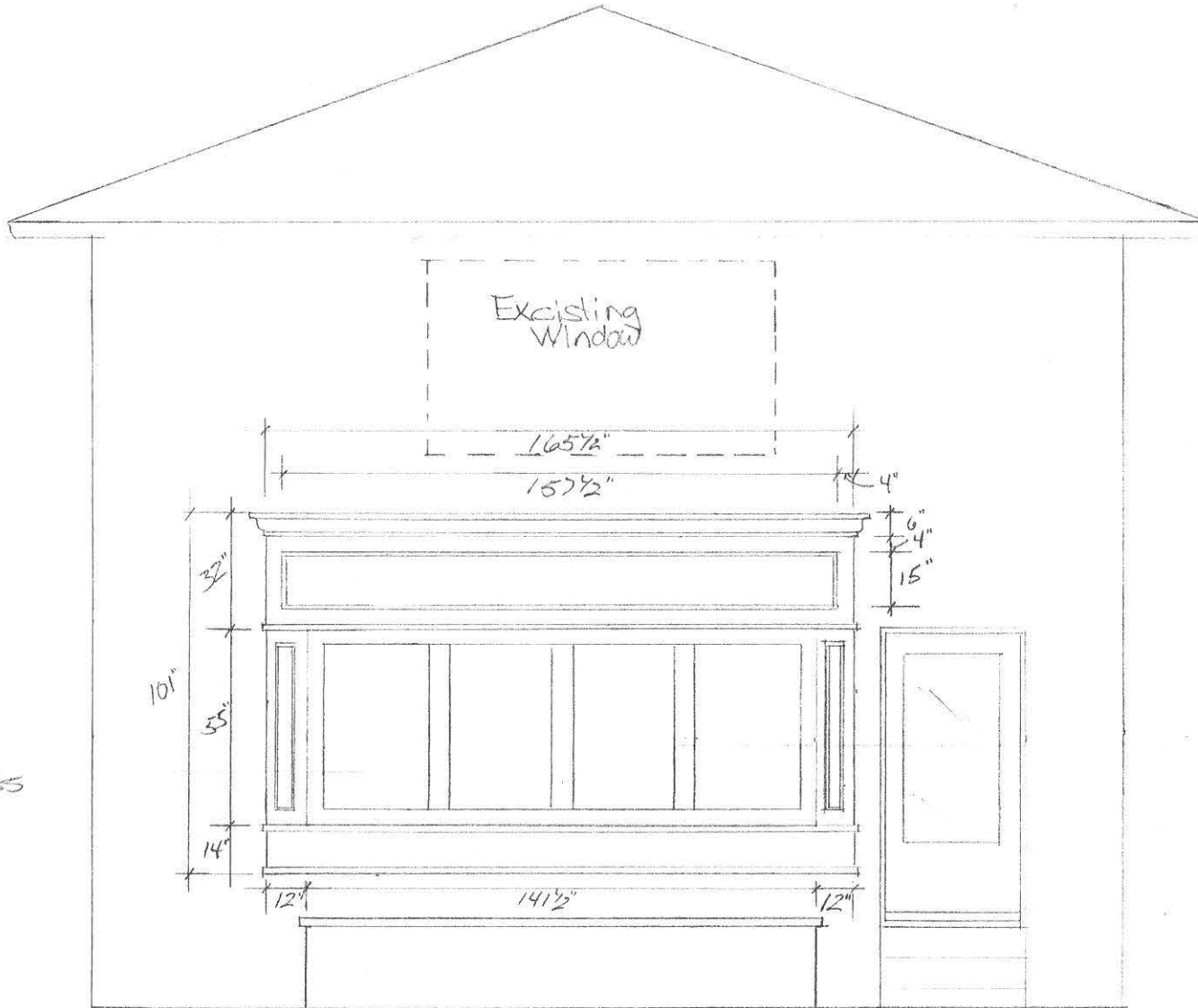
Project Manager

John Sauermilch Jr. GC

1717 Cambridge Ave.

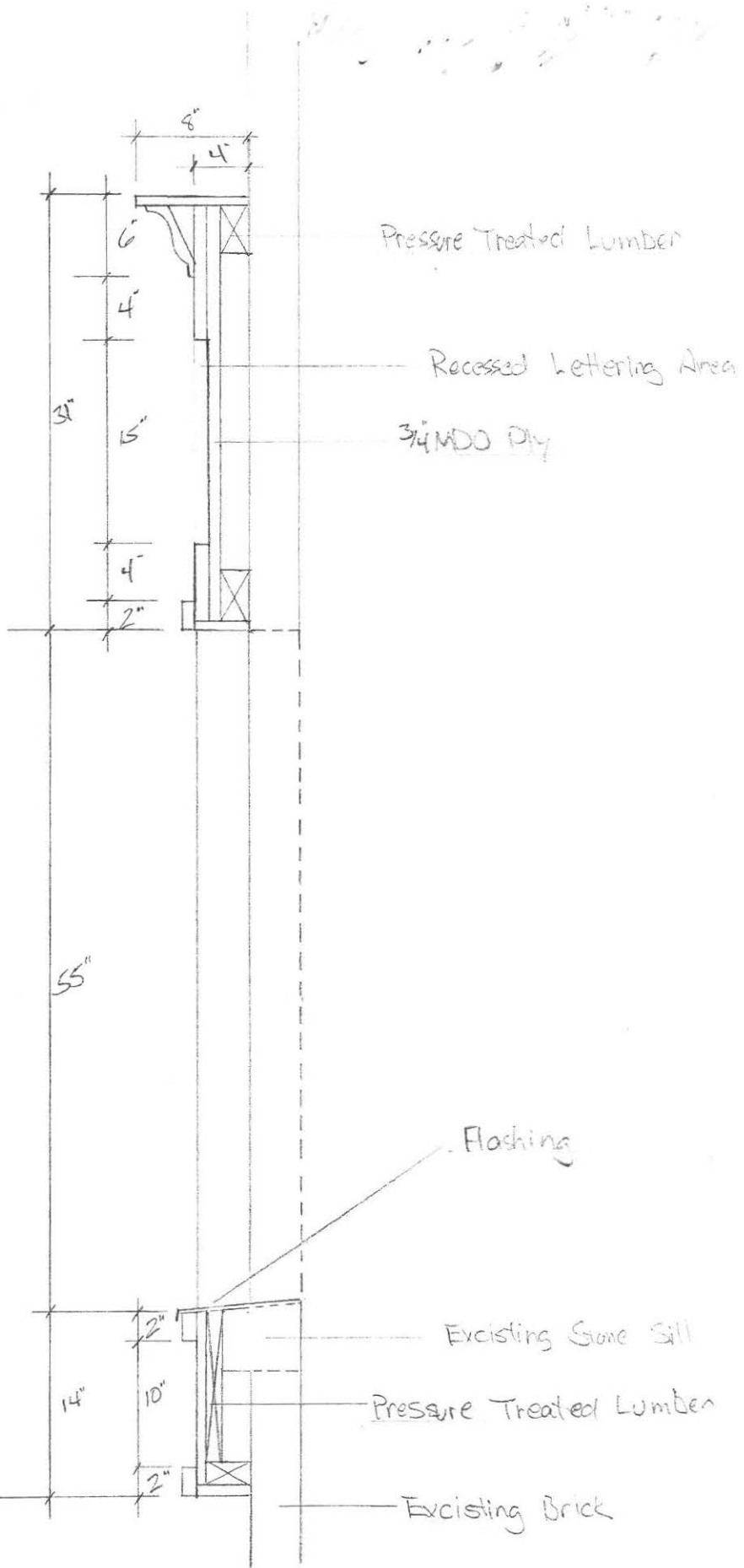
Sheboygan WI 53081

1tylerkober@gmail.com

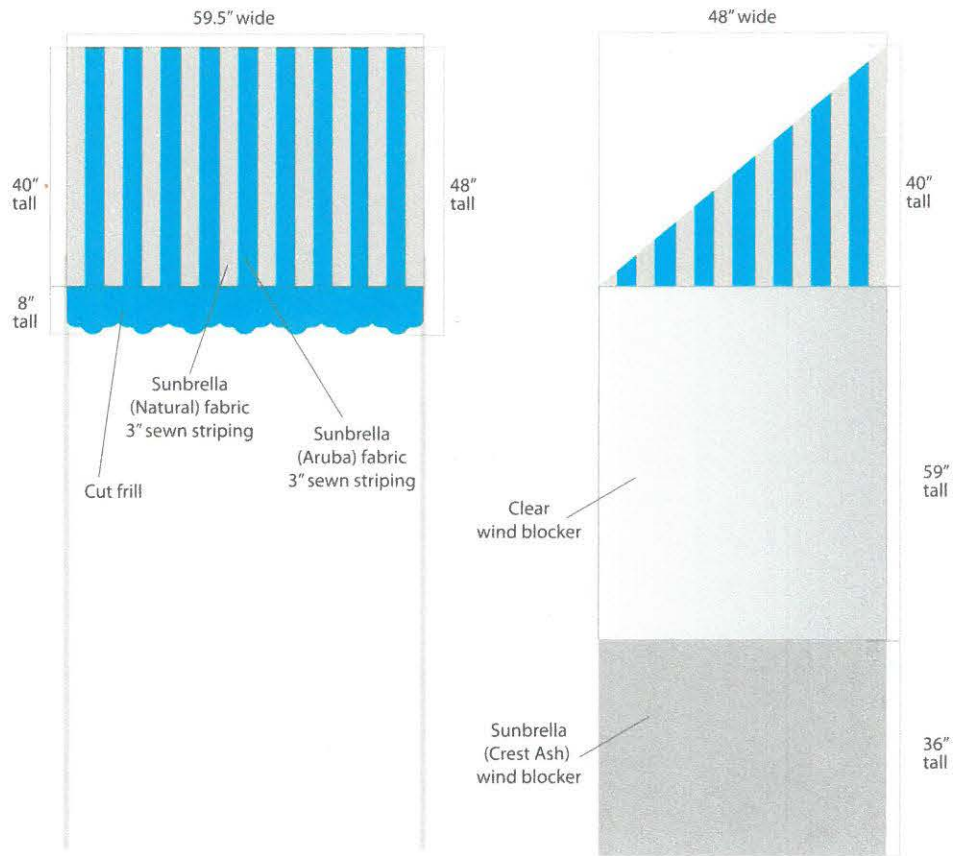


5/8 TP Glass

Wrapped Aluminum Column



Page 2



SIGN SPECIFICATIONS

(A)

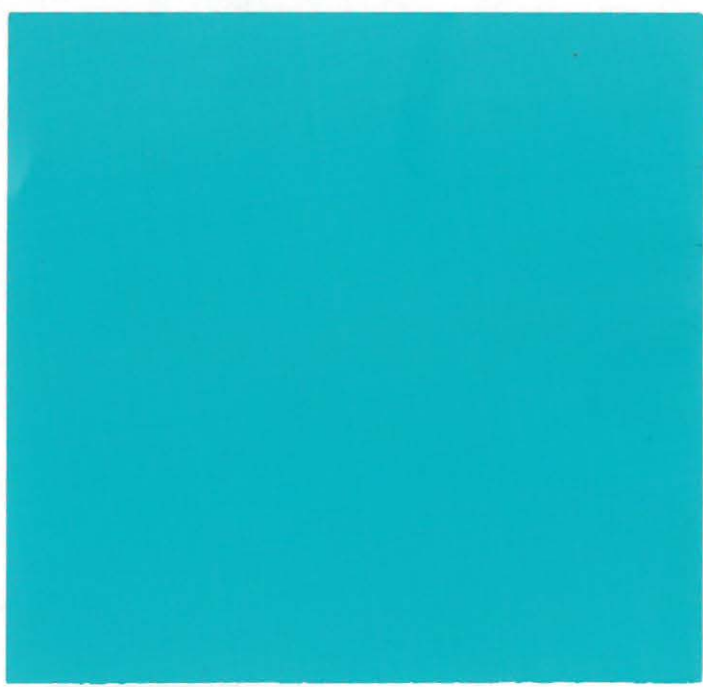
- Includes Qty: 1 awning with Sunbrella awning fabric.
- * Natural and Aruba sewn striping.
- * Crest Ash and clear wind blockers.
- * Custom decorative frill.

- Includes installation on site.

Location:
Nouvelle Salon
1520 Union Ave.
Sheboygan, WI

 1836 Ontario Ave. Sheboygan, WI 53081 Phone: 920-457-6692 Fax: 920-457-2999 www.RIGSIGN.com	
CUSTOMER: Nouvelle Salon	
CLIENT:	
DATE: 7.15.16	
DESIGNER: Katie S.	
Customer approval	DATE
<small>This layout design is an unpublished work and RIG'S sign fabric is a registered trademark. All other marks are the property of their respective owners. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RIG SIGN.</small>	

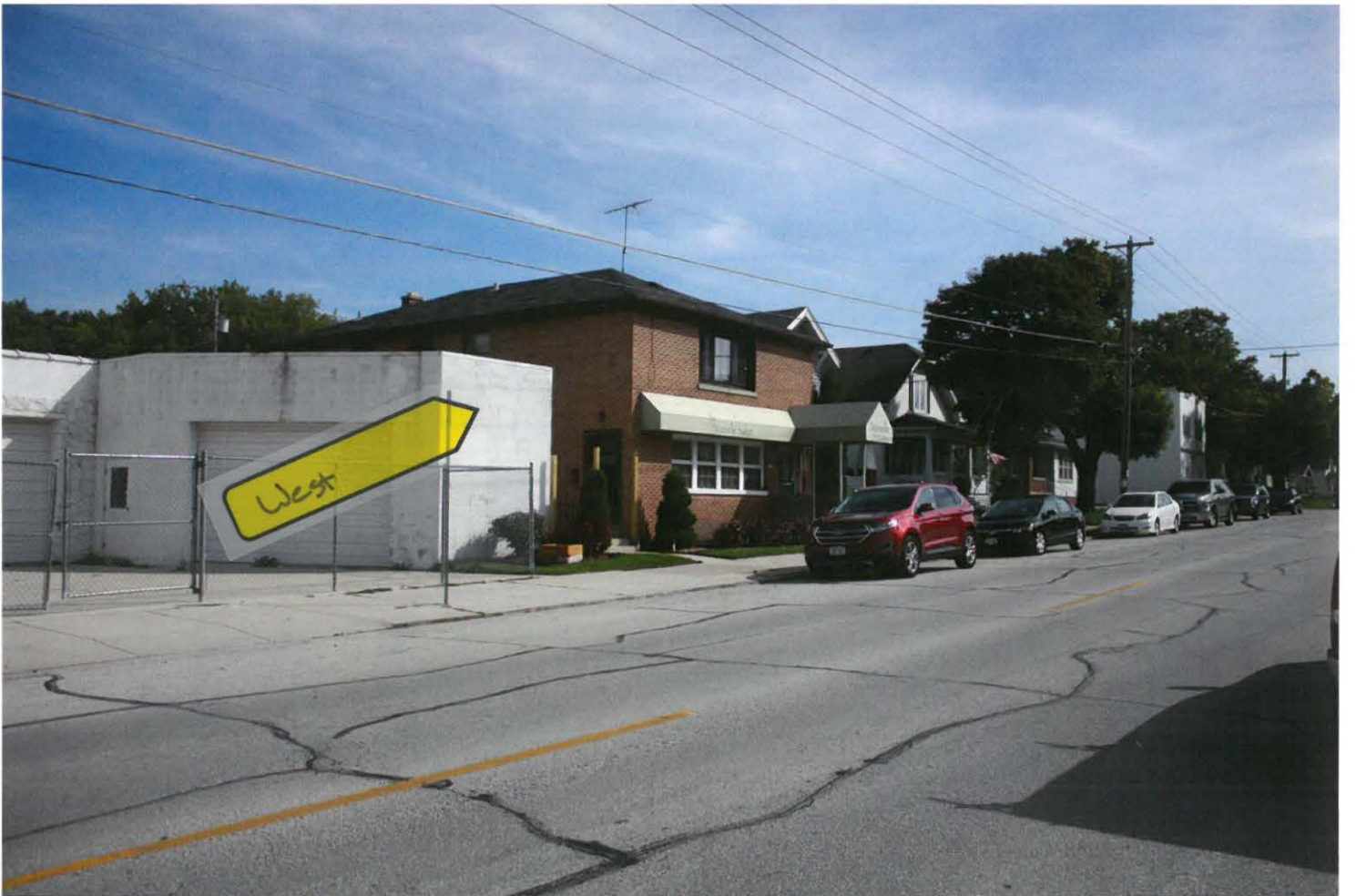
Handwritten scribbles or marks at the top right of the page.





1

2



KRISTEN  BOUTIQUE



4



HIO

New Tenant window that of IN 3rd S 1055
4 Bronze/Black Lights w/ insulation

New sign LONO

Small Panel glass

Small awning

Light

Nouveau Salon & Day Spa

Long & Dark Window Beard wrap

Facial



COFFEE

5



CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Review and consideration of architectural plans to remodel Washington School at 1238 Geele Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: September 9, 2016

MEETING DATE: September 12, 2016

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Gorman and Company is proposing to repurpose the former Washington School into a 42-Unit Apartment complex. There will be seven (7) one-bedroom units, 26 two-bedroom units, and nine (9) three-bedroom units.

The building has been approved by the National Parks Service as a historic building. With that approval the NPS requires that the exterior of the building be historically maintained. For that reason the scope of work to enhance the building exterior is in the removal of the replacement windows and in-fill panel, and the installation of new historically accurate windows. The remainder of the exterior of the building will be left as is.

The applicant states the following about the project:

- The building's exterior design and materials will not be modified.
- New windows will be installed at some locations where the original windows had been in filled with an aggregate plaster.
- Two (2) new stair shafts will be constructed on the rear interior court yard (north side).
- The exterior material for the stair shafts will be masonry to match the existing addition.

STAFF COMMENTS:

None.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 9/12/16

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Gorman & Company, Inc
ADDRESS: 200 N. Main Street, Oregon, Wi 53575
E-MAIL ADDRESS: tmatkom@gormanusa.com
PHONE: (608)835-3900 FAX NO.: (608)835-3922

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Washington Elementary School
ADDRESS OF PROPERTY AFFECTED: 1238 Geele Avenue, Sheboygan, Wi
NEW BUILDING: _____ ADDITION: _____ REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: _____
The project is a interior space remodel of the existing Washington School into
apartment housing.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____
The existing building design is a traditional 911, 2 1/2 story, red brick elementary
school. The exterior is construction masonry veneer. Some of the original window
openings have been reduced and in-filled with an aggregate plaster.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____
The buildings exterior design and materials will not be modified. New windows will
be installed at some locations where original windows had been in-filled. Two new
stair shafts will be constructed on the rear interior courtyard. The exterior material
will be of masonry to match the existing addition.



200 N. Main Street • Oregon, WI 53575

P: (608) 835-3900

F: (608) 835-3922

www.GormanUSA.com

REAL ESTATE DEVELOPMENT

MILWAUKEE MIAMI PHOENIX CHICAGO DENVER

August 23, 2016

Steve Sokolowski
City of Sheboygan
828 Center Ave., Suite 100
Sheboygan, WI 53081

RE: Washington School (1238 Geele Street)
Rezoning and Architectural Review Application

Dear Mr. Sokolowski:

The proposed project will repurpose the historic Washington School building located at 1238 Geele Street. The proposed rezoning of this parcel to Urban Residential (UR-12) will allow an adaptive reuse of this historic building that is consistent with the character of the surrounding neighborhood. Forty-two modern apartment homes will be built into the existing classroom and support spaces along the perimeter of the building. The building will also include amenity space for residents as well as a management office. Interior corridors and stairways will be kept to maintain the buildings historical integrity as a school. Infill panels will be removed from the window openings of the 1912 and 1926 buildings and historically appropriate window replacements will be installed. In the 2001 addition, existing windows will remain, while new openings, and two new exterior stair towers will be created to allow for private family apartment entrances.

On the site, the existing drop off lane, sidewalks and landscaping will remain on the Geele Avenue side of the building. The asphalt faculty parking areas and playground will be re-landscaped and utilized as tenant parking. 72 parking stalls will be provided for residence, visitors, and staff. The green space to the north of the school building will be preserved as recreational space and will continue to be owned and maintained by the school district.

The financing for this adaptive reuse project will include WHEDA affordable housing tax credits, state and federal historic tax credits, and conventional debt. This development will provide quality housing for an affordable cost to residents. It proposes an appropriate density given all units will be contained within the historic school and all parking spaces will be contained on the current asphalt portion of the parcel surrounding the building.

This development will meet a need within the Sheboygan community for quality affordable housing, will save an historic building, and will add to the city tax base.

Feel free to contact me with any questions at (414) 617-9997 or tmatkom@gormanusa.com.

Sincerely,

Ted Matkom
Wisconsin Market President



EXISTING BUILDING EXTERIOR

NEW HISTORIC
REPLICA WINDOWS



PROPOSED BUILDING
EXTERIOR



EXISTING BUILDING EXTERIOR



NEW HISTORIC
REPLICA WINDOWS

PROPOSED BUILDING
EXTERIOR



EXISTING BUILDING EXTERIOR



NEW HISTORIC
REPLICA WINDOWS

PROPOSED BUILDING
EXTERIOR

LOGAN AVENUE (50')

PUBLIC ALLEY (14')

NESH STREET

GEELE AVENUE

PRIVATE ALLEY

PROPOSED LOT AREA = 1.722 AC = 75,010 SF
 GREEN SPACE = 0.360 AC = 15,378 SF
 LANDSCAPE SURFACE RATIO (LSR) = 21% (MIN. 25%)
 72 ON-SITE PARKING SPACES

NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	10/15/14
2	REVISIONS	11/10/14
3	REVISIONS	11/10/14
4	REVISIONS	11/10/14
5	REVISIONS	11/10/14
6	REVISIONS	11/10/14
7	REVISIONS	11/10/14
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50	REVISIONS	11/10/14

5308 S. 12th Street
 Sheboygan, WI 53081
 For 920-458-0269
 www.storfmiller.com

MILLER
 ENGINEERS
 & ARCHITECTS
 SCIENTISTS

GORMAN AND COMPANY, INC.
 WASHINGTON ELEMENTARY SCHOOL PROPERTY
 1238 GEELE AVENUE
 SHEBOYGAN, WISCONSIN

SCALE	1"=20'
HOR.	
VER.	
DATE	Nov. 25, 2014
JOB	20043-E
BY	WGF/DMM
CK	ROM
SHEET	1 of 1



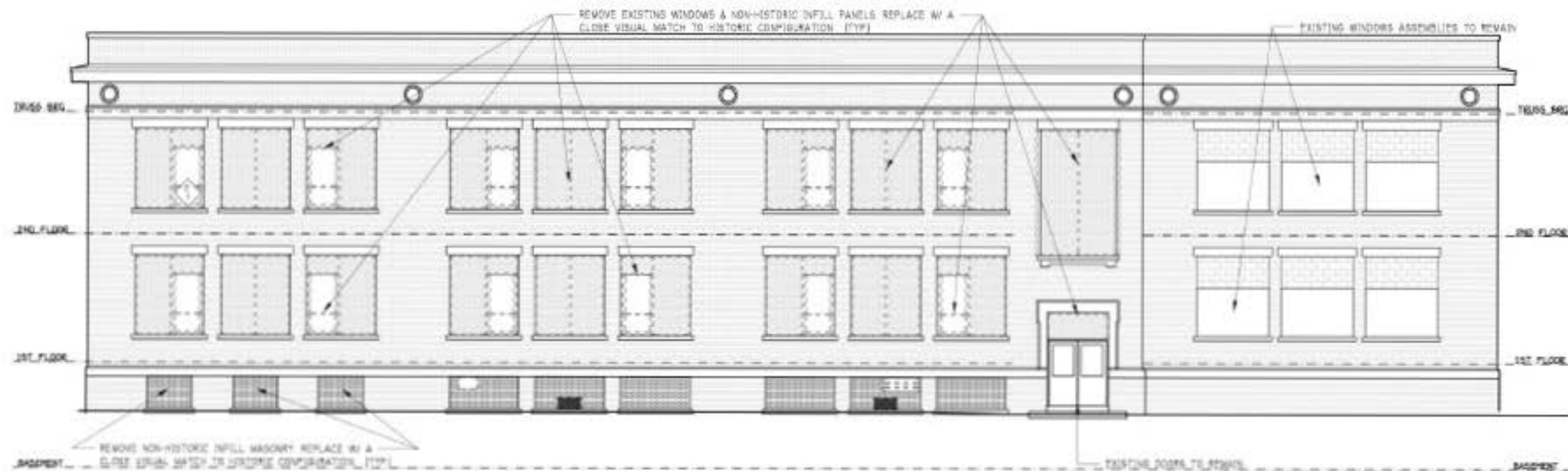
CALL DIGGER'S HOTLINE
 1-800-732-2811
 TOLL FREE
 822747 (414) 238-0847
 100 (100) BEARING (MAGNETIC) - 1000-041-000
 100 (100) BEARING (TRUE) - 1000-041-000
 100 (100) BEARING (MAGNETIC) - 1000-041-000
 100 (100) BEARING (TRUE) - 1000-041-000

ALL UNDERGROUND UTILITIES LOCATED BY GROUND PENETRATING RADAR (GPR) SURVEY. THE RESULTS OF THIS SURVEY ARE SHOWN ON THIS PLAN. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

AIR PHOTO FOR ANCHOR WEBSITE 10/09/14

GEOS & HEERMANS SURVEYORS

CONCEPT REDEVELOPMENT PLAN



3 EAST EXTERIOR ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"

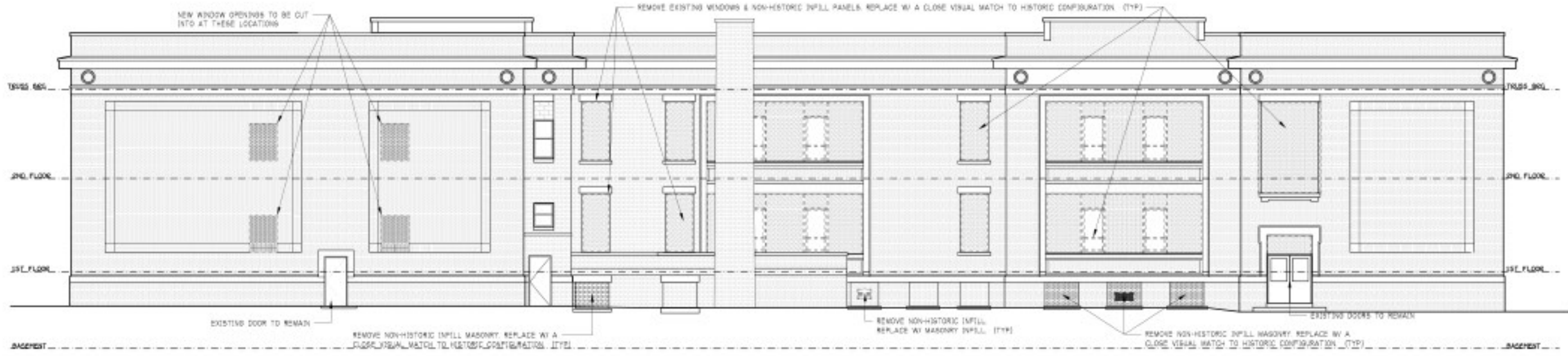


D EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

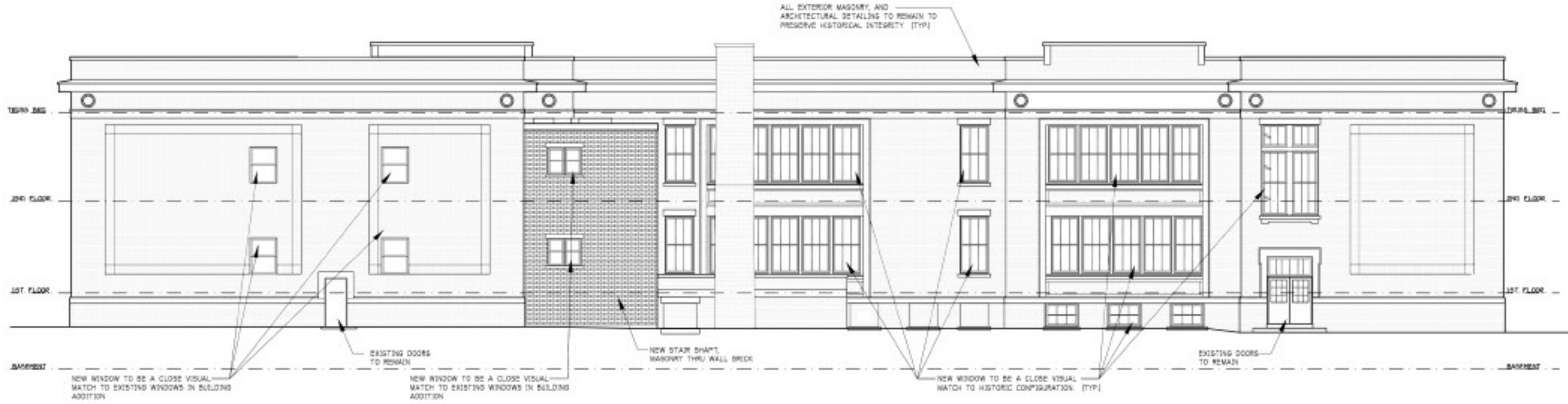
**WASHINGTON SCHOOL
APARTMENTS**
1238 GEELE AVENUE
SHEBOYGAN, WISCONSIN

Project No.	1001-00-0000
Project Date:	09-07-2016
Drawn by:	crc
Issue date	Description

MASONRY DEMOLITION FOR NEW OPENINGS TO BE PERFORMED BY MASONS
- ALL OPENINGS TO BE SAWTOOTHED IN.



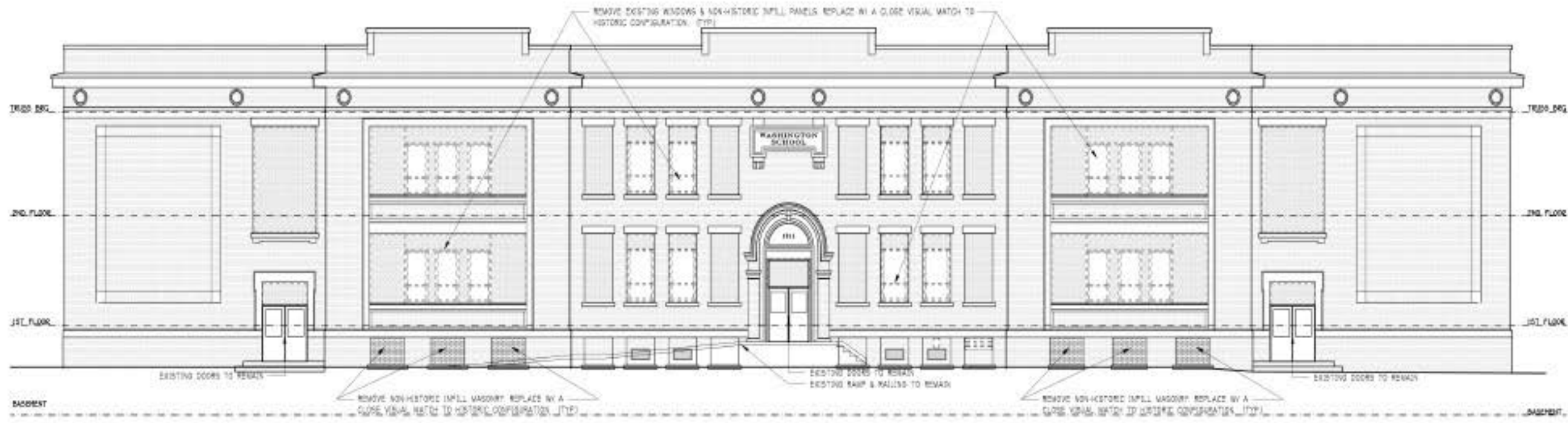
2 NORTH EXTERIOR ELEVATION - DEMOLITION
SCALE: 1/8" = 1' - 0"



B NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

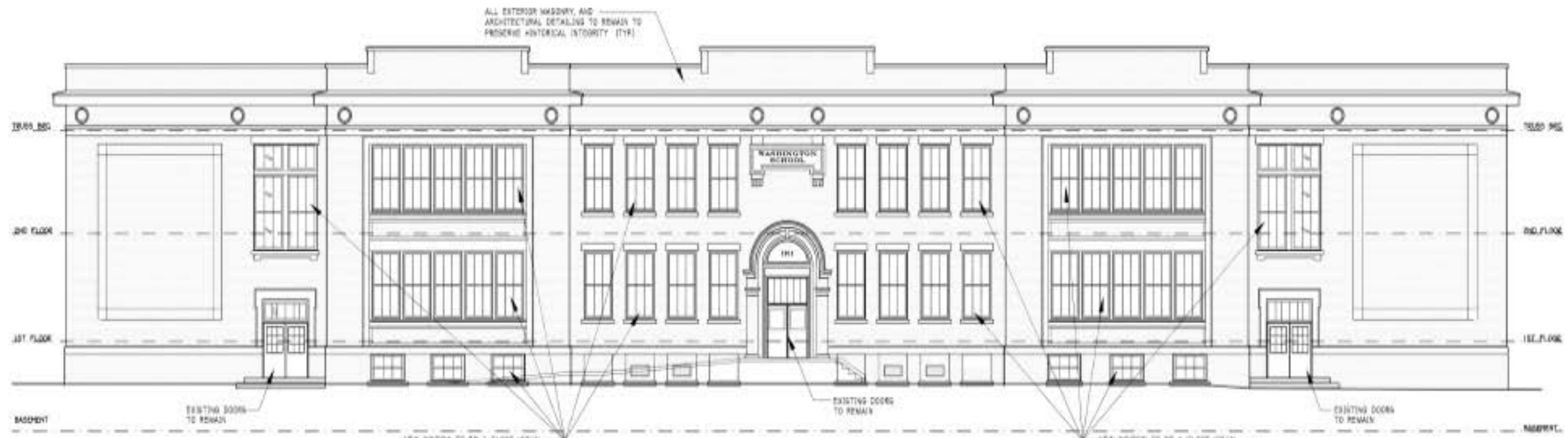
**WASHINGTON SCHOOL
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1 SOUTH EXTERIOR ELEVATION - DEMOLITION
SCALE: VP = 1/8" = 1'-0"

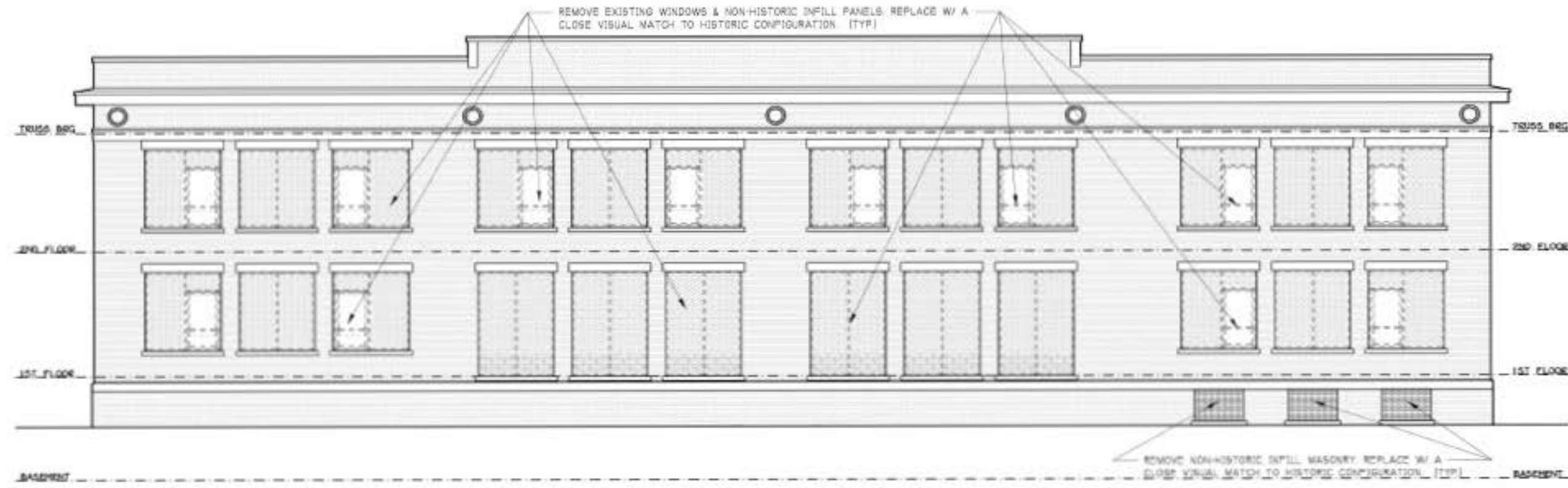
SEE OTHER DEMOLITION FOR WALL DEMOLITION TO BE REPOSESED BY ARCHITECT



A SOUTH EXTERIOR ELEVATION
SCALE: VP = 1/8" = 1'-0"

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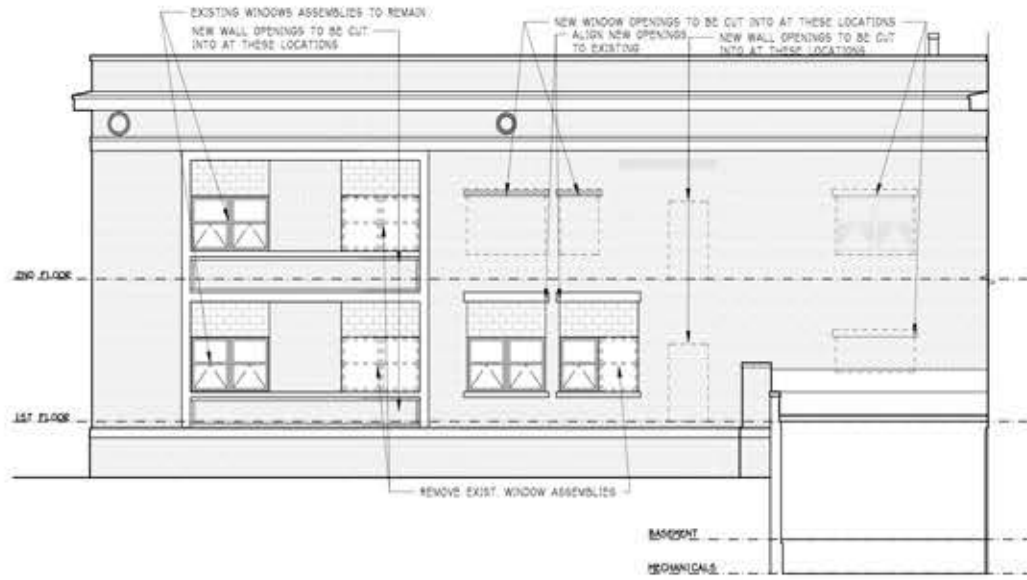
4 WEST EXTERIOR ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"



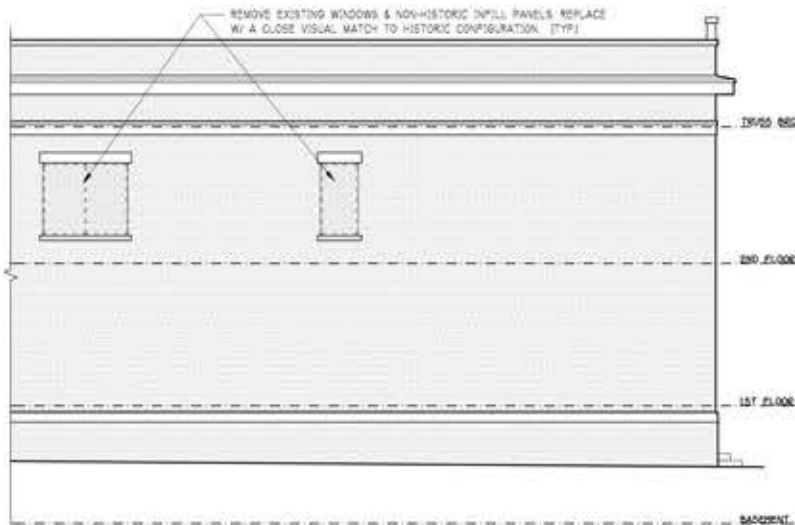
C WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

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Drawn by:	cre
Issue date	Description



5 EAST INTERIOR ELEVATION - DEMOLITION
 SCALE: 1/8" = 1'-0"



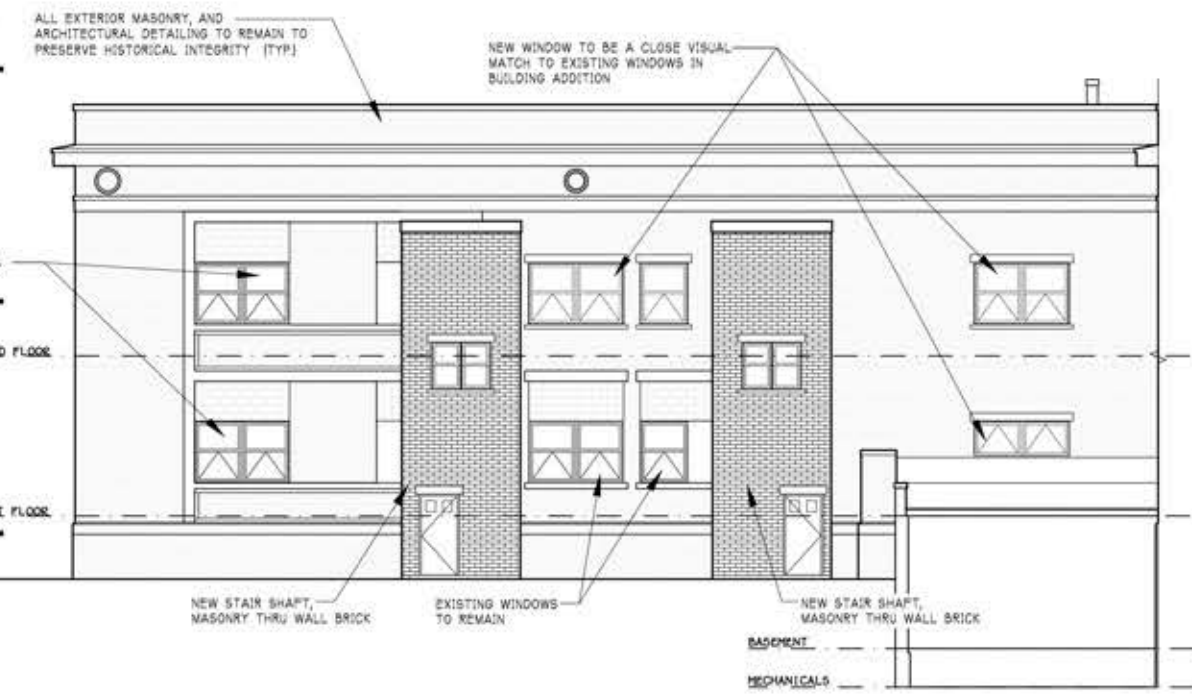
6 WEST INTERIOR ELEVATION - DEMOLITION
 SCALE: 1/8" = 1'-0"

GORMAN
CONSTRUCTION SERVICES
 REAL ESTATE
 DEVELOPMENT &
 MANAGEMENT
 200 N. MAIN STREET
 OREGON, WI 53575

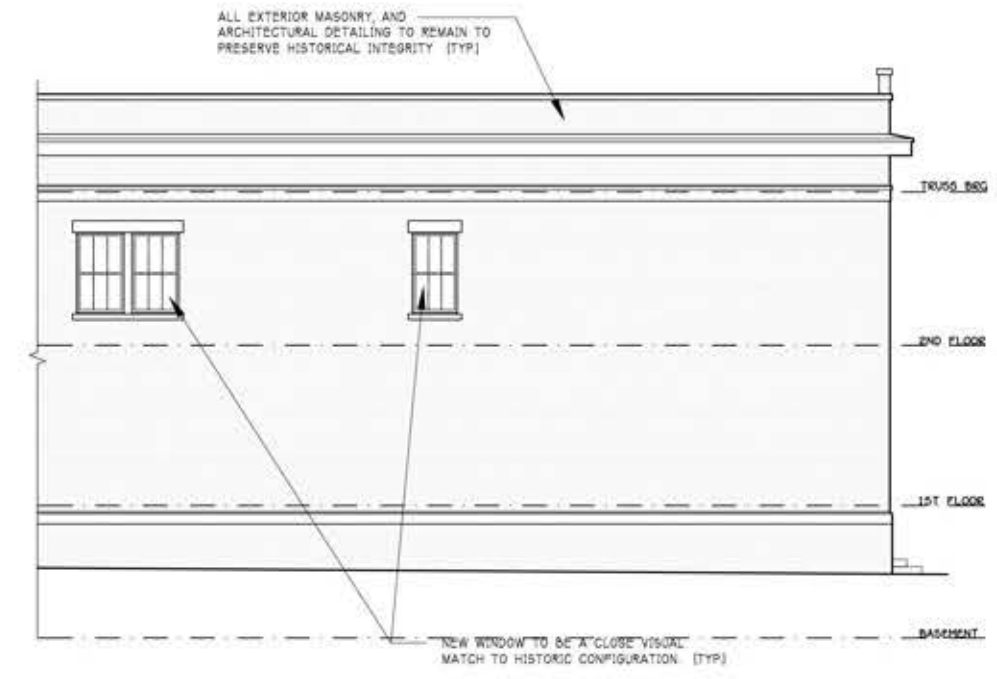
**WASHINGTON SCHOOL
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 SHEBOYGAN, WISCONSIN

Project No. 1001-00-0000
 Project Date: 09-07-2016
 Drawn by: crd
 Issue date Description

Sheet Title
**EXTERIOR ELEVATIONS -
 DEMOLITION**
 Sheet No.
AD203



E EAST EXTERIOR BUILDING ELEVATION - INTERIOR
 SCALE: 1/8" = 1'-0"



F WEST EXTERIOR BUILDING ELEVATION - INTERIOR
 SCALE: 1/8" = 1'-0"

**WASHINGTON SCHOOL
 APARTMENTS**
 1238 GEELE AVENUE
 SHEBOYGAN, WISCONSIN

Project No. 1001-00-0000
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Sheet Title
**EXTERIOR BUILDING
 ELEVATIONS**

Sheet No.
A203

DEMOLITION PLAN GENERAL NOTES

1. THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER EVERY SPECIFIC ITEM OF DEMOLITION REQUIRED TO COMPLETE THE WORK NOR ARE THEY INTENDED TO SHOW THIS. THE DEMOLITION SHOW THE GENERAL INTENT OF THE WORK IN AS MUCH DETAIL AS IS POSSIBLE. FINAL DETERMINATION OF ALL REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE ALLOWED TO FORM THE BASIS FOR ADDITIONAL COMPENSATION UNLESS SUCH WORK IS CLEARLY SHOWN TO BE BEYOND THE GENERAL SCOPE AND GENERAL INTENT OF THE CONTRACT DOCUMENTS CONSIDERED IN THEIR ENTIRETY.
2. ALL ITEMS INDICATED TO BE SALVAGED SHALL BE TEMPORARILY STORED AND/OR RELOCATED FOR LATER RE-INSTALLATION. ALL MISC. ITEMS NOT MARKED OR OTHERWISE INDICATED TO BE SALVAGED REMOVE AND PROPERLY DISPOSE OF. FOR HISTORICAL PRESERVATION PURPOSES EXISTING SIGNAGE SHALL REMAIN IN PLACE OR BE TEMPORARILY REMOVED AND BE RELOCATED.
3. ALL ITEMS AND FINISHES INDICATED TO REMAIN AND NOT BE REMOVED SHALL BE PROTECTED BY DEMOLITION CONTRACTOR FROM ANY DAMAGE OR MARKING OF FINISHES.
4. COORDINATE WITH EXISTING BUILDING PLANS AND CONDITIONS AND WITH STRUCTURAL PLANS FOR DEMOLITION RELATED TO ALL STRUCTURAL WORK. DO NOT CUT, REMOVE, OR DAMAGE ANY STRUCTURAL OR SUSPECTED STRUCTURAL SYSTEM OR BEARING WALL WITHOUT PREVIOUSLY COORDINATING WITH ARCHITECT AND STRUCTURAL ENGINEER.
5. PRIOR TO BEGINNING OR THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND THE EXISTING BUILDING TO DEFINE THE WORK REQUIRED, EXISTING CONDITIONS, AND LIMITATIONS.
6. FOLLOW ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS FOR ALL DEMOLITION WORK. THIS INCLUDES, BUT IS NOT LIMITED TO ALL APPLICABLE OSHA, AND EPA RULES AND REGULATIONS.
7. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE

JOB SITE OF ANY SAFETY HAZARDS, OPENINGS, ETC. THAT COULD CREATE A HAZARD.

8. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND RE-CONNECTION FOR ALL ELECTRICAL UTILITIES AS REQUIRED FOR ELECTRICAL WORK. COORDINATE WITH GENERAL CONTRACTOR ON TIMING, ETC. SO AS NOT TO DELAY WORK BY DEMOLITION CONTRACTOR OR OTHERS. ELECTRICAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROPER DEMOLITION OF ELECTRICAL PANELS, CONDUIT, POWER SOURCES, ELECTRICAL RACEWAY AND ALL RELATED HARDWARE AND ACCESSORIES. COORDINATE WITH DEMOLITION CONTRACTOR.
9. COORDINATE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF ANY UTILITIES AS REQUIRED FOR DEMOLITION WORK.
10. SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
11. DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK, ETC. AND ALL OTHER EQUIPMENT AND RELATED ACCESSORIES NOT SPECIFIED TO REMAIN SHALL BE BY DEMOLITION CONTRACTOR. MEP CONTRACTORS SHALL CLEAN AND MARK ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
12. UNLESS NOTED OTHERWISE REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS FOR RULES REGARDING POSSIBLE ACM. DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILING TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINAL FINISHED SURFACE AND TO BE RE-PROOFED. MINERAL CAPROD PIPES, ETC. WOULD BE VISIBLE OR EXPOSED WITHIN FINISHED ROOM. REMOVE THE ITEMS ENTIRELY.
13. FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING, AS APPLICABLE, AND SHALL BE CAPPED. DEMOLITION AND CAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK SIM TO NOTE ABOVE.
14. AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND

DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.

15. REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
16. DEMOLITION CONTRACTOR SHALL SCRAPE AND REMOVE EXISTING DAMAGED PAINT ON ANY AREAS TO REMAIN WHICH REQUIRE NEW WORK. REFER TO SPECIFICATIONS AND ALL APPLICABLE SAFETY RULES WHEN WORKING WITH LEAD PAINT. WHERE LEAD PAINT EXISTS (TO BE ESTABLISHED BY TESTING) REMOVAL SHALL BE ACCOMPANIED BY TECHNICIANS THAT DO NOT RELEASE LEAD DUST OR DIRT INTO THE AIR. USE OF A HEAT GUN FOR PAINT REMOVAL WOULD BE PROHIBITED IN THIS CASE.
17. FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL WALL COVERING, AND ADHESIVE.
18. FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
19. UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND TERRAZZO CURB BASE ARE TO REMAIN. FOR WALLS INDICATED TO BE REMOVED, TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORING, ETC. DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMAN-LIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
20. IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEYED DEMOLITION NOTES, REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

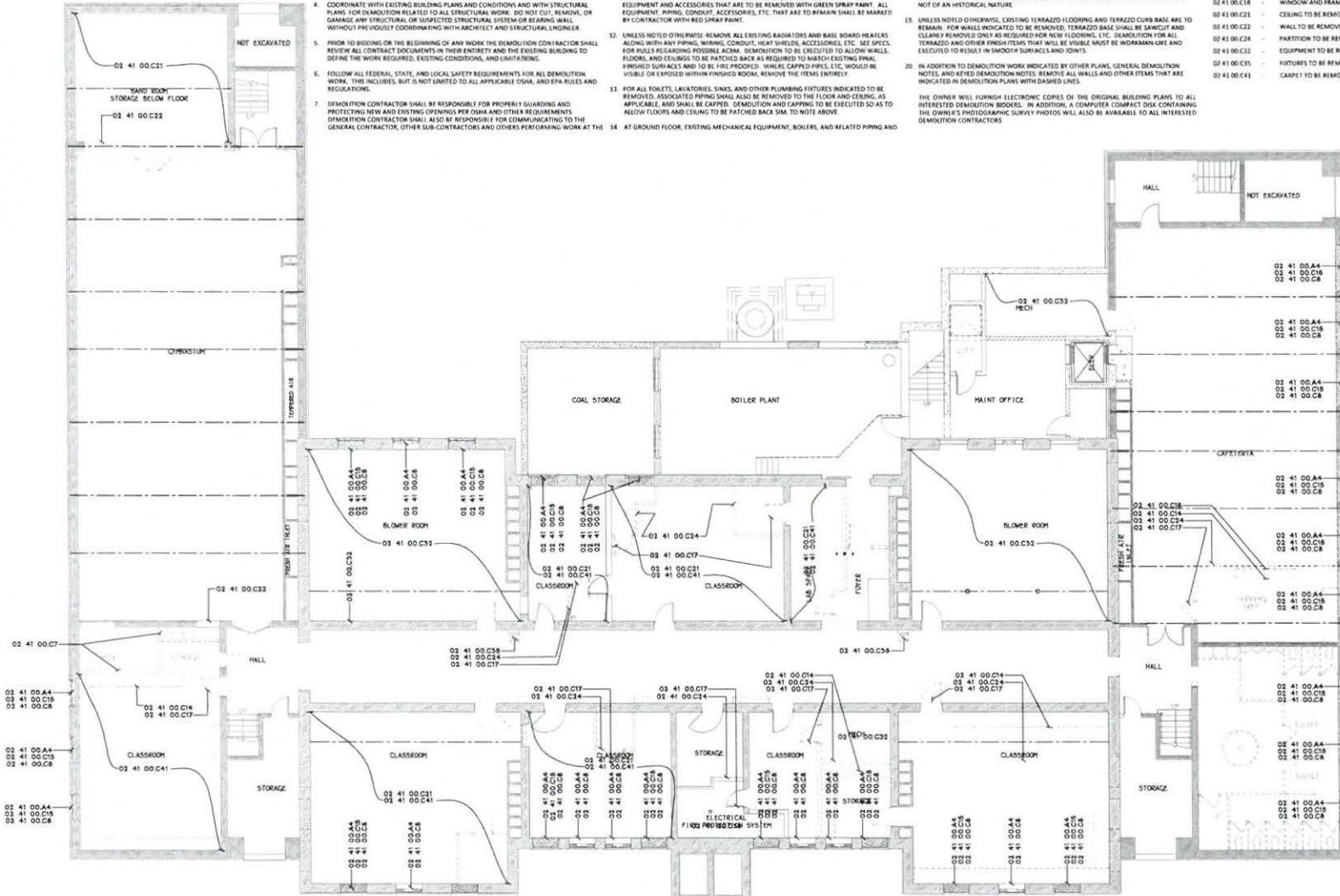
THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.

REFERENCE KEYNOTES

DIVISION 02 - EXISTING CONDITIONS

02 41 00 - DEMOLITION

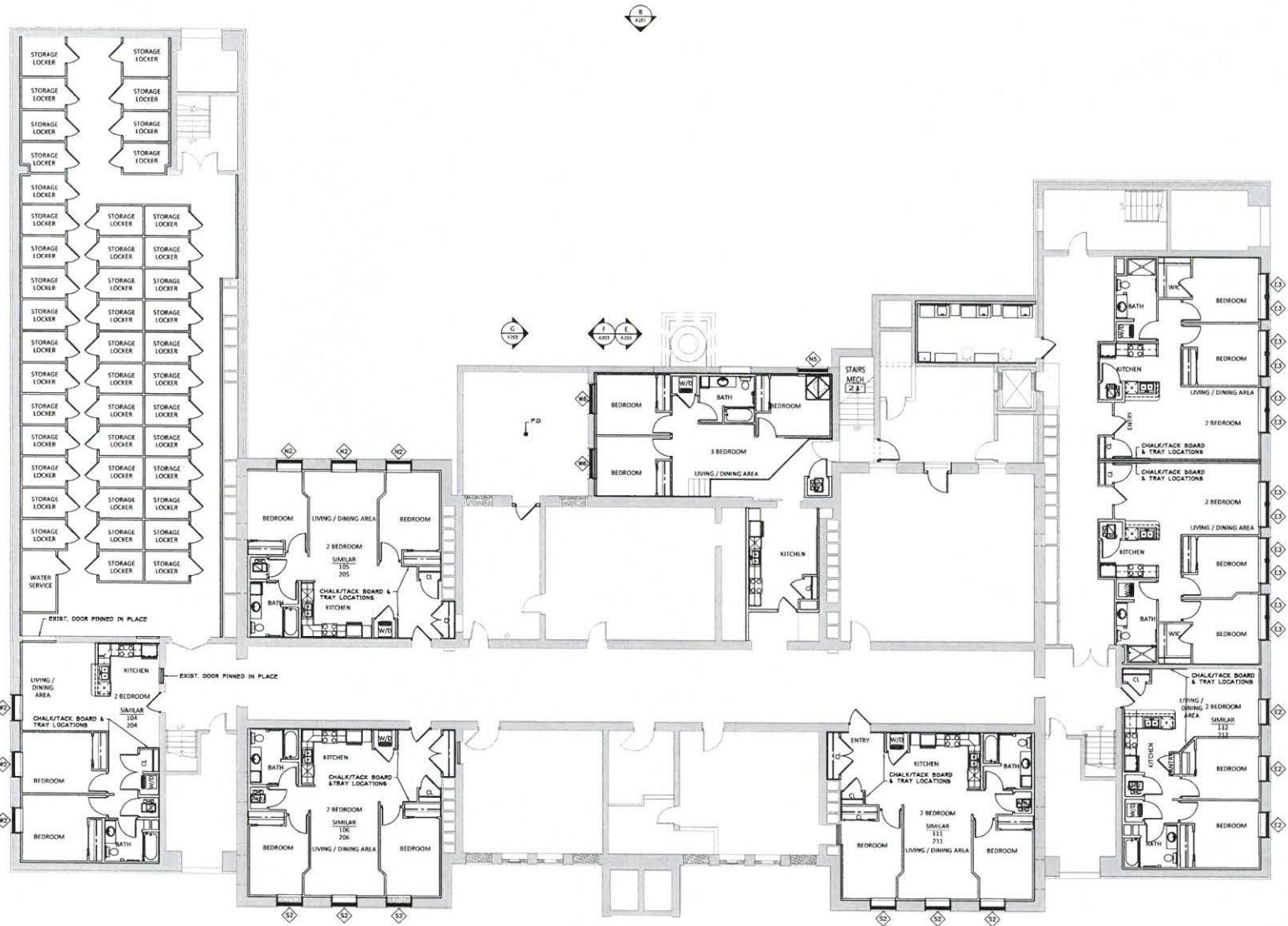
- 02 41 00.A4 - REMOVE EXISTING CONSTRUCTION
- 02 41 00.C7 - BRICK MASONRY TO BE REMOVED
- 02 41 00.C8 - CMU'S TO BE REMOVED
- 02 41 00.C14 - CASWORK TO BE REMOVED
- 02 41 00.C15 - INSULATION TO BE REMOVED
- 02 41 00.C17 - DOOR AND FRAME TO BE REMOVED
- 02 41 00.C18 - WINDOW AND FRAME TO BE REMOVED
- 02 41 00.C22 - CEILING TO BE REMOVED
- 02 41 00.C23 - WALL TO BE REMOVED
- 02 41 00.C24 - PARTITION TO BE REMOVED
- 02 41 00.C25 - EQUIPMENT TO BE REMOVED
- 02 41 00.C35 - FIXTURES TO BE REMOVED
- 02 41 00.C41 - CARPET TO BE REMOVED



1 BASEMENT - DEMOLITION PLAN
SCALE: 1/8" = 1' - 0"

**WASHINGTON SCHOOL
APARTMENTS**
1238 GEELE AVENUE
SHEBOYGAN, WISCONSIN

Project No.	1001-00-0000
Project Date:	09-07-2016
Drawn by:	crd
Issue date	Description



1 BASEMENT FLOOR OVERALL PLAN
SCALE: 1/8" = 1' - 0"

Sheet Title
**OVERALL BASEMENT
FLOOR PLAN**

Sheet No.
A101

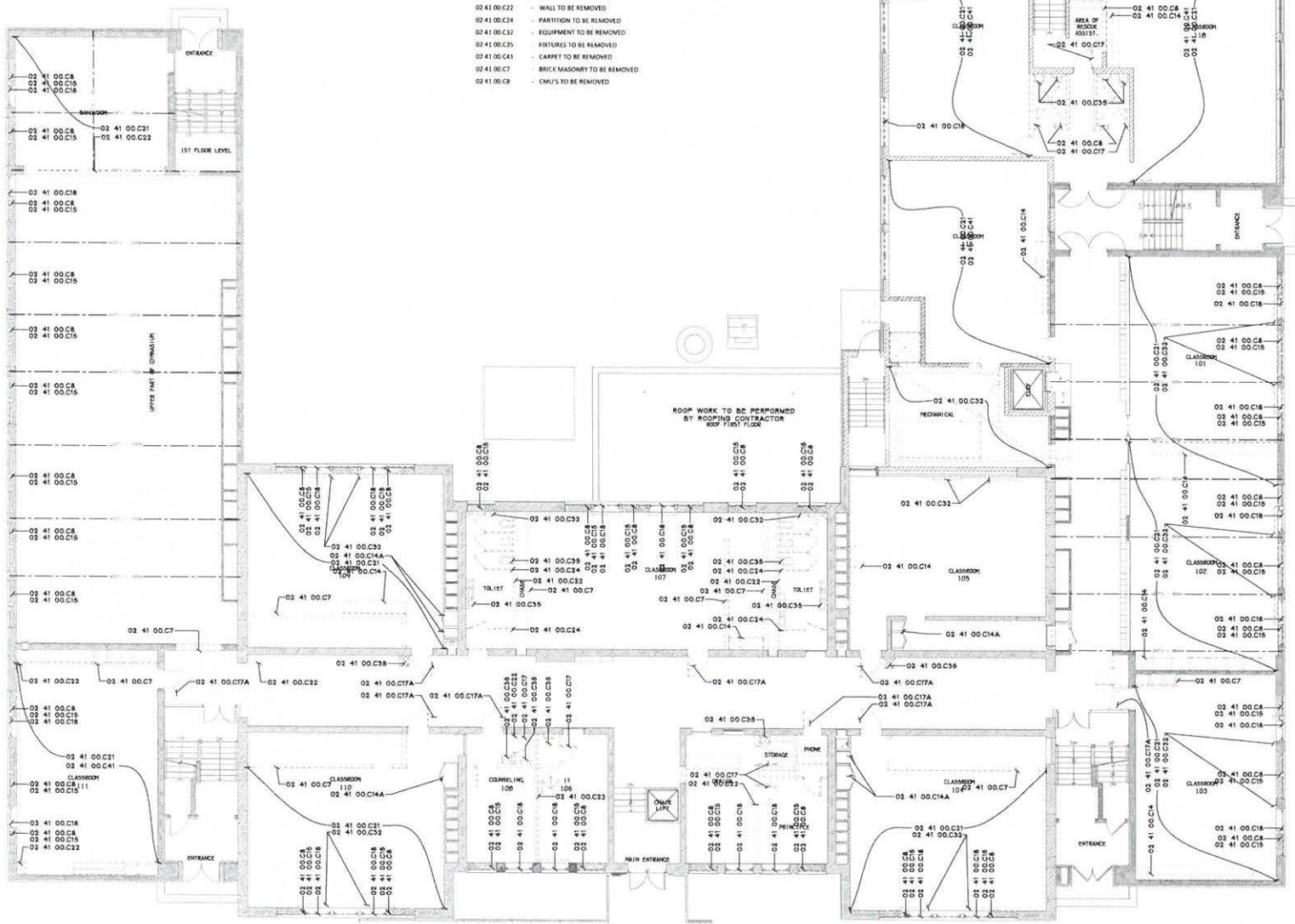
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DEMOLITION & CONSTRUCTION NOTE

- EXIST. FLOOR / CHAIR STAIRS & WOOD TRIM TO BE SALVAGED AND REINSTALLED @ DWELLING UNIT LIVING AREAS
- CORRIDORS TO REMAIN AS-IS. WOOD BASEBOARD IN CORRIDORS TO REMAIN IN PLACE - PROTECT DURING DEMOLITION & CONSTRUCTION
- DESIGNATED EXIST. WOOD DOORS & HARDWARE REMOVED TO BE REUSED. WOOD FRAMES & TRANSOMS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION
- WOOD FLOORS @ LIVING AREAS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION
- DESIGNATED EXIST. WOOD BUILT-INS CASEWORK @ LIVING AREAS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION

REFERENCE KEYNOTES

- DIVISION 02 - EXISTING CONDITIONS**
- 02 41 00 - DEMOLITION**
- 02 41 00.C1A - CASEWORK TO BE REMOVED
 - 02 41 00.C14A - CASEWORK TO BE SALVAGED IN PLACE - PROTECT DURING DEMOLITION AND CONSTRUCTION
 - 02 41 00.C15 - INSULATION TO BE REMOVED
 - 02 41 00.C17 - DOOR AND FRAME TO BE REMOVED
 - 02 41 00.C17A - FRAME AND TRANSOM TO REMAIN IN PLACE
 - 02 41 00.C18 - WINDOW AND FRAME TO BE REMOVED
 - 02 41 00.C21 - CEILING TO BE REMOVED
 - 02 41 00.C22 - WALL TO BE REMOVED
 - 02 41 00.C24 - PARTITION TO BE REMOVED
 - 02 41 00.C32 - EQUIPMENT TO BE REMOVED
 - 02 41 00.C35 - FIXTURES TO BE REMOVED
 - 02 41 00.C41 - CARPET TO BE REMOVED
 - 02 41 00.C7 - BRICK MASONRY TO BE REMOVED
 - 02 41 00.CR - CMU'S TO BE REMOVED



1 1ST FLOOR - DEMOLITION PLAN
SCALE: 1/8" = 1' - 0"

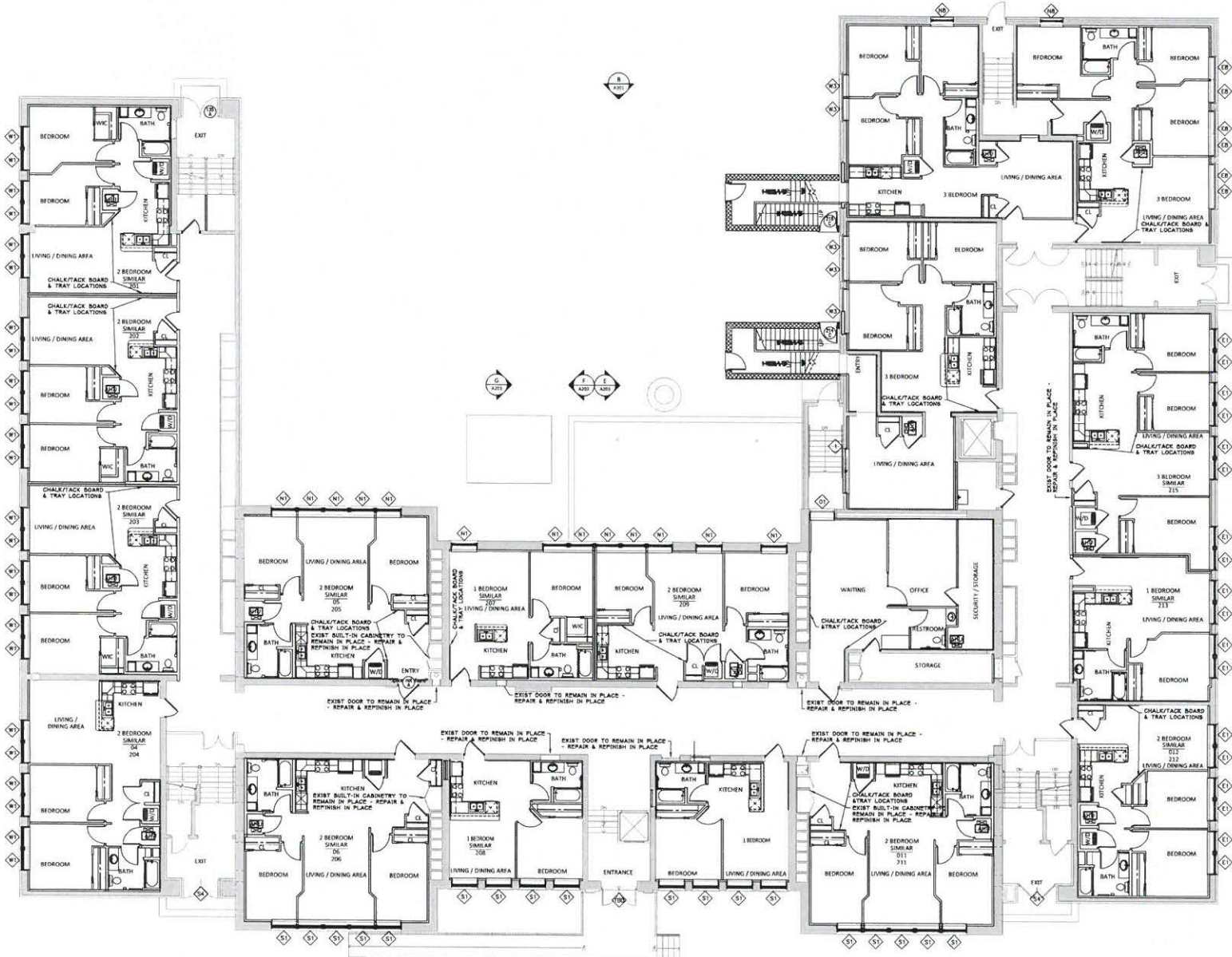
DEMOLITION PLAN

WASHINGTON SCHOOL APARTMENTS
1238 GEELE AVENUE
SHEBOYGAN, WISCONSIN

Project No. 1001-00-0000
Project Date: 09-07-2016
Drawn by: crd
Issue date Description

Sheet Title
OVERALL 1ST FLOOR PLAN

Sheet No.
A111



1 1ST FLOOR OVERALL PLAN
SCALE: 1/8" = 1' - 0"

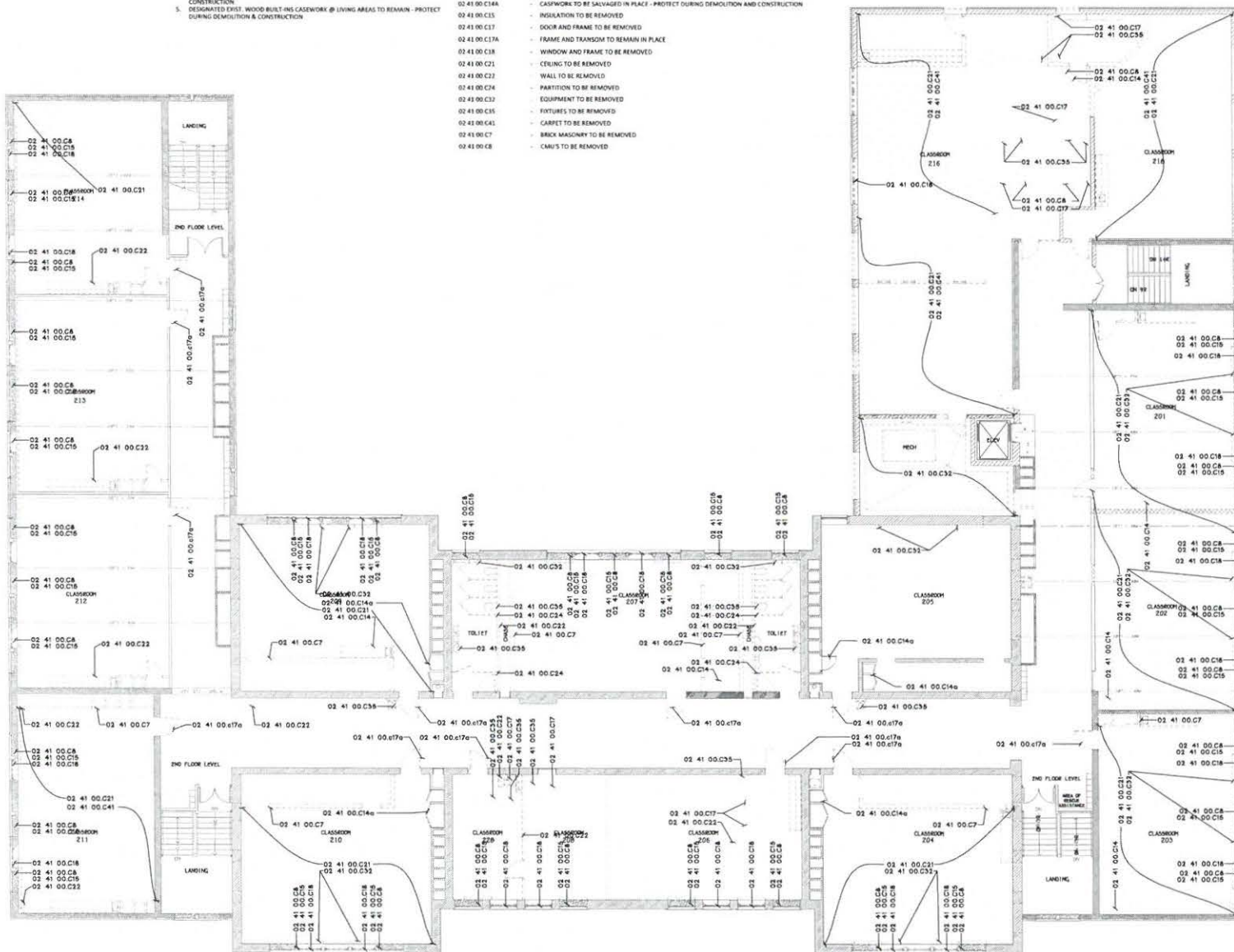
DEMOLITION & CONSTRUCTION NOTE

- EXIST. TAPE / CHALK BOARDS & WOOD TRIM TO BE SALVAGED AND REINSTALLED @ DWELLING UNIT LIVING AREAS.
- CORRIDORS TO REMAIN AS-IS. WOOD BASEBOARD IN CORRIDORS TO REMAIN IN PLACE. PROTECT DURING DEMOLITION & CONSTRUCTION.
- DESIGNATED EXIST. WOOD BOOKS & HARDWARE REMOVED TO BE REUSED. WOOD FRAMES & TRANSOMS TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.
- WOOD FLOORS @ LIVING AREAS TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.
- DESIGNATED EXIST. WOOD BUILT-INS CASEWORK @ LIVING AREAS TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.

REFERENCE KEYNOTES

DIVISION 02 - EXISTING CONDITIONS

- 02 41 00 - DEMOLITION**
- 02 41 00.C14 - CASEWORK TO BE REMOVED
 - 02 41 00.C14A - CASEWORK TO BE SALVAGED IN PLACE - PROTECT DURING DEMOLITION AND CONSTRUCTION
 - 02 41 00.C15 - INSULATION TO BE REMOVED
 - 02 41 00.C17 - DOOR AND FRAME TO BE REMOVED
 - 02 41 00.C17A - FRAME AND TRANSOM TO REMAIN IN PLACE
 - 03 41 00.C18 - WINDOW AND FRAME TO BE REMOVED
 - 02 41 00.C21 - CEILING TO BE REMOVED
 - 02 41 00.C24 - WALL TO BE REMOVED
 - 02 41 00.C24 - PARTITION TO BE REMOVED
 - 02 41 00.C32 - EQUIPMENT TO BE REMOVED
 - 02 41 00.C35 - FIXTURES TO BE REMOVED
 - 02 41 00.C41 - CARPET TO BE REMOVED
 - 02 41 00.C7 - BRICK MASONRY TO BE REMOVED
 - 02 41 00.C8 - CASU'S TO BE REMOVED



1 2ND FLOOR - DEMOLITION PLAN
SCALE: 1/8" = 1' - 0"

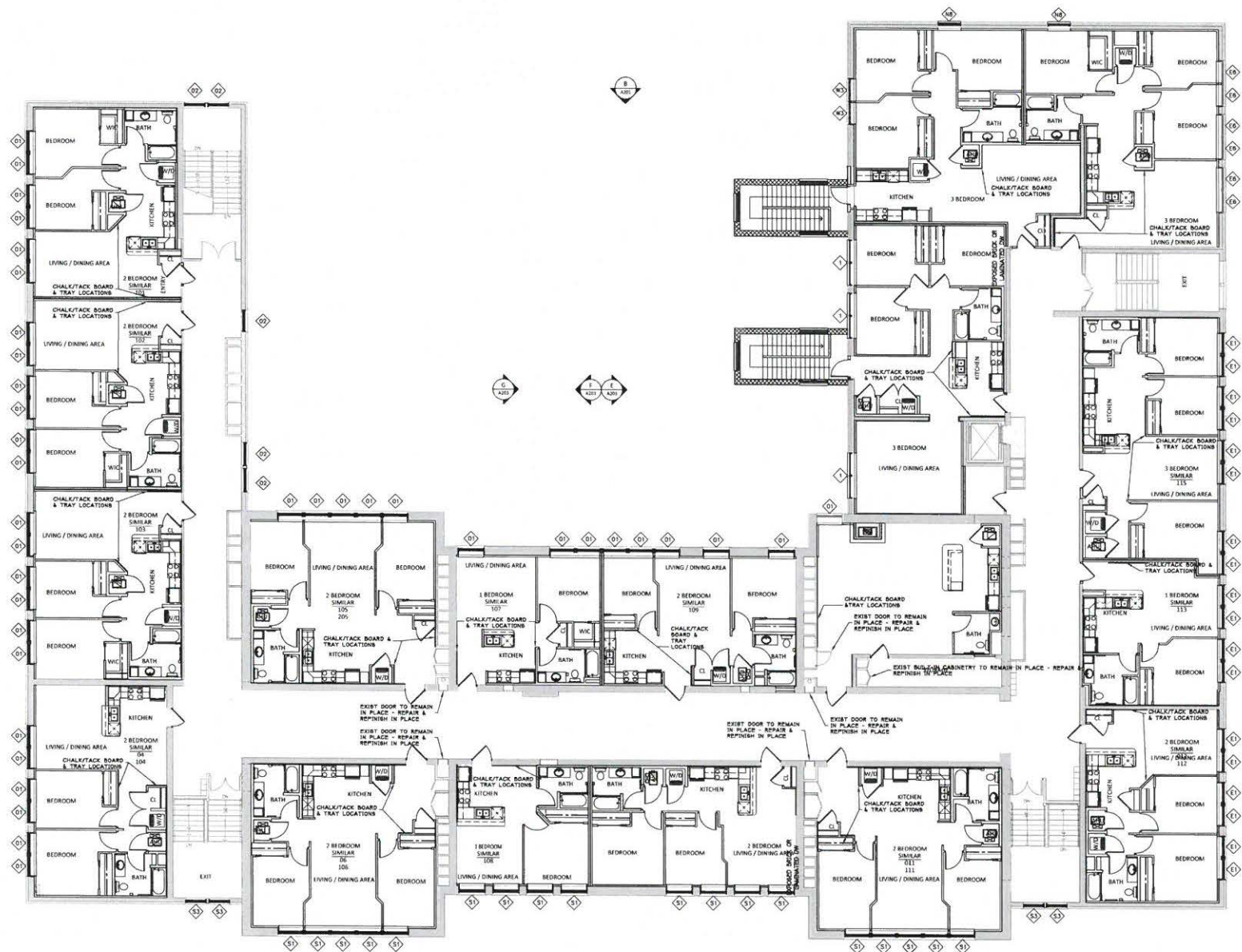
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Sheet Title
OVERALL 2ND FLOOR PLAN

Sheet No.
A121



1 2ND FLOOR OVERALL PLAN
SCALE: 1/8" = 1' - 0"

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Review and consideration of architectural plans for Dairy Queen Addition located at 2263 Calumet Drive (resubmittal).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: September 23, 2016

MEETING DATE: September 26, 2016

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The Architectural Review Board at their meeting of August 22, 2016, approved the Dairy Queen addition/remodel project at 2263 Calumet Drive with the following conditions:

- 1) Applicant shall install the dark brown colored wainscoting around and above the entrance door located on the south side of the building – wainscoting shall be located on the sides of entrance door and above the entrance door and shall go from grade to peak.
- 2) All roof top mechanicals need to be screened.
- 3) New elevations must be submitted to staff for review.

Based on those conditions the architect for the Dairy Queen stated:

As we talked about on the phone, the city would like us to continue the CMU block wainscoting up / around the existing double door, full height to the parapet wall above. After we spoke I looked further into this matter.

By extending the CMU block full height, we would change the classification of this wall type from a decorative wainscoting to a full height CMU block wall. In this situation, we are facing some inherent problems with the existing material. The existing CMU blocks are 8"x8"x4" deep and they are solid (no inner cells). The building code does not allow un-reinforced masonry construction, as there is no inner cells to grout and place rebar reinforcing. Also, in addition to not being allowed by building code, un-reinforced masonry construction cannot resist lateral loads (earthquake / wind / impact / etc.) applied on or to this assembly type, when lateral loads are applied to un-reinforced masonry, these types of assemblies have a tendency to fail / collapse quickly.

Looking forward, extending the CMU block wainscoting will not be allowed by building code. The stone chimney is going to be cost prohibitive for my client. We would ask the City to reconsider an EIFS color change at the side door location as this solution will be the most practical from a code / construct-ability / cost standpoint.

Based on that staff informed the applicant that the City might accept something other than masonry to emphasize the entrance but plans would need to be resubmitted.

The applicant then stated:

As we spoke on the phone, we will be adding 3" of EIFS depth (two additional layers of 1-1/2" Styrofoam) around the side entrance doors & full height to the parapet wall above. At this location we will also remove the wainscoting cmu block below and run the EIFS bump out all the way to the ground. The color of the bump out will match the color of the adjacent wainscoting (darker color).

Based on those comments and drawings staff informed the applicant:

- Do not like the EIFS run to the ground (likely to get really beaten-up). Would like the CMU base – maybe you can just replace the top course on the wainscot at that location with a non chamfered unit, and run the EIFS up in that plane. We want to keep the masonry wainscot, but we also want the different-colored EIFS around the doorway to be in about the same plane as that outside face of the masonry, so they shouldn't have the chamfered top block under that portion of the EIFS. We also need clarification on the transition from the masonry wainscot to the dark EIFS around the doorway above
- Appears you are on the right track, but you will still need to resubmit to the board since it's a significant deviation from what was previously approved.

The applicant stated:

We will remove the top layer of block that has the chamfered edge and replace with a straight faced block at the new EIFS bump out around the doorway. The EIFS will be in the same plane as the block below for a smooth transition from the EIFS to the block.

STAFF COMMENTS:

None.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

- I. Architectural Review Board Application and required attachments.

Proposed
9/26/16



SOUTH EAST ELEVATION



BUILDING RENOVATION FOR
DAIRY QUEEN
SHEBOYGAN WISCONSIN



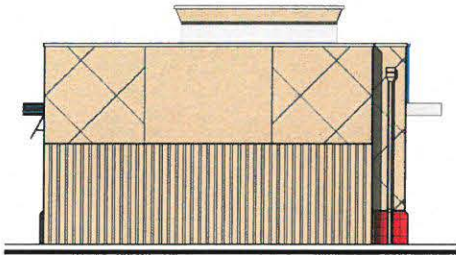
Original
8/24/10



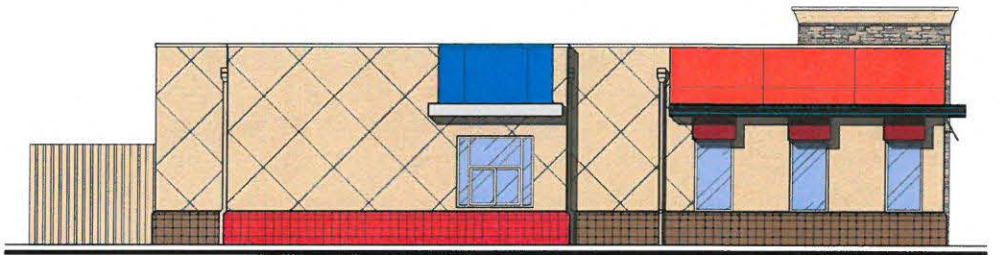
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



BUILDING RENOVATION FOR
DAIRY QUEEN
SHEBOYGAN WISCONSIN



Sokolowski, Steve

From: John Odom <john@johnsodom.com>
Sent: Friday, September 16, 2016 3:15 PM
To: Sokolowski, Steve
Cc: Lesley Adam
Subject: Re: Dairy Queen: Sheboygan WI Updated Elevations

Hi Steve,

We will remove the top layer of block that has the chamfered edge and replace with a straight faced block at the new EIFS bump out around the doorway. The EIFS will be in the same plane as the block below for a smooth transition from the EIFS to the block.

Please let me know if you need any further clarification on this.

I will be available for questions on Monday evening via my cell (1.417.343.2602).

Thanks for your help on this.

John S. Odom
Owner / Registered Architect
JSO Services, LLC

phone: 1.417.343.2602
email: john@johnsodom.com
website: www.johnsodom.com

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Please consider the environment before printing this e-mail.
On 9/16/2016 3:08 PM, Sokolowski, Steve wrote:

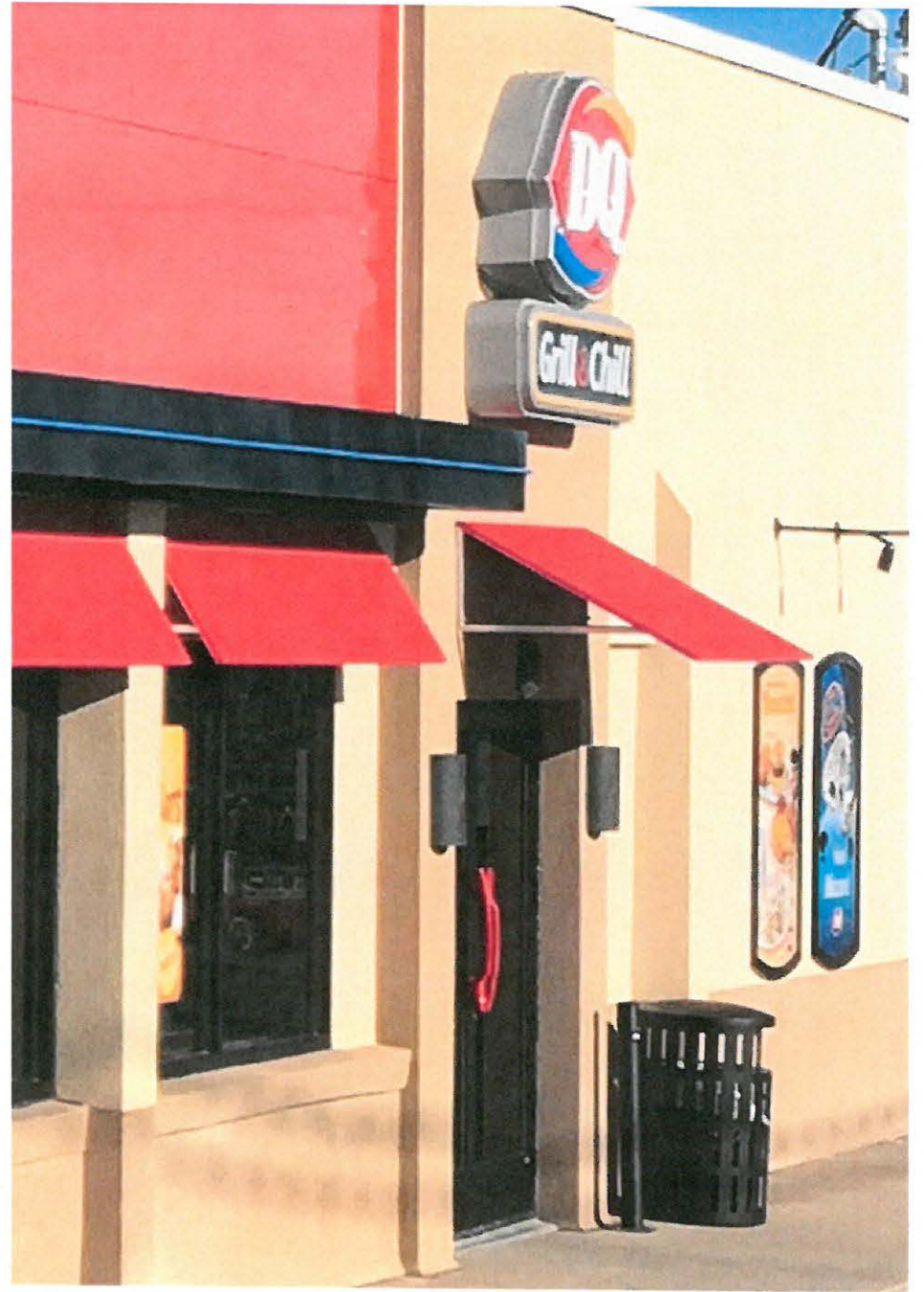
John:

Looks good but need clarification on the transition from the masonry wainscot to the dark EIFS (around the doorway) above.

Looks as if you still have the chamfered top block on the wainscot at those locations so the EIFS must be projecting out over than angled face – this may look awkward.

The photos appear to have the EIFS running continuous to the ground, not sitting on top of a projecting masonry wainscot – so that's not the detail we want. You will need to show us how you are proposing to make the transition in the Sheboygan proposal.

If you can explain how you are planning to have the EIFS sit nicely on top of the masonry wainscot that will probably work. If that is the case, the Board may be able to by phone.



Sokolowski, Steve

From: John Odom <john@johnsodom.com>
Sent: Monday, August 29, 2016 2:41 PM
To: Sokolowski, Steve; Lesley Adam
Subject: Sheboygan WI DQ Exterior Elevations

Hi Steve, (Cc'd Lesley w/ 14 Foods)

As we talked about on the phone, the city would like us to continue the CMU block wainscoting up / around the existing double door, full height to the parapet wall above. After we spoke I looked further into this matter.

By extending the CMU block full height, we would change the classification of this wall type from a decorative wainscoting to a full height CMU block wall. In this situation, we are facing some inherent problems with the existing material. The existing CMU blocks are 8"x8"x4" deep and they are solid (no inner cells). The building code does not allow un-reinforced masonry construction, as there is no inner cells to grout and place rebar reinforcing. Also, in addition to not being allowed by building code, un-reinforced masonry construction cannot resist lateral loads (earthquake / wind / impact / etc) applied on or to this assembly type, when lateral loads are applied to un-reinforced masonry, these types of assemblies have a tendency to fail / collapse quickly.

Looking forward, extending the CMU block wainscoting will not be allowed by building code. The stone chimney is going to be cost prohibitive for my client. We would ask the City to reconsider an EIFS color change at the side door location as this solution will be the most practical from a code / construct-ability / cost standpoint.

Please let us know your thoughts, thanks,

--

John S. Odom
Owner / Registered Architect
JSO Services, LLC

phone: 1.417.343.2602
email: john@johnsodom.com
website: www.johnsodom.com

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August 24, 2016

Lesley Adam
Frauenshuh Hospitality Group of Minnesota LLC
7101 W. 78th Street
Minneapolis, MN 55439

The Architectural Review Board at their meeting of August 22, 2016, approved the Addition to Dairy Queen located at 2263 Calumet Drive with the following conditions:

- 1) Applicant shall install the dark brown colored wainscoting around and above the entrance door located on the south side of the building – wainscoting shall be located on the sides of entrance door and above the entrance door and shall go from grade to peak.
- 2) All roof top mechanicals need to be screened.
- 3) New elevations must be submitted to staff for review.

If you have any questions feel free to contact me at 920/459-3382.

Sincerely

Steve Sokolowski
Manager of Planning & Zoning

Cc: John Odom, 11751 Brookbend Dr., Saint Louis, MO 63131

DEPARTMENT OF
PLANNING AND
DEVELOPMENT

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