



Mr. Steve Sokolowski
Manager of Planning and Zoning City of Sheboygan
828 Center Avenue, Suite 208
Sheboygan, WI 53081
(920) 459-3382

REGARDING: ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT FOR THE ADDITION AND RENOVATION TO THE SHEBOYGAN COUNTY DETENTION CENTER

DATE December 22, 2021

Purpose To provide a narrative response to the requests of the architectural review and conditional use criteria regarding of the addition and renovation to the Sheboygan County Detention Center. Sheboygan Detention Center is located at 2923 S. 31st Street and is zoned Suburban Industrial (SI). A detention center is a permitted conditional use in the SI zone; however, it necessitates a conditional use permit.

Bray Architects Project Number 3531
Sheboygan County Detention Center
2923 South 31st Street
Sheboygan, Wisconsin 53081

Owner of the site, existing facility, and the proposed addition is Sheboygan County. The Owner is represented by Jim TeBeest, Building Services Director.

The Architect for the original facility and the proposed addition is Bray Architects, represented by Stephen Kuhnen, Principal Architect and Doug Skinner, Architect

Overview

The name of the addition is: Alternative to Incarceration (ATI). The project is an addition to the Sheboygan County Detention Center. The addition size is approximately 3,516 square feet single story slab on grade with attached canopy. The addition will be separated by a fire wall which is to be constructed adjacent and parallel to the south wall of the existing facility. The canopy at the entry to the addition is approximately twenty feet wide by 9 feet deep. The entry to the addition is connected to the existing sidewalk with a new concrete walk which is 340 square feet. The exterior wall consists of corrugated metal siding on either metal stud or concrete masonry unit back up. The structural system is steel columns and wide flange steel beams. The addition will be located adjacent to the existing Detention Center Multi-Purpose Room with entry primarily through a new secure entry from the existing west parking lot. The

Davenport, IA
220 Emerson Place, Suite 301
Davenport, IA 52801
T: 563.526.6050

Milwaukee, WI
829 South 1st Street
Milwaukee, WI 53204
T: 414.266.0200

Moline, IL
1465 41st Street, Suite 10
Moline, IL 61265
T: 309.762.0511

Sheboygan, WI
PO Box 955
Sheboygan, WI 53082-0955
T: 920.459.4200

project will include civil, structural, plumbing, fire sprinklers, fire alarms, HVAC and electrical related to the addition and renovation work. The renovation portion of the work is primarily the finishes and new connection through the existing multipurpose room.

Building Use

The addition will house the offices of the Sheriff's department personnel in support of the Alternative to Incarceration (ATI) program. The personnel of the ATI team are currently housed in a less than ideal condition in the existing facility. The room they currently occupy will be renovated in conjunction with this project and will become a multipurpose room. Therefore, the employee occupant load of the facility will be unaffected by the addition. The use of the addition will typically take place during daytime hours, 7am – 5 pm. Use of the addition in support of multipurpose room functions may take place at any time.

The primary use of the facility is to process the mandated weekly urinalysis tests for inmates that are not incarcerated. The addition will also support booking / processing efforts of inmates including the assignment of ankle bracelets. The addition will house the offices and support spaces for these efforts and will not be occupied by the inmates for habitation. The proposed addition will not significantly alter the use of the current detention center.

Existing Building Design

The existing building was completed in 1998 and has prefinished horizontal corrugated metal panels as the primary exterior material. The design of the facility is based on two circular pods which allow guards to adequately monitor inmates. The round plan layout is a prominent feature of the exterior of the existing building and subsequently influenced the design of the proposed addition.

Neighbors

There are no immediate neighbors to the site. The closest structures are Waste Management facility to the north and American Excelsior Company to the south.

Exterior

The proposed addition uses the same exterior cladding and window systems in color, orientation, and texture as the existing building. The radius of the existing building is matched exactly on the east elevation and the concentric radius is realized on the west elevation. The entry canopy is sympathetic to the existing main entry canopy but purposely made smaller in order assist in way finding for the first-time visitor. The project adds signage over the existing main entry, reading 'MAIN ENTRY' to assist in way finding. The signage over the addition canopy reads: 'ATI' which is an abbreviation for Alternative to Incarceration.

Elevations

Because the proposed landscaping will block the view of the addition, the attached elevation perspective renderings indicate two views of the west, south, and east elevations: one with and the other without the proposed landscaping.

West elevation

The west elevation is the primary public elevation due to its orientation to 31st Street and the parking lot. The proposed design uses the same size and fenestration of the ribbon windows located north of the main entry of the existing facility.

South Elevation

The south elevation provides the same window height of the west elevation but reduces the total glazed area to help the project meet current energy code standards and minimize the amount of natural light into the offices. To maintain the horizontal quality as introduced on the west elevation, the metal panels between each window on the south is a slightly lighter color of the corrugated metal panel.

East Elevation

The east elevation would never be seen by the public given its proximity to the existing facility and there is no public right of way with a view of the east elevation.

North Elevation

The north elevation is relatively short given that most of the addition is adjacent the south extent of the existing facility.

Roof

The roof of the proposed addition will host a roof top mechanical unit. The location of the unit as far east as possible (without the addition of steel guard rails). The top of the unit is visible from 31st Street, refer to perspective renderings and elevations; however, due to the west parapet wall and the angled view, only a relatively minor view of the roof top unit is evident. Roof access is provided from within the addition; therefore, there are no external ladders as part of the proposed addition. Routing of the natural gas service is proposed over the existing roof and descends to the addition roof on the east side of the existing facility to eliminate the view of the piping from 31st Street.

Roof Drainage

The primary roof drainage is via interior conductors to the existing storm system which can handle the extra load of the addition. The canopy roof drainage will be controlled via a scupper draining into a gutter along the south edge of the canopy roof. The gutter connects to an exposed downspout which discharges at grade and is directed away from the building in a swale, refer to attached civil drawings.

Hardscape

Total hardscape area:

Building = 3,516 SF

Canopy is mostly concurrent to the concrete walk so that area is prorated as follows:

Canopy total area = 157 SF

Canopy area that extends beyond concrete walk = $6 + 8 = 14$ SF

Concrete walk = 340 SF

Total hardscape area = 3,870 SF

Landscape

The landscaping requirements per the City of Sheboygan point system:

Foundation Area (3,470 SF)

Foundation Perimeter (211 FT)

Street Frontage (75 FT)

Pavement Area (715 FT)

The minimum landscape points required are:

Foundation Area (3,470 SF) =	35 pts
Foundation Perimeter (211 FT) =	85 pts
Street Frontage (75 FT) =	30 pts
Pavement Area (715 FT) =	<u>6 pts</u>
Total Points =	156 pts

Proposed Landscape Treatment:

Given that the primary view for the public is from 31st Street the proposed landscape plan is to provide (6) Linden trees: three on the west and three on the south elevations. The use of tall deciduous trees (caliber minimum 1 ½") provides 30 points per tree for a total of 180 points. The use of deciduous trees also benefits the project by helping to minimize solar gain in summer while maximizing solar gain in winter. All disturbed turf will be replaced in kind. Refer to attached landscape plan.

Parking

Given that the occupant load to the building is not changing and the current parking lot meets the facility's needs; there is no need to alter or add to the existing parking lot. The available ADA parking stalls meet the code requirement for accessible parking and are on the accessible path.

Mechanical Equipment

The existing data room 114A will be utilized for the data rack and cabling. Due to this increased load and the fact that the room is in need of additional cooling currently, the project includes an on-grade air conditioning unit which will support the new split system located in the data room. The air-conditioning unit will be located on grade in the planting bed adjacent to the Data Room, refer to attached overall plan.

Exterior Lighting

Exterior lighting will be LED, 5000K type. Existing exterior bollards are not affected by the addition and will remain in their current locations. Control of new exterior canopy lighting will be controlled per the existing canopy lighting controls. The egress door on the east elevation will have a light fixture to provide code compliant egress lighting. All the exterior lighting will be on the article 700 emergency system.

Conditional Use Permit

A detention center is a permitted conditional use in the SI zone; however, it necessitates a conditional use permit per code of ordinances. The existing facility has successfully operated on the site since 1998. The applicant and the Owner believe the proposed conditional use is appropriate because the addition is in support of the current facility operations and does not change how the facility currently operates.

The proposed conditional use is in harmony with the purposes, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Master Plan because this proposal does not extend beyond the property lines of the current facility and does not change the operation of the facility. The proposed addition creates a more efficient use of the County's resources. The proposed addition was initially planned as part of the 1998 construction, refer to attached drawing which indicates the outline of the master planned addition.

The proposed conditional use does not result in any substantial or undue adverse impact on nearby properties, the character of the neighborhood, environment, traffic, parking, public improvements, public property, or rights-of-way. The traffic and occupant load of the facility will not be altered due to the construction of the proposed addition because the proposed function of the addition is currently being accommodated by the existing facility. The use of the Alternative to Incarceration program is relieving the occupancy needs of the detention center by allowing more inmates to be monitored in lieu of incarcerated.

The proposed conditional use maintains the desired consistency of land uses in relation to the setting within which the property is located because the proposed addition does not change how the current facility is used.

The proposed conditional use is in an area that will be adequately served by utilities or services provided by public agencies. The 1998 project adequately provided sizing of all utilities to accommodate the proposed addition. The site provides vehicular access, parking, pedestrian access, delivers, and trash removal to support the proposed addition. Existing electrical, water, sanitary, storm, and natural gas services are adequate for the addition.

Prepared by,
Doug Skinner, Architect

Attachments

8 ½ x 11 Forms:

- Architectural Review Application
- Conditional Use Permit Application

11X17 Drawings:

- Satellite Image of Site
- Site Plan with Proposed Addition (Drafted Over Existing Site Topography)
- First Floor Plan
- Exterior Axonometric View from the Northwest
- Exterior Axonometric View from the Southwest
- Interior Axonometric View from the Southwest
- Interior Axonometric View from the Southeast
- Annotated West and South Elevations
- Annotated East and North Elevations
- Perspective Rendering View from 31st Street looking East
- Perspective Rendering View South Elevation
- Perspective Rendering View East Elevation
- Perspective Rendering View North Elevation

36 x 24 Drawing

- Certified survey map

30 x 42 Drawings

- Existing Conditions Map C-1
- Site Grading and Paving Plan C-3
- Site Plan from 1998 C-4
- Landscape Plan

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Bray Architects: Steve Kuhnen and Doug Skinner

ADDRESS: 1227A N 8th St, Sheboygan, WI 53082

E-MAIL ADDRESS: skuhnen@brayarch.com and dskinner@brayarch.com

PHONE: (920) 946 1130

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS:

Alternative to Incarceration – Addition to the Sheboygan County Detention Center

ADDRESS OF PROPERTY AFFECTED: 2923 South 31st Street

NEW BUILDING: _____ ADDITION: X _____ REMODELING: X _____

A. DESCRIPTION OF PROPOSED PROJECT:

Refer to attached letter

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

Refer to attached letter

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS:

Refer to attached letter

3. NAMES AND ADDRESSES

OWNER OF SITE: Sheboygan County Jim TeBeest, Building Services Director

ADDRESS:
615 N 6th St
Sheboygan, WI 53081

EMAIL: Jim TeBeest <jim.tebeest@sheboygancounty.com>

PHONE: _920-459-4349

ARCHITECT: Bray Architects, Steve Kuhn
ADDRESS: 1227A N 8th St, Sheboygan, WI 53082

EMAIL ADDRESS: skuhnen@brayarch.com

PHONE: _(920) 946 1130

CONTRACTOR: To Be Determined

ADDRESS: _____

EMAIL: _____

PHONE: _ () _____ **FAX NO.:** _ () _____

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Doug Skinner
APPLICANT'S SIGNATURE

Digitally signed by Doug Skinner
DN: C=US, E=ds Skinner@brayarch.com,
O=Bray Architects, CN=Doug Skinner
Date: 2021.12.22 11:30:05-08'00'

December 22, 2021
DATE

Doug Skinner
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY ARCHITECTURAL REVIEW BOARD

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, Architectural Review Board OR
Manager of Planning & Zoning

DATE: _____

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Steve Kuhnen and Doug Skinner

ADDRESS: 1227A N 8th St, Sheboygan, WI 53082

E-MAIL: skuhnen@brayarch.com and dskinner@brayarch.com

PHONE: (920) 946 1130

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS:
Sheboygan County Detention Center

ADDRESS OF PROPERTY AFFECTED:

2923 South 31st Street
Sheboygan, Wisconsin 53081

LEGAL DESCRIPTION: Refer to attached survey

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE:
The facility houses the Sheboygan County Detention functions.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING
ANY CHANGES TO THE EXISTING USE:
Refer to attached letter.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

Refer to attached letter

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

Refer to attached letter

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

Refer to attached letter

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

Refer to attached letter

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

Refer to attached letter

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

Refer to attached letter

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Sheboygan County

ADDRESS: 615 N 6th St
Sheboygan, WI 53081
920-459-4349

E-MAIL: jim.tebeest@sheboygancounty.com

ARCHITECT: Bray Architects, Steve Kuhnen and Doug Skinner

ADDRESS: 1227A N 8th St, Sheboygan, WI 53082__

E-MAIL: skuhnen@brayarch.com and dskinner@brayarch.com

CONTRACTOR: To be determined

ADDRESS: __NA__ **E-MAIL:** NA

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Doug Skinner
Digitally signed by Doug Skinner
DN: C=US, E=ds Skinner@brayarch.com,
O=Bray Architects, CN=Doug Skinner
Date: 2021.12.22 11:30:20-06'00'

APPLICANT'S SIGNATURE

December 22, 2021

DATE

Doug Skinner

PRINT ABOVE NAME

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
 - ☐ The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
 - ☐ All lands for which the conditional use is proposed.
 - ☐ All other lands within 100 feet of the boundaries of the subject property.
 - ☐ The current zoning of the subject property and its environs (200 feet),
3. A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development or if the proposed conditional use is a cluster development (per Section 15.206(1)(b) or a group development (per Section 15.208). A proposed preliminary plat or conceptual plat may be substituted for the final site plan, provided that the preliminary plat contains all information required on a site plan.
 - ☐ Submit TWO (2) copies of the site plan.
 - ☐ Submit .pdf file of all drawings either by email or CD
 - ☐ The site plan shall be at a scale of not less than 1" = 100', including a graphic scale and north arrow.
 - ☐ Submit ONE (1) 11" X 17" reduction of the site plan.
 - ☐ Property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
 - ☐ Existing and proposed easement lines and dimensions with an explanation of ownership and purpose.
 - ☐ Required building setback lines.
 - ☐ Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls.
 - ☐ The location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys.
 - ☐ The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance.
 - ☐ The location of all loading and service areas, and the dimensions of such areas.

- ☐ The location of all outdoor storage areas and the design of all screening devices.
- ☐ The location, type, height, size and lighting of all signage.
- ☐ The location, height, design/type, illumination power and orientation of all exterior lighting, including compliance with Section 15.707.
- ☐ The location of existing and proposed drainage facilities.

Office Use Only

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____ DENIED: _____

CONDITIONS

SIGNATURE: _____

Chairperson, City Plan Commission or
Representative Dept. of City Development

DATE: _____

NOTES

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire within one (1) year from date of approval unless substantial work has commenced.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any

permits for any purpose that is prohibited by the City Zoning Ordinance or any other State or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

Check sidewalk grades from City Engineering Department with finished site grade.

PROPOSED LOCATION
FOR THE ON GRADE AIR
CONDITIONING UNIT
WHICH SERVES DATA
ROOM 114A

PROPOSED CONCRETE
SIDEWALK

EXTENT OF PROPOSED
CANOPY AT ENTRY

LOCATION OF
PROPOSED ADDITION



SATELLITE IMAGE OF SITE

Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021



Project #3531



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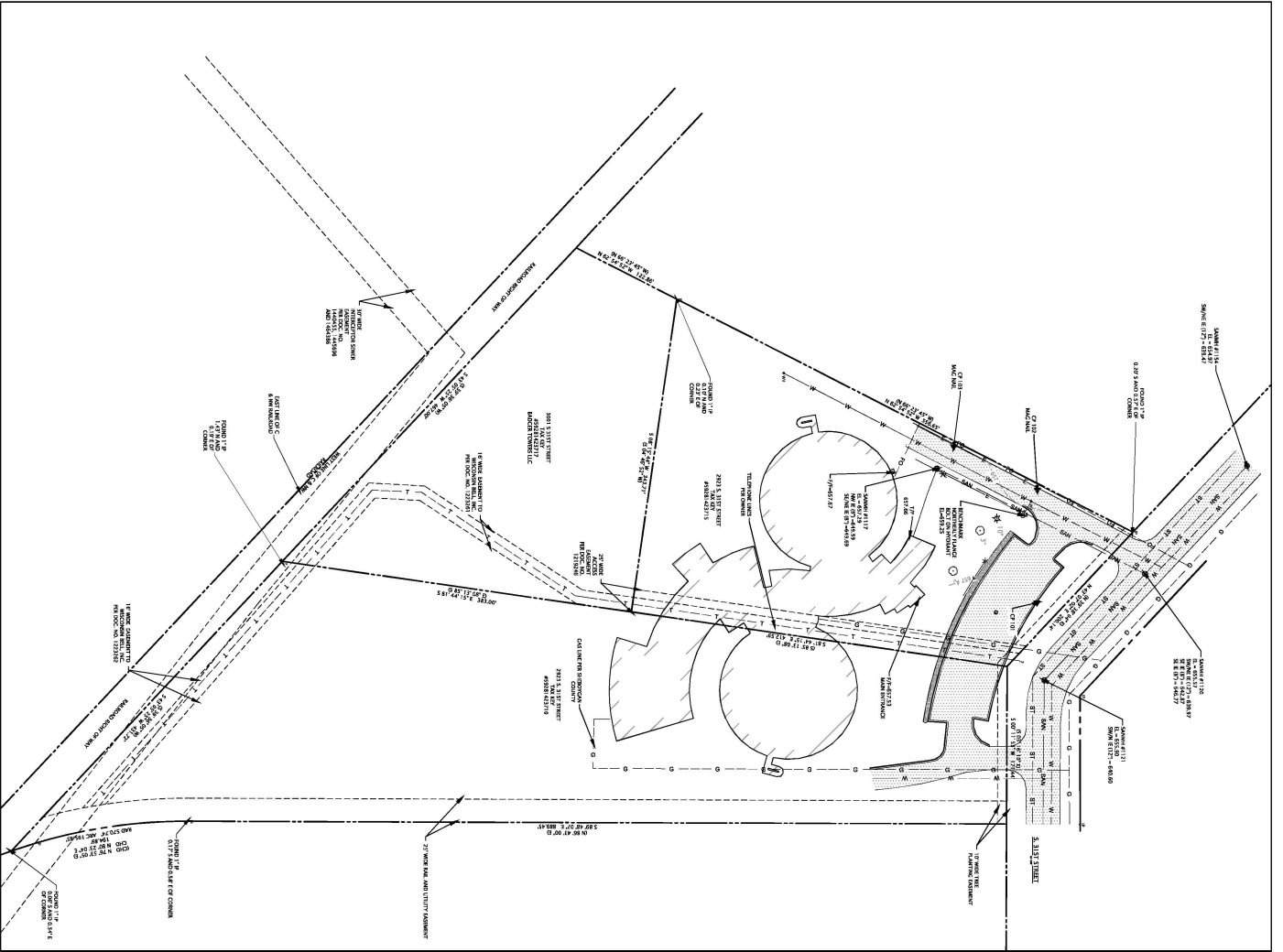
Project #3531



SITE PLAN DRAFTED OVER EXISTING SITE TOPOGRAPHY
Scale: 1" = 20'-0"

Sheboygan County Detention Center
2923 South 31st Street
December 13, 2021

© 2021 Bray Associates Architects, Inc.



- LEGEND**
- EXISTING**
- PROPOSED**
- ADDITIONAL**
- REVISIONS**
- NOTES**
1. THE PROJECT IS LOCATED ON THE 31ST STREET CORNER IN 2011.
 2. THE PROJECT IS LOCATED ON THE 31ST STREET CORNER IN 2011.
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GENERAL NOTES

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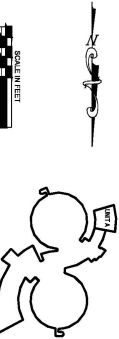
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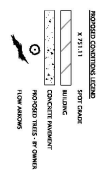
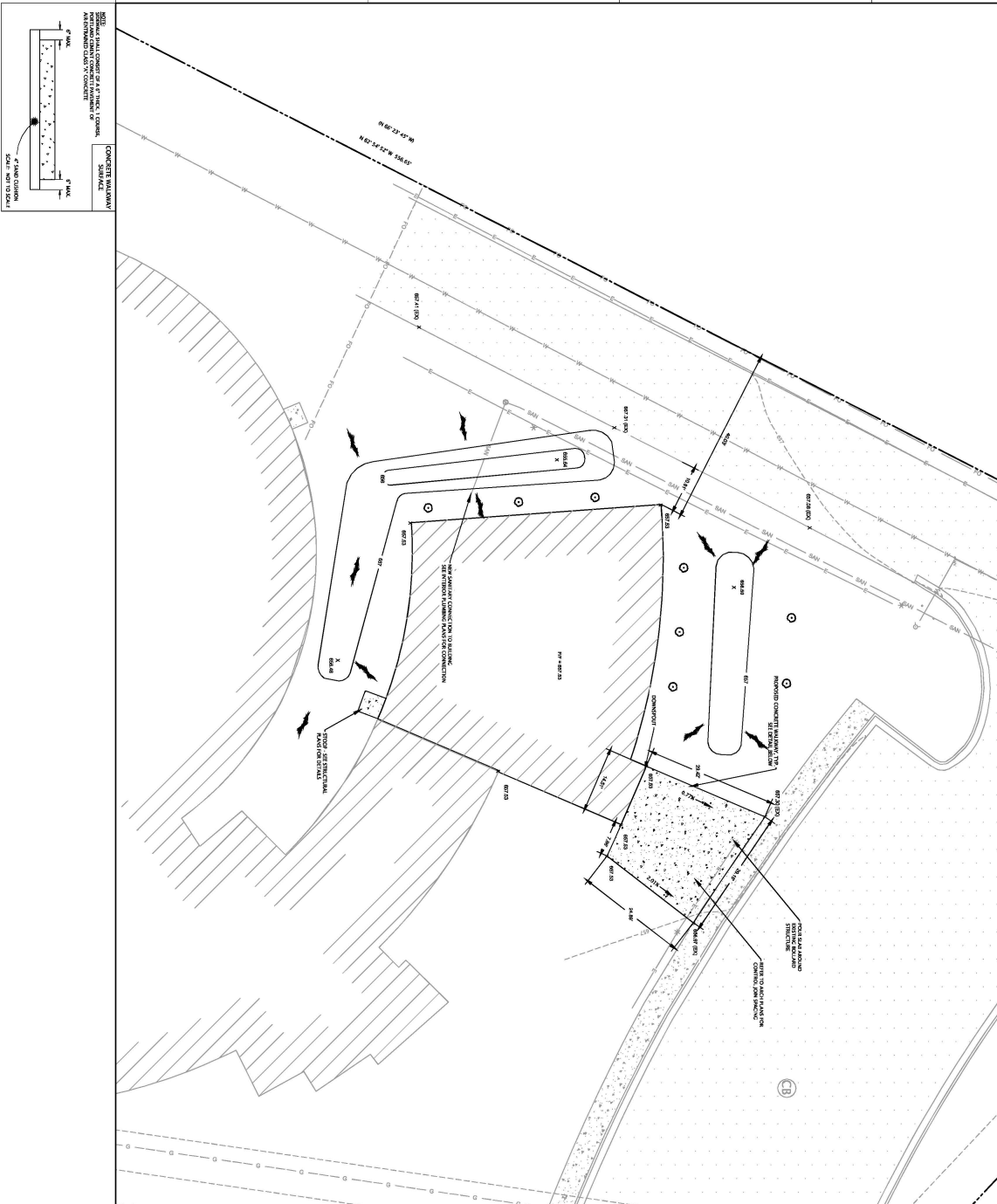
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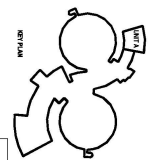
19. THE PROJECT IS LOCATED ON THE 31ST STREET CORNER IN 2011.

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6. ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.
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Project Title:
**Addition & Renovation to
Sheboygan County Detention Center
Sheboygan County
2923 South 31st Street
Sheboygan, WI 53109**



TERRATEC ENGINEERING, LLC.

829 South 1st Street
Milwaukee, Wisconsin 53204
T: 414.228.0050

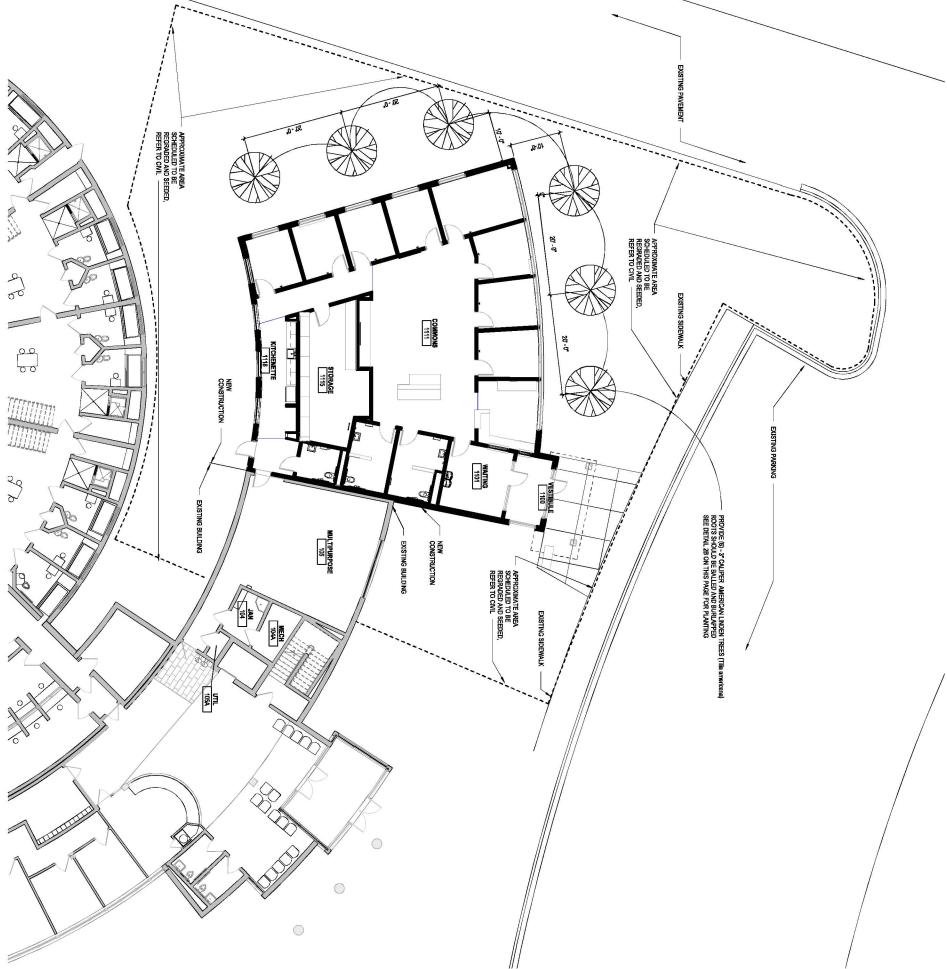
Shelbygan • Deerport • Meilins

www.larryjwirth.com

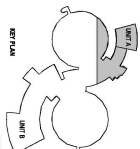
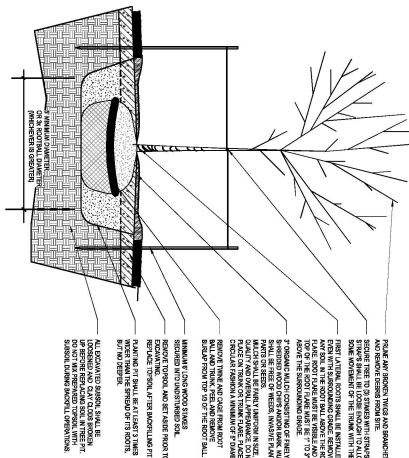


bray
architects

6B LANDSCAPE PLAN
L1.1 Scale: 1" = 10'-0"



2B TREE PLANTING
L1.1 Scale: 1" = 1'-0"



L1.1

LANDSCAPE

CONSTRUCTION

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Bray architects
2823 South 31st Street
Sheboygan, WI 53108
920.855.1234
www.brayarchitects.com

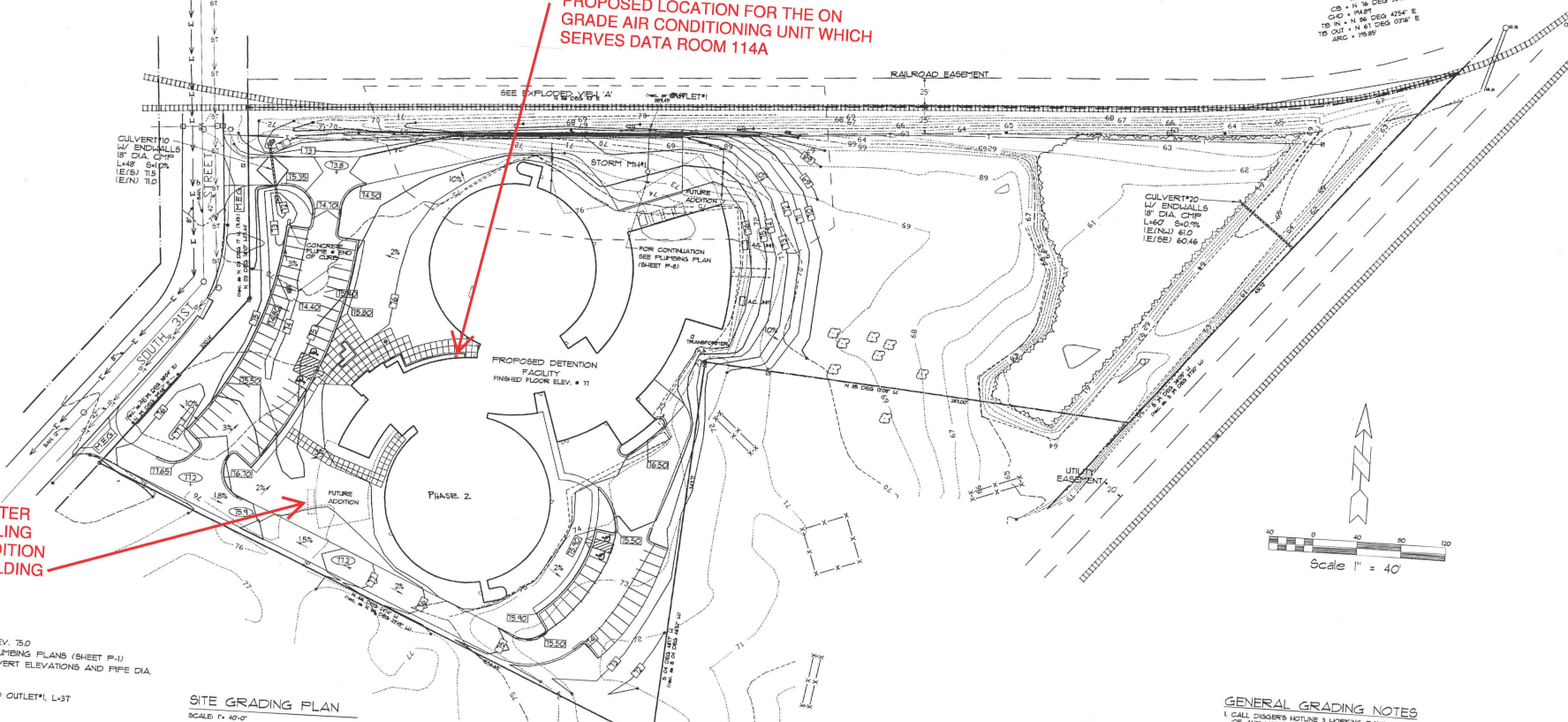
Project Title:
Addition & Renovation to
Sheboygan County Detention Center
Sheboygan County
2823 South 31st Street
Sheboygan, WI 53108

3531

1. 14 DEG 37'32"
R = 570.14
(REG. R. 158.48)
CB = 11.76 DEG 53'05" E
C/O = 14.81
TB IN = N. 86 DEG 47'54" E
TB OUT = N. 61 DEG 07'56" E
ARC = 158.87

PROPOSED LOCATION FOR THE ON
GRADE AIR CONDITIONING UNIT WHICH
SERVES DATA ROOM 114A

OUTLINE OF THE MASTER
PLAN FROM 1998 CALLING
FOR THE FUTURE ADDITION
TO THE ORIGINAL BUILDING



STORM MH#1: RM ELEV. 15.0
SEE PLUMBING PLANS (SHEET P-1)
FOR INVERT ELEVATIONS AND PIPE DIA.

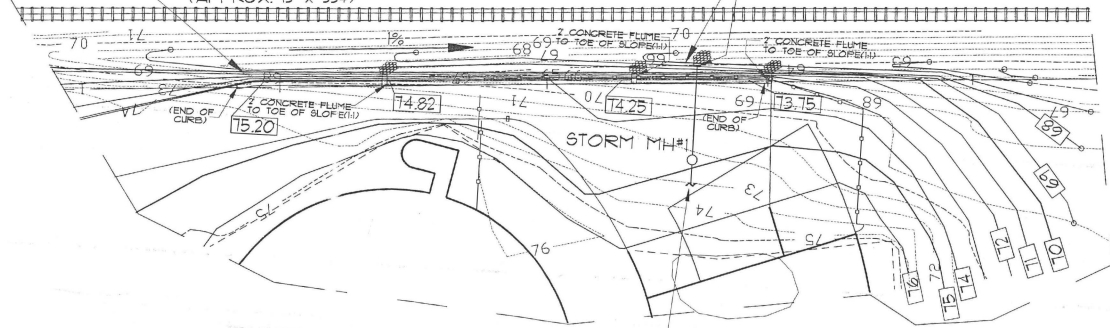
OUTLET#1: 1E 68.0
MH#1 TO OUTLET#1: L=37

SITE GRADING PLAN
SCALE 1" = 40'-0"

EXPLODED VIEW 'A'
SCALE 1"=20'

ALL DISTURBED SOIL IN CHANNEL TO BE LINED WITH
NORTH AMERICAN GREEN® SC150 EROSION CONTROL BLANKET
(APPROX. 13' x 334')

OUTLET#1 W/ ENDWALL



LEGEND

- 112- PROPOSED CONTOUR ELEV.
- 1550- TOP OF CURB ELEV.
- 112- SPOT ELEV.
- ME4- MATCH EXISTING GRADE
- 4X6 BED OF 6" RIFRAP (TYP.)
- PROPOSED FENCE

GENERAL GRADING NOTES

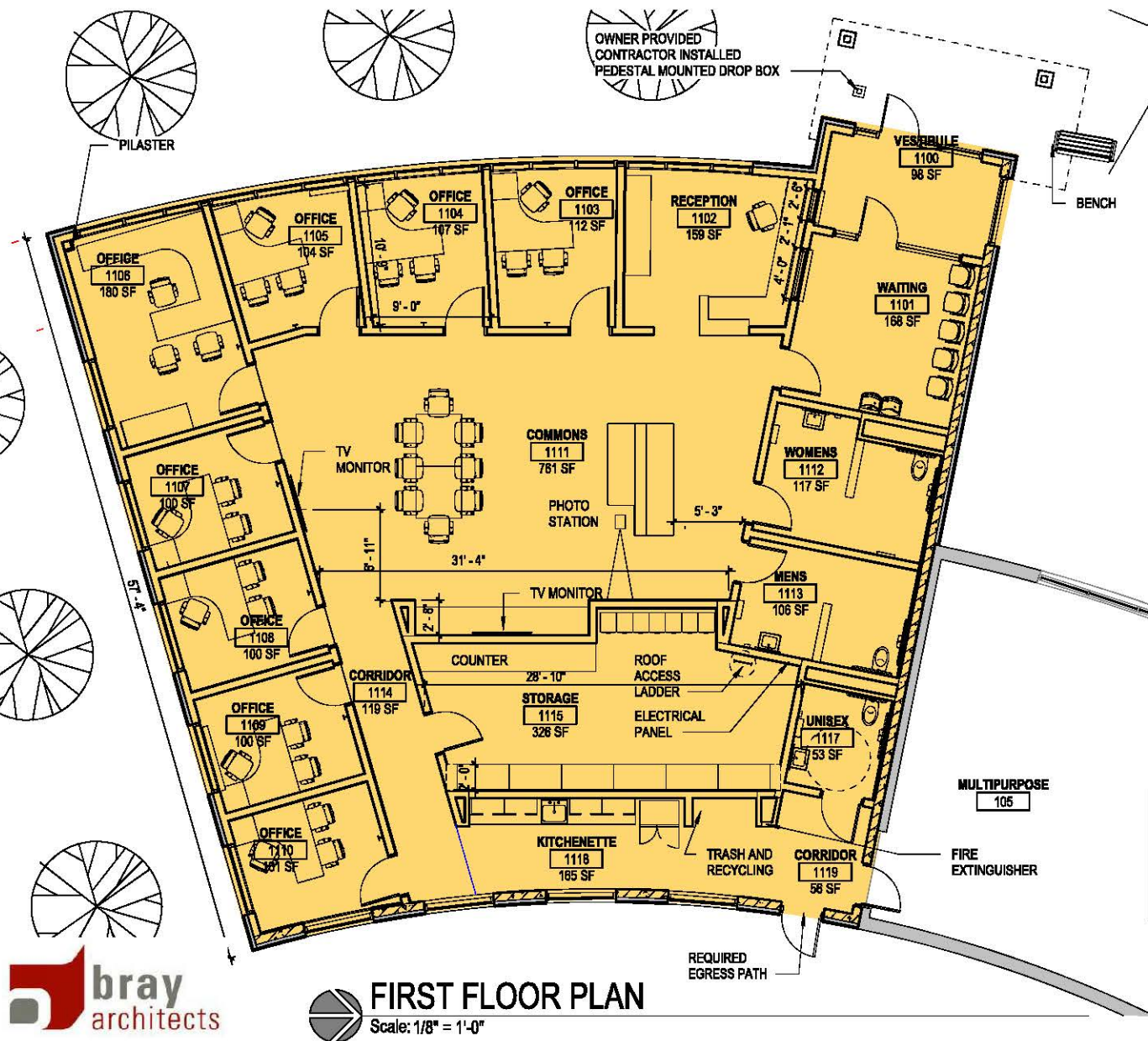
1. CALL DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF ANY WORK 1800-274-8811
2. ALL WORK SHALL MEET THE WORKMAN CONSTRUCTION SITE BEST MANAGEMENT PRACTICES.
3. MAINTAIN ALL PROPOSED GRADIES SHOWN ON PLANS TO MAINTAIN ADEQUATE COVERAGE OVER EXISTING UTILITY LINES.
4. SEE ELECTRICAL PLANS FOR LOCATIONS AND DEPTHS OF BURIED CONDUITS AND ELECTRICAL LINES.
5. EXISTING UTILITIES AS SHOWN ON THE PLANS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. HOWEVER, LOCATIONS MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO INITIATING EXCAVATION.
6. ALL WORK PERFORMED WITHIN THE RAILROAD AND 1ST STREET ROW'S SHALL BE DONE IN ACCORDANCE OF ALL PERMITS CITY REQUIREMENTS AND PROCEDURES.
7. ALL BENTONITE CONCRETE ROADWAY SUBSURFACE SHALL BE PROOF ROLLED PRIOR TO PLACING ANY FILL MATERIALS.
8. CONTRACTOR SHALL PROVIDE POSITIVE GRADES TO ALL STORM INLET/ MANHOLES AND CULVERT STRUCTURES.
9. SEE PLUMBING PLANS FOR SANITARY SEWER MANHOLE RM ELEVATIONS.
10. CONTRACTOR SHALL COORDINATE WITH PLUMBING PLANS FOR DEPTH AND LOCATION OF ALL PROPOSED STORM SEWER CONNECTIONS.
11. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL PLANS FOR DEPTH AND LOCATION OF ALL ELECTRICAL, VIDEO AND TELEPHONE LINES.
12. CONTRACTOR SHALL COORDINATE WITH HVAC PLANS FOR DEPTH AND LOCATION OF ALL GAS LINES.

GRADING PLAN -- UPDATED

Bray Associates
Sheboygan County
Work Release
Detention Facility
Sheboygan, WI

Drawn By: CEN/AY
Date: 12-18-13
Scale: 1"=40'
Project No.: 2270

C-4



SUMMARY

AREA 3,560 SQUARE FEET

FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"



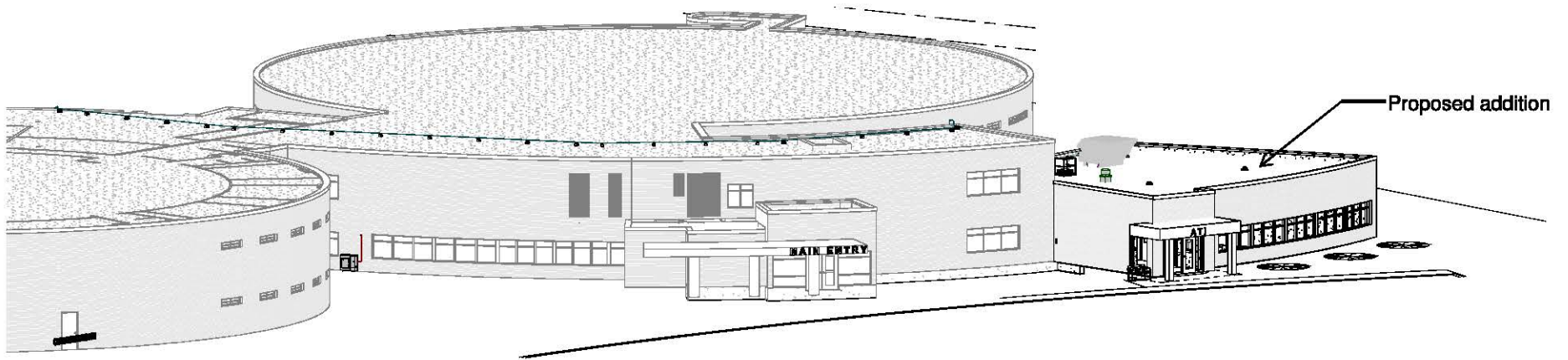
Project #3531



Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021

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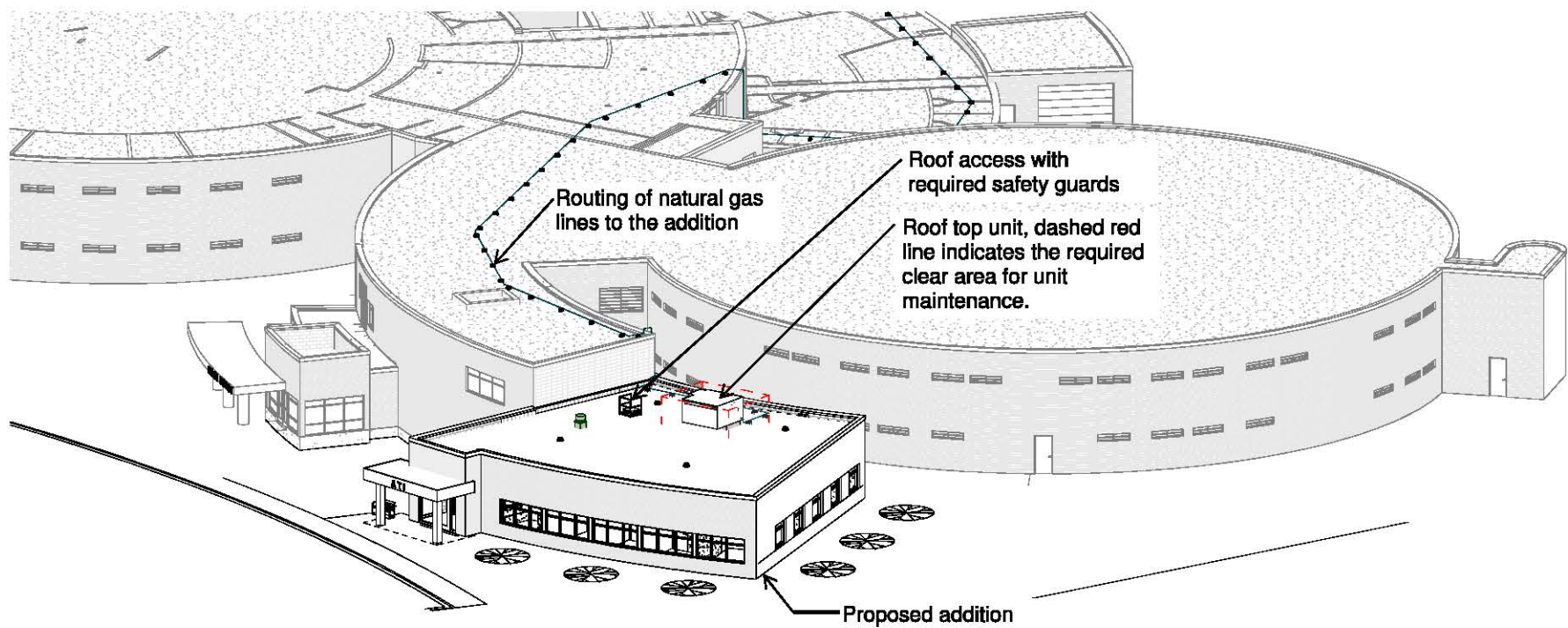


Project #3531



Exterior Axonometric View from the Northwest
 Sheboygan County Detention Center
 2923 South 31st Street
 December 13, 2021

© 2021 Bray Associates Architects, Inc.



Project #3531



Exterior Axonometric View from the Southwest
 Sheboygan County Detention Center
 2923 South 31st Street
 December 13, 2021

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Project #3531



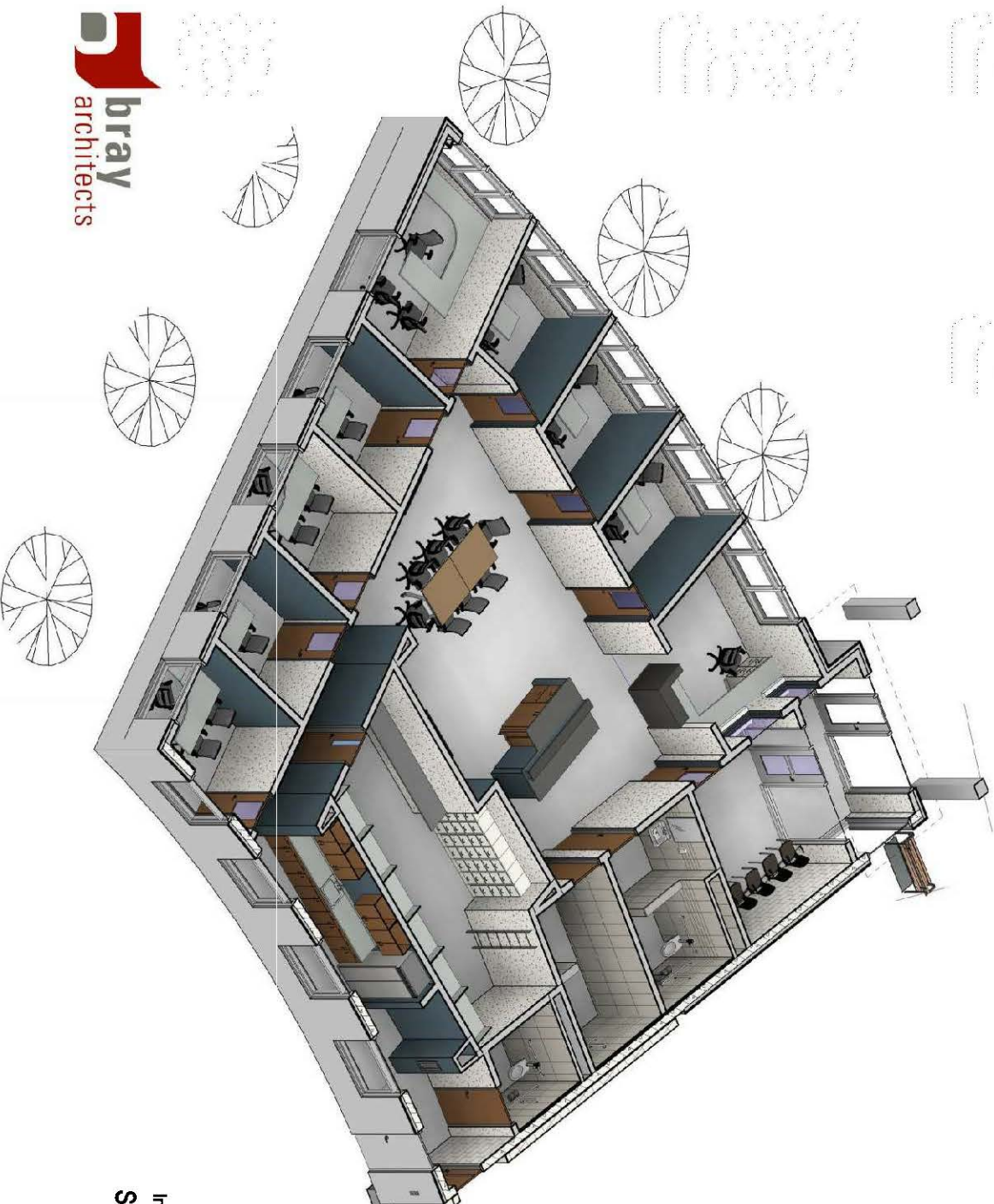
Interior Axonometric View from the Southwest
Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021

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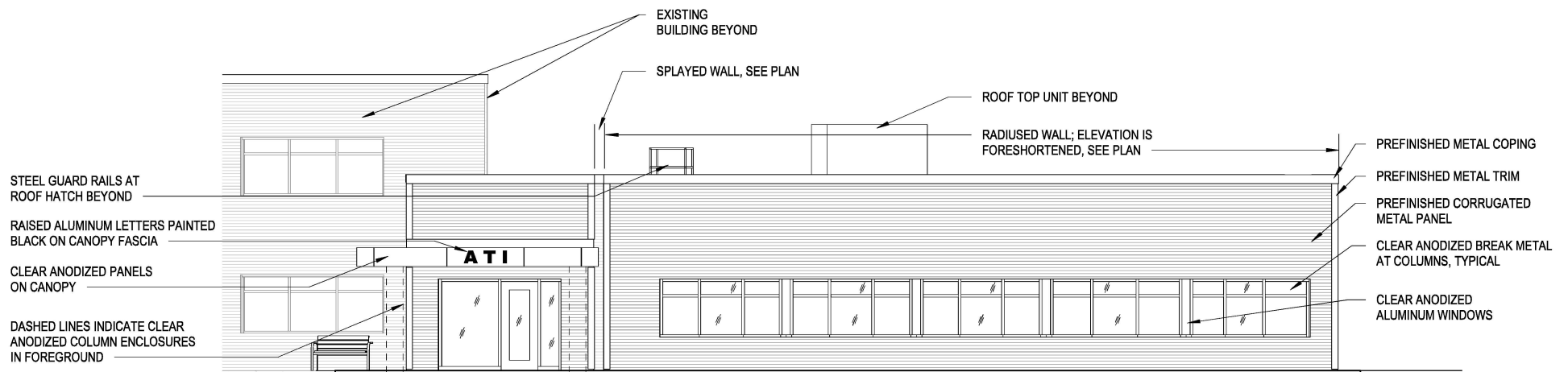


Project #3531



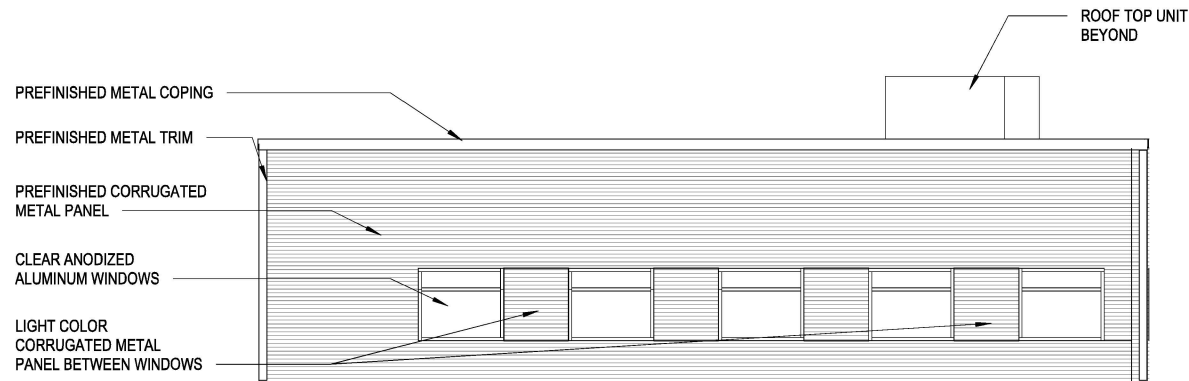
Interior Axonometric View from the Southeast
Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021
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WEST ELEVATION

Scale: 1/8" = 1'-0"



SOUTH ELEVATION

Scale: 1/8" = 1'-0"



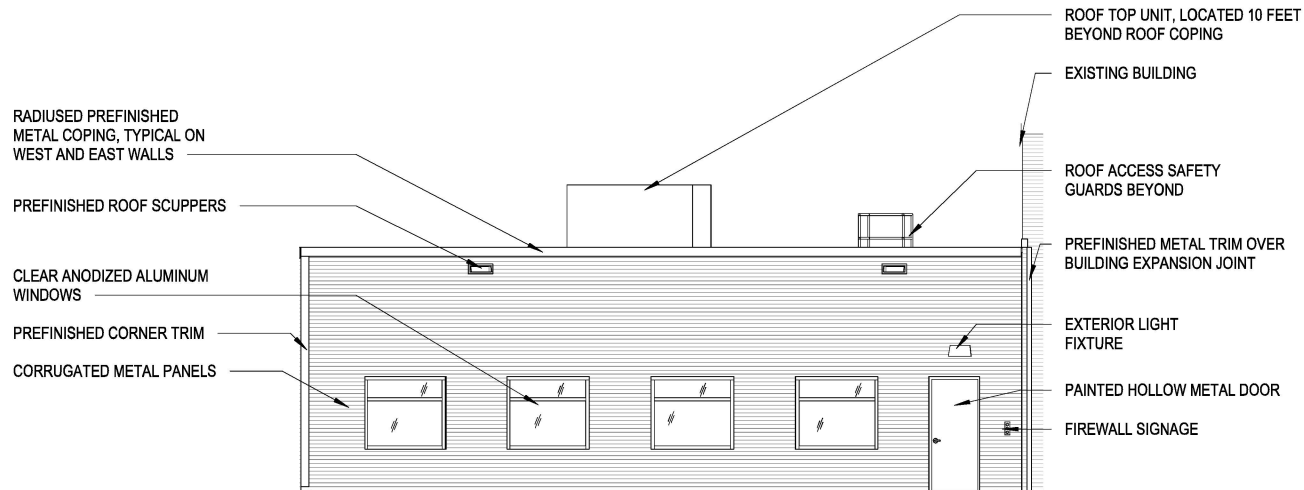
Project #3531



Sheboygan County Detention Center
2923 South 31st Street

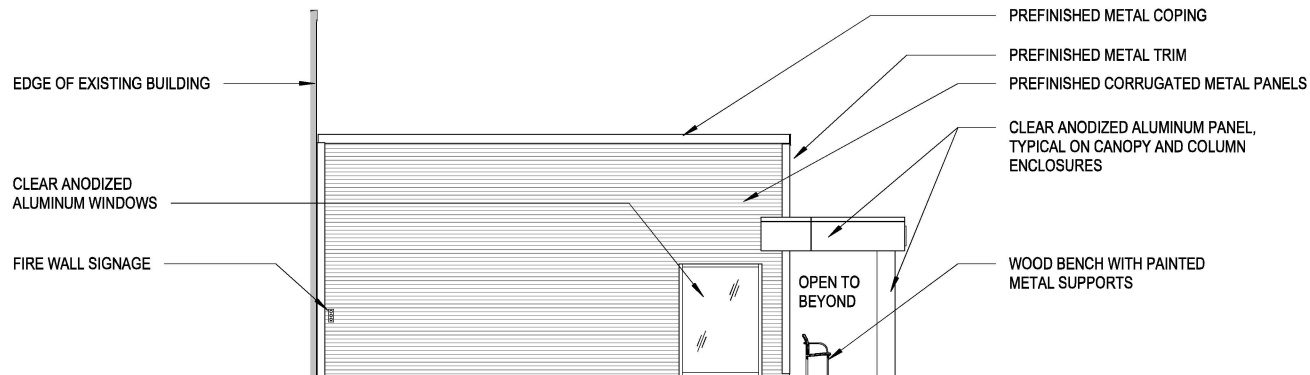
December 13, 2021

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EAST ELEVATION

Scale: 1/8" = 1'-0"



NORTH ELEVATION

Scale: 1/8" = 1'-0"



Project #3531



Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021

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Project #3531



VIEW FROM 31st STREET LOOKING EAST
WEST ELEVATION
Sheboygan County Detention Center
2923 South 31st Street
December 13, 2021

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Project #3531



SOUTH ELEVATION
 Sheboygan County Detention Center
 2923 South 31st Street
 December 13, 2021

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Project #3531



EAST ELEVATION
 Sheboygan County Detention Center
 2923 South 31st Street
 December 13, 2021

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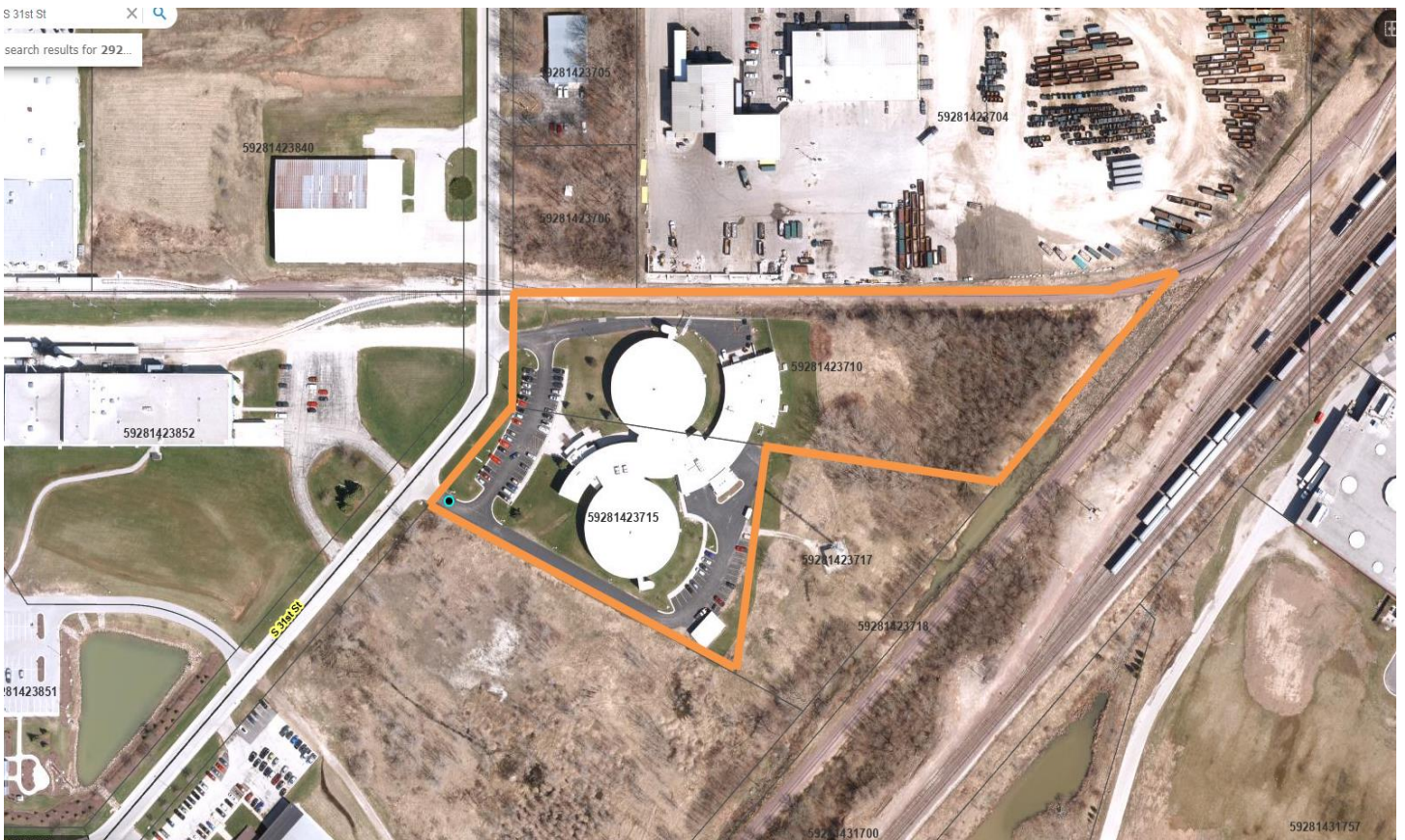


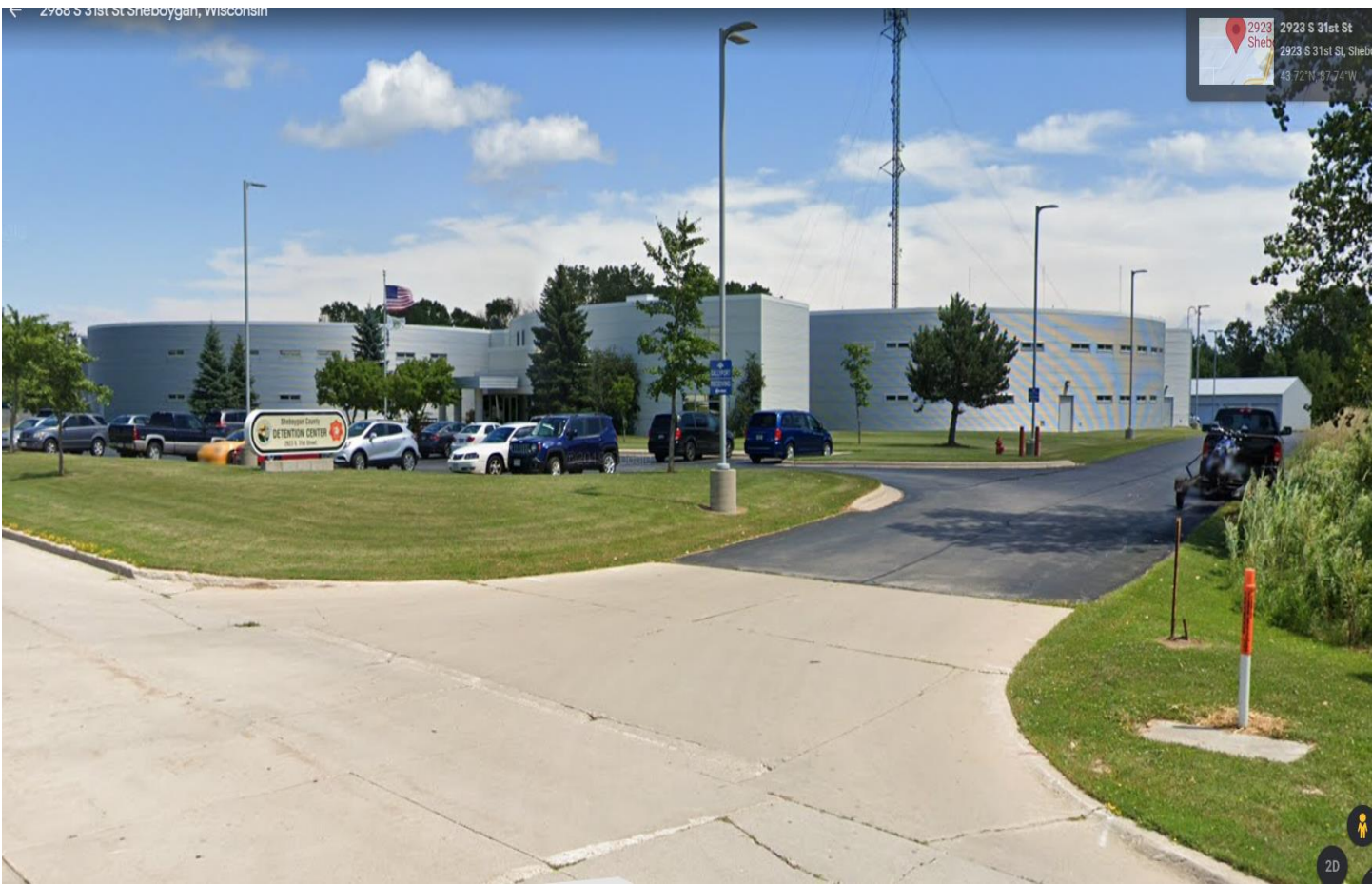
Project #3531



NORTH ELEVATION
Sheboygan County Detention Center
2923 South 31st Street
 December 13, 2021

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PARCEL NO.:

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised July 2021

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed three weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Paul Weaver

ADDRESS: 7722 Hawthorne Rd. Mequon WI 53097

E-MAIL ADDRESS: pweaver832@aol.com

PHONE: (414) 731-0795 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Nature's Best Market

ADDRESS OF PROPERTY AFFECTED: 604 N. 8th Street

NEW BUILDING: _____ ADDITION: _____ REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: The building is being renovated to convert it from the former Wisconsin Savings Bank to a high end grocery retail store Nature's Best Market.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: The existing building is comprised primarily of an exposed aggregate, precast concrete frame with a unique square brick infill.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: The proposed design will retain most of the original building. A section at the Southeast corner will be opened up to accept large storefront glass at the intersection of N. 8th and Center Ave. On the west façade of the building, the existing drive through canopy will be repurposed into a primary entrance for the store.

3. NAMES AND ADDRESSES

OWNER OF SITE: Paul Weaver

ADDRESS: 7722 Hawthorne Rd. Mequon WI 53097

EMAIL: pweaver832@aol.com

PHONE: (414) 731-0795 FAX NO.: ()

ARCHITECT: Galbraith Carnahan Architects

ADDRESS: 6404 W. North Avenue Wauwatosa WI 53213

EMAIL ADDRESS: nac@galbraithcarnahan.com

PHONE: (414) 291-0772 FAX NO.: ()

CONTRACTOR: TBD.

ADDRESS: _____

EMAIL: _____

PHONE: () FAX NO.: ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.


APPLICANT'S SIGNATURE

01-17-22
DATE

NICK CARNAHAN
PRINT ABOVE NAME

SITE NARRATIVE - CONDITIONAL USE APPLICATION

January 4, 2022

PROJECT NAME AND ADDRESS:

Skyline Health LLC d/b/a Nature's Best Market
604 N. 8th Street
Sheboygan, Wisconsin 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is described as: The East 5 feet of Lot 9 and all of Lots 10, 11, and 12, EXCEPT the East 5 feet of the North 52.45 feet of Lot 9 and the West 1.80 feet of the North 52.45 feet of Lot 10, Block 151, Sheboygan Original Plat, according to the Plat thereof, in the City of Sheboygan, Sheboygan County, Wisconsin.
- Lot size – 0.629 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

UC-Urban Commercial

EXISTING SITE CONDITIONS/LAND USE:

Vacant

PROPOSED LAND USE/LOT COVERAGE SITE DATA:

SITE SELECTION:

LANDSCAPE REQUIREMENTS:

- Landscape plan to comply with the requirements of section 15.105 (e) 4 C. Clean up and replant existing landscape areas.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards shall comply with City of Sheboygan Zoning Ordinance, to ensure this development will not become a nuisance to neighboring property owners.

SITE LIGHTING:

Will utilize existing lighting and add lighting under a canopy entrance.

ARCHITECTURE:

See architectural renderings.

VARIANCE REQUEST/VARIANCE DESCRIPTION:

None.

ECONOMIC IMPACT:

- Full service grocery and health food retail store with an emphasis on organic and locally sourced produce.
- 6-8 full-time employees.
- Activates a downtown under-utilized location and brings people/customers to the downtown area.



NATURE'S BEST MARKET

Nature's Best Market is seeking to reimagine the Wisconsin Bank & Trust building located at 604 North 8th street. The building, originally constructed in the 1960's features the prominent use of an exposed aggregate, precast concrete structure. The bays of the precast concrete structure are infilled with glass and a unique square brick set in different planes.

Changes being proposed are focused in two areas and geared towards transforming the property into a more retail oriented building. On the corner of North 8th Street and Center Avenue five bays of the building will have the brick cladding removed to create large openings on the street face. These will be infilled with a storefront glass system to help better visually connect the store with the pedestrian experience and to enliven the street corner with activity. The color of the storefront framing will match the existing, adjacent, window frames that are to remain.

The second, and larger change is located on the West façade of the building where we are proposing removing a portion of the drive through canopy to create a new entrance vestibule for the store. Some of the existing steel of the canopy will be reused in the design and clad in a clear finished cedar tongue and groove decking with a black prefinished metal fascia.

Below the re-clad canopy, we will be constructing a full height glass entry wall with automatic sliding doors. The frame for this portion of glass will match the fascia. The western wall of the drive through teller area will be removed to facilitate entry into the store and the South and North walls of that area clad in a clear finished cedar tongue and groove siding to match the underside of the canopy.

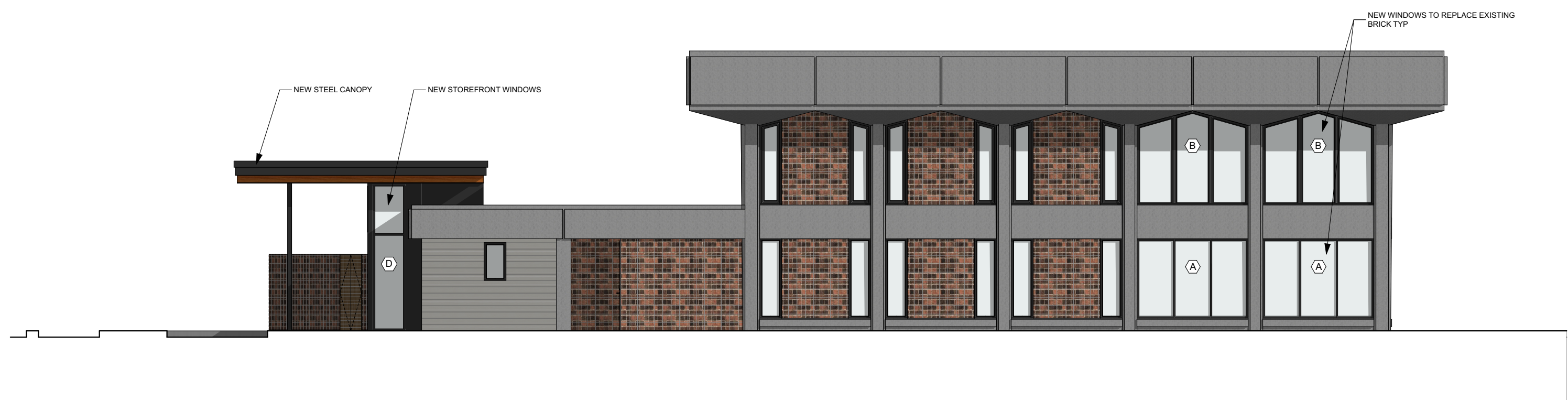
Changes along the west side are geared towards creating a larger, more prominent entry on what was once the "back" of the building. As this façade faces the parking for the property, it will functionally become the new front of the building and must adapt to reflect that reality.



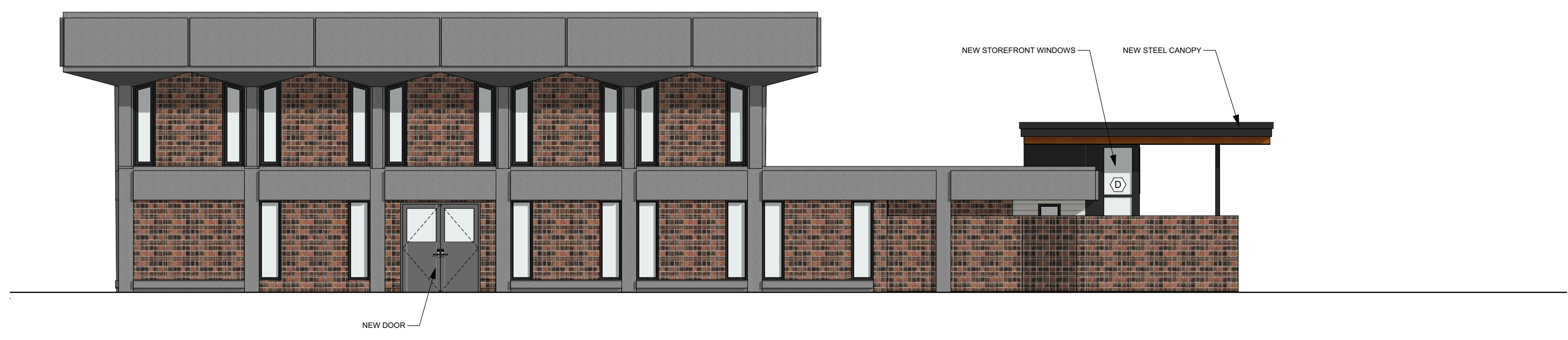
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



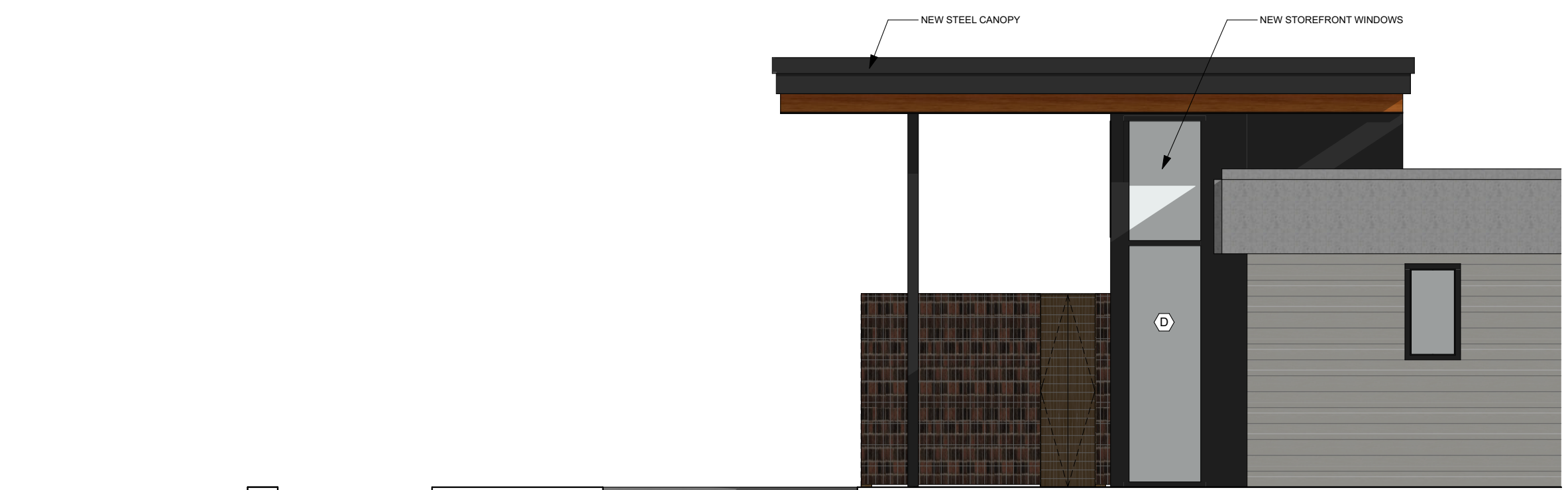
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION ENLARGED
SCALE: 1/4" = 1'-0"



6 SOUTH ELEVATION ENLARGED
SCALE: 1/4" = 1'-0"



7 NORTH ELEVATION ENLARGED
SCALE: 1/4" = 1'-0"



6404 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772
www.galbraithcarnahan.com

NATURE'S BEST MARKET

604 N. 8TH STREET SHEBOYGAN WI 53081

PERSPECTIVE 1

ARCHITECTURAL REVIEW

DATE: 01.17.2022
PROJECT #: 21.52

A700

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NATURE'S BEST MARKET

604 N. 8TH STREET SHEBOYGAN WI 53081

PERSPECTIVE 2

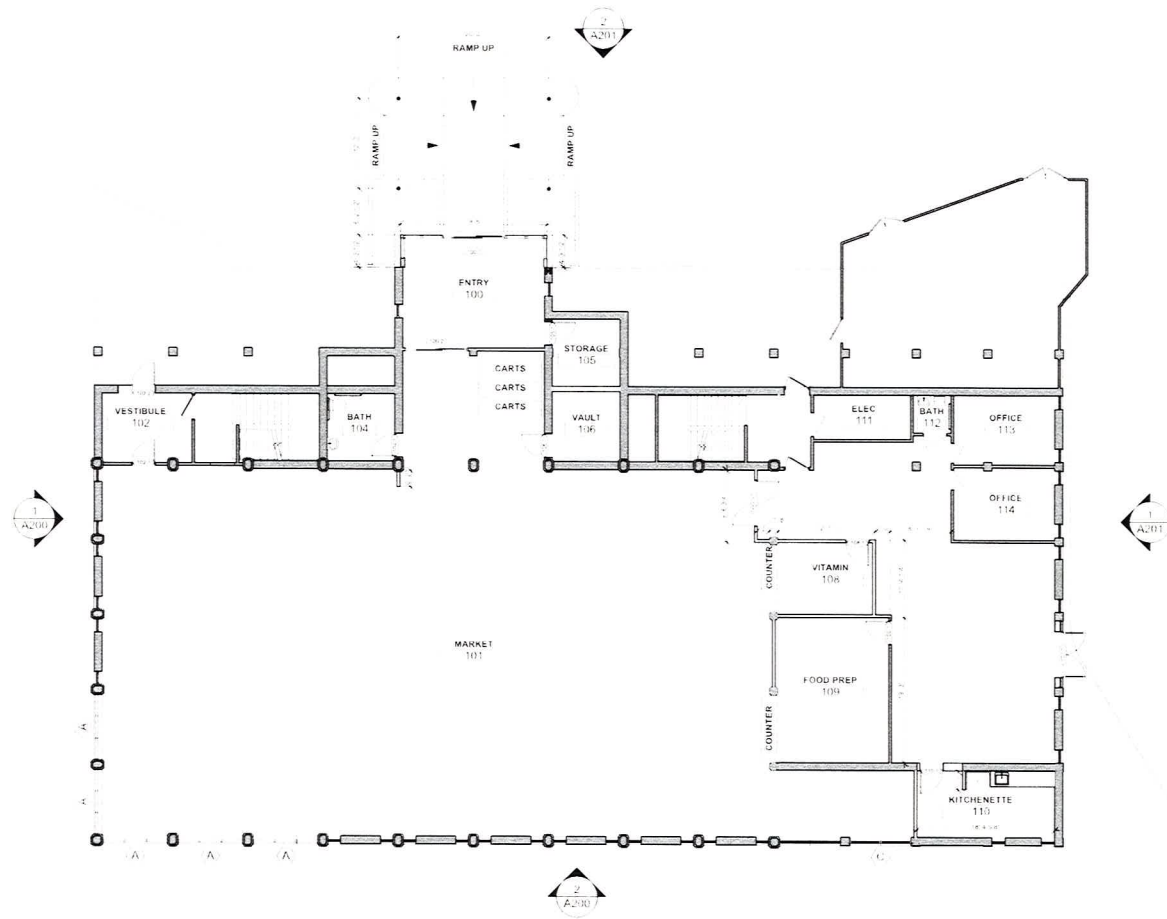
ARCHITECTURAL REVIEW

DATE: 01.17.2022
PROJECT #: 21.52

A701

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ARCHITECTS LLC





FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



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Milwaukee, Wisconsin 53213
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www.galbraithcarnahan.com

NATURE'S BEST MARKET

604 N. 8TH STREET SHEBOYGAN WI 53081

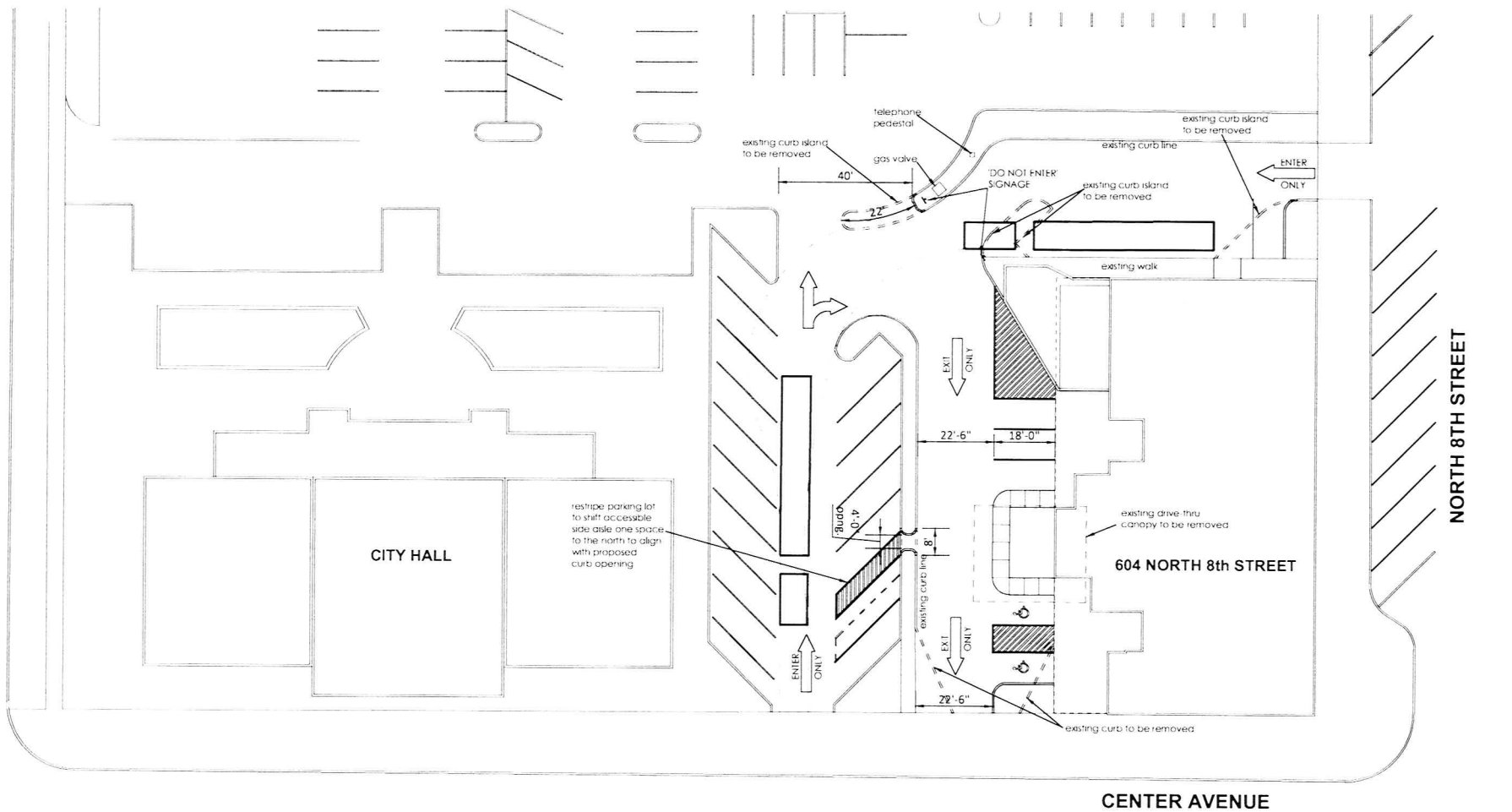
FIRST FLOOR PLAN

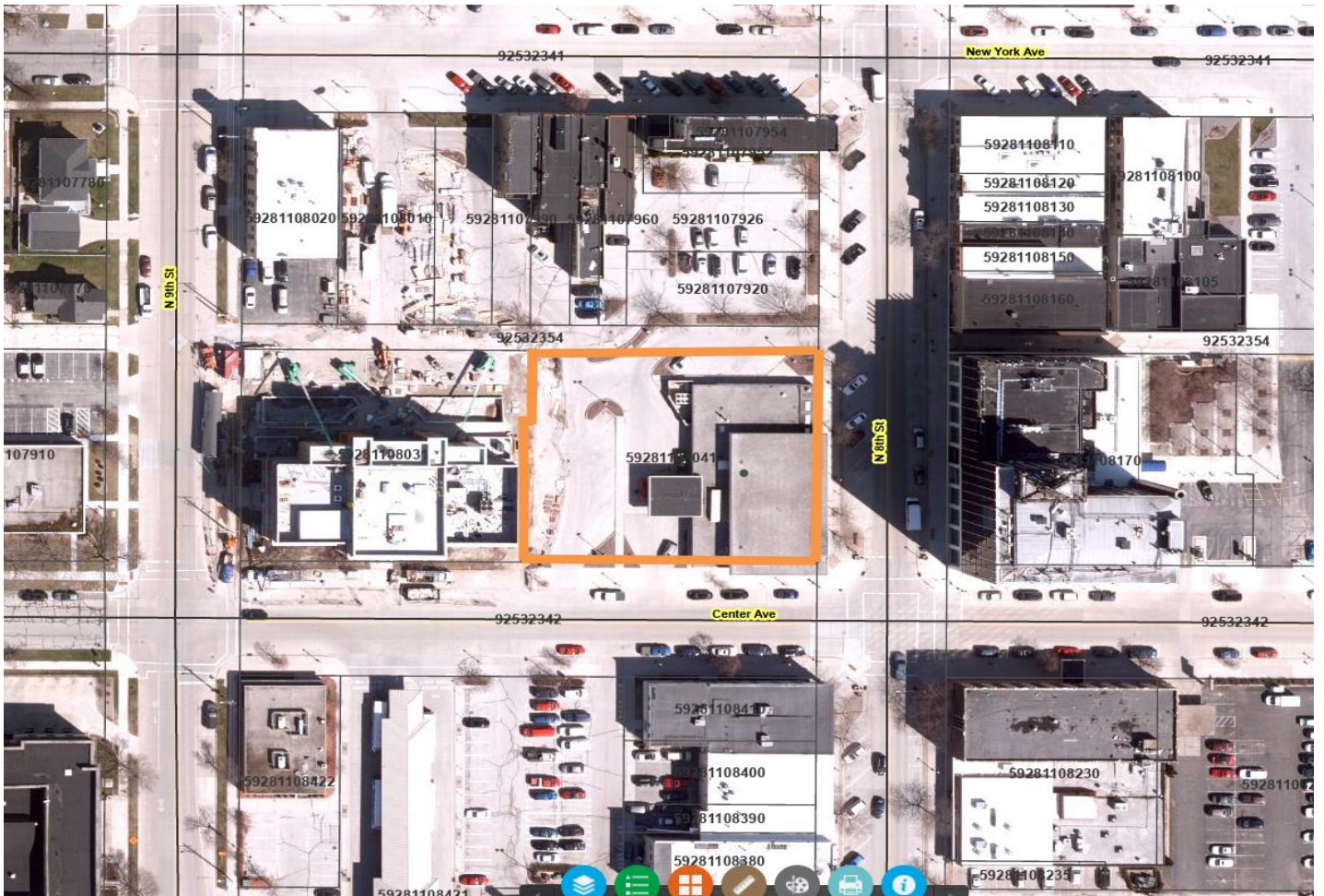
CONDITIONAL USE APPLICATION

DATE 01.04.2022
PROJECT # 21.52

A100

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ARCHITECTS, LLC









CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Exterior Remodel for Natures Best Market located at 604 N. 8th Street (former Wisconsin Bank and Trust).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 21, 2022

MEETING DATE: January 24, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Skyline Health, LLC is proposing to operate Natures Best Market at 604 N. 8th Street (former Wisconsin Bank and Trust). The applicant states the following about the proposal:

- The project will revitalize this presently vacant former Wisconsin Bank and Trust building into a thriving downtown full service grocery and health food store with an emphasis on organic and locally sourced produce.
- Natures Best is a full line health food store, carrying high quality vitamins and supplements, organic and natural foods, organic and grass-fed meats, gluten free foods, bulk herbs and spices, natural body care, and one of the largest boxed tea sections in Sheboygan.
- Nature's Best Market is family-owned and operated and proud to be Sheboygan's best place for organic and natural goods since 1994 at 837 Riverfront Drive.
- A new owner, Jon Krasselt took over in October 2015. Jon has continued expanding throughout the Fox Valley with locations in Oshkosh, Appleton, Stevens Point and Sheboygan. With all of these interconnected stores we are able to offer a large selection of vitamins, supplements, health and beauty as well as grocery items and restock frequently.
- Deli items such as salads and sandwiches will be offered, along with a juice/smoothie bar.
- The new west entrance is designed for customer convenience off the adjacent parking lot and also for control of flow, safety and security of products and staff.

- The 8th Street location is very visible and easy to find. The building exterior will be improved. The southeast corner of the building will be renovated with large full height windows. New exterior lighting and a new main glass, wood and steel canopy will be installed.
- The parking lot will be redone and landscaping refreshed and expanded.
- Signage will be added on 8th and Center Street as well as the main west canopy entrance.

The applicant states the following about the architecture:

- Nature's Best Market is seeking to reimagine the Wisconsin Bank & Trust building located at 604 North 8th street. The building, originally constructed in the 1960's features the prominent use of an exposed aggregate, precast concrete structure. The bays of the precast concrete structure are infilled with glass and a unique square brick set in different planes.
- Changes being proposed are focused in two (2) areas and geared towards transforming the property into a more retail oriented building. On the corner of N. 8th Street and Center Avenue five (5) bays of the building will have the brick cladding removed to create large openings on the street face. These will be infilled with a storefront glass system to help better visually connect the store with the pedestrian experience and to enliven the street corner with activity. The color of the storefront framing will match the existing, adjacent, window frames that are to remain.
- The second, and larger change is located on the West façade of the building where we are proposing removing a portion of the drive through canopy to create a new entrance vestibule for the store. Some of the existing steel of the canopy will be reused in the design and clad in a clear finished cedar tongue and groove decking with a black prefinished metal fascia.
- Below the re-clad canopy, we will be constructing a full height glass entry wall with automatic sliding doors. The frame for this portion of glass will match the fascia. The western wall of the drive through teller area will be removed to facilitate entry into the store and the South and North walls of that area clad in a clear finished cedar tongue and groove siding to match the underside of the canopy.
- Changes along the west side are geared towards creating a larger, more prominent entry on what was once the "back" of the building. As this façade faces the parking for the property, it will functionally become the new front of the building and must adapt to reflect that reality.

STAFF COMMENTS:

The Board may want to have the applicant address:

- Location of ground/rooftop mechanicals coolers, etc.
- Dumpster enclosure design, color and materials.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a new addition to the Sheboygan County Detention Center located at 2923 S. 31st Street.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 21, 2022

MEETING DATE: January 25, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Sheboygan County is proposing to construct a new addition to the Sheboygan County Detention Center located at 2923 S. 31st Street. The applicant states the following about the proposal:

- The project is an addition to the Sheboygan County Detention Center. The name of the addition is: Alternative to Incarceration (ATI).
- The addition size is approximately 3,516sf single story slab on grade with attached canopy.
- The addition will be located adjacent to the existing Detention Center Multi-Purpose Room with entry primarily through a new secure entry from the existing west parking lot.
- The addition will house the offices of the Sheriff's department personnel in support of the Alternative to Incarceration (ATI) program. The personnel of the ATI team are currently housed in a less than ideal condition in the existing facility. The room they currently occupy will be renovated in conjunction with this project and will become a multipurpose room. Therefore, the employee occupant load of the facility will be unaffected by the addition.
- The primary use of the facility is to process the mandated weekly urinalysis tests for inmates that are not incarcerated. The addition will also support booking / processing efforts of inmates including the assignment of ankle bracelets. The addition will house the offices and support spaces for these efforts and will not be occupied by the inmates for habitation. The proposed addition will not significantly alter the use of the current detention center.
- The proposed addition was initially planned as part of the 1998 master plan for construction of the detention center.

The applicant states the following about the architecture:

- The existing building was completed in 1998 and has prefinished horizontal corrugated metal panels as the primary exterior material. The design of the facility is based on two circular pods which allow guards to adequately monitor inmates. The round plan layout is a prominent feature of the exterior of the existing building and subsequently influenced the design of the proposed addition.
- The addition will be separated by a fire wall which is to be constructed adjacent and parallel to the south wall of the existing facility. The canopy at the entry to the addition is approximately twenty feet wide by 9 feet deep. The entry to the addition is connected to the existing sidewalk with a new concrete walk which is 340 square feet. The exterior wall consists of corrugated metal siding on either metal stud or concrete masonry unit back up. The structural system is steel columns and wide flange steel beams. The addition will be located adjacent to the existing Detention Center Multi-Purpose Room with entry primarily through a new secure entry from the existing west parking lot. The project will include civil, structural, plumbing, fire sprinklers, fire alarms, HVAC and electrical related to the addition and renovation work. The renovation portion of the work is primarily the finishes and new connection through the existing multipurpose room.
- The proposed addition uses the same exterior cladding and window systems in color, orientation, and texture as the existing building. The radius of the existing building is matched exactly on the east elevation and the concentric radius is realized on the west elevation. The entry canopy is sympathetic to the existing main entry canopy but purposely made smaller in order assist in way finding for the first-time visitor.
- The project adds signage over the existing main entry, reading 'MAIN ENTRY' to assist in way finding. The signage over the addition canopy reads: 'ATI' which is an abbreviation for Alternative to Incarceration.
- The west elevation is the primary public elevation due to its orientation to 31st Street and the parking lot. The proposed design uses the same size and fenestration of the ribbon windows located north of the main entry of the existing facility.
- The south elevation provides the same window height of the west elevation but reduces the total glazed area to help the project meet current energy code standards and minimize the amount of natural light into the offices. To maintain the horizontal quality as introduced on the west elevation, the metal panels between each window on the south is a slightly lighter color of the corrugated metal panel.
- The east elevation would never be seen by the public given its proximity to the existing facility and there is no public right of way with a view of the east elevation.
- The north elevation is relatively short given that most of the addition is adjacent the south extent of the existing facility.
- The roof of the proposed addition will host a roof top mechanical unit. The location of the unit as far east as possible (without the addition of steel guard rails). The top of the unit is visible from 31st Street, refer to perspective renderings and elevations; however, due to the west parapet wall and the angled view, only a relatively minor view of the roof top unit

is evident. Roof access is provided from within the addition; therefore, there are no external ladders as part of the proposed addition. Routing of the natural gas service is proposed over the existing roof and descends to the addition roof on the east side of the existing facility to eliminate the view of the piping from 31st Street.

- The proposed landscaping will block the view of the addition.

STAFF COMMENTS:

The Board may want to have the applicant address:

- Location of mechanicals.
- Dumpster enclosure design, color and materials.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.