

**\*\*\*ATTACHMENTS\*\*\***

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Review and consideration of architectural plans for a new Cargill Warehouse Addition at 704 S. River Street.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** September 9, 2016

**MEETING DATE:** September 12, 2016

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

Cargill is proposing to construct a new building addition to connect two (2) warehouse structures at 704 S. River Street. The applicant states the following about the project:

- Cargill is proposing a building addition that will connect two (2) existing warehouse facilities located on the west side of the site close to the Sheboygan River.
- The proposed addition is 1,255sf and will connect the 14,250sf and 6,048sf existing warehouses.
- The buildings are used to store finished product until the product is ready to be shipped.
- The warehouse addition is proposed to provide cover to the forklifts that move product from building to building. The building addition will remove issues with weather (snow and remain) because now all loading/unloading will now take place inside the building.

We feel that the scale, proportions and materials of the proposed building are appropriate for the location as it matches materials found on the other buildings on the site. The proposed addition will be a prefabricated metal building and will match the existing building eave heights. There will be a new firewall on the west end of the addition to separate the existing building to the west and the proposed building and existing building to the east into separate fire areas. Portions of this new firewall will be exposed and will be painted white. The building will have green metal siding to match the adjoining buildings. The main building structure will be exposed on the south façade and painted green to match the siding. The building will have a standing seam metal roof. Future expansions will be located to the north of the proposed building.

**STAFF COMMENTS:**

None.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: LJM Architects, Erik Jensen

ADDRESS: 813 Riverfront Drive

E-MAIL ADDRESS: ejensen@ljmarchitects.com

PHONE: ( 920 ) 458-4800 FAX NO.: ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Cargill Inc.

ADDRESS OF PROPERTY AFFECTED: 702 S. River Street

NEW BUILDING: \_\_\_\_\_ ADDITION: X REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: The proposed building will connect two existing warehouse buildings on the property to provide temporary storage on goods and protection from the elements.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The existing warehouse buildings adjacent to the proposed building have metal siding to match existing and a standing seam metal roof.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The proposed building will have green siding to match the existing adjacent buildings and a standing seam metal roof. The main metal building structure will be used to the south. There will be a new painted cmu firewall between the new and the existing 14,250 square foot building to the west.



Cargill Malt  
702 S. River Street  
Sheboygan, WI 53081

Architectural Review – Written Description

The proposed addition for Cargill Malt will connect two existing warehouses. The building will provide protection from the weather as well as temporary storage of goods during the loading/ unloading process.

We feel that the scale, proportions, and materials of the proposed building are appropriate for the location as it matches materials found on the other buildings on that site. The proposed addition will be a prefabricated metal building and will match the existing building eave heights. There will be a new firewall on the west end of the addition to separate the existing building to the west and the proposed building and existing building to the east into separate fire areas. Portions of this new firewall will be exposed and will be painted white. The building will have green metal siding to match the adjoining buildings. The main building structure will be exposed on the south façade and painted green to match the siding. The building will have a standing seam metal roof. Future expansions will be located to the north of the proposed building.

Cargill Malt  
702 S. River Street  
Sheboygan, WI 53081

Existing Conditions

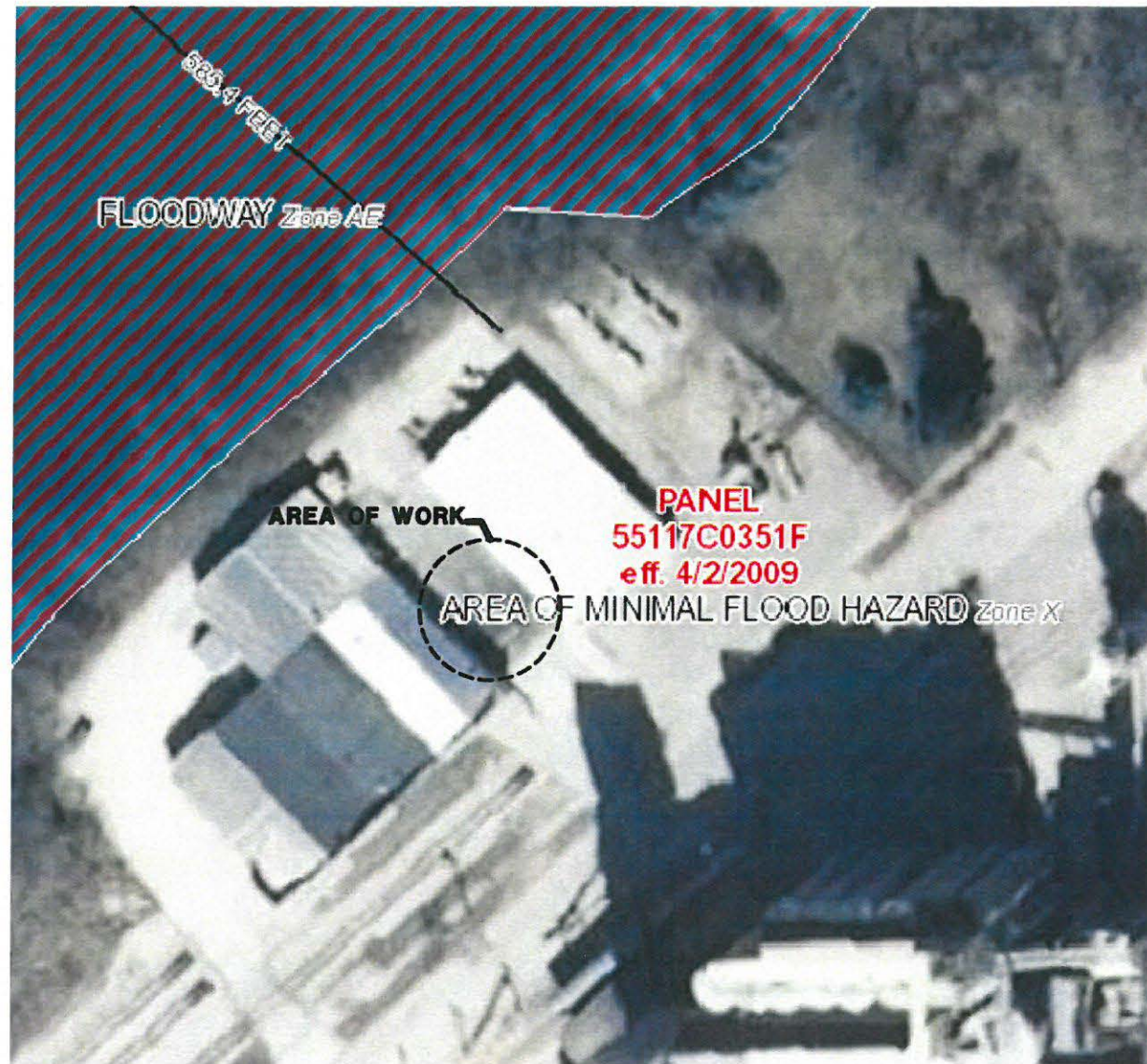


Looking Northwest at the project site

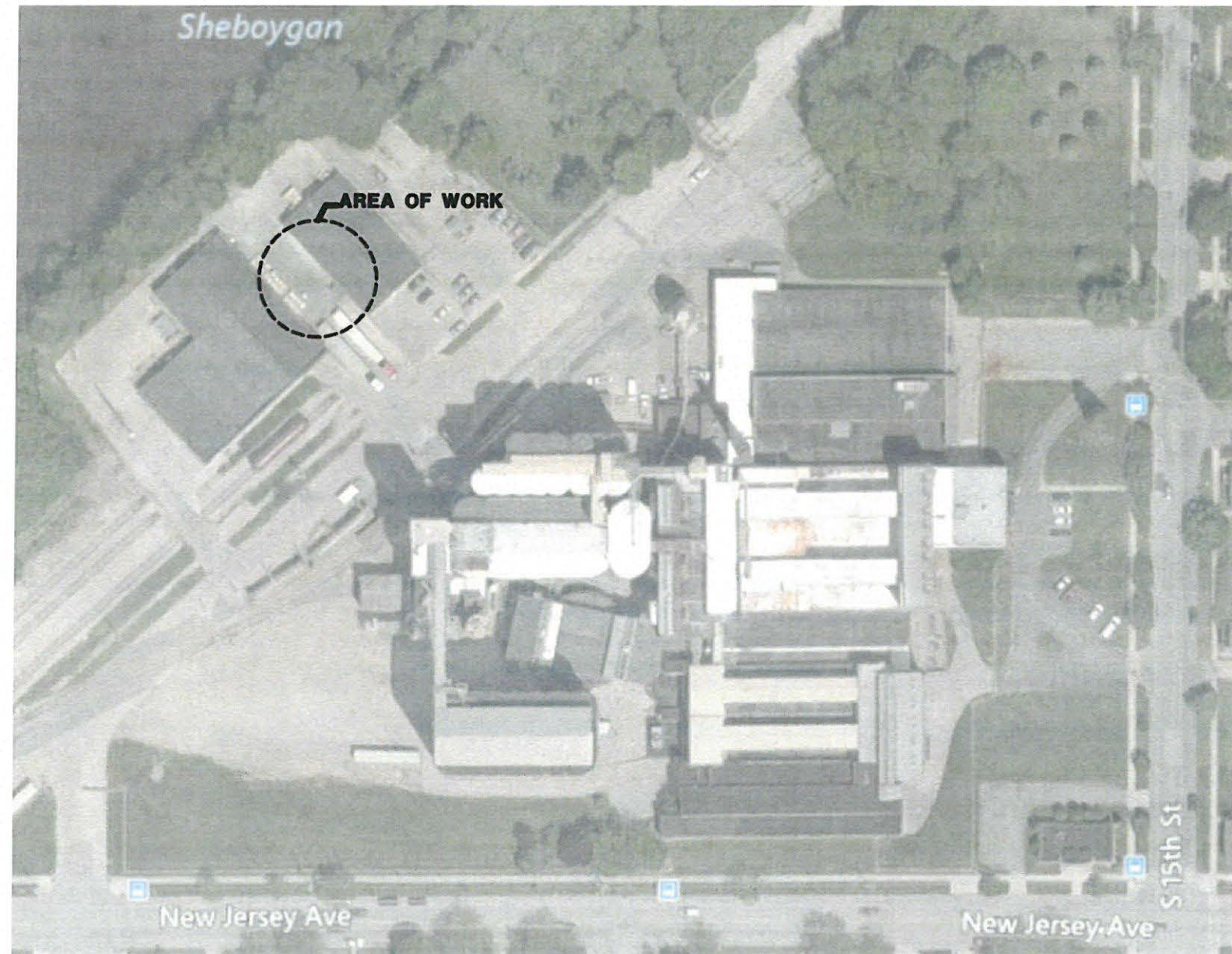
BUILDING ADDTION FOR:  
**CARGILL MALT**  
 702 S. RIVER STREET  
 SHEBOYGAN, WI 53081

BUILDING DATA	
BUILDING CODE	IBC 2009
OCCUPANCY	S-1 STORAGE
CLASS OF CONSTRUCTION	IIB
AREA OF PROJECT	1,255 S.F.
NUMBER OF STORIES	1 STORY
FIRE PROTECTION SYSTEM	NOT SPRINKLERED
BUILDING NOT HEATED	

DRAWING INDEX	
SHEET	DESCRIPTION
T1	TITLE, INDEX, AERIAL, BUILDING DATA
C1	SITE PLAN
A1.0	FOUNDATION AND FOOTING PLAN
A1.1	FLOOR PLAN
A1.2	ROOF PLAN
A2.1	SOUTH ELEVATION
A2.2	NORTH ELEVATION
A3	BUILDING SECTION...LOOKING NORTH
A4	WALL SECTION, DETAILS, SCHEDULES
S1	DETAILS, NOTES
S2	DETAILS, NOTES
S3	DETAILS, NOTES
S4	DETAILS
S5	DETAILS



**CARGILL MALT FLOOD PLAIN MAP**  
 SCALE: NOT TO SCALE



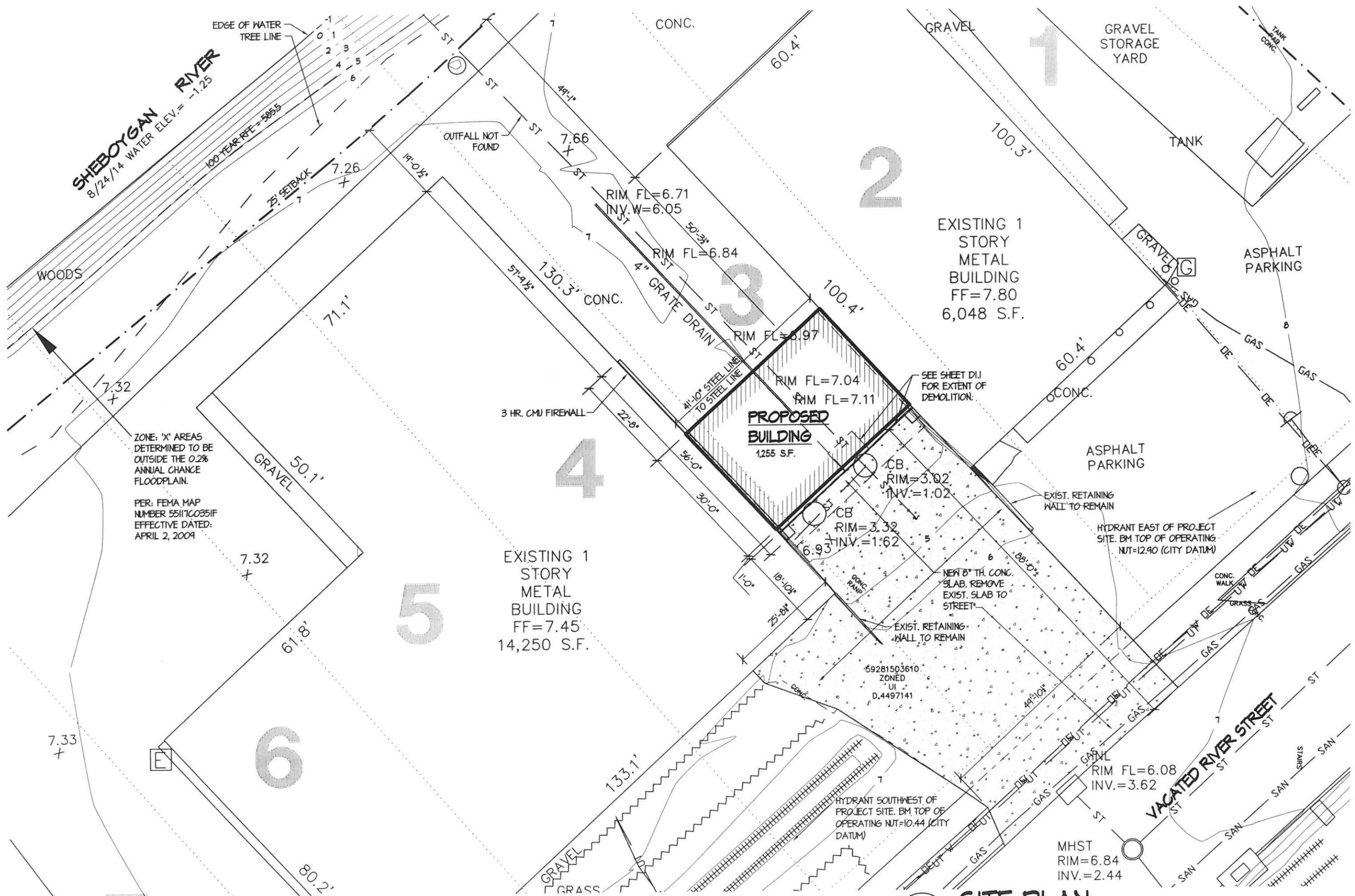
**CARGILL MALT AERIAL**  
 SCALE: NOT TO SCALE

NO.	REVISIONS	DATE

**LJM Architects**  
 813 Riverfront Drive  
 Phone (920) 466-4800  
 Sheboygan, WI 53081  
 Fax (920) 456-1486

BUILDING ADDITION FOR:  
**CARGILL MALT**  
 702 S. RIVER STREET  
 SHEBOYGAN, WI 53081

SHEET TITLE	
DRAWN BY	JA
CHECKED BY	EJ
DATE	08-22-16
PROJECT NO.	1635
SHEET NO.	<b>T1</b>



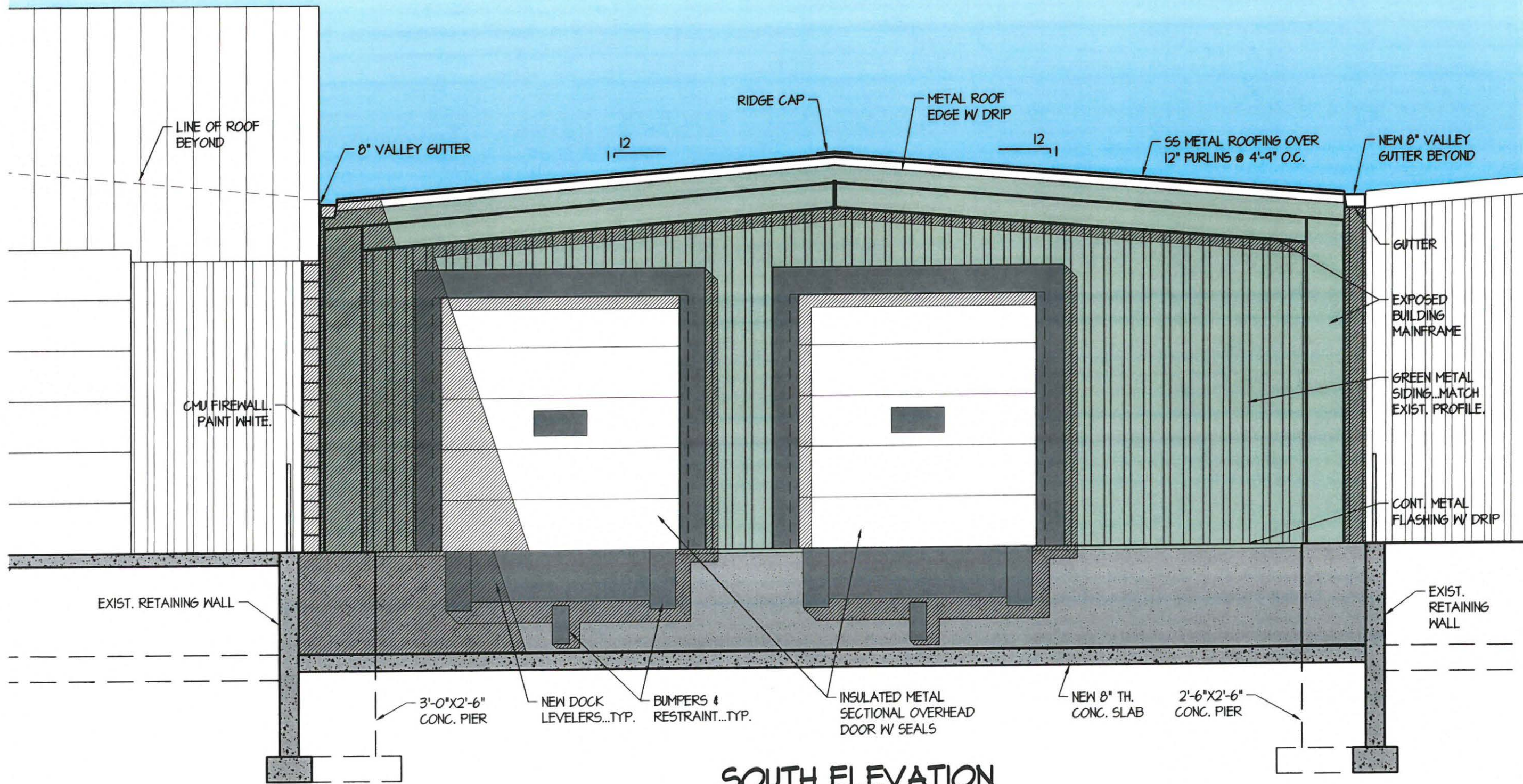
**SITE PLAN**  
SCALE 1" = 20'-0"

NO.	REVISIONS	DATE

**LJM Architects**  
813 Riverfront Drive Sheboygan, WI 53081  
Phone (920) 456-4800 Fax (920) 456-1485

**BUILDING ADDITION FOR:**  
**CARGILL MALT**  
702 S. RIVER STREET  
SHEBOYGAN, WI 53081

<b>SHEET TITLE</b>
<b>DRAWN BY</b> JA
<b>CHECKED BY</b> EJ
<b>DATE</b> 08-22-16
<b>PROJECT NO.</b> 1636
<b>SHEET NO.</b> <b>C1</b>



**SOUTH ELEVATION**

SCALE 1/4" = 1'-0"

NO.	REVISIONS	DATE

**LJM Architects**  
 813 Riverfront Drive Sheboygan, WI 53081  
 Phone (920) 456-4800 Fax (920) 456-1485

**BUILDING ADDITION FOR:  
 CARGILL MALT  
 702 S. RIVER STREET  
 SHEBOYGAN, WI 53081**

**SHEET TITLE**

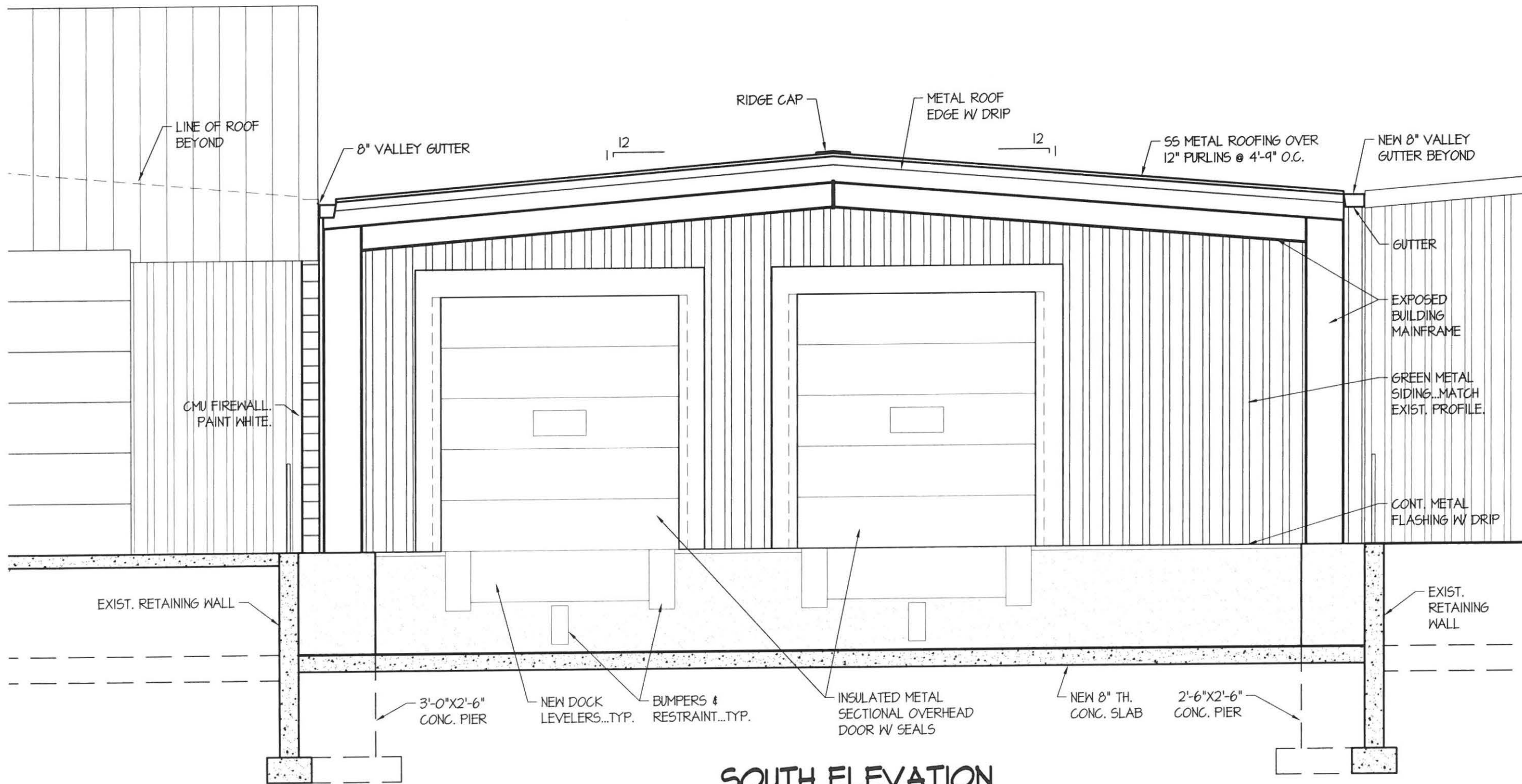
**DRAWN BY**  
JA

**CHECKED BY**  
EJ

**DATE**  
08-22-16

**PROJECT NO.**  
1636

**SHEET NO.**  
**A2.1**



**SOUTH ELEVATION**

SCALE 1/4" = 1'-0"

NO.	REVISIONS	DATE

**LJM Architects**  
 813 Riverfront Drive Sheboygan, WI 53081  
 Phone (920) 458-4800 Fax (920) 458-1485

**BUILDING ADDITION FOR:  
 CARGILL MALT  
 702 S. RIVER STREET  
 SHEBOYGAN, WI 53081**

SHEET TITLE

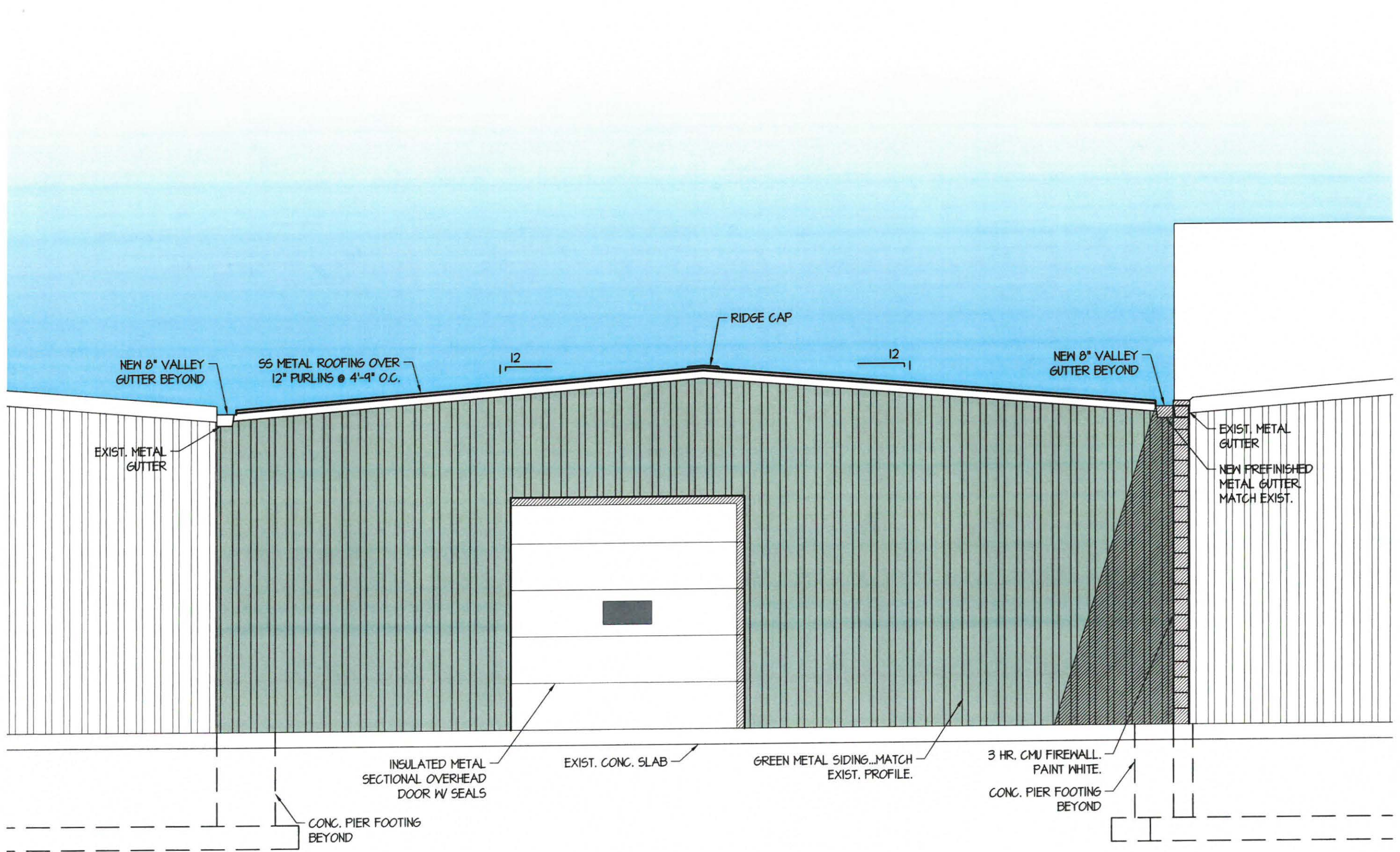
DRAWN BY  
JA

CHECKED BY  
EJ

DATE  
08-22-16

PROJECT NO.  
1635

SHEET NO.  
**A2.1**



**NORTH ELEVATION**  
 SCALE 1/4" = 1'-0"

NO.	REVISIONS	DATE

**LJM Architects**  
 813 Riverfront Drive Sheboygan, WI 53081  
 Phone (920) 456-4800 Fax (920) 456-1486

**BUILDING ADDITION FOR:**  
**CARGILL MALT**  
 702 S. RIVER STREET  
 SHEBOYGAN, WI 53081

SHEET TITLE

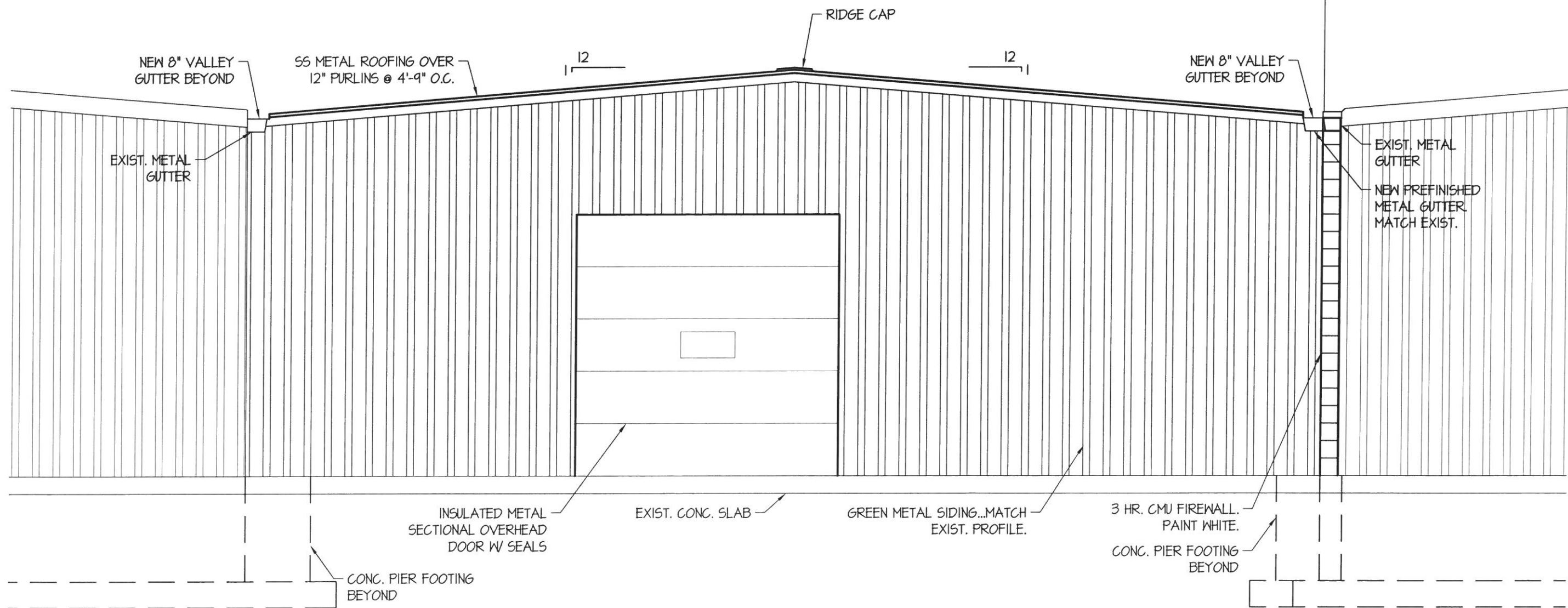
DRAWN BY  
 JA

CHECKED BY  
 EJ

DATE  
 08-22-16

PROJECT NO.  
 1636

SHEET NO.  
**A2.2**



**NORTH ELEVATION**  
 SCALE 1/4" = 1'-0"

NO.	REVISIONS	DATE

**LJM Architects**  
 813 Riverfront Drive Sheboygan, WI 53081  
 Phone (920) 458-4800 Fax (920) 458-1485

**BUILDING ADDITION FOR:**  
**CARGILL MALT**  
 702 S. RIVER STREET  
 SHEBOYGAN, WI 53081

<b>SHEET TITLE</b>
<b>DRAWN BY</b> JA
<b>CHECKED BY</b> EJ
<b>DATE</b> 08-22-16
<b>PROJECT NO.</b> 1635
<b>SHEET NO.</b> <b>A2.2</b>

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Review and consideration of architectural plans for two (2) new greenhouses and a shed for Meals on Wheels located at 1004 S Taylor Drive.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** September 9, 2016

**MEETING DATE:** September 12, 2016

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

Meals on Wheels grows vegetables and produce which are utilized in meals made from scratch daily in their onsite certified kitchen. The meals are served to senior, disabled and homebound residents throughout Sheboygan County. Meals on Wheels has served Sheboygan County residents for 46 years.

Meals on Wheels is proposing to construct a greenhouse(s), accessory building and parking lot addition east of their facility located at 1004 S. Taylor Drive. The applicant states the following about the project:

- Proposing to construct two 960sf (24 x 40) greenhouses.
- Proposing to construct a 240sf (12 x 20) garden shed.
- Proposing to construct a parking lot addition and additional paving adjacent to the new accessory buildings.

The greenhouse will be 24 feet wide by 40 feet long. The base of the greenhouse will incorporate the same 2.6 feet high red brick base that the existing building has. Above the base it will look like a typical greenhouse with all glass panels. As you can see by the drawings, the eave height will be 12feet with a peak height of 17 feet. The greenhouse will be used to extend the growing season of many of the vegetables that Meals on Wheels grows so that fresh produce can be used in the meals of their clients all year round.

The garden shed will be 12 feet wide by 20 feet long. The shed will be of wood construction and will resemble a typical garden shed in its design. The shed will be painted blue to match the accent blue that is on the existing building with white trim.

The shed will have an eave height of 7 feet with a peak height of 13.5 feet. The garden shed will be used to house the garden tools that will be used in the green house as well as the back gardens at Meals on Wheels.

**STAFF COMMENTS:**

Staff was wondering whether the applicant could carry the same blue trim piece that is on the building to the front of the greenhouse (similar to how they are matching the brick base).

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_

Office Use Only

DATE \_\_\_\_\_

## CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

### 1. APPLICANT INFORMATION

APPLICANT: Paul Mentink

ADDRESS: 1135A Michigan Avenue, Sheboygan

E-MAIL ADDRESS: pmentink@abacusarchitects.net

PHONE: (920) 452-4444 FAX NO.: ( ) N/A

### 2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Meals On Wheels

ADDRESS OF PROPERTY AFFECTED: 1004 S. Taylor Drive, Sheboygan

NEW BUILDINGS: X ADDITION: \_\_\_\_\_ REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: We are adding (2) 24' x 40' greenhouses to the north of the existing facility. It is M.O.W. intension to build one right away and the second one within a year. Also, along with this project they would like to construct a 12' x 20' garden shed.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: The exterior of the existing building consists of painted EIFS, tan splitface block, red brick and anodized aluminum windows.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: For the new greenhouses and the shed we are proposing to use materials that match the existing building. The greenhouses will have a red brick base to match the existing structure. You can see this on the attached drawings. The rest of the greenhouse is all glass. The shed will have vertical wood panels painted blue to match the blue EIFS on the existing building. The shed will also have white painted trim to give it the "garden shed" feel. You can see this on the attached drawings as well.

4. D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

#### Greenhouse:

The greenhouse will be 24' wide by 40' long. The base of the greenhouse will incorporate the same 2'-8" high red brick base that the existing building has. Above the base it will look like a typical greenhouse with all glass panels. As you can see by the drawings, the eave height will be 12' with a peak height of 17'. The greenhouse will be used to extend the growing season of many of the vegetables that Meals on Wheels grows so that fresh produce can be used in the meals of their clients all year round.

#### Garden shed:

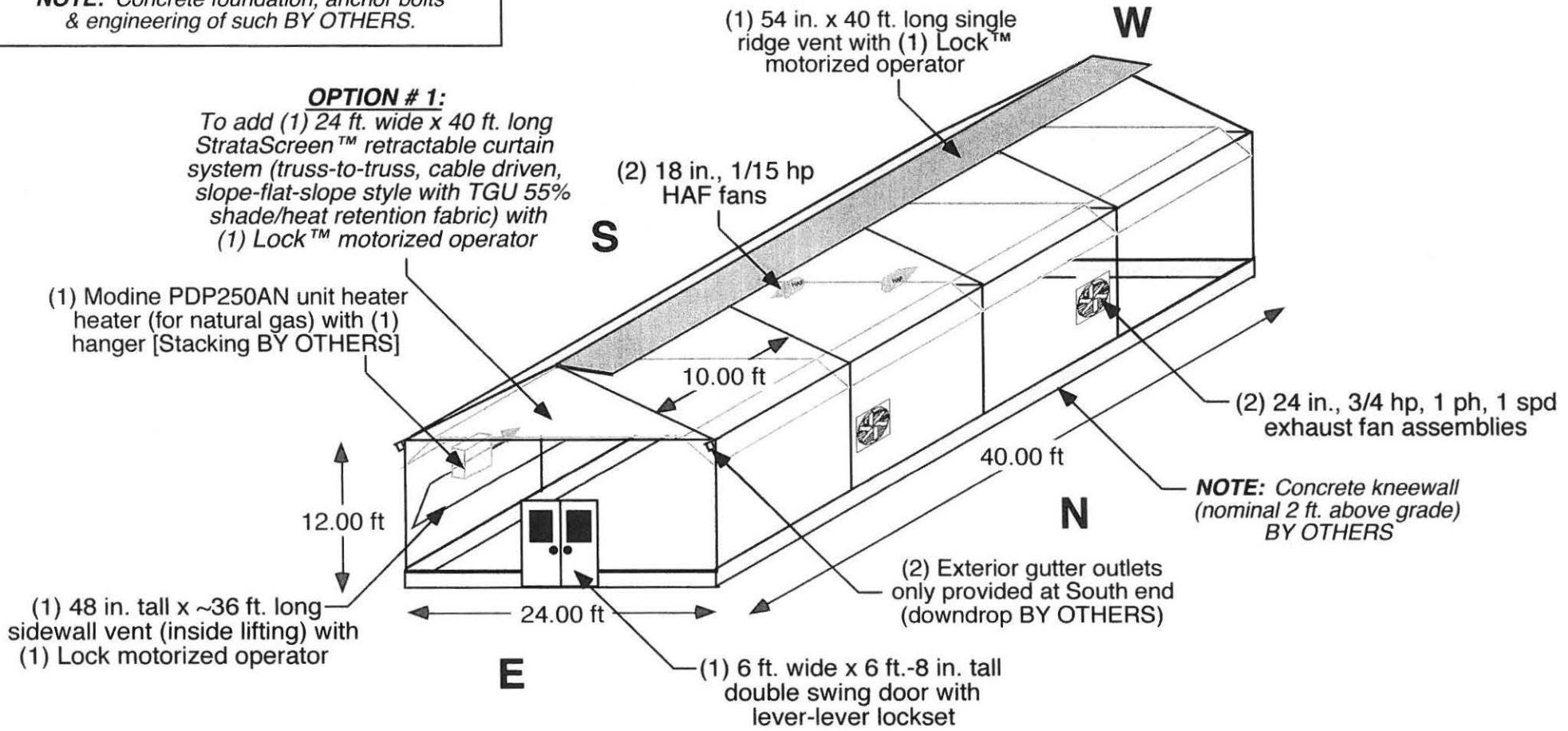
The garden shed will be 12' wide by 20' long. The shed will be of wood construction and will resemble a typical garden shed in its design. The shed will be painted blue to match the accent blue that is on the existing building with white trim. The shed will have an eave height of 7' with a peak height of 13 ½'. The garden shed will be used to house the garden tools that will be used in the green house as well as the back gardens at Meals on Wheels.

**PROJECT NOTES**

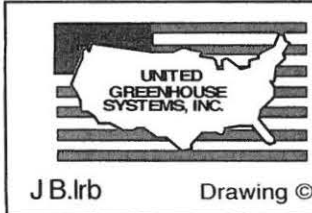
- Stamped structural engineering is included
  - (1) Micro Grow Procom™ environmental control system provided for control of (1) curtain (optional), (1) ridge vent, (1) sidewall vent, (2) exhaust fans, (1) heater & (2) HAF's. All electrical BY OTHERS.
  - All columns to be mounted on boots with plates for tabbing to concrete foundation. (nominal 2 ft. above grade)
- NOTE:** Concrete foundation, anchor bolts & engineering of such BY OTHERS.

**COVERINGS**

- Clear 8mm twinwall polycarbonate for:
- (1) Roof
  - (2) Exterior sidewalls
  - (2) Exterior gable endwalls
- OPTION # 2:**  
To upgrade all glazing panels from clear 8mm twinwall polycarbonate panels to clear 8mm triplewall polycarbonate panels



**OPTION # 1:**  
To add (1) 24 ft. wide x 40 ft. long StrataScreen™ retractable curtain system (truss-to-truss, cable driven, slope-flat-slope style with TGU 55% shade/heat retention fabric) with (1) Lock™ motorized operator



United Greenhouse Systems, Inc.  
PO Box 249  
Edgerton, Wisconsin 53534-1150  
1-800-433-6834

**MEALS ON WHEELS**  
Sheboygan, WI  
Ambassador Crown™ Greenhouse  
(1) 24 ft. x 40 ft. x 12 ft. ug x 10 ft. bay  
Free-Standing

Concept Sketch  
Project A  
8/12/16

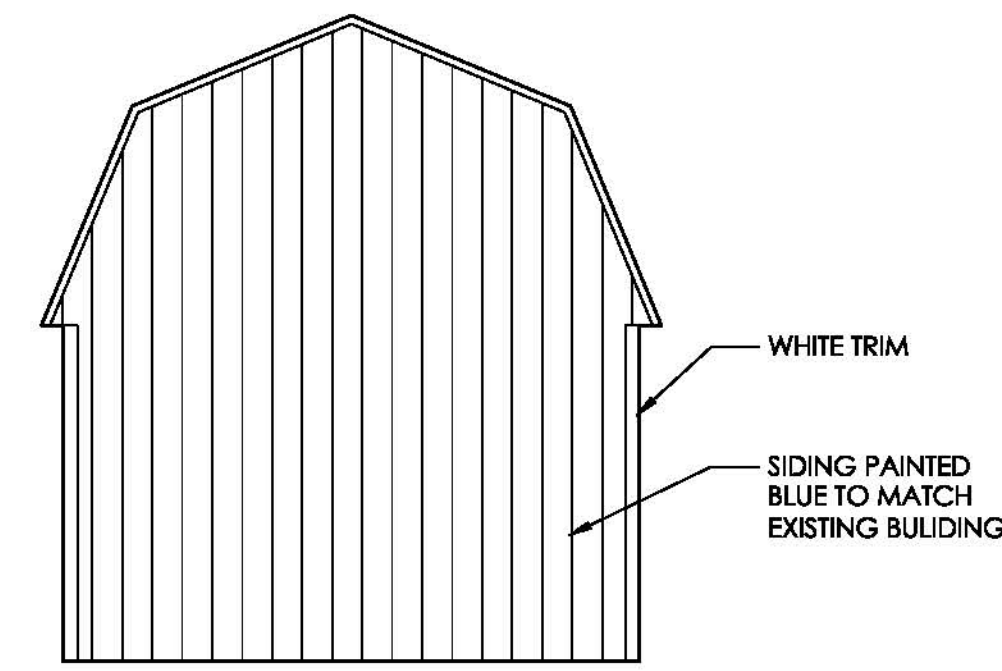


© 2016 Google

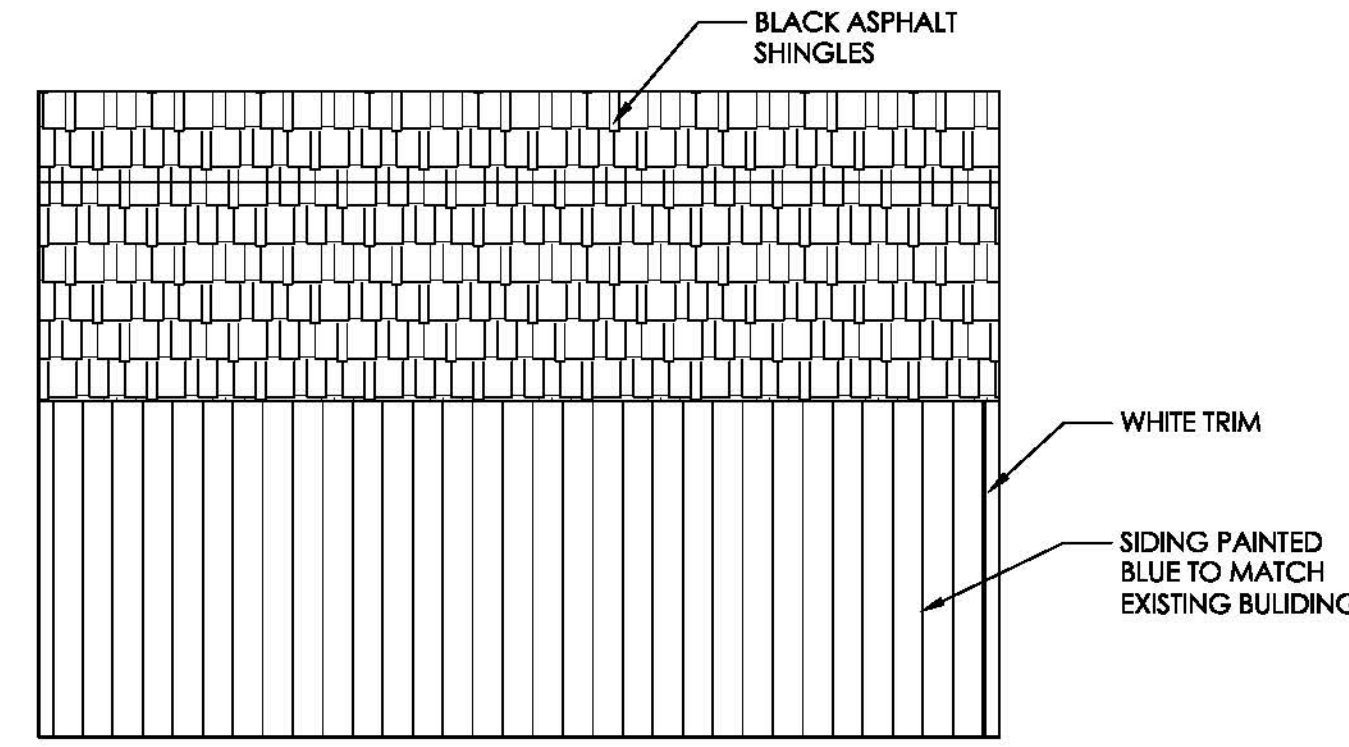
© 2016 Google

Google earth

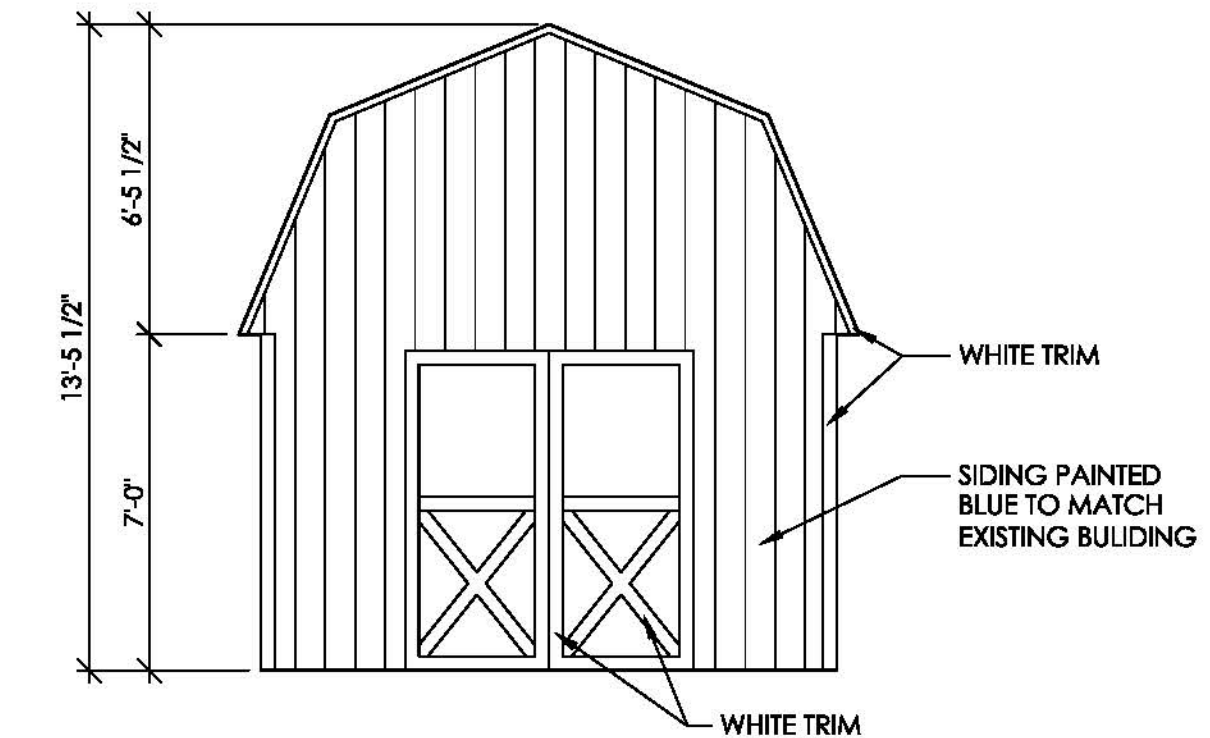
**NOTE TO BIDDERS**  
BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK



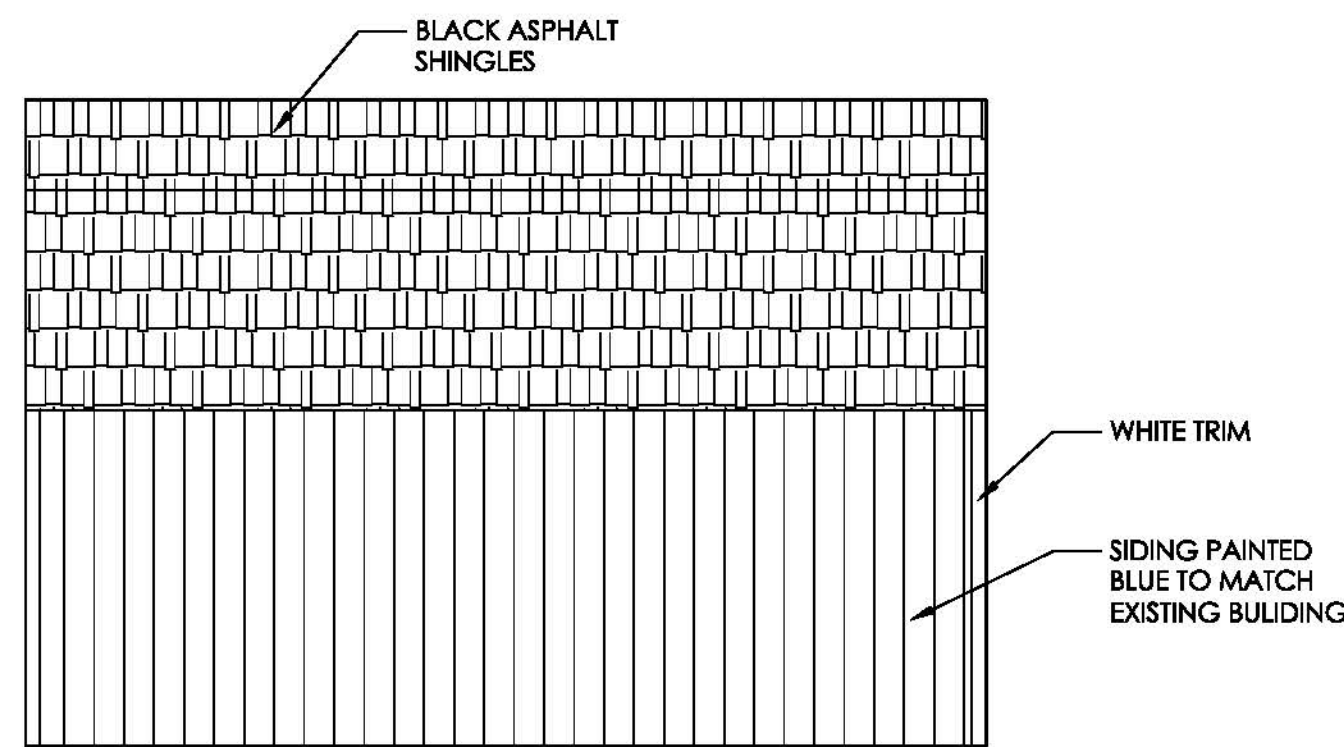
**WEST SHED ELEVATION**  
SCALE: 1/4"=1'-0"



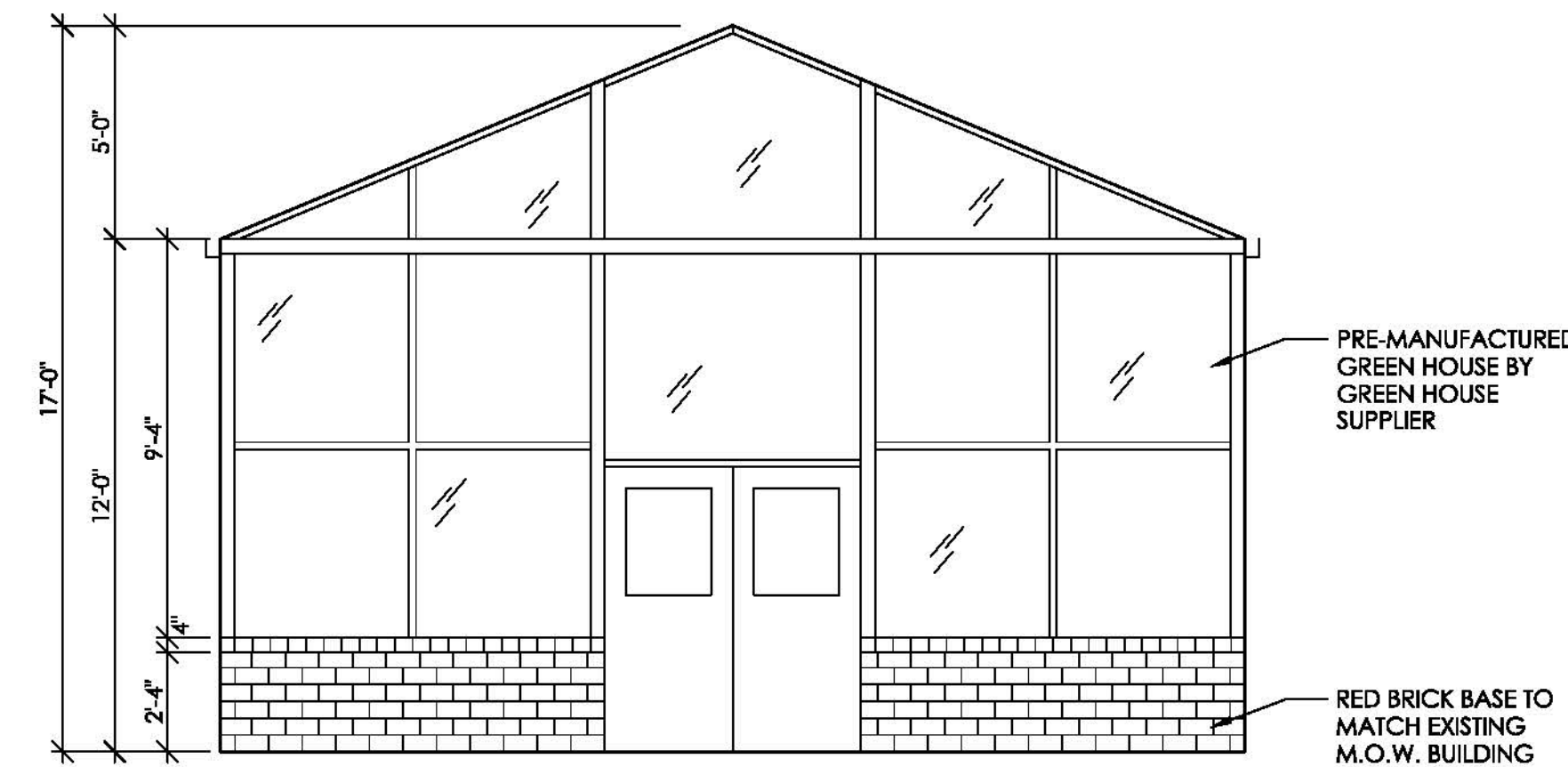
**SOUTH SHED ELEVATION**  
SCALE: 1/4"=1'-0"



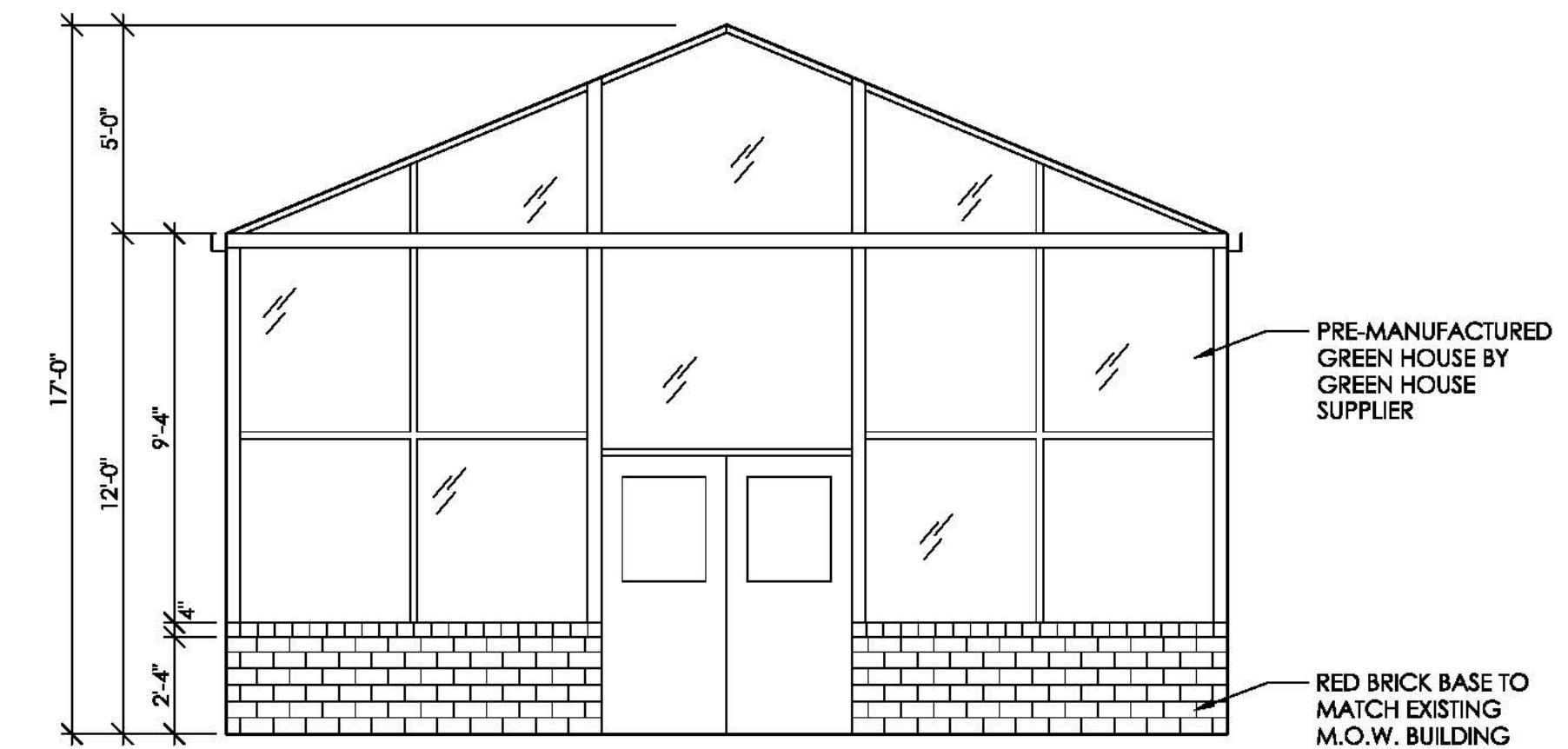
**EAST SHED ELEVATION**  
SCALE: 1/4"=1'-0"



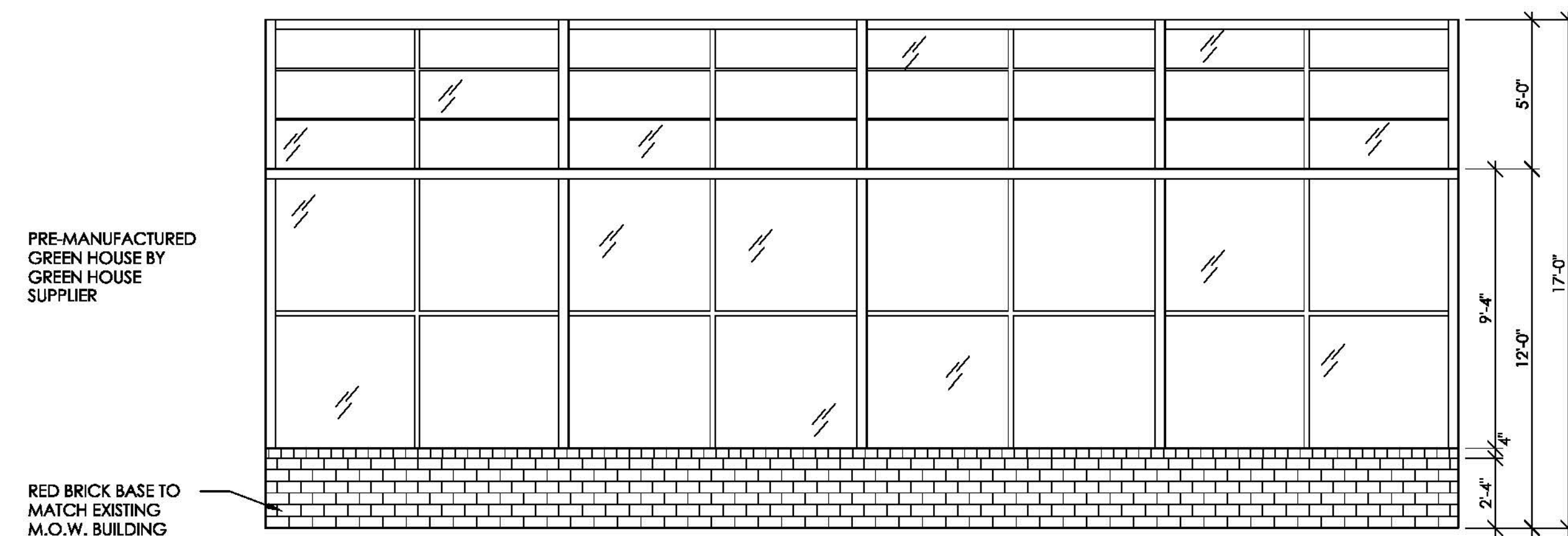
**NORTH SHED ELEVATION**  
SCALE: 1/4"=1'-0"



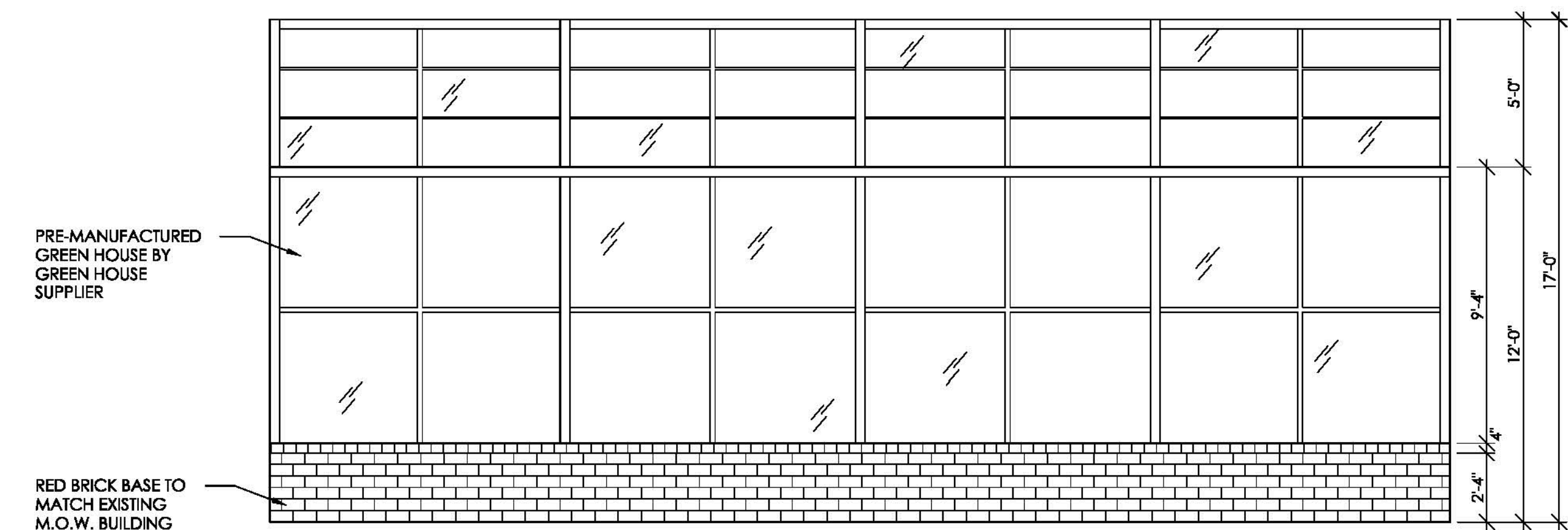
**WEST GREENHOUSE ELEVATION**  
SCALE: 1/4"=1'-0"



**EAST GREENHOUSE ELEVATION**  
SCALE: 1/4"=1'-0"



**NORTH GREENHOUSE ELEVATION**  
SCALE: 1/4"=1'-0"



**SOUTH GREENHOUSE ELEVATION**  
SCALE: 1/4"=1'-0"

AUGUST 24, 2016  
NEW GREENHOUSE & GARDEN SHED  
**MEALS ON WHEELS**  
SHEBOYGAN, WISCONSIN  
ABACUS ARCHITECTS INC., 1135A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 PH. 920-452-4444

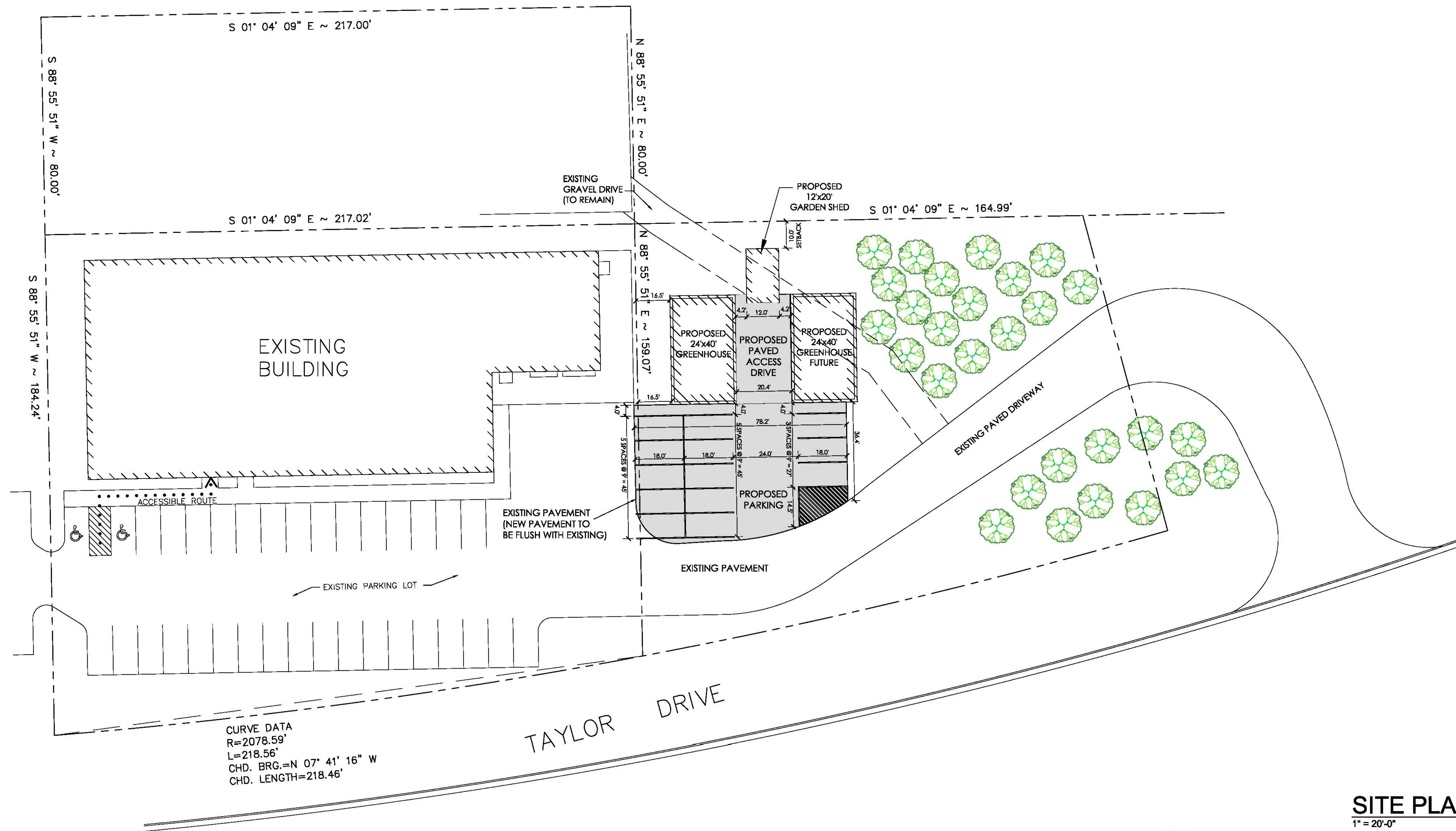
DRAWN BY:

CHECKED BY:

**A**  
**1**

PROJ. NO. 2015-67

**NOTE TO BIDDERS**  
BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK



**SITE PLAN**  
1" = 20'-0"



AUGUST 24, 2016

NEW GREENHOUSE & GARDEN SHED

**MEALS ON WHEELS**

SHEBOYGAN, WISCONSIN

ABACUS ARCHITECTS INC., 1135A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 PH. 920-452-4444

DRAWN BY:

CHECKED BY:

**A**  
**1**

PROJ. NO. 2015-67

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

---

**ITEM DESCRIPTION:** Review and consideration of architectural plans for a new Duke of Devon Restaurant Addition at 739 Riverfront Drive.

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** September 9, 2016

**MEETING DATE:** September 12, 2016

---

**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

The Duke of Devon is proposing to construct a new building addition at the riverfront shanty located at 739 Riverfront Drive. The applicant states the following about the project:

- The restaurant is proposing to construct a new prep area at the northwest corner of the shanty (parking lot side).
- The prep area will be constructed just the west of the main entrance and to the north of the existing kitchen.
- The addition will provide additional kitchen workspace and storage.
- The addition is approximately 170sf (8 x 21).

Applicant states they will do everything possible to make the addition tie in with the existing building. We will paint the entire building after the project is finished and use all similar materials to match the existing shanty.

**STAFF COMMENTS:**

Board may want the applicant to explain the exposed concrete at the northwest corner of the addition and how this area will be blended in to the existing Shanty in terms of building materials and colors.

Sheboygan Riverfront Guidelines are attached.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

## CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

### 1. APPLICANT INFORMATION

APPLICANT: Mat'scoop Corp d/b/a The Duke of Devon  
ADDRESS: 739 Riverfront Dr., Sheboygan, WI, 53081  
E-MAIL ADDRESS: bell17h@aol.com  
PHONE: (920) 458-7900 FAX NO.: (920) 458-7900

### 2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: The Duke of Devon  
ADDRESS OF PROPERTY AFFECTED: 739 Riverfront Drive  
NEW BUILDING: \_\_\_\_\_ ADDITION:  REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: A 9x23 addition to the Northwest corner of building. The proposed addition will be used for a prep area and storage space.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: We will use same wood siding, same roof materials and the design will stay in keeping with riverfront shanty design. Current structure uses wood siding.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: We will use the same wood siding, roof materials, lights, signage and windows.

### 3. NAMES AND ADDRESSES



SHEBOYGAN RIVERFRONT - SHANTY AREA REDEVELOPMENT  
ARCHITECTURAL GUIDELINES

Existing Shanty Area - Replacement of Structures or Additions

- ° Roofs - 8 on 12 pitch main gable. Attached shed roofs  
4 on 12 pitch.  
Rolled roofing - black
- ° Fascia - 1 x 6 wood stained or left to weather.
- ° Soffit - Maximum 6" projection exposed rafters.
- ° Siding - 5" exposure ship lap with quarter circle top.  
(see insert A)  
Alternate - 1 x 6 (nominal)  
Tongue & groove V-joint, cedar  
Natural weathering or applied weathered gray  
penetrating stain.
- ° Windows - Double hung wood or clad.  
Color - Dark brown or black  
Window proportions 2½ wide by 5 high. (see insert A)  
Window muntins acceptable. Wood Casing - 1 x 4 cedar  
windows should be in groupings to reflect character  
of existing shanties.  
Half circle topped windows acceptable at gable ends.
- ° Building Size  
  
Isolated building - maximum size 30' x 80'. Finish  
grade within 6 inches of first floor line to soffit -  
Maximum 13'-8".
- ° Building Additions - Infill Structures - Connecting Links.  
  
Building additions can be in an 8 - 12 pitch design  
set back from original structure (see insert B),  
or shed roof design (see insert C).  
  
Infill structures connecting buildings shall be  
perpendicular to the existing length of the  
buildings. Roofs to be 8/12 pitch and be of no  
greater height than connected building (see insert D).

The Duke of Devon, located at 739 Riverfront Drive is an English pub serving lunch and dinner. We are asking to construct an addition on the northwest corner of the building. The dimensions are x/x?

The purpose of the addition to our current restaurant is to accommodate a prep area. We have been in business for nearly 11 years and have used the current space but would like to have more workspace and expanded storage area. The addition will add no additional seating, but will support our existing restaurant and enable our kitchen staff to work more comfortably.

We will do everything possible to make the addition tie in with the existing building. We will paint the entire building after the project is finished and use all similar materials to construct. We will carry forward the shanty theme of the existing building.

The Duke is open Tuesday through Sunday for lunch and dinner and we employ 25 employees, a few more seasonally for the summer, many of whom will return to school in the fall.

If granted permission to go ahead with this project, The Duke will continue to be destination where locals and tourists can go for a wonderful meal in a beautiful setting. By investing in our business we are investing in the future of Sheboygan's historic riverfront.

Thank you for your consideration.

Emily Williams  
Jeremy Williams  
Stefano Viglietti  
Whitney Viglietti

NEW ADDITION  
DUKE OF DEVON



EXISTING CONDITIONS

ASPIRE  
ARCHITECTURE  
& DESIGN LLC

ASPIRE  
ARCHITECTURE  
DESIGN  
PHOTOGRAPHY

[scott@aspirearchitects.com](mailto:scott@aspirearchitects.com)

[www.aspirearchitects.com](http://www.aspirearchitects.com)

NEW ADDITION  
DUKE OF DEVON



EXISTING CONDITIONS

ASPIRE  
ARCHITECTURE  
& DESIGN LLC

ASPIRE  
ARCHITECTURE  
DESIGN  
PHOTOGRAPHY

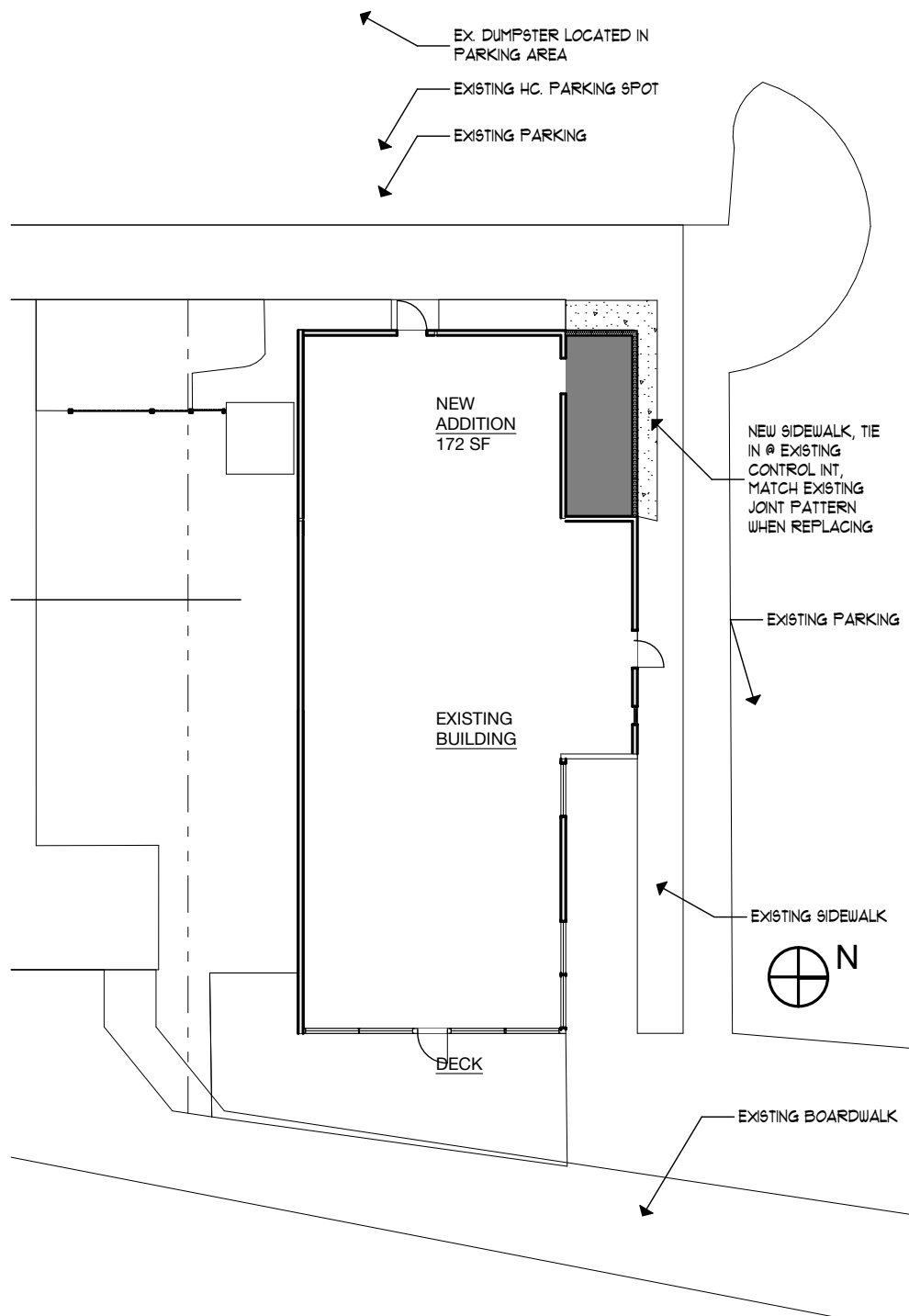
[scott@aspirearchitects.com](mailto:scott@aspirearchitects.com)

[www.aspirearchitects.com](http://www.aspirearchitects.com)

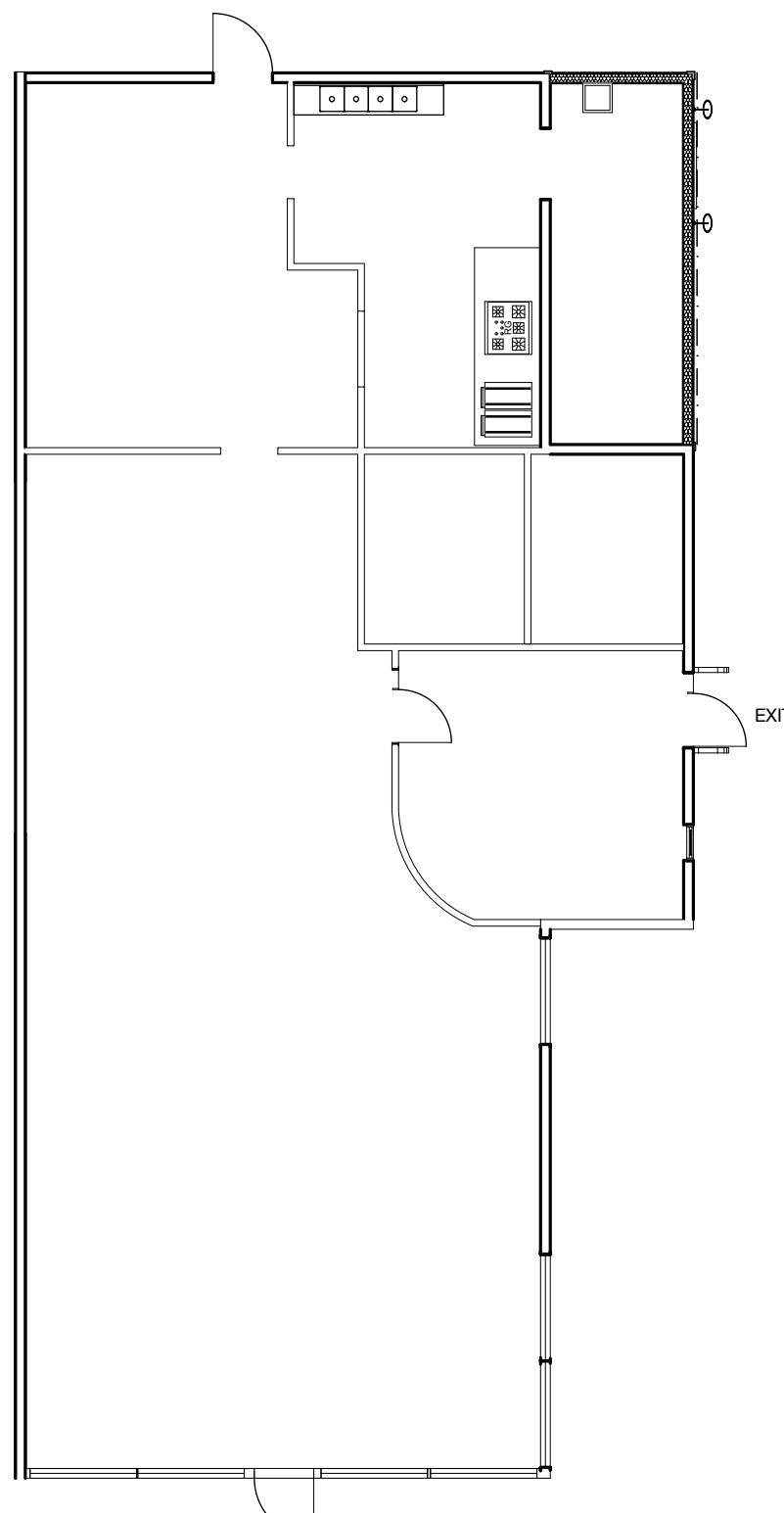


KITCHEN ADDITION FOR:  
**DUKE OF DEVON**  
 733 RIVERFRONT DRIVE  
 SHEBOYGAN, WI. 53081

SHEET INDEX	
ID	Name
A1.1	SITE PLAN
A1.2	AREA MAP
A1.3	FIRST FLOOR PLAN
A2.1	EAST ELEVATION
A3.1	BUILDING SECTION



**1** Site Plan  
 SCALE: 1" = 20'



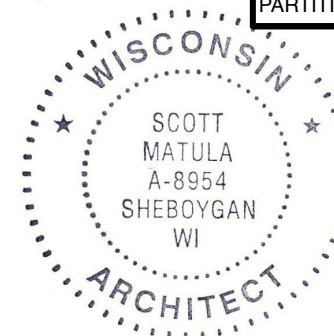
**2** 1st Floor Reference Plan  
 SCALE: 3/32" = 1'-0"

**BUILDING DATA**

ZONING	--
REQUIRED SETBACK FRONT	0
PROVIDED SETBACK FRONT	N/A
REQUIRED SETBACK SIDE	0
PROVIDED SETBACK SIDE	N/A
REQUIRED SETBACK BACK	0
PROVIDED SETBACK BACK	N/A
BUILDING TYPE	VB UNSPRINKLERED
BUILDING USE	A-1 RESTAURANT/BAR
ALLOWABLE AREA	9000
ALLOWABLE PROVIDED AREA	4470
1ST FLOOR EXISTING	2513
1ST FLOOR ADDITION	175
2ND FLOOR EXISTING	1,782
2ND FLOOR ADDITION	0
TOTAL EXISTING	4295
TOTAL ADDITION	0
TOTAL BUILDING SIZE NEW	4,470

**DESIGN LIVE LOADS**

ROOF LOADING		WIND LOADING	
LIVE LOADING	20 psf	BASIC WIND SPD. (3 sec gust)	20 psf
GROUND SNOW LOAD Pg	40 psf	EXPOSURE CATEGORY	1
ROOF SLOPE FACTOR (Cs)	1.0	EXPOSURE FACTOR (Cw)	1.0
EXPOSURE FACTOR (Ce)	1.0	IMPORTANCE FACTOR (Iw)	1.0
IMPORTANCE FACTOR (Is)	1.0	NET LAT. ON END ZONE WALLS	1.0
THERMAL FACTOR (Ct)	1.1	NET LAT ON INT. ZONE WALLS	1.0
ROOF SNOW LOAD (Pt)	31 psf	EARTHQUAKE	
DRIFT LOAD	20 psf	SITE CLASS	D
		IMPORTANCE FACTOR (Iw)	1.0
		SEISMIC USE GROUP CATEGORY	1.0
FLOOR LOADING	100 psf	SEISMIC DESIGN CATEGORY	A
PARTITION LOADING		LATERAL EARTH PRESSURE	1.0

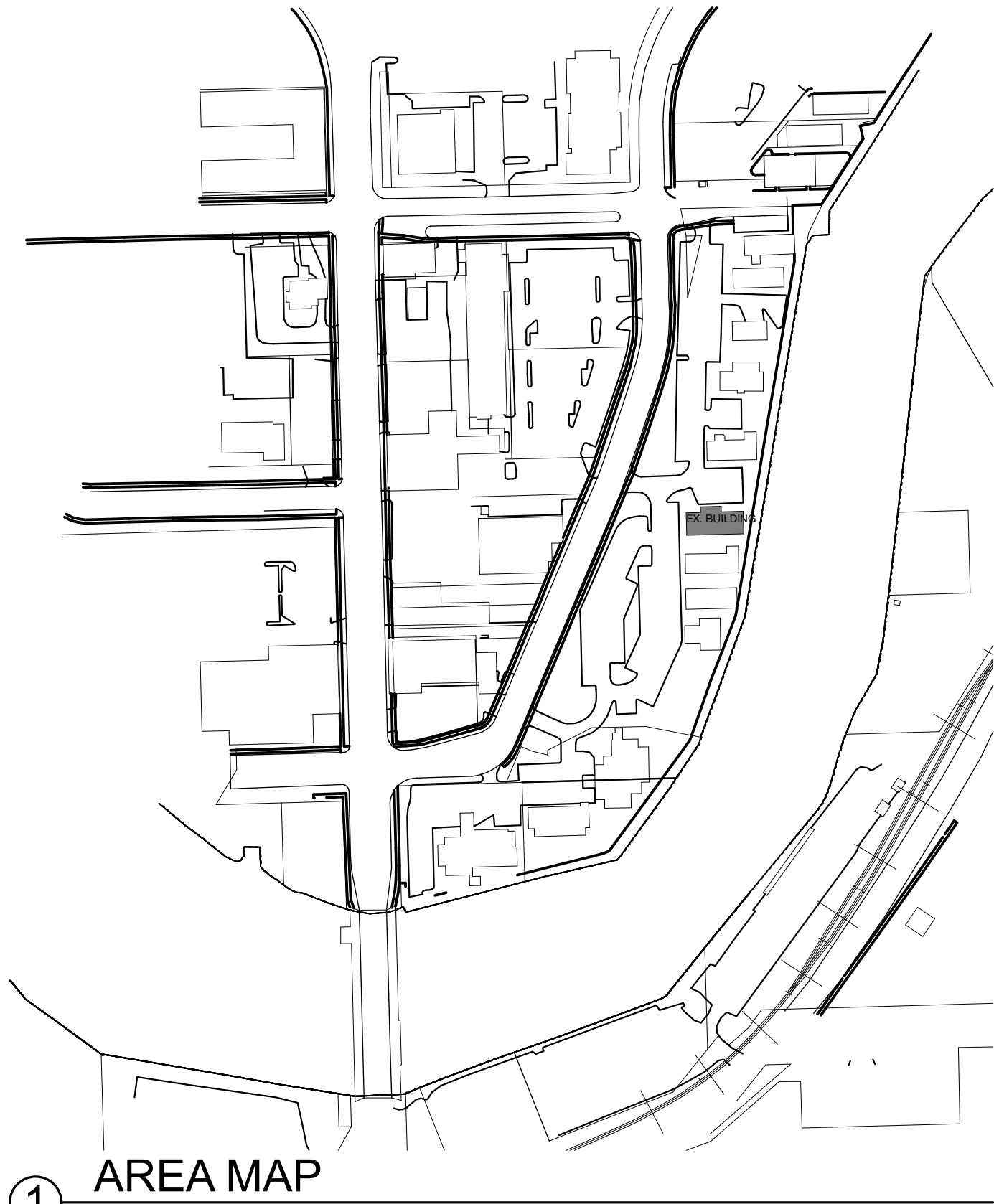


KITCHEN ADDITION for:  
**DUKE OF DEVON**  
 RIVERFRONT DRIVE SHEBOYGAN WI 53081

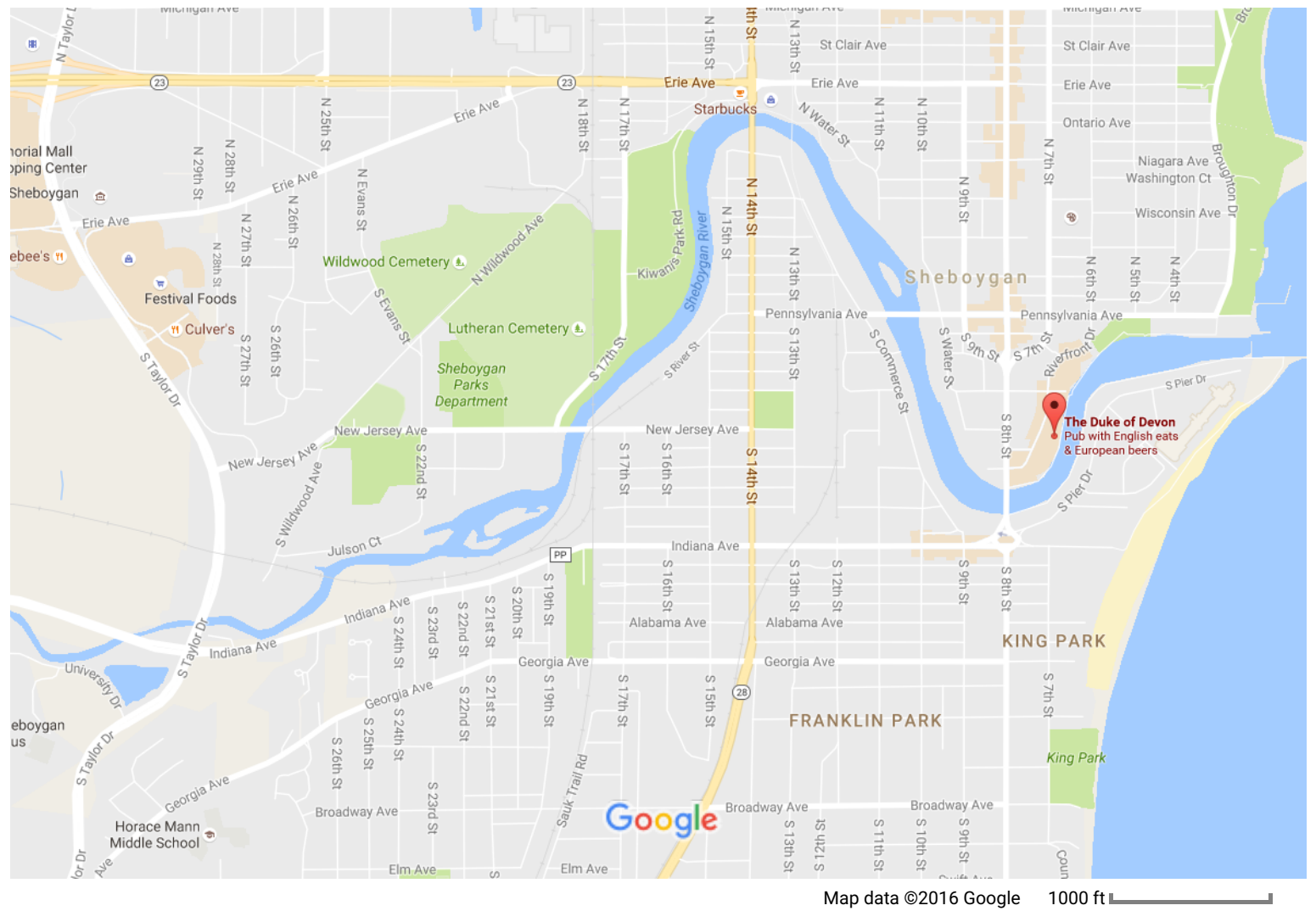
ASPIRE ARCHITECTURE & DESIGN, LLC  
 1416 N. 5th St. Sheboygan, WI. 53081  
 920-457-4884  
 scott@aspirearchitects.com  
 www.aspirearchitects.com

**ASPIRE**  
 ARCHITECTURE  
 & DESIGN

8.22.16  
 08  
**A1.1**



**1** AREA MAP  
SCALE: 1" = 200'



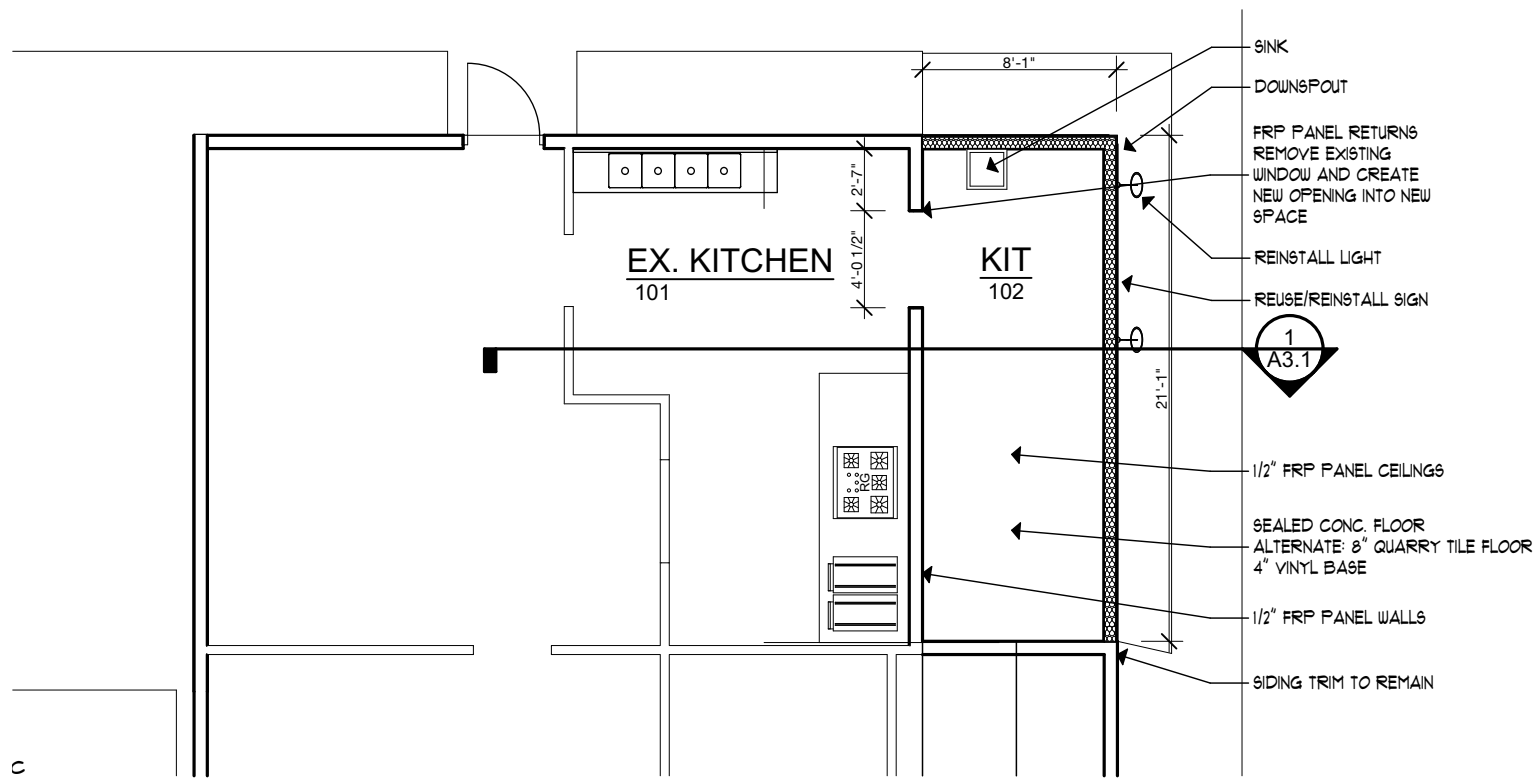
Map data ©2016 Google 1000 ft

**KITCHEN ADDITION for:**  
**DUKE OF DEVON**  
733 RIVERFRONT DRIVE SHEBOYGAN WI 53081

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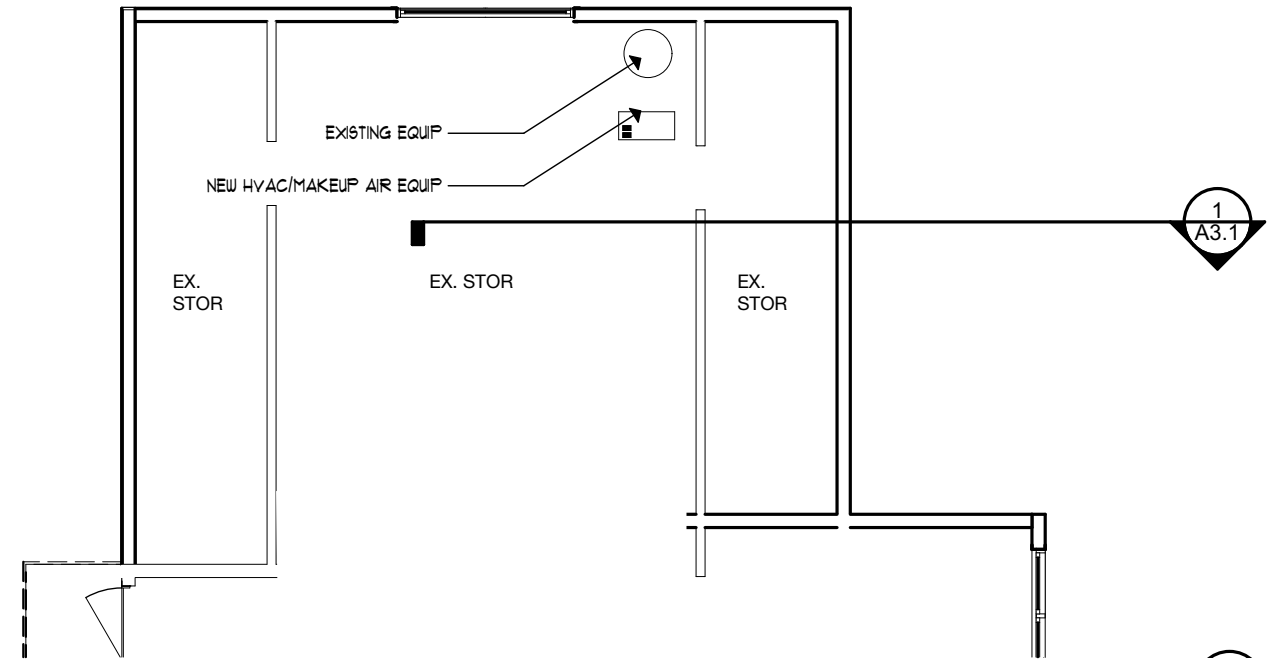


8.22.16  
08  
**A1.2**



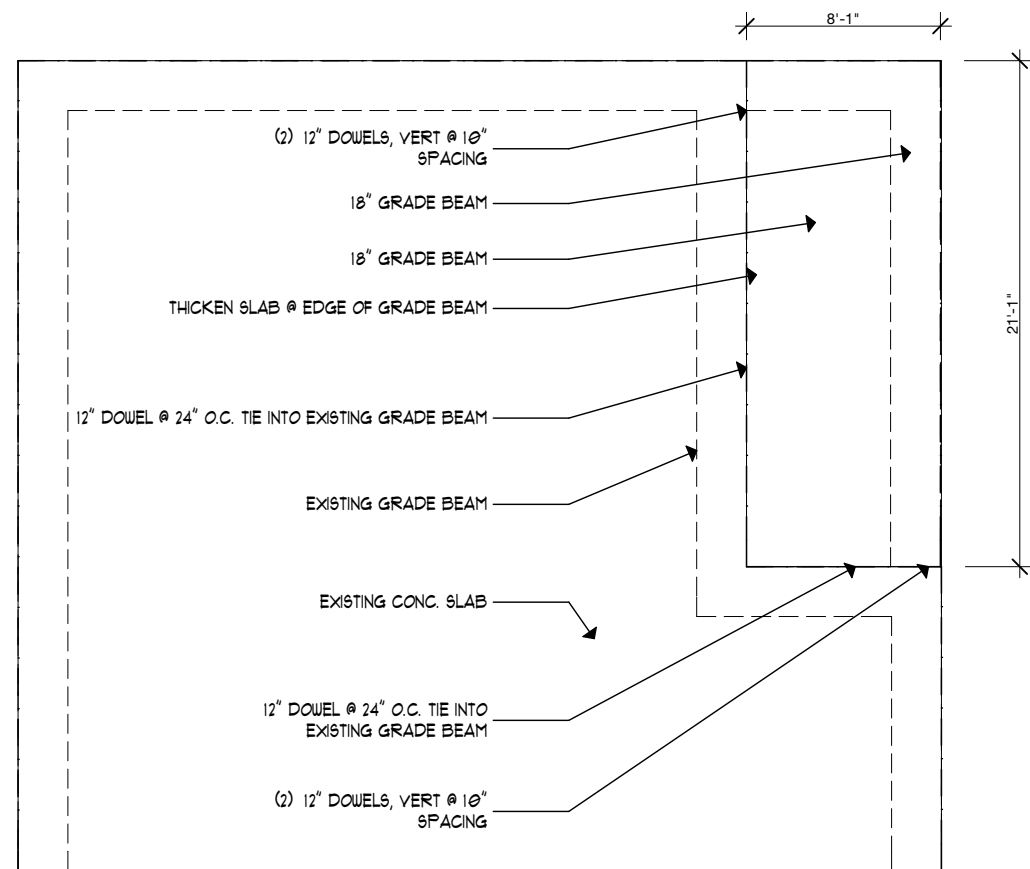
### 1st Floor Plan

SCALE: 1/8" = 1'-0"



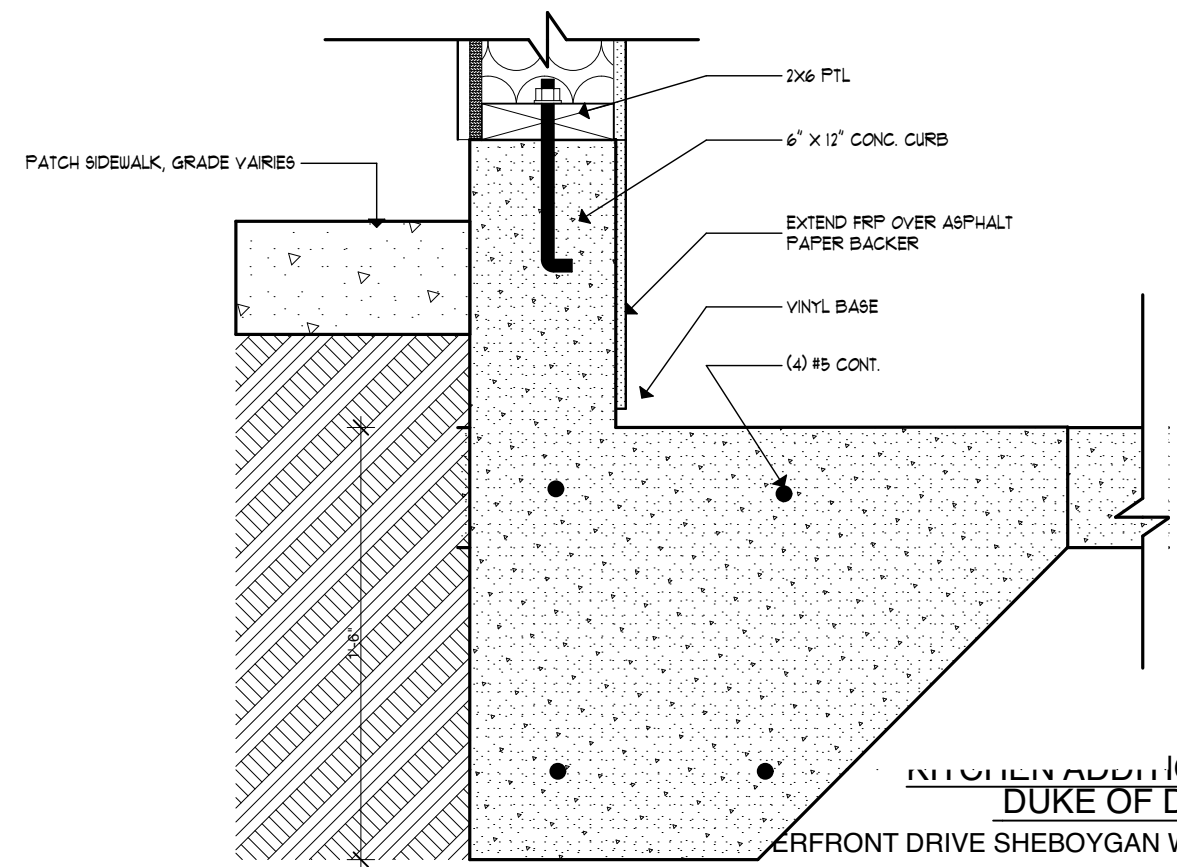
### 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



### Foundation Plan

SCALE: 1/8" = 1'-0"



### GRADE BEAM DETAIL

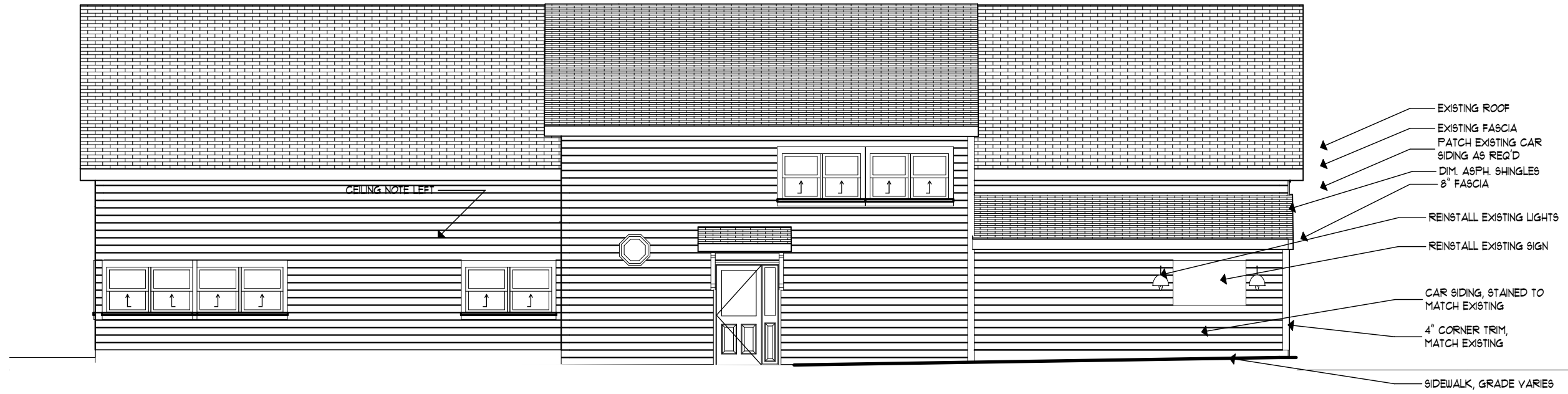
SCALE: 1 1/2" = 1'-0"

KITCHEN ADDITION for:  
DUKE OF DEVON  
FRONT DRIVE SHEBOYGAN WI 53081

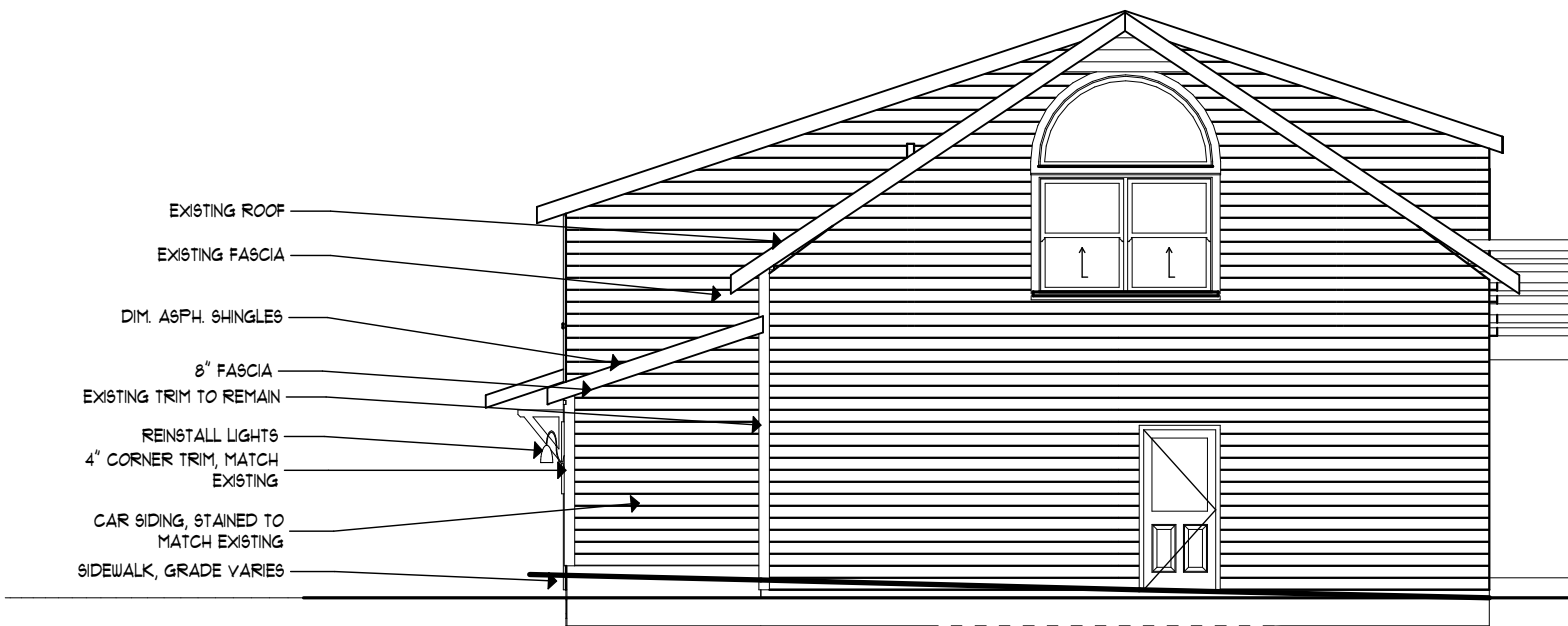
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920-457-4884  
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8.22.16  
08  
A1.3



**1** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



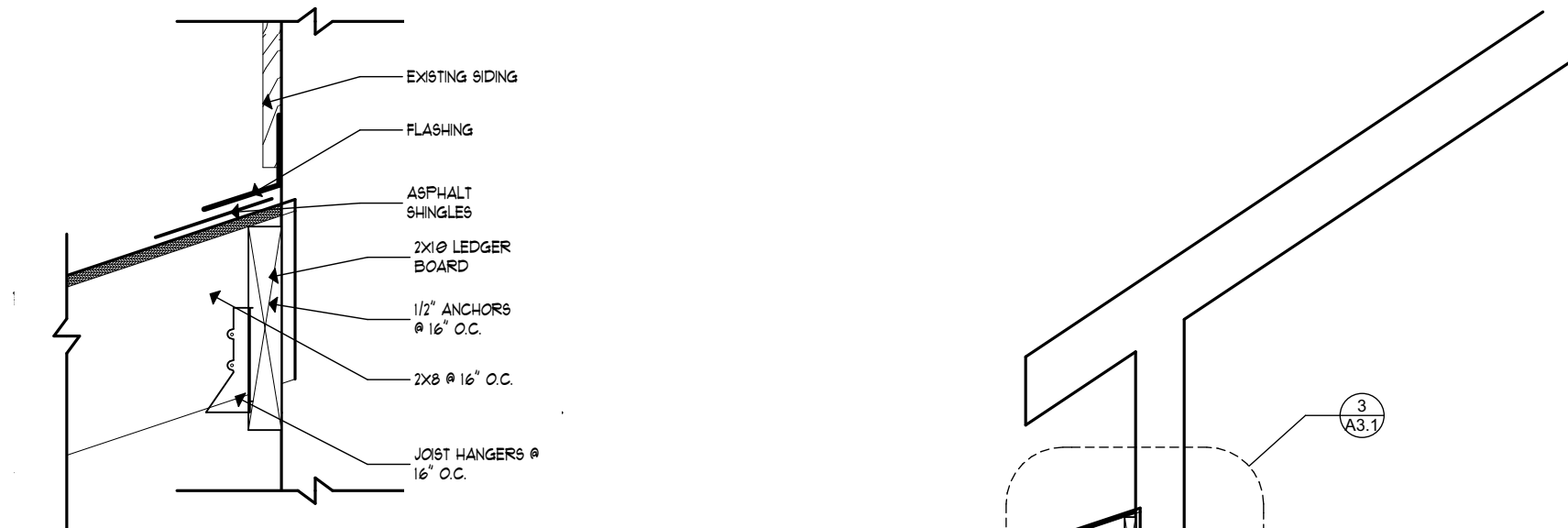
**2** WEST ELEVATION  
SCALE: 1/8" = 1'-0"

KITCHEN ADDITION for:  
**DUKE OF DEVON**  
733 RIVERFRONT DRIVE SHEBOYGAN WI 53081



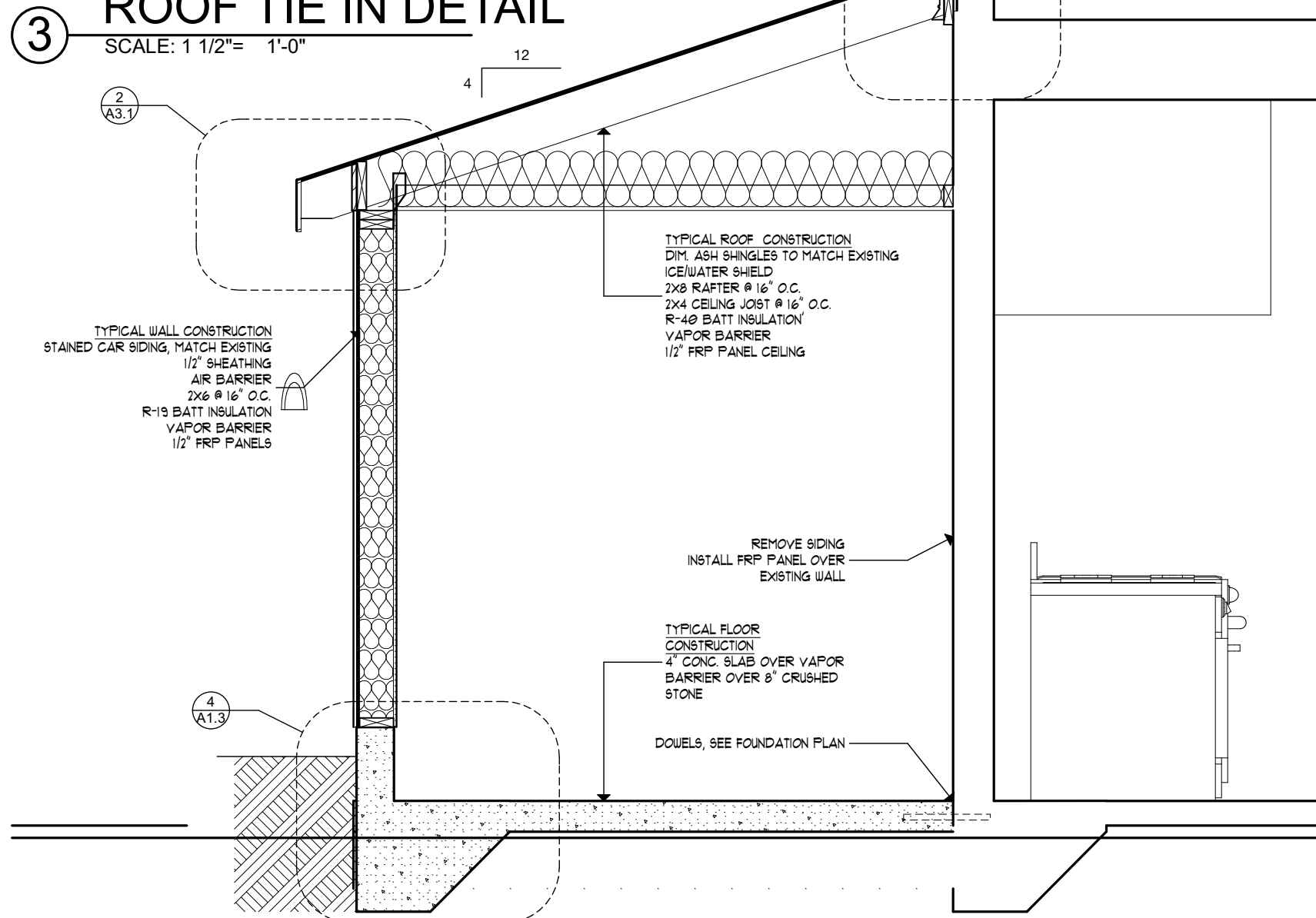
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scott@aspirearchitects.com  
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8.22.16  
08  
**A2.1**



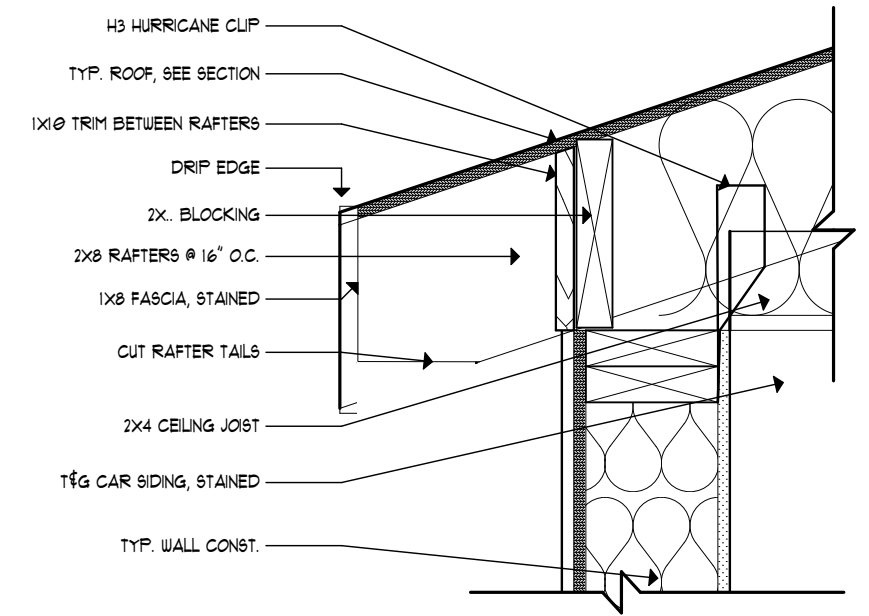
### ROOF TIE IN DETAIL

SCALE: 1 1/2" = 1'-0"



### WALL SECTION

SCALE: 1/2" = 1'-0"



### ROOF EDGE DETAIL

SCALE: 1 1/2" = 1'-0"

KITCHEN ADDITION for:  
DUKE OF DEVON  
733 RIVERFRONT DRIVE SHEBOYGAN WI 53081



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920-457-4884  
scott@aspirearchitects.com  
www.aspirearchitects.com

8.22.16  
08  
A3.1

D & H LAND SURVEYS LLC  
 1628 GEORGIA AVENUE  
 SHEBOYGAN, WISCONSIN

DUKE OF DEVON  
 739 RIVERFRONT DRIVE

THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON  
 IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Dennis J. Van Sluys*  
 Dennis J. Van Sluys S-1238

Dated this 22<sup>nd</sup> day of August, 2015.

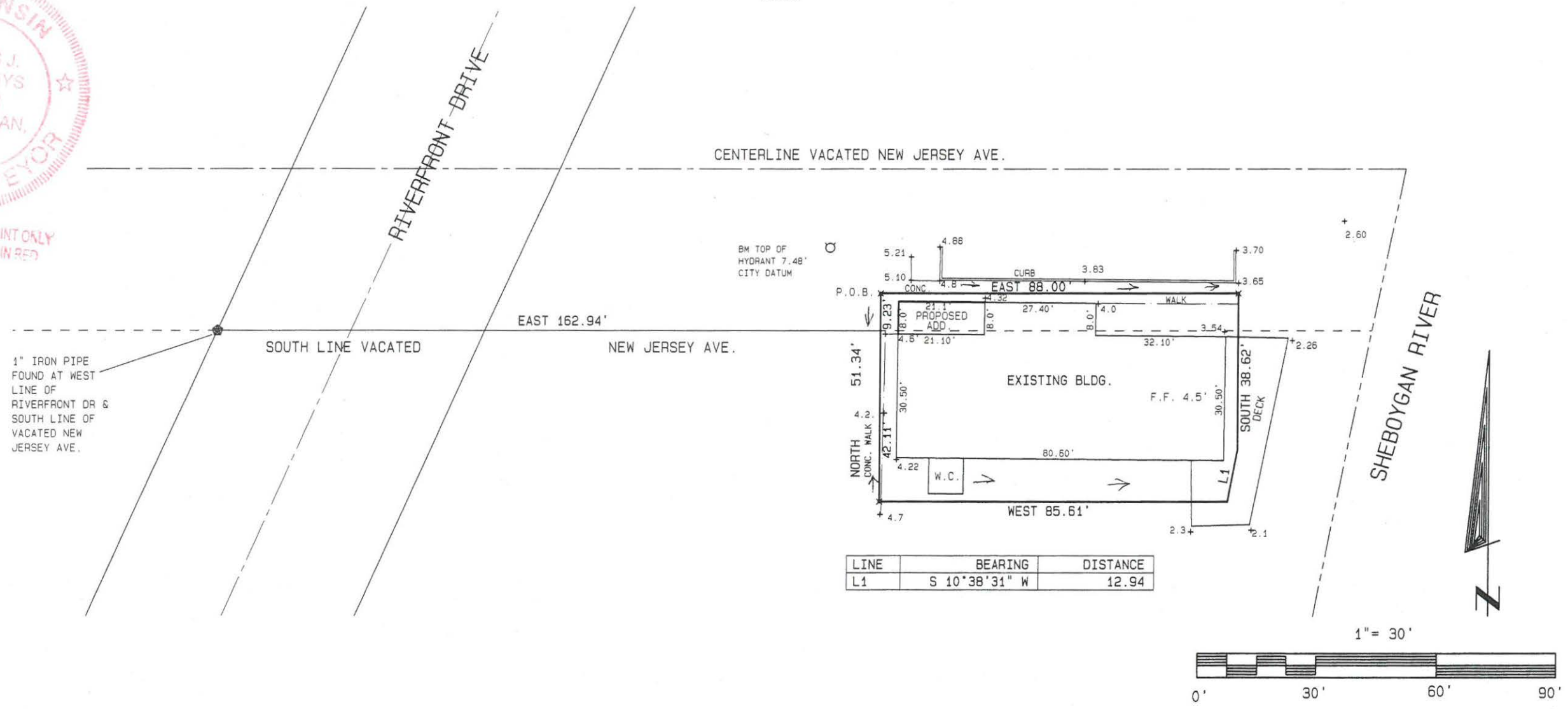


THIS IS AN ORIGINAL PRINT ONLY  
 THE SEAL IS IMPRINTED IN RED

1. Landlord and Maltscop agree to amend the premises description of the Lease to read as follows

A parcel of land being part of the Southeast quarter of the Southwest quarter (SE 1/4 of SW 1/4), Section Twenty-three (23) and also part of the Northeast quarter of the Northwest quarter (NE 1/4 of NW 1/4), Section Twenty-six (26), all in Township Fifteen (15) North, Range Twenty-three (23) East, in the City of Sheboygan, Sheboygan County, Wisconsin, also being part of Lots 7 and 8, Block 210 and part of vacated right-of-way for New Jersey Avenue and South 7th Street, in the Original Plat of the City of Sheboygan, Sheboygan County, Wisconsin, more particularly described as follows:

Commencing from a point 162.94 feet East and 9.23 feet North of a 1" diameter iron pipe marking the intersection of the West right-of-way line of Riverfront Drive and the South right-of-way line of vacated New Jersey Avenue; thence East 88.00 feet; thence South 38.62 feet; thence South 10°38'31" West 12.94 feet; thence West 85.61 feet; thence North 51.34 feet to the point of beginning. Said tract contains 4,503 square feet or 0.10 acres.



**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

---

**ITEM DESCRIPTION:** Review and consideration of architectural plans to remodel Washington School at 1238 Geele Avenue.

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

---

**REPORT DATE:** September 9, 2016

**MEETING DATE:** September 12, 2016

---

**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

---

**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

---

**BACKGROUND / ANALYSIS:**

Gorman and Company is proposing to repurpose the former Washington School into a 42-Unit Apartment complex. There will be seven (7) one-bedroom units, 26 two-bedroom units, and nine (9) three-bedroom units.

The building has been approved by the National Parks Service as a historic building. With that approval the NPS requires that the exterior of the building be historically maintained. For that reason the scope of work to enhance the building exterior is in the removal of the replacement windows and in-fill panel, and the installation of new historically accurate windows. The remainder of the exterior of the building will be left as is.

The applicant states the following about the project:

- The building's exterior design and materials will not be modified.
- New windows will be installed at some locations where the original windows had been in filled with an aggregate plaster.
- Two (2) new stair shafts will be constructed on the rear interior court yard (north side).
- The exterior material for the stair shafts will be masonry to match the existing addition.

**STAFF COMMENTS:**

None.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: 9/12/16

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Gorman & Company, Inc  
ADDRESS: 200 N. Main Street, Oregon, Wi 53575  
E-MAIL ADDRESS: tmatkom@gormanusa.com  
PHONE: (608)835-3900 FAX NO.: (608)835-3922

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Washington Elementary School  
ADDRESS OF PROPERTY AFFECTED: 1238 Geele Avenue, Sheboygan, Wi  
NEW BUILDING: \_\_\_\_\_ ADDITION: \_\_\_\_\_ REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: \_\_\_\_\_  
The project is a interior space remodel of the existing Washington School into  
apartment housing.  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The existing building design is a traditional 911, 2 1/2 story, red brick elementary  
school. The exterior is construction masonry veneer. Some of the original window  
openings have been reduced and in-filled with an aggregate plaster.  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The buildings exterior design and materials will not be modified. New windows will  
be installed at some locations where original windows had been in-filled. Two new  
stair shafts will be constructed on the rear interior courtyard. The exterior material  
will be of masonry to match the existing addition.  
\_\_\_\_\_



200 N. Main Street • Oregon, WI 53575

P: (608) 835-3900

F: (608) 835-3922

[www.GormanUSA.com](http://www.GormanUSA.com)

REAL ESTATE DEVELOPMENT

MILWAUKEE MIAMI PHOENIX CHICAGO DENVER

August 23, 2016

Steve Sokolowski  
City of Sheboygan  
828 Center Ave., Suite 100  
Sheboygan, WI 53081

RE: Washington School (1238 Geele Street)  
Rezoning and Architectural Review Application

Dear Mr. Sokolowski:

The proposed project will repurpose the historic Washington School building located at 1238 Geele Street. The proposed rezoning of this parcel to Urban Residential (UR-12) will allow an adaptive reuse of this historic building that is consistent with the character of the surrounding neighborhood. Forty-two modern apartment homes will be built into the existing classroom and support spaces along the perimeter of the building. The building will also include amenity space for residents as well as a management office. Interior corridors and stairways will be kept to maintain the buildings historical integrity as a school. Infill panels will be removed from the window openings of the 1912 and 1926 buildings and historically appropriate window replacements will be installed. In the 2001 addition, existing windows will remain, while new openings, and two new exterior stair towers will be created to allow for private family apartment entrances.

On the site, the existing drop off lane, sidewalks and landscaping will remain on the Geele Avenue side of the building. The asphalt faculty parking areas and playground will be re-landscaped and utilized as tenant parking. 72 parking stalls will be provided for residence, visitors, and staff. The green space to the north of the school building will be preserved as recreational space and will continue to be owned and maintained by the school district.

The financing for this adaptive reuse project will include WHEDA affordable housing tax credits, state and federal historic tax credits, and conventional debt. This development will provide quality housing for an affordable cost to residents. It proposes an appropriate density given all units will be contained within the historic school and all parking spaces will be contained on the current asphalt portion of the parcel surrounding the building.

This development will meet a need within the Sheboygan community for quality affordable housing, will save an historic building, and will add to the city tax base.

Feel free to contact me with any questions at (414) 617-9997 or [tmatkom@gormanusa.com](mailto:tmatkom@gormanusa.com).

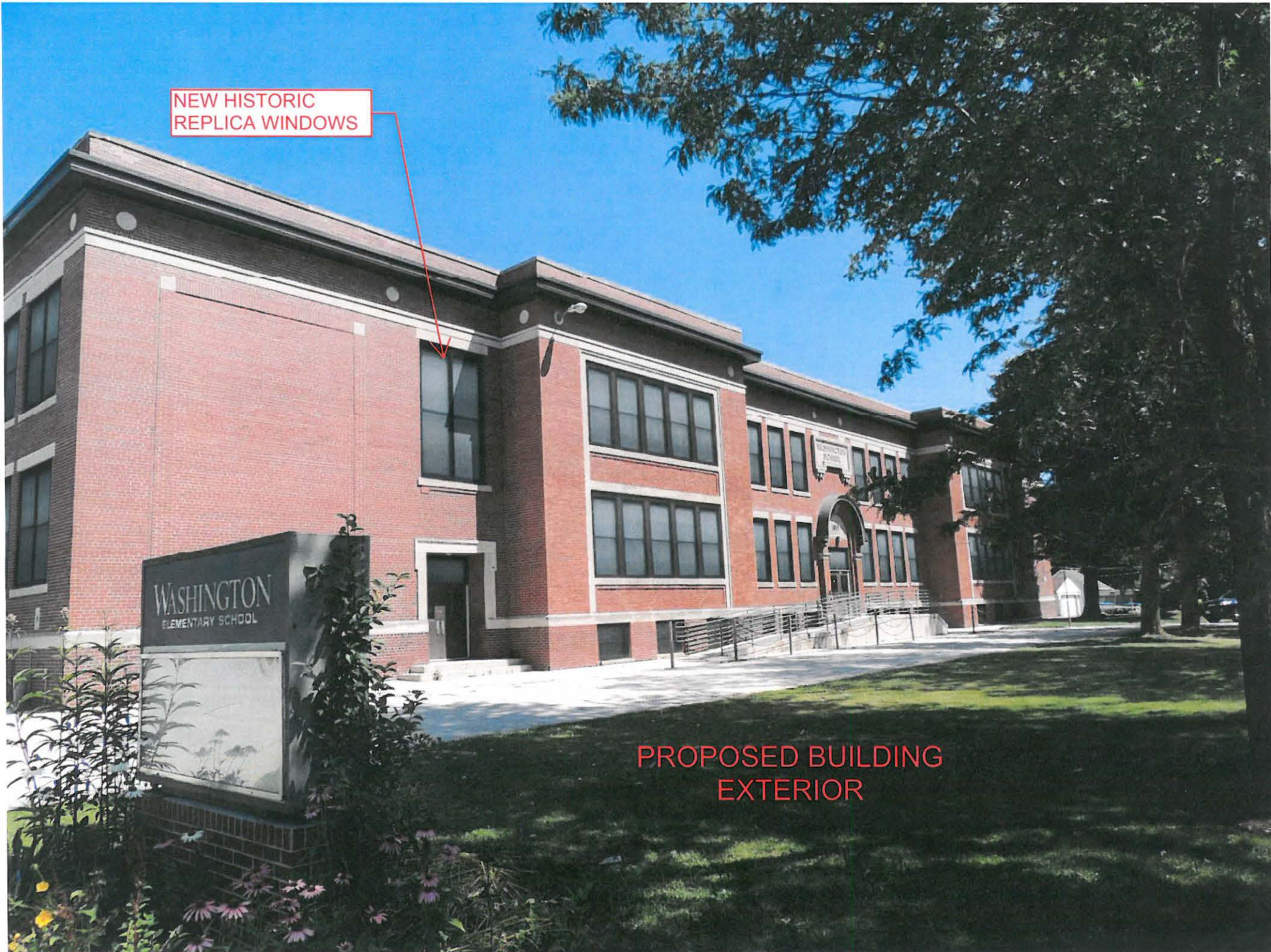
Sincerely,

Ted Matkom  
Wisconsin Market President



EXISTING BUILDING EXTERIOR

NEW HISTORIC  
REPLICA WINDOWS



PROPOSED BUILDING  
EXTERIOR



EXISTING BUILDING EXTERIOR



NEW HISTORIC  
REPLICA WINDOWS

PROPOSED BUILDING  
EXTERIOR



**EXISTING BUILDING EXTERIOR**



NEW HISTORIC  
REPLICA WINDOWS

PROPOSED BUILDING  
EXTERIOR

LOGAN AVENUE (50')

PUBLIC ALLEY (14')

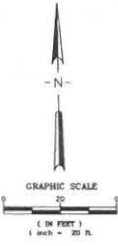
NSRDH STREET

GEELE AVENUE

PRIVATE ALLEY

PROPOSED LOT AREA = 1.722 AC = 75,010 SF  
 GREEN SPACE = 0.360 AC = 15,378 SF  
 LANDSCAPE SURFACE RATIO (LSR) = 21% (MIN. 25%)  
 72 ON-SITE PARKING SPACES

NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	10/15/14
2	REVISIONS	11/10/14
3	REVISIONS	11/10/14
4	REVISIONS	11/10/14
5	REVISIONS	11/10/14
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7	REVISIONS	11/10/14
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49	REVISIONS	11/10/14
50	REVISIONS	11/10/14



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PERMITS AND APPROVALS FROM THE CITY OF  
SHEBOYGAN.

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SCIENTISTS

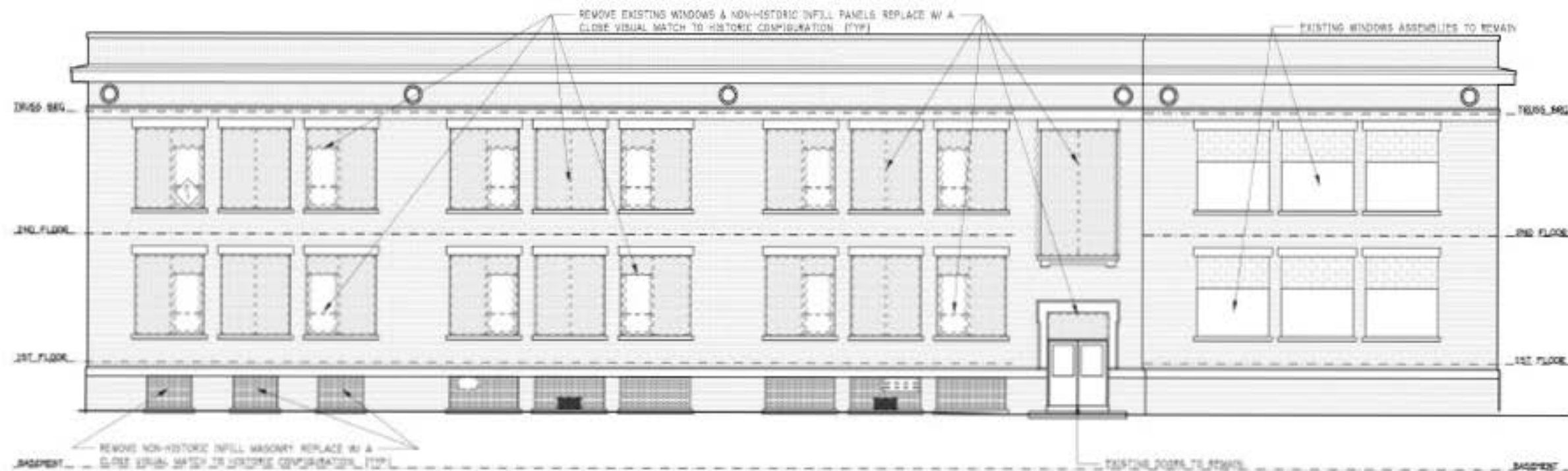
GORMAN AND COMPANY, INC.  
WASHINGTON ELEMENTARY SCHOOL PROPERTY  
1238 GEELE AVENUE  
SHEBOYGAN, WISCONSIN

SCALE	HOR 1"=20'
DATE	Nov. 25, 2014
JOB	20043-E
BY	WGF/DMM
CK	ROM
SHEET	1 OF 1

CONCEPT REDEVELOPMENT PLAN

GEOS & HEERMANS SUBDIVISION

AIR PHOTO FOR ANCHOR WEBSITE 10/09/14



**3 EAST EXTERIOR ELEVATION - DEMOLITION**  
SCALE: 1/8" = 1'-0"

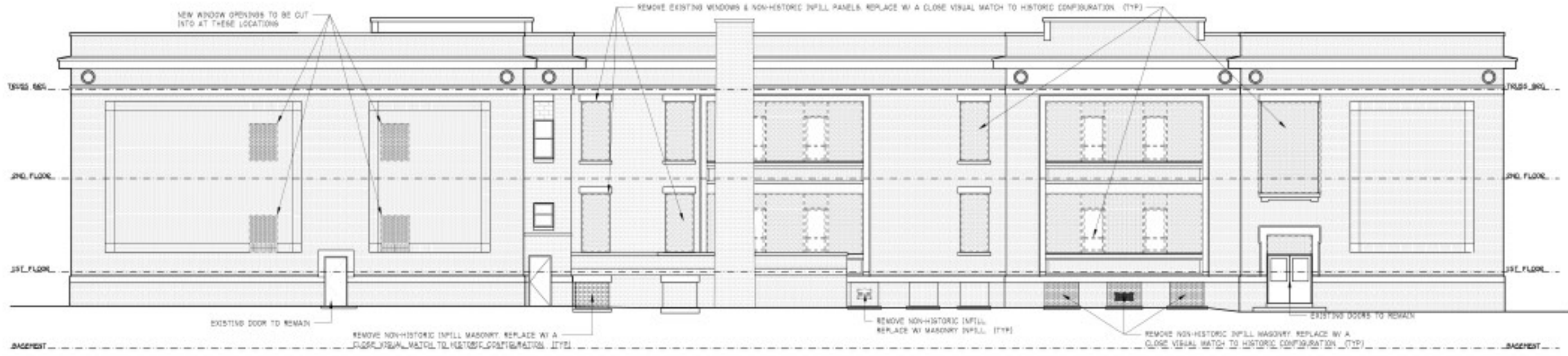


**D EAST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

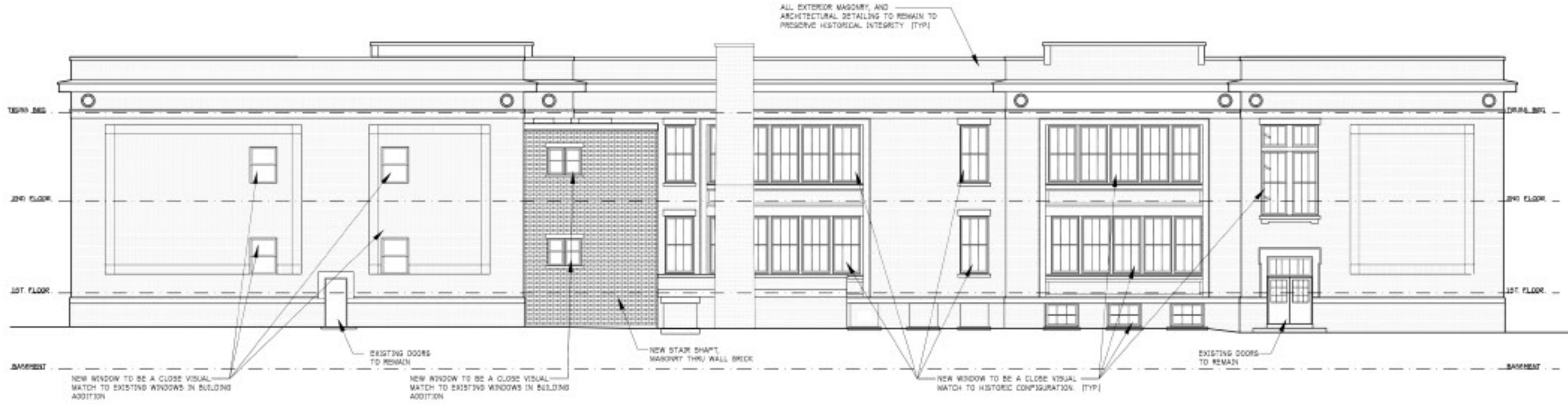
**WASHINGTON SCHOOL  
APARTMENTS**  
1238 GEELE AVENUE  
SHEBOYGAN, WISCONSIN

Project No.	1001-00-0000
Project Date:	09-07-2016
Drawn by:	crc
Issue date	Description

MASONRY DEMOLITION FOR NEW OPENINGS TO BE PERFORMED BY MASONS  
- ALL OPENINGS TO BE SAWTOOTHED IN.



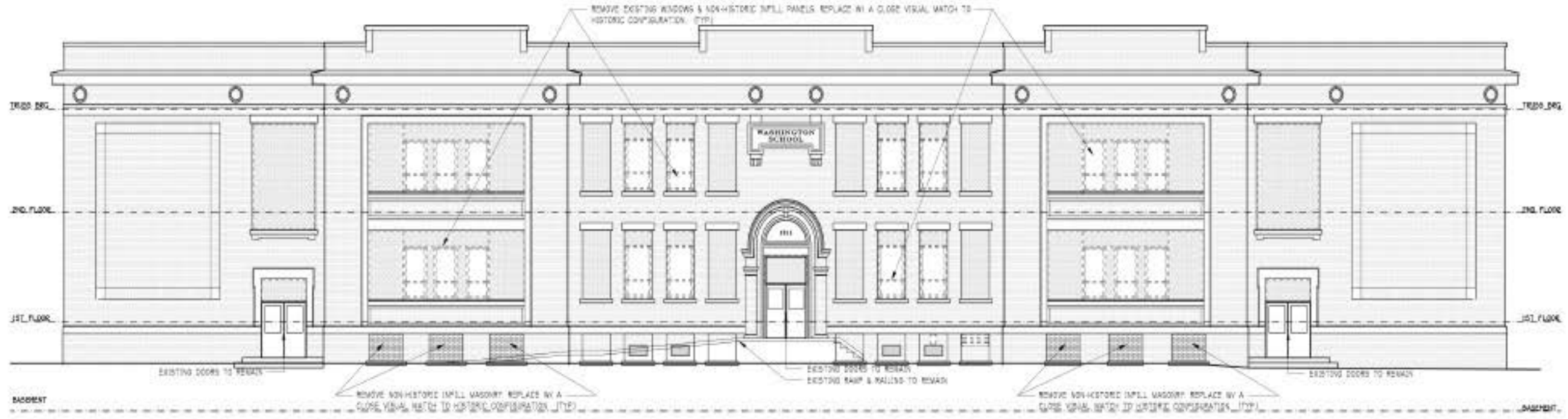
**2** NORTH EXTERIOR ELEVATION - DEMOLITION  
SCALE: 1/8" = 1' - 0"



**B** NORTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"

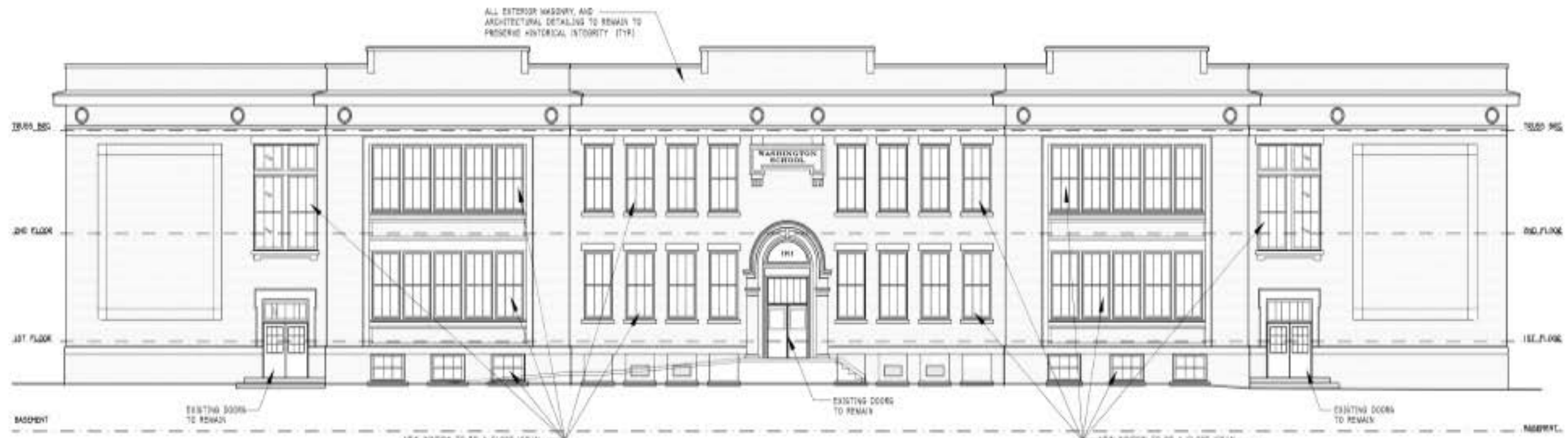
**WASHINGTON SCHOOL  
APARTMENTS**  
1238 GEELE AVENUE  
SHEBOYGAN, WISCONSIN ----

Project No.	1001-00-0000
Project Date:	09-07-2016
Drawn by:	cro
Issue date	Description



**1 SOUTH EXTERIOR ELEVATION - DEMOLITION**  
SCALE: VP = 1/8" = 1'-0"

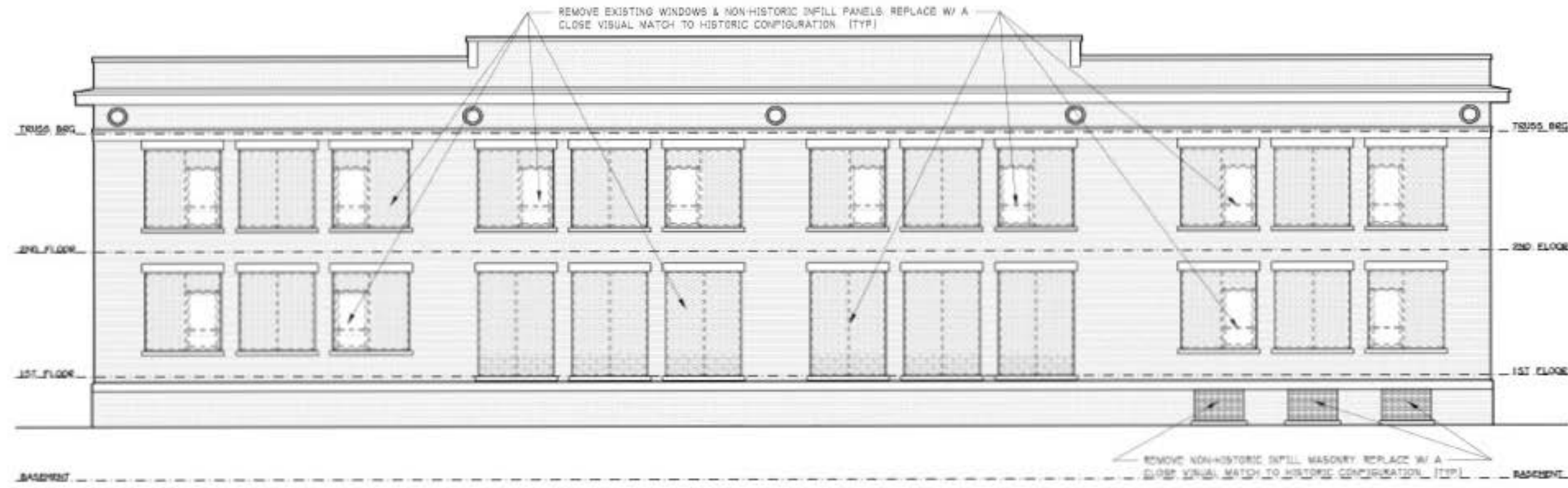
SEE OTHER SHEETS FOR WALL DEMOLITION TO BE REPOSESED BY ARCHITECT



**A SOUTH EXTERIOR ELEVATION**  
SCALE: VP = 1/8" = 1'-0"

**WASHINGTON SCHOOL  
APARTMENTS**  
1238 GEELE AVENUE  
SHEBOYGAN, WISCONSIN

Project No. 1001-00-0000  
Project Date: 09-07-2016  
Drawn by: crc  
Issue date: Description



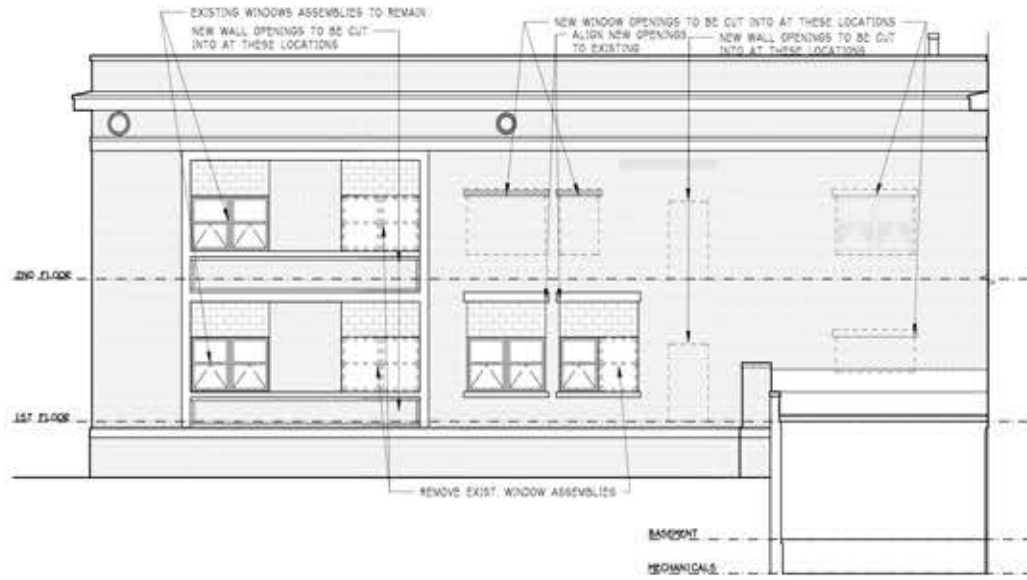
**4 WEST EXTERIOR ELEVATION - DEMOLITION**  
SCALE: 1/8" = 1'-0"



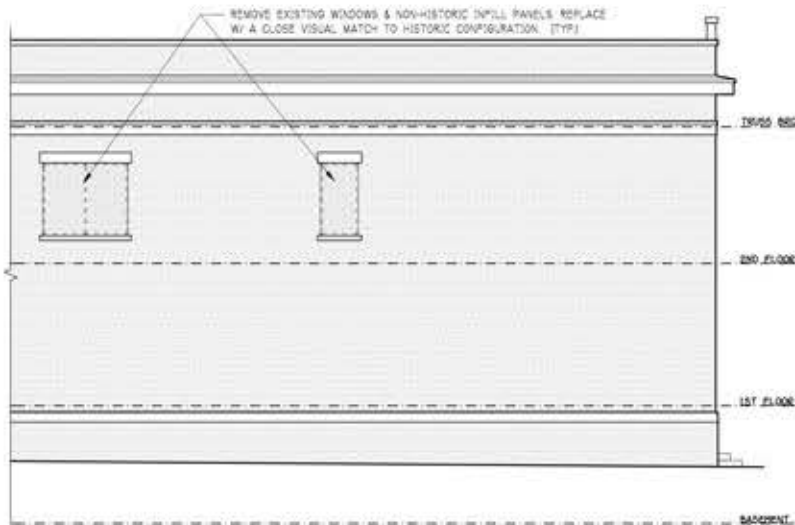
**C WEST EXTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"

**WASHINGTON SCHOOL  
APARTMENTS**  
1238 GEELE AVENUE  
SHEBOYGAN, WISCONSIN

Project No.	1001-00-0000
Project Date:	09-07-2016
Drawn by:	cre
Issue date	Description



**5 EAST INTERIOR ELEVATION - DEMOLITION**  
 SCALE: 1/8" = 1'-0"



**6 WEST INTERIOR ELEVATION - DEMOLITION**  
 SCALE: 1/8" = 1'-0"

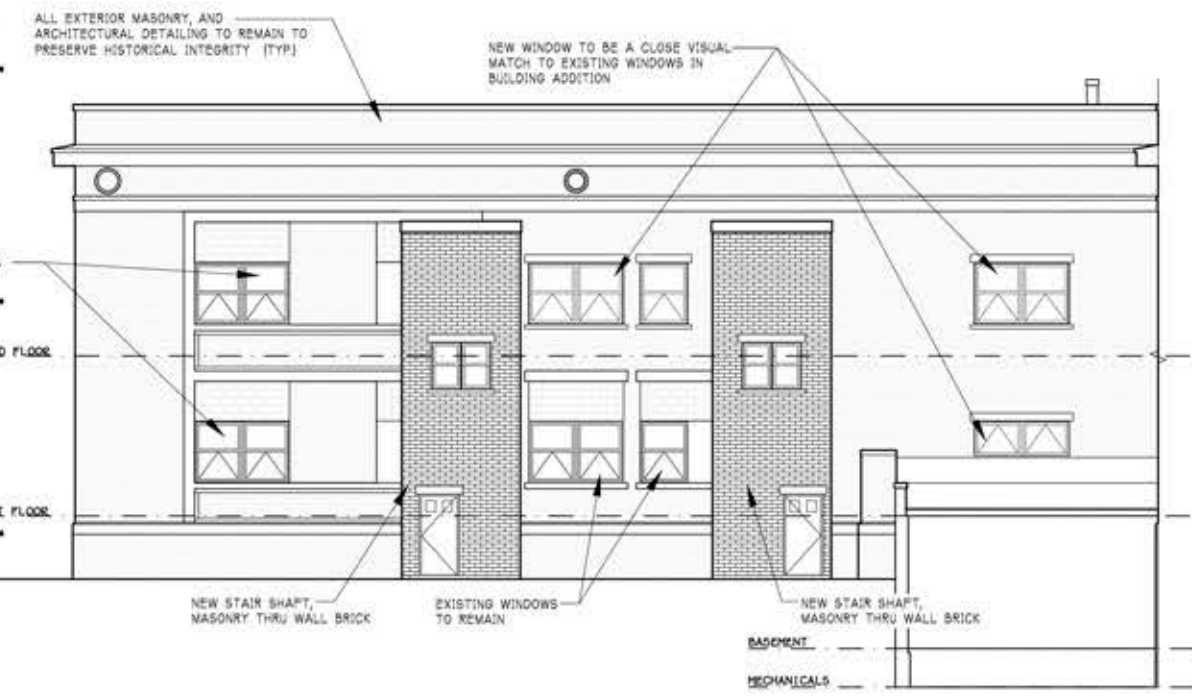
**GORMAN**  
CONSTRUCTION  
 REAL ESTATE  
 DEVELOPMENT &  
 MANAGEMENT  
 200 N. MAIN STREET  
 OREGON, WI 53575

**WASHINGTON SCHOOL  
 APARTMENTS**  
 1238 GEELE AVENUE  
 SHEBOYGAN, WISCONSIN

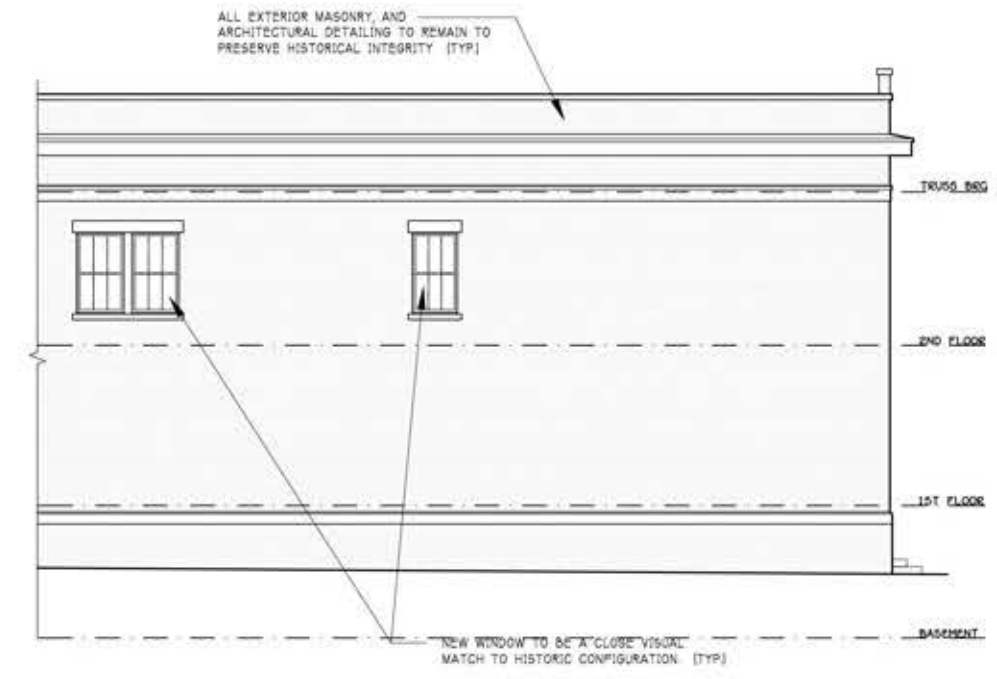
Project No. 1001-00-0000  
 Project Date: 09-07-2016  
 Drawn by: crd  
 Issue date Description

Sheet Title  
**EXTERIOR ELEVATIONS -  
 DEMOLITION**

Sheet No.  
**AD203**



**E EAST EXTERIOR BUILDING ELEVATION - INTERIOR**  
 SCALE: 1/8" = 1'-0"



**F WEST EXTERIOR BUILDING ELEVATION - INTERIOR**  
 SCALE: 1/8" = 1'-0"

**WASHINGTON SCHOOL  
 APARTMENTS**  
 1238 GEELE AVENUE  
 SHEBOYGAN, WISCONSIN

Project No. 1001-00-0000  
 Project Date: 09-07-2016  
 Drawn by: crd  
 Issue date Description

Sheet Title  
**EXTERIOR BUILDING  
 ELEVATIONS**

Sheet No.  
**A203**

**DEMOLITION PLAN GENERAL NOTES**

1. THE ARCHITECTURAL DEMOLITION PLANS AND NOTES CANNOT COVER EVERY SPECIFIC ITEM OF DEMOLITION REQUIRED TO COMPLETE THE WORK NOR ARE THEY INTENDED TO SHOW THIS. THE DEMOLITION SHOW THE GENERAL INTENT OF THE WORK IN AS MUCH DETAIL AS IS POSSIBLE. FINAL DETERMINATION OF ALL REQUIRED DEMOLITION WILL BE DETERMINED BY THE GENERAL CONTRACTOR AND WILL NOT BE ALLOWED TO FORM THE BASIS FOR ADDITIONAL COMPENSATION UNLESS SUCH WORK IS CLEARLY SHOWN TO BE BEYOND THE GENERAL SCOPE AND GENERAL INTENT OF THE CONTRACT DOCUMENTS CONSIDERED IN THEIR ENTIRETY.
2. ALL ITEMS INDICATED TO BE SALVAGED SHALL BE TEMPORARILY STORED AND/OR RELOCATED FOR LATER RE-INSTALLATION. ALL MISC. ITEMS NOT MARKED OR OTHERWISE INDICATED TO BE SALVAGED REMOVE AND PROPERLY DISPOSE OF. FOR HISTORICAL PRESERVATION PURPOSES EXISTING SIGNAGE SHALL REMAIN IN PLACE OR BE TEMPORARILY REMOVED AND BE RELOCATED.
3. ALL ITEMS AND FINISHES INDICATED TO REMAIN AND NOT BE REMOVED SHALL BE PROTECTED BY DEMOLITION CONTRACTOR FROM ANY DAMAGE OR MARKING OF FINISHES.
4. COORDINATE WITH EXISTING BUILDING PLANS AND CONDITIONS AND WITH STRUCTURAL PLANS FOR DEMOLITION RELATED TO ALL STRUCTURAL WORK. DO NOT CUT, REMOVE, OR DAMAGE ANY STRUCTURAL OR SUSPECTED STRUCTURAL SYSTEM OR BEARING WALL WITHOUT PREVIOUSLY COORDINATING WITH ARCHITECT AND STRUCTURAL ENGINEER.
5. PRIOR TO BEGINNING OR THE BEGINNING OF ANY WORK THE DEMOLITION CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY AND THE EXISTING BUILDING TO DEFINE THE WORK REQUIRED, EXISTING CONDITIONS, AND LIMITATIONS.
6. FOLLOW ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS FOR ALL DEMOLITION WORK. THIS INCLUDES, BUT IS NOT LIMITED TO ALL APPLICABLE OSHA, AND EPA RULES AND REGULATIONS.
7. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY GUARDING AND PROTECTING NEW AND EXISTING OPENINGS PER OSHA AND OTHER REQUIREMENTS. DEMOLITION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMMUNICATING TO THE GENERAL CONTRACTOR, OTHER SUB-CONTRACTORS AND OTHERS PERFORMING WORK AT THE

JOB SITE OF ANY SAFETY HAZARDS, OPENINGS, ETC. THAT COULD CREATE A HAZARD.

8. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND RE-CONNECTION FOR ALL ELECTRICAL UTILITIES AS REQUIRED FOR ELECTRICAL WORK. COORDINATE WITH GENERAL CONTRACTOR ON TIMING, ETC. SO AS NOT TO DELAY WORK BY DEMOLITION CONTRACTOR OR OTHERS. ELECTRICAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROPER DEMOLITION OF ELECTRICAL PANELS, CONDUIT, POWER SOURCES, ELECTRICAL RACEWAY AND ALL RELATED HARDWARE AND ACCESSORIES. COORDINATE WITH DEMOLITION CONTRACTOR.
9. COORDINATE WITH THE UTILITY COMPANIES FOR THE DISCONNECTION OF ANY UTILITIES AS REQUIRED FOR DEMOLITION WORK.
10. SEE CIVIL DRAWINGS FOR SITE DEMOLITION WORK.
11. DEMOLITION OF ALL BOILERS, MEP EQUIPMENT, PIPING, CONDUIT, AND DUCTWORK, ETC. AND ALL OTHER EQUIPMENT AND RELATED ACCESSORIES NOT SPECIFIED TO REMAIN SHALL BE BY DEMOLITION CONTRACTOR. MEP CONTRACTORS SHALL CLEAN AND MARK ALL EQUIPMENT AND ACCESSORIES THAT ARE TO BE REMOVED WITH GREEN SPRAY PAINT. ALL EQUIPMENT, PIPING, CONDUIT, ACCESSORIES, ETC. THAT ARE TO REMAIN SHALL BE MARKED BY CONTRACTOR WITH RED SPRAY PAINT.
12. UNLESS NOTED OTHERWISE REMOVE ALL EXISTING RADIATORS AND BASE BOARD HEATERS ALONG WITH ANY PIPING, WIRING, CONDUIT, HEAT SHIELDS, ACCESSORIES, ETC. SEE SPECS FOR RULES REGARDING POSSIBLE ACM. DEMOLITION TO BE EXECUTED TO ALLOW WALLS, FLOORS, AND CEILING TO BE PATCHED BACK AS REQUIRED TO MATCH EXISTING FINAL FINISHED SURFACE AND TO BE RE-PROOFED. VINYL CAPPED PIPES, ETC. WOULD BE VISIBLE OR EXPOSED WITHIN FINISHED ROOM. REMOVE THE ITEMS ENTIRELY.
13. FOR ALL TOILETS, LAVATORIES, SINKS, AND OTHER PLUMBING FIXTURES INDICATED TO BE REMOVED, ASSOCIATED PIPING SHALL ALSO BE REMOVED TO THE FLOOR AND CEILING, AS APPLICABLE, AND SHALL BE CAPPED. DEMOLITION AND CAPPING TO BE EXECUTED SO AS TO ALLOW FLOORS AND CEILING TO BE PATCHED BACK SIM TO NOTE ABOVE.
14. AT GROUND FLOOR, EXISTING MECHANICAL EQUIPMENT, BOILERS, AND RELATED PIPING AND

DUCTWORK, WIRING, CONDUIT, AND ACCESSORIES ARE TO BE REMOVED AND PROPERLY DISPOSED OF.

15. REMOVE EXIST. HOUSEKEEPING PADS TO ALLOW LATER FLOOR SLAB PATCHING, FLOOR LEVELING, AND FLOOR FINISH.
16. DEMOLITION CONTRACTOR SHALL SCRAPE AND REMOVE EXISTING DAMAGED PAINT ON ANY AREAS TO REMAIN WHICH REQUIRE NEW WORK. REFER TO SPECIFICATIONS AND ALL APPLICABLE SAFETY RULES WHEN WORKING WITH LEAD PAINT. WHILE LEAD PAINT EXISTS (TO BE ESTABLISHED BY TESTING) PAINT REMOVAL SHALL BE ACCOMPANIED BY TECHNICIANS THAT DO NOT RELEASE LEAD DUST OR DIRT INTO THE AIR. USE OF A HEAT GUN FOR PAINT REMOVAL WOULD BE PROHIBITED IN THIS CASE.
17. FOR ALL WALLS INDICATED TO REMAIN REMOVE ANY WALL PAPER, VINYL WALL COVERING, AND ADHESIVE.
18. FOR ANY INTERIOR MASONRY WALLS TO REMAIN THAT WILL BE OPEN TO BUILDING OCCUPANTS REMOVE ANY ATTACHED ITEMS THAT ARE NOT INDICATED TO REMAIN OR ARE NOT OF AN HISTORICAL NATURE.
19. UNLESS NOTED OTHERWISE, EXISTING TERRAZZO FLOORING AND TERRAZZO CURB BASE ARE TO REMAIN. FOR WALLS INDICATED TO BE REMOVED, TERRAZZO BASE SHALL BE SAWCUT AND CLEANLY REMOVED ONLY AS REQUIRED FOR NEW FLOORING, ETC. DEMOLITION FOR ALL TERRAZZO AND OTHER FINISH ITEMS THAT WILL BE VISIBLE MUST BE WORKMAN-LIKE AND EXECUTED TO RESULT IN SMOOTH SURFACES AND JOINTS.
20. IN ADDITION TO DEMOLITION WORK INDICATED BY OTHER PLANS, GENERAL DEMOLITION NOTES, AND KEYED DEMOLITION NOTES, REMOVE ALL WALLS AND OTHER ITEMS THAT ARE INDICATED IN DEMOLITION PLANS WITH DASHED LINES.

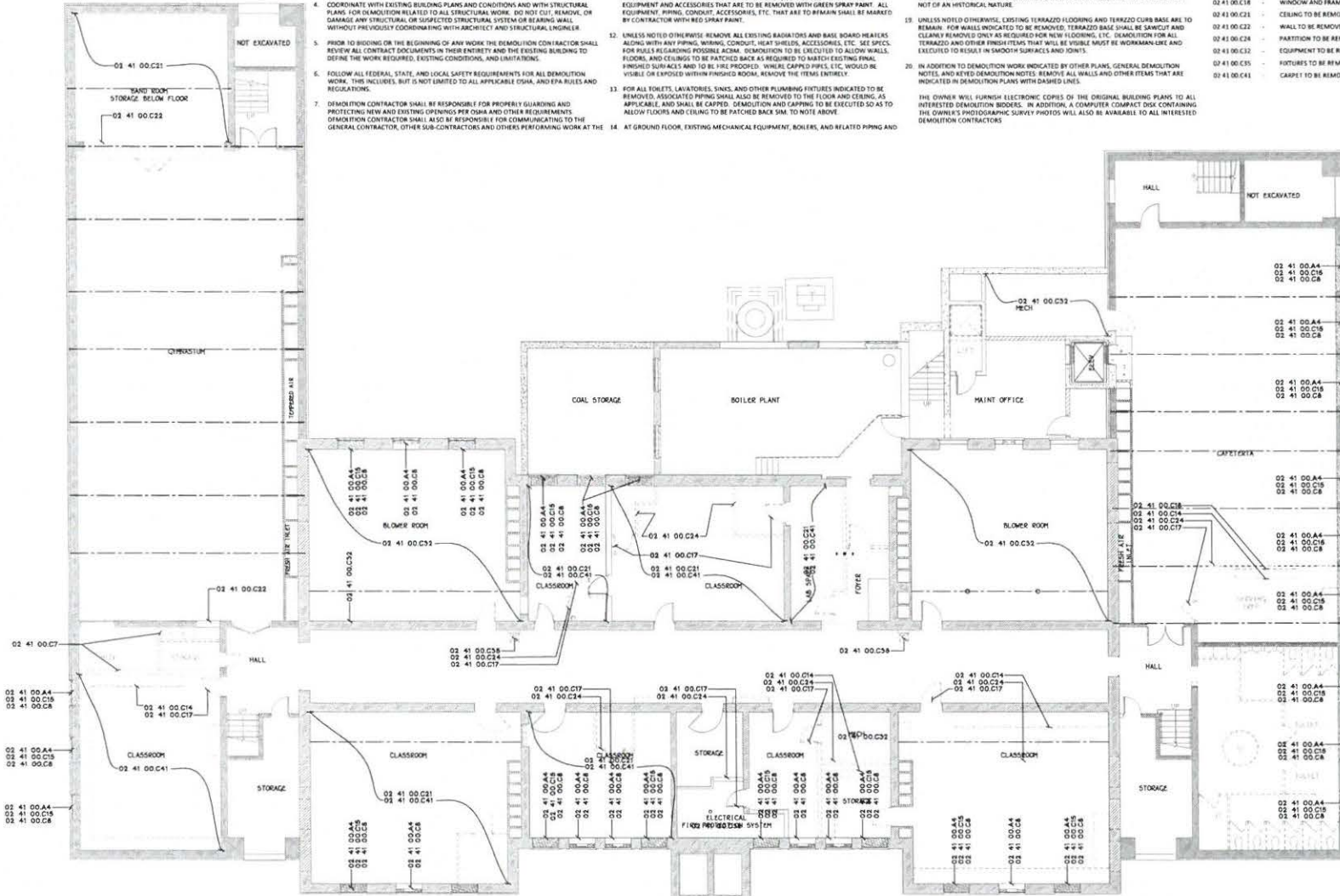
THE OWNER WILL FURNISH ELECTRONIC COPIES OF THE ORIGINAL BUILDING PLANS TO ALL INTERESTED DEMOLITION BIDDERS. IN ADDITION, A COMPUTER COMPACT DISK CONTAINING THE OWNER'S PHOTOGRAPHIC SURVEY PHOTOS WILL ALSO BE AVAILABLE TO ALL INTERESTED DEMOLITION CONTRACTORS.

**REFERENCE KEYNOTES**

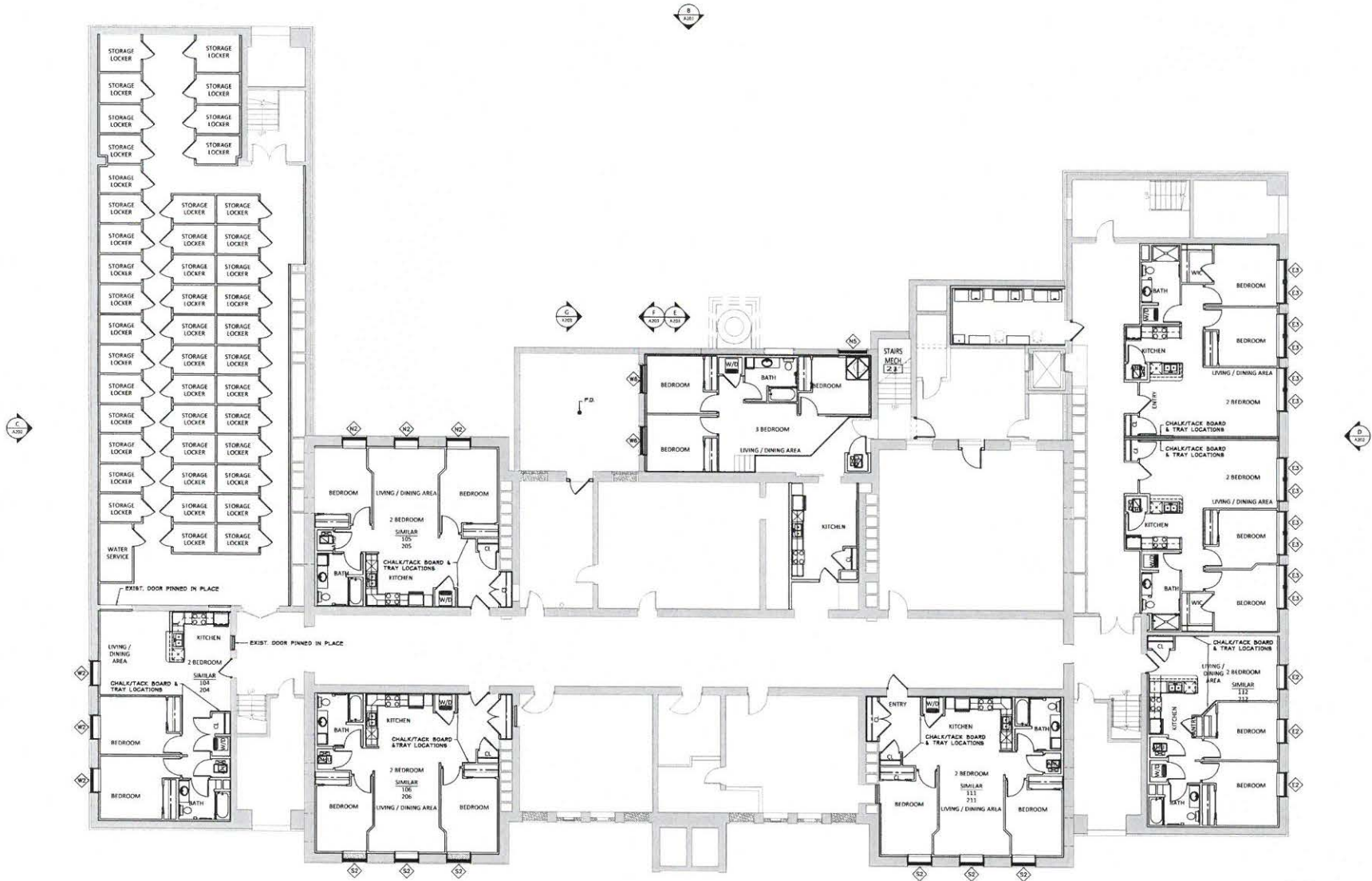
**DIVISION 02 - EXISTING CONDITIONS**

**02 41 00 - DEMOLITION**

- 02 41 00.A4 - REMOVE EXISTING CONSTRUCTION
- 02 41 00.C7 - BRICK MASONRY TO BE REMOVED
- 02 41 00.C8 - CMU'S TO BE REMOVED
- 02 41 00.C14 - CASWORK TO BE REMOVED
- 02 41 00.C15 - INSULATION TO BE REMOVED
- 02 41 00.C17 - DOOR AND FRAME TO BE REMOVED
- 02 41 00.C18 - WINDOW AND FRAME TO BE REMOVED
- 02 41 00.C22 - CEILING TO BE REMOVED
- 02 41 00.C23 - WALL TO BE REMOVED
- 02 41 00.C24 - PARTITION TO BE REMOVED
- 02 41 00.C25 - EQUIPMENT TO BE REMOVED
- 02 41 00.C35 - FIXTURES TO BE REMOVED
- 02 41 00.C41 - CARPET TO BE REMOVED



**1 BASEMENT - DEMOLITION PLAN**  
SCALE: 1/8" = 1' - 0"



**1** BASEMENT FLOOR OVERALL PLAN  
SCALE: 1/8" = 1' - 0"

**WASHINGTON SCHOOL  
APARTMENTS**  
1238 GEELE AVENUE  
SHEBOYGAN, WISCONSIN

Project No.	1001-00-0000
Project Date:	09-07-2016
Drawn by:	crd
Issue date	Description

Sheet Title  
**OVERALL BASEMENT  
FLOOR PLAN**

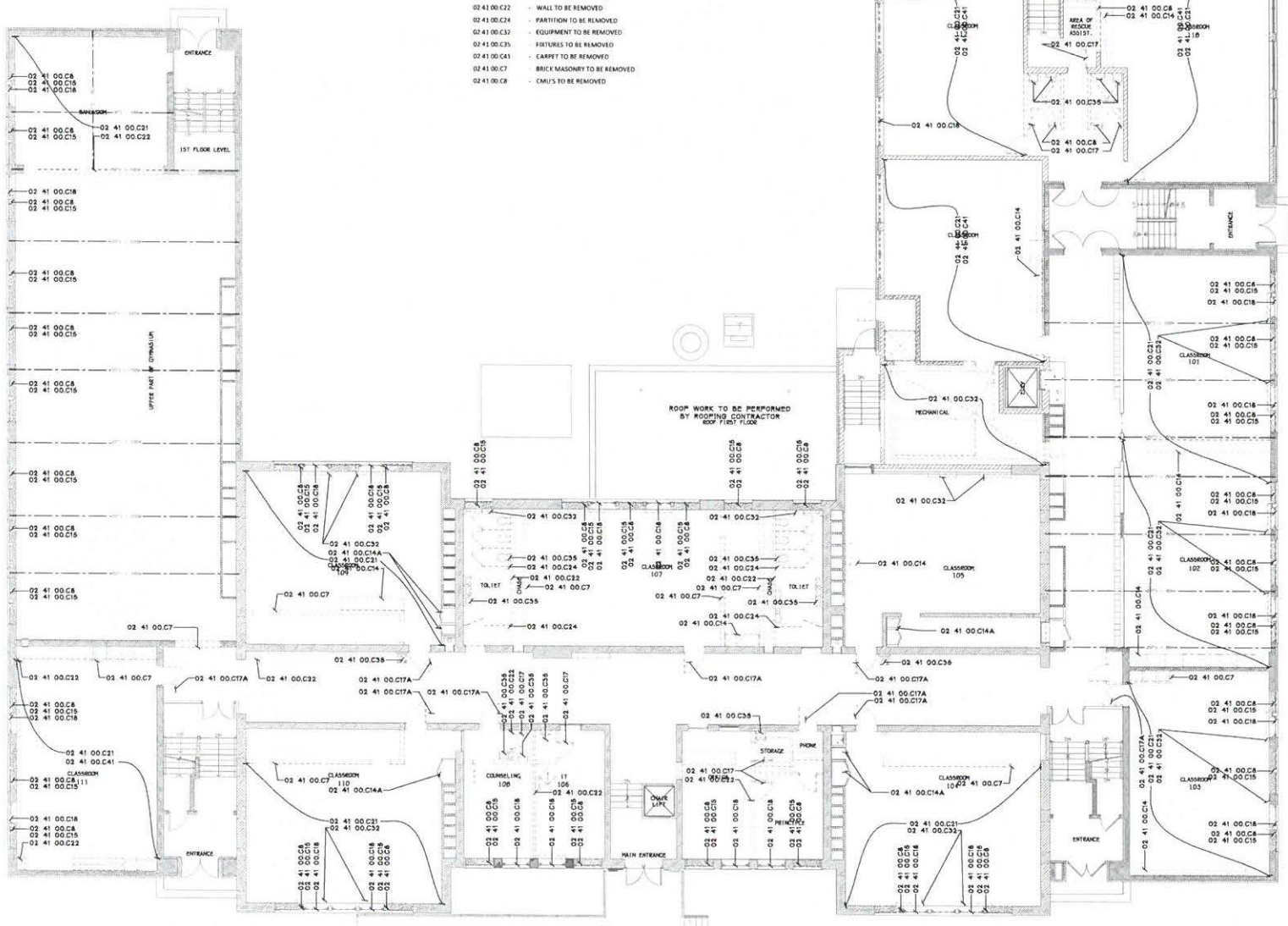
Sheet No.  
**A101**

**DEMOLITION & CONSTRUCTION NOTE**

- EXIST. FLOOR / CHAIR STAIRS & WOOD TRIM TO BE SALVAGED AND REINSTALLED @ DWELLING UNIT LIVING AREAS
- CORRIDORS TO REMAIN AS-IS. WOOD BASEBOARD IN CORRIDORS TO REMAIN IN PLACE - PROTECT DURING DEMOLITION & CONSTRUCTION
- DESIGNATED EXIST. WOOD DOORS & HARDWARE REMOVED TO BE REUSED. WOOD FRAMES & TRANSOMS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION
- WOOD FLOORS @ LIVING AREAS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION
- DESIGNATED EXIST. WOOD BUILT-INS CASEWORK @ LIVING AREAS TO REMAIN - PROTECT DURING DEMOLITION & CONSTRUCTION

**REFERENCE KEYNOTES**

- DIVISION 02 - EXISTING CONDITIONS**
- 02 41 00 - DEMOLITION**
- 02 41 00.C14 - CASEWORK TO BE REMOVED
  - 02 41 00.C14A - CASEWORK TO BE SALVAGED IN PLACE - PROTECT DURING DEMOLITION AND CONSTRUCTION
  - 02 41 00.C15 - INSULATION TO BE REMOVED
  - 02 41 00.C17 - DOOR AND FRAME TO BE REMOVED
  - 02 41 00.C17A - FRAME AND TRANSOM TO REMAIN IN PLACE
  - 02 41 00.C18 - WINDOW AND FRAME TO BE REMOVED
  - 02 41 00.C21 - CEILING TO BE REMOVED
  - 02 41 00.C22 - WALL TO BE REMOVED
  - 02 41 00.C24 - PARTITION TO BE REMOVED
  - 02 41 00.C32 - EQUIPMENT TO BE REMOVED
  - 02 41 00.C35 - FIXTURES TO BE REMOVED
  - 02 41 00.C41 - CARPET TO BE REMOVED
  - 02 41 00.C7 - BRICK MASONRY TO BE REMOVED
  - 02 41 00.CR - CMU'S TO BE REMOVED



**1 1ST FLOOR - DEMOLITION PLAN**  
SCALE: 1/8" = 1' - 0"

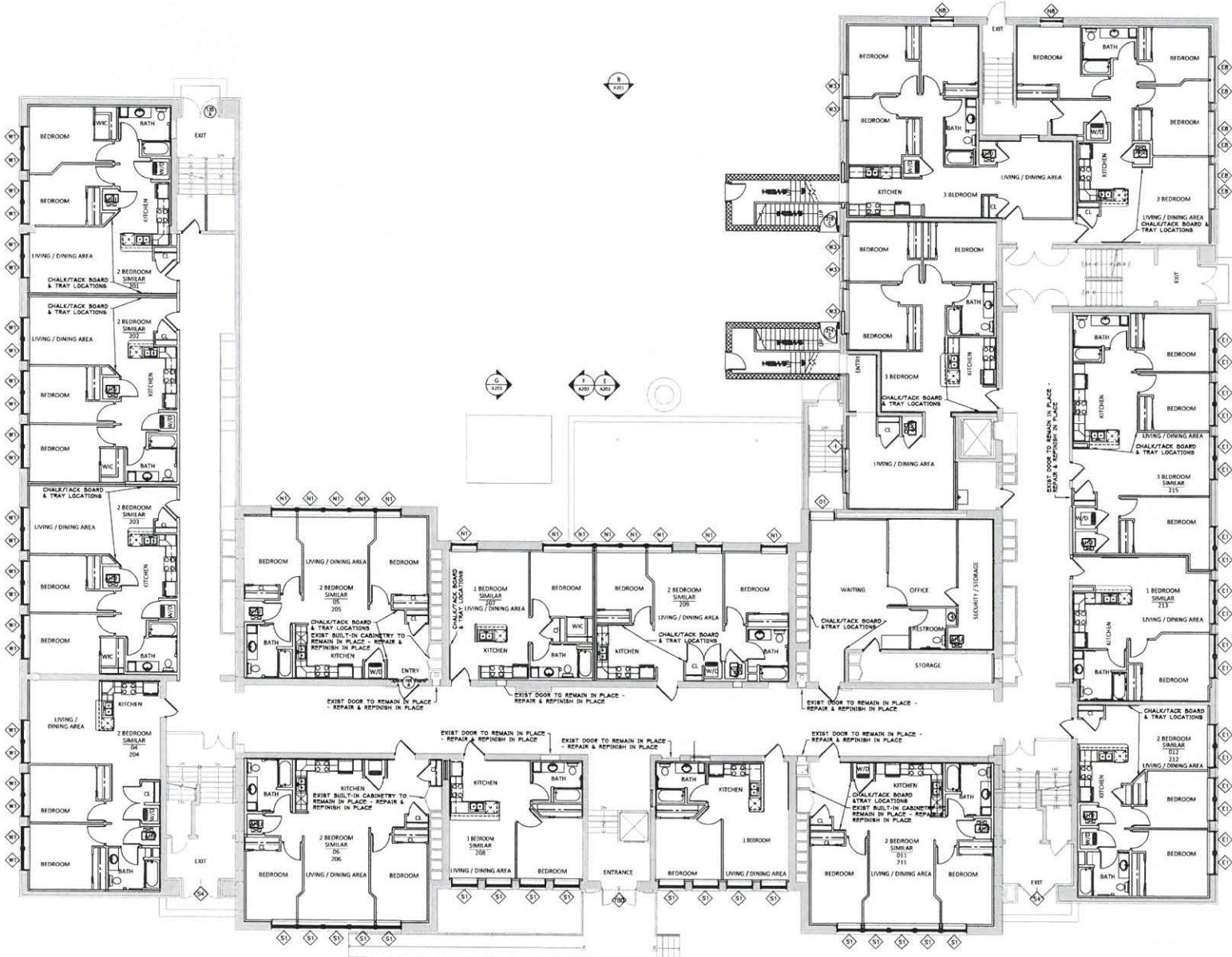
DEMOLITION PLAN

**WASHINGTON SCHOOL  
APARTMENTS**  
1238 GEELE AVENUE  
SHEBOYGAN, WISCONSIN

Project No. 1001-00-0000  
Project Date: 09-07-2016  
Drawn by: crd  
Issue date: Description

Sheet Title  
OVERALL 1ST FLOOR PLAN

Sheet No.  
**A111**



**1 1ST FLOOR OVERALL PLAN**  
SCALE: 1/8" = 1' - 0"

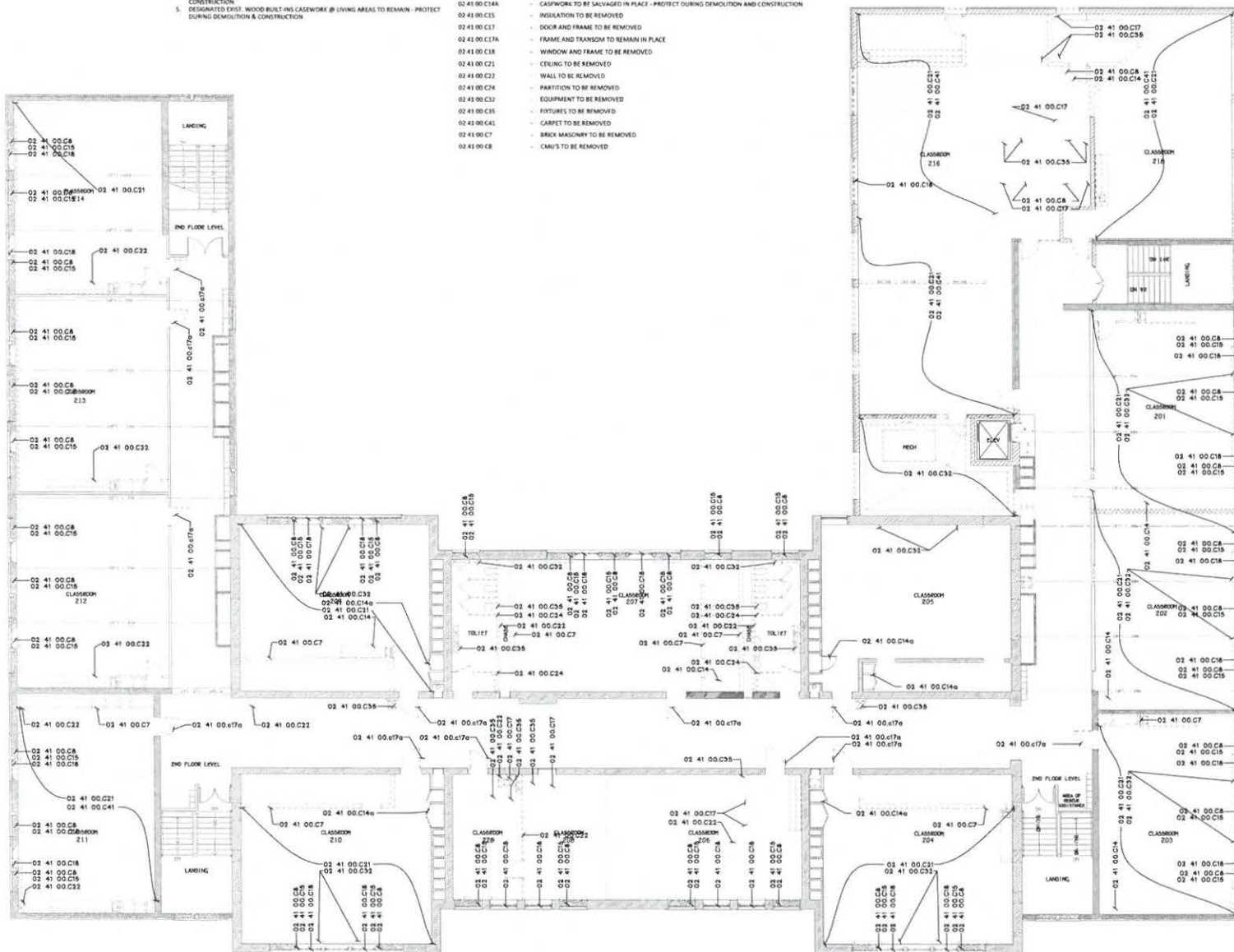
**DEMOLITION & CONSTRUCTION NOTE**

- EXIST. TACK / CHALK BOARDS & WOOD TRIM TO BE SALVAGED AND REINSTALLED @ DWELLING UNIT LIVING AREAS.
- CORRIDORS TO REMAIN AS-IS. WOOD BASEBOARD IN CORRIDORS TO REMAIN IN PLACE. PROTECT DURING DEMOLITION & CONSTRUCTION.
- DESIGNATED EXIST. WOOD BOOKS & HARDWARE TO BE REUSED. WOOD FRAMES & TRANSOMS TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.
- WOOD FLOORS @ LIVING AREAS TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.
- DESIGNATED EXIST. WOOD BUILT-INS CASEWORK @ LIVING AREAS TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.

**REFERENCE KEYNOTES**

**DIVISION 02 - EXISTING CONDITIONS**

- 02 41 00 - DEMOLITION**
- 02 41 00 C14 - CASEWORK TO BE REMOVED
  - 02 41 00 C14A - CASEWORK TO BE SALVAGED IN PLACE - PROTECT DURING DEMOLITION AND CONSTRUCTION
  - 02 41 00 C15 - INSULATION TO BE REMOVED
  - 02 41 00 C17 - DOOR AND FRAME TO BE REMOVED
  - 02 41 00 C17A - FRAME AND TRANSOM TO REMAIN IN PLACE
  - 03 41 00 C18 - WINDOW AND FRAME TO BE REMOVED
  - 02 41 00 C21 - CEILING TO BE REMOVED
  - 02 41 00 C24 - WALL TO BE REMOVED
  - 02 41 00 C24 - PARTITION TO BE REMOVED
  - 02 41 00 C32 - EQUIPMENT TO BE REMOVED
  - 02 41 00 C35 - FIXTURES TO BE REMOVED
  - 02 41 00 C41 - CARPET TO BE REMOVED
  - 02 41 00 C7 - BRICK MASONRY TO BE REMOVED
  - 02 41 00 C8 - CASU'S TO BE REMOVED



**1 2ND FLOOR - DEMOLITION PLAN**  
SCALE: 1/8" = 1' - 0"

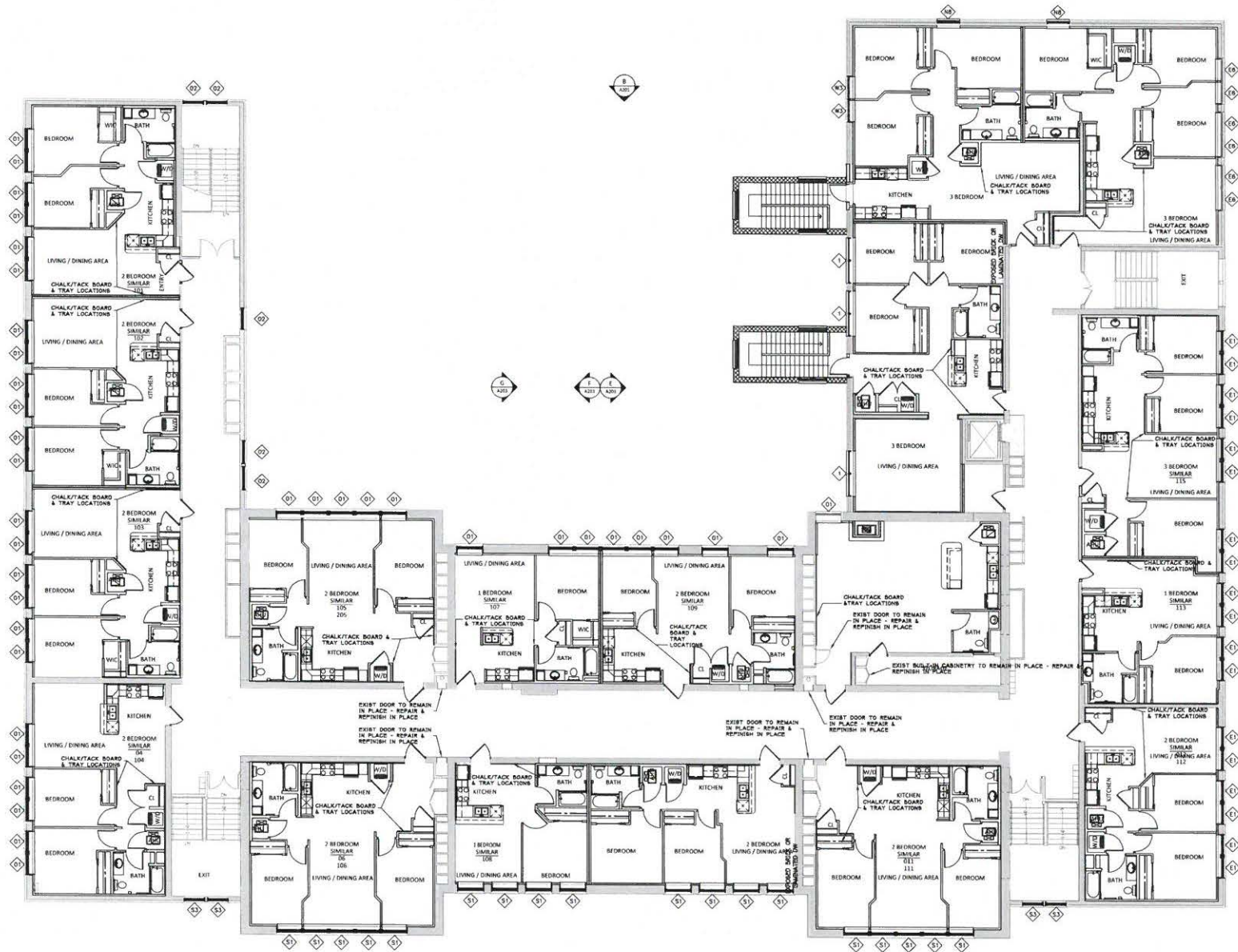
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**WASHINGTON SCHOOL  
APARTMENTS**  
1238 GELE AVENUE  
SHEBOYGAN, WISCONSIN

Project No. 1001-00-0000  
Project Date: 09-07-2016  
Drawn by: crd  
Issue date Description

Sheet Title  
OVERALL 2ND FLOOR PLAN

Sheet No.  
**A121**



**1 2ND FLOOR OVERALL PLAN**  
SCALE: 1/8" = 1' - 0"

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Review and consideration of architectural plans to remodel Pizza Hut located at 2727 S. Business Drive.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** September 9, 2016

**MEETING DATE:** September 12, 2016

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

Pizza Hut is proposing to update the exterior of the restaurant to meet the most recent update to corporate standards.

The applicant states:

- The existing building has wood siding on the dining portion of the building and brick on the kitchen portion of the building.
- The existing material on the front half of the building to be replaced with a stone band below the windows and smooth engineered wood panels and trim above.
- The metal roof is to be replaced with asphalt shingles and the cupula will be rebuilt with engineer wood siding - squaring off the roof cupula.
- The brick on the back half is to be painted.

**STAFF COMMENTS:**

Staff informed the applicant about a number of concerns with the present design including:

- The introduction of the stone may be ok, but it's introducing a new material in a way that draws attention to the new stone wainscot, where a wainscot may not necessarily be a good feature on this building.

- The dominant horizontal of the new wainscot and the bold red horizontal paint band start to make the building feel very flat and heavy. The continuation of the near-vertical diagonal trim bands and window jambs previously broke-up the horizontals to give a better balance to the facades. Does the wainscot need to be introduced? Can the existing siding/trim not just get new paint?
- Also – the angled peak-element to the original roof related to the angle of the windows and trim in a way that worked together for a harmonious (iconic) composition. By squaring-off the roof’s peak-element, the angled window jambs now look odd and out-of-place. If they have to revise the peak-element and introduce a wainscot, you will also want to revise the windows so that everything is squared off?
- Please supply photos of where “corporate” has done this same make-over elsewhere so we can see how it actually turned out because the Board may have some concerns about the proposed design.

**ACTION REQUESTED:**

Staff does not recommend that the board approve the present design. Staff recommends that the applicant resubmit new drawings that adequately address the Boards design concerns with the present proposal.

**ATTACHMENTS:**

- I. Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: 9/12/16

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Jeremy Cynkar  
ADDRESS: 222 W. Washington Ave Suite 310  
E-MAIL ADDRESS: jeremy@destreearchitects.com  
PHONE: (608) 268.1499 FAX NO.: ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Pizza Hut  
ADDRESS OF PROPERTY AFFECTED: 2727 S. Business Dr  
NEW BUILDING: \_\_\_\_\_ ADDITION: \_\_\_\_\_ REMODELING: X  
DESCRIPTION OF PROPOSED PROJECT: Pizza Hut is proposing to update the exterior of the building to meet the most recent updated corporate standards. Proposed changes include replacing the metal roof with shingles, squaring off the roof cupula, replacing the wood siding and painting the brick.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: Existing building has wood siding on the dining portion of the building and brick on kitchen portion of the building. The roof is metal shingles.

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: The existing material on the front half of the building to be replace with a stone band below the windows and smooth engineered wood panels and trim above. The brick on the back half to be painted. The roof to be replaced with asphalt shingles and the cupula to be rebuilt with engineer wood siding.

**3. NAMES AND ADDRESSES**

OWNER OF SITE: Edward Elliott  
ADDRESS: 3548 Quimby St  
PHONE: (619) 318-6980 FAX NO.: ( )  
ARCHITECT: Jeremy Cynkar



DESTREE  
architecture & design

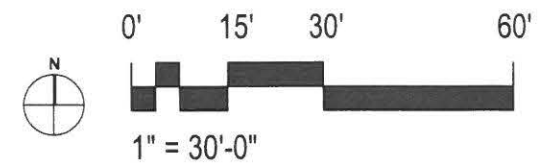
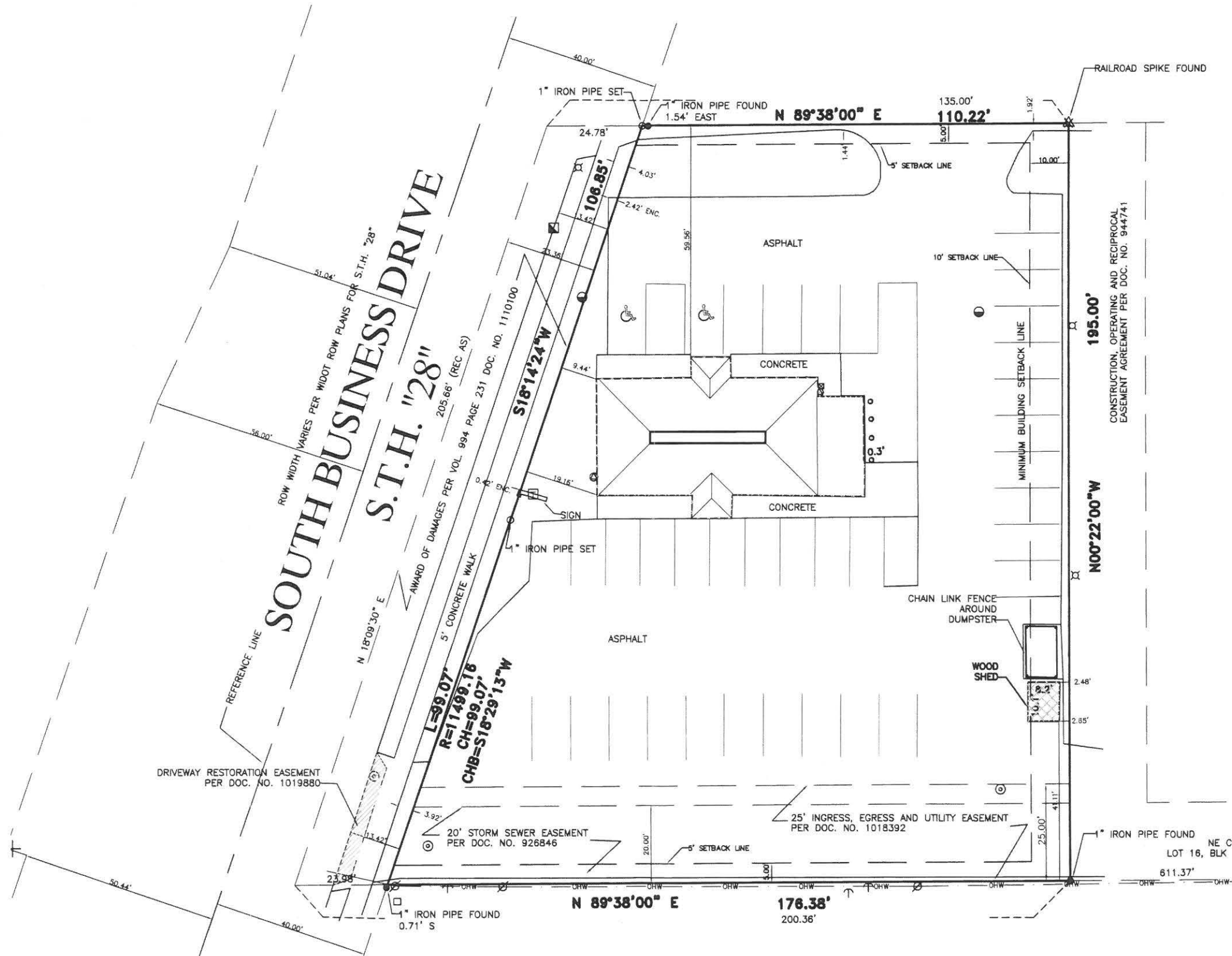
## Letter of Intent

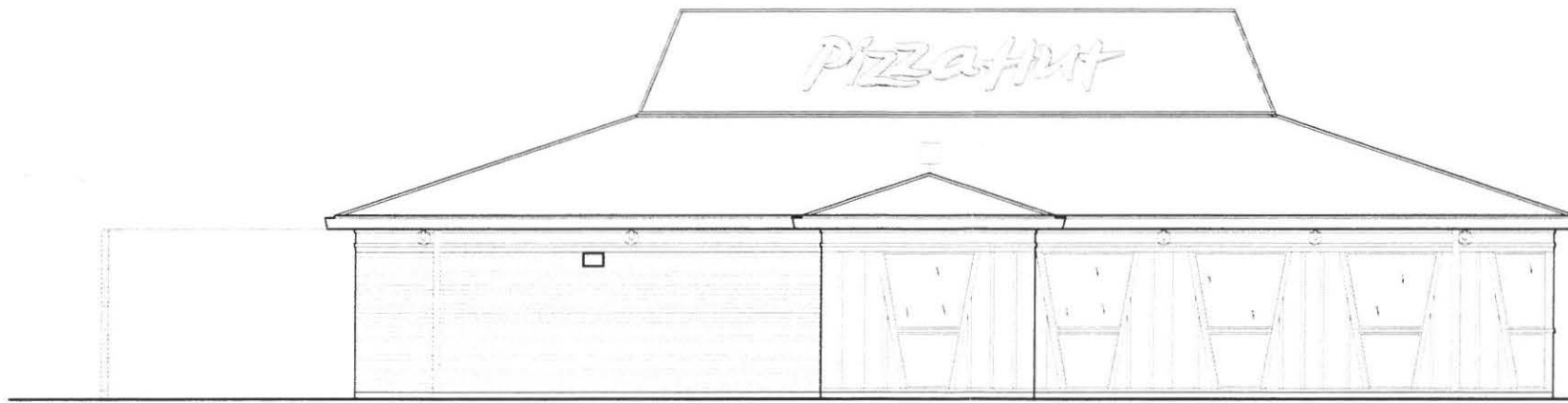
Pizza Hut  
2727 S. Business Drive  
Sheboygan, WI 53081

The Pizza Hut located at 2727 Business Dr is proposing to upgrade the exterior appearance of the building to meet their recently updated 2016 corporate standards. As Pizza Hut has evolved over the decades, along with changing perceptions on how brands should reflect their identity, they feel that they have lost that singular brand image that resonates with customers today. The focus of the new standards aim to unify and elevate the brand through all their different asset types by incorporating several new elements that help to create a more unified brand appearance. These new elements include a masonry band around the dining area and a new branding element call the "red thread". Using a common color palette and materials is also key to the proposed changes. Other proposed alterations to the building include squaring off the copula, replacing the old out of date metal roof shingles and painting of the brick.

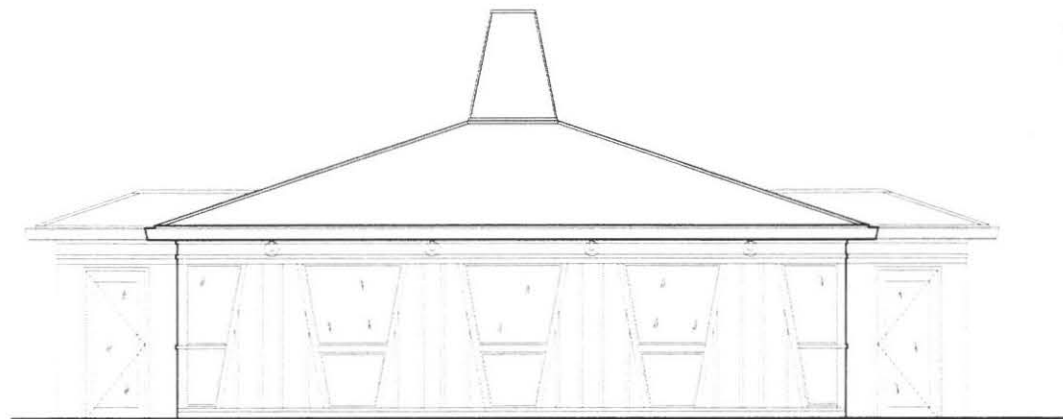
**GENERAL NOTES**

1. EXISTING LANDSCAPING TO REMAIN OR BE REPLACED IF DAMAGED DURING CONSTRUCTION.
2. PARKING LOT CONSISTS OF 35 STALLS & 2 ADA STALLS
3. SETBACK:
  - FRONT SETBACK: 0'
  - SIDEYARD SETBACK: 5'
  - REARYARD SETBACK: 10'
  - MAXIMUM HEIGHT: 50'

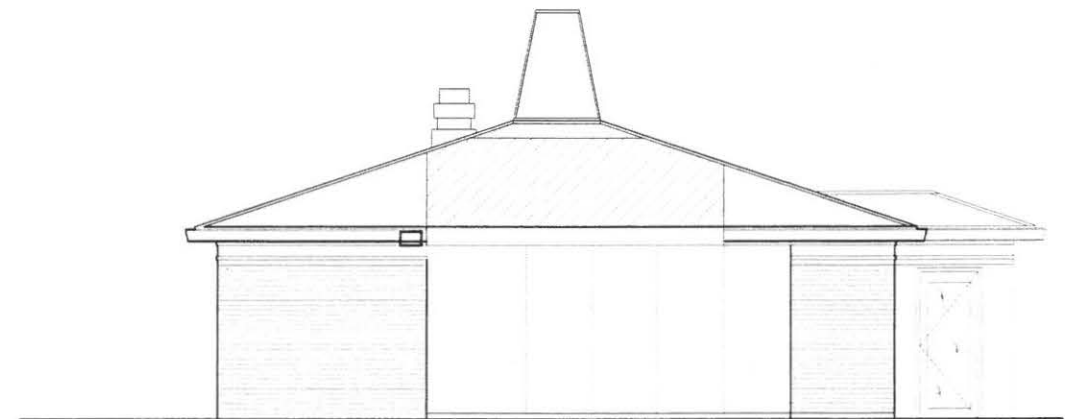




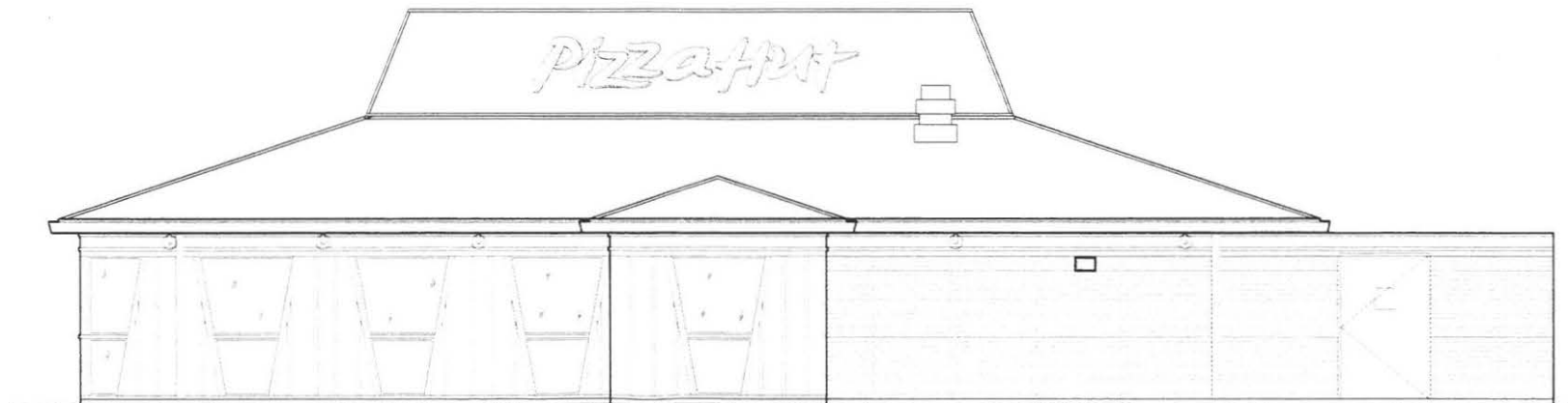
EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION  
(S BUSINESS DR)



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION

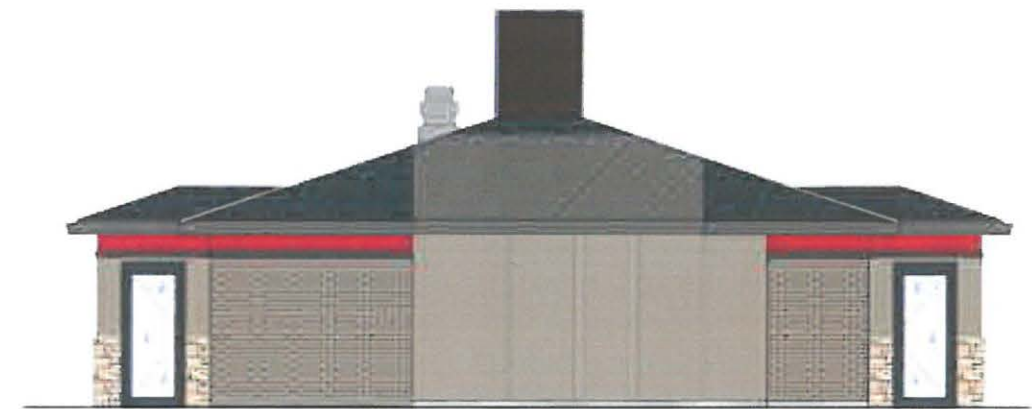


NORTH ELEVATION

SPEC		LOCATION
<b>EXTERIOR</b>		
1.1	IDENTITY WOOD PRODUCTS COLOR: FRESH CRUST	EXTERIOR SIGN
1.2	IDENTITY WOOD PRODUCTS COLOR: EXTRA MUSHROOM	EXTERIOR SIDING
2.1	BENJAMIN MOORE HERITAGE PFD PM-58	
2.2	SHERWIN WILLIAMS COLOR: FORTNELL'S #SW 6514	
2.3	SHERWIN WILLIAMS COLOR: TROCKAN BLACK #SW 6529	
2.4	SHERWIN WILLIAMS COLOR: MACADAMIA #SW 6510	
2.5	SHERWIN WILLIAMS COLOR: BLACK FOX #SW 7020	
3.2	CLEAR ANODIZED TRIM CAP	AIR PARAPET CAPS
5.1	FLORADO STONE - CLEFSTONE COLOR: BAILEY OR: LIT. NATURAL GREY MIN. GROUT LINE TO HAVE STACKED STONE APPEARANCE	WALLS
7.1	DETAILED PRESIDENTIAL SHANK COLOR: CHARCOAL BLACK	ROOF



WEST ELEVATION  
(S BUSINESS DR)



EAST ELEVATION



SOUTH ELEVATION





