

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Randy Oskey

ADDRESS: 1132 N 8th St, Sheboygan, WI 53081

E-MAIL ADDRESS: randy.oskey@att.net

PHONE: (920) 207-8424 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: 8th St. Ale Haus

ADDRESS OF PROPERTY AFFECTED: 1132 N. 8th St.

NEW BUILDING: _____ ADDITION: _____ REMODELING: x

DESCRIPTION OF PROPOSED PROJECT: Please see attached.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

Please see attached.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____

Please see attached.

3. NAMES AND ADDRESSES

OWNER OF SITE: Randy Oskey

ADDRESS: 1132 N 8th St, Sheboygan, WI 53081

EMAIL: randy.oskey@att.net

PHONE: (920) 207-8424 **FAX NO.:** ()

ARCHITECT: Jennifer L. Lehrke, Legacy Architecture, Inc.

ADDRESS: 605 Erie Avenue, Suite 101, Sheboygan, WI 53081

EMAIL ADDRESS: jlehrke@legacy-architecture.com

PHONE: (920) 783-6303 **FAX NO.:** ()

CONTRACTOR: Jerod Voskuil, A. Chappa Construction, LLC

ADDRESS: 443 North Main Street, Sheboygan Falls, WI 53085

EMAIL: jerod@achappaconstruction.com

PHONE: (920) 467-2212 **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Jennifer L. Lehrke
APPLICANT'S SIGNATURE

February 18, 2022
DATE

Jennifer L. Lehrke
PRINT ABOVE NAME



605 Erie Avenue, Suite 101
Sheboygan, Wisconsin 53081
(920) 783-6303
info@legacy-architecture.com
www.legacy-architecture.com

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

for

1132 N. 8th Street

DESCRIPTION OF PROPOSED PROJECT:

The proposed façade restoration/renovation will be completed in two phases. The existing banquet hall will be phase 1, and the bar/restaurant will be phase 2. In phase 1, the banquet hall will be restored to better match its historic appearance. In phase 2, the bar/restaurant will be renovated to blend with the surrounding masonry buildings more closely.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS:

The banquet building's N. 8th Street facade is painted brick with stone accents with a non-historic storefront. The storefront is a mix of aluminum storefront and EIFS. Based on historic photos and a small scraping of the existing brick, we believe the brick is a dark red/brown. There are two brick "frames" accentuating the stepped parapet with stone accent corners. We believe the coping is a matching stone.

The bar/restaurant has been clad in EIFS for over 20 years and has a small portion of painted CMU at the rear of the building. The façade consists of a main entrance on N. 8th Street with a gabled roof above it and a side entrance on St. Clair Avenue. There are two tall piers with flagpoles that extend above the roofline on each end of the N. 8th Street facade. On the St. Clair Avenue facade, there are five of these tall piers with flagpoles, equally spaced apart, over 3/5^{ths} of the façade. There are oversized storefront cornices with dental molding that span between the piers above the windows. There is an EIFS base beneath the windows of large, stone-like panels.

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS:

The banquet building's brick and stone façade will have the paint removed, and the historic masonry restored. A new storefront will be installed to replicate the historic storefront. The storefront windows will sit on a new knee wall with a brick and glass block veneer. We propose a new fixed, striped awning to stretch across the entire facade, replicating the historic awning. Also, a new neon sign is proposed in the location of the historic neon sign.

The bar/restaurant will have the roof over the entrance removed along with all the tall piers and flagpoles. In place of the piers, new pilasters will be installed which will be sized in 8" increments to match a standard brick size. The EIFS will be refinished in a running or stretcher bond to match a standard brick size and coursing pattern which will blend with its surrounding better than the existing stucco-like finish. To coordinate with the banquet hall, brick "frames" accentuating the new stepped parapet will be added above the windows and entrances. Stone-like elements will also be borrowed from the banquet hall to accentuate the bar/restaurant at the base, windowsills, pilaster capitals, and cornice.



8TH STREET FACADE PHOTO



CORNER FACADE PHOTO

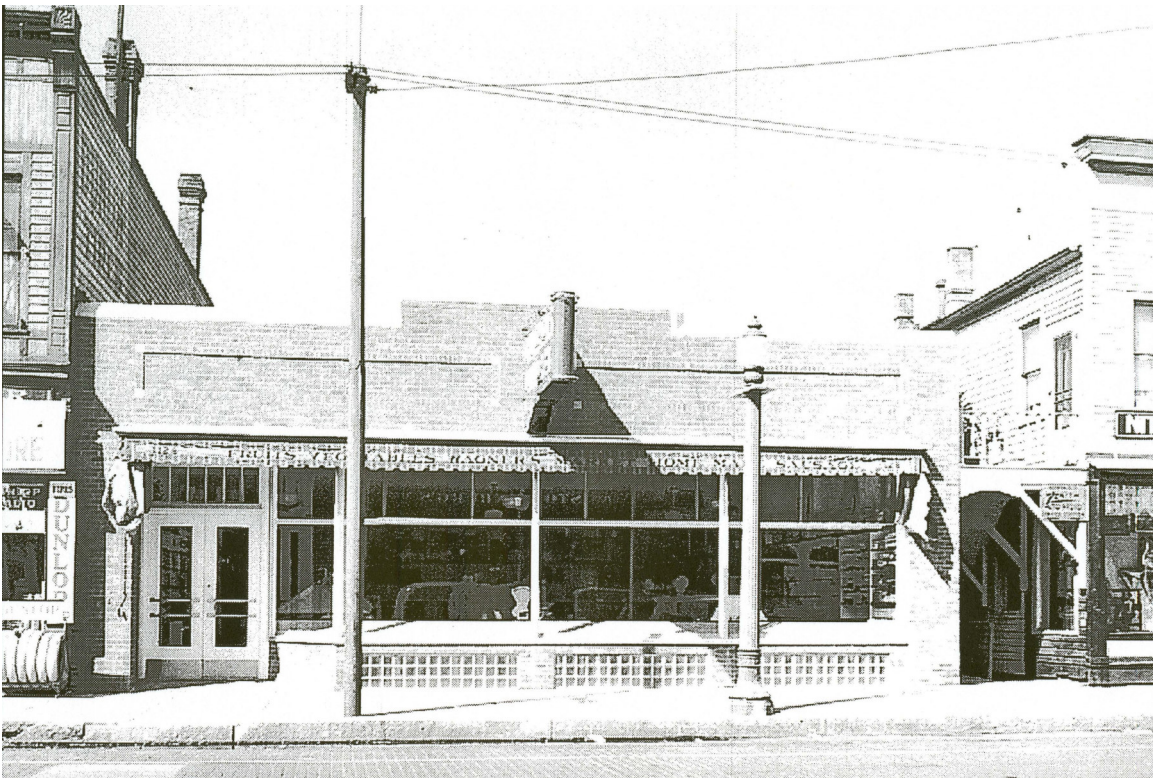


EXISTING BANQUET HALL'S 8TH STREET FACADE PHOTO



EXISTING BAR'S 8TH STREET FACADE PHOTO

PRELIMINARY - NOT FOR CONSTRUCTION



HISTORIC PHOTO OF CURRENT BANQUET HALL

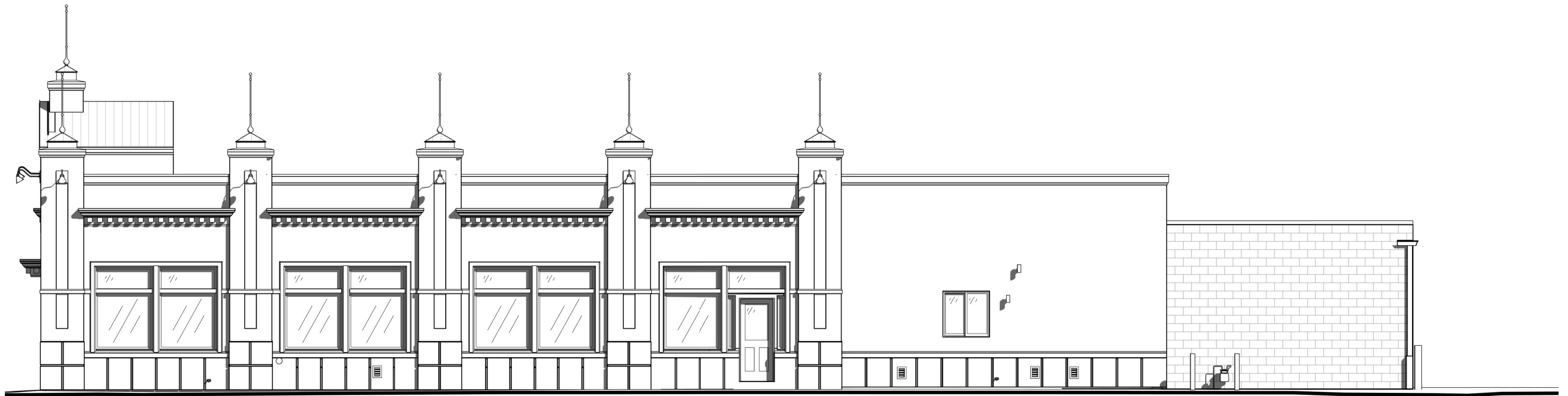


ROTTING TRIM

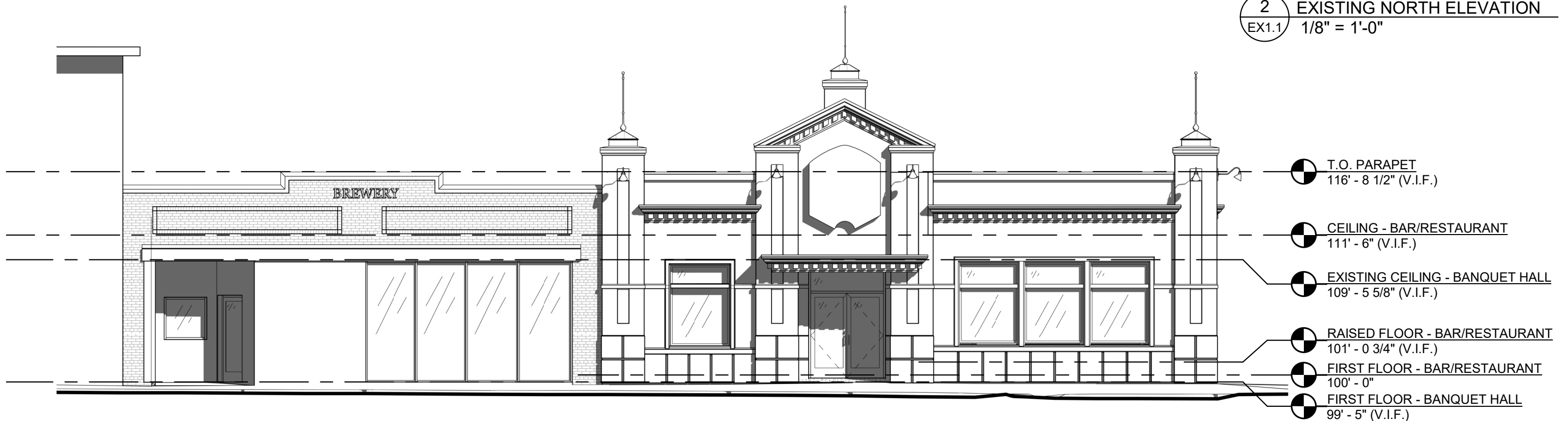


EXISTING CORNER AT ALLEY

PRELIMINARY - NOT FOR CONSTRUCTION



2 EXISTING NORTH ELEVATION
EX1.1 1/8" = 1'-0"



1 EXISTING EAST ELEVATION
EX1.1 1/8" = 1'-0"

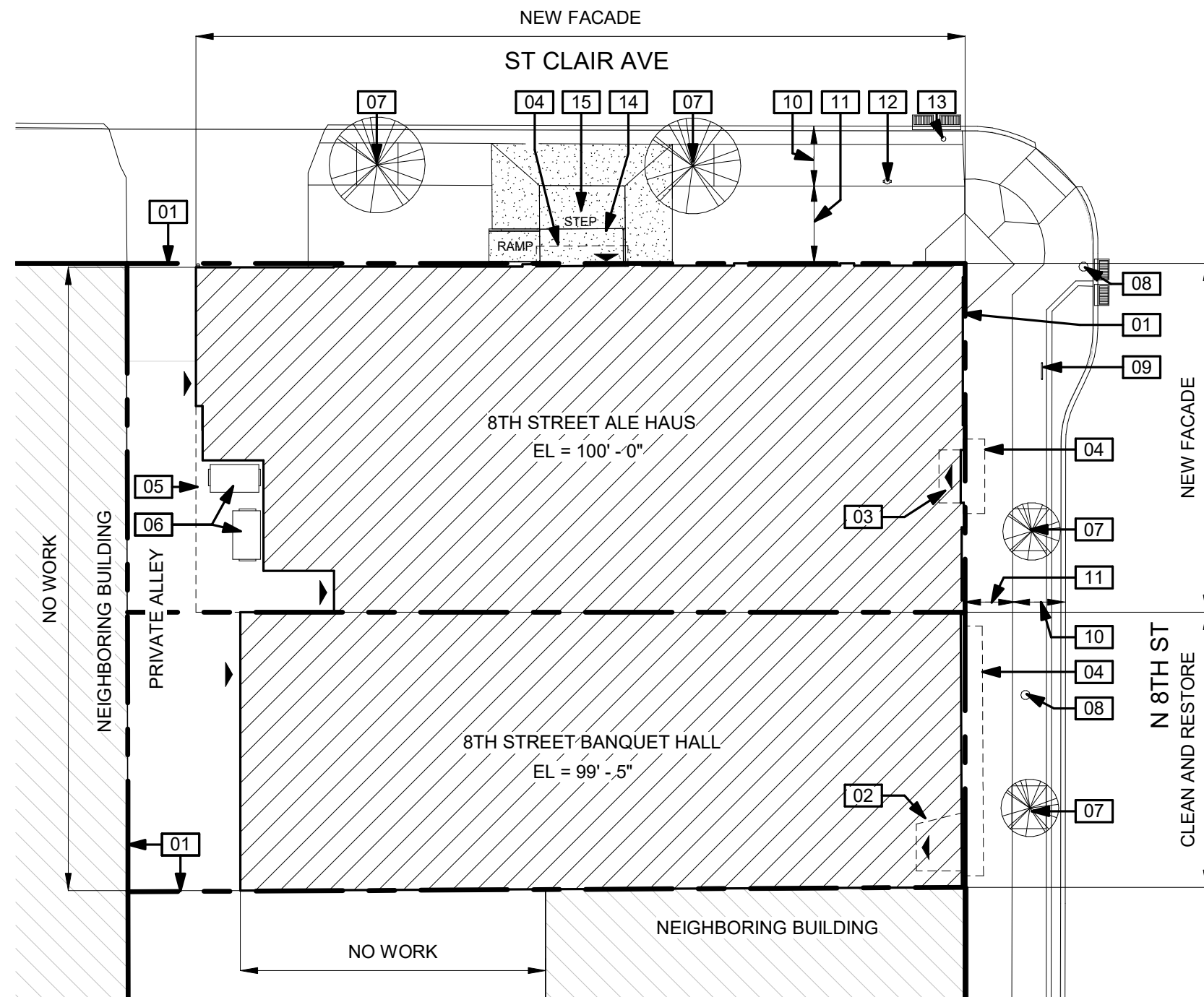
PRELIMINARY - NOT FOR CONSTRUCTION



LEGACY
architecture
605 Erie Avenue
Sheboygan, Wisconsin 53081
(920) 783-6303
www.legacy-architecture.com

EXTERIOR REMODEL OF:
8TH STREET ALE HAUS & BREWHOUSE
1132 NORTH 8TH STREET
SHEBOYGAN, WI 53081

PROJECT NUMBER 21.103
DATE 2/18/2021
SHEET NUMBER EX1.1



1 SITE PLAN
PR0.1 1" = 20'-0"

GENERAL NOTES

- THE SITE PLAN IS BASED ON GIS INFORMATION AND IS INTENDED FOR GRAPHIC REFERENCE ONLY.
- ENTRANCES ARE MARKED WITH A BLACK TRIANGLE

SITE PLAN NOTES

01	APPROXIMATE PROPERTY LINE
02	EXTEND EXISTING RECESSED ENTRY
03	EXISTING RECESSED ENTRY
04	NEW AWNING
05	EXISTING OPEN AIR ROOF
06	EXISTING DUMPSTER LOCATION
07	EXISTING STREET TREE
08	EXISTING STREET LIGHT
09	EXISTING BIKE PARKING
10	EXISTING CONCRETE TERRACE
11	EXISTING CONCRETE SIDEWALK
12	EXISTING FIRE HYDRANT
13	EXISTING STOP SIGN
14	NEW ACCESSIBLE ENTRY AND SERVICE COUNTER
15	RAISE SIDEWALK AT STEP, STEP 7" RISE MAX.

PRELIMINARY - NOT FOR CONSTRUCTION

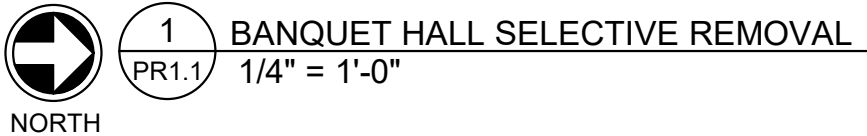
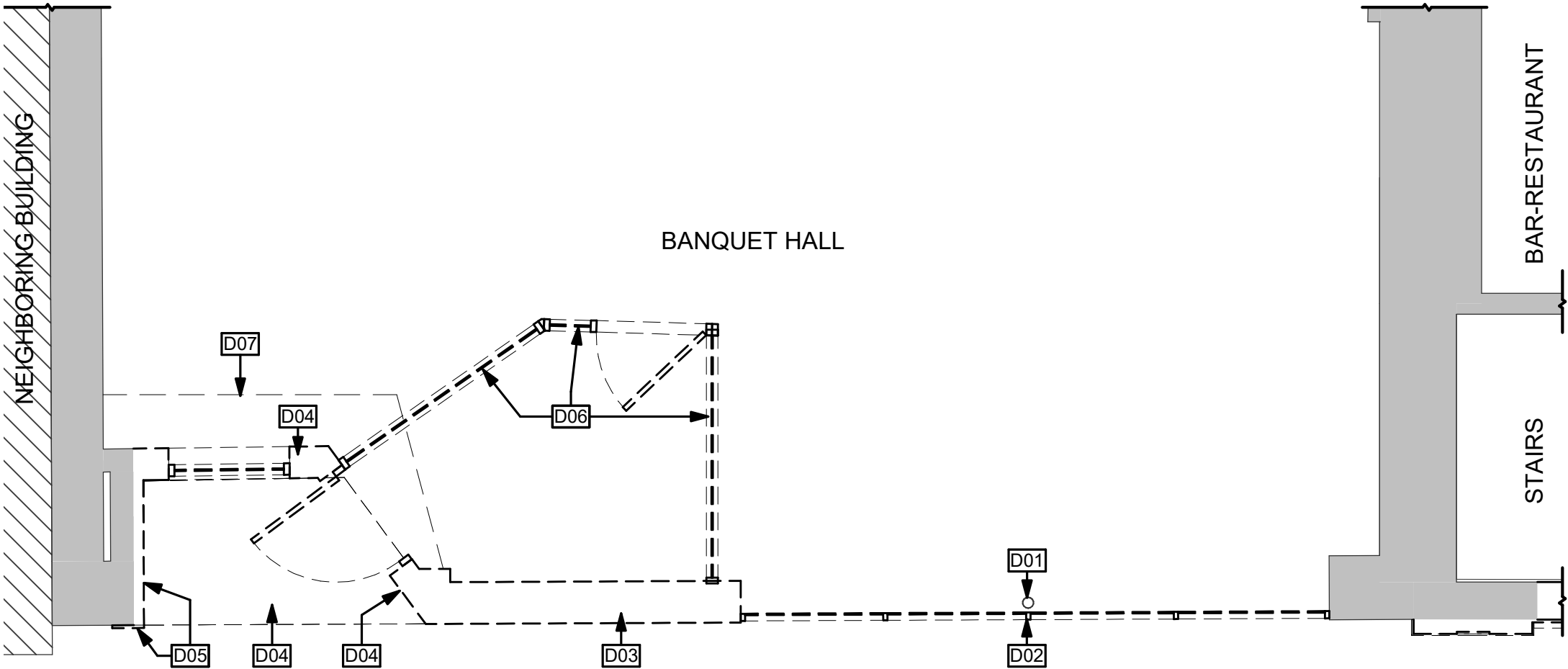


LEGACY
architecture
605 Erie Avenue
Sheboygan, Wisconsin 53081
(920) 783-6303
www.legacy-architecture.com

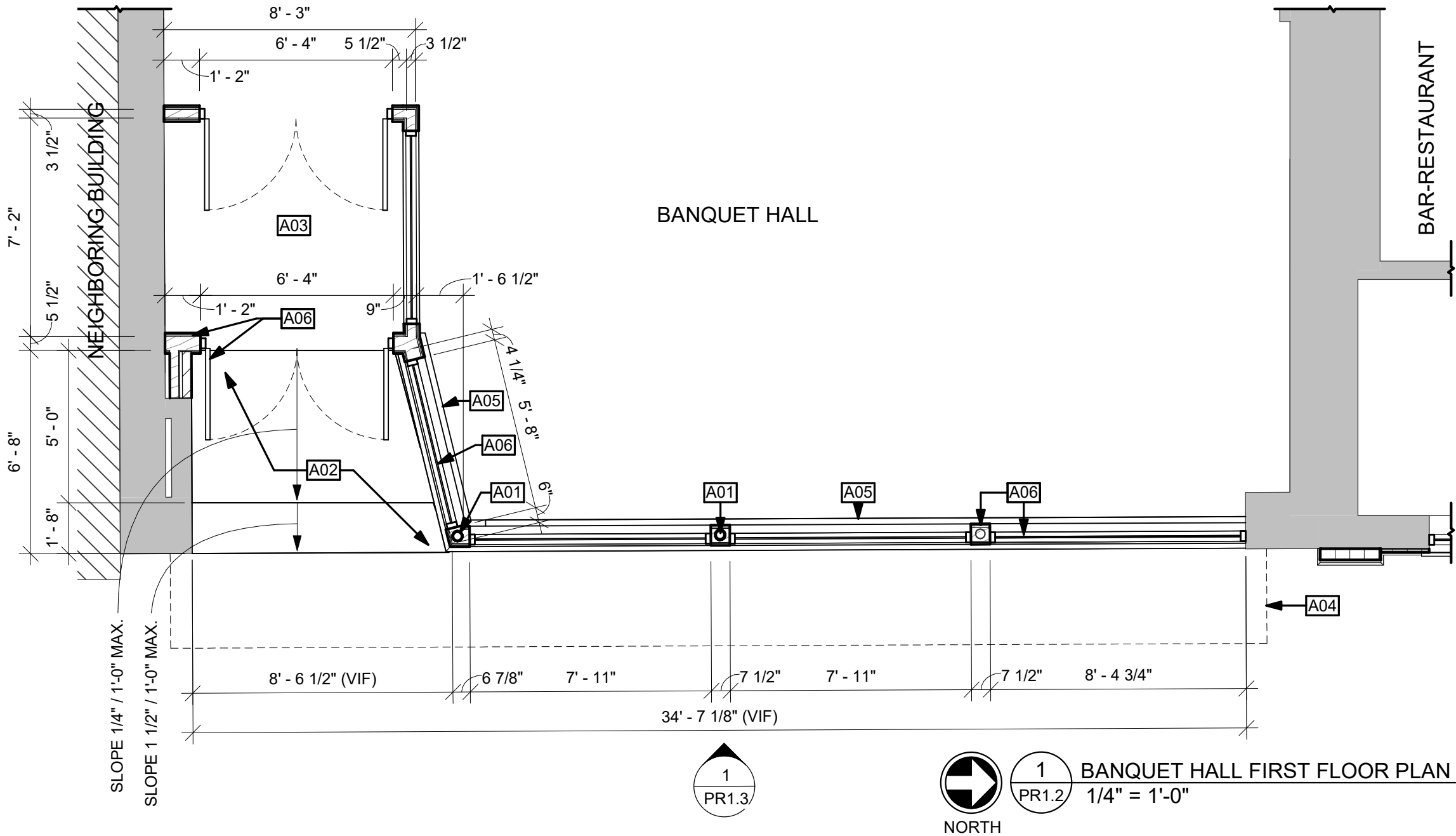
EXTERIOR REMODEL OF:
8TH STREET ALE HAUS & BREWHOUSE
1132 NORTH 8TH STREET
SHEBOYGAN, WI 53081

PROJECT NUMBER
21.103
DATE
2/18/2021
SHEET NUMBER
PR0.1

SELECTIVE REMOVAL PLAN NOTES	
D01	EXISTING PIPE COLUMN TO REMAIN
D02	REMOVE STOREFRONT
D03	REMOVE CMU WALL WITH EXTERIOR EIFS VENEER
D04	REMOVE TERRAZZO FLOOR
D05	REMOVE EIFS FROM WALL, VERIFY ASSUMED BRICK BACKER
D06	REMOVE STOREFRONT AIRLOCK
D07	REMOVE SECTION OF FLOORING



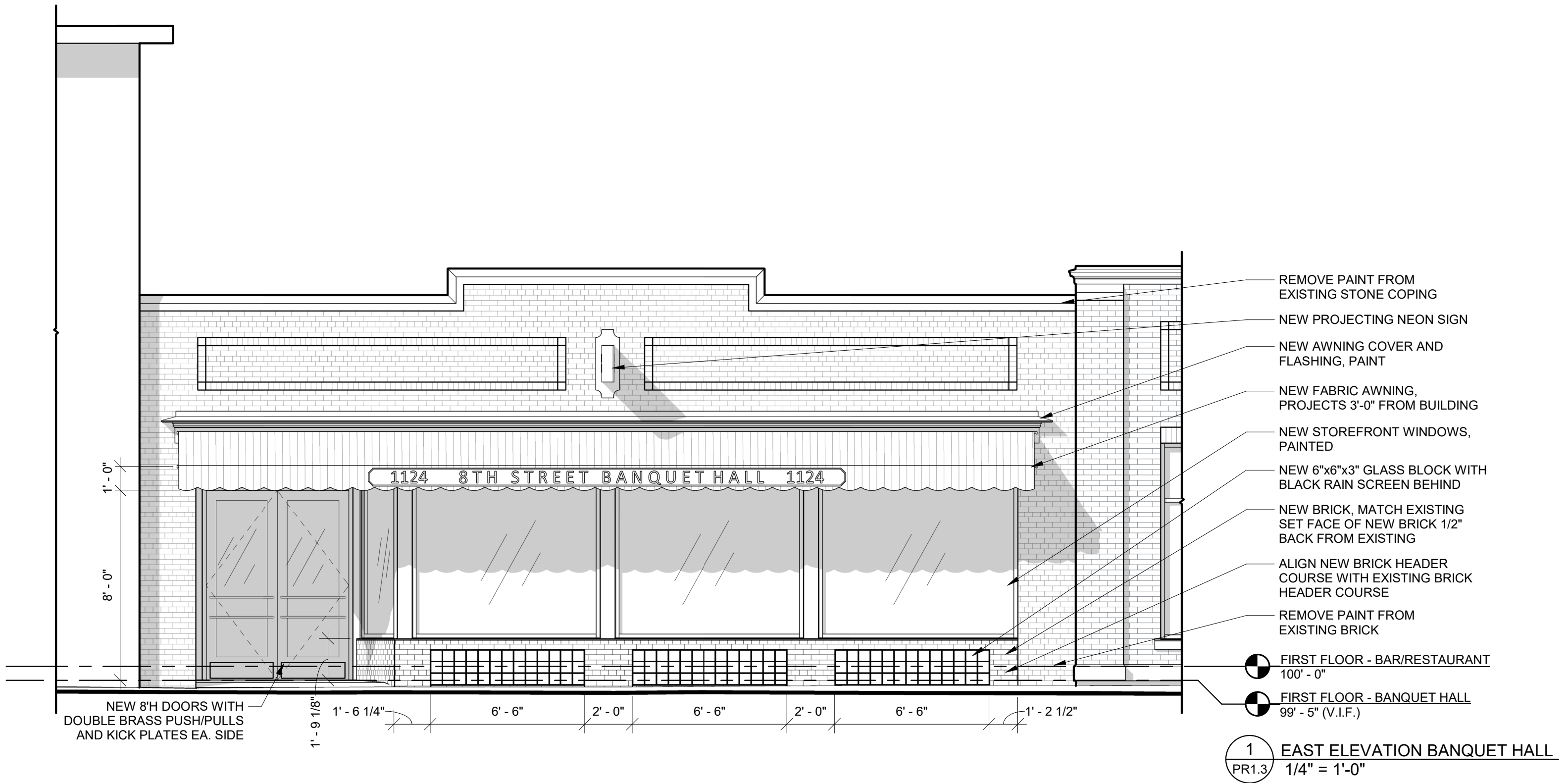
PRELIMINARY - NOT FOR CONSTRUCTION



FLOOR PLAN NOTES	
A01	NEW COLUMN, VERIFY IF HISTORIC COLUMNS ARE BURIED IN CMU WALL
A02	NEW TILE RAMP AND LANDING ON 3/4" PLYWOOD WITH 1/2" CEMENT BOARD AND WATERPROOFING MEMBRANE COMPLYING WITH ANSI A11810
A03	NEW TILE FLOOR IN VESTIBULE
A04	LINE OF AWNING ABOVE
A05	KNEE WALL - 5/8" GYPSUM BOARD, 6 MIL. VAPOR RETARDER, 2X6 WOOD STUDS @ 16" O.C. WITH CELLULOSE INSULATION (R-19), 7/16" OSB SHEATHING, WEATHER BARRIER, 1" RIGID INSULATION (R-5), 1" AIRSPACE, FACE BRICK OR GLASS BLOCK (SEE ELEVATION)
A06	STOREFRONT WITH PAINTED FINISH AND 2X6 WOOD FRAMED MULLIONS AT COLUMNS AND CORNERS

PRELIMINARY - NOT FOR CONSTRUCTION

 LEGACY architecture 605 Erie Avenue Sheboygan, Wisconsin 53081 (920) 783-6303 www.legacy-architecture.com	EXTERIOR REMODEL OF: 8TH STREET ALE HAUS & BREWHOUSE 1132 NORTH 8TH STREET SHEBOYGAN, WI 53081	PROJECT NUMBER 21.103
		DATE 2/18/2021
		SHEET NUMBER PR1.2



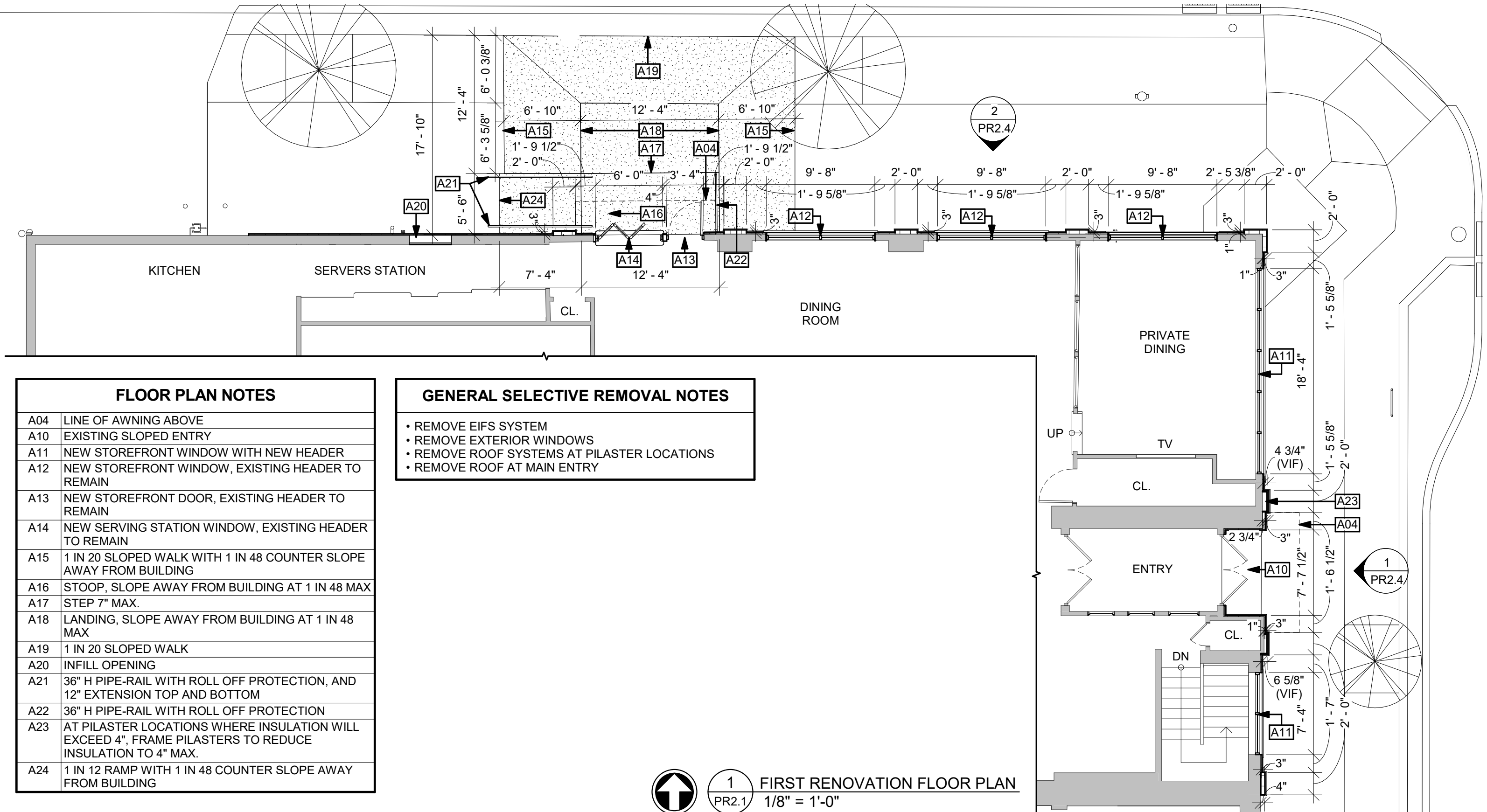
PRELIMINARY - NOT FOR CONSTRUCTION



LEGACY
architecture
605 Erie Avenue
Sheboygan, Wisconsin 53081
(920) 783-6303
www.legacy-architecture.com

EXTERIOR REMODEL OF:
8TH STREET ALE HAUS & BREWHOUSE
1132 NORTH 8TH STREET
SHEBOYGAN, WI 53081

PROJECT NUMBER
21.103
DATE
2/18/2021
SHEET NUMBER
PR1.3



FLOOR PLAN NOTES	
A04	LINE OF AWNING ABOVE
A10	EXISTING SLOPED ENTRY
A11	NEW STOREFRONT WINDOW WITH NEW HEADER
A12	NEW STOREFRONT WINDOW, EXISTING HEADER TO REMAIN
A13	NEW STOREFRONT DOOR, EXISTING HEADER TO REMAIN
A14	NEW SERVING STATION WINDOW, EXISTING HEADER TO REMAIN
A15	1 IN 20 SLOPED WALK WITH 1 IN 48 COUNTER SLOPE AWAY FROM BUILDING
A16	STOOP, SLOPE AWAY FROM BUILDING AT 1 IN 48 MAX
A17	STEP 7" MAX.
A18	LANDING, SLOPE AWAY FROM BUILDING AT 1 IN 48 MAX
A19	1 IN 20 SLOPED WALK
A20	INFILL OPENING
A21	36" H PIPE-RAIL WITH ROLL OFF PROTECTION, AND 12" EXTENSION TOP AND BOTTOM
A22	36" H PIPE-RAIL WITH ROLL OFF PROTECTION
A23	AT PILASTER LOCATIONS WHERE INSULATION WILL EXCEED 4", FRAME PILASTERS TO REDUCE INSULATION TO 4" MAX.
A24	1 IN 12 RAMP WITH 1 IN 48 COUNTER SLOPE AWAY FROM BUILDING

GENERAL SELECTIVE REMOVAL NOTES
<ul style="list-style-type: none"> • REMOVE EIFS SYSTEM • REMOVE EXTERIOR WINDOWS • REMOVE ROOF SYSTEMS AT PILASTER LOCATIONS • REMOVE ROOF AT MAIN ENTRY



NORTH



1 FIRST RENOVATION FLOOR PLAN
1/8" = 1'-0"

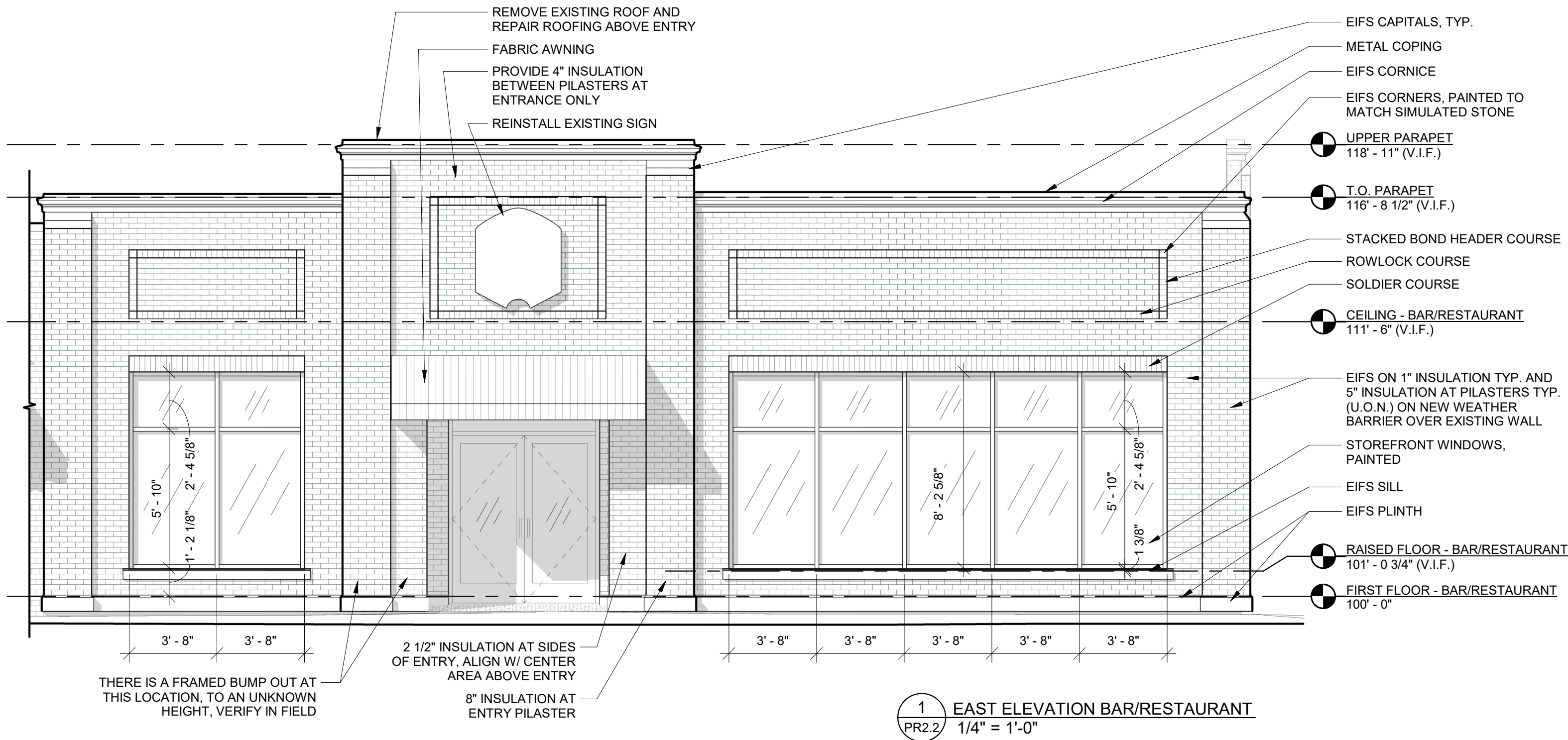
PRELIMINARY - NOT FOR CONSTRUCTION



LEGACY
architecture
605 Erie Avenue
Sheboygan, Wisconsin 53081
(920) 783-6303
www.legacy-architecture.com

EXTERIOR REMODEL OF:
8TH STREET ALE HAUS & BREWHOUSE
1132 NORTH 8TH STREET
SHEBOYGAN, WI 53081

PROJECT NUMBER 21.103
DATE 2/18/2021
SHEET NUMBER PR2.1



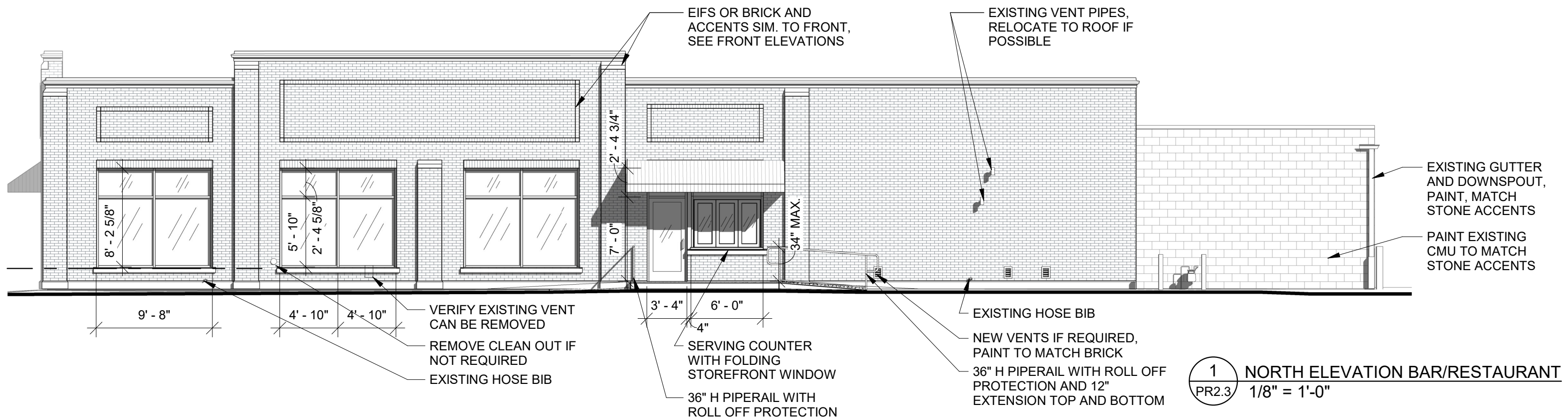
PRELIMINARY - NOT FOR CONSTRUCTION



LEGACY
architecture
605 Erie Avenue
Sheboygan, Wisconsin 53081
(920) 783-6303
www.legacy-architecture.com

EXTERIOR REMODEL OF:
8TH STREET ALE HAUS & BREWHOUSE
1132 NORTH 8TH STREET
SHEBOYGAN, WI 53081

PROJECT NUMBER 21.103
DATE 2/18/2021
SHEET NUMBER PR2.2



PRELIMINARY - NOT FOR CONSTRUCTION



LEGACY
architecture
605 Erie Avenue
Sheboygan, Wisconsin 53081
(920) 783-6303
www.legacy-architecture.com

EXTERIOR REMODEL OF:
8TH STREET ALE HAUS & BREWHOUSE
1132 NORTH 8TH STREET
SHEBOYGAN, WI 53081

PROJECT NUMBER 21.103
DATE 2/18/2021
SHEET NUMBER PR2.3



2 NORTH ELEVATION
PR2.4 1/8" = 1'-0"



1 EAST ELEVATION
PR2.4 1/8" = 1'-0"

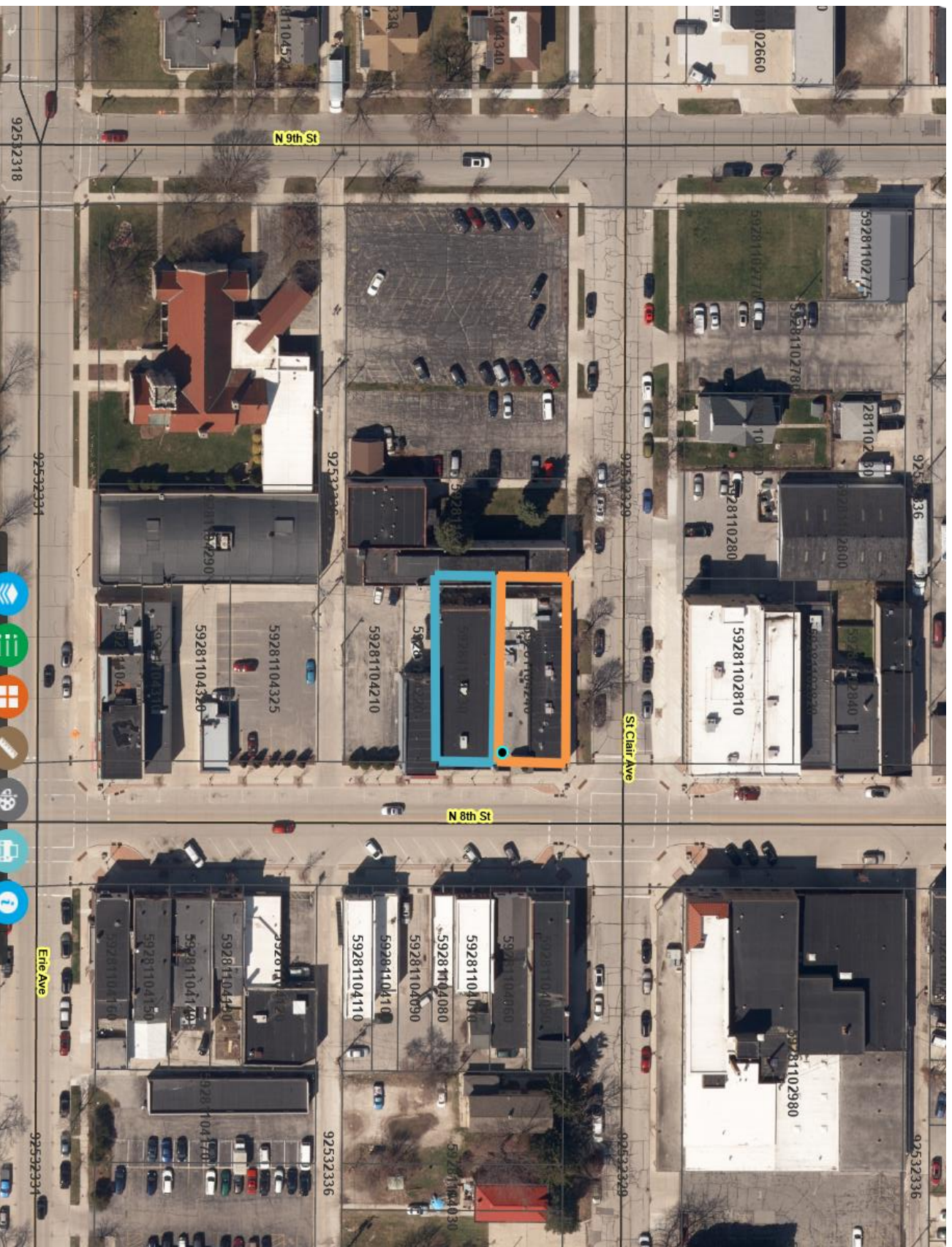
PRELIMINARY - NOT FOR CONSTRUCTION



LEGACY
architecture
605 Erie Avenue
Sheboygan, Wisconsin 53081
(920) 783-6303
www.legacy-architecture.com

EXTERIOR REMODEL OF:
8TH STREET ALE HAUS & BREWHOUSE
1132 NORTH 8TH STREET
SHEBOYGAN, WI 53081

PROJECT NUMBER 21.103
DATE 2/18/2021
SHEET NUMBER PR2.4





PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Scott Meyers

ADDRESS: 9899 Brightwater Drive Fishers, IN 46038

E-MAIL ADDRESS: ScottM@SelfStorageInvesting.com

PHONE: (317) 506-4900 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: 1234 Launch or 1234 Fuze

ADDRESS OF PROPERTY AFFECTED: 1234 Kentucky Ave.

NEW BUILDING: N/A ADDITION: N/A REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: A mix of uses, including conventional and unconventional office workspaces, mini warehouses and self-storage units, co-working, event and small office spaces, along with maker spaces and light industrial assembly and other businesses that will be attracted to the Innovation District and identify with the master plan for the area.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: Asbestos siding, wood windows and trim.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: New windows, doors siding and trim to be of aesthetically pleasing, quality materials as follows. Dark charcoal gray horizontally applied exposed fastener metal panels with matching trim as required, Leadcoat (light gray) horizontally applied exposed fastener metal panels with matching trim as required. "Orange-Orange" ACM Panels applied with hidden fastener system in arrangement similar to what is shown on plans. New windows and doors to be clad with trim materials to matching surrounding materials. Door and Window colors to coordinate with other finishes.

3. NAMES AND ADDRESSES

OWNER OF SITE: 1234 Kentucky, LLC

ADDRESS: 9899 Brightwater Dr. Fishers, IN 46038

E-MAIL: ScottM@SelfStorageInvesting.com

ARCHITECT: N/A

ADDRESS: _____

EMAIL ADDRESS: _____

PHONE: ()

FAX NO.: ()

CONTRACTOR: Quasius Construction

ADDRESS: 1202A North 8th St. P.O. Box 727 E-MAIL: GGartman@Quasius.com

4. APPLICATION SUBMITTAL REQUIREMENTS

A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.

B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

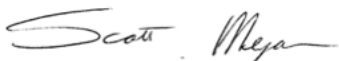
C. A .pdf file of all drawings either by email or CD

D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.

E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



4/15/2021

APPLICANT'S SIGNATURE

Scott Meyers

DATE

PRINT ABOVE NAME

1234 KENTUCKY AVENUE
ARCHITECTURAL REVIEW NARRATIVE
4/6/2021

The existing structure at 1234 Kentucky Ave. is a timber building with exterior asbestos siding and wood windows, doors, and trim. Sheboygan Self Storage is proposing the following improvements to the premises. Abate all hazardous materials on the exterior façade. Replace sheathing as needed. Remove and replace all existing doors and trim with new materials. The design intent of the new exterior skin is to coordinate with the other redevelopments along the Indiana Avenue Corridor and make the building an eye-catching and aesthetically pleasing addition to the area and be an attractive consideration for new businesses and startups in the area as well as storage for the many nearby luxury apartments and condos. The new horizontal metal siding, ACM panels and trim will be factory finished using Kynar 500 coatings to ensure longstanding quality of appearance. All new windows and doors will be selected in colors that coordinate with the new siding and trim to be installed.

**CONDITIONAL USE PERMIT
1234 KENTUCKY AVE.
SHEBOYGAN, WI**

- An explanation of all the existing uses and all business activities that presently take place onsite (how many existing business tenants, how many tenants, etc.).

Currently, the building is mostly vacant with the exception of 1 client who is utilizing the basement for Storage.

- An explanation of the proposed uses and all business activities that will take place onsite (conversion of existing space, new construction, mini-storage, office, parking, signage, ingress/egress, access easements, traffic, etc.)

The Proposed uses include the conversion of the vacant and unfinished interior of the building into multiple work spaces that will be comprised of Small Office space, Flexible office and conference rooms, Self-Storage/Mini-Storage, Conventional office space, Virtual office space, maker space, artist studios and Event Space. A management office will be located on the Southwest corner of the building and MAY offer a coffee shop to the public in lieu of a private Break Room. Parking will be expanded on the vacant portion of the lot to the north, with ingress egress to the parking lot on from 12th and 13th st by way of the alley, and street parking on Kentucky Avenue. Ingress egress the building will be located by way of dock doors on the East end of the building by 12th st, and man doors on both Kentucky Avenue and 13th Street. Additional Access to the building through dock doors on both Kentucky Avenue and 12th St. by way of glass Garage doors are optional.

The Exterior will be completely Renovated to include the removal of all existing siding, doors and windows. The roof has already been replaced, and we propose the construction of a rooftop deck on the north end, accessed by a new opening and installation of large Glass Doors. The installation of all new windows, doors, and eifs is depicted in the attached drawings.

- Please explain why the multi-tenant commercial uses are being proposed from this property and why the plan commission should consider approving the proposal at this site?

We have conducted 3 feasibility studies for this site. 1 for Self-Storage by Bob Copper of Self Storage 101, and 2 for the additional uses by Della Rucker of Wise Economy. Our entire proposal for the project is based upon the recommendations from both consultants, and their subsequent favorable studies. Furthermore, the development team has been in conversations over the past 2 years with the city and the Sheboygan County Economic Development Corp. with an eye towards this building becoming an integral part of the creation of the Innovation District. Additional Feasibility Studies by Wise Economy and their consultant, Della Rucker, have included the use of this building as it sits at the gateway to the proposed district. As such, the spaces we have created in the attached plans are the culmination of 2 years of discussions with all parties listed above.

- Please explain the types of uses that will likely be operating from this facility – Explanation of the tenant spaces to be created, how many, where located, entrance to the tenant spaces, etc.

The types of uses, listed above, include the conversion of the vacant and unfinished interior of the building into multiple work spaces that will be comprised of Small Office space, Flexible office and conference rooms, Self-Storage/Mini-Storage, Conventional office space, Virtual office space, maker space, artist studios and Event Space. The attached drawings and floor plans will provide additional detail regarding the various spaces and locations within the building.

- Provide a very specific explanation of your building and what uses are proposed where (1st floor, 2nd floor, 3rd floor, Basement, exterior, etc.).

The building is essentially a square, industrial building that used to house the Woodcroft wood working business. Our proposal calls for Self-Storage in the basement and on the 2nd floor, with office/coworking space, and maker spaces on the 1st floor or street level to Kentucky. This level will have a handful of small office spaces and Shared conference rooms. The 3rd floor will also be used

- How many commercial tenants do you have now?

There is one commercial tenant that is currently renting the basement for storage.

- How many commercial tenants will you have after the project? 1st floor, 2nd floor, 3rd floor, etc.

The Building is being renovated to account for multiple small business and entrepreneurs to share open space along with private offices. The plan is to build out The Self Storage units in the basement and 2nd floor, with a number of office, coworking and shared spaces along with conference rooms on the 1st and 3rd floors.

- Likely breakdown of space used for potential tenants.

See Proposed attached plans. Subject to change based on code review.

- How many storage units are you proposing to construct and where will they be located? What are the sizes, where are they to be located, etc.

The Self Storage units will be located in the basement and on the 2nd Floor. See attached floor plan for quantities and breakdowns.

- What is the exact phasing of this development – what areas of the building with what types of uses will be in the 1st Phase, 2nd , Phase, 3rdPhase, etc.

Phase 1 of the project will include the rehab of the exterior of the building and buildout of the Self-Storage in the Basement and the 2nd Floor. During this time, we will begin to market and promote the various other uses and available space in the building. This will include

- Please provide a site survey, building plans and or pictures of proposed structures.

See Attached

- How will building be managed/operated?

There is currently a manager for our storage facility located at 1336 Kentucky. That office will be relocated into the newly renovated office space located on the 1st floor of 1234 Kentucky, located at the corner of Kentucky and 13th st. This manager will handle the leasing and management of the storage operations. A separate manager will handle the property management for 1234. This will include the overall management of the building, leasing activities, and programming for events related to assist the tenants and various programming related to the initiatives set forth for the innovation district by the SCEDC. We have also explored a joint venture with Lakeland College whereby students in their Property Management Program would be employed, with training and supervision from both our company and the University.

- Description of proposed facilities, proposed building and all new site improvements (square footage of existing and proposed buildings, interior buildout, new structures, architectural renovations, design of new structures, storm drainage, landscaping, lighting, traffic, ingress/egress, parking, sidewalk, retaining walls, dumpster enclosure, screening of mechanicals, etc.).

Phase One of this project will include the complete hazardous materials abatement, exterior façade renovation, interior buildout of ground floor and second floor as walkable storage units, paving of all existing gravel drives, and addition of approved dumpster enclosure on the premises. Exterior dimensions of existing building are 141'-0" x 137'-0". No new structures proposed.

- An explanation of the proposed architectural style and materials and how it is compatible with the development in and around this neighborhood. A written description of the proposed general design, arrangement, texture, material and color of the buildings/structures. An explanation of any interior and/or exterior renovations.

Proposed architectural style will be aesthetically pleasing, using quality materials for construction, ensuring the longevity. Design intent is to fit in with the planned innovation district and be an eye-catching addition to the redeveloping Indiana Avenue Corridor. Exterior façade will be completely removed, hazardous materials abated and reconstructed with new siding, windows, and doors. Modern acceptable construction methods will be adhered to. The ground floor and second floor of the existing building will be renovated as walkable storage, and associated mechanicals, means of egress and conveying systems will be updated to current building code requirements.

- What are the days and hours of operation? How many customers are typically at the facility per day/week?

The Storage portion of the building

- How many employees will you have?

- How will you insure that the proposal will not become a nuisance to adjoining property owners (i.e. hours of operation, outdoor storage of materials, vehicles, equipment, lighting, noise, garbage, etc.)?

Hours will be normal business hours, similar to other business on Washington St. There will not be any outdoor storage of materials with the odd exception of any building/construction materials for a particular project. There will not be any vehicles stored by the owners, or management on the site, and the self-storage business does not/will not offer any outdoor storage of vehicles, boats, RV's, etc. Lighting will be as needed, meeting the requirements of the ordinances set forth and leases will include the normal quiet enjoyment clauses with very clear rules regarding what is acceptable per the neighborhood and surroundings regarding noise and behaviors. Garbage will be handled by 1 – 2 dumpsters located on The North side of the building by the alley and will be locked and surrounded by a dumpster enclosure constructed of approved materials.

- Are you proposing any fencing and landscaping? What are your plans to properly screen/landscape (landscaping, fencing, etc.) the proposed mini-storage use from adjoining neighbors (vehicle lighting, vehicles, equipment, lighting, noise, etc.)?

The attached site plan denotes the initial proposed landscaping for review and approval. The mini-storage is not visible as it will all be located inside the building, and with the units/doors only visible from the corner windows of the building on the 2nd floor.

- Number of parking spaces you have and the number of parking spaces required. Will you have enough parking for all commercial and residential tenants. You will need to provide paved onsite parking (gravel is not permitted).

Current scope will add 4 regular stalls and 1 accessible stall. Additional parking to be added in future phases.

- How will site be accessed and where are the proposed access points?

See attached plans.

- Any signage being proposed?

We would like to have the ability to offer Signage for Both the Self Storage Portion of the Building as well as the Co-Working/Flex Space. The Sister Storage facility is located at 1336 Kentucky, and has Channel letters that read "Sheboygan Self Storage", in 2 lines, that is 4' 9 13/16" High by 20" 9 1/4" wide. We would like to duplicate this on 2 sides of the building, on the 2nd floor between the windows, and 2 signs that promote the Co-working Space on the 3rd floor, with the colors and name of this business.



GENERAL NOTES:

1. EXISTING LOUVERS, GRILLES AND OTHER PENETRATIONS NOT NEEDED TO BE REMOVED AND PATCHED
2. ALL EXTERIOR DOORS AND WINDOWS UTILIZED IN NEW DESIGN TO BE REPLACED. OTHERS TO BE PATCHED IN
3. WALL SHEATHING TO BE REPAIRED AS NEEDED, NEW VAPOR BARRIER TO BE INSTALLED
4. ALL EXISTING SIGNAGE TO BE REMOVED
5. EXPOSED AREAS OF FOUNDATION TO BE CLEANED.
6. LANDSCAPING RESTORATION AS NEEDED



Notes & Revisions

Exterior Renovations

Kentucky Ave. Building

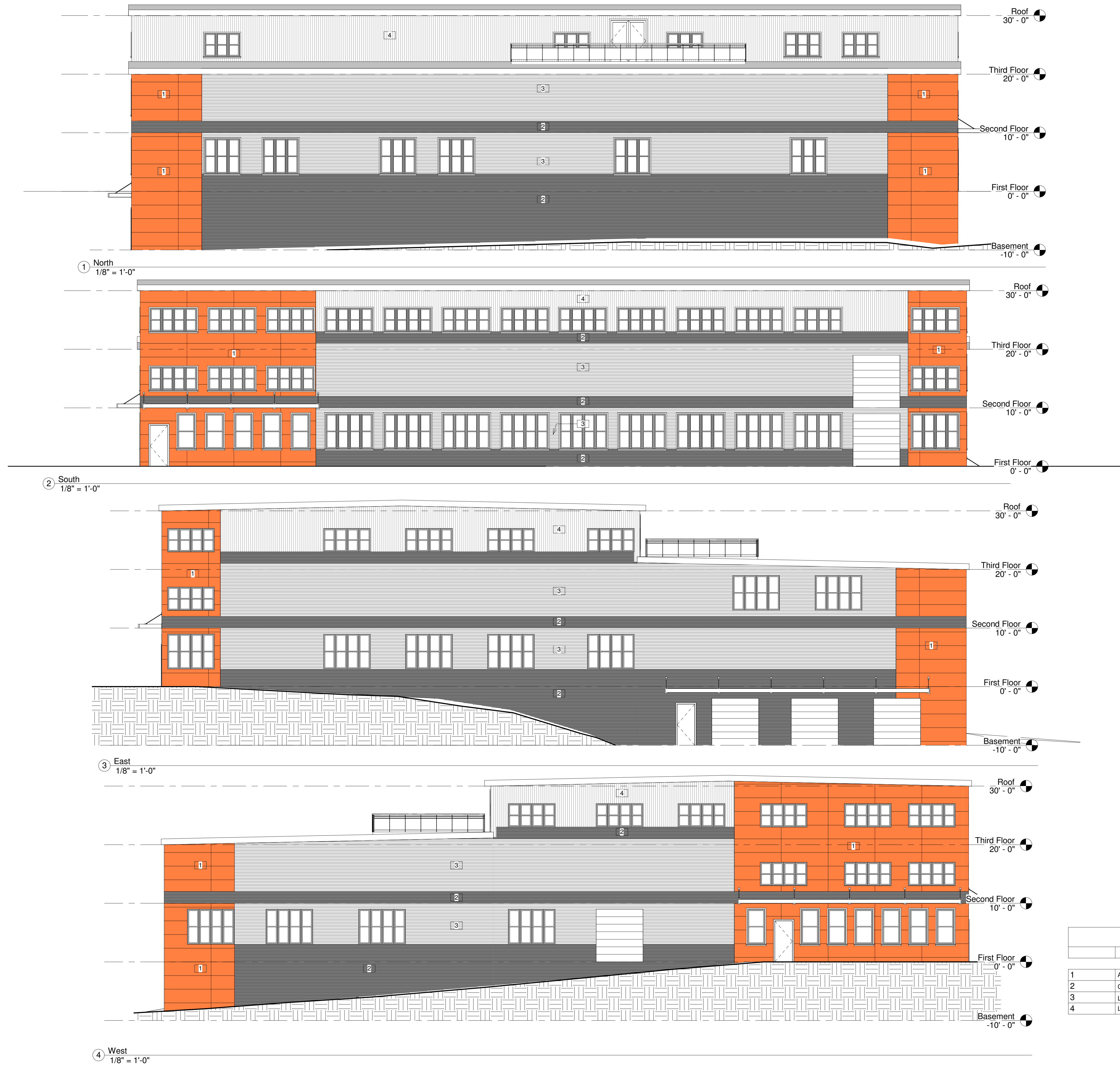
Existing Elevations

Project number
Date
Drawn by
Checked by

1/3/2019
SL
GG

A6

Scale



Notes & Revisions

Exterior Renovations
Kentucky Ave. Building

Elevations

Project number
Date
Drawn by
Checked by

1/3/2019
SL
GG

Scale 1/8" = 1'-0"

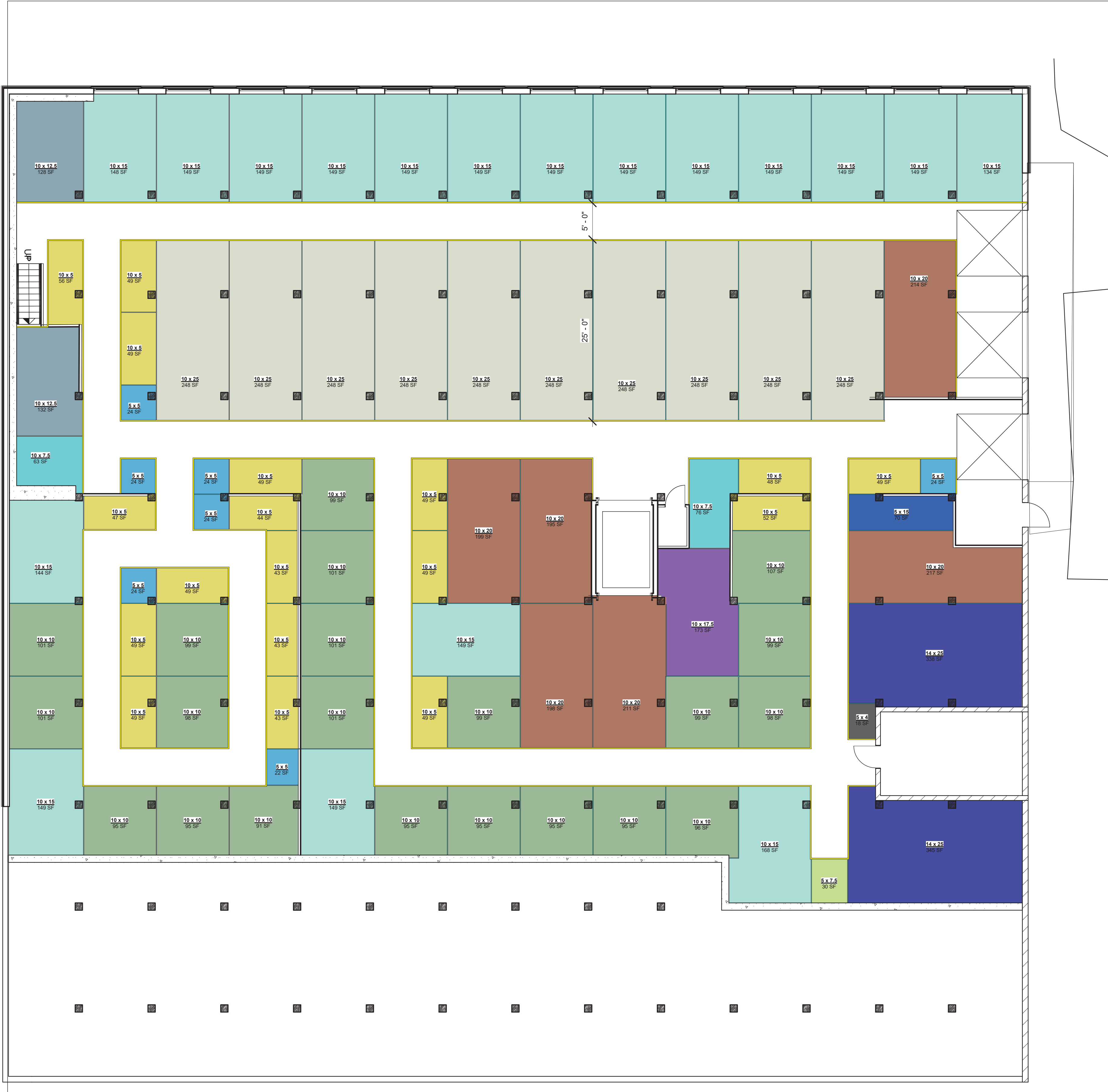
A3



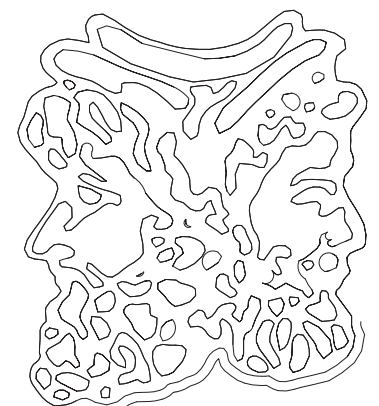








Lower Unit Mix Schedule			
Count	Name	Rent As	%
1	5 x 4	20	1%
7	5 x 5	175	8%
1	5 x 7.5	37.5	1%
1	5 x 15	75	1%
18	10 x 5	900	20%
2	10 x 7.5	150	2%
21	10 x 10	2100	23%
2	10 x 12.5	250	2%
18	10 x 15	2700	20%
1	10 x 17.5	175	1%
6	10 x 20	1200	7%
10	10 x 25	2500	11%
2	14 x 25	700	2%
90		10982.5	100%



JANUS
INTERNATIONAL

134 East Luke Road
Tempe, Georgia 30179
(866) 562-2580 Toll-Free
(770) 569-0686
www.janusintl.com

NOTE TO CLIENT, CUSTOMER or OWNER
THIS PRELIMINARY UNIT MIX LAYOUT MAY
NOT MEET SOME LOCAL OR NATIONAL
BUILDING CODES. IT IS THE CUSTOMER'S
RESPONSIBILITY TO HAVE THE LAYOUT
CHECKED BY A LICENSED
ARCHITECT/ENGINEER TO VERIFY THAT IT
MEETS ALL LOCAL CODES INCLUDING EGRESS.
UNIT SIZES ARE NOMINAL AND ACTUAL
DIMENSIONS MAY VARY DEPENDING ON
BUILDING DIMENSIONS AND OBSTRUCTIONS.

Sheboygan, WI

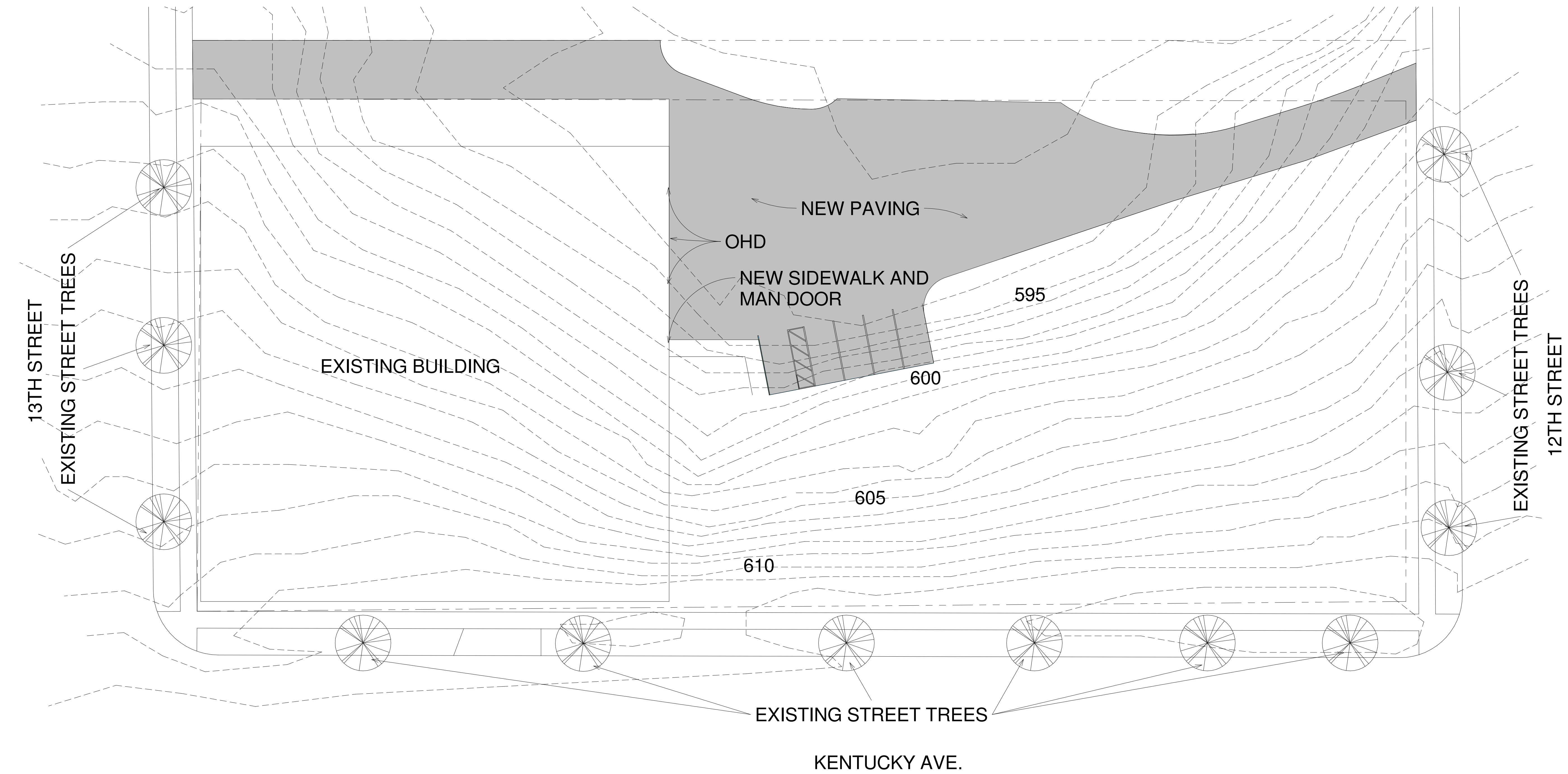
Titan Investments
Proposed Self
Storage-Option

Project #
30974

Rev #	Date
1	11.01.18

Drawn On	11-21-16
Drawn By	B. Johnson
Checked By	M. Hodges

J100
Lower Level



① Site
1/16" = 1'-0"



Notes & Revisions

Sheboygan Self
Storage
1234 Kentucky Ave.

Concept Site Plan

Project number	
Date	4/5/2021
Drawn by	SDL
Checked by	SDL

C1

Scale 1/16" = 1'-0"

Copyright © 2021 Quasius Construction, Inc. All Rights Reserved

4/5/2021 4:22:15 PM

ArcGIS Web Map



4/5/2021, 12:51:59 PM

TaxParcel

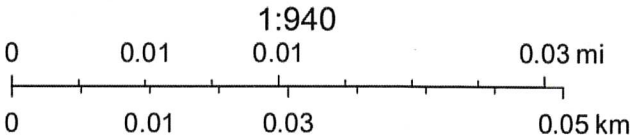
Road Centerlines

Orthos2019

Red: Band_1

Blue: Band_3

Green: Band_2



Esri Community Maps Contributors, BuildingFootprintUSA, Esri Canada, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/ NASA, USGS, EPA, NPS, US Census Bureau, USDA











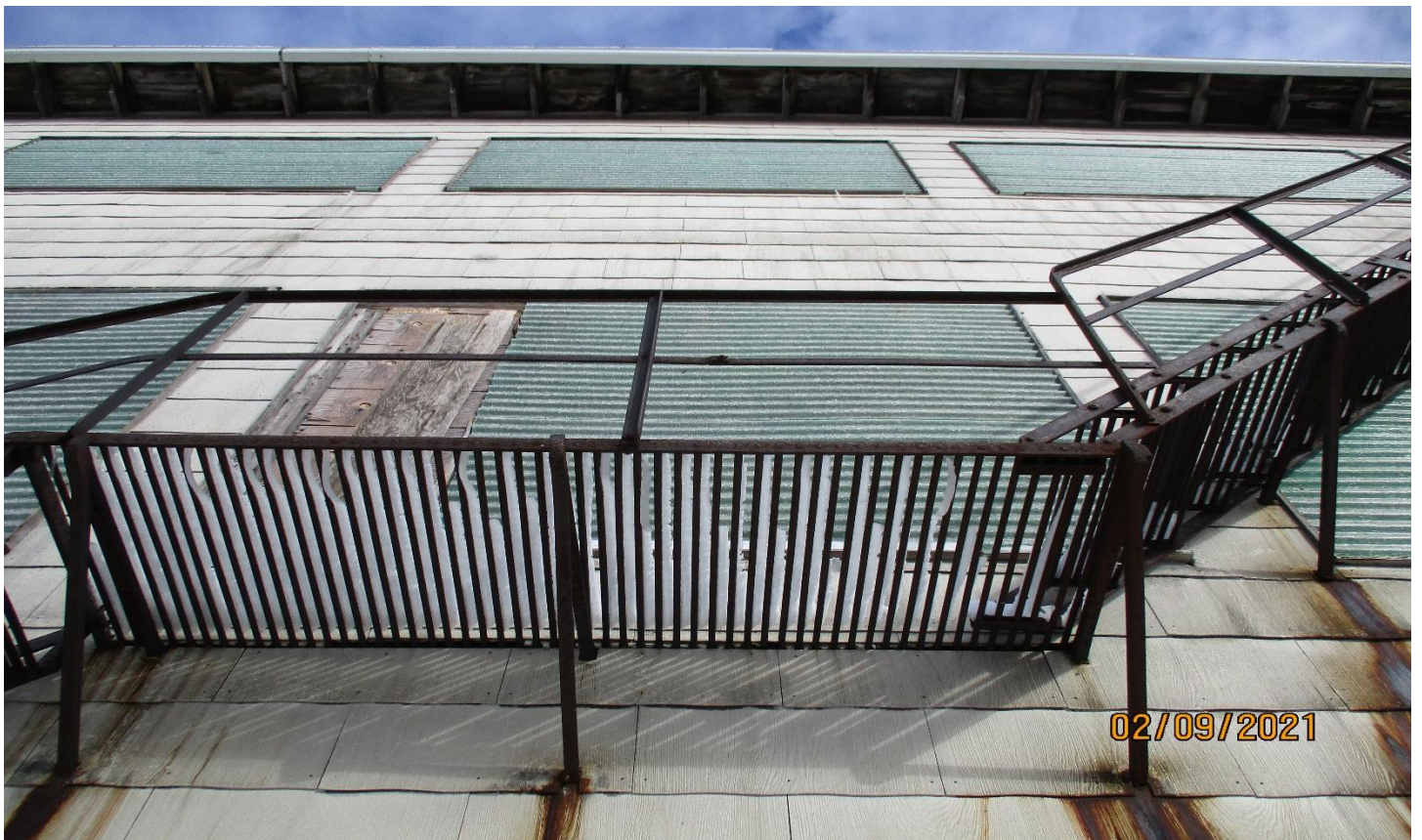
02/09/2021



02/09/2021













CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Exterior remodel of 1234 Kentucky Avenue.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: April 23, 2021

MEETING DATE: April 28, 2021

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Scott Meyers is proposing to operate mini-storage on the 1st and 3rd floors of this four (4) story building as part of the first phase of this future mixed use commercial facility at 1234 Kentucky Avenue. The applicant states:

- The proposed uses include the conversion of the vacant and unfinished interior of the building into multiple work spaces that will be comprised of self-storage/mini-storage, small office space, flexible office and conference rooms, conventional office space, virtual office space, maker space, artist studios and event space. A management office will be located on the southwest corner of the building and may offer a coffee shop to the public in lieu of a private break room. The attached drawings and floor plans will provide additional detail regarding the various spaces and locations within the building.
- The building is essentially a square, industrial building that used to house Wisconsin Woodcrafters wood working business. The building is being renovated to account for multiple small business and entrepreneurs to share open space along with private offices. The plan is to build out the self-storage units in the basement and 2nd floor, with a number of offices, coworking and shared spaces along with conference rooms on the 1st and 3rd floors (1st floor is along Kentucky Avenue).
- There will be a total of 236 self-storage units in the basement and 2nd floor levels.
- Phase one of this project will include the complete hazardous materials abatement, exterior façade renovation, interior buildout of ground floor and second floor as walkable storage units, paving of all existing gravel drives, and addition of approved

dumpster enclosure on the premises. Exterior dimensions of existing building are 141'-0" x 137'-0". No new structures proposed.

- The exterior will be completely renovated to include the removal of all existing siding, doors and windows. The roof has already been replaced and we propose the construction of a rooftop deck on the north end, accessed by a new opening and installation of large glass doors. The installation of all new windows, doors, and EIFS is depicted in the attached drawings.

Sheboygan Self Storage is proposing the following improvements to the premises:

- The existing structure at 1234 Kentucky Ave. is a timber building with exterior asbestos siding and wood windows, doors, and trim.
- Abate all hazardous materials on the exterior façade.
- Replace sheathing as needed.
- Remove and replace all existing doors and trim with new materials.
- The design intent of the new exterior skin is to coordinate with the other redevelopments along the Indiana Avenue Corridor and make the building an eye-catching and aesthetically pleasing addition to the area and be an attractive consideration for new businesses and startups in the area as well as storage for the many nearby luxury apartments and condos.
- The new horizontal metal siding, ACM panels and trim will be factory finished using Kynar 500 coatings to ensure longstanding quality of appearance.
- All new windows and doors will be selected in colors that coordinate with the new siding and trim to be installed.

STAFF COMMENTS:

This building at 1234 Kentucky Avenue has been an eyesore to the neighborhood for many years. Over the last several years, the City has had numerous contacts and has spent an inordinate amount of time and resources with the existing and previous owners regarding this building's appearance in the neighborhood.

The applicant states that converting portions of the building into mini-storage gives him the ability to generate the income necessary to complete all of the interior and exterior renovations involved in such a project.

One of the criteria for a mini-storage use in the zoning ordinance is that the "Facility shall be designed so as to minimize adverse visual impacts on nearby developments. The color, exterior materials, and orientation of proposed buildings and structures shall

complement surrounding development.” This building needs to be well designed utilizing quality materials and colors which the City of Sheboygan Architectural Review Board will need to review and approve.

The applicant understands that no occupancy permits shall be issued until such time the exterior of the building is complete. The Plan Commission should have the applicant address the proposed timetable for this exterior remodeling project to be completed by.

A couple of general comments:

- Window locations in renderings and elevations don't match – Stopping the windows right at the color/material transition does not appear to be a good solution. Appears there may be a better approach to those windows and material/color transitions.
- Location of color/material transition on west elevation seems too arbitrary. It appears you can use the accent color at all corners, and highlight the corner on the upper level and then let that vertical stripe run down the building? Whatever concept is settled on should also be applied on the East elevation.
- Applicant should give architectural consideration to how they are applying the colors and the transitions and how they interacting with windows/openings.
- In addition, there is a small accessory building which I am unsure of the use (pump house?). If the accessory building is to remain, the board should also have the applicant remodel the exterior of this building to match that of the primary building. Can work with staff on this design.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Exterior remodel of 1234 Kentucky Avenue (Amendments to previously approved plans).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: April 23, 2021

MEETING DATE: April 28, 2021

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

On April 28, 2021, the Architectural Review Board approved an exterior remodel project for the facility at 1234 Kentucky Avenue. The Architectural Review Board approved the project subject to:

1. Applicant shall run orange panels to center point between windows.
2. Two (2) canopies at the main entrance located at the southwest corner of the building shall be connected into one (1) canopy.
3. If the accessory building is to remain, the structure shall be designed similar to the primary structure in terms of design, materials, colors, etc.
4. Final elevation drawings shall be submitted to staff for review. If staff has any concerns with the final elevation drawings, the elevations can be brought back for board review.

When the applicant submitted the final elevation drawings, staff noticed a number of changes to the elevations and therefore made the decision to forward the amended drawings back to the board for consideration.

STAFF COMMENTS:

The attachments include:

- Questions staff asked the applicant about the changes to the building's elevations.
- Applicant answers to those questions addressing the proposed elevation changes.

- New building elevations (amended drawings).
- Previously approved building elevations (April 28, 2021)
- Staff report from April 28, 2021.
- Approval letter dated May 3, 2021.

ACTION REQUESTED:

If the board approves the amended elevations, staff would recommend that the applicant be required to submit colored final elevation drawings with a materials legend. If staff has any concerns with the final elevation drawings, the elevations can be brought back for board review.

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

South Elevation:

- Include missing garage door on the 2nd floor of the south elevation (see corner).
 - Garage Door on second floor changed location to match existing garage door location on the first floor. Third floor garage door can be relocated to be above the third floor garage door at the discretion of the Architectural Review Board. (See “South Elevation Photo”)
- You will also need to install windows and not a window and door in the orange section at the southeast corner of the 2nd floor of south elevation.
 - Man door installed at existing door location on second floor. (See “South Elevation Photo”)
- All the lower windows on the south elevation will be raised to the same height as the original drawings that were approved (taller windows raised closer to the horizontal band).
 - Window sizes did not change, building elevation grew once heights were field measured. First to second floor is about 13’-5”, second to third floor is about 13’-2”, and third to fourth floor is about 12’-0” and fourth floor to roof is about 10’-6”. Windows did not actually get smaller, they are the same size but once the elevations were updated from 10’-0” between floors to the aforementioned measurements, the windows only appeared to be smaller.

North Elevation:

- What happened to deck/pergola on north, east and west elevations?
 - Deck/Pergola was eliminated due to feasibility of design and cost of installation. A deck would require significant changes to the roof structure to support this patio while keeping the roof membrane intact.
- All the lower windows on the north elevation will be raised to the same height as the original drawings that were approved (taller windows raised closer to the horizontal band).
 - Window sizes did not change, building elevations grew once heights were field measured. See note from South Elevation on window sizes.
- Where is the deck door between the windows on the north elevation?
 - Deck door was eliminated with the elimination of the deck/pergola.

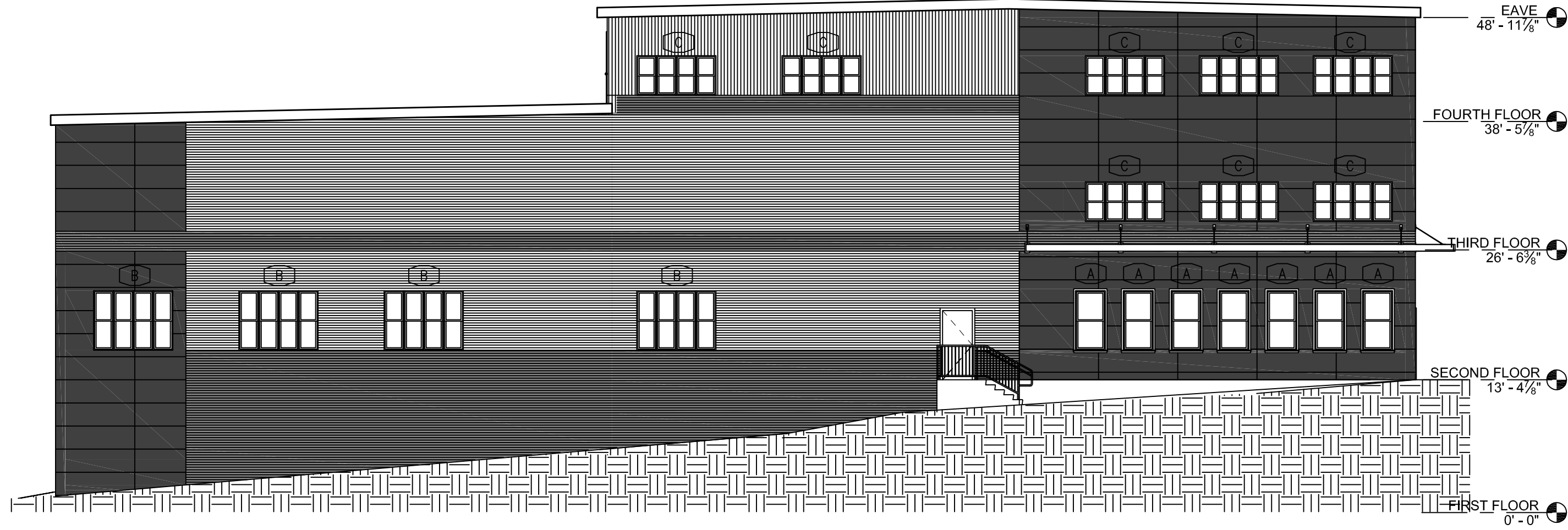
East Elevation:

- What happened to deck/pergola on north, east and west elevations?
 - Deck/Pergola was eliminated due to feasibility of design and cost of installation. A deck would require significant changes to the roof structure to support this patio while keeping the roof membrane intact.
- Need to show the metal awning above the garage doors on the east side of the building (and that awning will also be seen as a profile on the north elevation).

- Awning has been added back to drawing.
- All the lower windows on the east elevation will be raised to the same height as the original drawings that were approved (taller windows raised closer to the horizontal band).
 - Window sizes did not change, building elevations grew once heights were field measured. See note from South Elevation on window sizes.
- You are also missing a set of windows on both the lower and upper areas of this elevation (there should be 4 sets and not 3).
 - Windows were eliminated at this location since there is a masonry shaft for the stairwell and elevator inside the building at this location.

West Elevation:

- All the lower windows on the west elevation will be raised to the same height as the original drawings that were approved (taller windows raised closer to the horizontal band).
 - Window sizes did not change, building elevations grew once heights were field measured. See note from South Elevation on window sizes.
- Metal awning shall run the whole orange section and not stop short as now drawn on the west elevation (awning end at orange and grey transition)
 - Awning has been updated to run the full length of the orange section.
- Appears garage door has been removed and a new stair added is this correct?
 - Yes, garage door has been removed and new stairwell added.
- There were previously 7 double hung windows in the orange section and now there are 5 smaller windows
 - Door layout revised to accommodate 7 double hung windows.
- All the lower windows on the west elevation will be raised to the same height as the original drawings that were approved (taller windows raised closer to the horizontal awning – orange section of the building)).
 - Window sizes did not change, building elevations grew once heights were field measured. See note from South Elevation on window sizes.
- Missing a third set of four (4) windows on the top grey section of the building.
 - Window was eliminated at this location since there is a masonry shaft for the stairwell and elevator inside the building at this location.
- Missing two (2) sets of four windows in the orange section of the building.
 - Windows have been added back to the drawing.
- What happened to deck/pergola on north, east and west elevations?
 - Deck/Pergola was eliminated due to feasibility of design and cost of installation. A deck would require significant changes to the roof structure to support this patio while keeping the roof membrane intact.



WEST ELEVATION

SCALE: 3/32"=1'-0"



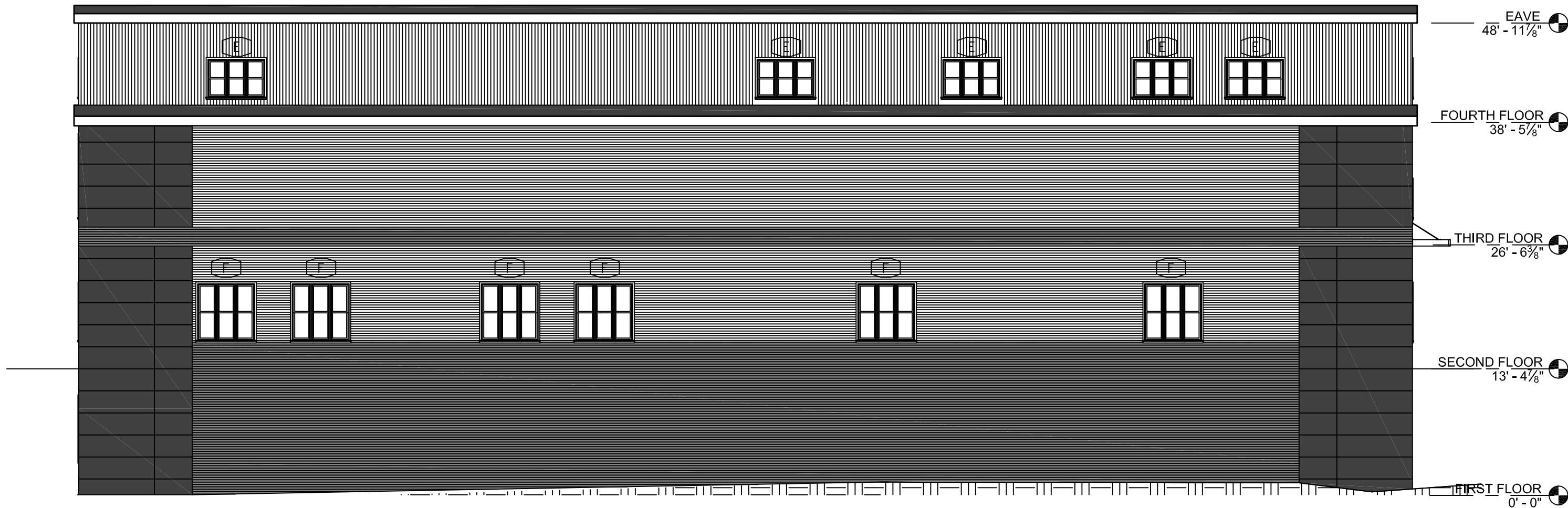
EAST ELEVATION

SCALE: 3/32"=1'-0"



SOUTH ELEVATION

SCALE: 3/32"=1'-0"



NORTH ELEVATION

SCALE: 3/32"=1'-0"

ISSUED FOR CONSTRUCTION



ISSUE NO	REVISIONS	ISSUE DATE
	MISCELLANEOUS REVISIONS 12-29-2021	
A	MISCELLANEOUS REVISIONS 02-03-2022	
3	MISCELLANEOUS REVISIONS 03-07-2022	

PROPOSED ALTERATIONS FOR:
SHEBOYGAN SELF STORAGE
SH1234 KENTUCKY AVE.
SHEBOYGAN, WI. 53081

21071
OCTOBER 28, 2021
T. BAUMGARTNER
C. DUESCHER

Project number
Date
Drawn by
Checked by

A2.0









CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Exterior Remodel for 8th Street Ale House and Banquet Facility located at 1124 and 1132 N. 8th Street.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 11, 2022

MEETING DATE: March 14, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Legacy Architecture is proposing exterior renovations for 8th Street Ale House and Banquet Facility located at 1124 and 1132 N. 8th Street. The proposed façade restoration/renovation will be completed in two (2) phases. The Phase 1 will be the existing banquet hall at 1124 N. 8th Street and phase 2 will be the bar/restaurant at 1132 N. 8th Street. In phase 1, the banquet hall will be restored to better match its historic appearance. In phase 2, the bar/restaurant will be renovated to blend with the surrounding masonry buildings more closely.

The applicant states the following about the Banquet Hall (Phase 1):

- The banquet building's N. 8th Street facade is painted brick with stone accents with a non-historic storefront. The storefront is a mix of aluminum storefront and EIFS. Based on historic photos and a small scraping of the existing brick, we believe the brick is a dark red/brown. There are two brick "frames" accentuating the stepped parapet with stone accent corners. We believe the coping is a matching stone.
- The banquet building's brick and stone façade will have the paint removed, and the historic masonry restored.
- A new storefront will be installed to replicate the historic storefront.
- The storefront windows will sit on a new knee wall with a brick and glass block veneer.
- We propose a new fixed, striped awning to stretch across the entire facade, replicating the historic awning.
- Also, a new neon sign is proposed in the location of the historic neon sign.

The applicant states the following about the Bar/Restaurant (Phase 2):

- The bar/restaurant has been clad in EIFS for over 20 years and has a small portion of painted CMU at the rear of the building. The façade consists of a main entrance on N. 8th Street with a gabled roof above it and a side entrance on St. Clair Avenue. There are two (2) tall piers with flagpoles that extend above the roofline on each end of the N. 8th Street facade. On the St. Clair Avenue facade, there are five (5) of these tall piers with flagpoles, equally spaced apart, over 3/5^{ths} of the façade. There are oversized storefront cornices with dental molding that span between the piers above the windows. There is an EIFS base beneath the windows of large, stone-like panels.
- The bar/restaurant will have the roof over the entrance removed along with all the tall piers and flagpoles.
- In place of the piers, new pilasters will be installed which will be sized in 8" increments to match a standard brick size.
- The EIFS will be refinished in a running or stretcher bond to match a standard brick size and coursing pattern which will blend with its surrounding better than the existing stucco-like finish.
- To coordinate with the banquet hall, brick "frames" accentuating the new stepped parapet will be added above the windows and entrances.
- Stone-like elements will also be borrowed from the banquet hall to accentuate the bar/restaurant at the base, windowsills, pilaster capitals, and cornice.

STAFF COMMENTS:

As the architectural review board is aware, downtown 8th Street does have design guidelines. The Board will need to determine if the architecture as proposed is meeting the intent of the guidelines. Some of the criteria the board will need to review include:

- New buildings shall use contemporary interpretations of traditional building styles.
- Contemporary designs draw upon the fundamental similarities among historic buildings without copying them.
- Facades shall be articulated to express vertical rhythm related to structural columns and bays.
- Façade materials shall be horizontally oriented.
- Materials for buildings fronting 8th Street shall be authentic and shall not mimic other materials (e.g., materials with faux wood grain are prohibited). High-quality, long-lasting materials such as fiber cement siding may be used for facades of buildings that do not front along 8th Street.

- Concrete block (smooth or decorative split-face), stucco EIFS (smooth, natural, or textured synthetic), metal, plywood, pressboard, unfinished precast concrete, diagonal siding, board-and-batten surfaces, and poured-in-place concrete shall not be used on building facades or walls that are visible from streets, driveways, sidewalks, alleys, or parking areas.

The applicant is proposing to remove existing EIFS and apply new EIFS on both the 8th Street and St Clair sides of the building. Per the guidelines above:

“EIFS shall not be used on building facades or walls that are visible from streets, driveways, sidewalks, alleys, or parking areas.”

Thus, the board should have the applicant explain why EIFS is proposed and how the applicant believes the intent of the guidelines are being met?

Other comments and questions to consider include:

- The Board may want to have the applicant discuss the location of mechanicals and if they are properly screened.
- The City sign ordinance does not permit interior lit cabinet signs so the proposed neon sign would need an exception/variance reviewed by the City Plan Commission through the conditional use and exception process.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Jason Labouve, Harbor Café, LLC

ADDRESS: 340/342 South Pier Drive Sheboygan, WI 53081

E-MAIL ADDRESS: jason@labouve.net

PHONE: 920-912-8787

FAX NO.: N/A

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Harbor Cafe

ADDRESS OF PROPERTY AFFECTED: 340/342 South Pier Drive

NEW BUILDING: _____ ADDITION: _____ REMODELING: _____ x _____

DESCRIPTION OF PROPOSED PROJECT: Build new deck on the north side of the existing building to add additional outdoor seating capacity for the newly constructed café. The deck will be extremely low profile and make little impact on the overall aesthetic of the building. We will be using high end materials for the deck and improving the landscaping design/plantings with regard to the layout of the new deck.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: The existing exterior of the building utilizes a set of materials that follows the covenants of the south pier district. The exterior of the building utilizes cedar siding, a standing seam metal roof and aluminum clad wood windows.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: The proposed design of the deck is intended to closely match and coordinate with the existing materials that are utilized on the building. The new materials will follow the design requirements of the south pier district.

3. NAMES AND ADDRESSES

OWNER OF SITE: Jason Labouve

ADDRESS: 342 South Pier Drive Sheboygan, WI 53081

EMAIL: jason@labouve.net

PHONE: 920-912-8787

FAX NO.: N/A

ARCHITECT: _____

ADDRESS: _____

EMAIL ADDRESS: _____

PHONE: () _____ FAX NO.: () _____

CONTRACTOR: Quasius Construction, Inc.

ADDRESS: 1202A North 8th Street Sheboygan, WI 53081

EMAIL: sleroy@quasius.com

PHONE: 920-457-5585

FAX NO.: 920-457-1045

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

APPLICANT'S SIGNATURE

SAM LEROY

PRINT ABOVE NAME

DATE

1/13/2022

Harbor Café, LLC
342 South Pier Drive
Sheboygan, WI 53081

November 23, 2021

Mayor Ryan Sorenson
City of Sheboygan Common Council
City Hall
828 Center Avenue, Suite 300
Sheboygan, WI 53081

Dear Mayor Sorenson and the City of Sheboygan Common Council,

Thank you for approving the conditional use of my property located at 342 South Pier Drive for the establishment and operation of Harbor Café, LLC, an independent coffeehouse café.

I am writing to request your consideration for an encroachment to build an outdoor seating deck. I believe one reason Sheboygan is such a special place is the beautiful atmosphere along Lake Michigan and the Sheboygan River surrounding the South Pier District. I'm grateful to have the opportunity to open an establishment in the heart of this environment and would love to share it with all patrons and passersby. In order to fully appreciate the location, I would like to ask the Mayor's Office and the Common Council for permission and approval to build an outdoor seating deck on the north side of the 342 South Pier Drive property along the Sheboygan River.

This deck would give guests of Harbor Café scenic views and full appreciation of many significant landmarks in Sheboygan, including the Sheboygan River, the North Pier Lighthouse, the Harbor Centre Marina, the US Coast Guard Station, the Courthouse, and a unique panoramic view of the entire Downtown Sheboygan skyline, to name a few.

The deck is being designed and would be constructed by Quasius Construction. Attached you will find supporting documents of a rendering and vision of our plans.

Thank you for your time and consideration.

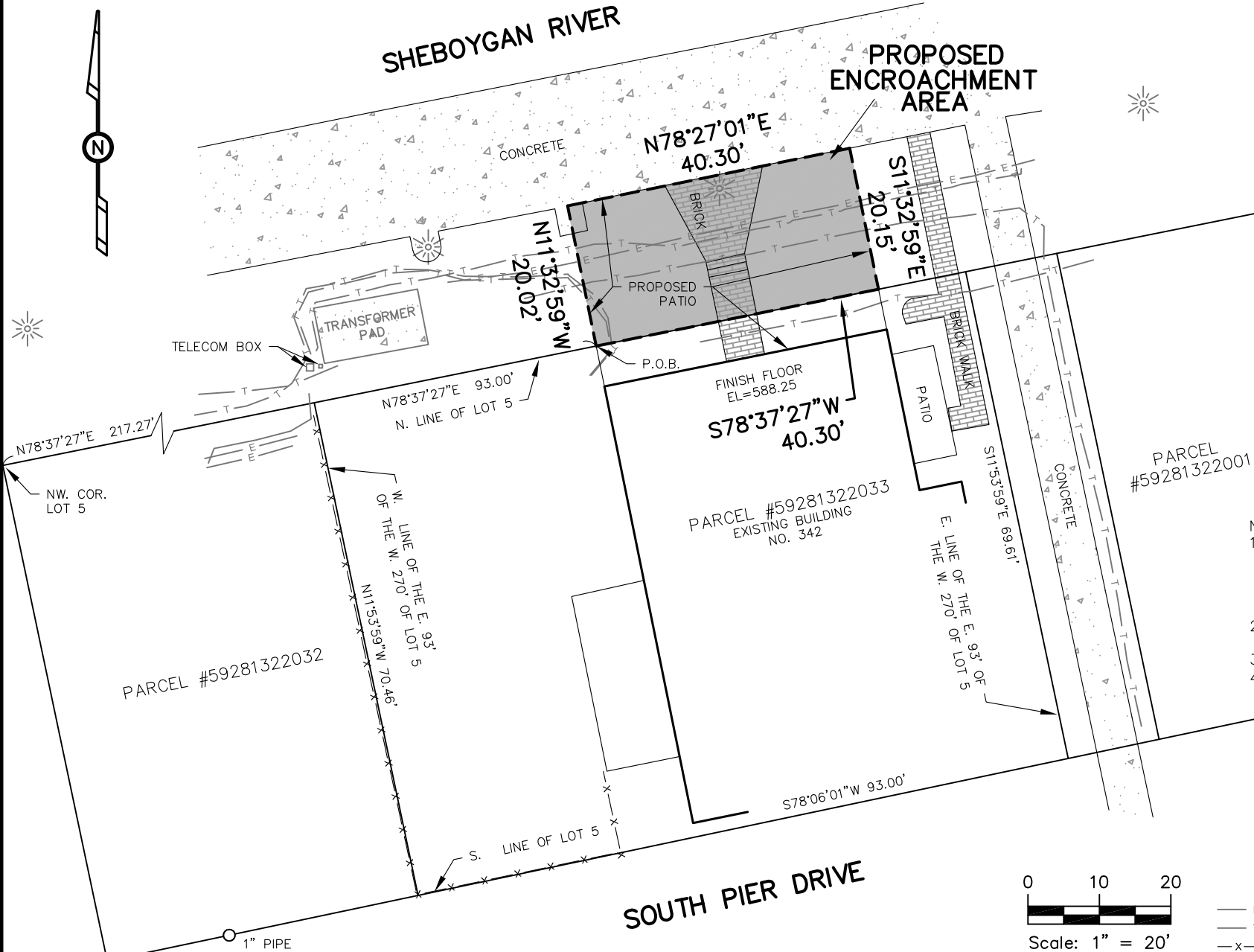
Sincerely,

A handwritten signature in black ink, appearing to read 'Jason LaBouve', with a stylized, flowing script.

Jason LaBouve
Harbor Café, LLC
920-912-8787
jason@labouve.net

ENCROACHMENT EXHIBIT

FOR: Quasius Construction
East 93' of the West 270' of Lot 5, South Pier Subdivision, Part of the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin.



Legal Description of Encroachment Area

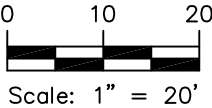
Part of Lot 5 of South Pier Subdivision, located in the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin described as follows:

Commencing at the Northwest Corner of Lot 5 of said Subdivision; thence N78°37'27"E 217.27 feet along the North line of said Lot 5 to the POINT OF BEGINNING of this description; thence N11°32'59"W 20.02 feet; thence N78°27'01"E 40.30 feet; thence S11°32'59"E 20.15 feet to the North line of said Lot 5; thence S78°37'27"W 40.30 feet along said North line to the point of beginning. This described portion contains 809 square feet or 0.019 acres.

- NOTES:
1. UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS HOTLINE AND SHOULD NOT BE INTERPRETED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.
 2. PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.
 3. BEARINGS ARE BASED ON SHEBOYGAN COUNTY COORDINATE SYSTEM.
 4. ELEVATIONS ARE NAVD88(GEOID12B).

LEGEND

- County Monument
- Iron Stake Found
- Iron Stake Set
- Light Pole
- Electric Line
- Telecom Line
- Fence

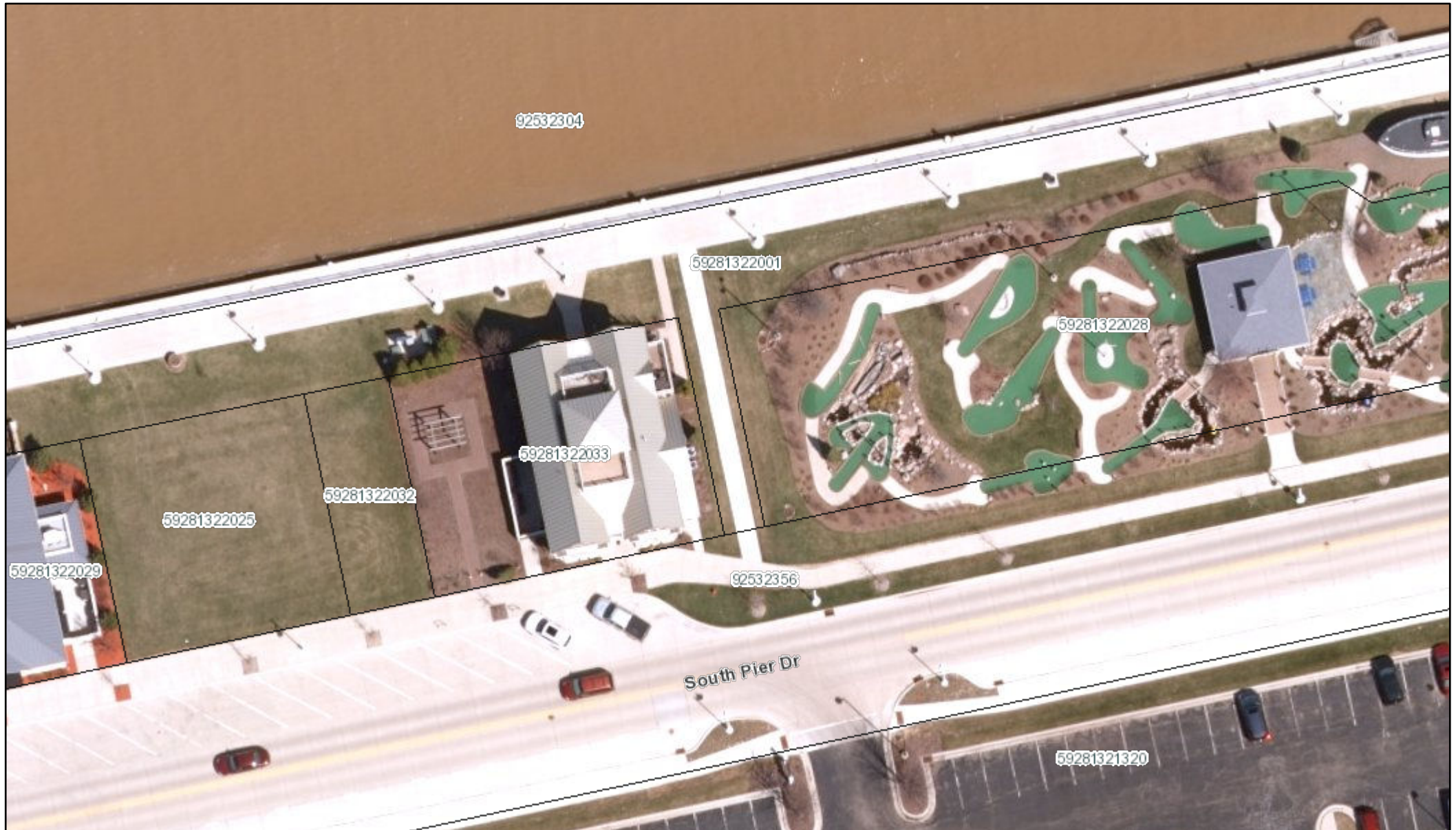


941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com

FILE No.: 2022014 DATE: 2/8/2022 PAGE: 1 OF 1

ArcGIS Web Map



8/16/2021, 12:35:52 PM

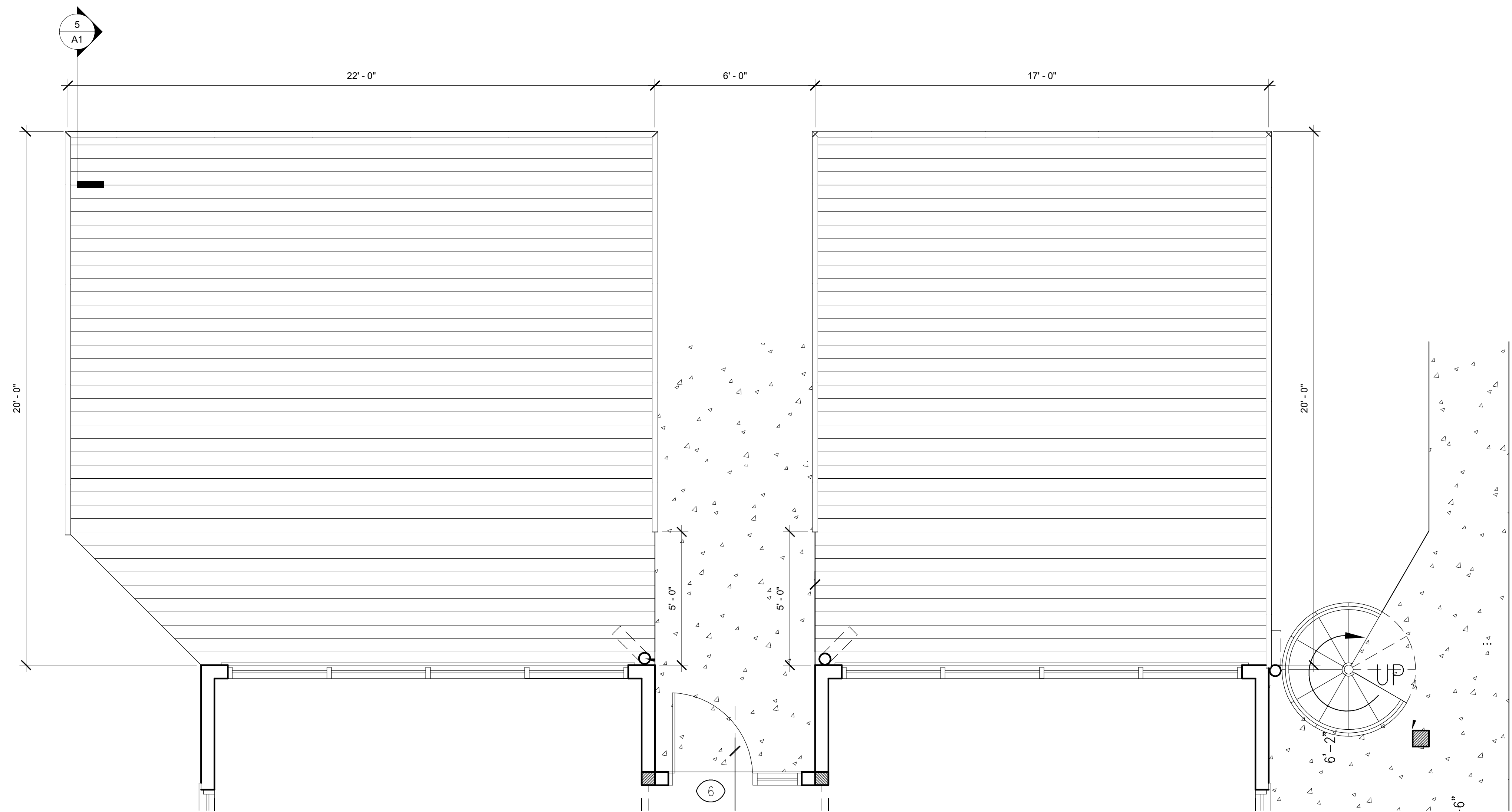
2021 TaxParcel Orthos2019
Road Centerlines Red: Band_1 Blue: Band_3
Green: Band_2

1:688
0 0 0.01 0.02 mi
0 0.01 0.01 0.02 km

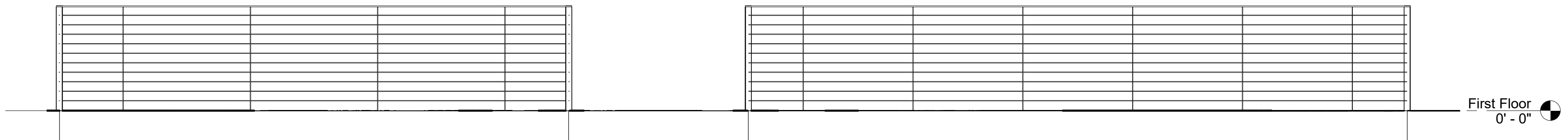
Esri Community Maps Contributors, BuildingFootprintUSA, Esri Canada, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

Web AppBuilder for ArcGIS

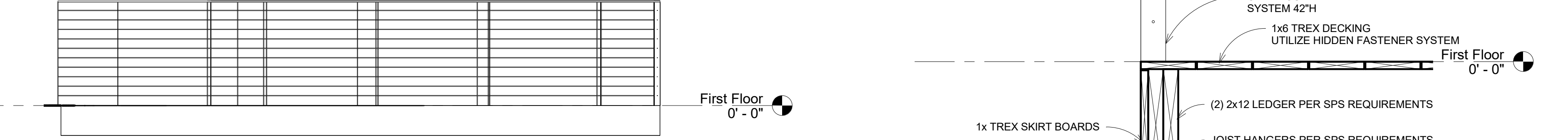
Esri Community Maps Contributors, BuildingFootprintUSA, Esri Canada, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA | Esri, Inc., City of Naperville, Illinois |



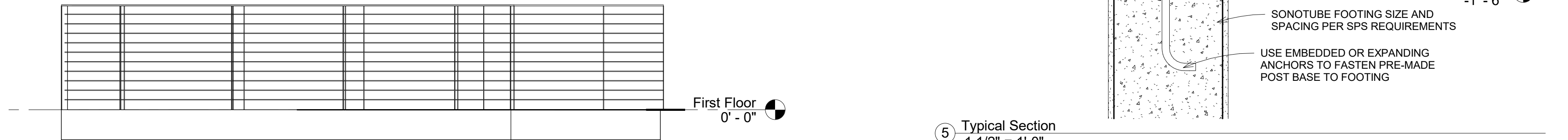
1 First Floor
3/8" = 1'-0"



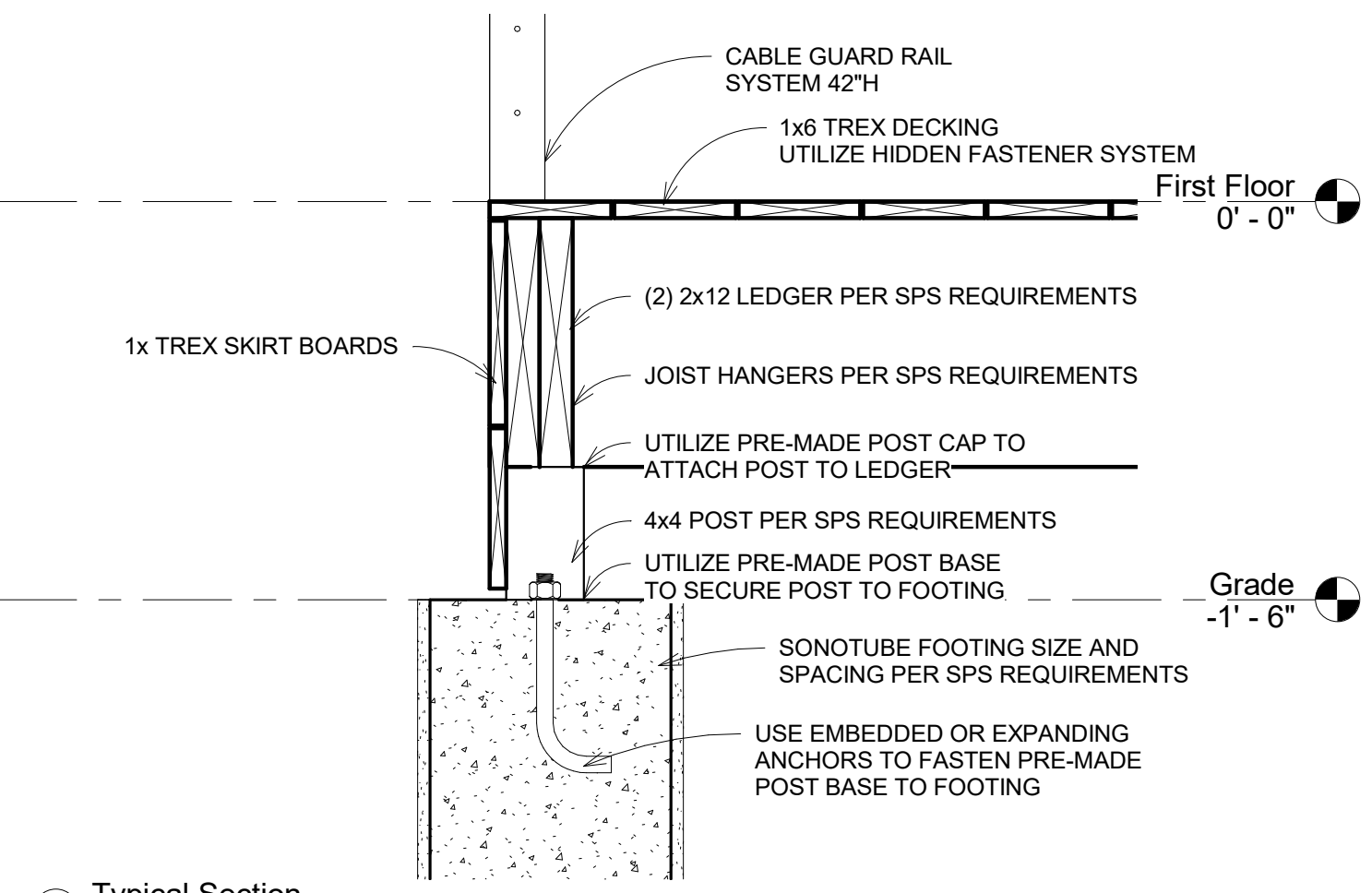
2 North
3/8" = 1'-0"



3 East
3/8" = 1'-0"



4 West
3/8" = 1'-0"



5 Typical Section
1 1/2" = 1'-0"

- GENERAL NOTES:**
1. DECK IS TO BE CONSTRUCTED IN ACCORDANCE WITH STATE OF WISCONSIN SAFETETY AND PROFESSIONAL SERVICES CODES DETAILING DECK CONSTRUCTION REQUIREMENTS
 2. LANDSCAPING ELEMENTS IN ACCORDANCE WITH CITY OF SHEBOYGAN ORDINANCE
 3. EXISTING CEMENT WALK TO REMAIN
 4. ENCROACHMENT ON PUBLIC R.O.W. IS DETAILED ON THE SUBMITTED SURVEY DOCUMENTS



Notes & Revisions

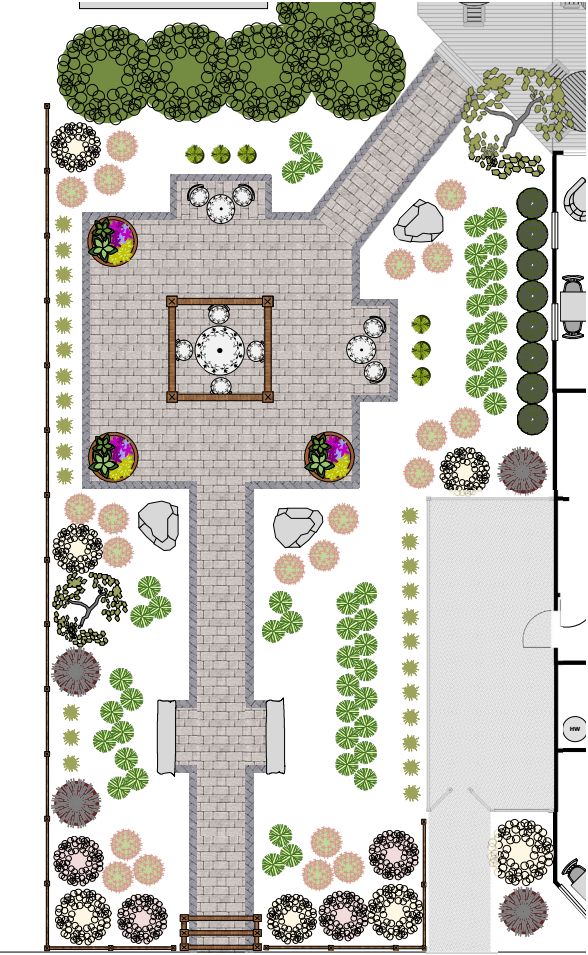
Harbor Cafe
Exterior Improvements

Misc. Views

Project number
Date
Drawn by
Checked by
SDL
SDL

A1
Scale As indicated

EXISTING PHOTOS + WEST BUILDING PLAN















LIGHTING & FINISH
SPECIFICATIONS + STYLE INSPIRATION



DECK FLOOR
Spiced Rum . 5.5” Width
Trex Brand - Enhance Collection
Composite Wood



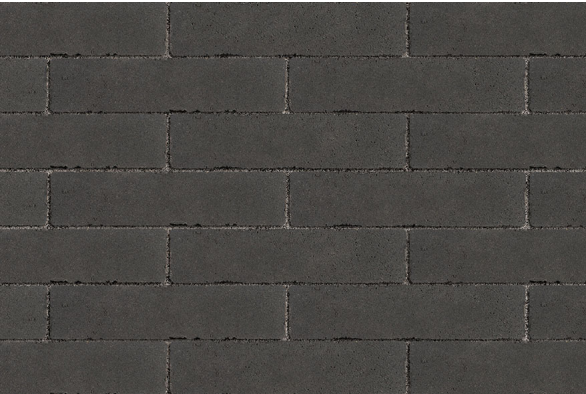
DECK SKIRTING
White Horizontal Paneling



EXTERIOR WALL SCONCE
Gooseneck Barn Light Warehouse
Outdoor Wall Sconce - HL-A Arm
17” Dia Shade x 11”H, White Enamel
Lumens.com (qty x 4 total)



RAILING STYLE INSPIRATION
Stainless Steel Cable Rail System +
Red Wood or Composite Railing



West Building Patio Pavers
Canvas: Cocoa Brown
Board: Dark Charcoal
Unilock Brand

FURNITURE
SPECIFICATIONS



LOUNGE CHAIR
Modern Adirondack Chair
in Slate Gray, 29.25 "W x 32.13"D x 34.68"H
Polywood.com \$249. each (qty x 12 total)



FIRE TABLE
Adara 49"w 31"d 15"h Outdoor Fire Table
in Graphite Metal Finsh
Room & Board, \$2,899. ea (qty x 2)
*Avaiable in propane or natural gas style



DINING TABLE
Malibu 36" Metal Square Dining Table, Black
36" x 36" x 30"H, \$699 ea (qty x 3)
Pottery Barn SKU# 3193011



DINING TABLE UMBRELLA
Round Market Umbrella 6' Dia
Heather Gray Sunbrella Fabric
\$429. ea (qty x 3)
Pottery Barn SKU# 9496877



BISTRO TABLE
Santa Ana Teak & Metal Round Bistro Table
30" dia, 30" h, \$699 ea (qty x 3)
Pottery Barn SKU# 3193011



DINING & BISTRO TABLE CHAIRS
Durango Side Chair, Set of 4, White
Pottery Barn SKU# 5582605
(qty x 5 sets of 4)



SIDE TABLES
Heaton Natural Teak Wood
Outdoor Side Table 18" W x 18" D x 18"H
The Home Depot SKU#1006787081
(qty x 7 total)

Show search results for 340...



92532304



± -87.706 43.749 Degrees



CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new deck at Harbor Cafe located at 340 S. Pier Drive.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 11, 2022

MEETING DATE: March 14, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Harbor Cafe is proposing to construct a new deck at 340 S. Pier Drive. The applicant states the following about the proposal:

- Jason LaBouve, owner of Harbor Café, is requesting to build an outdoor seating deck. One reason Sheboygan is such a special place is the beautiful atmosphere along Lake Michigan and the Sheboygan River surrounding the South Pier District. I'm grateful to have the opportunity to open an establishment in the heart of this environment and would love to share it with all patrons and passersby. In order to fully appreciate the location, I would like to build an outdoor seating deck on the north side of the 340/342 South Pier Drive property along the Sheboygan River.
- This deck would give guests of Harbor Café scenic views and full appreciation of many significant landmarks in Sheboygan, including the Sheboygan River, the North Pier Lighthouse, the Harbor Centre Marina, the US Coast Guard Station, the Courthouse, and a unique panoramic view of the entire Downtown Sheboygan skyline.

The applicant states the following about the proposed deck:

- The deck is being designed and constructed by Quasius Construction who will build the new deck on the north side of the existing building to add additional outdoor seating capacity for the newly constructed café. We will be using high end materials for the deck and improving the landscaping design/plantings with regard to the layout of the new deck.
- The exterior of the building utilizes cedar siding, a standing seam metal roof and aluminum clad wood windows. The proposed deck design is intended to closely match and coordinate with the existing materials that are utilized on the building.

- Deck floor is proposed to be Spiced Rum composite wood, 5.5 inches wide.
- Deck skirting is proposed to be white horizontal paneling.
- There will be a stainless steel cable railing system with a redwood or composite railing.

STAFF COMMENTS:

In September of 2021, the Plan Commission approved a conditional use permit so owner Jason LaBouve could open the Harbor Café. At that time, the owner discussed his future plans to request an encroachment to build a new outdoor deck.

Similar encroachments have been granted permitting owners to utilize the Sheboygan Riverfront Promenade for outdoor deck/patio purposes to take advantage of the amazing views of the Sheboygan River and Lake Michigan for these S. Pier Shanty structures.

In addition to the deck, it appears Harbor Café is also proposing a nice new outdoor patio and landscaping in the area to the west of the shanty facility. In their conditional use permit application, the applicant stated the following about improving this area:

The space at 340 South Pier Drive was once occupied by Restoration Gardens and they continue to do an amazing job managing the landscaping. There is a beautiful garden area directly to the west of the building and in the future, I envision the possibility of using this space to create a seasonally themed garden for people to walk through and enjoy, which would include patriotic themes for the summer, tasteful harvest/Halloween theme for the fall, and a sophisticated Christmas theme for the winter.

These projects will certainly enhance the aesthetics of the business and the S. Pier District.

Staff would just like the board to verify that the proposal matches and maintains the overall look and feel of the existing Harbor Cafe Shanty.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Jason Labouve, Harbor Café, LLC

ADDRESS: 340/342 South Pier Drive Sheboygan, WI 53081

E-MAIL ADDRESS: jason@labouve.net

PHONE: 920-912-8787

FAX NO.: N/A

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Harbor Cafe

ADDRESS OF PROPERTY AFFECTED: 340/342 South Pier Drive

NEW BUILDING: _____ ADDITION: _____ REMODELING: _____ x _____

DESCRIPTION OF PROPOSED PROJECT: Build new deck on the north side of the existing building to add additional outdoor seating capacity for the newly constructed café. The deck will be extremely low profile and make little impact on the overall aesthetic of the building. We will be using high end materials for the deck and improving the landscaping design/plantings with regard to the layout of the new deck.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: The existing exterior of the building utilizes a set of materials that follows the covenants of the south pier district. The exterior of the building utilizes cedar siding, a standing seam metal roof and aluminum clad wood windows.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: The proposed design of the deck is intended to closely match and coordinate with the existing materials that are utilized on the building. The new materials will follow the design requirements of the south pier district.

3. NAMES AND ADDRESSES

OWNER OF SITE: Jason Labouve

ADDRESS: 342 South Pier Drive Sheboygan, WI 53081

EMAIL: jason@labouve.net

PHONE: 920-912-8787

FAX NO.: N/A

ARCHITECT: _____

ADDRESS: _____

EMAIL ADDRESS: _____

PHONE: () _____ FAX NO.: () _____

CONTRACTOR: Quasius Construction, Inc.

ADDRESS: 1202A North 8th Street Sheboygan, WI 53081

EMAIL: sleroy@quasius.com

PHONE: 920-457-5585

FAX NO.: 920-457-1045

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

APPLICANT'S SIGNATURE

SAM LEROY

PRINT ABOVE NAME

DATE

1/13/2022

Harbor Café, LLC
342 South Pier Drive
Sheboygan, WI 53081

November 23, 2021

Mayor Ryan Sorenson
City of Sheboygan Common Council
City Hall
828 Center Avenue, Suite 300
Sheboygan, WI 53081

Dear Mayor Sorenson and the City of Sheboygan Common Council,

Thank you for approving the conditional use of my property located at 342 South Pier Drive for the establishment and operation of Harbor Café, LLC, an independent coffeehouse café.

I am writing to request your consideration for an encroachment to build an outdoor seating deck. I believe one reason Sheboygan is such a special place is the beautiful atmosphere along Lake Michigan and the Sheboygan River surrounding the South Pier District. I'm grateful to have the opportunity to open an establishment in the heart of this environment and would love to share it with all patrons and passersby. In order to fully appreciate the location, I would like to ask the Mayor's Office and the Common Council for permission and approval to build an outdoor seating deck on the north side of the 342 South Pier Drive property along the Sheboygan River.

This deck would give guests of Harbor Café scenic views and full appreciation of many significant landmarks in Sheboygan, including the Sheboygan River, the North Pier Lighthouse, the Harbor Centre Marina, the US Coast Guard Station, the Courthouse, and a unique panoramic view of the entire Downtown Sheboygan skyline, to name a few.

The deck is being designed and would be constructed by Quasius Construction. Attached you will find supporting documents of a rendering and vision of our plans.

Thank you for your time and consideration.

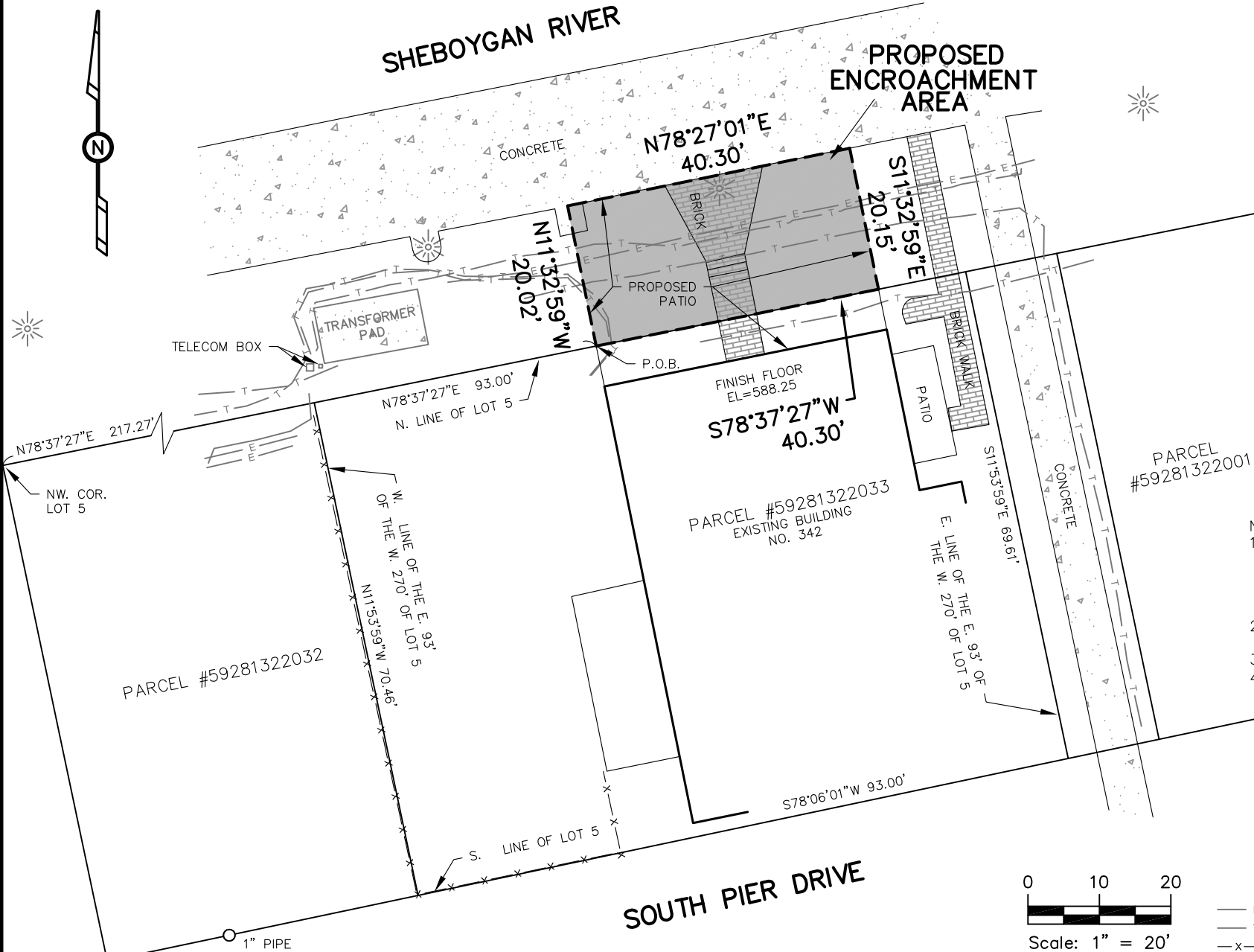
Sincerely,



Jason LaBouve
Harbor Café, LLC
920-912-8787
jason@labouve.net

ENCROACHMENT EXHIBIT

FOR: Quasius Construction
East 93' of the West 270' of Lot 5, South Pier Subdivision, Part of the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin.



Legal Description of Encroachment Area

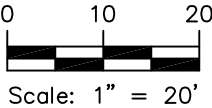
Part of Lot 5 of South Pier Subdivision, located in the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin described as follows:

Commencing at the Northwest Corner of Lot 5 of said Subdivision; thence N78°37'27"E 217.27 feet along the North line of said Lot 5 to the POINT OF BEGINNING of this description; thence N11°32'59"W 20.02 feet; thence N78°27'01"E 40.30 feet; thence S11°32'59"E 20.15 feet to the North line of said Lot 5; thence S78°37'27"W 40.30 feet along said North line to the point of beginning. This described portion contains 809 square feet or 0.019 acres.

- NOTES:
1. UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS HOTLINE AND SHOULD NOT BE INTERPRETED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.
 2. PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.
 3. BEARINGS ARE BASED ON SHEBOYGAN COUNTY COORDINATE SYSTEM.
 4. ELEVATIONS ARE NAVD88(GEOID12B).

LEGEND

- ⊙ = County Monument
- = Iron Stake Found
- = Iron Stake Set
- ☼ = Light Pole
- E— = Electric Line
- T— = Telecom Line
- x—x— = Fence

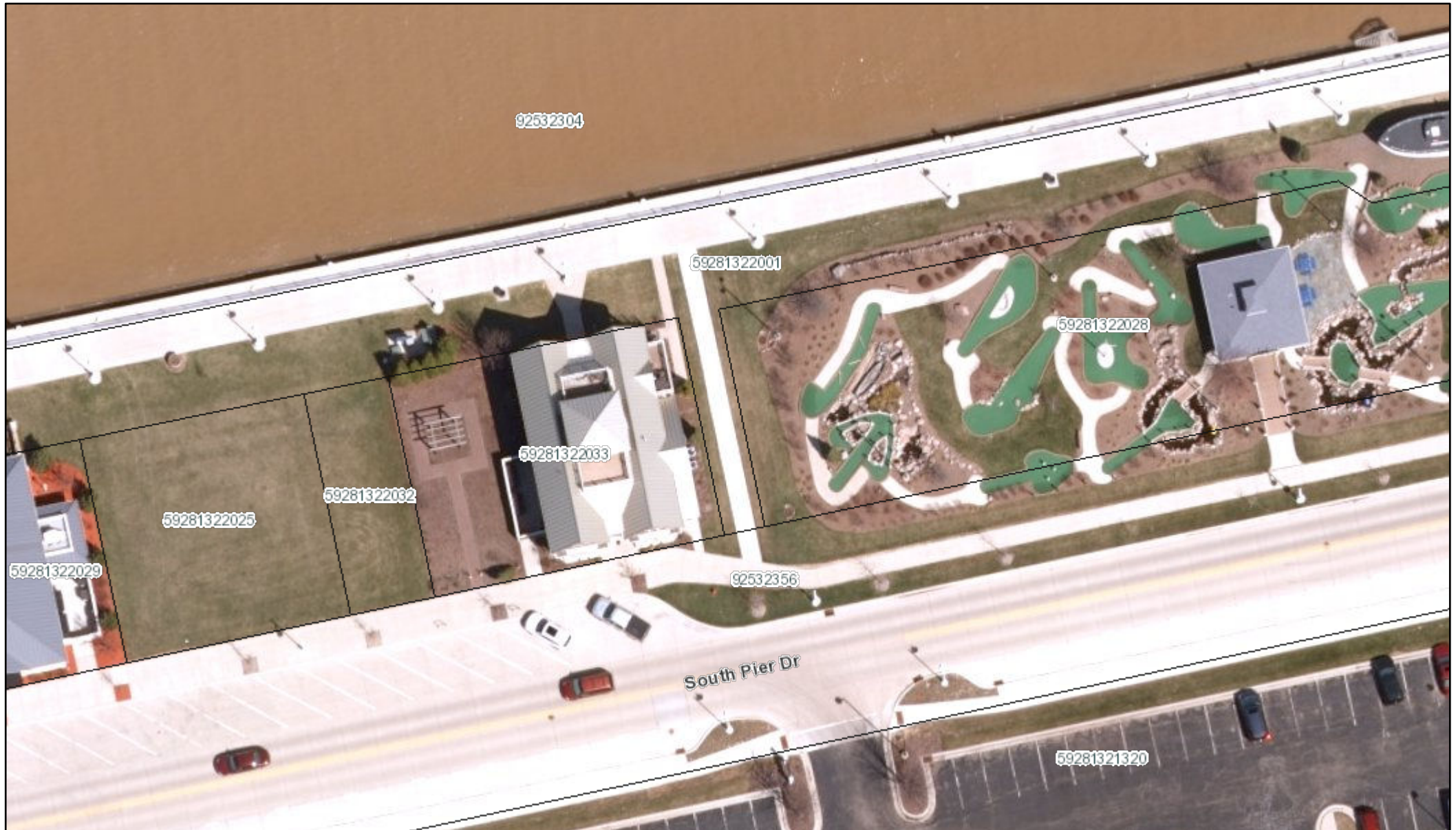


941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com

FILE No.: 2022014 DATE: 2/8/2022 PAGE: 1 OF 1

ArcGIS Web Map



8/16/2021, 12:35:52 PM

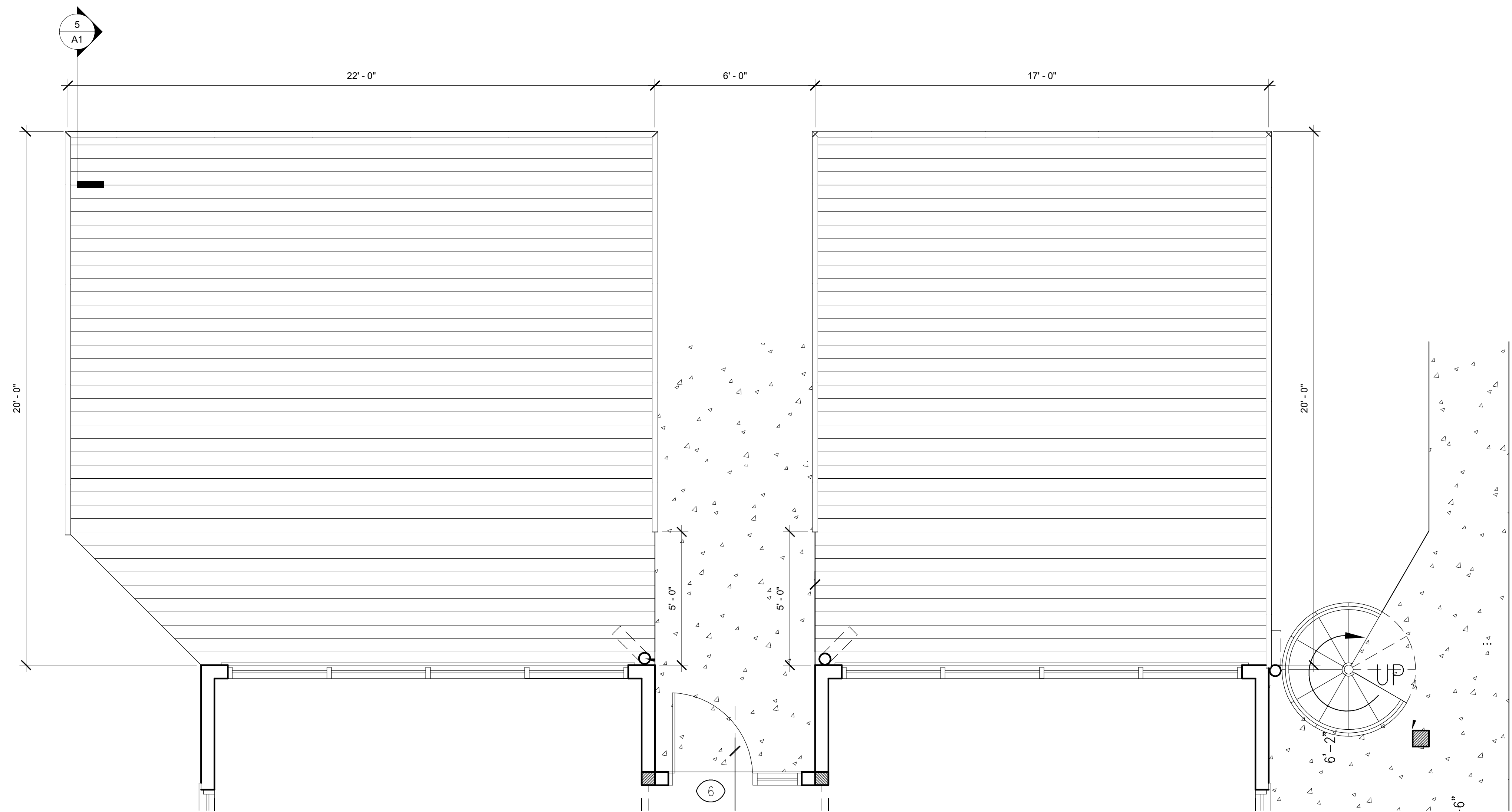
2021 TaxParcel Orthos2019
Road Centerlines Red: Band_1 Blue: Band_3
Green: Band_2

1:688
0 0 0.01 0.02 mi
0 0.01 0.01 0.02 km

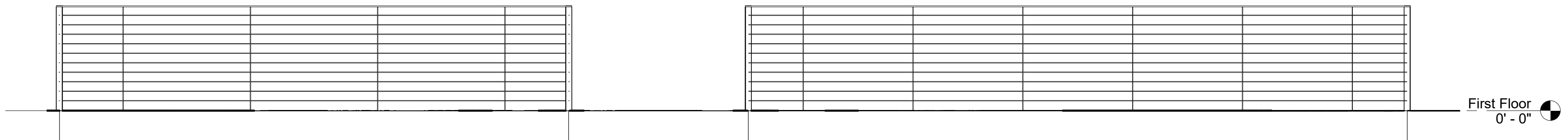
Esri Community Maps Contributors, BuildingFootprintUSA, Esri Canada, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

Web AppBuilder for ArcGIS

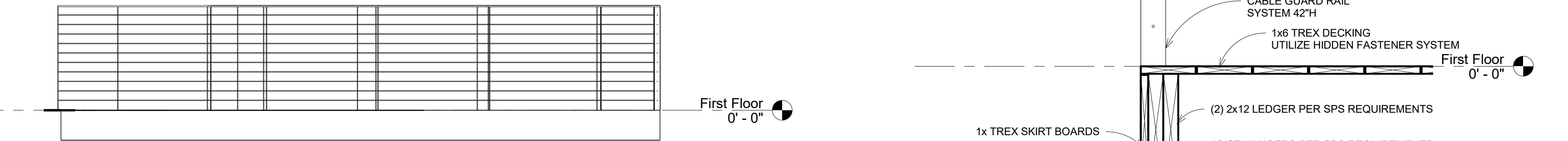
Esri Community Maps Contributors, BuildingFootprintUSA, Esri Canada, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA | Esri, Inc., City of Naperville, Illinois |



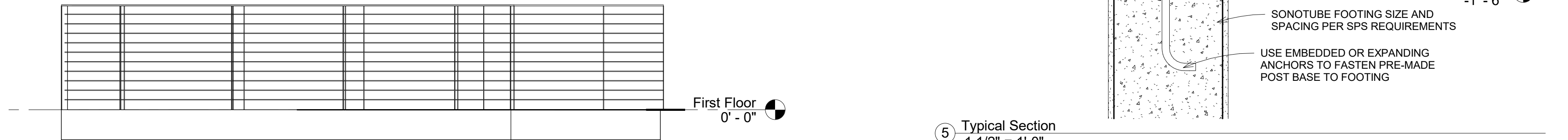
1 First Floor
3/8" = 1'-0"



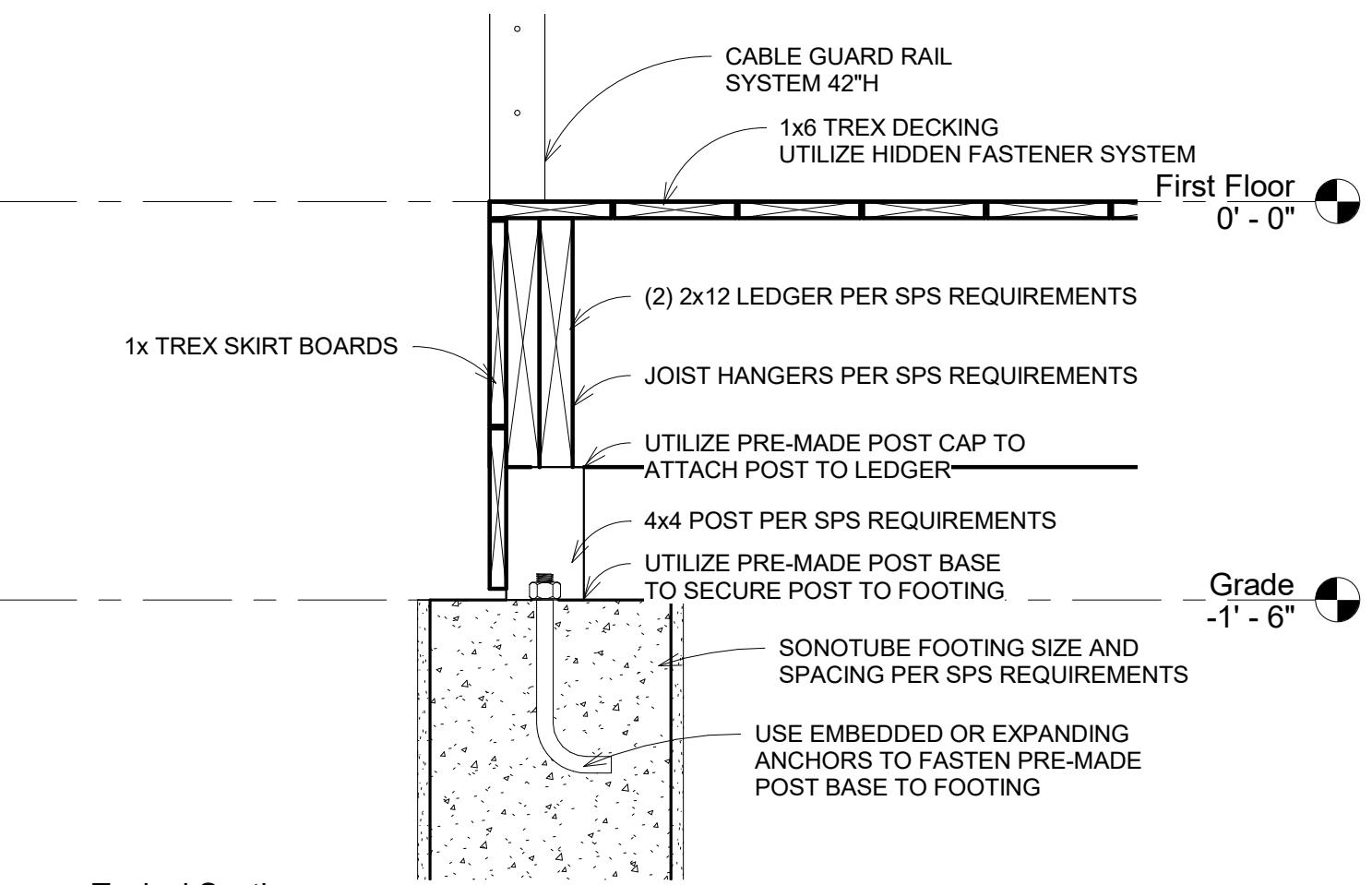
2 North
3/8" = 1'-0"



3 East
3/8" = 1'-0"



4 West
3/8" = 1'-0"



5 Typical Section
1 1/2" = 1'-0"

- GENERAL NOTES:**
- DECK IS TO BE CONSTRUCTED IN ACCORDANCE WITH STATE OF WISCONSIN SAFETETY AND PROFESSIONAL SERVICES CODES DETAILING DECK CONSTRUCTION REQUIREMENTS
 - LANDSCAPING ELEMENTS IN ACCORDANCE WITH CITY OF SHEBOYGAN ORDINANCE
 - EXISTING CEMENT WALK TO REMAIN
 - ENCROACHMENT ON PUBLIC R.O.W. IS DETAILED ON THE SUBMITTED SURVEY DOCUMENTS



Notes & Revisions

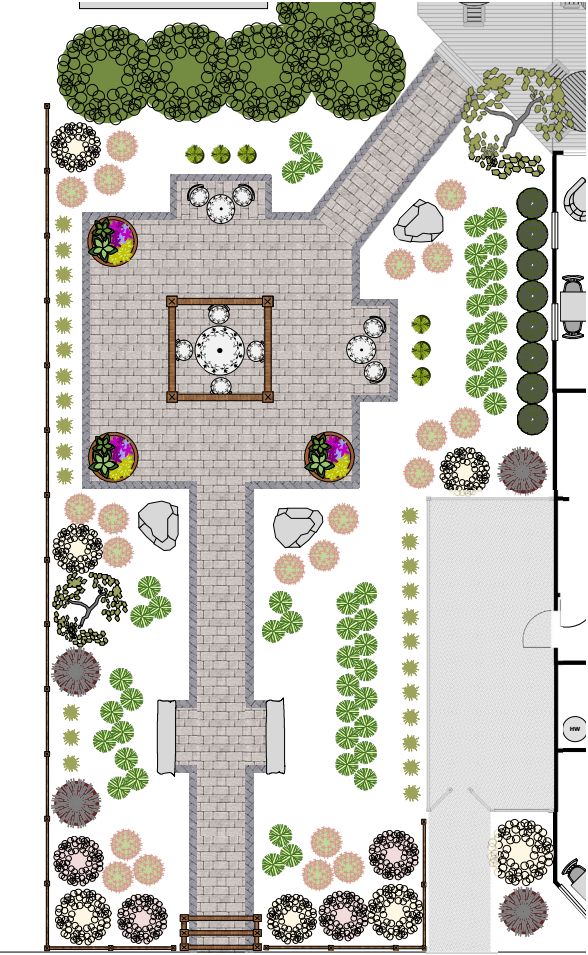
Harbor Cafe
Exterior Improvements

Misc. Views

Project number
Date
Drawn by
Checked by
SDL
SDL

A1
Scale As indicated

EXISTING PHOTOS + WEST BUILDING PLAN











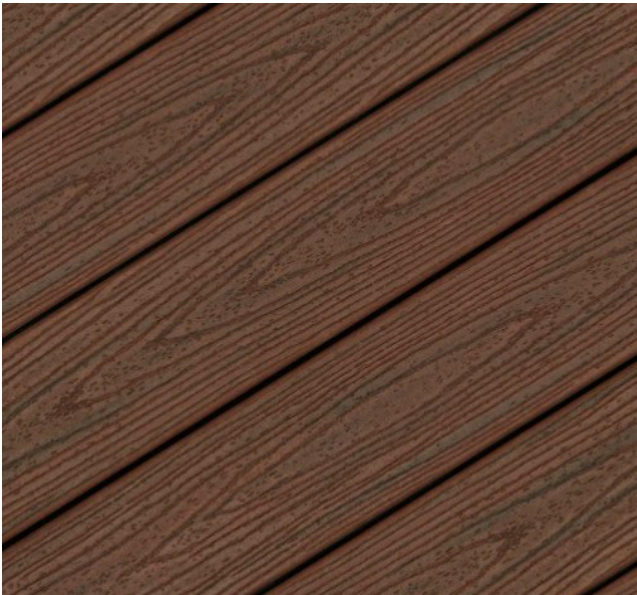




LIGHTING & FINISH
SPECIFICATIONS + STYLE INSPIRATION



DECK FLOOR
Spiced Rum . 5.5” Width
Trex Brand - Enhance Collection
Composite Wood



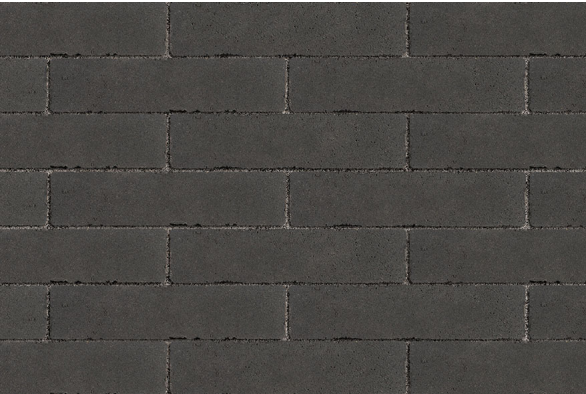
DECK SKIRTING
White Horizontal Paneling



EXTERIOR WALL SCONCE
Gooseneck Barn Light Warehouse
Outdoor Wall Sconce - HL-A Arm
17” Dia Shade x 11”H, White Enamel
Lumens.com (qty x 4 total)



RAILING STYLE INSPIRATION
Stainless Steel Cable Rail System +
Red Wood or Composite Railing



West Building Patio Pavers
Canvas: Cocoa Brown
Board: Dark Charcoal
Unilock Brand

FURNITURE
SPECIFICATIONS



LOUNGE CHAIR
Modern Adirondack Chair
in Slate Gray, 29.25 "W x 32.13"D x 34.68"H
Polywood.com \$249. each (qty x 12 total)



FIRE TABLE
Adara 49"w 31"d 15"h Outdoor Fire Table
in Graphite Metal Finsh
Room & Board, \$2,899. ea (qty x 2)
*Avaiable in propane or natural gas style



DINING TABLE
Malibu 36" Metal Square Dining Table, Black
36" x 36" x 30"H, \$699 ea (qty x 3)
Pottery Barn SKU# 3193011



DINING TABLE UMBRELLA
Round Market Umbrella 6' Dia
Heather Gray Sunbrella Fabric
\$429. ea (qty x 3)
Pottery Barn SKU# 9496877



BISTRO TABLE
Santa Ana Teak & Metal Round Bistro Table
30" dia, 30" h, \$699 ea (qty x 3)
Pottery Barn SKU# 3193011



DINING & BISTRO TABLE CHAIRS
Durango Side Chair, Set of 4, White
Pottery Barn SKU# 5582605
(qty x 5 sets of 4)



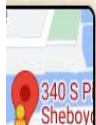
SIDE TABLES
Heaton Natural Teak Wood
Outdoor Side Table 18" W x 18" D x 18"H
The Home Depot SKU#1006787081
(qty x 7 total)

Show search results for 340...



92532304





CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new deck at Harbor Cafe located at 340 S. Pier Drive.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 11, 2022

MEETING DATE: March 14, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Harbor Cafe is proposing to construct a new deck at 340 S. Pier Drive. The applicant states the following about the proposal:

- Jason LaBouve, owner of Harbor Café, is requesting to build an outdoor seating deck. One reason Sheboygan is such a special place is the beautiful atmosphere along Lake Michigan and the Sheboygan River surrounding the South Pier District. I'm grateful to have the opportunity to open an establishment in the heart of this environment and would love to share it with all patrons and passersby. In order to fully appreciate the location, I would like to build an outdoor seating deck on the north side of the 340/342 South Pier Drive property along the Sheboygan River.
- This deck would give guests of Harbor Café scenic views and full appreciation of many significant landmarks in Sheboygan, including the Sheboygan River, the North Pier Lighthouse, the Harbor Centre Marina, the US Coast Guard Station, the Courthouse, and a unique panoramic view of the entire Downtown Sheboygan skyline.

The applicant states the following about the proposed deck:

- The deck is being designed and constructed by Quasius Construction who will build the new deck on the north side of the existing building to add additional outdoor seating capacity for the newly constructed café. We will be using high end materials for the deck and improving the landscaping design/plantings with regard to the layout of the new deck.
- The exterior of the building utilizes cedar siding, a standing seam metal roof and aluminum clad wood windows. The proposed deck design is intended to closely match and coordinate with the existing materials that are utilized on the building.

- Deck floor is proposed to be Spiced Rum composite wood, 5.5 inches wide.
- Deck skirting is proposed to be white horizontal paneling.
- There will be a stainless steel cable railing system with a redwood or composite railing.

STAFF COMMENTS:

In September of 2021, the Plan Commission approved a conditional use permit so owner Jason LaBouve could open the Harbor Café. At that time, the owner discussed his future plans to request an encroachment to build a new outdoor deck.

Similar encroachments have been granted permitting owners to utilize the Sheboygan Riverfront Promenade for outdoor deck/patio purposes to take advantage of the amazing views of the Sheboygan River and Lake Michigan for these S. Pier Shanty structures.

In addition to the deck, it appears Harbor Café is also proposing a nice new outdoor patio and landscaping in the area to the west of the shanty facility. In their conditional use permit application, the applicant stated the following about improving this area:

The space at 340 South Pier Drive was once occupied by Restoration Gardens and they continue to do an amazing job managing the landscaping. There is a beautiful garden area directly to the west of the building and in the future, I envision the possibility of using this space to create a seasonally themed garden for people to walk through and enjoy, which would include patriotic themes for the summer, tasteful harvest/Halloween theme for the fall, and a sophisticated Christmas theme for the winter.

These projects will certainly enhance the aesthetics of the business and the S. Pier District.

Staff would just like the board to verify that the proposal matches and maintains the overall look and feel of the existing Harbor Cafe Shanty.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new Scooter's Coffee on parcel #59281431722 (located directly south of the new Cousin Subs at 2720 S. Business Drive).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 11, 2022

MEETING DATE: March 14, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Bayland Builder is proposing of a new Scooter's Coffee Drive Thru on parcel #59281431722 (located directly south of the new Cousin Subs at 2720 S. Business Drive). The applicant states the following:

- This proposal includes development of a vacant parcel into a prospering Scooter's Coffee Drive Thru. This site was selected as it is an existing location with high visibility, sufficient building size, and adequate parking area.
- Scooter's Coffee serves a variety of hot and cold drinks such as coffee, smoothies, and teas. Food will also be offered, focusing on breakfast items and baked goods.
- Scooters is looking to construct a 664sf building to house operations for a drive-through coffee shop operation. The store will be drive through only.
- The building is a modern design for a drive through building. Building materials include hardy plank and hardy panels. Hardy board, awnings, and wall mounted lighting fixtures give a more distinct presence to the front of building.

Specific materials include:

- LP Smart lap siding and trim (color SW6992 inkwell eggshell finish).
- LP Smart siding reveal panel system smooth finish and SW1015 skyline steel).
- Red canopy fabric awnings.
- Dark bronze aluminum window frames.
- 20 gauge metal accents, soffits and parapet cap (black).

- LED Lighting Band
- A number of wall signs proposed to be installed.

STAFF COMMENTS:

The Board may want to have the applicant address:

- Are there rooftop mechanicals?
- Where is the dumpster enclosure to be located and what materials will be used for the dumpster enclosure?

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.:

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Hart Family Coffee, LLC

ADDRESS: PO Box 950 Lake View, IA 51450

E-MAIL ADDRESS: davidp@bravehartdevelopment.com

PHONE: 217-766-1560

FAX NO.: N/A

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Scooter's Coffee

ADDRESS OF PROPERTY AFFECTED: 2732 S. Business Dr.

NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT:

New construction of a Drive -Thru Coffee kiosk

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: N/A

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: LP Smart board siding

3. NAMES AND ADDRESSES

OWNER OF SITE: Timothy A. Frey

ADDRESS: 708 Erie Ave. Suite 201 Sheboygan, WI 53081

EMAIL: timfrey@vistacare.org

PHONE: 920-694-1102

FAX NO.: N/A

ARCHITECT: Bayland Buildings Inc

ADDRESS: PO Box 13571 Green Bay WI 54307

EMAIL ADDRESS: dobrien@baylandbuildings.com

PHONE: (920) 371-6200 FAX NO.: (920) 498-3033

CONTRACTOR: Bayland Buildings Inc.

ADDRESS: PO Box 13571 Green Bay WI 54307

EMAIL:
dobrien@baylandbuildings.com

PHONE: (920) 371-6200 FAX NO.: (920) 498-3033

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

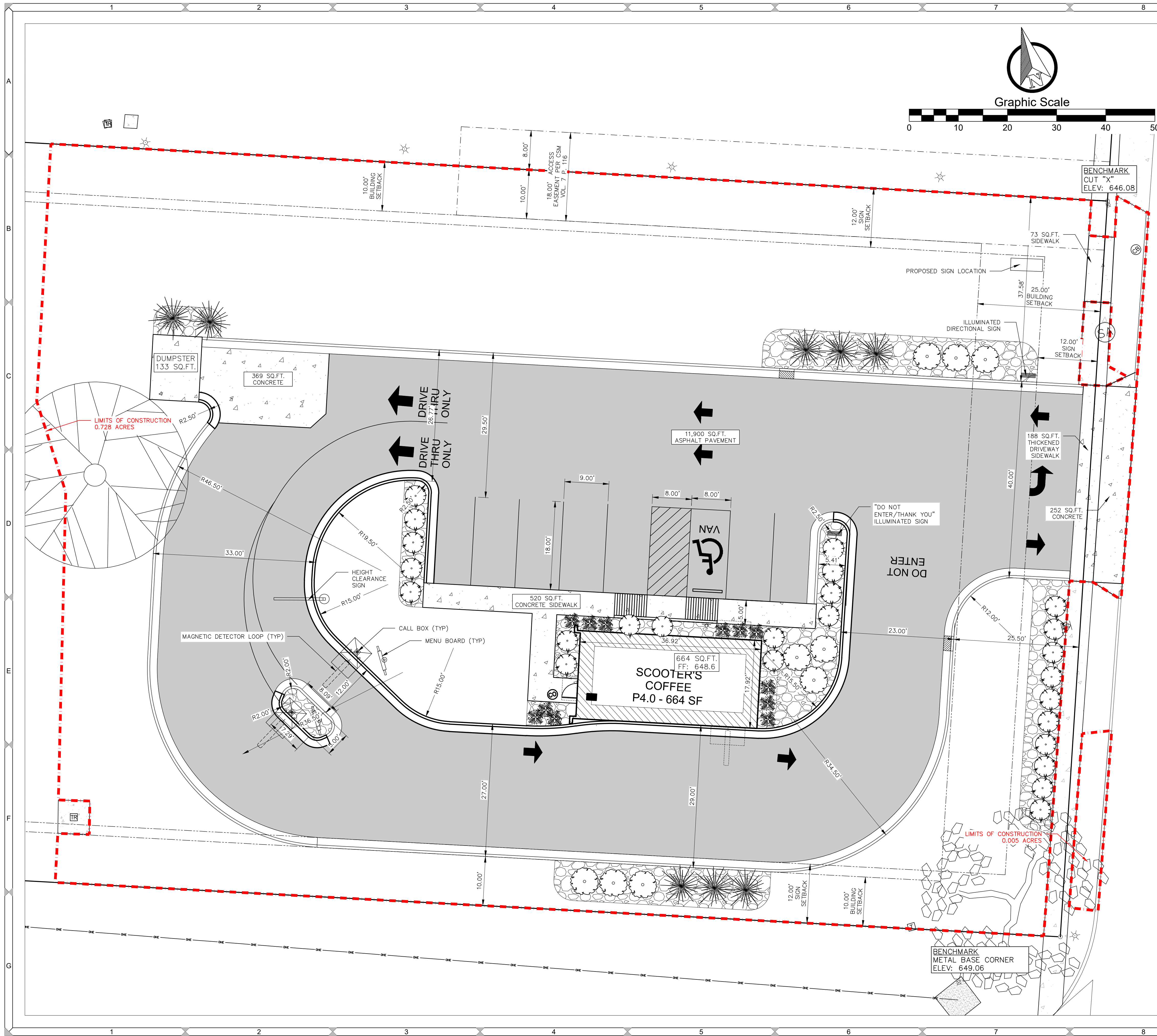
- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

To: Architectural Design Review Members

The proposed new development of a 668 square foot Scooter's Coffee is for drive thru only and consist of LP smart siding (color SW6992 inkwell eggshell finish and SW1015 skyline steel) with red canopy fabric awnings as depicted along with dark bronze aluminum window frames.



- LANDSCAPING NOTES:**
1. ZONED AS SUBURBAN COMMERCIAL (SC)
 2. BUILDING FOUNDATION LANDSCAPE REQUIREMENTS
 - 2.1. TABLE 15.604 MINIMUM OF 40 LANDSCAPE POINTS PER 100 LF OF BUILDING
 - 2.2. 108 LF OF BUILDING FOUNDATION = 43.2 LANDSCAPE POINTS
 - 2.3. 3 DENSIFORMIS YEW + 6 THUNBERG SPIREA + 12 BRONX FORSYTHIA= 45 POINTS
 3. DEVELOPED LOT LANDSCAPE REQUIREMENTS
 - 3.1. TABLE 15.605, MINIMUM OF 10 POINTS PER 1,000 SQ.FT OF GROSS FLOOR AREA
 - 3.2. 664 SQ.FT. OF FLOOR AREA = 6.7 LANDSCAPE POINTS
 - 3.3. 2 BLUE POINT JUNIPERS (NEAR DUMPSTER) = 10 POINTS
 4. STREET FRONTAGE LANDSCAPING REQUIREMENTS
 - 4.1. TABLE 15.606, MINIMUM OF 40 POINTS PER 100 LINEAR FEET OF STREET FRONTAGE
 - 4.2. 150 LF OF STREET FRONTAGE = 60 LANDSCAPE POINTS
 - 4.3. 1 AUTUMN BLAZE FREEMAN MAPLE + 10 THUNBERG SPIREA = 60 POINTS
 5. PAVED AREA LANDSCAPING REQUIREMENTS
 - 5.1. TABLE 15.607 MINIMUM OF 80 POINTS PER 10,000 SQ.FT. OF PAVED AREA
 - 5.2. 14,500 SQ.FT. OF PAVEMENT = 116 LANDSCAPE POINTS
 - 5.3. 1 KENTUCKY COFFEE + 6 BLUE POINT JUNIPERS + 6 DENSIFORMIS YEWS + 9 THUNBERG SPIREA = 117 POINTS

PLANTING SCHEDULE			
SYMBOL	COMMON NAME	QUANTITY	SIZE
TREES			
	AUTUMN BLAZE FREEMAN MAPLE	1	2"-2 1/2" B&B
	KENTUCKY COFFEE (MALE)	1	1 1/2" B&B
SHRUBS			
	BLUE POINT JUNIPER	8	5'-6" B&B
	THUNBERG SPIREA	21	18"-24" POTTED
	DENSIFORMIS YEW	9	18"-24" POTTED
	BRONX FORSYTHIA	12	1 GALLON

- SITE STATISTICS**
- BEFORE CONSTRUCTION**
SITE AREA - 1.533 Acres
PAVEMENT 0.636 Acres (41.9%)
BUILDINGS 0.000 Acres (0.0%)
PERVIOUS 0.897 Acres (58.1%)
- AFTER CONSTRUCTION**
SITE AREA - 1.533 Acres
PAVEMENT 0.334 Acres (21.8%)
BUILDINGS 0.015 Acres (1.0%)
PERVIOUS 1.184 Acres (77.2%)

- NOTES:**
1. ALL UNUSED DRIVEWAY OPENINGS WILL BE CLOSED PER CITY OF SHEBOYGAN REQUIREMENTS
 2. THE BUILDING CLASS OF CONSTRUCTION AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 6 IS VB.
 3. THE OCCUPANCY TYPE AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 3 IS B.
 4. REPLACE AND RESTORE THE PAVEMENT OVER ANY OPENING MADE BY APPLICANT AS NEAR AS CAN BE TO THE STATE AND CONDITION IN WHICH IT WAS FOUND.
 5. BUILDING WILL NOT HAVE A FIRE PROTECTION SYSTEM.

Legend

	SANITARY MANHOLE		FLOODPLAIN LIMITS
	ROUND CATCH BASIN		FLOODWAY
	STORM SEWER MANHOLE		PROPOSED ASPHALT
	CURB INLET		PROPOSED BUILDING
	HYDRANT		SILT FENCE
	WATERMAIN		INLET PROTECTION
	SANITARY SEWER		SLOPE EROSION MAT
	STORM SEWER		WSDOT CLASS 1 TYPE A
	LIGHT POLE		CHANNEL EROSION MAT
	CONCRETE CURB & GUTTER LINE		WSDOT CLASS 1 TYPE B
	EXISTING ASPHALT		RIP RAP SIZE AND QUANTITY PER PLAN
	CONCRETE		TRACKING PAD
	GRAVEL		EXISTING CONTOUR LINE
	EXISTING BUILDING		PROPOSED CONTOUR LINE
	WETLAND AREA		176.41 EXISTING GROUND GRADE
	DECIDUOUS TREE		2.33% PROPOSED GROUND GRADE
	CONIFEROUS TREE		2.33% DRAINAGE ARROW
	ROCK WALL		

DESIGNED BY
TJS

DATA FILE
B-13321.btl

DATE
02/24/22

Comments

Date

Number

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

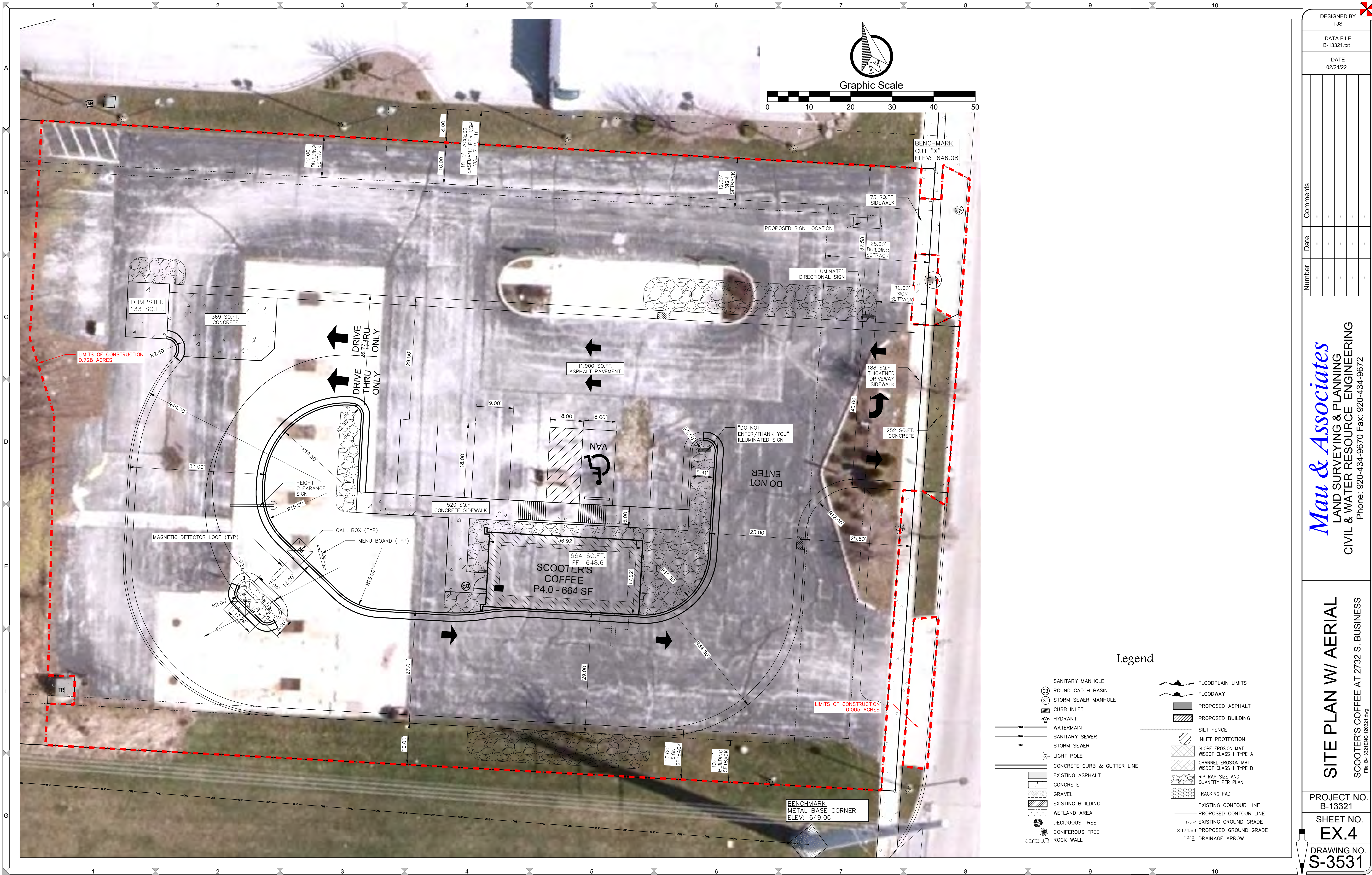
SITE & LANDSCAPE PLAN

SCOOTER'S COFFEE AT 2732 S. BUSINESS
File: B-13321-ENG 120321.dwg

PROJECT NO.
B-13321

SHEET NO.
C4.0

DRAWING NO.
S-3531



DESIGNED BY
TJS

DATA FILE
B-13321.btl

DATE
02/24/22

Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

Mau & Associates

LAND SURVEYING & PLANNING

CIVIL & WATER RESOURCE ENGINEERING

Phone: 920-434-9670 Fax: 920-434-9672

SITE PLAN W/ AERIAL

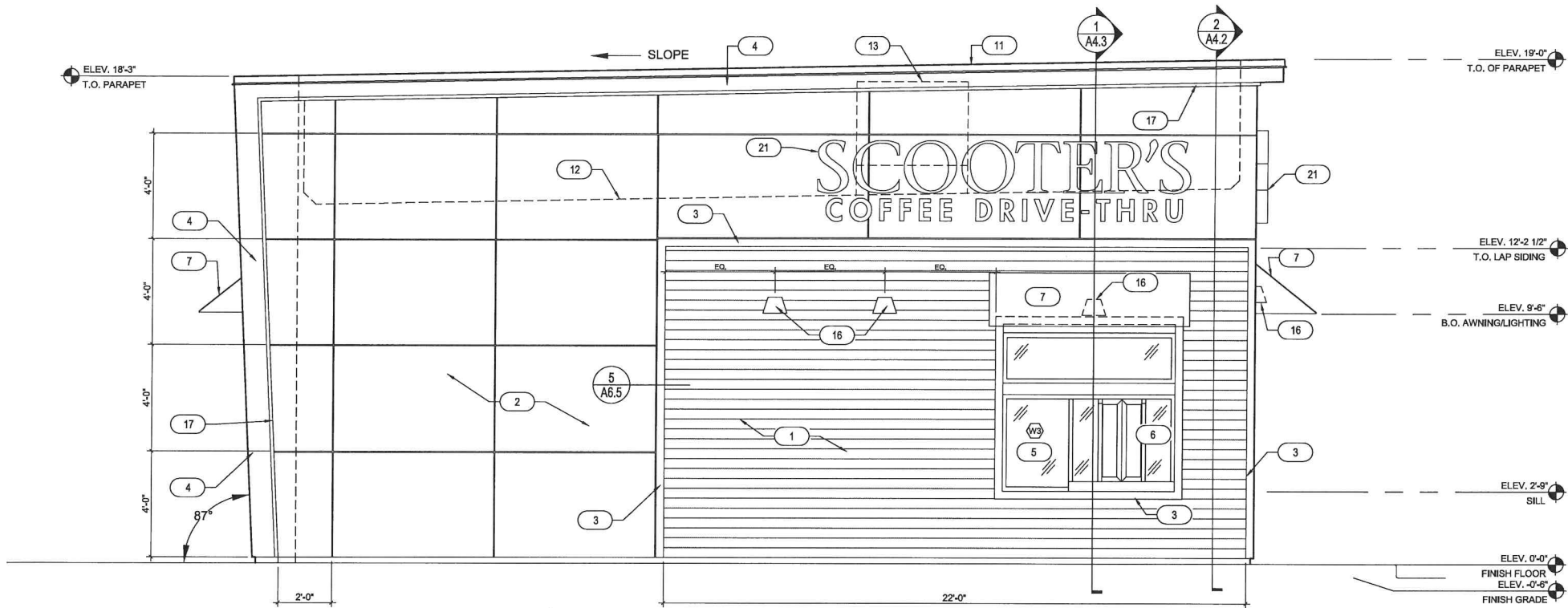
SCOOTER'S COFFEE AT 2732 S. BUSINESS

File: B-13321ENG 120321.dwg

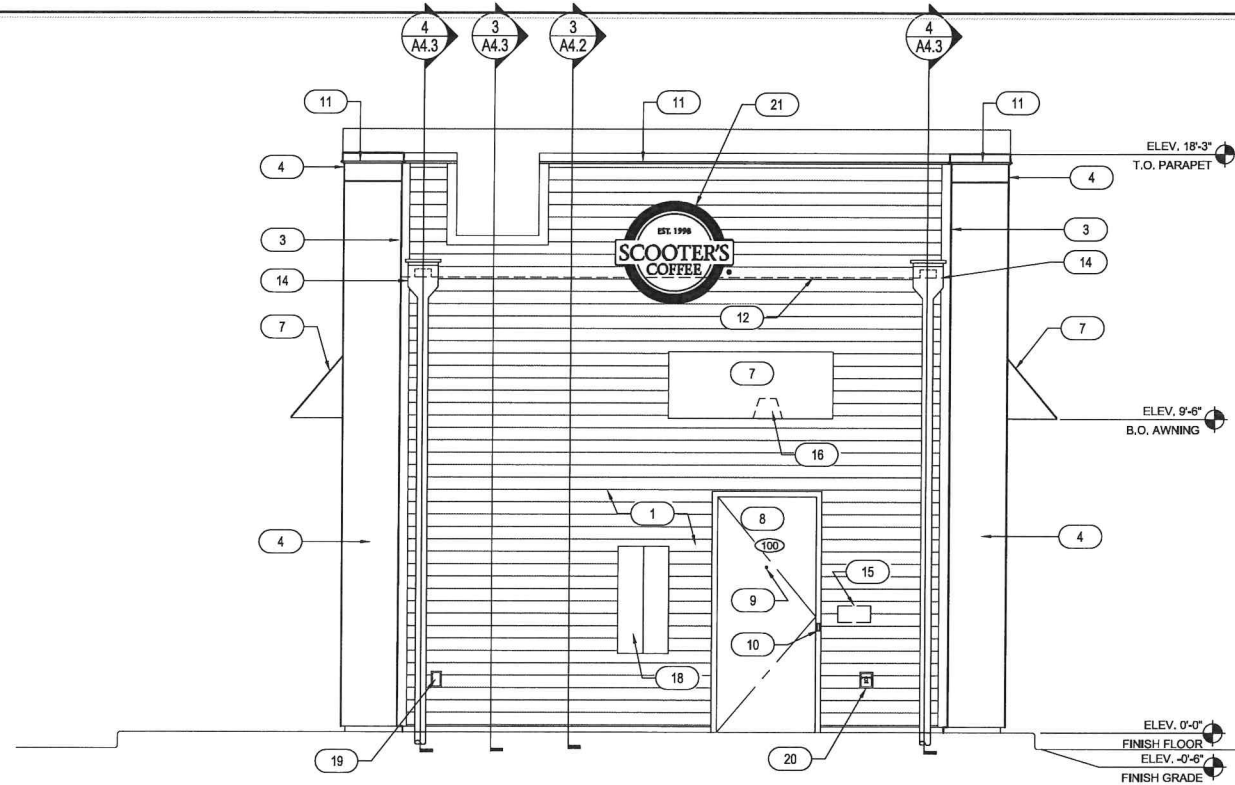
PROJECT NO.
B-13321

SHEET NO.
EX.4

DRAWING NO.
S-3531



2 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

KEYNOTES

X

1. LP SMART SIDING HZ10 LAP SIDING CEDARMILL 8-1/4", SEE LP SMART SIDING DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. LP SMART SIDING REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE LP SMART SIDING DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" LP SMART TRIM, SEE LP SMART DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT

PROPOSED BUILDING FOR:

SCOOTER'S COFFEE

CITY OF GREEN BAY, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOW AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CRIMINATION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO BAY AND BUILDINGS, INC.

JOB NUMBER: 21-4912

SALES REP:
TOM AMBROSIOUS
(920) 371-2544

DRAWN BY:

DATE: 1-6-2022

REVISIONS:

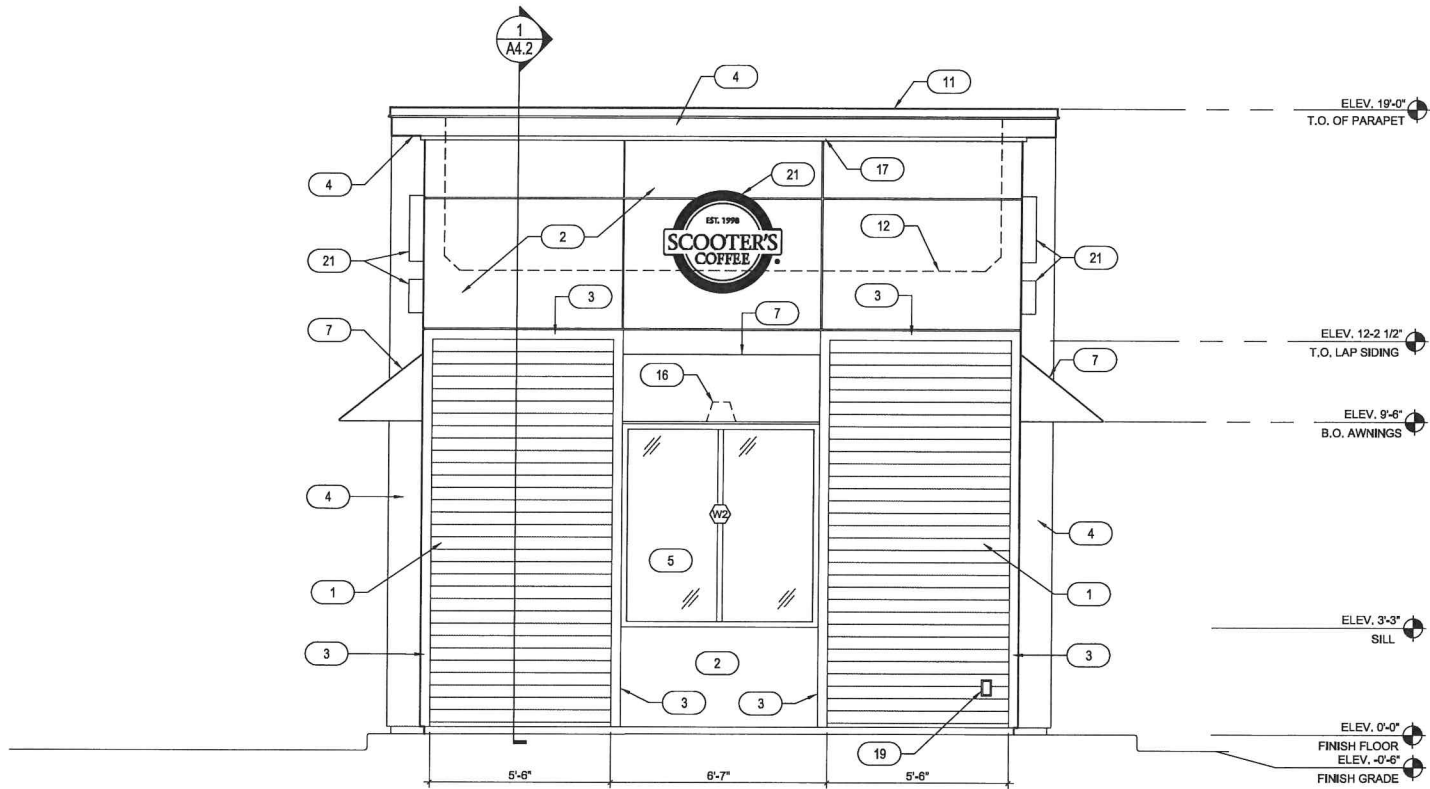
1 - -

ISSUED FOR:

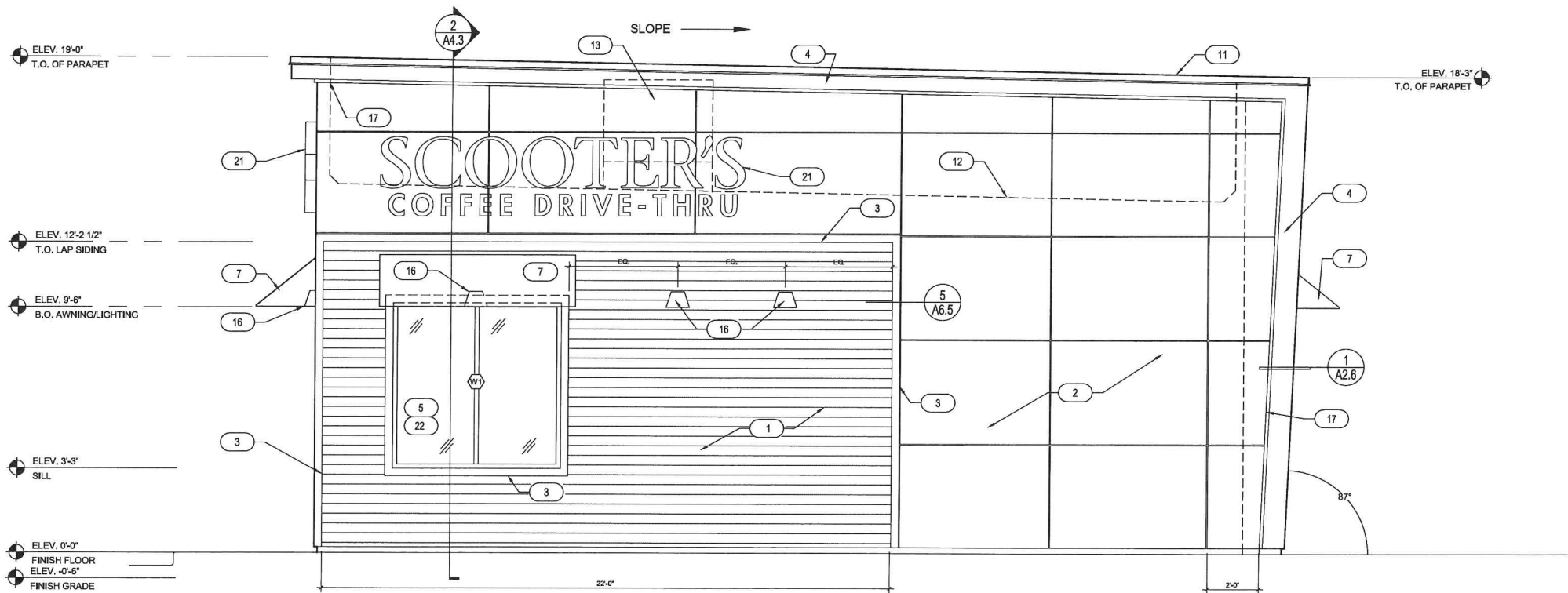
- ☐ PRELIMINARY
☐ BID SET
☒ CONSTRUCTION

SHEET

A3.1



2 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

KEYNOTES

X

1. LP SMART SIDING HZ10 LAP SIDING CEDARMILL 6-1/4", SEE LP SMART SIDING DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6892 INKWELL EGGSHELL FINISH
2. LP SMART SIDING REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE LP SMART SIDING DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" LP SMART TRIM, SEE LP SMART DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6892 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6892 INKWELL EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GUAGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT

BAYLAND

BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:

SCOOTER'S COFFEE

CITY OF GREEN BAY, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-4912

SALES REP:
TOM AMBROSIOUS
(920) 371-2544

DRAWN BY:

DATE: 1-6-2022

REVISIONS:

A

ISSUED FOR:

- ☐ PRELIMINARY
☐ BID SET
☒ CONSTRUCTION

SHEET

A3.2

OCCUPANT LOAD AND EGRESS ANALYSIS

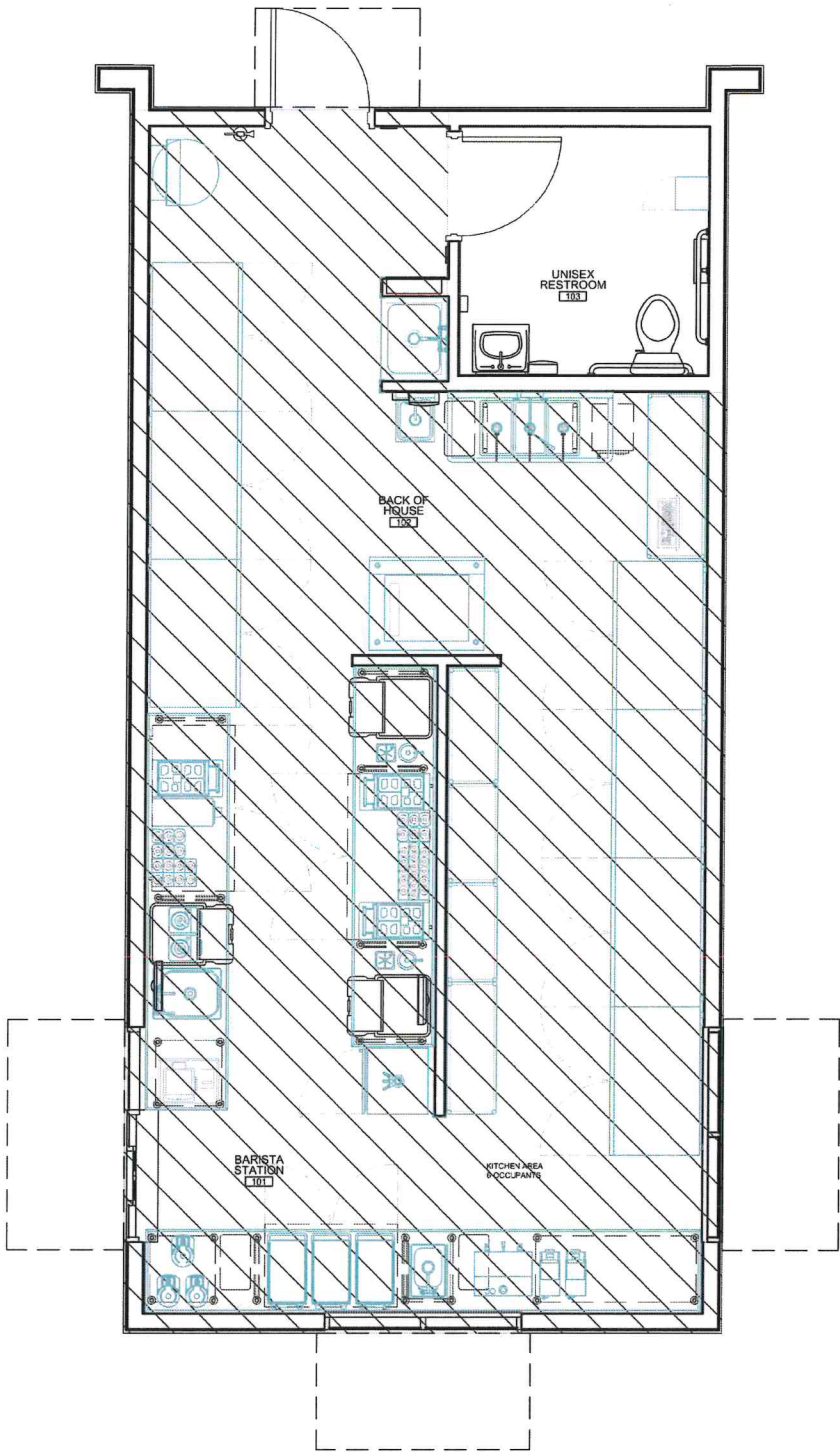
	USE	AREA	LOAD FACTOR	OCCUPANTS
<div></div>	FOOD PREP	605 SF	1:100	6
<div></div>	RESTROOMS	70 SF		0

TOTAL OCCUPANTS: 6

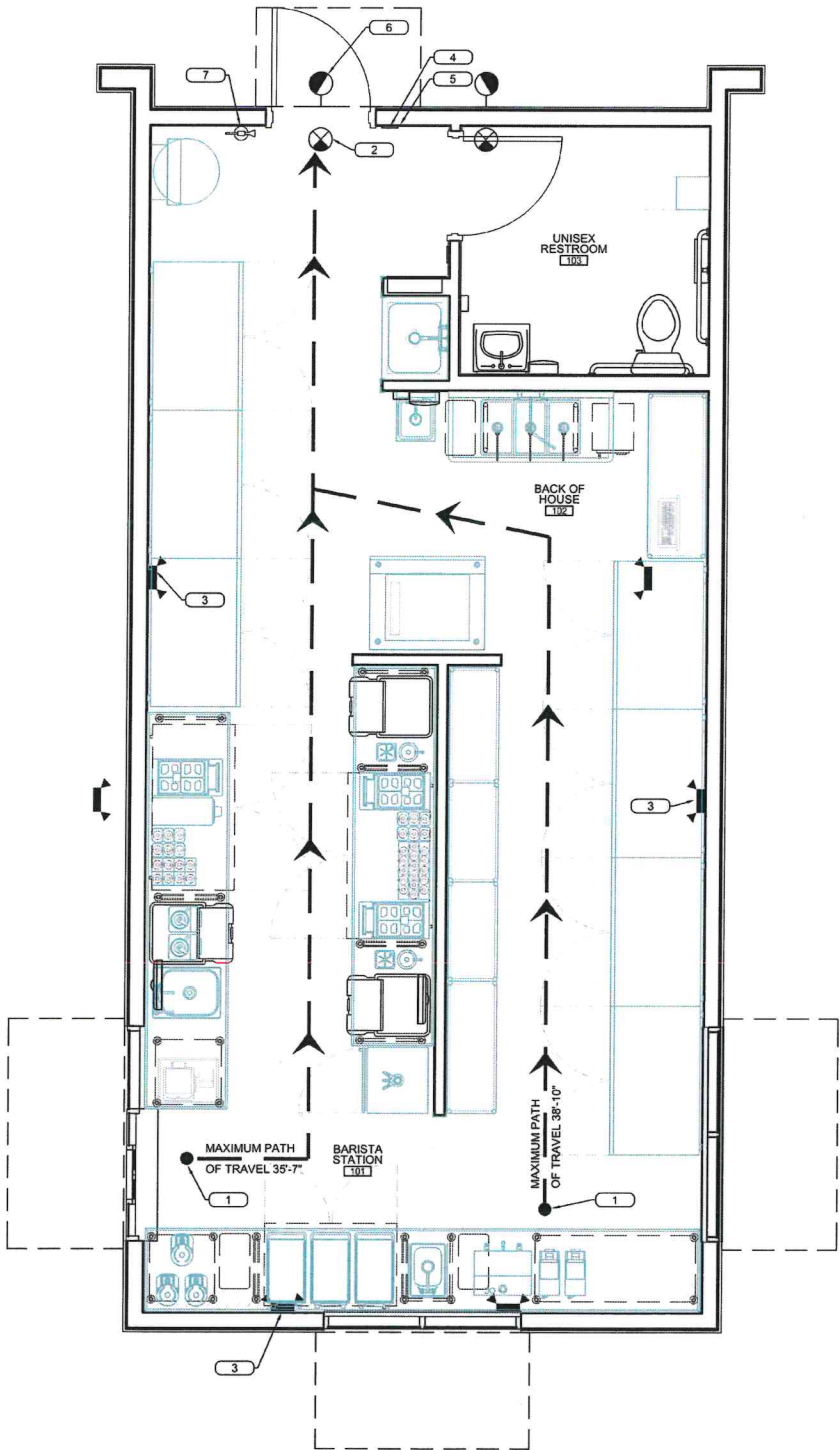
EXIT WIDTH CALCULATIONS:
6 OCCUPANTS x .2 = .12" REQUIRED - 36" PROVIDED

OCCUPANT LOAD IS 6 AND ONE EXIT IS REQUIRED, ONE IS PROVIDED.

ALLOWABLE PATH OF TRAVEL WITHOUT A SPRINKLER SYSTEM: 75'-0"
MAXIMUM PATH OF TRAVEL: 38'-10"



2 OCCUPANCY PLAN
SCALE: 3/8" = 1'-0"



1 LIFE SAFETY PLAN
SCALE: 3/8" = 1'-0"



GENERAL NOTES

- CONTRACTOR TO PROVIDE A SUFFICIENT NUMBER OF 2A10BC RATED FIRE EXTINGUISHERS DURING CONSTRUCTION SO THAT ALL PORTIONS OF THE BUILDING ARE WITHIN 75 FT. TRAVEL DISTANCE OF SAID EXTINGUISHER & SO THAT AT LEAST ONE 2A10BC RATED FIRE EXTINGUISHER IS PROVIDED FOR EACH 3,000 SQ. FT. OF FLOOR SPACE OR PORTION THEREOF.
- PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR DURING CONSTRUCTION & FOR COMPLETED PROJECT.
- EXIT DOORS
 - ALL EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL.
 - ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT (NO BOLTS, NO SLIDING BOLTS, ETC.).
 - ALL EXIT DOORS & INTERVENING DOORS ON THE EXIT PATH, IF PROVIDED WITH A LOCK OR LATCH, MUST BE MARKED "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED".
 - PROVIDE ILLUMINATED EXIT SIGNS ABOVE EXITS WITH MIN. 3/4"x6" LETTERS LIGHTED ON CONTRASTING BACKGROUND.
- EXIT SIGNS
 - EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED
 - EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
 - INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
 - EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (1011.3)
 - EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1011.6.3).
- EGRESS EMERGENCY LIGHTING
 - THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
 - THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
 - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY IN THE EVENT OF SUPPLY; FAILURE AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE.
- UNLESS ALREADY EXISTING, AN APPROVED SET OF NUMERALS, MINIMUM 4" HIGH WITH A STROKE WIDTH NOT LESS THAN 1/2 INCH, SHALL BE PLACED ON THE BUILDING. THE NUMBERING SHALL BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMERALS SHALL CONTRAST W/ THEIR BACKGROUND. IF THE ADDRESS THAT IS POSTED NEAR THE INTERSECTION OF THE DRIVEWAY & THE PUBLIC STREET OR ROAD FRONTING THE PROPERTY IS NOT VISIBLE, ADDITIONAL ADDRESSES POSTED NEAR THE INTERSECTION OF THE DRIVEWAY & THE PUBLIC STREET ARE REQUIRED. (VERIFY REQUIREMENTS.)
- PROVIDE A KNOX BOX FOR FIRE DEPT. ACCESS & KEY ACCESS, LOCATION IF REQUIRED BY FIRE MARSHAL.
- GENERAL CONTRACTOR SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE DEPARTMENT PRIOR TO OCCUPYING THIS BUILDING.
- PROVIDE ALL WEATHER ACCESS ROAD (MIN 20') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.

KEYNOTES

- EXIT PATH OF TRAVEL
- EXIT SIGN, SEE ELECTRICAL DRAWINGS AND REFLECTED CEILING PLAN
- EMERGENCY LIGHTING, SEE ELECTRICAL DRAWINGS AND REFLECTED CEILING PLAN
- TACTILE EXIT SIGNS
- OCCUPANT LOAD SIGN, FINAL LOCATION APPROVED BY FIRE MARSHAL
- EXTERIOR EXIT LIGHT, SEE ELECTRICAL DRAWING AND REFLECTED CEILING PLAN
- FIRE EXTINGUISHER PER FIRE MARSHALL APPROVAL

LEGEND

- NEW EMERGENCY LIGHT
- EXTERIOR EMERGENCY LIGHT
- NEW EXIT SIGN, CONFIRM LOCATION REQUIREMENTS WITH FIRE MARSHAL
- EGRESS PATH OF TRAVEL
- 2A - 10BC MINIMUM RATED FIRE EXTINGUISHER - WALL HUNG

BAYLAND

BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
SCOOTER'S COFFEE
CITY OF SHEBOYGAN, WISCONSIN; COUNTY OF: SHEBOYGAN

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT:
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-4913

SALES REP:
TOM AMBROSIUS
(920) 371-2544

DRAWN BY: -

DATE: 1-18-2022

REVISIONS:

	-	-

ISSUED FOR:

- ☐ PRELIMINARY
- ☐ BID SET
- ☒ CONSTRUCTION

SHEET

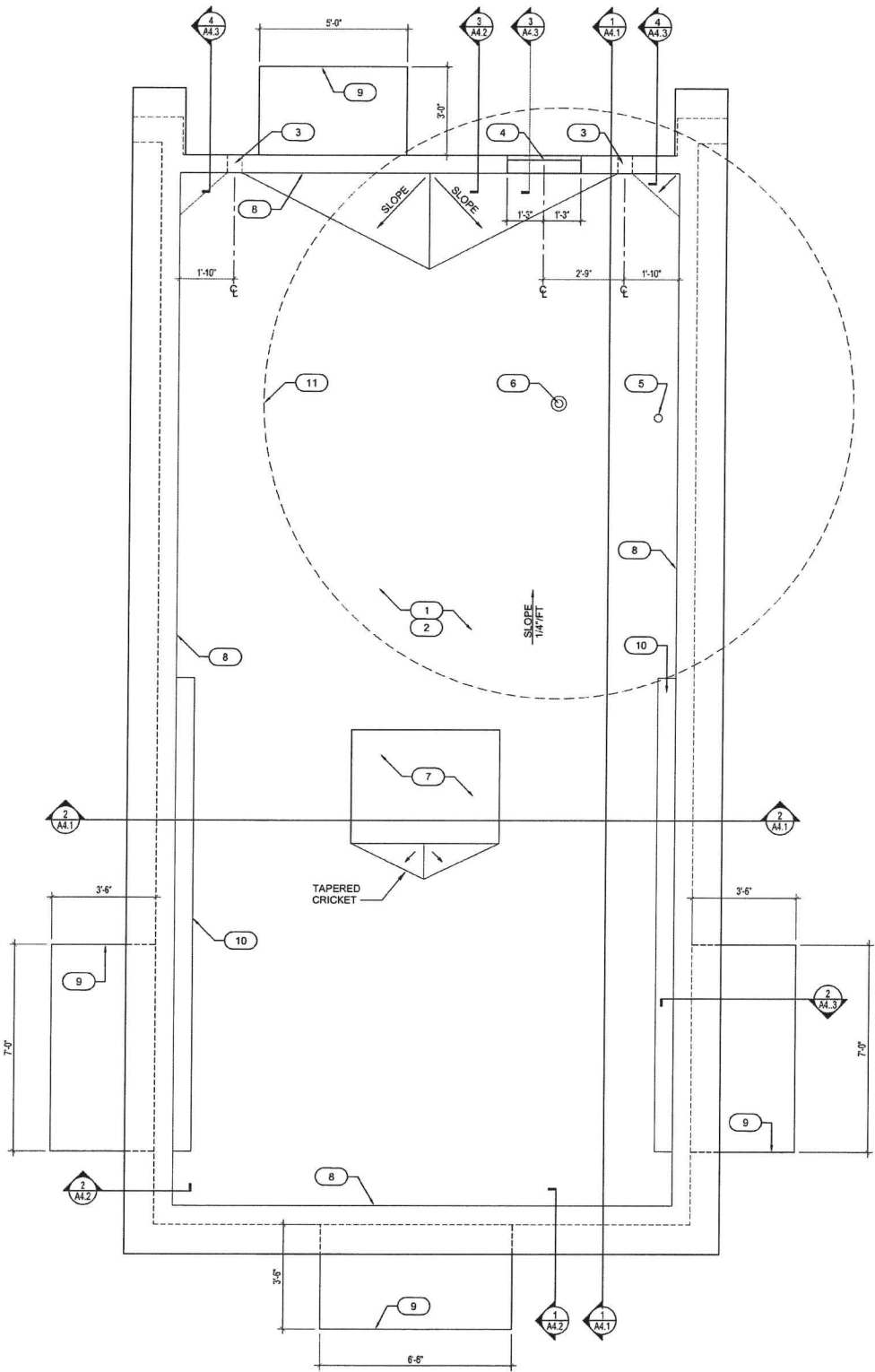
G0.2

ROOF DRAIN CALCULATIONS

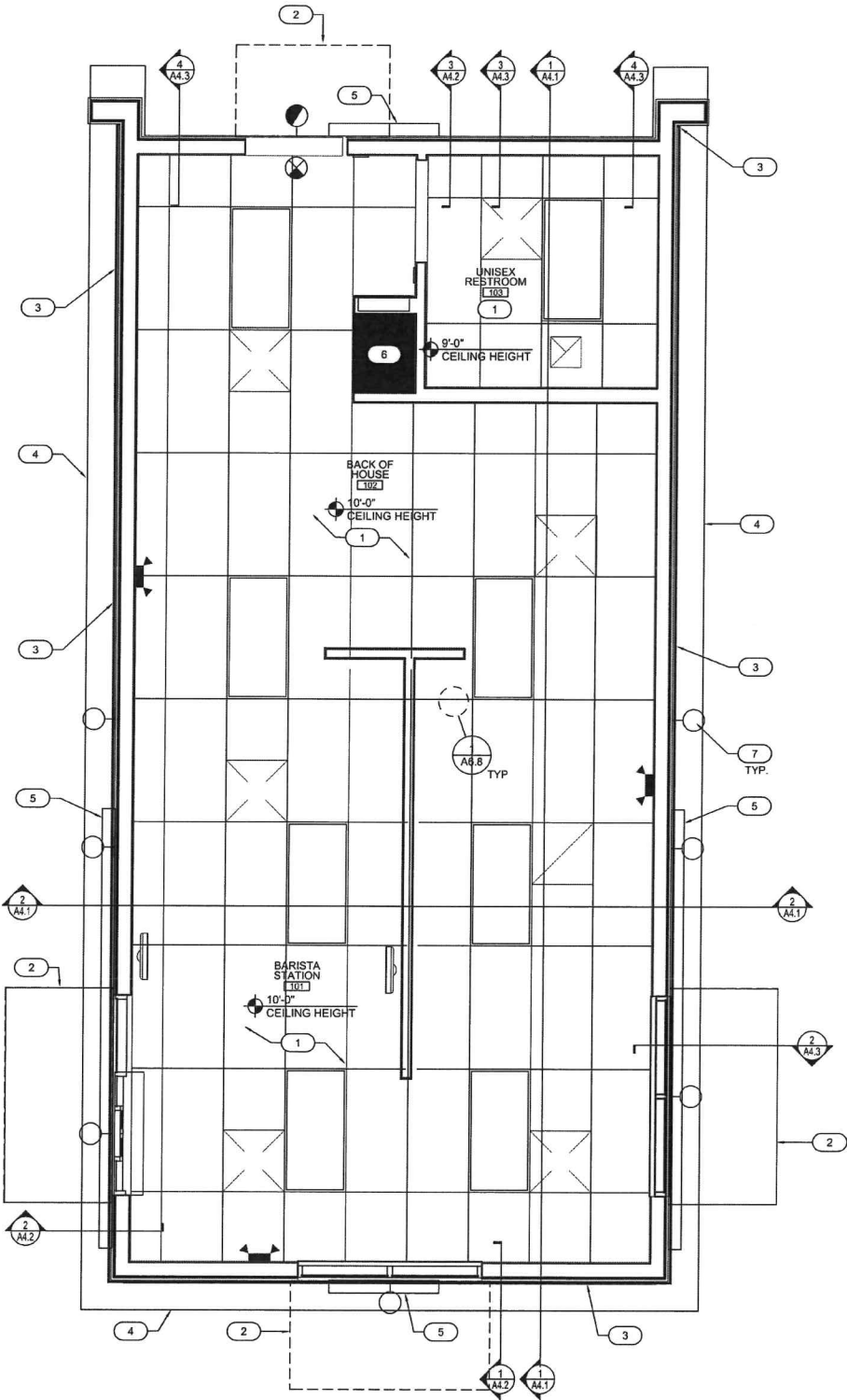
ROOF AREA: 554 SQ.FT.
PARAPET AREA: 496/2 = 248 SQ.FT.
TOTAL AREA: 802 SQ.FT.

MINIMUM REQUIRED SCUPPER (WORSE CASE 6" PER HOUR): 2" X 3"
PROVIDED: (1) 4"x6" MAIN SCUPPER AND (1) 4"x6" OVERFLOW SCUPPER

NOTE: ROOF IS DESIGNED TO HOLD ANY POTENTIAL PONDING WATER IF ONE
ROOF SCUPPER SHOULD BECOME CLOGGED



2 ROOF PLAN
SCALE: 3/8" = 1'-0"



1 REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"

CEILING LEGEND		
SYMBOL	FIXTURE	NOTES
	2x4' SURFACE MOUNTED LIGHT FIXTURE WITH PRISMATIC LENS	MOUNTING - LAY-IN GRID
	SUPPLY AIR GRILLE TITUS TMS 3 BLADE DIFFUSER OR SIMILAR	MOUNTING - LAY-IN GRID
	RETURN AIR RH45T COMMERCIAL T-BAR ALUMINUM GRILLE	MOUNTING - LAY-IN GRID
	TOILET ROOM EXHAUST FAN	MOUNTING - RECESSED
	EXTERIOR WALL SCONCE	
	EXTERIOR EMERGENCY WALL SCONCE	
	LED EXIT SIGN	
	EMERGENCY LIGHT W/BUG EYE	
	PERIMETER LED STRIP LIGHT	

NOTE: ALL LIGHTS TO BE PURCHASED BY FRANCHISEE OR GENERAL CONTRACTOR
AND INSTALLED BY GENERAL CONTRACTOR.

CEILING MATERIAL LEGEND		
ITEM	MFR (OR EQUAL)	MODEL NUMBER
	TYPE "A"	ARMSTRONG
		24" x 48" ARMSTRONG KITCHEN ZONE OR EQUAL TILES TO BE SMOOTH AND WASHABLE

GENERAL NOTES

- WHERE LIGHT FIXTURES ARE MOUNTED IN A LAY-IN CEILING, PROVIDE A MINIMUM OF 2 SUPPORT WIRES ATTACHED DIRECTLY BETWEEN EACH LIGHT FIXTURE AND THE BUILDING STRUCTURE. SUPPORT WIRES SHALL BE A MINIMUM OF 12 GAUGE GALVANIZED STEEL WIRE, SOFT ANNEALED.
- FIXTURES ARE REQUIRED AT ALL LIGHTING OUTLETS SHOWN ON THE DRAWINGS. APPROVED LIGHTING FIXTURE WIRE IS REQUIRED IN ALL FIXTURES AND FIXTURE RACEWAYS. WEATHERPROOF WIRING IS REQUIRED FOR EXTERIOR FIXTURES. ALL PARTS OF FIXTURES AND WIRING SHALL BE IN ACCORDANCE WITH NECESSARY REQUIREMENTS.
- ALL FIXTURES SHALL CARRY UL AND ETL LABELS. ALL FLUORESCENT FIXTURE BALLASTS SHALL BE HIGH FREQUENCY ELECTRONIC BALLASTS WITH A "TOTAL HARMONIC DISTORTION: OF LESS THAN 20%, REGARDLESS OF THE NUMBER OF LAMPS CONNECTED TO EACH BALLAST AND SHALL HAVE CBN LABEL. ALL FLUORESCENT FIXTURES INSTALLED SHALL INCORPORATE BALLAST PROTECTION. ALL FLUORESCENT BALLASTS SHALL HAVE AN AUDIBLE NOISE RATING OF "CLASS A" OR BETTER. ALL FLUORESCENT BALLASTS SHALL HAVE A POWER FACTOR GREATER THAN 98% WHEN USED WITH PRIMARY LAMP.
- REFER TO SPECIFICATIONS FOR ROOF ASSEMBLY.

CEILING SPECIFICATION
ACOUSTICAL CEILING SYSTEM
EXPOSED TEE GRID USG DOWN DX GRID SYSTEMS AS MANUFACTURED BY USG INTERIORS OR EQUIVALENT.
HANGER WIRE, MINIMUM 12 GA. AWG GALVANIZED SOFT ANNEALED, MILD STEEL WIRE.
HANGER CUPS, PREFABRICATED METAL CLAMPS FOR FASTENING TO STRUCTURAL STEEL MEMBERS.

KEYNOTES- REFLECTED CEILING

- NEW 2'X4' WASHABLE LAY-IN CEILING TILES. (FIRE RATING - CLASS A)
- RED CANVAS AWNING FURNISHED AND INSTALLED BY OTHERS
- PERIMETER LED AT EXTERIOR SOFFIT
- BREAK METAL SOFFIT & CORNICE
- SIGNAGE FURNISHED AND INSTALLED BY OTHERS. UNDER A SEPARATE PERMIT.
- 24" x 30" OPENING FOR HOT WATER HEATER.
- EXTERIOR LIGHTING, SEE ELEVATIONS, SEE ALSO ELECTRICAL DRAWINGS.

KEYNOTES-ROOF

- 60 MIL TPO FULLY ADHERED OVER 1/2" DENSGLASS OVER POLYISOCYANURATE INSULATION(PER BUILDING SECTION) OVER SHEATHING, SEE DETAIL A6.4
- CONTRACTOR ALTERNATIVE, AS ALLOWED BY CODE: 60 MIL TPO FULLY ADHERED OVER 1/2" DENSGLASS WITH BATT INSULATION APPLIED TO UNDERSIDE OF DECK
- THRU WALL ROOF SCUPPER, SEE DETAIL 8/A6.3
- OPENING IN PARAPET FOR ROOF ACCESS
- VENT, SEE PLUMBING DRAWINGS, SEE ALSO DETAIL 2/A6.4
- 6" GOOSENECK FOR EXHAUST, SEE DETAIL 2/A6.4 SIM.
- ROOF TOP UNIT & CURB, SEE MECHANICAL DRAWINGS, SEE ALSO DETAIL 3/A6.4
- PRE-FINISHED METAL PARAPET CAP
- RED CANVAS AWNING BELOW, FURNISHED AND INSTALLED BY OTHERS
- ROOFER TO FLASH ELECTRICAL RACEWAY FOR SIGNAGE ON SIDE OF PARAPET WALL - SIGNAGE UNDER SEPERATE PERMIT
- PER CODE - NO AIR INTAKES MAY BE WITHIN A 10' RADIUS OF A VENT OR EXHAUST.

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOW AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-4913

SALES REP:
TOM AMBROSIOUS
(920) 371-2544

DRAWN BY: -

DATE: 1-18-2022

REVISIONS:

Δ - -

ISSUED FOR:
☐ PRELIMINARY
☐ BID SET
☒ CONSTRUCTION

SHEET

GENERAL NOTES

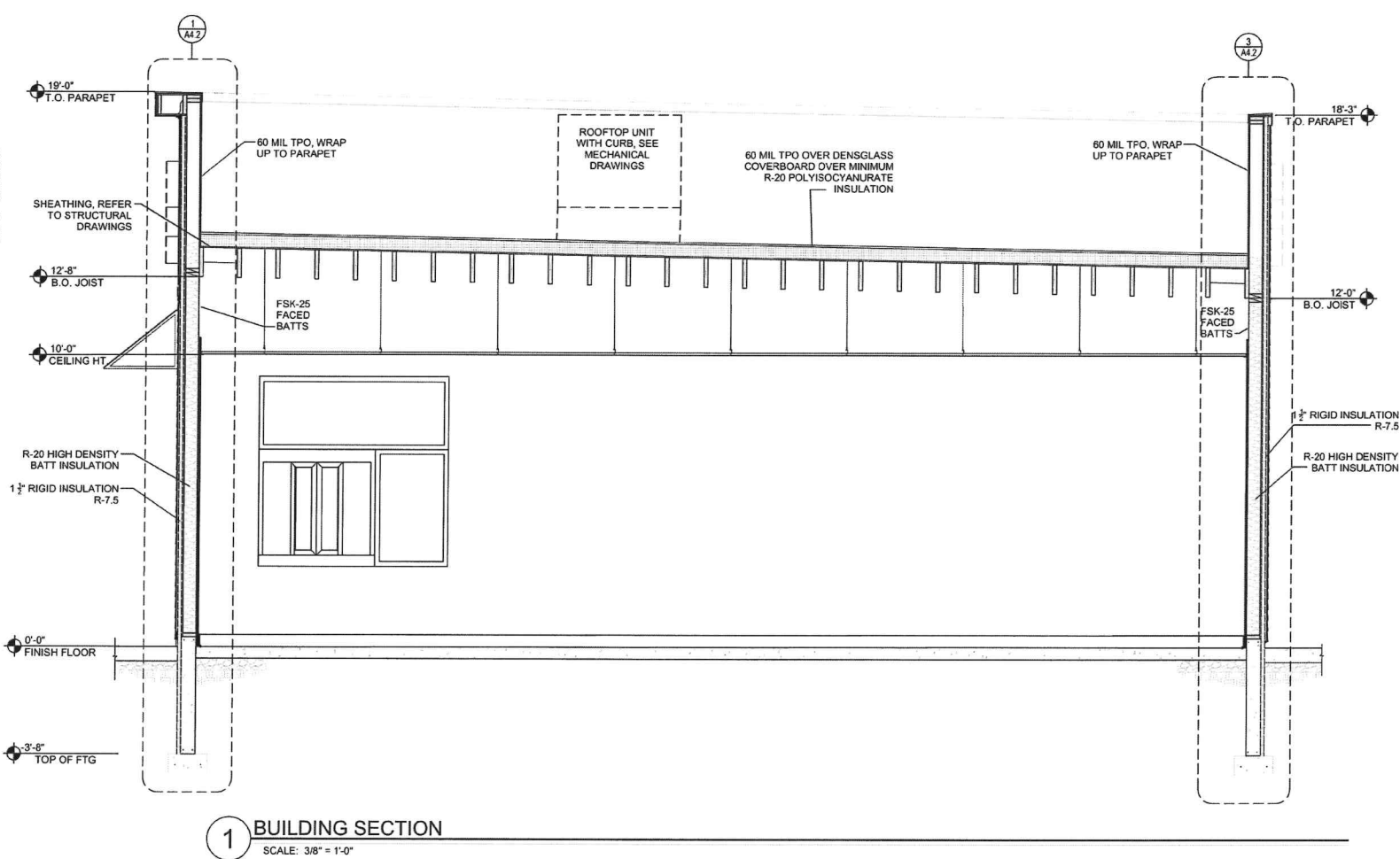
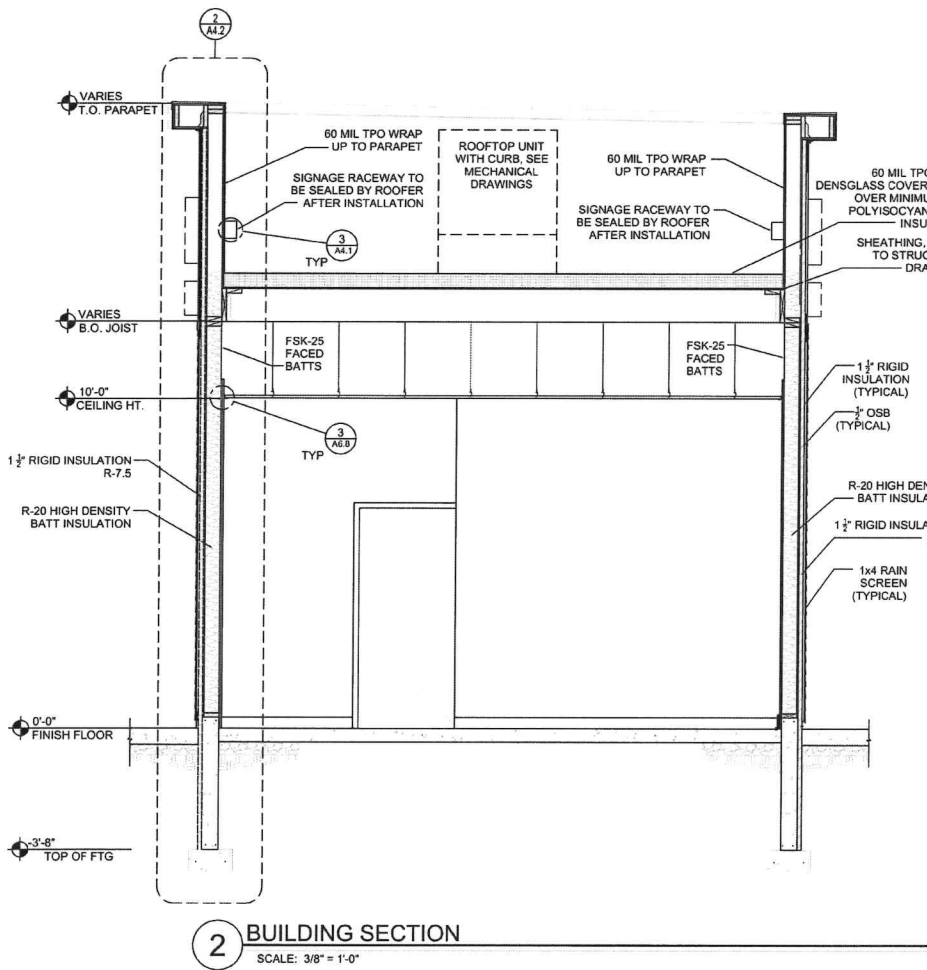
- A. REFER TO SHEET A2.2 FOR FINISH DESIGNATION
- B. REFER TO SHEET A2.3 FOR EQUIPMENT INFORMATION
- C. REFER TO SHEET G0.2 FOR BUILDING ENVELOPE REQUIREMENTS; BUILDING ENVELOPE MINIMUMS MUST BE MET

BAYLAND

BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR



PROPOSED BUILDING FOR:

SCOOTER'S COFFEE

CITY OF SHEBOYGAN, WISCONSIN; COUNTY OF: SHEBOYGAN

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-4913

SALES REP: TOM AMBROSIUS
(920) 371-2544

DRAWN BY: -

DATE: 1-18-2022

REVISIONS:

△	-	-

ISSUED FOR:

☐ PRELIMINARY

☐ BID SET

☒ CONSTRUCTION

SHEET

A4.1

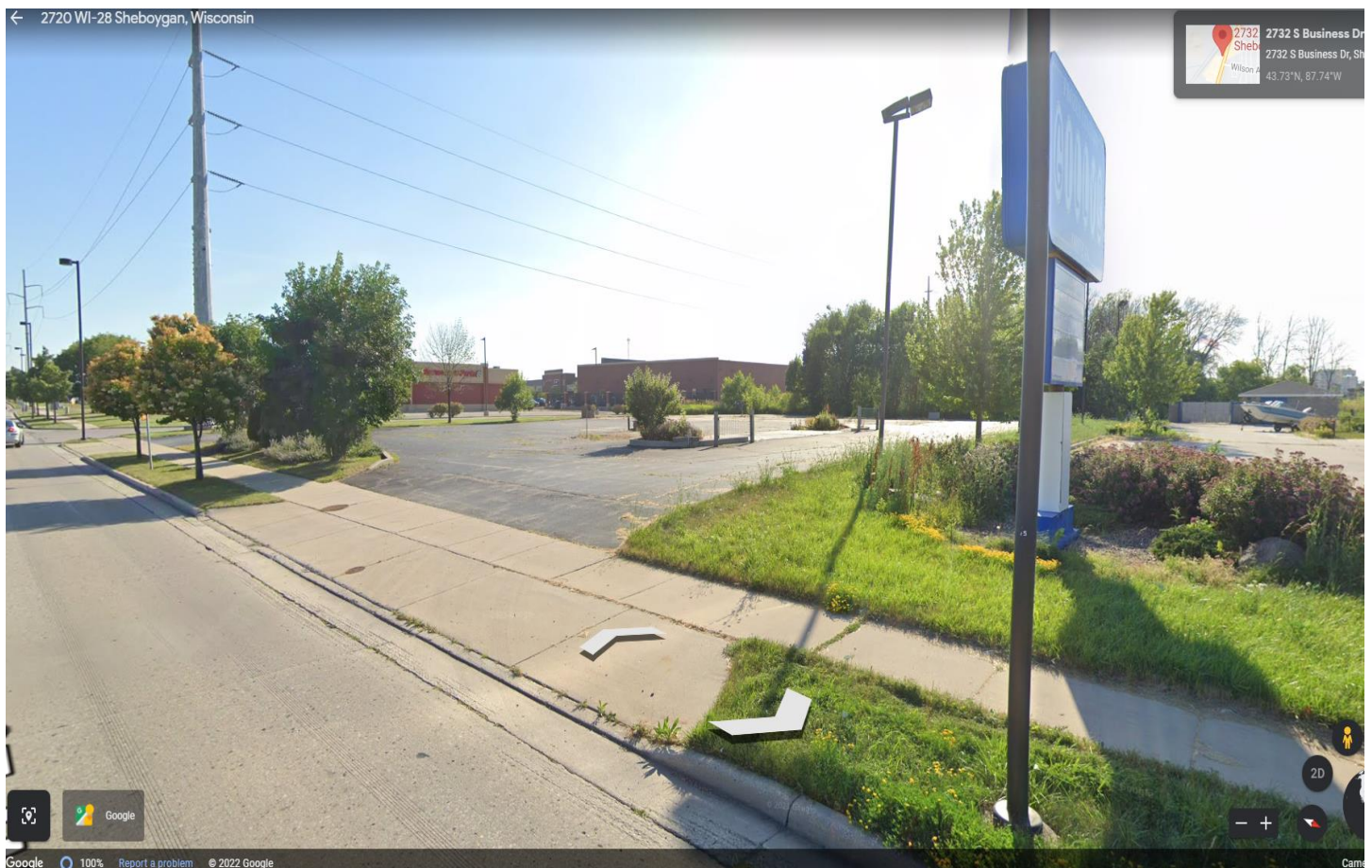
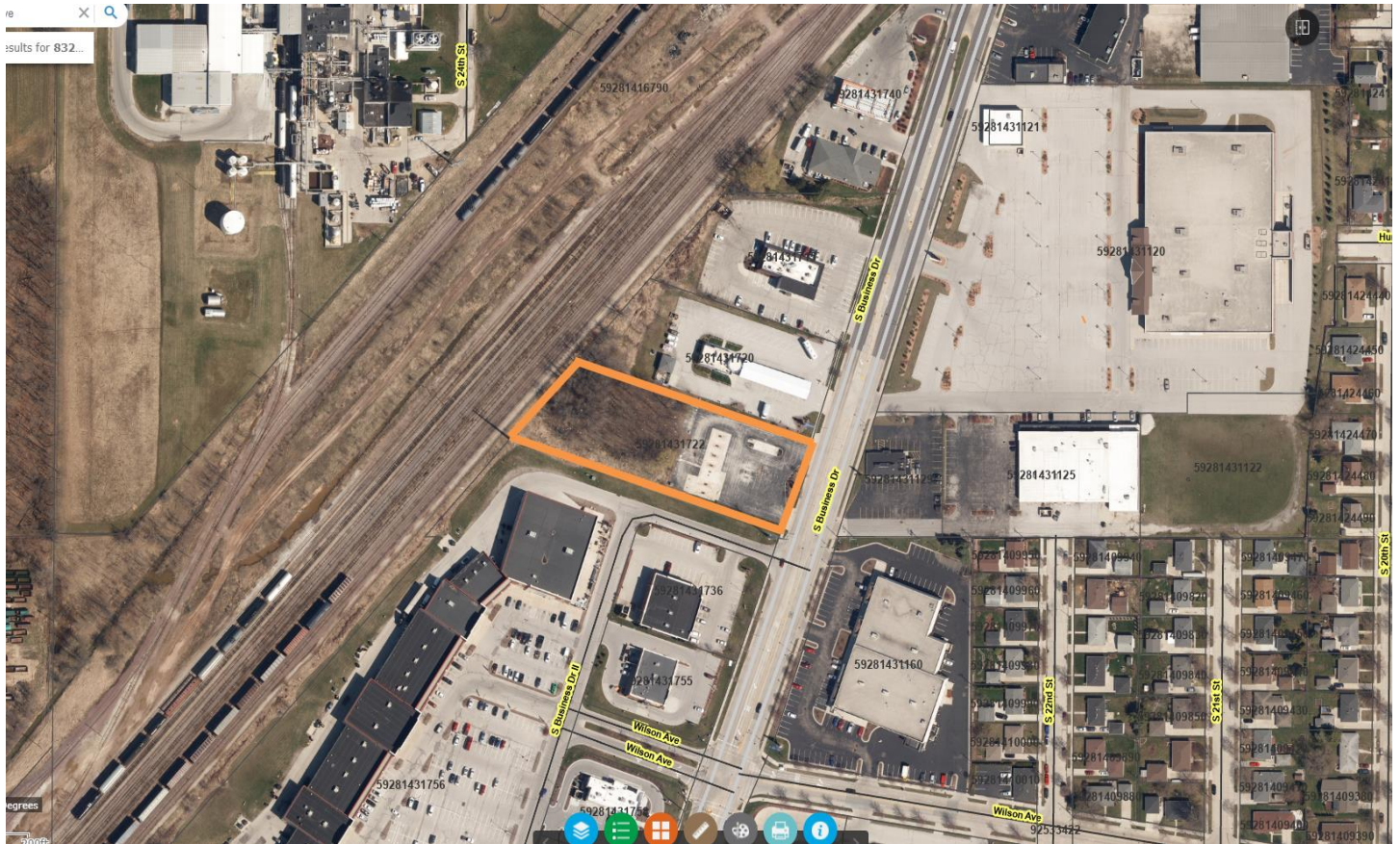


SCOOTER'S
COFFEE DRIVE-THRU















PARCEL NO.:

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised July 2021

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed three weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Cardinal Capital Management

ADDRESS: 901 S 70th St, West Allis, WI 53214

E-MAIL ADDRESS: jreichl@cardinalcapital.us

PHONE: (414) 727-9902 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan Press Apartments

ADDRESS OF PROPERTY AFFECTED: 632 Center Avenue, Sheboygan, Wisconsin

NEW BUILDING: _____ ADDITION: _____ REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: _____

This project is the renovation of the historically designated Sheboygan Press building. The, currently vacant, building will be renovated into apartments using the Secretary of the Interiors Standards for Rehabilitation in order to qualify for State and Federal Historic Tax Credits.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

The existing building is mix of brick masonry and painted CMU. The majority of the windows are replacement single light insulated glazing units with aluminum frames. There is a glass atrium at the southwest corner of the building and loading docks constructed off the alley to the north.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____

The proposed work includes replacing the single light windows with units to match the original window design and replacing modified areas of the building with historically compatible design elements.

3. NAMES AND ADDRESSES

OWNER OF SITE: CCM-Press Owner LLC

ADDRESS: 901 S 70th St, West Allis, WI 53214

EMAIL: jreichl@cardinalcapital.us

PHONE: (414) 727-9902 **FAX NO.:** ()

ARCHITECT: Korb + Associates Architects

ADDRESS: 648 N. Plankinton Ave, #240, Milwaukee, WI 53203

EMAIL ADDRESS: akopyt@kaa-arch.com

PHONE: (414) 273-8230 **FAX NO.:** (414) 273-8231

CONTRACTOR: Not determined yet.

ADDRESS: _____

EMAIL: _____

PHONE: () **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.


APPLICANT'S SIGNATURE

2/21/22
DATE

Erich Schwenker
PRINT ABOVE NAME

OFFICE USE ONLY



2/22/2022

CONDITIONAL USE - PROJECT NARRATIVE

Sheboygan Press Building Renovation
Sheboygan, WI

PROJECT NAME AND ADDRESS:

Sheboygan Press Apartments
632 Center Avenue, Sheboygan. Wisconsin 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

ALTA Survey included with this submittal
PARCEL 1 ID: 59281-110580
PARCEL 2 ID: 59281-110670
PARCEL 3 ID: 59281-110570

ZONING CLASSIFICATION/ZONING:

CC-Central Commercial

EXISTING SITE CONDITIONS/ LAND USE:

The project site consists of the vacant historic Sheboygan Press building and some surface parking areas.

PROPOSED LAND USE

The vacant building will be converted into 29 market rate apartments. This is aligned with the City of Sheboygan's comprehensive vision to have more housing in the downtown area. The apartment counts are as follows: 1 studio, 14 one-bedroom apartments, and 14 two-bedroom apartments. Three of the two-bedroom apartments will be lofted units.

ARCHITECTURE MODIFICATIONS

The project will be submitted for Historic Tax Credits and any modifications to the building will follow the Secretary of the Interiors Standards for Rehabilitation. The primary architecture of the building will remain as constructed and there will be no additions put onto the building. The majority of the existing windows will be replaced with insulated glazing units to match the original window design. Where modifications to the building took place, outside the determined period of significance, the building will be renovated to either match the original construction or match other existing historic features.

PARKING

Sheboygan Press Apartments will be served by 2 surface lots adjacent to the building, 1 surface lot across the alleyway to the north, and 1 surface parking lot across Center Ave to the south. There is also ample street parking around the buildings for use by tenants and visitors. Per the City of Sheboygan Zoning Ordinance, CC zoning does not have a parking requirement. However, multi-family housing in other zoning requires 2 spaces for each unit with 2 or more bedrooms, 1 ½ spaces for each unit with one bedroom or less. Using these requirements, the new apartments would require 51 parking spaces. 45 off street spaces will be available to the tenants of Sheboygan Press Apartments. The developers have determined that this is sufficient parking for the project.

SITE UTILITIES

All existing site utilities will remain and there will be no additional site features added.

- There are two access drives from the alley on the north side of the property.
- The site is graded to direct storm water runoff away from the building.
- Roof drainage is connected directly to the city storm sewer using an existing lateral.
- Building water service is connected to the public water main.
- Building sanitary connects into the public sanitary sewer.



SITE SELECTION

The historic Sheboygan Press building is an asset to the downtown. The attractive building is close to downtown amenities and adding more market rate housing within walking distance of the 8th Street corridor will be an economic benefit to the local businesses.

LANDSCAPE REQUIREMENTS

The building mostly build up to the property line with limited opportunity for landscaping. Where possible, the project will comply with the requirements of Section 15.6 of the City of Sheboygan Zoning Ordinance.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES

This project is contained within an existing building and the project will follow all performance standards set out in the City of Sheboygan Zoning Ordinance.

SITE LIGHTING

Site lighting will be submitted separately.

DENSITY

Site Area Parcel 1 = 0.72 Acres or 31,328 SF

Site Area Parcel 2 = 0.21 Acres or 9,014 SF

Site Area Parcel 3 = 0.14 Acres or 5,992 SF

Total Site Area = 1.07 Acres or 46,334 SF

Maximum Gross Density (MGD) per table 15.304: Up to 40.00 du/acre

Total Dwelling Units Permitted = $1.04 * 40 = 42$

Total Dwelling Units Proposed = 29

VARIANCE REQUESTED:

Minimum Lot Area

Total Site Area = 1.07 Acres or 46,334 SF

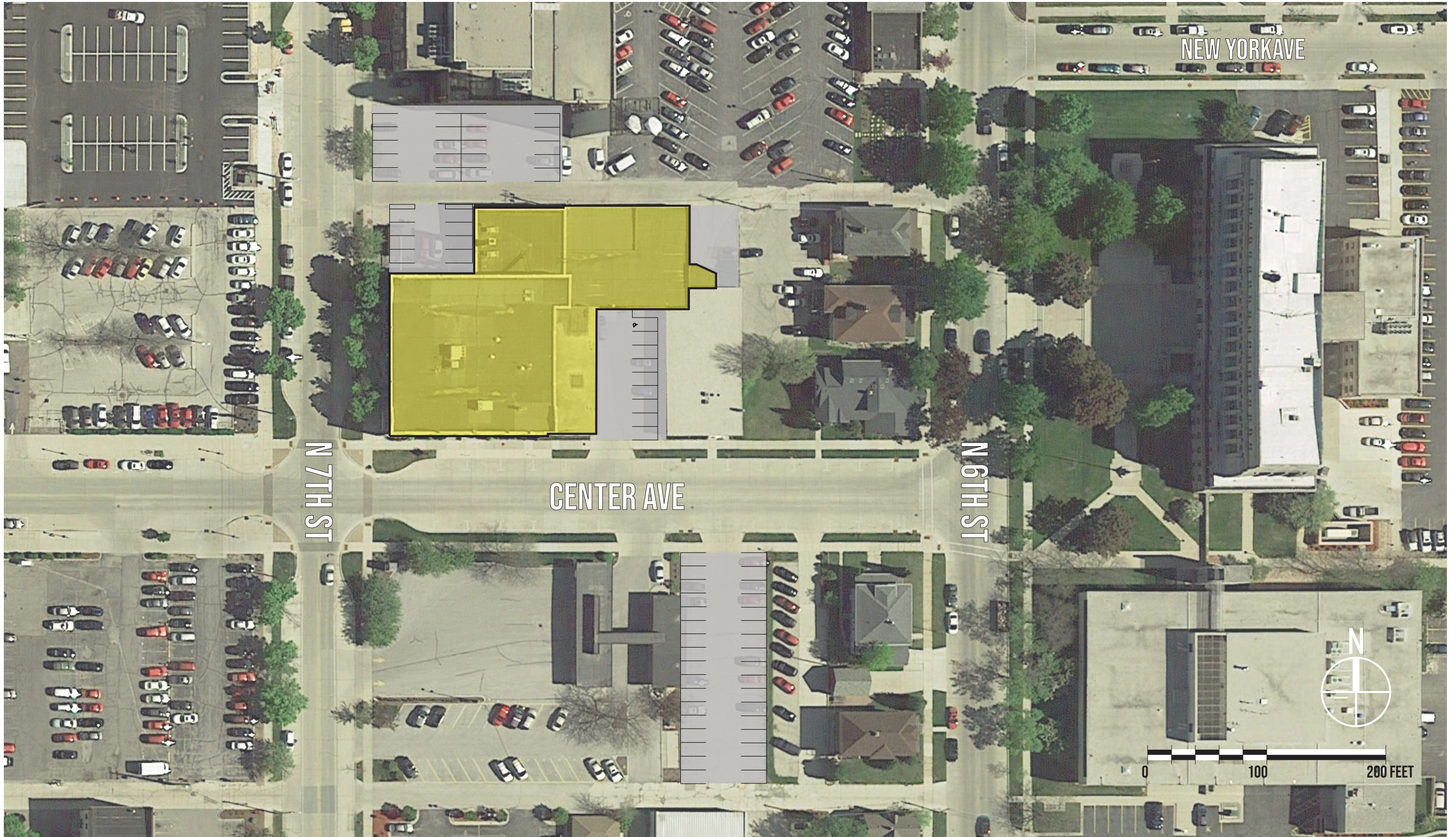
Minimum Lot Area (MLA) per table 15.304: 2,500 SF per unit

Total Required SF of Site = 2,500 SF x 29 units = 72,500 SF

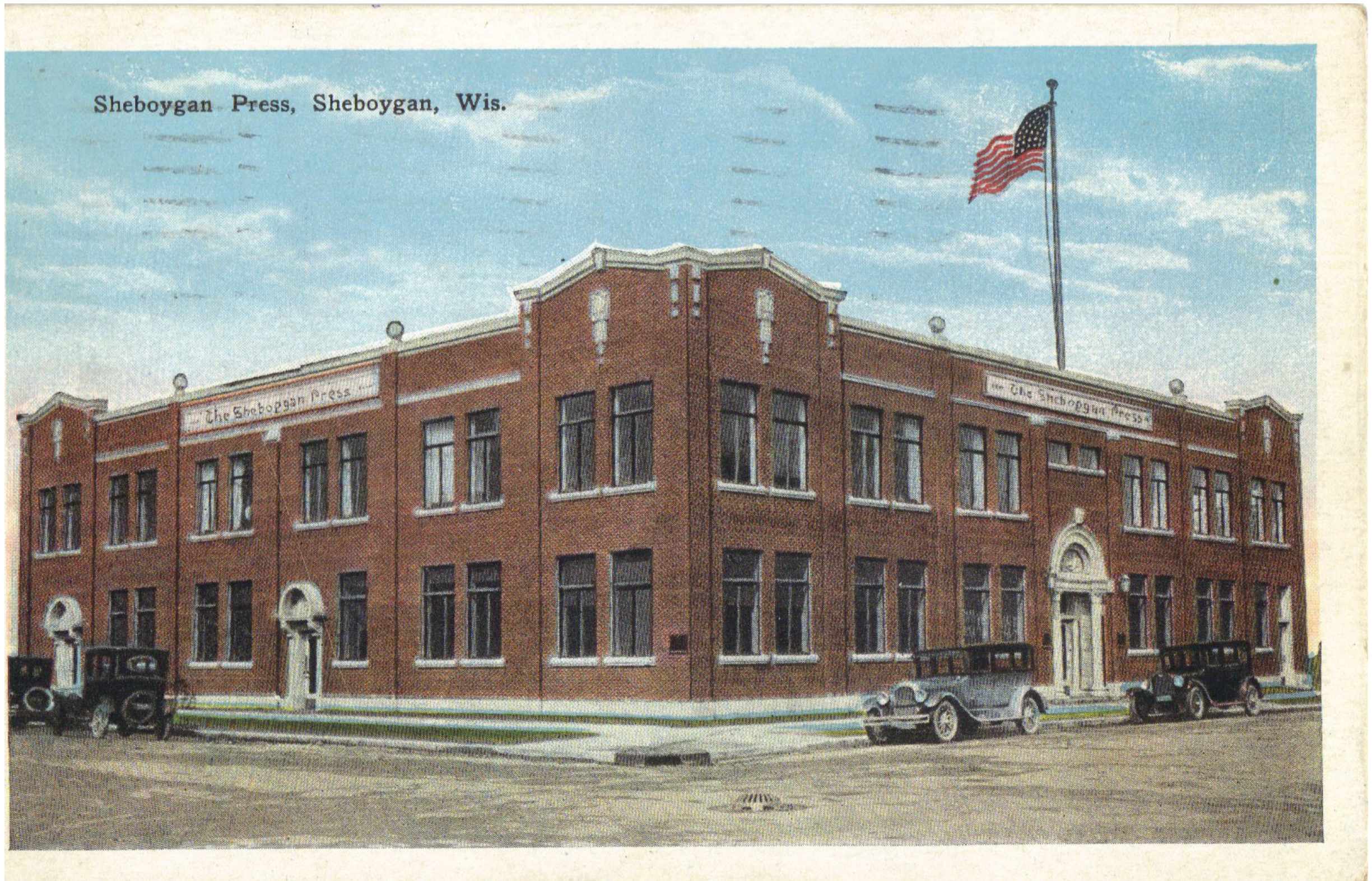
Total Required Acres of Site = 72,500 SF / 43,560 SF = 1.66 Acres

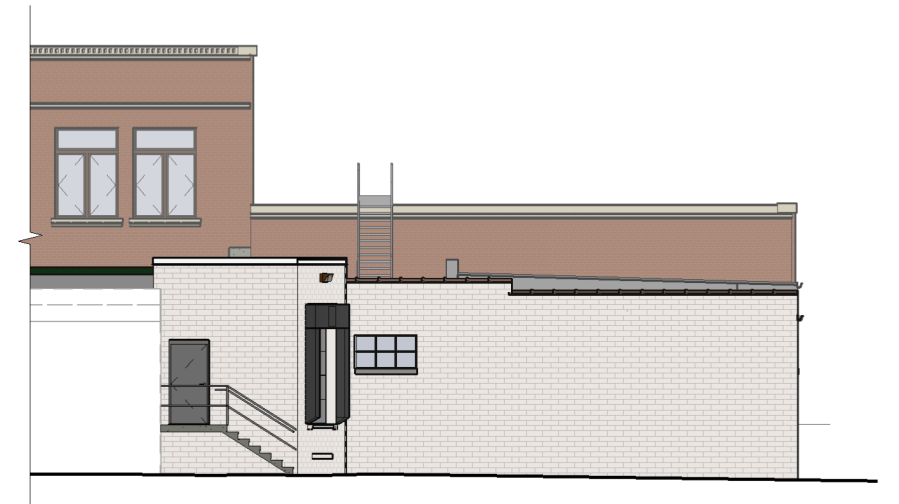
Proposed Minimum Lot Area (MLA) = 43,560 / 29 = 1,502 SF

Variance is requested to permit a minimum lot area of 1,502 SF per unit. The building size will not increase as a result of the additional units. The apartments will be occupying a vacant building.







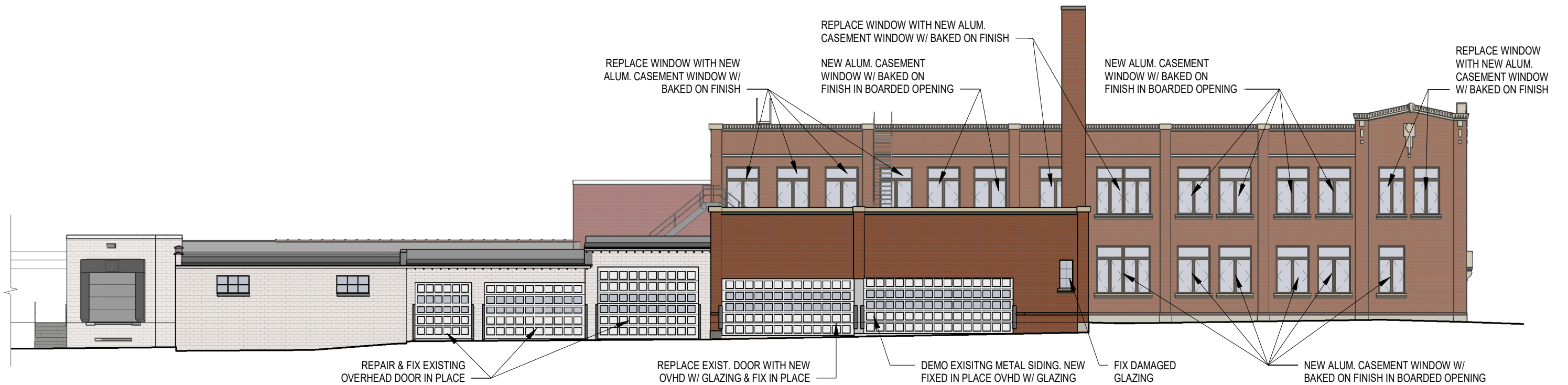


3 EAST ELEVATION - Colored

A201 1/16" = 1'-0"

2 EAST ELEVATION (REAR) - Colored

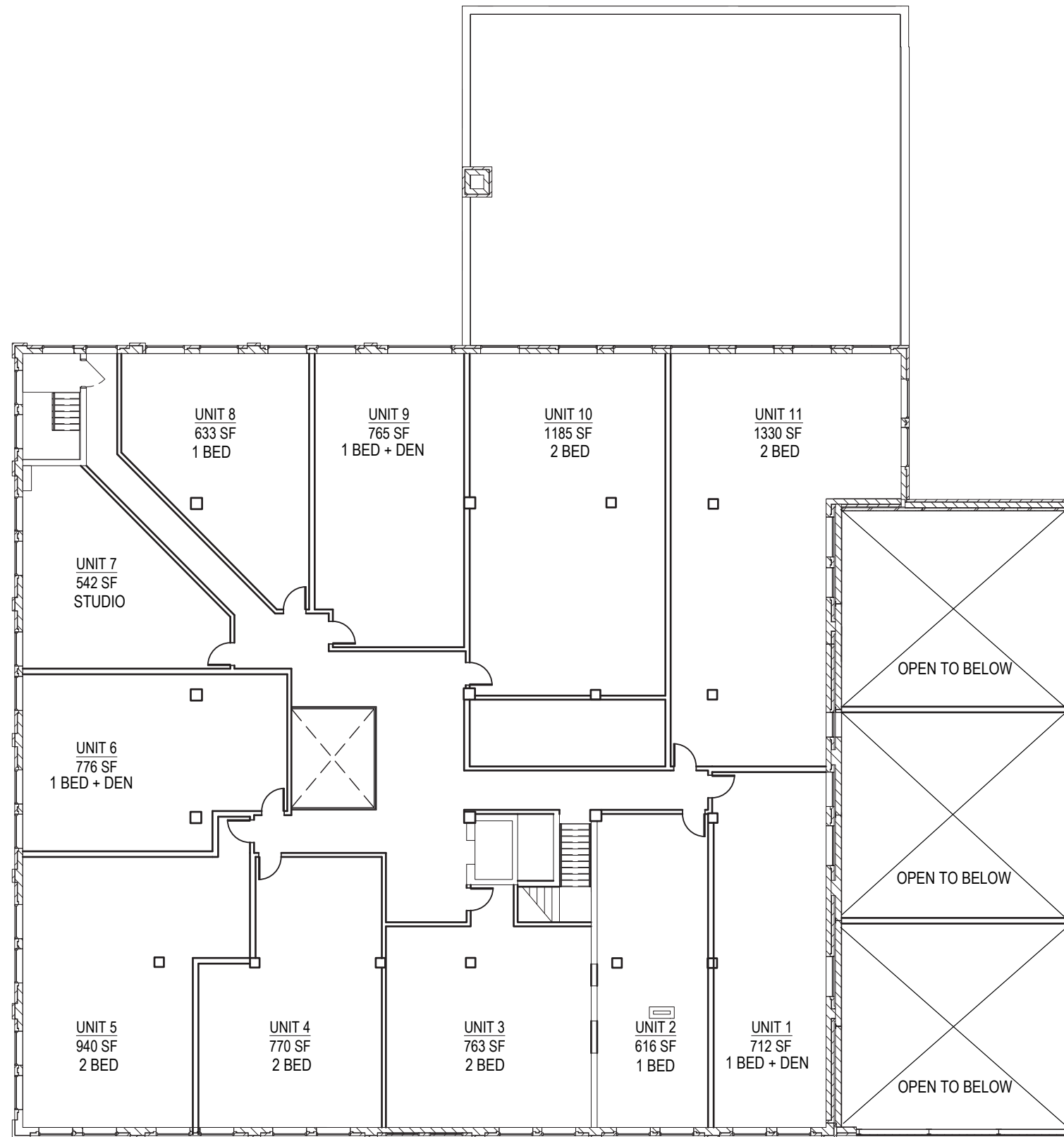
A201 1/16" = 1'-0"



1 NORTH ELEVATION - Colored

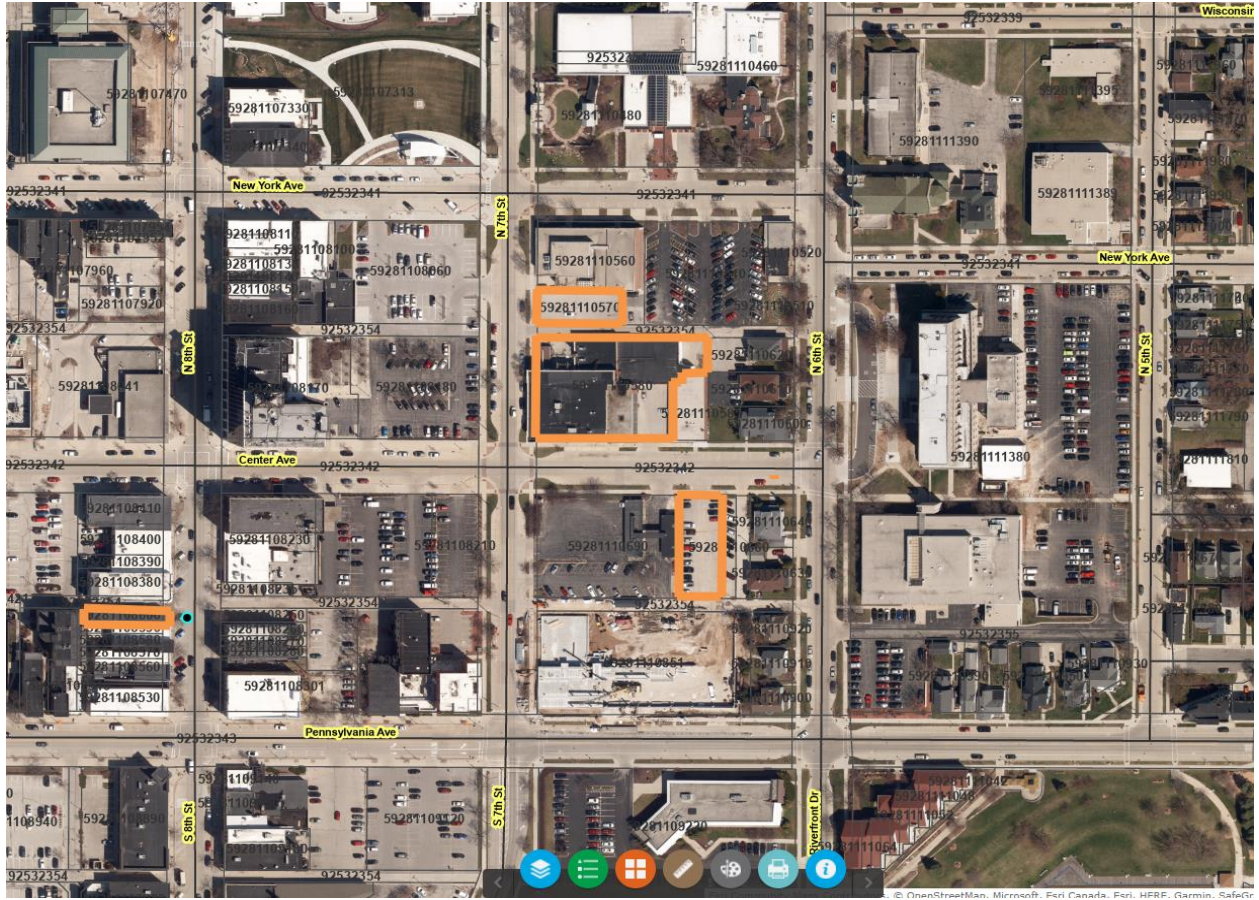
A201 1/16" = 1'-0"























CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Exterior Remodel of the former Sheboygan Press facility at 632 Center Avenue (new multi-family redevelopment).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 11, 2022

MEETING DATE: March 14, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Cardinal Capital Investment is proposing to repurpose the former Sheboygan Press building into a 29-unit Apartment complex. The applicant states the following about the proposed project:

- The Sheboygan Press closed in the summer of 2019 and is presently vacant.
- Cardinal Capital Investment is proposing to renovate the historic Sheboygan Press building into 29 apartments. There will be one (1) studio, 14 one-bedroom units and 14 two-bedroom. Three (3) of the two-bedroom apartments will be lofted units.
- The building has been confirmed to meet eligibility requirements and an application will be filed to place the building on the National Register of Historic Places. Historic tax credits along with conventional debt will finance the renovation of the building.
- The proposed adaptive reuse of this building is consistent with the character of the surrounding neighborhood. The 29 apartment homes will be contained entirely within the building and there will be no new building square footage added to the parcel. It proposes an appropriate density given all units will be contained within the building.
- The primary architecture of the building will remain as constructed and there will be no additions put onto the building. The majority of the existing windows will be replaced with insulated glazing units to match the original window design.
- Where modifications to the building took place, outside the determined period of significance, the building will be renovated to either match the original construction or match other existing historic features.

- All existing site utilities will remain and there will be no additional site features or landscaping added.
- The historic Sheboygan Press building is an asset to the downtown. The attractive building is close to downtown amenities and adding more market rate housing within walking distance of the 8th Street corridor will be an economic benefit to the local businesses.
- The new multi-family apartment will be an attractive addition to the area that will provide positive benefits for the neighborhood and the City of Sheboygan for years to come.

STAFF COMMENTS:

The Board may want to have the applicant address:

- What structures are to be demolished?
- How are all of the garage doors on the north/alley side of the building are being remodeled and how did you come up with that solution?
- Are there rooftop mechanicals?
- Where is the dumpster enclosure to be located and what materials will be used for the dumpster enclosure?

The conversion of the Sheboygan Press building into apartments is a nice reuse of the facility and applicant's use of historic tax credits ensures that the building will be renovated nicely.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.