

*****ATTACHMENTS*****

PARCEL NO.: PART OF 59281431754
MAP NO.: _____
ZONING CLASSIFICATION: SC

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW APPLICATION
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: CAVE ENTERPRISES, LLC
ADDRESS: 1624 WEST 18TH STREET, CHICAGO, IL 60608
E-MAIL ADDRESS: JOHN @ CAVEENTERPRISES.COM
PHONE: (312) 829-4000 FAX NO.: (-)

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/~~EXISTING~~ BUSINESS: BURGER KING
ADDRESS OF PROPERTY AFFECTED: PART OF LOT 4 WASHINGTON SQUARE SUBDIVISION
NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: PROPOSED BURGER KING RESTAURANT IS A ONE STORY BUILDING CONTAINING 3,329 S.F. ON A 31,367 SQUARE FOOT LOT (0.72 ACRES). THE SEATING SHALL NOT EXCEED 69 CUSTOMER SEATS. THE PROPOSED BUILDING ARCHITECTURAL STYLE WILL BE COMPATIBLE WITH THE DEVELOPMENT IN AND AROUND THE WASHINGTON SQUARE DEVELOPMENT.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: N/A

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: _____
SEE ATTACHED INFORMATION PAGE

Please be advised that Cave Enterprises, LLC is applying for an **ARCHITECTURAL REVIEW APPLICATION** to construct and operate a Burger King Restaurant on part of Lot 4, Washington Square Subdivision. Presently the above said property is a vacant parcel. The proposed use is to construct a new one story 3,329 square foot Burger King Restaurant on a 31,367 square foot lot (0.72) acres). The lot is presently being subdivided and a Certified Survey Map will be included in the Conditional Use Permit Process. The Property is zoned Suburban Commercial (SC). This site was selected due to it's prominent location within the Washington Square Shopping Center. The proposed use is the operation of a Burger King Fast-Food restaurant facility featuring the preparation and sale of hamburgers, French fries, onion rings, soft drinks, coffee, milk shakes, and other food items typically sold in Burger King Restaurants. Additional information is as follows.

An explanation of the existing use(s). **Vacant Lot.**

An explanation of the proposed use and all business activities to take place onsite. **Quick Service Restaurant.**

Why was this site selected? **Location. Prominent out lot at Washington Square Shopping Center.**

Is this a 1 tenant or multi-tenant facility? Who are the tenants? Description of proposed uses.

Single tenant facility - Burger King.

Description of proposed building and all new site improvements (sf of proposed building, storm drainage, landscaping, lighting, parking, access, signage, dumpster enclosure, etc.). **Information contained in the narrative and information below.**

An explanation of the proposed architectural style and materials and how it is compatible with the development in and around the Washington Square Development. A written description of the proposed general design, arrangement, texture, material and color of the buildings/structures.

Proposed Building finishes are fiber cement brick panels below the window elevation with thin brick applied above to an elevation of 42" below the top of the parapet wall. The 42" from top of brick to top of the parapet wall are painted fiber cement board panels. The tower elements will feature a fiber cement board panel prefinished to a wood cedar look. At the entry areas there will be an exterior grade ceramic red color tile. The architectural design is keeping with the Washington Square Development.

How many employees will you have? **40 total.**

How will site be accessed and where are the proposed access points? **One 30' wide access drive entrance on shopping center interior frontage road.**

Is there a drive thru? Show and describe drive thru improvements, signage, etc. **Drive thru is proposed. Drive thru lane is designed with a bi-pass lane and ample car stacking to promote steady traffic flow at peak times.**

How will site be serviced with streets and utilities? **Existing streets and site utilities are in place.**

Explain site lighting. **Parking and exterior building lighting to be LED fixtures. A photometric plan showing the lighting levels is being submitted as part of this application.**

Explain all site improvements – parking, sidewalk, retaining walls, lighting, landscaping, screening, storm drainage, signage, etc.

How will you insure that the proposal will not become a nuisance to adjoining property owners (i.e. outdoor storage of materials, vehicles, equipment, lighting, noise, architectural style, etc.)? **Parking shall meet the parking to seating ratio calculation. Pedestrian walks installed for building accessibility (ADA Compliant). Site lighting - see Photometric Plan.**

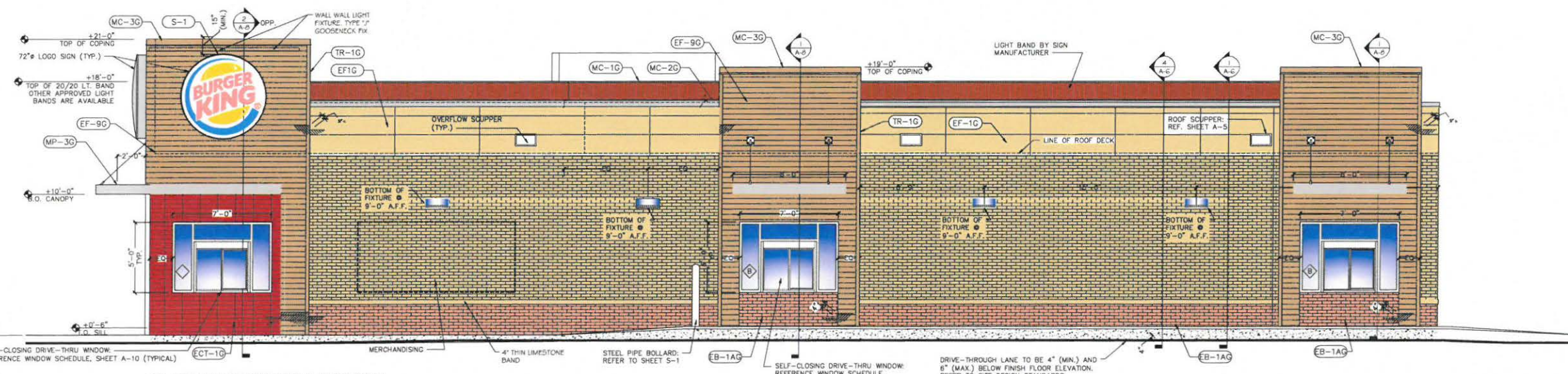
Landscaping - see Landscape Plan. Building and Site Signage - Application pending under separate submittal. Location of the property will not create a nuisance to adjoining property owners. Property is surrounded by similar uses.

Are you proposing any fencing and landscaping? **Landscaping is very important. See attached Landscape Plan.**

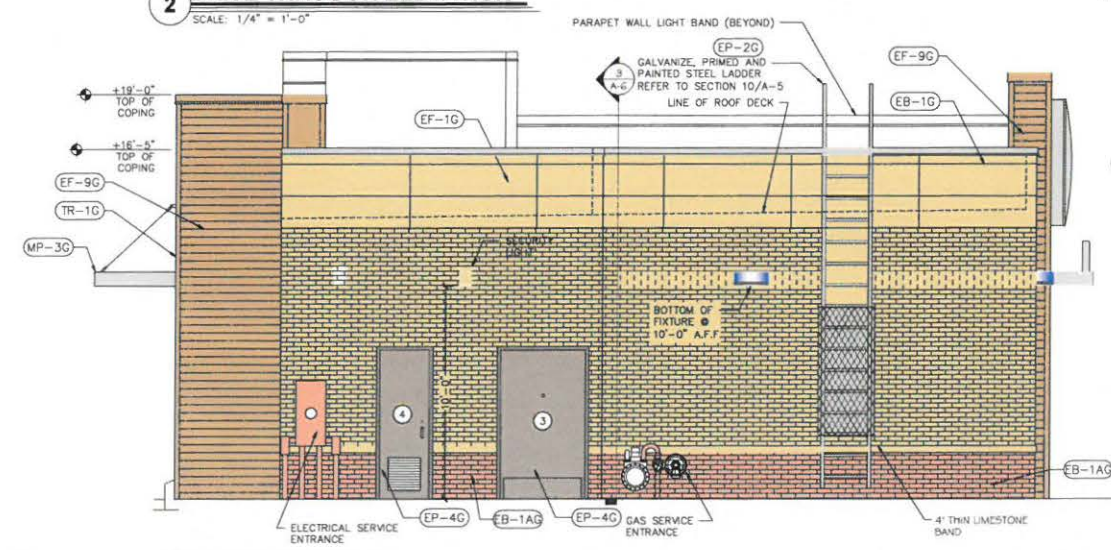
Number of parking spaces you have and the number of parking spaces required. **23 parking spaces shown and required.**



1 MAIN ENTRANCE ELEVATION
SCALE: 1/4" = 1'-0"



2 DRIVE THROUGH ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ALL FINISHED MATERIALS TO BE PER GARDEN GRILL EXTERIOR FINISH SCHEDULE.

ROC-60 CUSTOM

DATE	
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BK FRANCHISE:
CAVE ENTERPRISES
1624 WEST 18TH STREET
CHICAGO, IL 60608
PHONE: 312.829.4000 Ext. 230 office

PROSDI DESIGN, INC.
ARCHITECTURE • PLANNING • INTERIOR DESIGN
7400 WAUKESHA ROAD, SUITE A-213
CHICAGO, IL 60649
PHONE: 847-778-1180
FAX: 847-510-0500
E-MAIL: info@prosdidesign.com



PROJECT #
ROC-60 20/20 MAKE: APRIL 2013 DESIGN RELEASE
WASHINGTON SQUARE
SOUTH BUSINESS DRIVE
SHEBOYGAN, WI

GARDEN GRILL EXTERIOR EXTERIOR MATERIALS & FINISH SCHEDULE							
12/02/15							
CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION		ADDITIONAL INFORMATION	
				PRODUCT	COLOR		
					DIMENSION		
EB-1G	EXTERIOR BRICK	GENERAL	ACME BRICK PINE HALL BRICK	FACE BRICK	RUSTIC WHITE OLD IRVINGTON O/S	CONTACT: THERESA BEANE (800) 334-8689 TBEANE@PINEHALLBRICK.COM NOTE: USE WITH EGR-3G	
EB-1AG	EXTERIOR FINISH FIBER CEMENT BRICK PANELS	GENERAL	NICHIHA FIBER CEMENT	NICHIHA CANYON BRICK PANELS	UNFINISHED- MUST BE PAINTED TO MATCH EP-4G	CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 / 678-654-7002 / 770-789-8228 INSTALL PER MANUFACTURER'S SPECIFICATIONS	
ECT-1G	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	GRANITE FIANDRE/ EUROWEST	SENSIBLE STONE ED5052 (USE EGR-4G)	RED NATURAL STACKED BOND PATTERN	12" X 24" CONTACT: JAN DETER AT EUROWEST (714) 309-9551 JOY KLEIN (813) 334-3302 jklein@transceramica.com CONTACT: TIM SALERNO AT STO CORP 407-466-5371	
EF-1G	EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL NICHIHA FIBER CEMENT	STO POWERWALL STUCCO SYSTEM NICHIHA ARCHITECTURAL BLOCK LARGE	COLOR TO MATCH EP-2G "TAUPE TONE" COLOR TO MATCH EP-2G "TAUPE TONE"	CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 / 678-654-7002 / 770-789-8228 INSTALL PER MANUFACTURER'S SPECIFICATIONS	
EF-4G	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-4G "MONTERREY CLIFFS"	CONTACT: TIM SALERNO AT STO CORP 407-466-5371	
EF-5G	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-7G "FLAMING RED"		
EF-9G	EXTERIOR FINISH FIBER CEMENT	EXTERIOR SIGN ARCHONS	NICHIHA FIBER CEMENT	VINTAGE WOOD EF762	CEDAR	18" X 10" CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 / 678-654-7002 / 770-789-8228 INSTALL PER MANUFACTURER'S SPECIFICATIONS	
TR-1G	ALUMINUM TRIMS	EXTERIOR SIGN ARCHONS	NICHIHA FIBER CEMENT	VINTAGE WOOD EF762	CEDAR	CONTACT: ANDREW BRIGGS OR MATT STEPHENSON 866-424-4421 / 770-805-9466 / 678-654-7002 / 770-789-8228 INSTALL PER MANUFACTURER'S SPECIFICATIONS	
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL ABOVE WAINSCOT	PPG	PRIMER: 17-921 PAINT: 6-2045XI	TAUPE TONE Custom Formula	Contact: RICK GARLIN, PPG CORPORATE NATIONAL ACCOUNTS MANAGER phone: (317) 318-5800 email: garlin@ppg.com	
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: 17-921 PAINT: 6-2045XI	MONTERREY CLIFFS 10YY 14/080		
EP-6G	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)		PRIMER: 6-212 PAINT: 6-230	BURGER KING SILVER Custom Formula	NOTE: NOT FOR USE ON ROOFS FOR REMODELING. SEE EP-6AG & EP-6BG	
EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE		PRIMER: 17-921 PAINT: 90-1110	GRIMMY'S GREY 00NN 20/000	NOTE: FOR REMODELS ONLY	
EP-6BG	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF		PRIMER: 90-712 PAINT: 90-1110	MARCH WIND Custom Formula	NOTE: FOR REMODELS ONLY	
EP-7G	EXTERIOR PAINT	EXTERIOR ACCENT		PRIMER: 90-712 PAINT: 90-1110	FLAMING RED Custom Formula		
EP-8G	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS		PRIMER: 17-921 PAINT: 6-2045XI	CEDAR Custom Formula		
EXT-G	EXTERIOR PAINT	POLES & SIGNS		PRIMER: 90-712 PAINT: 90-353	BLACK		
EGR-3G	GROUT	WAINSCOT BRICK		MAPEI	#5 CHAMOIS (USE WITH EB-1G)	#5 CHAMOIS	
EGR-4G	GROUT	CERAMIC TILE		CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#335 WINTER GRAY	NOTE: USE WITH ECT-1 ON EXTERIOR FINISH SCHEDULE
MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 SILVERSMITH	CONTACT: W.P. HICKMAN COMPANY (828)676-1700 WWW.WPH.COM	
MC-2G	METAL COPING	BELOW LIGHT BAND			FACTORY FINISH TO MATCH EP-2G (TAUPE TONE)		
MC-3G	METAL COPING	ABOVE EXTERIOR SIGN ARCHONS			COPING TO BE PAINTED EP-8G (CEDAR)		
MP-3G	METAL CANOPY	ABOVE DOORS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS	
MP-4G	METAL AWNING / SSM ROOFING	ABOVE WINDOWS / MANSARD ROOFING	FIRESTONE	STANDING SEAM METAL ROOF UC-4 PROFILE	SILVER METALLIC SR	*SEE PLANS CONTACT: FERNANDO ELY 317-816-3816	
			METAL PRODUCTS BERRIDGE ROOFING	STANDING SEAM METAL ROOF CEE-LOCK	PREMIUM METALLIC - ZINC COTE	*SEE PLANS CONTACT: TYLER HALL (210) 650-7047	
			METAL PRODUCTS				

PROJECT #:
 ROC-60 20/20 WAZE: APRIL 2013 DESIGN RELEASE

WASHINGTON SQUARE
 SOUTH BUSINESS DRIVE
 SHEEDYGAN, WI

FRANCHISE:
 CAVE ENTERPRISES
 1024 WEST 18TH STREET
 CHICAGO, IL 60608
 PHONE: 312-829-4000 Ext. 230 office

DRAWN BY:
 NO. DATE:

CHECKED BY:
 REVISION:

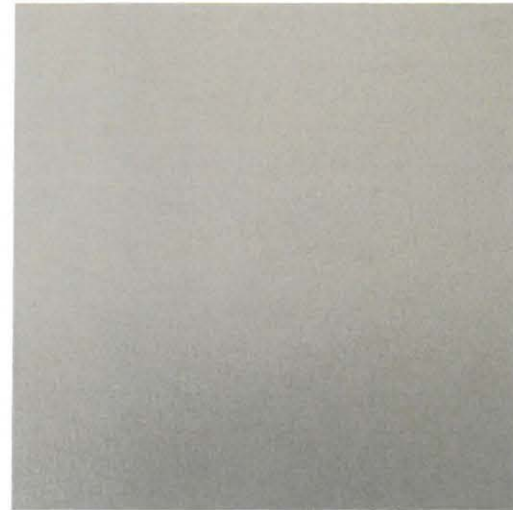
DATE:

7400 WAUREGAN ROAD, SUITE A-213
 NILES, IL 60714
 PHONE: 847-778-3180
 FAX: 847-510-0500
 E-MAIL: info@prosidesign.com

PROFESSIONAL DESIGN FIRM
 LICENSE NO. 047-0000
 EXP. 04/28/2017



ACME BRICK
THIN BRICK - RUSTIC WHITE (EB-1G)



CANOPY / COPING MATERIAL (MP-3G)



FIBER CEMENT BRICK PANEL (EB-1AG)



FIBER CEMENT PANEL - TAUPE (EF-1G)



FIBER CEMENT PANEL - VINTAGE WOOD CEDAR (EF-9G)



EXTERIOR CERAMIC TILE - SCARLET (ECT-1G)

PROJECT #	ROC-80 20/20 IMAGE	APRIL 2013 DESIGN RELEASE
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DATE		
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BK FRANCHISEE:
CAVE ENTERPRISES
1824 WEST 18TH STREET
CHICAGO, IL 60608
PHONE: 312.829.4000 Ext. 230 office

PROSI DESIGN, INC.
ARCHITECTURE • PLANNING • INTERIOR DESIGN
7400 WAUKEGAN ROAD, SUITE A-213
MORTON, IL 60451
PHONE: 847-779-3180
FAX: 847-510-0500
E-MAIL: info@prosi-design.com

PROFESSIONAL DESIGN FIRM
LICENSE # 184-002749
EXP. 04/30/2017

SITE INFORMATION:

PROPERTY AREA: AREA = 31,367 S.F. (0.72 ACRES);
 EXISTING ZONING: SUBURBAN COMMERCIAL (SC)
 PROPOSED ZONING: SUBURBAN COMMERCIAL (SC)
 PROPOSED USE: FAST FOOD RESTAURANT
 AREA OF SITE DISTURBANCE: 30,409 SF (0.70 AC)

SETBACKS: BUILDING: FRONT = 25'
 SIDE = 10'
 REAR = 10'
 PAVEMENT: FRONT = 10'
 SIDE = 5'
 REAR = 5'

PROPOSED BUILDING HEIGHT- 21' (MAX. HEIGHT 50' ALLOWED)

PARKING REQUIRED: 1 SPACE PER 3 PATRONS. (21 SPACES REQ.)
 PARKING PROVIDED: 23 SPACES (2 H.C. ACCESSIBLE)

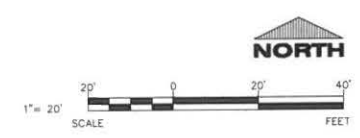
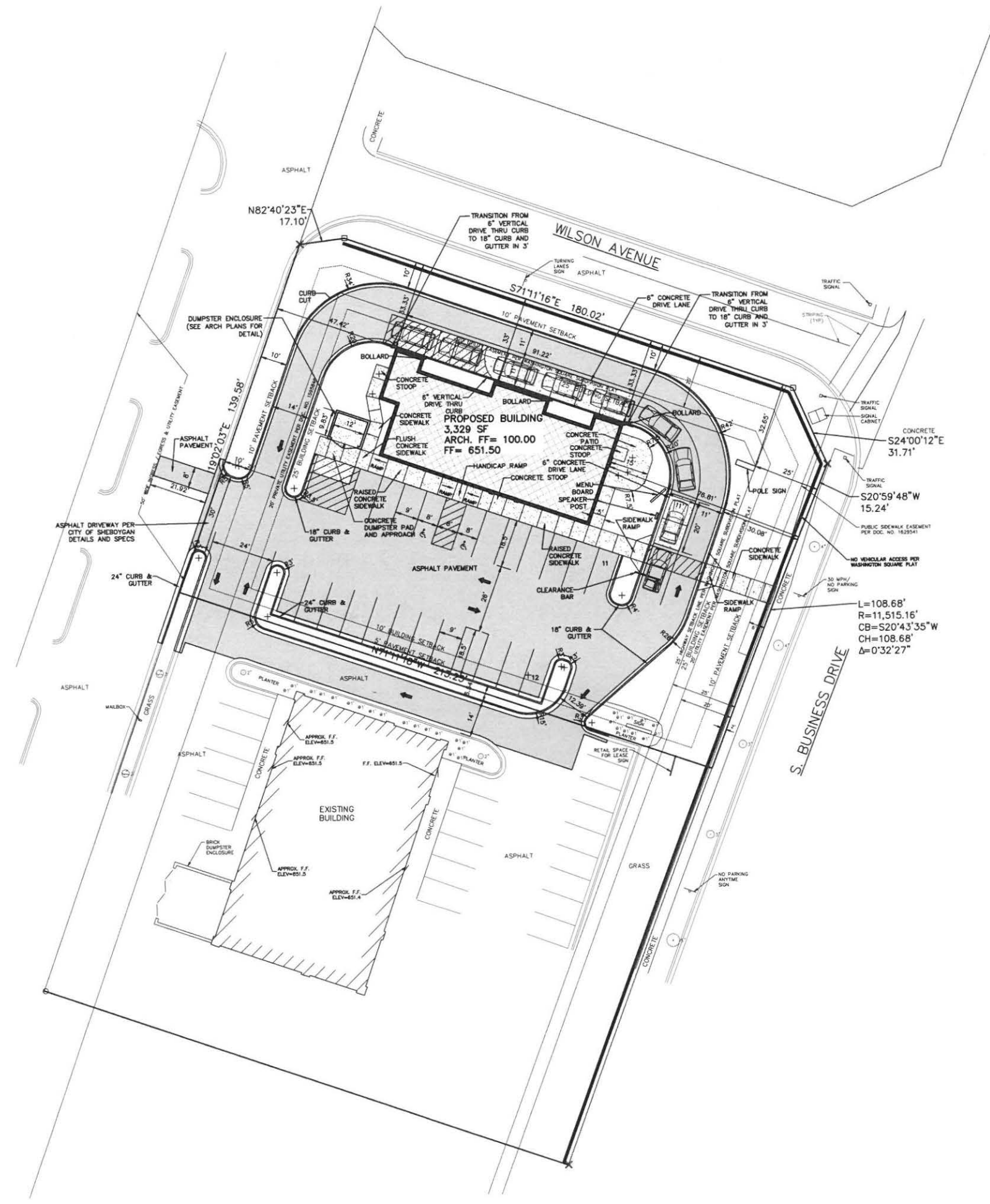
HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2
 BUILDING OCCUPANCY CLASSIFICATION = A-2

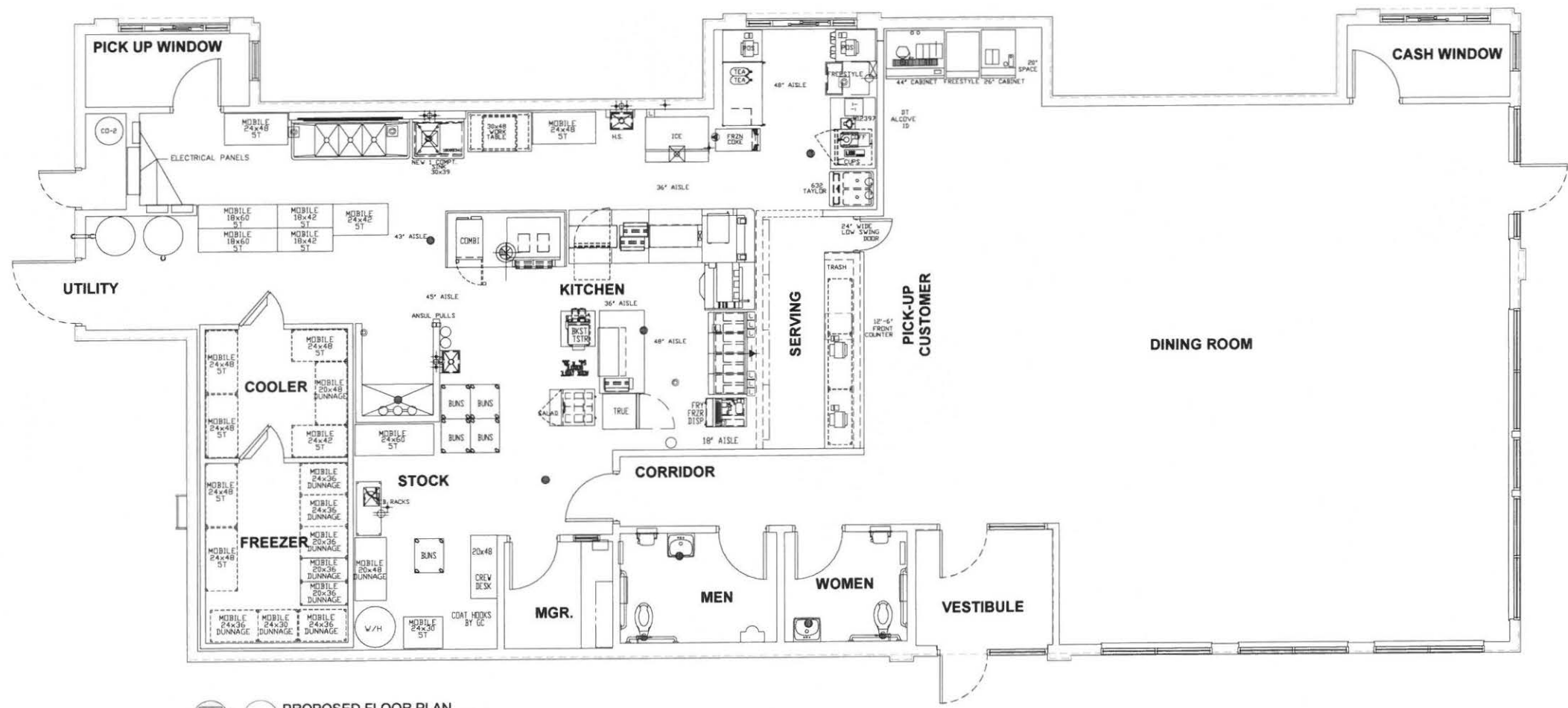
CLASS OF BUILDING CONSTRUCTION = 5B

LANDSCAPE REQUIREMENTS:
 MAXIMUM LOT COVERAGE - BUILDING ONLY: 50%
 MIN. LANDSCAPE SURFACE RATIO: 25%

EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.72	31,367	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.03	1,486	4.7%
TOTAL IMPERVIOUS	0.03	1,486	4.7%
LANDSCAPE/ OPEN SPACE	0.69	29,881	95.3%

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.72	31,367	
BUILDING FLOOR AREA	0.08	3,329	10.6%
PAVEMENT (ASP. & CONC.)	0.40	17,583	56.1%
TOTAL IMPERVIOUS	0.48	20,912	66.7%
LANDSCAPE/ OPEN SPACE	0.24	10,455	33.3%





A PROPOSED FLOOR PLAN
1/4" = 1'-0"

NO.	DATE	REVISION	CHECKED BY:	DATE:



BK FRANCHISE:
 CAVE ENTERPRISES
 1624 WEST 18TH STREET
 CHICAGO, IL 60608
 PHONE: 312.829.4000 Ext. 230 office

PROSDI DESIGN, INC.
 ARCHITECTURE • PLANNING • INTERIOR DESIGN
 7400 WAUKELGAN ROAD, SUITE A-213
 WASHINGTON SQUARE
 SOUTH BUSINESS DRIVE
 SPEEDYCAN, WI
 PHONE: 847-276-1180
 FAX: 847-510-0500
 E-MAIL: info@prodesign.com



PROJECT #:
 ROC-60-20/20 IMAGE: APRIL 2013 DESIGN RELEASE
 WASHINGTON SQUARE
 SOUTH BUSINESS DRIVE
 SPEEDYCAN, WI

Cave Enterprises, LLC



1624 W. 18th Street, Chicago, IL 60608
Office Telephone: 312.829.4000

Re: New Burger King Restaurant, Washington Square Sheboygan, WI.

Change to North Elevation - Drive thru side 3rd window revision

The original submittal that was presented included a 3rd Drive-thru pick up window located in the back (kitchen) area of the restaurant. The window feature included a projecting tower element incorporated into the window design that brought the window to the back of drive-thru curb in order to properly deliver food to the guests in their vehicles.

The addition of a third window is not a prototypical design element commonly used within the Burger King Brand. Most all Burger Kings operating in the U.S. use only one or two drive thru windows, a pay window and a pick up window. The 3rd window was a supplemental window that was intended for occasional use if a customer had a unique order that required additional prep time.

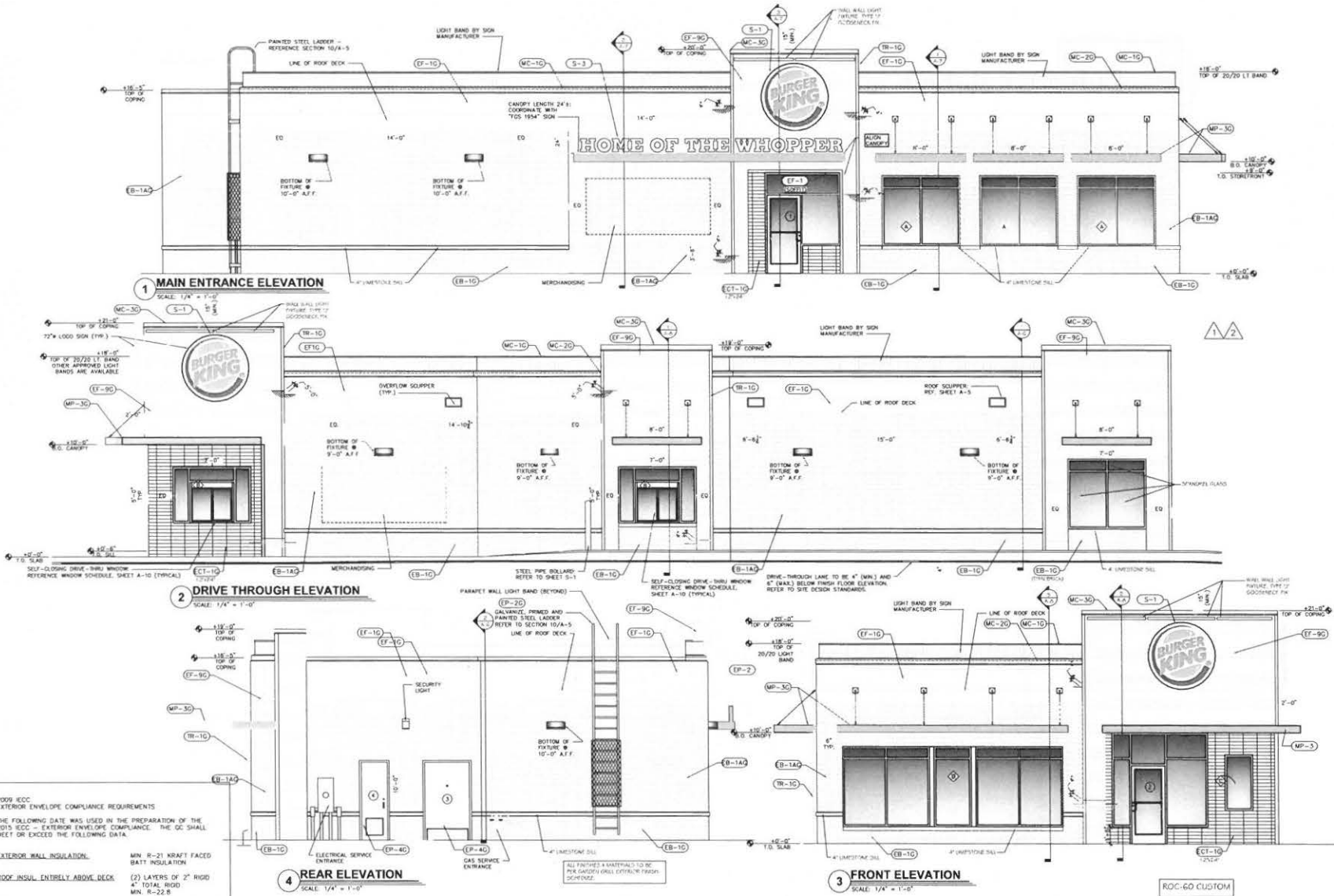
When the Burger King Franchisee, Cave Enterprises (CE), presented the option to the Franchisor, Burger King Corp. for operational approval the 3rd window option was operationally unapproved. The Brand has created a specific platform around enhanced drive thru execution and performance that is measured and timed specifically from point of sale at menu board order station to the pay window and the final pick up window. The platform is tied into the POS and the drive thru timer system. Incorporating a 3rd pick up window created an anomaly in the platform that the Brand could not integrate into their system.

The revised elevation eliminates the 3rd window as a functioning pick-up window while maintaining the original design intent of the additional tower element for architectural and aesthetic interest.

JK 7.29.16

Proposed - 3rd window/Tower

Proposed 3rd window/Tower



2009 IECC EXTERIOR ENVELOPE COMPLIANCE REQUIREMENTS
 THE FOLLOWING DATA WAS USED IN THE PREPARATION OF THE 2015 IECC - EXTERIOR ENVELOPE COMPLIANCE. THE GC SHALL MEET OR EXCEED THE FOLLOWING DATA.

EXTERIOR WALL INSULATION: MIN R-21 KRAFT FACED BATT INSULATION

ROOF INSUL. ENTIRELY ABOVE DECK: (2) LAYERS OF 2" RIGID 4" TOTAL RIGID MIN. R-22.8

ROOF INSULATION IN TOWER CAVITY: R-49 KRAFT FACED BATT INSULATION

ALUM. STOREFRONT WINDOW SYSTEM: ALUM. FRAME THERMALLY BROKEN NFRC CERTIFIED CPG-10: 0-16-16-16-086 MIN. U-FACTOR 0.366 MIN. SHGC 0.33

ALUM. STOREFRONT DOOR: ALUM. FRAME MIN. U-FACTOR 0.482

METAL SERVICE DOORS: INSULATED METAL DOOR MIN. U-FACTOR 0.65

DATE: _____
 CHECKED BY: _____
 DRAWN BY: _____
 PROJECT # _____
 PROJECT NAME: _____
 PROJECT ADDRESS: _____
 PROJECT CITY: _____
 PROJECT STATE: _____
 PROJECT ZIP: _____
 PROJECT PHONE: _____
 PROJECT FAX: _____
 PROJECT EMAIL: _____

PROSDI DESIGN, INC.
 7400 WASHINGTON ROAD, SUITE 100, CHICAGO, IL 60638
 PHONE: 312.677.4000 FAX: 312.677.4000
 WWW.PROSDI.COM

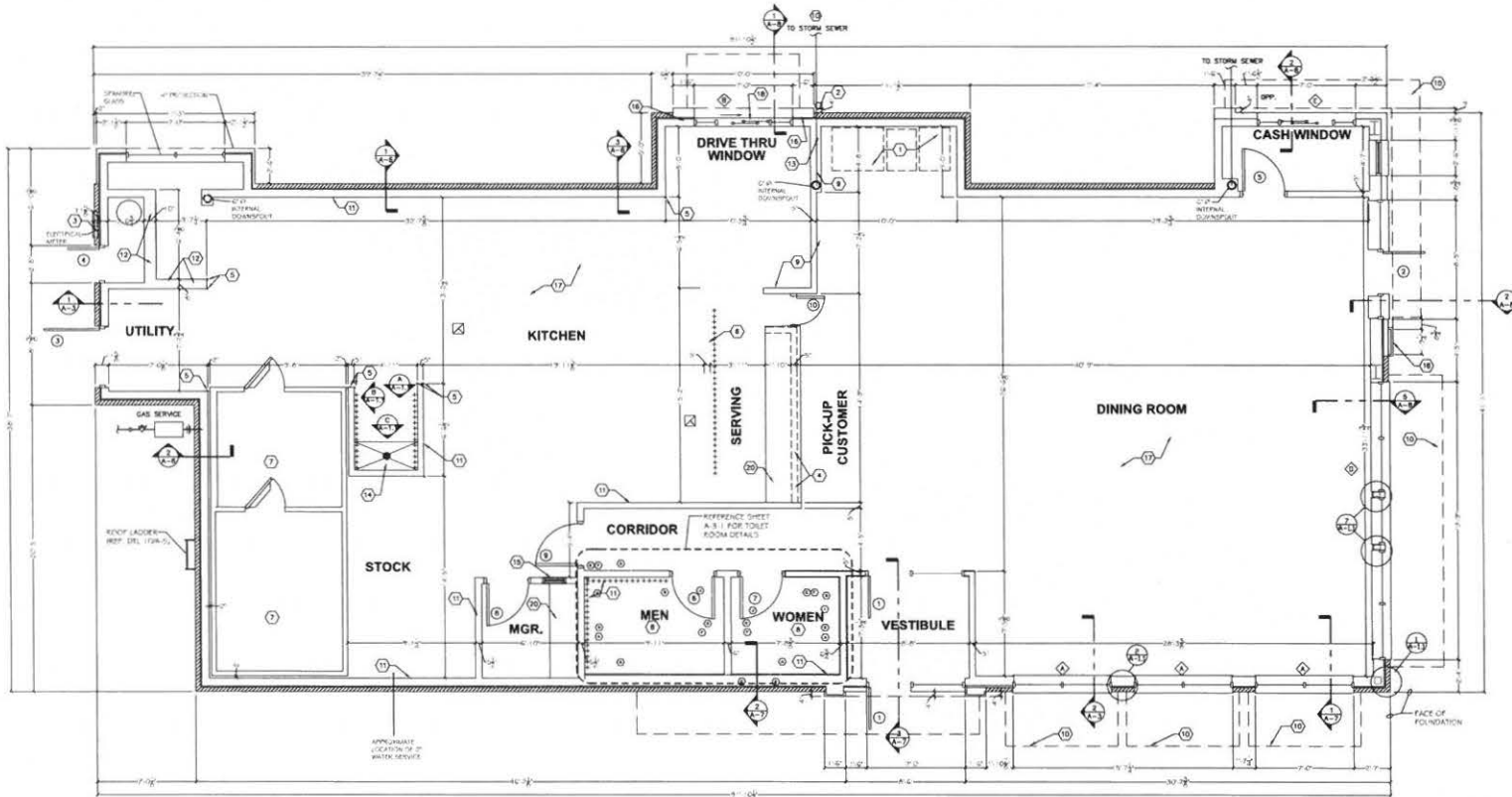
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EXTERIOR ELEVATIONS (ENHANCED)

A-2

Proposed 3rd Window/Tower



FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH.
- B. OVERALL DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE FACE OF FOUNDATION WALLS BELOW.
- C. ALL INLEAD WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- D. FIRE EXTINGUISHER, SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- E. ELEVATION OF DRIVE-THROUGH LANE 2" (MINIMUM) BELOW FINISH FLOOR. ELEVATION DRIVE-THROUGH LANE AT SAME ELEVATION AS FINISH FLOOR IS PREFERRED. REFERENCE DETAIL #6, SHEET A-11.
- F. DISCLOSE NOTES: WHEN UTILIZING A DIFFERENT EXTERIOR WALL CONSTRUCTION, HOLD INTERIOR DIMENSIONS.
- G. FOR DOOR AND WINDOW TYPES, REFER TO SHEET A-10.

KEYED NOTES:

1. SELF-SERVE DRINKS AND CONCOMIT STAND: REFER TO SHEET EG-1.
2. STEEL ISLAND - REFER TO SHEET S-1.
3. ELECTRIC SERVICE: REFER TO ELECTRICAL DRAWINGS.
4. SERVICE COUNTER PARTITION BY C.C. REFER TO DETAILS ON SHEET E-4 FOR ADDITIONAL INFORMATION. COORDINATE COUNTER TOP FINISHES INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MAXIMUM COUNTER HEIGHT = 30" A.F.F.
5. CORNER GUARDS - REFER TO DETAIL #8, SHEET A-11.
6. MENU BOARD BULKHEAD ABOVE: REFER TO DETAIL 1, SHEET A-4.
7. INTERIOR WALK-IN BOB WITH FLOOR ON CONCRETE SLAB. VERIFY SIZE WITH MANUFACTURER.
8. PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND URINAL SCREEN AND BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
9. ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK.
10. LINE OF AMPING/CANOPY ABOVE.
11. SUBSTRATE PANELS.
RESTROOM - GIBB - RESTROOMS
5/8" USC "DURROCK" PANELS AT FINISH FLOOR TO 24" A.F.F.
5/8" WATER RESISTANT GYPSUM BOARD FROM 24" A.F.F. TO 6" ABOVE FINISHED CEILING.
PROVIDE ALTERNATE BID OF 5/8" USC "FIBEROCK" PANELS IN LIEU OF DURROCK.
DINING ROOM - CORRIDOR
5/8" FIRE USC "SHIELDROCK" TYPE "X" GYPSUM WALL BOARD.
FINISH: CORONADO PAINT - LIGHT ORANGE PEEL APPLIED WITH CORONADO AIR ASSIST TR (Z-1220) ON EQUAL.
12. ELECTRICAL PANELS.
OPTION #1:
RECESS ELECTRICAL CONTACTOR PANEL AND PANELS "A", "T", AND "N" IN FURRED OUT WALL ADJACENT TO EXTERIOR FRAMING. C.C. TO VERIFY PANEL SIZES PRIOR TO FURR-OUT TO INSURE ADEQUATE SPACE.

- OPTION #2:
HILL FINDER INTEGRATED WALL UNIT INCLUDES PANELS "A", "T", "W" AND MASTER CONTACTOR PANEL IN ONE CABINET. LIMIT TO BE SURFACE MOUNTED ON A 4" HIGH CONCRETE CURB. REFERENCE SHEET E-5 FOR ADDITIONAL INFORMATION.
13. PROVIDE 10"x10" FINISHED OPENING THROUGH WALL CENTERED AT 13" A.F.F. FOR ROUTING OF UTILITIES.
14. CAN WASH - DURROCK SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING.
15. OFFICE WINDOW - REFERENCE SHEET A-10.
16. 4" DEEP FURR-OUT ELEMENT (FINISH MESH SHOWN) AT TOWER. REFER TO WALL SECTIONS. PROVIDE 12" DEEP CONCRETE CURB (4" A.F.F.) AND FRAMING AS REQUIRED FOR FRESH DIMENSION REQUIREMENTS.
17. THE FLOOR (REFERENCE SPECIFICATIONS ON ID SHEETS).
18. DRIVE-THROUGH SLIDING WINDOW.
19. ***** INDICATES 5/8" PLYWOOD BACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 48" A.F.F. TO 96" A.F.F. BEHIND 3-COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD WALL FROM 6'-8" A.F.F. TO BOTTOM OF ROOF TRUSSES.
20. COUNTER TOP - REFERENCE DETAIL #6, A-11.
21. USC 5/8" DURROCK (BOTH SIDES) ON 3-5/8" 18 GAUGE CEE STUD FRAMING AT 16" O.C. BEHIND HOOD. WALL TO EXTEND 16" BEYOND EACH END OF HOOD.
22. STAINLESS STEEL PANELS BELOW AND 1" WIDE AT EACH SIDE OF HOOD SUPPLIED BY HOOD MANUFACTURER AND INSTALLED BY C.C.
23. 4" CONCRETE WALK BETWEEN DRIVE-THROUGH BUMP-OUTS.

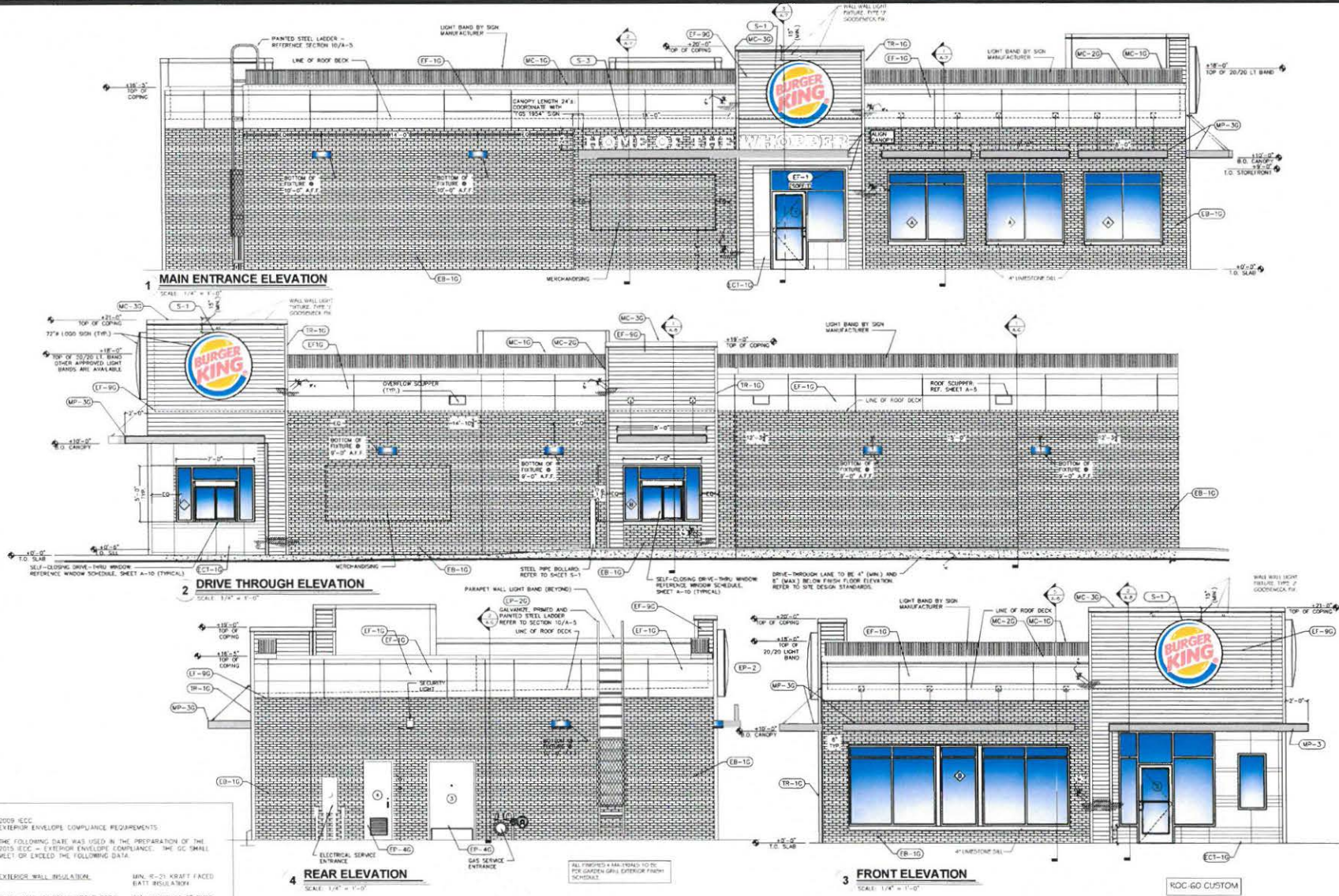
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 CHECKED BY: [REDACTED]
 PROJECT # [REDACTED]
 PROJECT LOCATION: [REDACTED]
 PROJECT DESCRIPTION: [REDACTED]
 PROJECT ADDRESS: [REDACTED]
 PROJECT PHONE: [REDACTED]
 PROJECT FAX: [REDACTED]
 PROJECT E-MAIL: [REDACTED]

PROSI DESIGN, INC.
 ARCHITECTURE • INTERIOR DESIGN • RESTAURANT DESIGN
 7400 WASHINGTON ROAD, SUITE 100
 CHICAGO, IL 60638
 PHONE: 312.821.4000 FAX: 312.821.4001
 E-MAIL: info@prosidegn.com

PROJECT # [REDACTED]
 PROJECT NAME: [REDACTED]
 PROJECT DATE: [REDACTED]
 PROJECT LOCATION: [REDACTED]
 PROJECT DESCRIPTION: [REDACTED]

FLOOR PLAN
 A - 1

Proposed Brick



2009 IECC
EXTERIOR ENVELOPE COMPLIANCE REQUIREMENTS

THE FOLLOWING DATA WAS USED IN THE PREPARATION OF THE 2015 IECC - EXTERIOR ENVELOPE COMPLIANCE. THE GC SHALL MEET OR EXCEED THE FOLLOWING DATA:

EXTERIOR WALL INSULATION: MIN. R-21 KRAFT FACED BATT INSULATION

ROOF INSUL. INCL. PARAPET DECK: (2) LAYERS OF 2" RIGID 4" TOTAL RIGID MIN. R-27.8

ROOF INSULATION IN TOWER CANAL: R-19 KRAFT FACED BATT INSULATION

ALUM. STOREFRONT WINDOW SYSTEM: ALUM. FRAME THERMALLY BROKEN RFGC CERTIFIED COND.-CO. P-16A-1100B MIN. U-FACTOR 0.566 MIN. SHGC 0.35

ALUM. STOREFRONT DOOR: ALUM. FRAME MIN. U-FACTOR 0.482

METAL SERVICE DOORS: INSULATED METAL DOOR MIN. U-FACTOR 0.65

ALL FINISHES + MATERIALS TO BE PER LOCAL AREA EXTERIOR FINISH SCHEDULE.

PROJECT # 2024-01-01
DATE 1/15/24
DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
SCALE: AS SHOWN

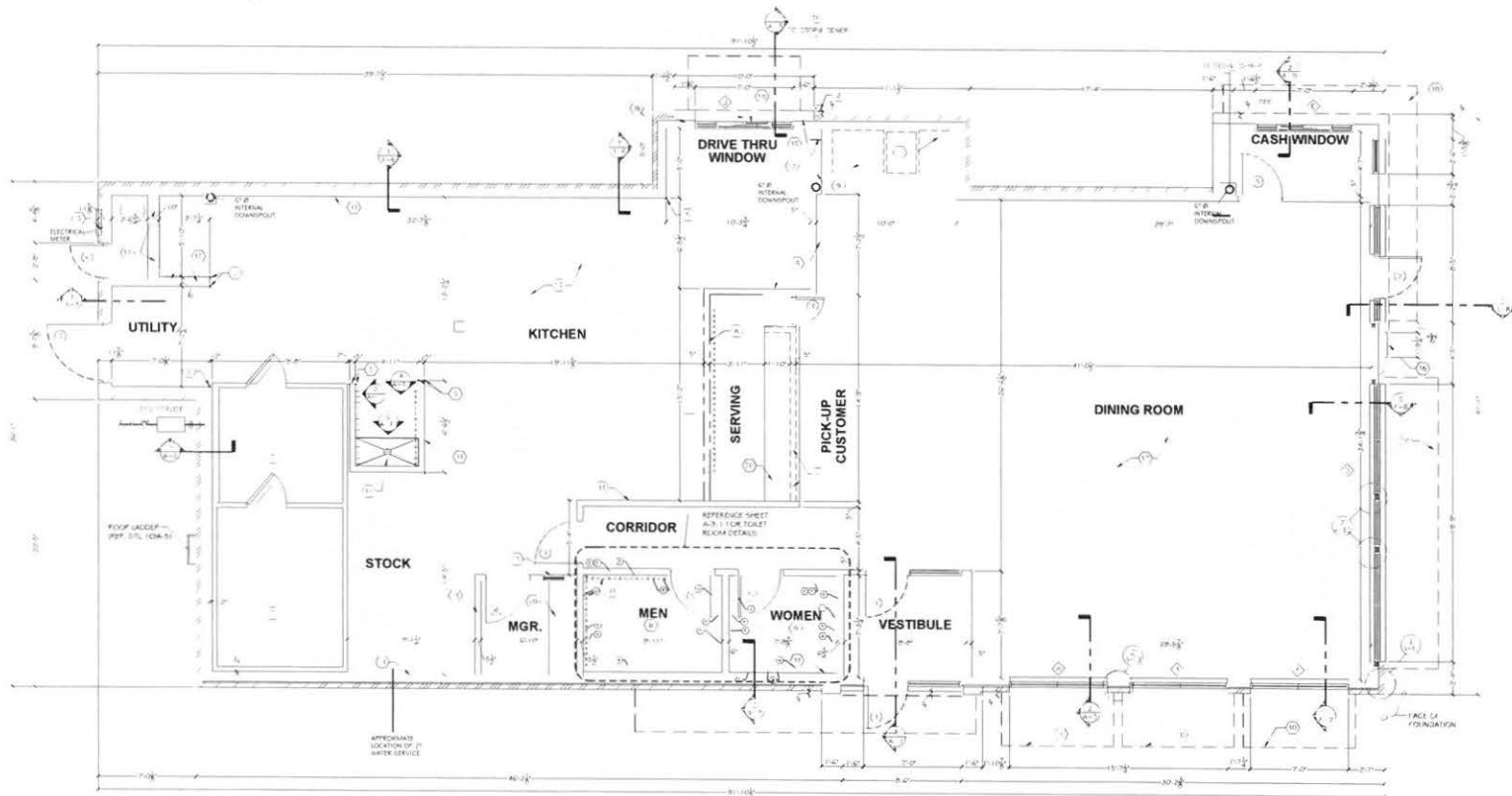
BY: PROSDI DESIGN, INC.
1000 W. MICHIGAN ROAD, SUITE 100
CHICAGO, IL 60608
PHONE: 312.829.4300 FAX: 312.829.4301
EMAIL: info@prosdid.com

PROSDI DESIGN, INC.
ARCHITECTURE INTERIORS - INTERIORS - INTERIORS
1000 W. MICHIGAN ROAD, SUITE 100
CHICAGO, IL 60608
PHONE: 312.829.4300 FAX: 312.829.4301
EMAIL: info@prosdid.com

EXTERIOR ELEVATIONS (ENHANCED)

A-2

Proposed Brick



FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH.
- B. CORRELATE DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE FACE OF FOUNDATION WALL BELOW.
- C. ALL ANGLED WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- D. FIRE EXTINGUISHER: SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- E. ELEVATION OF DRIVE-THROUGH LANE 2" (MINIMUM) BELOW FINISH FLOOR. ELEVATION DRIVE-THROUGH LANE AT SAME ELEVATION AS FINISH FLOOR IS PREFERRED. REFERENCE DETAIL #3, SHEET A-1.1.
- F. DECORATIVE NOTE: WHEN UTILIZING A DIFFERENT EXTERIOR WALL CONSTRUCTION, MEET INTERIOR DIMENSIONS.
- G. FOR DOOR AND WINDOW TYPES, REFER TO SHEET A-10.

KEYED NOTES:

1. SELF-SERVE DRINKS AND CONCRETE STAND. REFER TO SHEET EQ-1.
2. STEEL BOLTING - REFER TO DETAIL 3-1.
3. ELECTRICAL SERVICE - REFER TO ELECTRICAL DRAWINGS.
4. SERVICE COUNTER PARTITION BY C.C. REFER TO DETAILS ON SHEET C-4 FOR ADDITIONAL INFORMATION. COORDINATE COUNTER TOP FINISHES INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MARBLE COUNTER HEIGHT = 32" A.F.F.
5. CORNER GUARDS - REFER TO DETAIL #4, SHEET A-1.1.
6. MESH BOARD BULKHEAD ABOVE - REFER TO DETAIL 1, SHEET A-4.
7. INTERIOR WALL-IN BOX WITH FLOOR ON CONCRETE SLAB. 1/2" x 1/2" SIZE WITH MANUFACTURER'S.
8. PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND URINAL SCREEN AND BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
9. ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK.
10. LINE OF MARKING/CANOPY ABOVE.
11. SUBSTRATE PANELS:
OVERHEAD - CEM - RESTROOMS
5/8" USE "SHEBROCK" PANELS AT FINISH FLOOR TO 2'4" A.F.F.
5/8" WATER RESISTANT GYPSUM BOARD FROM 2'4" A.F.F. TO 6" ABOVE FINISHED CEILING.
PROVIDE ALTERNATE BKG OF 3/8" USE "SHEBROCK" PANELS IN LIEU OF GYPSUM.
DINING ROOM - CORRIDOR
5/8" TYPE USE "SHEBROCK" TYPE "X" GYPSUM WALL BOARD.
FINISH - CORRIDOR PANELS - LIGHT ORANGE PIEL APPLIED WITH COORDINATED AIR ASSIST SP (7-1226) OR EQUAL.
12. ELECTRICAL PANELS:
OPTION #1:
- RECESS ELECTRICAL CONDUCTOR PANEL AND PANELS 1/4" TO AND 1/4" IN TURNED OUT WALL ADJACENT TO EXTERIOR FRAMING. C.C. TO VERIFY PANEL SIZES PRIOR TO TURN-OUT TO INSURE ADEQUATE SPACE.

- OPTION #2:
- ALL FINISHES INTERIORATED WALL UNIT INCLUDES PANELS 1/4" TO AND MASTER CONDUCTOR PANEL IN ONE CABINET. UNIT TO BE SURFACE MOUNTED ON A 4" HIGH CONCRETE CURB. REFERENCE SHEET C-5 FOR ADDITIONAL INFORMATION.
13. PROVIDE 10"x10" FINISHED OPENING THROUGH WALL CENTERED AT 13" A.F.F. FOR ROUTING OF UTILITIES.
14. CAN WASH - SUBROCK SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING.
15. OFFICE WINDOW - REFERENCE SHEET A-10.
16. 1" DEEP TURN-OUT ELEMENT FINISH WITH SHOWN AT BOWER. REFER TO WALL SECTIONS. PROVIDE 1/2" DEEP CONCRETE CURB (4" A.F.F.) AND FRAMING AS REQUIRED FOR FINISH DIMENSION REQUIREMENTS.
17. THE FLOOR REFERENCE SPECIFICATIONS ON E3 SHEETS.
18. DRINK-THROUGH SLING WINDOW.
19. ++++++ INDICATES 3/8" PLYWOOD BRACING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHEET SUPPORT FROM 48" A.F.F. TO 36" A.F.F. BEHIND 5-COMPARTMENT SINK AND FRED SINK AND ON BULKHEAD AT WEND BOARD WALL FROM 6'-8" A.F.F. TO BOTTOM OF ROOF TRUSSES.
20. COUNTER TOP - REFERENCE DETAIL #6, A-1.1.
21. USE 3/8" X 1/2" X 1/2" (DEPTH TOES) ON 3-SURF. IN GARGE SEE STUD FRAMING AT 16" O.C. BEHIND HOOD. WALL TO EXTEND 16" BEYOND EACH END OF HOOD.
22. STAINLESS STEEL PANELS BELOW AND 1/4" WEE AT EACH SIDE OF HOOD SUPPLIED BY HOOD MANUFACTURER AND INSTALLED BY C.C.
23. 4" CONCRETE WALL BETWEEN DRIVE-THROUGH BUMP-OUTS.

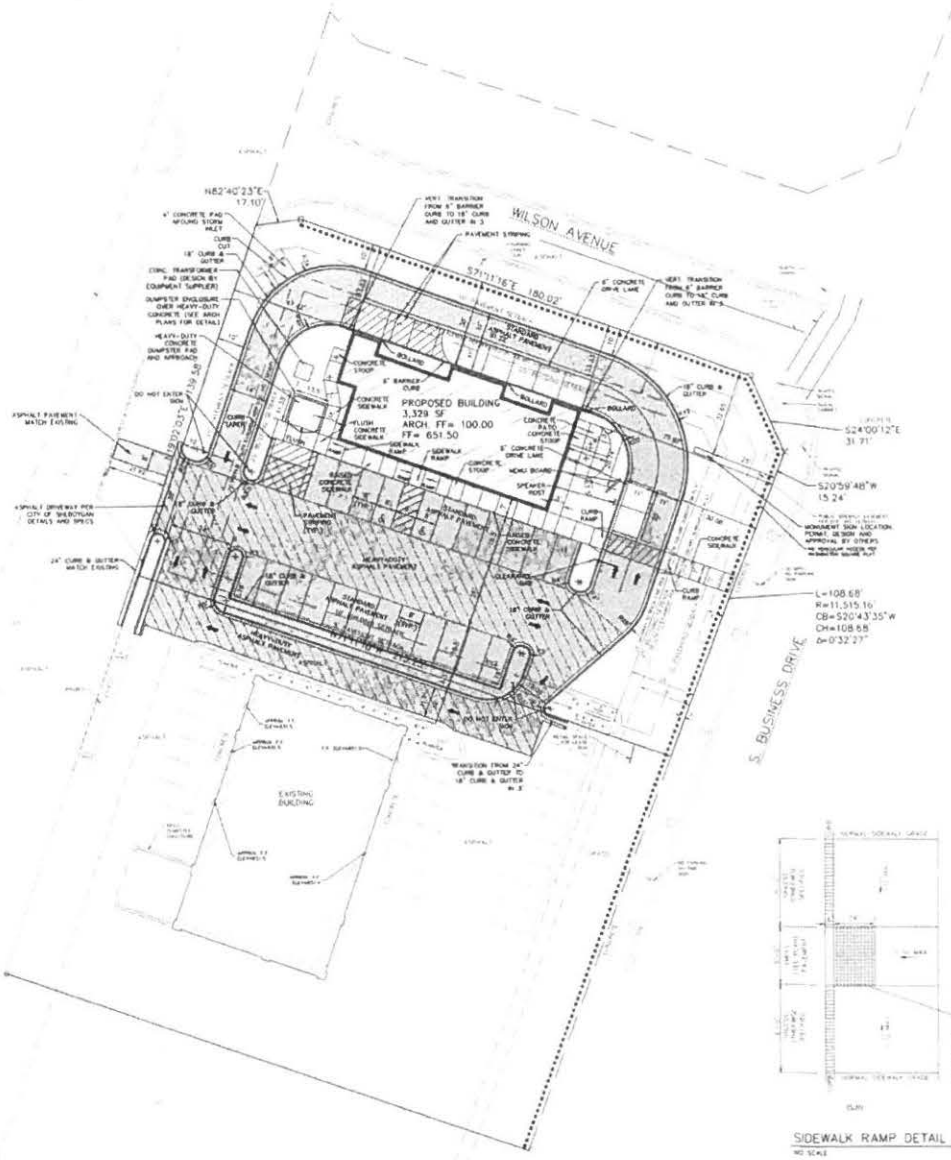
DRAWN BY: REVISION: DATE:
 CHECKED BY: REVISION: DATE:
 PROJECT # 2024-001
 PROJECT NAME: 1317 13TH STREET
 ADDRESS: 1317 13TH STREET
 CHICAGO, IL 60605
 PHONE: 312.876.8000 EXT. 100
 FAX: 312.876.8000
 WWW: PROSDEN.COM
 PROJECT MANAGER: JIM
 ARCHITECT: JIM
 PROJECT MANAGER: JIM

PROSDEN, INC.
 ARCHITECTS

IN WISCONSIN:
 1317 13TH STREET
 CHICAGO, IL 60605
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FLOOR PLAN
 A-1



SITE INFORMATION

LEGAL DESCRIPTION: Lot 4 of the Washington Square Subdivision Plat recorded December 13, 2007 in Volume 15, Pages 257-259 as Document No. 1841743, in the Sheboygan County Register of Deeds office, all being a part of the Northwest 1/4 of the Southwest 1/4, Section 14, Township 13 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin

PROPERTY OWNER: JAMES W. WILSON (SEE ATTACHED)

EXISTING ZONING: INDUSTRIAL COMMERCIAL DISTRICT

PROPOSED ZONING: INDUSTRIAL COMMERCIAL DISTRICT

PROPOSED USE: RESTAURANT

AREA OF TOTAL DEVELOPMENT: 3,378 SF (SEE PLAN)

REMARKS: MATERIAL: FINISHES: SEE PLAN
 REAR: SEE PLAN
 ELEVATION: SEE PLAN
 SEE PLAN

PROPOSED BUILDING HEIGHT: 21' (SEE PLAN) HEIGHT NOT ALLOWED

PAVING REQUIRED: 1' GRADE OVER 1' EXISTING (SEE GRADE PLAN)

STREETS PAVED: 2' GRADES (SEE PLAN)

UTILITY STAKES REQUIRED: 0' (MANUAL STAKES PROVIDED)

BUILDING OR UTILITY CLASSIFICATION: N/A

TYPE OF BUILDING CONSTRUCTION: N/A

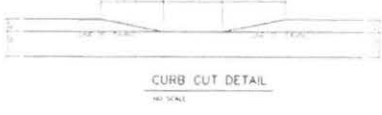
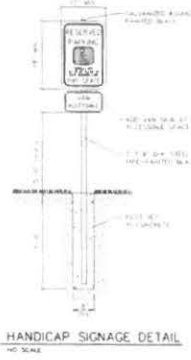
LANDSCAPE REQUIREMENTS: PERMANENT LANDSCAPING - MINIMUM 10% TOTAL AREA (SEE PLAN)

PROPOSED LOT DATA

PROJECTIONS	AREA (SQ. FT.)	PERCENT	AREA (SQ. FT.)
PROJECTIONS	1,100	32.57	1,100
PROJECTIONS	1,100	32.57	1,100
PROJECTIONS	1,100	32.57	1,100
PROJECTIONS	1,100	32.57	1,100

PROPOSED SITE DATA

PROJECTIONS	AREA (SQ. FT.)	PERCENT	AREA (SQ. FT.)
PROJECTIONS	1,100	32.57	1,100
PROJECTIONS	1,100	32.57	1,100
PROJECTIONS	1,100	32.57	1,100
PROJECTIONS	1,100	32.57	1,100



EXCEL
ARCHITECTS & ENGINEERS & LANDSCAPE

100 LAMBERT DRIVE
PO BOX 100, WISCONSIN
PHONE: 920.836.8888
WWW.EXCELDESIGN.COM

PROJECT INFORMATION

PROJECT NUMBER: 1806510

PROPOSED DEVELOPMENT FOR:
CAVE ENTERPRISES, LLC.
 S BUSINESS DRIVE • SHEBOYGAN WI, 53081

PRELIMINARY DATES

APRIL 13, 2016
 APRIL 28, 2016
 MAY 5, 2016
 MAY 10, 2016

NOT FOR CONSTRUCTION

SHEET INFORMATION

SITE PLAN

C1.2

Sokolowski, Steve

From: Joe Clarke <jclarke@gdg-architects.com>
Sent: Wednesday, August 03, 2016 4:59 PM
To: Duellman, Janet; Alderperson Bryan Bitters; Jerry Jones; Pam Langan (langan4.pl@gmail.com); Peter Strysick; Richard Linde; Scott Matula
Cc: Sokolowski, Steve
Subject: RE: ARB Meeting 08/08/16 -Response Needed

Just wanted to give my two-cents, even though I won't be there...

- 1) The Burger King design we approved included a third tower-element as part of the drive-thru sequence, which made for a nicely balanced/interesting façade.
- 2) Apparently Burger King CORPORATE didn't like the third drive-thru-window option, so it had to be deleted. Steve and I then reviewed a stripped-down re-submittal that completely removed the third tower, and decided that they would either have to keep something pretty close to the original tower design or re-submit to ARB since the stripped-down version was significantly different from what we'd approved.
- 3) The variations of a re-introduced tower element that they came back with did not seem well integrated with the rest of the building's architecture (much too "pasted-on"), and they were resorting to spandrel-glass. That, plus the fact that the tower/window/canopy all FELT like part of the drive-thru process (even though they were NOT) seemed confusing for customers, and just way too "fake."
- 4) Given that the re-introduced attempt at a "tower element" didn't seem like a good solution when it wasn't REALLY working as a drive-thru element, my preference was for the simplified design that just eliminated the tower completely.
- 5) Since this is significantly different from what was previously approved, it seemed necessary that the ARB should review the change.

So – my preference was for the stripped-down design, rather than having the "fake drive-thru tower."

Thanks,
Joe

Joseph E.J. Clarke
GROTH Design Group, Inc.

From: Duellman, Janet [<mailto:Janet.Duellman@sheboyganwi.gov>]
Sent: Wednesday, August 03, 2016 9:49 AM
To: Alderperson Bryan Bitters; Jerry Jones; Joe Clarke; Pam Langan (langan4.pl@gmail.com); Peter Strysick; Richard Linde; Scott Matula
Cc: Sokolowski, Steve
Subject: ARB Meeting 08/08/16 -Response Needed
Importance: High

Good Morning ARB Members

Please let me know if you will be able to attend the ARB meeting on Monday, August 8, 2016. The applicants are from out-of-town so we would like to verify that we have a quorum.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: New Burger King Restaurant on Parcel Number 431754 (Washington Square Outlot- S. Business Drive) - Resubmittal

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning & Zoning

REPORT DATE: August 5, 2016

MEETING DATE: August 8, 2016

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The new Burger King Restaurant with a drive thru will be approximately 3,300sf and is proposed to be located on the vacant, undeveloped .72 acre parcel located on the SW corner of Wilson Avenue and S. Business Drive (north of Verizon/Little Cesar's and south of Dunkin Donuts in the Washington Square Development (an outlot along S. Business Drive).

Proposed Building finishes are fiber cement brick panels below the window elevation with thin brick applied above to an elevation of 42" below the top of the parapet wall. The 42" from top of brick to top of the parapet wall are painted fiber cement board panels. The tower elements will feature a fiber cement board panel prefinished to a wood cedar look. At the entry areas there will be an exterior grade ceramic red color tile. The architectural design is keeping with the Washington Square Development.

STAFF COMMENTS:

On May 23, 2016 the Architectural Review Board approved the drawings for the new Burger King Restaurant. Subsequent to that approval, Burger King Corporate has informed the franchise owner that they are not in favor of having the 3rd drive thru window which is the tower element on the west end of the north building elevation facing Wilson Avenue. The applicant states that the revised north elevation eliminates the third window as a functioning pick-up window while maintaining the original design intent of the additional tower element for architectural and aesthetic interest.

The applicant has come up with two (2) new designs for the north elevation:

- One that removes the third drive thru window tower element and replaces it with brick.

OR

- One that attempts to maintain the third drive thru window tower element.

If the applicant is unable to construct the original proposal, staff would recommend approving the drawing that replaces the third drive thru window tower element with brick because:

- The variations of a re-introduced tower element do not seem well integrated with the rest of the building's architecture (looks pasted on) and is not as attractive as the original design.
- The fake tower/window/canopy still feels like part of the drive-thru process and seems confusing for customers.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

- I. Architectural Review Board Application and required attachments