

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a new Tommy's Express Car Wash at 3627 Washington Avenue Frontage Road (former Perkins Restaurant).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 7, 2022

MEETING DATE: January 10, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Peter Schwabe, Inc. is proposing to construct a new Tommy's Express Car Wash at 3627 Washington Avenue Frontage Road (former Perkins Restaurant). The applicant states the following about the proposal:

- The proposed car wash building will include a 130 foot long tunnel design, overall building dimensions of approximately 147 feet long by 48 feet wide, with a total building gross square footage around 5,243 gross square feet.
- Site access to the property will be from the frontage street along Washington Avenue, with tunnel entry at the south end of the property and tunnel exit at the north end facing Washington Avenue.
- The car wash building will house standard wash bay and drying areas, mechanical support spaces and storage areas, and employee and customer service and support areas including restroom facilities and employee-only work areas.
- Exterior materials of the car wash will consist of many prefinished metal materials including metal panels of Tommy Car Wash's signature Cardinal Red color on featured tower elements that flank the north and south ends of the building, prefinished aluminum composite panels in a complementing Brite Red color over the tunnel entry and exit with Ebony panels at the bases, and prefinished aluminum Metallic Silver parapet fascia and cornice features.
- Additional complimentary exterior materials to contrast the prefinished metals include fiber cement textured panels in Gray color at offsetting façade locations opposite corners of the

metal panel tower features and split face CMU wainscot around the base of the building in Ash color.

- Lastly, the tunnel design is highlighted with a high percentage of storefront glazing, as well as an arching glass roof design, to provide the signature appearance of the car wash structure skinned over a structural steel frame.

STAFF COMMENTS:

The Board may want to have the applicant address:

- Location of mechanicals.
- Dumpster enclosure design, color and materials.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.:

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Peter J. Schwabe

ADDRESS: 13890 Bishops Dr, Suite 100, Brookfield, WI 53005

E-MAIL ADDRESS: pschwabe@pschwabe.com

PHONE: (262) 853-3332 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Tommy's Express Car Wash

ADDRESS OF PROPERTY AFFECTED: 3627 Washington Ave

NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: _____

New Tommy's Express Car Wash – See attached "About Tommy's" and "Project Description"

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

Vacant / blighted Perkins Restaurant

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____

See attached Elevations and "Project Description"

3. NAMES AND ADDRESSES

OWNER OF SITE: Steve Kilian

ADDRESS: 1722 Clarence Ct., West Bend, WI 53095

EMAIL: frisbysteve@hotmail.com
and steve.kilian.jr@partners.mcd.com (Steve Kilian, Jr.)

PHONE: (262) 338-6111 **FAX NO.:** ()

ARCHITECT: Joshua Drake, Cripe Architecture

ADDRESS: 3939 Priority Way S. Dr., #200, Indianapolis, IN 46240

EMAIL ADDRESS: jdrake@cripe.biz

PHONE: (317) 844-6777 **FAX NO.:** ()

CONTRACTOR: Peter Schwabe, Inc.

ADDRESS: 13890 Bishops Dr, Suite 100, Brookfield, WI 53005

EMAIL: pschwabe@pschwabe.com

PHONE: (262) 853-3332 **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

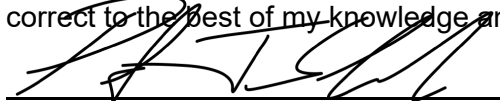
- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

12/22/2021
DATE

Peter J. Schwabe
PRINT ABOVE NAME

Project Description – Conditional Use Application
Tommy's Express Car Wash
Submitted December 22, 2021

Project Name and Address:

Tommy's Express Car Wash
3627 Washington Ave
Sheboygan, WI

Parcel Information:

Tax Parcel 59281470507
Lot size is approximately 1.64 acres
Zoning is SC – Suburban Commercial District

Existing Site Conditions:

The site was previously a Perkins Restaurant which is now vacant and in poor condition

Proposed Project Description:

The proposed car wash building will include a 130 foot long tunnel design, overall building dimensions of approximately 147 feet long by 48 feet wide, with a total building gross square footage around 5,243 gross square feet. Site access to the property will be from the frontage street along Washington Ave, with tunnel entry at the South end of the property and tunnel exit at the North end facing Washington Street. The car wash building will house standard wash bay and drying areas, mechanical support spaces and storage areas, and employee and customer service and support areas including restroom facilities and employee-only work areas.

Exterior materials of the car wash will consist of many prefinished metal materials including metal panels of Tommy Car Wash's signature Cardinal Red color on featured tower elements that flank the North and South ends of the building, prefinished aluminum composite panels in a complementing Brite Red color over the tunnel entry and exit with Ebony panels at the bases, and prefinished aluminum Metallic Silver parapet fascia and cornice features. Additional complimentary exterior materials to contrast the prefinished metals include fiber cement textured panels in Gray color at offsetting façade locations opposite corners of the metal panel tower features and split face CMU wainscot around the base of the building in Ash color. Lastly, the tunnel design is highlighted with a high percentage of storefront glazing, as well as an arching glass roof design, to provide the signature appearance of the car wash structure skinned over a structural steel frame. See corresponding colored exterior building elevations with this architectural description for reference.

Landscape Requirements:

Landscape plan will comply with Sheboygan Landscape Ordinances with a potential variance for building landscaping. Locational landscaping is requested to allow for flexibility due in particular to limited landscape area immediately adjacent to the building.

Site Lighting:

Site Lighting plan will comply Sheboygan Lighting Ordinances including wall mounted fixtures and lot poles as appropriate.

Signage:

Attached standard signage plan will be modified to meet Sheboygan code requirements.

About Tommy's Express





SIMPLY SMART

Our membership app, license plate recognition, and member pay lanes make washing efficient for your calendar and wallet.



NATURALLY FRIENDLY

Smiling faces, easy-loading conveyer belts, and our wide open wash tunnel create an enjoyable and non-claustrophobic wash experience. Low energy use and reclaimed water make it good for the planet too.



EXCEPTIONALLY CLEAN

Our wash process has been developed over 50 years and uses proprietary equipment and soaps designed to keep you and your car looking fresh.



Good for cars. Great for your city.

It's not just about clean cars. It's about enriching lives, adding value and serving communities.



Community Focused

- Every Tommy's Express location is part of a national franchise brand and is locally owned and operated, providing high national standards and a valuable community partner.
- Tommy's Express owners are encouraged to partner with local organizations for the benefit of the community.



Environmentally Friendly

- Our clear acrylic roof system allows for daylight harvesting so no lighting is required during most operational hours.
- Every location employs an advanced water reclaim system which not only uses up to 60% less fresh water than washing at home, it also keeps 100% of used water out of the storm system.



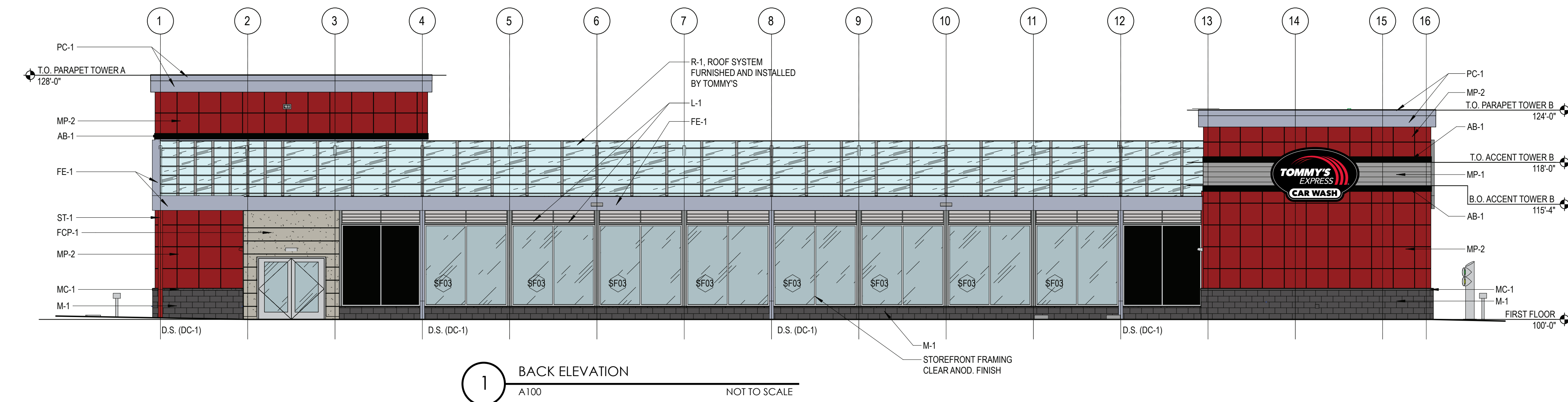
Efficient Processing

- With a combination of our unique, high-capacity design and proven efficient site layout, Tommy's Express locations can process more than 200 vehicles per hour, keeping lines short and customers happy.

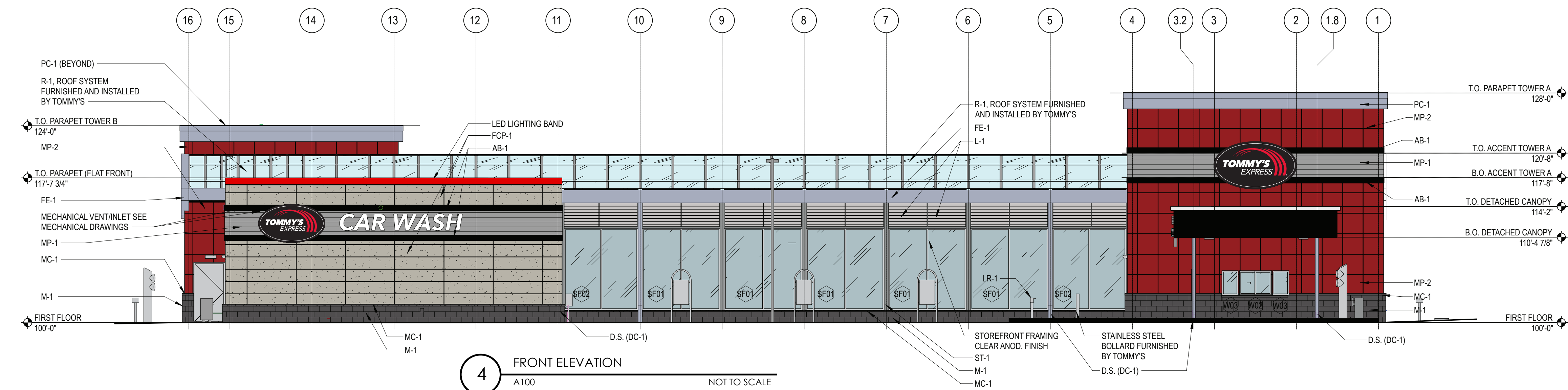
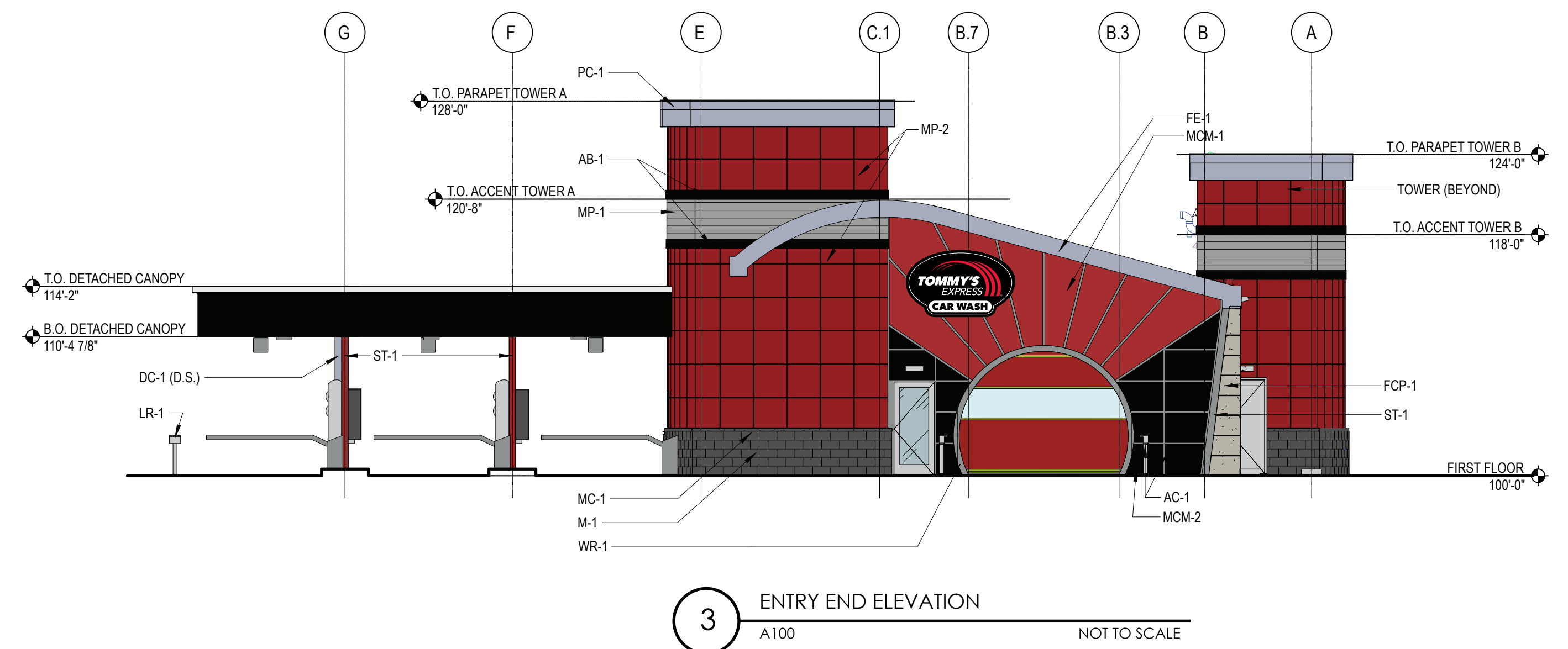
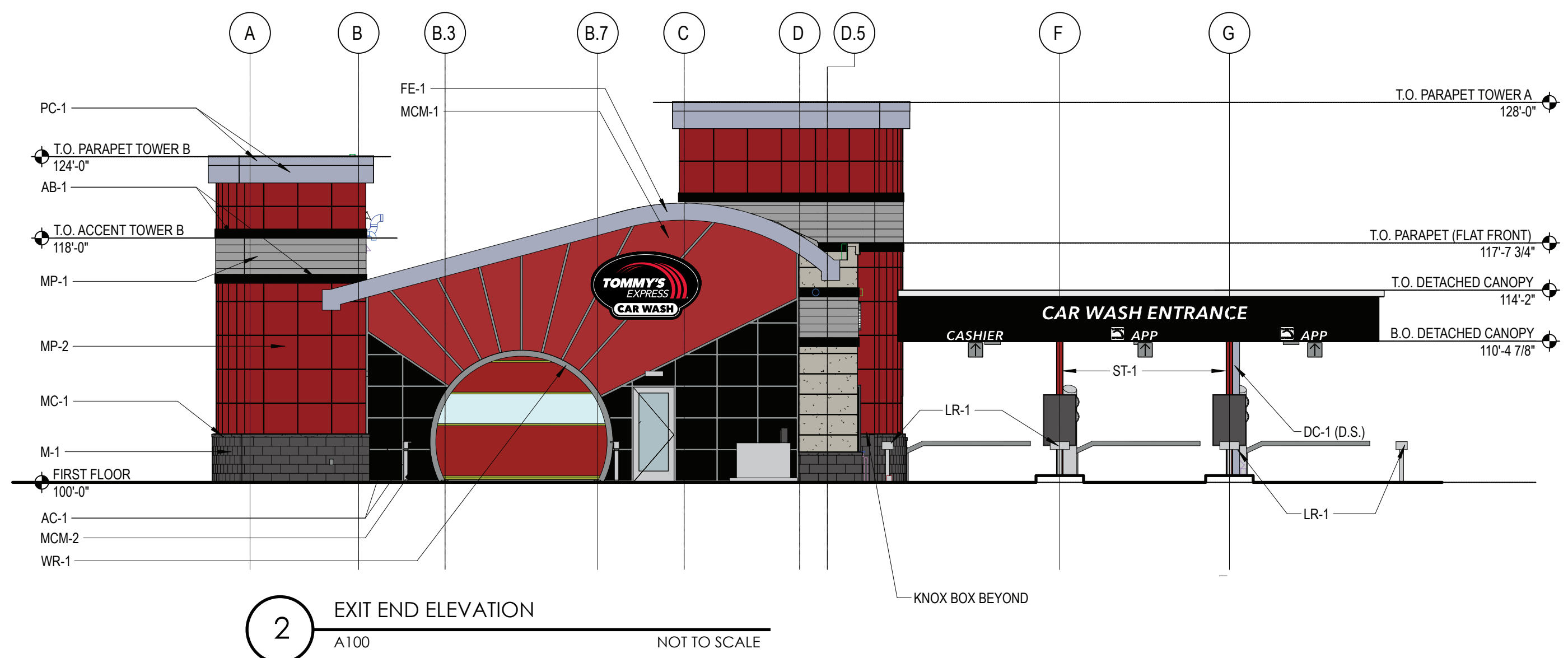


World Class Facility and Operations

- The iconic Tommy's Express architecture is aesthetically appealing and an instantly identifiable landmark in cities across the country
- Every site is required to maintain our high standards of professionalism. Extensive training and regular auditing provides cities with a clean, professionally-run retail destination and a valuable community partner.



TAG	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	FURNISHED BY	INSTALLED BY
ST-1	STRUCTURAL STEEL	RBI	POWDER COATED STRUCTURAL STEEL	RAL 3001	TOMMY'S	TOMMY'S
MP-1	PROFILED ALUMINUM METAL PANEL	ATAS	ATAS 7.2 BWR360 BELVEDERE	SILVERSMITH	TOMMY'S	G.C.
MP-2	PREFINISHED METAL PANEL	DRI-DESIGN	30"x30" PANEL SIZE	CARNIVAL RED II / RAL 3001	TOMMY'S	G.C.
M-1	SPLIT-FACE CMU	CONSUMERS	4" VENEER SPLIT-FACED	ASH	G.C.	G.C.
MC-1	PRECAST STONE		MASONRY CAP	MATCH CMU COLOR	G.C.	G.C.
FCP-1	FIBER CEMENT PANELS	NICHHA	ARCHITECTURAL BLOCK SERIES 18" H x 72" W	GRAY	TOMMY'S	G.C.
AB-1	PREFIN. ALUM. ACCENT BANDING	ATAS	ATAS FLAT SHEET	BLACK	TOMMY'S	G.C.
PC-1	PREFIN. ALUM. PARAPET CORNICE	ARCONIC	REYNOBOND COMPOSITE PANELS	BRIGHT SILVER METALLIC	TOMMY'S	G.C.
MCM-1	PREFIN. ALUM. COMPOSITE PANELS	LAMINATORS	LAMINATORS OMEGA SERIES	BRITE RED	TOMMY'S	G.C.
MCM-2	PREFIN. ALUM. COMPOSITE PANELS	CITADEL	SINOCORE	EBONY	TOMMY'S	G.C.
AC-1	PREFIN. ALUM. CLOSURE CAPS	TUBELITE	TUBELITE 200 SERIES STOREFRONT	CLEAR ANNOIDIZED	TOMMY'S	G.C.
SF01, SF02, SF03	PREFIN. ALUM. STOREFRONT WITH INSULATED GLASS	KAWNEER	1" INSULATED GLASS LOW-E	CLEAR ANNOIDIZED	G.C.	G.C.
SF04, SF05	PREFIN. ALUM. STOREFRONT WITH METAL PANEL INFILL	KAWNEER/ CITADEL	1" GLAZE GUARD 1000 WR+ PANEL INFILL SEE DETAIL ON A602	CLEAR ANNOIDIZED FRAMES/ EBONY INFILL PANELS	G.C.	G.C.
DC-1	PREFINISHED ALUMINUM	ALPOLIC	4MM MCM PANELS DOWNSPOUT COVER	METALLIC SILVER	TOMMY'S	TOMMY'S
LR-1	LICENSE PLATE READER	TOMMY'S	BOLLARD	STAINLESS STEEL	TOMMY'S	G.C.
WR-1	PREFIN. ALUM. COMPOSITE PANELS	ARCONIC	MCM WRAP COVER FOR STEEL RING	CLEAR ANNOIDIZED	TOMMY'S	G.C.
FE-1	FASCIA / EAVE	ALPOLIC	4MM MCM PANELS AT EAVES AND FASCIA	METALLIC SILVER	TOMMY'S	TOMMY'S
L-1	PREFIN. ALUM. LOUVER	RUSKIN	DRAINABLE LOUVER	CLEAR ANNOIDIZED	TOMMY'S	TOMMY'S
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	DRAINABLE ACRYLIC ROOF SYSTEM	COOL BLUE	TOMMY'S	TOMMY'S



EXTERIOR MATERIALS LEGEND	
	PREFINISHED METAL PANELS
	FIBER CEMENT BOARD PANEL
	PREFINISHED METAL COPING
	ALUM. FLAT STOCK (BLACK)
	PROFILED METAL PANEL
	MCM PANEL (BLACK)
	GLAZING
	SPLIT FACED CONCRETE MASONRY UNIT

NOTE: ALL PROFILED METAL PANEL ACCENT (MP-1) SHALL BE CRIMP CURVED AT FACE OF TOWERS AND SHALL HAVE MITERED CORNERS. NO CORNER TRIMS. NO EXCEPTIONS.

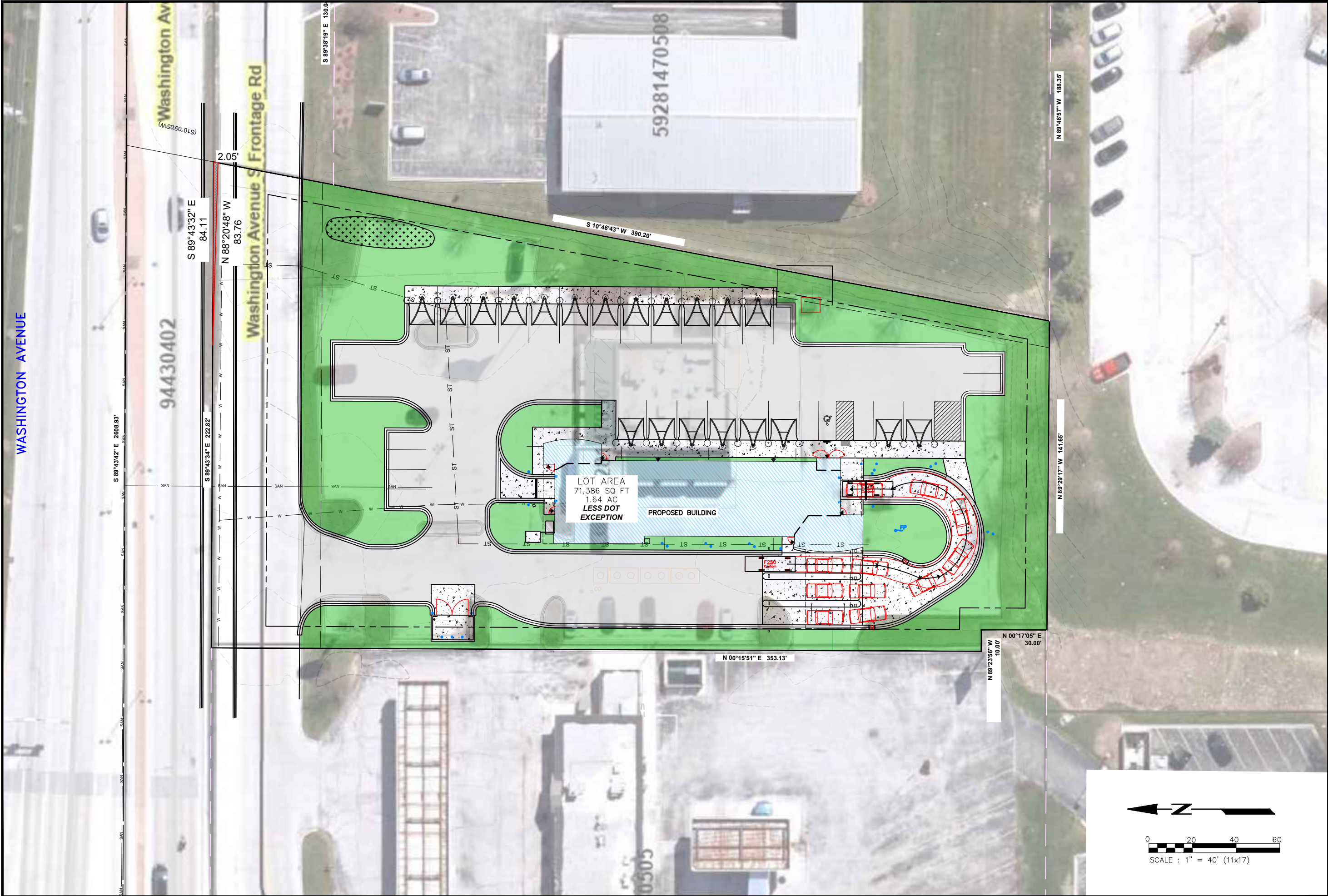
CONFIDENTIAL WARNING:
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TOMMY
CAR WASH SYSTEMS

M-1 EXTERIOR COLOR ELEVATIONS
TOMMY CAR WASH SYSTEMS
TOMMY EXPRESS #P0000
ADDRESS
CITY, STATE, ZIP

NOT FOR CONSTRUCTION

A200
3/25/2021
NOT TO SCALE



WASHINGTON AVENUE

94430402

Washington Av

Washington Avenue S Frontage Rd

LOT AREA
71,386 SQ FT
1.64 AC
LESS DOT
EXCEPTION

PROPOSED BUILDING

59281470508

CAR WASH
OVERALL SITE PLAN

C200

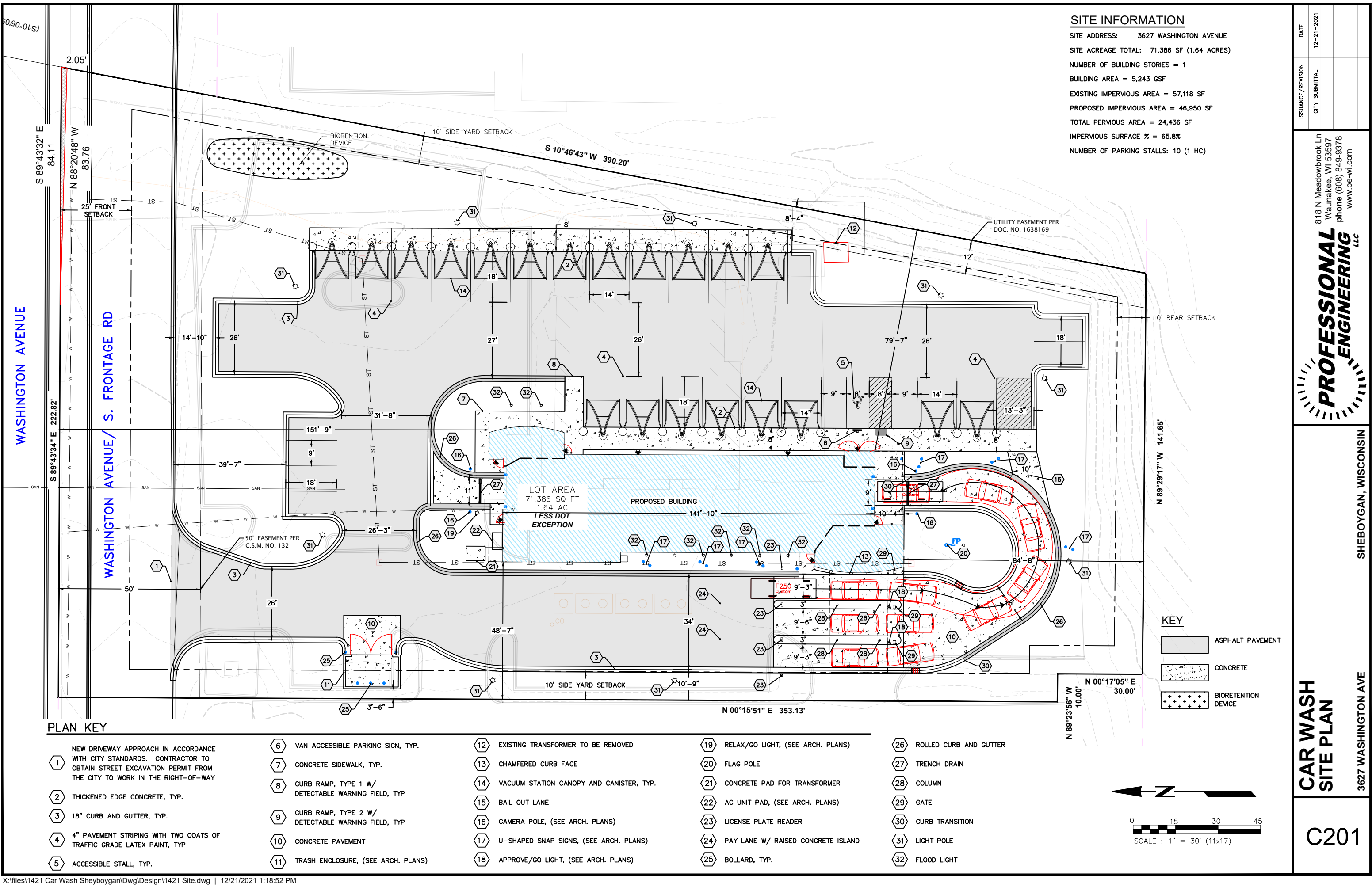
3627 WASHINGTON AVE

SHEBOYGAN, WISCONSIN

**PROFESSIONAL
ENGINEERING**
LLC

818 N Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com

ISSUANCE/REVISION	DATE
CITY SUBMITTAL	12-21-2021



SITE INFORMATION

SITE ADDRESS: 3627 WASHINGTON AVENUE
SITE ACREAGE TOTAL: 71,386 SF (1.64 ACRES)
NUMBER OF BUILDING STORIES = 1
BUILDING AREA = 5,243 GSF
EXISTING IMPERVIOUS AREA = 57,118 SF
PROPOSED IMPERVIOUS AREA = 46,950 SF
TOTAL PERVIOUS AREA = 24,436 SF
IMPERVIOUS SURFACE % = 65.8%
NUMBER OF PARKING STALLS: 10 (1 HC)

ISSUANCE/REVISION	CITY SUBMITTAL	DATE
		12-21-2021

818 N Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com

**PROFESSIONAL
ENGINEERING**
LLC

SHEBOYGAN, WISCONSIN

CAR WASH
SITE PLAN

C201

PLAN KEY

- 1

NEW DRIVEWAY APPROACH IN ACCORDANCE WITH CITY STANDARDS. CONTRACTOR TO OBTAIN STREET EXCAVATION PERMIT FROM THE CITY TO WORK IN THE RIGHT-OF-WAY
- 2

THICKENED EDGE CONCRETE, TYP.
- 3

18" CURB AND GUTTER, TYP.
- 4

4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 5

ACCESSIBLE STALL, TYP.
- 6

VAN ACCESSIBLE PARKING SIGN, TYP.
- 7

CONCRETE SIDEWALK, TYP.
- 8

CURB RAMP, TYPE 1 W/ DETECTABLE WARNING FIELD, TYP
- 9

CURB RAMP, TYPE 2 W/ DETECTABLE WARNING FIELD, TYP
- 10

CONCRETE PAVEMENT
- 11

TRASH ENCLOSURE, (SEE ARCH. PLANS)
- 12

EXISTING TRANSFORMER TO BE REMOVED
- 13

CHAMFERED CURB FACE
- 14

VACUUM STATION CANOPY AND CANISTER, TYP.
- 15

BAIL OUT LANE
- 16

CAMERA POLE, (SEE ARCH. PLANS)
- 17

U-SHAPED SNAP SIGNS, (SEE ARCH. PLANS)
- 18

APPROVE/GO LIGHT, (SEE ARCH. PLANS)
- 19

RELAX/GO LIGHT, (SEE ARCH. PLANS)
- 20

FLAG POLE
- 21

CONCRETE PAD FOR TRANSFORMER
- 22

AC UNIT PAD, (SEE ARCH. PLANS)
- 23

LICENSE PLATE READER
- 24

PAY LANE W/ RAISED CONCRETE ISLAND
- 25

BOLLARD, TYP.
- 26

ROLLED CURB AND GUTTER
- 27

TRENCH DRAIN
- 28

COLUMN
- 29

GATE
- 30

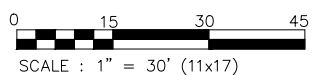
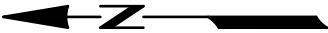
CURB TRANSITION
- 31

LIGHT POLE
- 32

FLOOD LIGHT

KEY

- ASPHALT PAVEMENT
- CONCRETE
- BIORETENTION DEVICE



WASHINGTON AVENUE

WASHINGTON AVENUE/ S. FRONTAGE RD

1 LANDSCAPE PLAN

Notes:

- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
- "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries.
- "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation.
- Slope areas of 3:1 or greater and concentrated overland drainage channels shall be seeded with lawn seed mixture and overlaid with a single net, photo biodegradable straw blanket that is pegged with metal staples or biodegradable stakes. Basis of Design: Tensar DS75. North American Green.
- "Landscape stone" to be clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
- Perennials in mass bed plantings to be planted in staggered rows.
- Contractor is responsible for repairing any and all damage to the adj. properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with sod and adjacent curbs and pavement shall be re-paved.
- Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Scale: 1" = 40'-0" (11x17)



Zoning District: Suburban Commercial	Site	Min. Required Points
Paved Area: 80 landscape points per 10,000 sf	44,689 sf	358
Street Frontage: 40 landscape points per 100 lf	214 lf	86
Building Perimeter: 40 landscape points per 100 lf	360 lf	144
Building Floor Area: 10 landscape points per 100 sf	4,552 sf	456

Total Points Required 1,044

Landscaping Points and Min. Installation Sizes:		Proposed	
Plant Category	Min. size	Qty.	Points
Climax Tree	2" cal.	8	600
Tall Deciduous Tree	1 1/2" cal.	5	150
Tall Evergreen Tree	5' tall	6	240
Medium Deciduous Shrub	24" tall	31	93
Low Deciduous Shrub	18" tall	31	31
Low Evergreen Shrub	12" tall	3	9

Total Points Proposed 1,123

PLANT LIST

TREES

Sargent Tina Crab
Celebration Maple
Apollo Maple
Red Jewel Crab
Black Hills Spruce
Chanticleer Pear

SHRUBS

Neon Flash Spirea
Ever Low Yew
Ivory Halo Dogwood
Rudy Haag Burningbush
Dwarf Mound Honeysuckle
Snowhill Hydrangea
Tor Spirea
Little Devil Ninebark
Dwarf Ninebark
Little Lime Hydrangea
Black Chokeberry
Wine and Roses Weigela

PERENNIALS

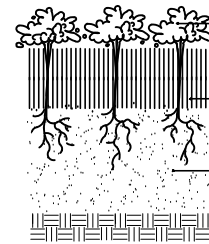
K. Foerster Feather Grass
Goldstrum Coneflower
Dwarf Fountaingrass
Cardonna Salvia
Gayfeather
Hosta
Autumn Joy Sedum

SIZE

1 1/2" Cal.
2" Cal.
2" Cal.
2" Cal.
5' Ht.
2" Cal.

18" ht.
18" ht.
24" ht.
18" ht.
18" ht.
24" ht.
18" ht.
18" ht.
18" ht.
24" ht.
24" ht.
24" ht.
18" ht.

1 gal.
1 gal.
1 gal.
1 gal.
1 gal.
1 gal.
1 gal.



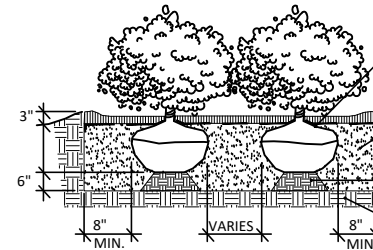
PLANT SPACING PER
LANDSCAPE BED OR SCHEDULE

MULCH

PLANTING MIX W/NO LARGE STONES -
50-80% MEDIUM AND COARSE SAND,
5-20% CLAY, 5-35% SILT

2 PERENNIAL PLANTING

NTS



REMOVE BURLAP FROM
UPPER 1/3 OF BALL.
FORM SAUCER WITH
CONTINUOUS RIM

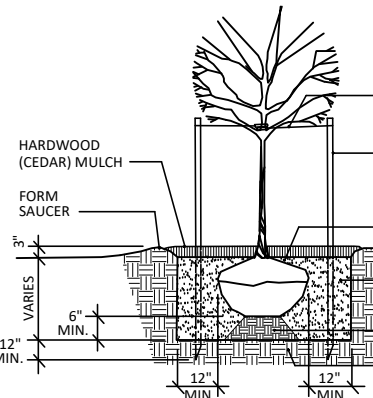
PLANTING MIX W/NO LARGE STONES -
50-80% MEDIUM AND COARSE SAND,
5-20% CLAY, 5-35% SILT

COMPACTED SOIL MIX
TO FORM PEDESTAL
AS SHOWN

BREAK SUBGRADE WITH PICK

3 SHRUB PLANTING

NTS



2 STRAND TWISTED 12 GAUGE
GAL. WIRE ENCASED IN 1" DIA.
RUBBER HOSE

2" X 2" X 8' CEDAR STAKES
2 REQUIRED FOR 1 1/2" CAL.
AND LARGER; 3 REQ. FOR 3"
CAL. AND LARGER TREE

ROLL BACK TOP HALF OF
BURLAP WRAP

PLANTING MIX W/NO LARGE STONES -
50-80% MEDIUM AND COARSE SAND,
5-20% CLAY, 5-35% SILT

COMPACTED SOIL MIX TO FORM
PEDESTAL AS SHOWN

BREAK SUBGRADE WITH PICK
IF NECESSARY

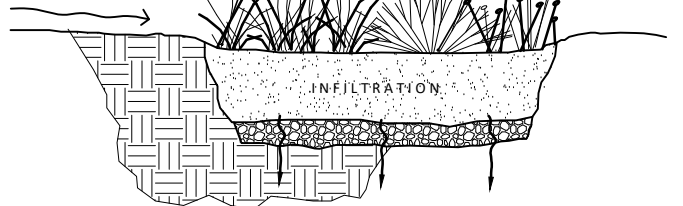
4 TREE PLANTING

NTS

PLANTS; EQUAL MIX 2 1/2" PLUGS. RANDOM PLANT.
Butterfly Weed, Blue False Indigo, White False Indigo
Purple Coneflower, Blue Flag Iris, Cardinal Flower
Marsh Blazingstar, Brown Eyed Susan, Stiff Goldenrod
Bottlebrush Sedge, Fox Sedge, Torrey's Rush, Switch Grass

DEPRESSED AREA FOR PLANTINGS - SEE GRADING PLAN
PRAIRIE WILDFLOWERS AND GRASSES.
SEE LEFT FOR PLANT MIX.
PLANT SPACING TO BE 12" O.C., STAGGERED

OVERLAND FLOW/DOWNSPOUTS
CONTRIBUTE WATER



5 BIORETENTION AREA

NTS

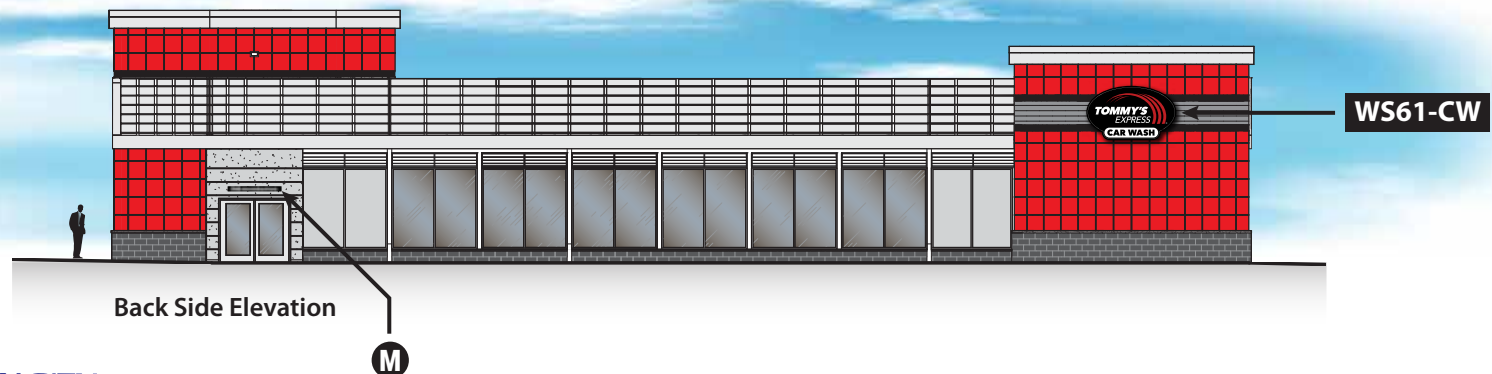
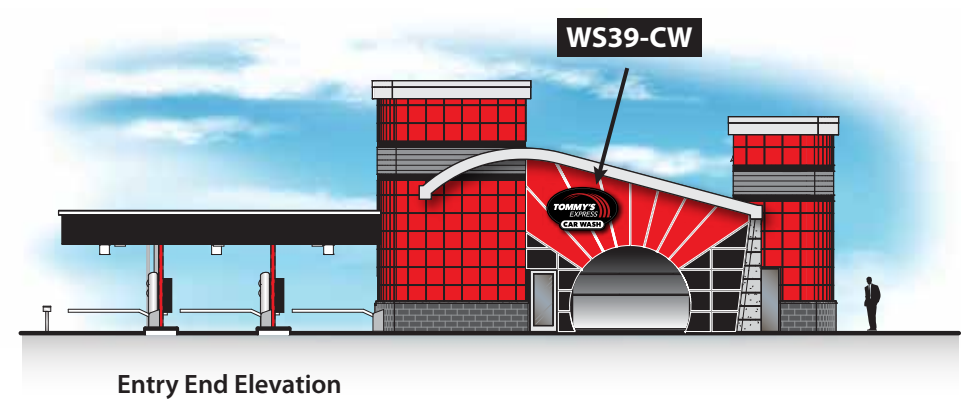
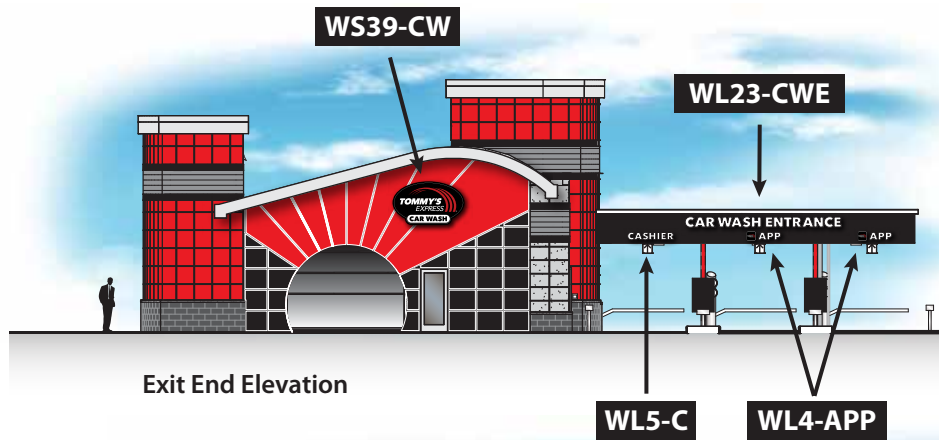
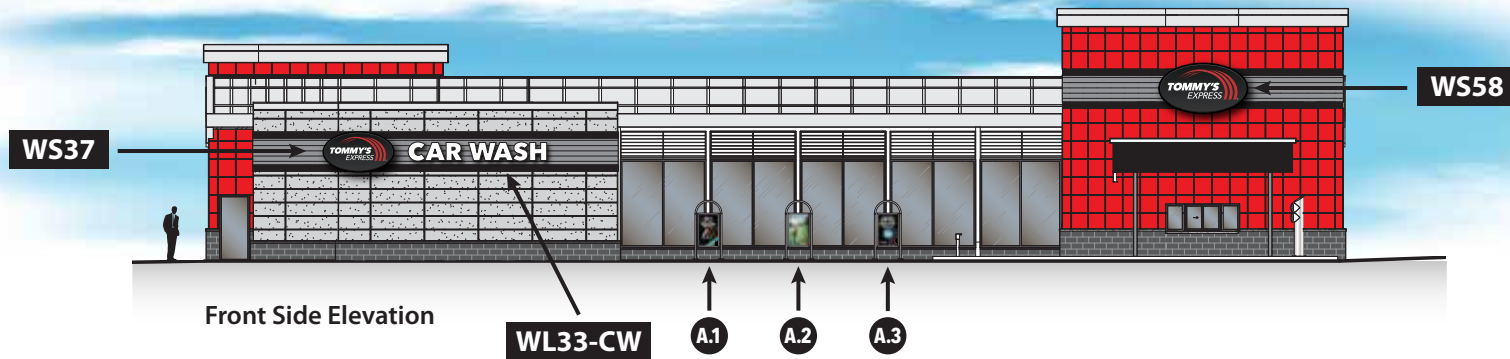
818 N Meadowbrook Ln
Waunakee, WI 53597
phone (608) 849-9378
www.pe-wi.com

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SHEBOYGAN, WISCONSIN

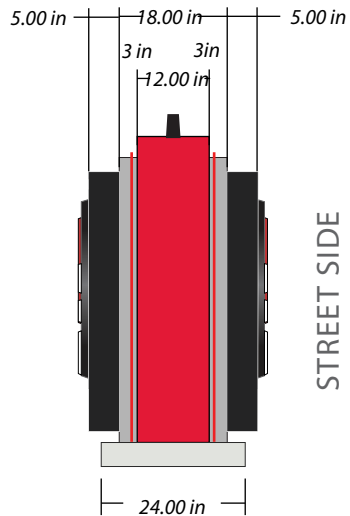
**CAR WASH
LANDSCAPE PLAN**
3627 WASHINGTON AVE

L100

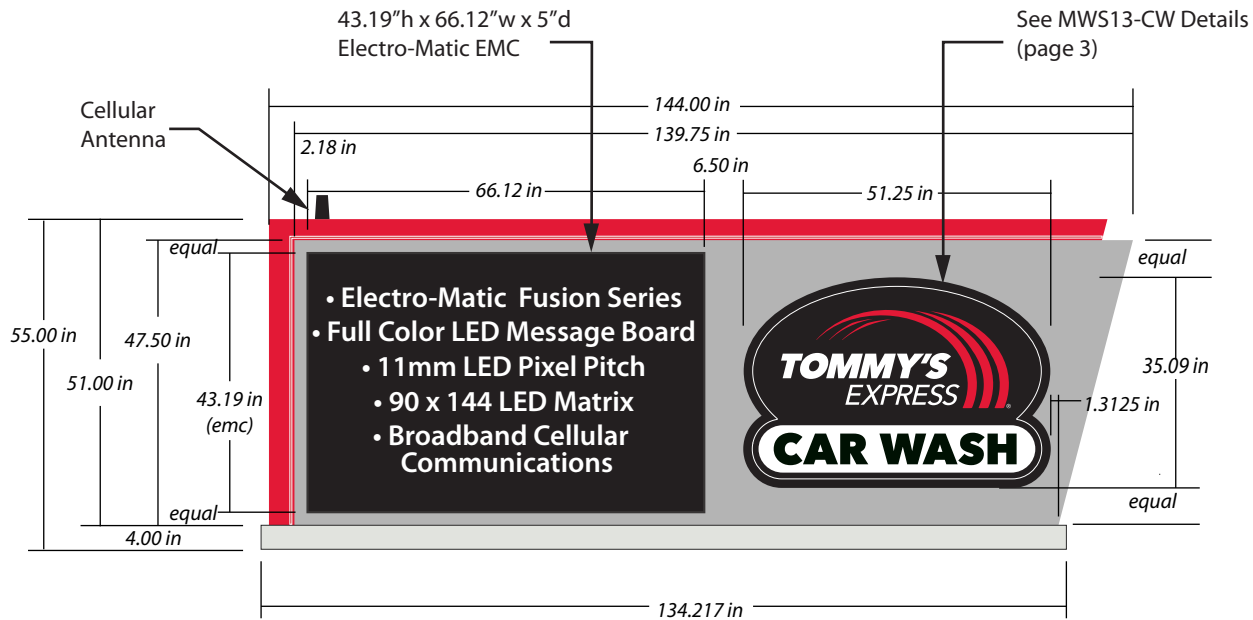


Option 2

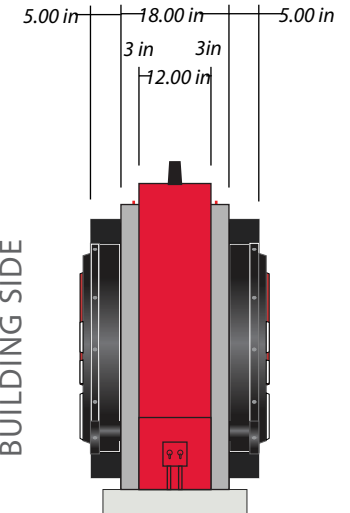
See M51 Details
(page 2)



STREET SIDE



See MWS13-CW Details
(page 3)



BUILDING SIDE



Side B

MONUMENT SIGN

SIGN CODE:	M51-4-E
SCALE:	3/8" = 1'
DATE:	12.10.19A
QUANTITY:	

PLAT OF SURVEY

ALL OF LOT 2 OF CERTIFIED SURVEY MAP 132,
BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4,
SECTION 4, TOWNSHIP 14 NORTH, RANGE 23 EAST,
CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

SURVEY FOR:
PETER J. SCHWABE
13890 BISHOPS DRIVE
BROOKFIELD, WI 53066
(262) 662-5551
(262) 853-3332 cell

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH, INC.
501 MAPLE AVE
DELAFIELD, WI 53018
(262) 370-0165 cell
KKINDRED@SEHINC.COM

PROPERTY
ADDRESS:
3627 WASHINGTON AVE,
S FRONTAGE RD
SHEBOYGAN, WI
53081

NOTE:

- UTILITIES SHOWN AS MARKED IN THE FIELD BY DIGGERS
HOTLINE, TICKET #20214505847
- SANITARY MAN HOLE 5 & 6. CONNECTIONS GOING NORTH AND
SOUTH FROM MAN HOLE NOT MARKED IN THE FIELD

Structure No.	Rim	Invert (Direction)	Desc.
1	700.69'	696.59' (N)	6" PVC
2	700.84'	694.99' (E)	6" PVC
		695.04' (S)	6" PVC
3	699.80'	694.14' (N)	6" PVC
		694.20' (W)	6" PVC
4	697.23'	693.53' (N)	12" PVC
		693.63' (S)	6" PVC
5*	697.32'	685.57' (E/W)	8"
6*	700.81'	689.33' (E/W)	8"

LEGEND

- CONCRETE MONUMENT WITH BRASS CAP
- 11/16" REBAR SET, 18" LONG, WT. = 1.13 LBS/LIN FT
- .75" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- RECORDED AS
- BURIED GAS LINE, GAS METER
- BURIED TV LINE, TV PEDESTAL
- BURIED TELEPHONE LINE
- BURIED POWER LINE, ELECTRIC METER & PEDESTAL
- METAL HAND RAIL
- CLEAN OUT
- GATE VALVE
- SANITARY MAN HOLE
- CATCH BASIN / INLET
- LIGHT
- SIGN
- FLAG POLE

LEGAL DESCRIPTION:

FILE NO.: NCS-1094675-MKE

BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP RECORDED
JANUARY 17, 1994 IN VOLUME 11 OF CERTIFIED SURVEY MAPS,
PAGE 132 AS DOCUMENT NO. 1395403, BEING A PART OF LOT 1
OF CERTIFIED SURVEY MAPS RECORDED IN VOLUME 10 OF
CERTIFIED SURVEY MAPS, PAGE 285, BEING PART OF THE
NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 14 NORTH, RANGE 23
EAST, IN THE TOWN OF WILSON AND THE CITY OF SHEBOYGAN,
SHEBOYGAN COUNTY, WISCONSIN

EXCEPTING THEREFROM THE LANDS CONVEYED TO THE STATE
OF WISCONSIN, DEPARTMENT OF TRANSPORTATION IN
WARRANTY DEED RECORDED MARCH 30, 2015 AS DOCUMENT
NO. 2000630

SAID LANDS CONTAIN 71,386 SQUARE FEET, 1.64 ACRES.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND
THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE
AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL
VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON,
BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE
ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT
OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR
GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

ALL OF LOT 2 OF CERTIFIED SURVEY MAP 132,
BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4,
SECTION 4, TOWNSHIP 14 NORTH, RANGE 23 EAST,
CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN









PARCEL NO.:	_____
MAP NO.:	_____
ZONING CLASSIFICATION:	_____

Office Use Only	
DATE SUBMITTED:	_____
REVIEW DATE:	_____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Shebpro II, LLC - Bill Zanetis

ADDRESS: 624 W Rolling Meadows Dr, Fond du Lac, WI 54937

E-MAIL ADDRESS: wzanetis@gmail.com

PHONE: (312) 266-7882 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Courtyard by Marriott

ADDRESS OF PROPERTY AFFECTED: S Taylor Drive (adjacent 4117 S Taylor Dr)

NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: _____

See narrative.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

See narrative.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____

See narrative.

3. NAMES AND ADDRESSES

OWNER OF SITE: Shebpro II, LLC - Bill Zanetis

ADDRESS: 624 W Rolling Meadows Dr, Fond du Lac, WI 54937

PHONE: (312) 266-7882 **FAX NO.:** ()

ARCHITECT: M+A Design, Inc - Lucas Petrie

ADDRESS: 24 S Brooke St, Fond du Lac, WI 54935

E-MAIL ADDRESS: l.petrie@madesigninc.net

PHONE: (920) 238-3343 **FAX NO.:** ()

CONTRACTOR: TBD

ADDRESS:

PHONE: () **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.


APPLICANT'S SIGNATURE

12-21-21
DATE

William Zanetis
PRINT ABOVE NAME

OFFICE USE ONLY

December 21, 2021

CUP/Architectural Project Description

PROJECT NAME AND ADDRESS:

Courtyard by Marriott
S. Taylor Drive (adjacent to 4117 S. Taylor Drive)
Sheboygan, Wisconsin 53081

PARCEL INFORMATION/ZONING CLASSIFICATION/SITE DATA

- The parcel is defined as tax parcel 59281470610
- SC-Suburban Commercial District

EXISTING SITE CONDITIONS/LAND USE:

- The property is currently vacant and is Phase 2 of the overall hotel development.

SITE SELECTION:

- Excellent visibility from Interstate 43
- Ease of access from Interstate 43
- Proximity to complementary uses (i.e. eating establishments, gas stations, etc.)

EXPLANATION BUSINESS ACTIVITIES:

- The hotel will be open 24 hours per day, 7 days per week.
- No on-site outside storage will occur.
- The anticipated number of employees is 7 full time.

DESCRIPTION OF PROPOSED BUILDING AND ALL NEW SITE IMPROVEMENTS:

- The site area is 118,845 SF / 2.73 acres.
- The disturbed area is 103,618 SF / 2.38 acres.
- The footprint will be 21,680 SF. The hotel is 4-stories, 72,308 SF and will have 117 rooms.
- Outdoor patio with fence and canopy is proposed
- SWM description: Building and parking lot drain to curb inlets which connect to a proposed underground storm chamber system. Underground storm chamber system connects to the exiting wet pond to the north. The existing stormwater pond in addition to the newly proposed underground stormwater management system will treat stormwater to meet local and state requirements.
- Landscaping will be provided in accordance with the City ordinance, in an approach which ensures species resiliency and complimentary aesthetics.
- A modular block retaining wall and fence are proposed along the southeast property line
- The existing north driveway will be utilized for site access with the existing curb cut and approach remaining in its current state.
- The building is set back from all property lines a minimum of 25'. All required setback requirements are met.
- A waste enclosure is proposed to the northeast of the building.
- Mechanical unit screening provided near the southwest corner of the proposed building near the patio.

- Site lighting to be provided by 20-foot pole mounted LED downcast light fixtures in the parking lot and driveways, and LED bollard style lighting along the front walkways. Other decorative up lighting will be provided around the building structure.

PARKING REQUIREMENTS:

- Minimum Number of Off-Street Parking Spaces Required: Commercial Indoor Lodging – 1 space per room, plus 1 space per employee
- Phase 1 (Fairfield) Required Spaces: 108 rooms + 6 employees = 114 spaces
- Phase 2 (Courtyard) Required Spaces: 117 rooms + 7 employees = 124 spaces
- Total Spaces: 238

HOW WILL SITE BE SERVICED WITH STREETS AND UTILITIES:

- The existing 8" water service stub which extends into the northwest corner of the parcel from the shared access drive is being utilized to service the proposed hotel.
- The existing 8" sanitary service stub which extends into the northwest corner of the parcel from the shared access drive is being utilized to service the proposed hotel.
- Driveway access is provided from S. Taylor Drive via the existing shared access drive.

ACCESS

- The existing access from S. Taylor Drive will be shared by both hotels.
- Internal parking and access drives will connect both hotel complexes.

PROPOSED TRAFFIC IMPACTS TO ADJOINING STREETS IN THE NEIGHBORHOOD BASED ON THIS DEVELOPMENT:

- As a commercial corridor, S. Taylor Drive is designed for a high volume of traffic. There are no adjoining streets to the development and no negative traffic impacts to the neighborhood are anticipated.

DESCRIPTION OF THE PROPOSED ARCHITECTURAL STYLE AND MATERIALS:

- The development architecture is contemporary and current. The materials are of high quality, in a contextually appropriate composition. The hotel building with pool will have a flat rubber roof primarily clad with EIFS and fiber cement panels with some metal and painted steel. The waste enclosure will be constructed out of split faced block painted to match the building.

PROPOSED SIGNAGE:

- One monument sign will be provided to serve both hotel developments. Additionally, building signage is also proposed as shown on the exterior elevations.

ESTIMATED EMPLOYEES

- Seven (7) full-time employees

ESTIMATED VALUE OF PROJECT:

- Approximately \$12M.

CONSTRUCTION TIMELINE:

- June 1st, 2022 – May 21st, 2023

POTENTIAL NUISANCES TO ADJOINING PROPERTY OWNERS:

- As a commercial corridor, S. Taylor Drive is designed for a high volume of traffic. The proposed development will have no negative impacts to the neighborhood.
- No outside storage is proposed.
- All waste will be stored in a waste enclosure located northeast of the building.
- Site lighting will meet City light intensity requirements and cut-off fixtures will be used for minimal light trespass.
- The architectural style of the building will fit in and compliment surrounding commercial developments.
- The use is consistent with the other commercial uses in the vicinity of this proposed development.

VARIANCE REQUESTS

The following variances are being requested:

- Loading Berth.
 - No commercial loading berth is proposed. A commercial loading berth is not necessary to serve the proposed hotel. A 18' X 14.75' loading area north of the southeast corner of the hotel building is proposed to provide easy access for any deliveries to the site.
- Drive Aisles Size.
 - 9' x 18' 90-degree parking with 24' drive aisles are proposed in lieu of the City standard 9' x 18.5' 90-degree parking with 26' drive aisles. This is consistent with the approved Fairfield Inn development immediately north of the proposed Courtyard development. This slight adjustment is within accepted engineering standards for stall size and drive aisle width. As proposed, the development complies with the minimum number of parking stalls required by Code.
- Pavement Setback.
 - 0' pavement setback is being requested for the proposed shared access drive. The shared access reduces the number of potential traffic conflicts on Taylor Drive and is consistent with the approved Fairfield Inn development immediately north of the proposed Courtyard development.
- Street Frontage Landscaping.
 - The Code requires 95 street frontage landscape points (237 linear feet of street frontage requiring 40 landscape points per each 100 linear feet). The intent is to provide 75 landscape points along the street frontage in the form of two (2) tall deciduous trees (30 points each) and one (1) medium tree (15 points). An additional 25 points [one (1) medium deciduous tree (15 points) and one (1) medium tree (10 points)] will be provided near the stormwater pond. This locational variance for landscaping is required because there is not adequate area along the street frontage to place the required number of points without encroaching into the required vision corner.

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
COURTYARD BY MARRIOTT
SOUTH TAYLOR DRIVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 3, 2021
DEC. 16, 2021
DEC. 21, 2021
JAN. 5, 2022

NOT FOR CONSTRUCTION

JOB NUMBER

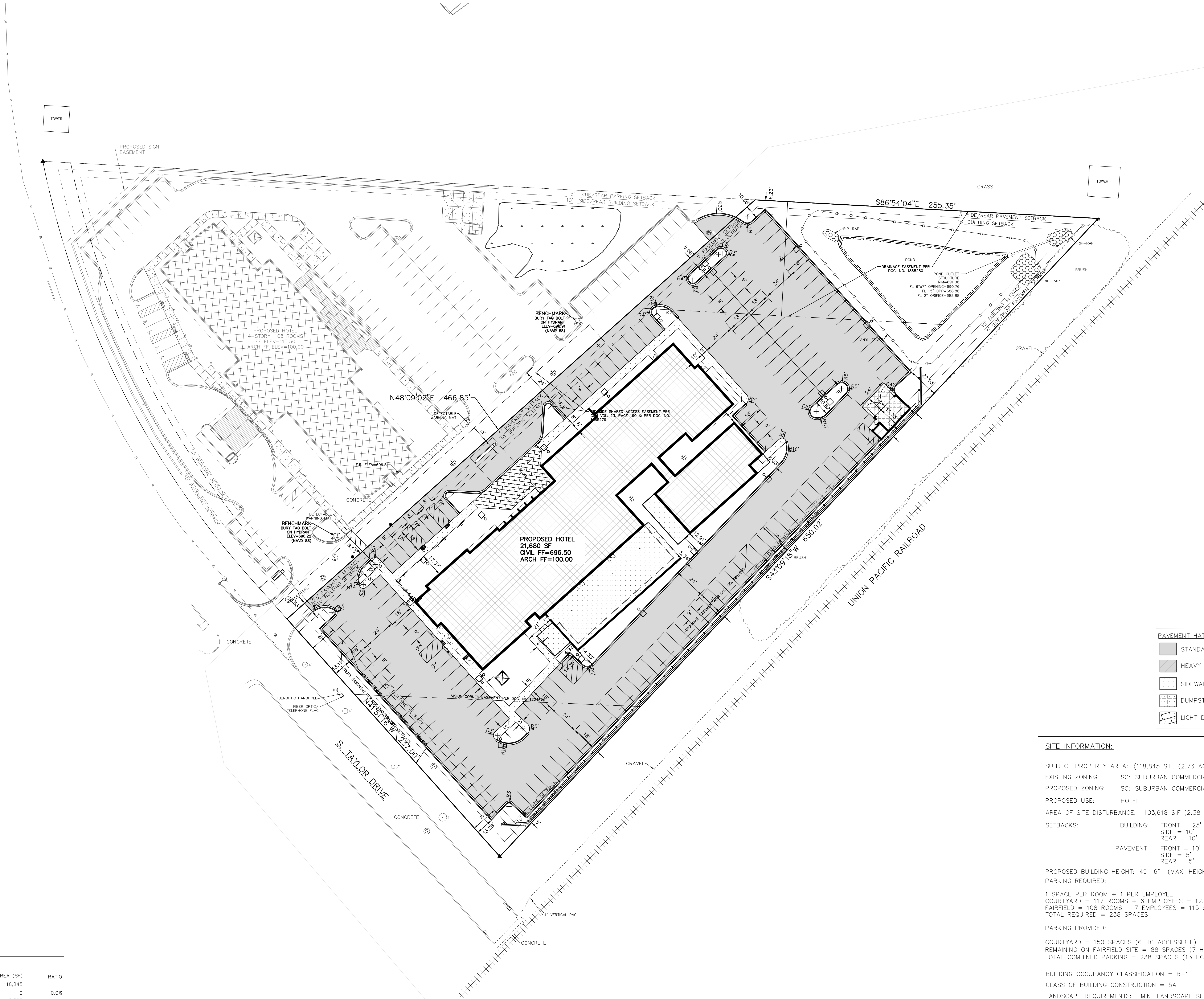
2173960

SHEET NUMBER

SPE

EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.73	118,845	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.20	8,802	7.4%
TOTAL IMPERVIOUS	0.20	8,802	7.4%
LANDSCAPE/ OPEN SPACE	2.53	110,043	92.6%

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.73	118,845	
BUILDING FLOOR AREA	0.50	21,680	18.2%
PAVEMENT (ASP. & CONC.)	1.45	63,027	53.0%
TOTAL IMPERVIOUS	1.94	84,707	71.3%
LANDSCAPE/ OPEN SPACE	0.78	34,138	28.7%

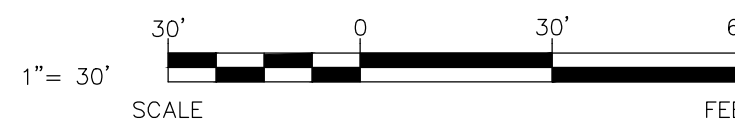


PAVEMENT HATCH KEY:

[Hatch]	STANDARD PAVEMENT SECTION
[Hatch]	HEAVY DUTY ASPHALT
[Hatch]	SIDEWALK/PATIO CONCRETE
[Hatch]	DUMPSTER PAD CONCRETE
[Hatch]	LIGHT DUTY STAMPED CONCRETE

SITE INFORMATION:

SUBJECT PROPERTY AREA: (118,845 S.F. (2.73 ACRES))
EXISTING ZONING: SC: SUBURBAN COMMERCIAL
PROPOSED ZONING: SC: SUBURBAN COMMERCIAL
PROPOSED USE: HOTEL
AREA OF SITE DISTURBANCE: 103,618 S.F. (2.38 ACRES)
SETBACKS: BUILDING: FRONT = 25'
SIDE = 10'
REAR = 10'
PAVEMENT: FRONT = 10'
SIDE = 5'
REAR = 5'
PROPOSED BUILDING HEIGHT: 49'-6" (MAX. HEIGHT ALLOWED: 50')
PARKING REQUIRED:
1 SPACE PER ROOM + 1 PER EMPLOYEE
COURTYARD = 117 ROOMS + 6 EMPLOYEES = 123 SPACES
FAIRFIELD = 108 ROOMS + 7 EMPLOYEES = 115 SPACES
TOTAL REQUIRED = 238 SPACES
PARKING PROVIDED:
COURTYARD = 150 SPACES (6 HC ACCESSIBLE)
REMAINING ON FAIRFIELD SITE = 88 SPACES (7 HC ACCESSIBLE)
TOTAL COMBINED PARKING = 238 SPACES (13 HC ACCESSIBLE)
BUILDING OCCUPANCY CLASSIFICATION = R-1
CLASS OF BUILDING CONSTRUCTION = 5A
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 25%



CIVIL SITE PLAN EXHIBIT

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
COURTYARD BY MARRIOTT
SOUTH TAYLOR DRIVE • SHEBOYGAN, WI 53081

SITE PLAN KEYNOTES

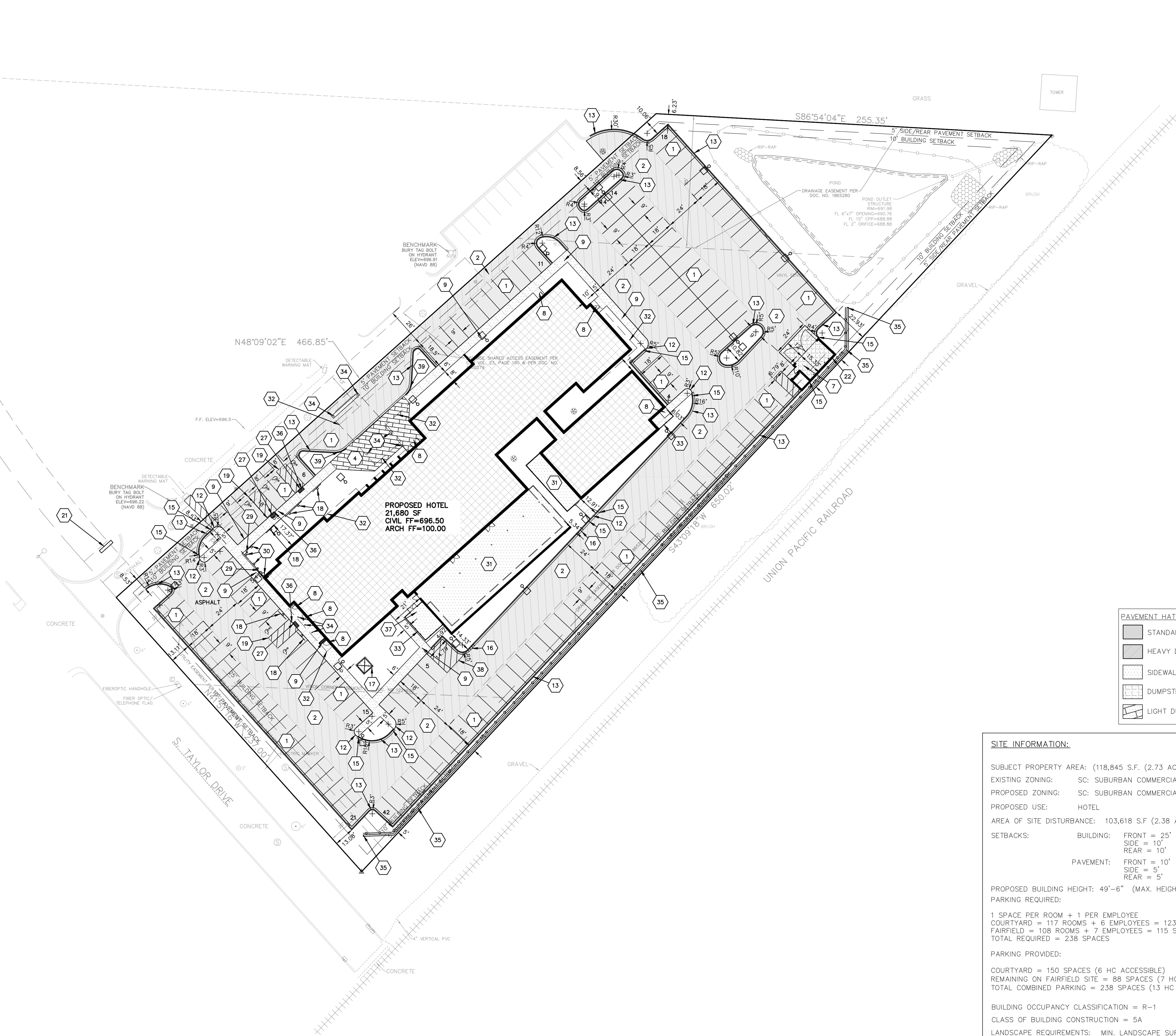
1	STANDARD ASPHALT SECTION (TYP.)
2	HEAVY DUTY ASPHALT SECTION (TYP.)
4	LIGHT DUTY STAMPED CONCRETE (TYP.)
7	DUMPSTER PAD/APRON CONCRETE (TYP.)
8	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
9	RAISED WALK (TYP.)
12	CURB RAMP (TYP.)
13	18" CURB & GUTTER (TYP.)
15	CURB TAPER (TYP.)
16	CURB CUT (TYP.)
17	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
18	HANDICAP SIGN (TYP.)
19	HANDICAP STALL & STRIPING PER STATE CODES.
21	MODIFY EXISTING MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
22	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
27	DETECTABLE WARNING PLATE
29	CAR CHARGING STATION (TYP.) (SEE ELECTRICAL PLANS)
30	ELECTRIC VEHICLE PARKING SIGN (TYP.)
31	CONCRETE PATIO WITH FENCE AND CANOPY. SEE ARCH PLANS (TYP.)
32	CANOPY. SEE ARCH PLANS. (TYP.)
33	FENCE. SEE ARCH PLANS. (TYP.)
34	CANOPY COLUMN. SEE ARCH PLANS. (TYP.)
35	MODULAR BLOCK RETAINING WALL AND FENCE (TYP.)(COLOR AND STYLE BY OWNER)
36	ADA SIDEWALK RAMP (TYP.)
37	CONCRETE MECHANICAL PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
38	STRIPED LOADING AREA (TYP.)
39	CURB TRANSITION (TYP.)

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.73	118,845	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.20	8,802	7.4%
TOTAL IMPERVIOUS	0.20	8,802	7.4%
LANDSCAPE/ OPEN SPACE	2.53	110,043	92.6%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.73	118,845	
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TOTAL IMPERVIOUS	1.94	84,707	71.3%
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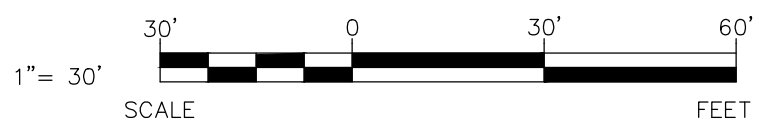


PAVEMENT HATCH KEY:

[Hatch]	STANDARD PAVEMENT SECTION
[Hatch]	HEAVY DUTY ASPHALT
[Hatch]	SIDEWALK/PATIO CONCRETE
[Hatch]	DUMPSTER PAD CONCRETE
[Hatch]	LIGHT DUTY STAMPED CONCRETE

SITE INFORMATION:

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PROPOSED ZONING: SC: SUBURBAN COMMERCIAL
PROPOSED USE: HOTEL
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SETBACKS: BUILDING: FRONT = 25'
SIDE = 10'
REAR = 10'
PAVEMENT: FRONT = 10'
SIDE = 5'
REAR = 5'
PROPOSED BUILDING HEIGHT: 49'-6" (MAX. HEIGHT ALLOWED: 50')
PARKING REQUIRED:
1 SPACE PER ROOM + 1 PER EMPLOYEE
COURTYARD = 117 ROOMS + 6 EMPLOYEES = 123 SPACES
FAIRFIELD = 108 ROOMS + 7 EMPLOYEES = 115 SPACES
TOTAL REQUIRED = 238 SPACES
PARKING PROVIDED:
COURTYARD = 150 SPACES (6 HC ACCESSIBLE)
REMAINING ON FAIRFIELD SITE = 88 SPACES (7 HC ACCESSIBLE)
TOTAL COMBINED PARKING = 238 SPACES (13 HC ACCESSIBLE)
BUILDING OCCUPANCY CLASSIFICATION = R-1
CLASS OF BUILDING CONSTRUCTION = 5A
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 25%



CIVIL SITE PLAN

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 3, 2021
DEC. 16, 2021
DEC. 21, 2021

JOB NUMBER

2173960

SHEET NUMBER

C1.1

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:
COURTYARD BY MARRIOTT
SOUTH TAYLOR DRIVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

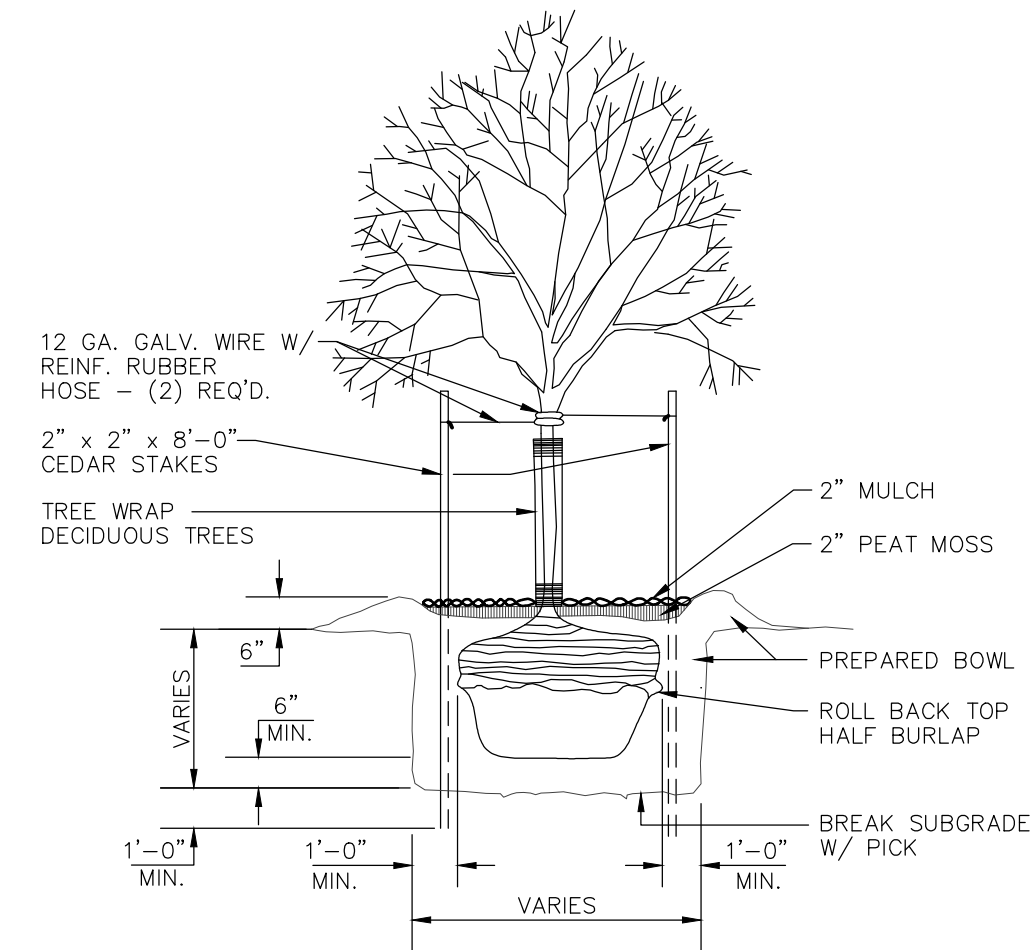
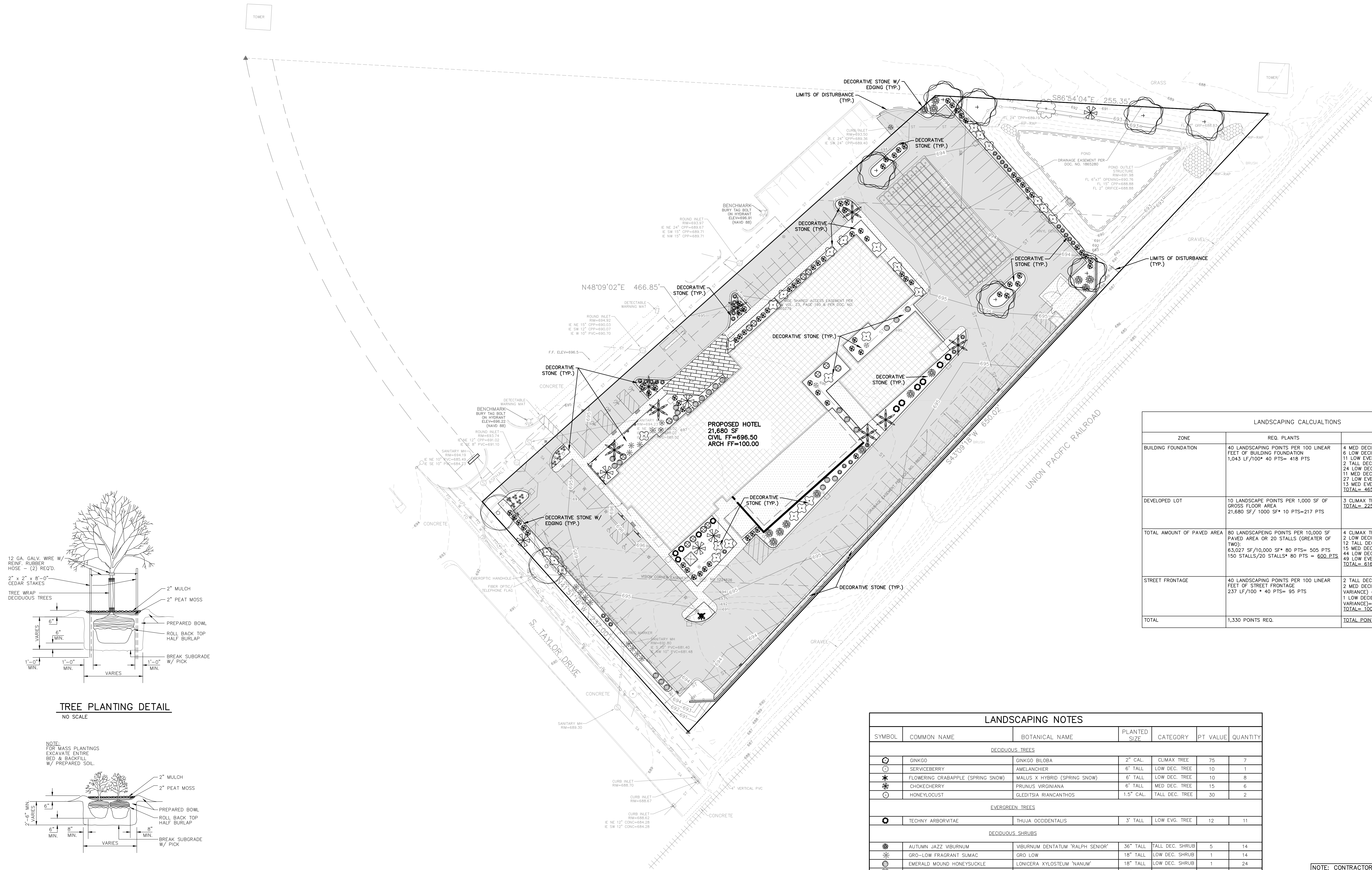
PRELIMINARY DATES
DEC. 21, 2021

JOB NUMBER

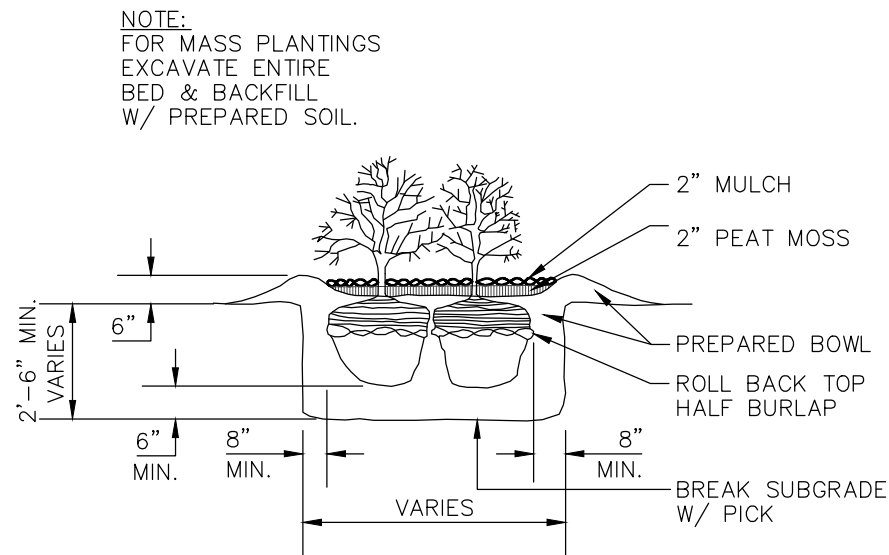
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SHEET NUMBER

C1.4



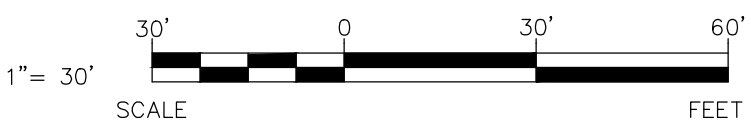
TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

LANDSCAPING NOTES						
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	CATEGORY	PT. VALUE	QUANTITY
DECIDUOUS TREES						
⊙	GINKGO	GINKGO BILOBA	2" CAL.	CLIMAX TREE	75	7
⊙	SERVICEBERRY	AMELANCHIER	6" TALL	LOW DEC. TREE	10	1
✱	FLOWERING CRABAPPLE (SPRING SNOW)	MALUS X HYBRID (SPRING SNOW)	6" TALL	LOW DEC. TREE	10	8
✱	CHOKECHERRY	PRUNUS VIRGINIANA	6" TALL	MED DEC. TREE	15	6
⊙	HONEYLOCUST	GLEDITSIA TRIANCANTHOS	1.5" CAL.	TALL DEC. TREE	30	2
EVERGREEN TREES						
⊙	TECHNY ARBORVITAE	THUJA OCCIDENTALIS	3" TALL	LOW EVG. TREE	12	11
DECIDUOUS SHRUBS						
✱	AUTUMN JAZZ VIBURNUM	VIBURNUM DENTATUM 'RALPH SENIOR'	36" TALL	TALL DEC. SHRUB	5	14
✱	GRO-LOW FRAGRANT SUMAC	GRO LOW	18" TALL	LOW DEC. SHRUB	1	14
✱	EMERALD MOUND HONEYSUCKLE	LONICERA XYLOSTEUM 'NANUM'	18" TALL	LOW DEC. SHRUB	1	24
✱	PURPLE-LEAVED SAND CHERRY	PRUNUS X CISTENA	24" TALL	MED DEC. SHRUB	3	26
✱	BARBERRY CONCORDE	BERBERIS THUNBERGII CONCORDE	18" TALL	LOW DEC. SHRUB	1	30
EVERGREEN SHRUBS						
✱	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'PLUMOSA'	12" TALL	LOW EVG. SHRUB	3	76
✱	WOODWARD GLOBE AMERICAN ARBORVITAE	THUJA OCCIDENTALIS 'WOODWARDII'	18" TALL	MED EVG. SHRUB	5	13
PERENNIALS						
✱	SEASONAL COLOR PERENNIAL PLANTING	SELECTED BY LANDSCAPER	1 GAL	NA	NA	9

NOTE: CONTRACTOR SHALL SEED ALL OTHER
DISTURBED SITE AREAS IN ACCORDANCE WITH
THE SPECIFICATIONS LISTED ON SHEET C0.1.



CIVIL LANDSCAPE AND RESTORATION PLAN



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

M+A DESIGN, INC.

24 SOUTH BROOKE STREET
FOND DU LAC, WISCONSIN 54937
l.petrie@madesigninc.net (920) 922-8170

PROJECT #:
59648

OWNERS:
SHEB PRO II, LLC.
625 WEST ROLLING MEADOWS DRIVE
FOND DU LAC, WI 54935

COURTYARD®
BY MARRIOTT
SOUTH TAYLOR DRIVE
SHEBOYGAN, WI 53081

2021 © M+A DESIGN, INC.

JOB NUMBER:
2021.56

SHEET

1



JOB NUMBER:
2021.56
SHEET
2

COURTYARD®
BY MARRIOTT

SOUTH TAYLOR DRIVE
SHEBOYGAN, WI 53081

OWNERS:
SHEB PRO II, LLC.
625 WEST ROLLING MEADOWS DRIVE
FOND DU LAC, WI 54935

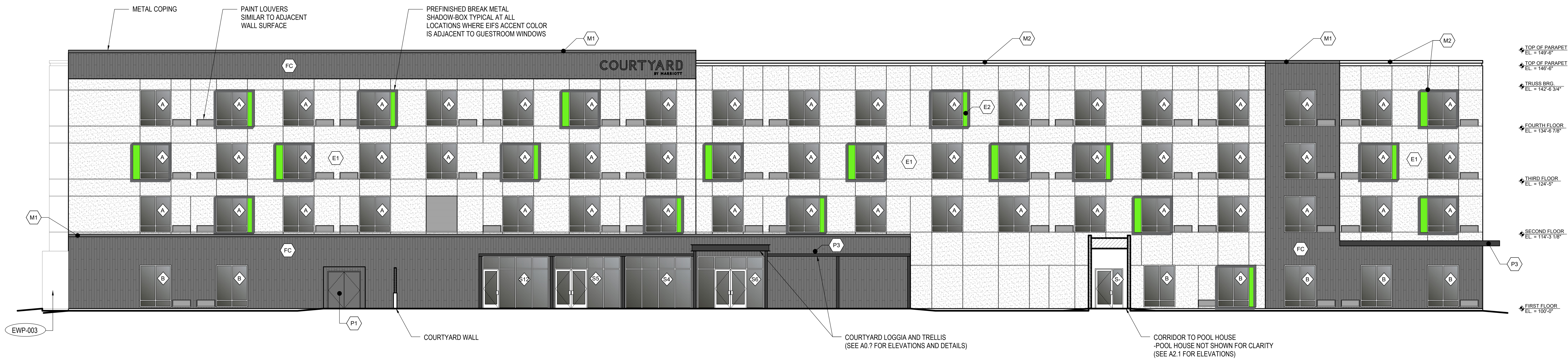
PROJECT #:
59648

M+A DESIGN, INC.
24 SOUTH BROOKE STREET
FOND du LAC, WISCONSIN 54937
pettie@madesigninc.net (920) 922-8170

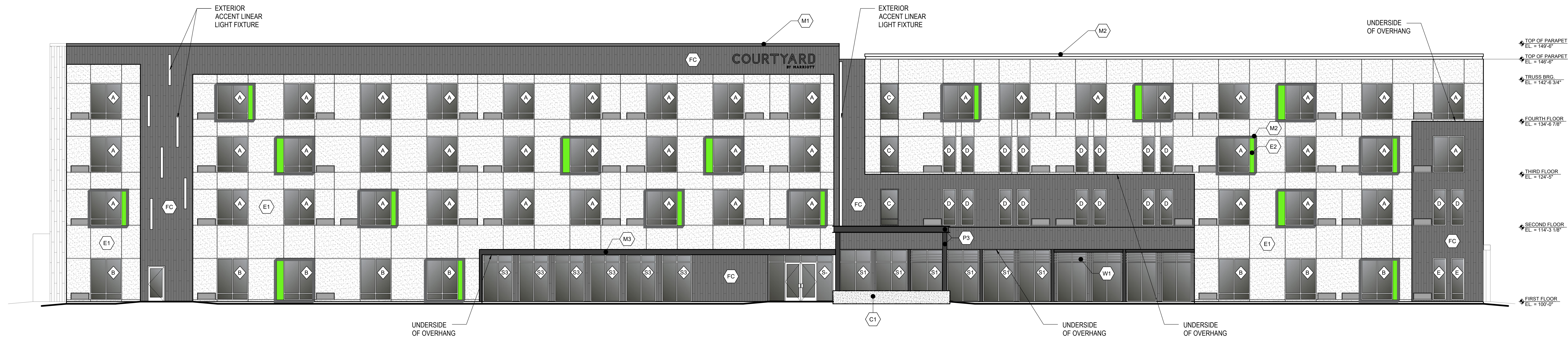
PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY
SHEET DATES:

EXTERIOR COLORS & MATERIALS SCHEDULE			
	KEYNOTE	MATERIAL	FINISH & COLOR
	E1	EIFS	TEXTURE: MEDIUM; COLOR: WHITE
	E2	EIFS	TEXTURE: MEDIUM; COLOR: LIME GREEN
	E3	EIFS	TEXTURE: MEDIUM; COLOR: WHITE
	FC	FIBER-CEMENT PANELS	COLOR: GRAY SHOWER
	P1	PAINT 1	COLOR: GRAY
	P2	PAINT 2	COLOR: WHITE
	P3	INTUMESCENT PAINT	COLOR: DARK BRONZE
	M1	METAL COLOR 1	COLOR: GRAY
	M2	METAL COLOR 2	COLOR: WHITE
	M3	METAL COLOR 3	COLOR: DARK BRONZE
	W1	WOOD SLAT	WESTERN RED CEDAR
	C1	CONCRETE	SEALED
	WINDOWS	ALUMINUM	DARK BRONZE
	FENCE	ALUMINUM	DARK BRONZE
NOTE: ALL VENTS TO BE PAINTED TO MATCH ADJACENT COLOR ALL EIFS AT GRADE TO 2ND FLOOR TO BE HIGH IMPACT - SEE SPECS			



SOUTHEAST
REAR ELEVATION
SCALE: 1/8" = 1'-0"



NORTHWEST
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY
SHEET DATES:

M+A DESIGN, INC.

24 SOUTH BROOK STREET
FOND DU LAC, WISCONSIN 54937
l.petrie@madesigninc.net (920) 922-8170

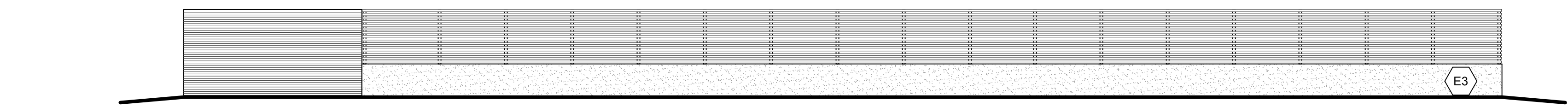
PROJECT #:
59648

OWNERS:
SHEB PRO II, LLC.
625 WEST ROLLING MEADOWS DRIVE
FOND DU LAC, WI 54935

COURTYARD®
BY MARRIOTT
SOUTH TAYLOR DRIVE
SHEBOYGAN, WI 53081

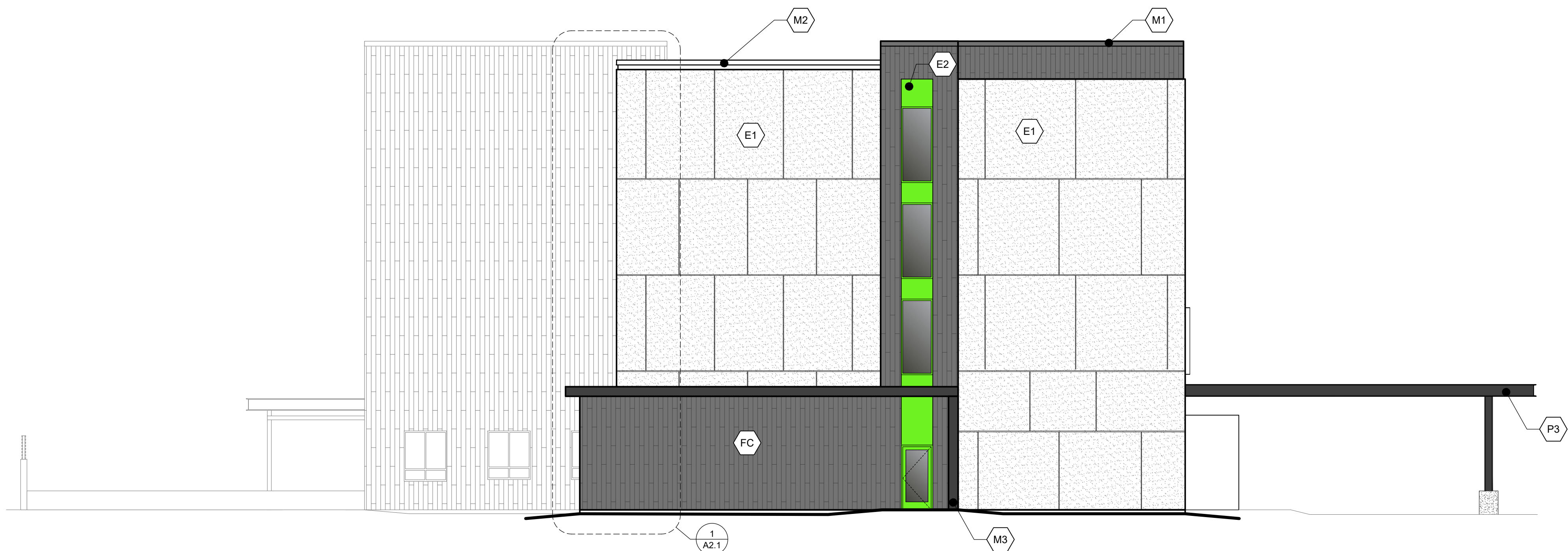
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JOB NUMBER:
2021.56
SHEET
A2.0



SOUTHEAST
COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



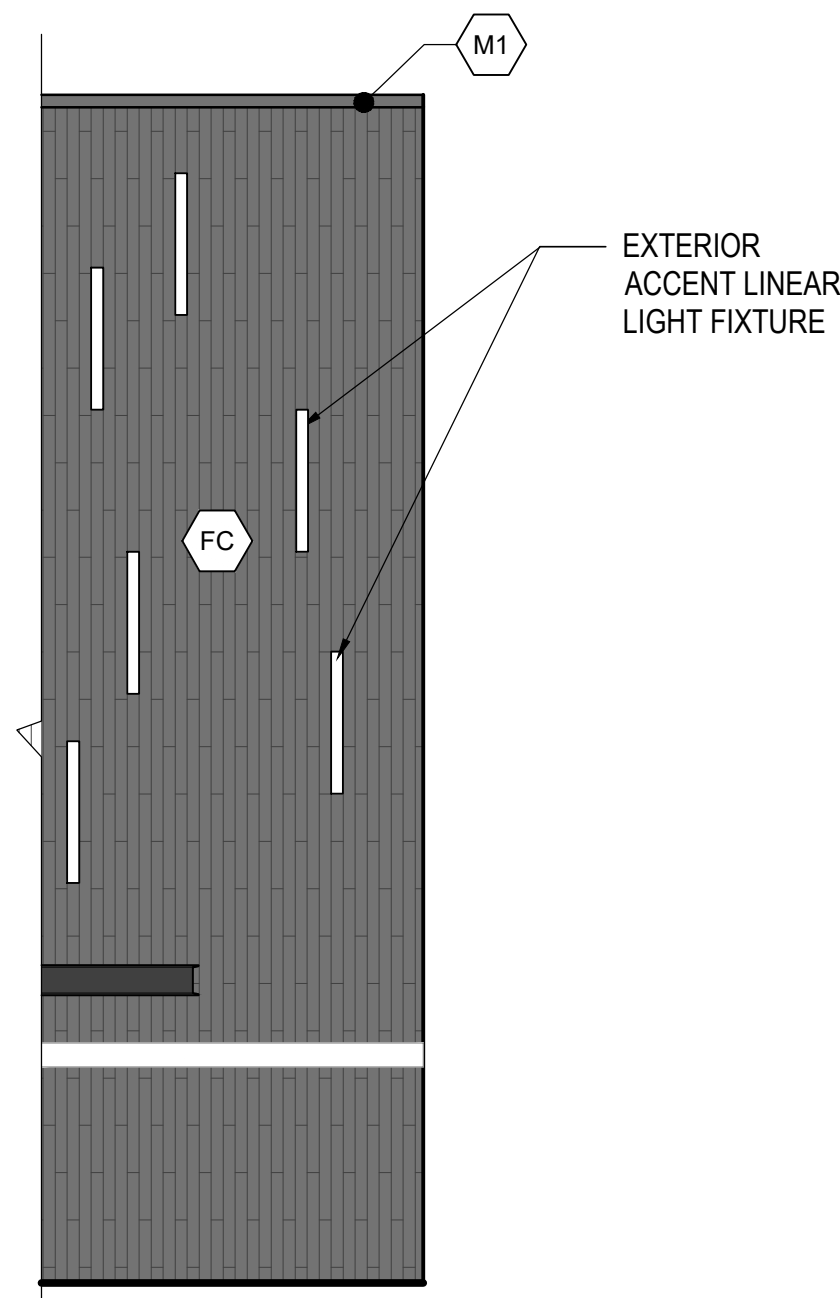
NORTHEAST
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



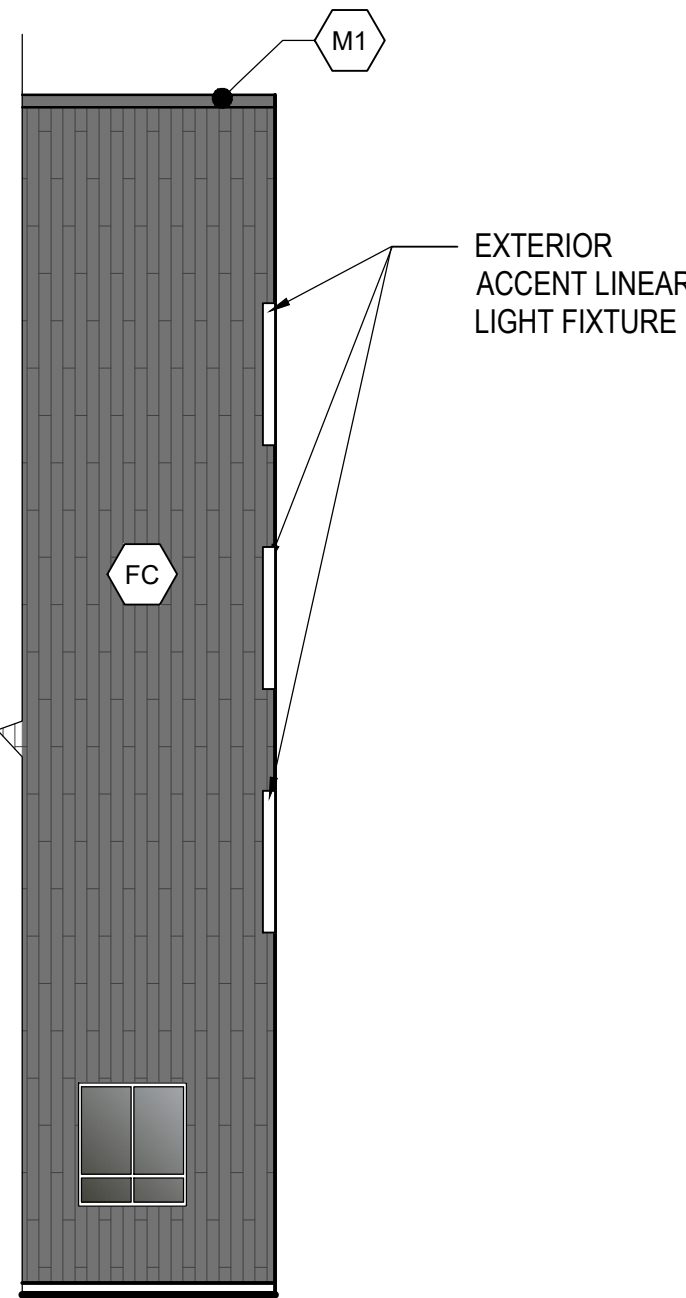
SOUTHWEST
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



2
A2.1
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



1
A2.1
SIDE ELEVATION

SCALE: 1/8" = 1'-0"

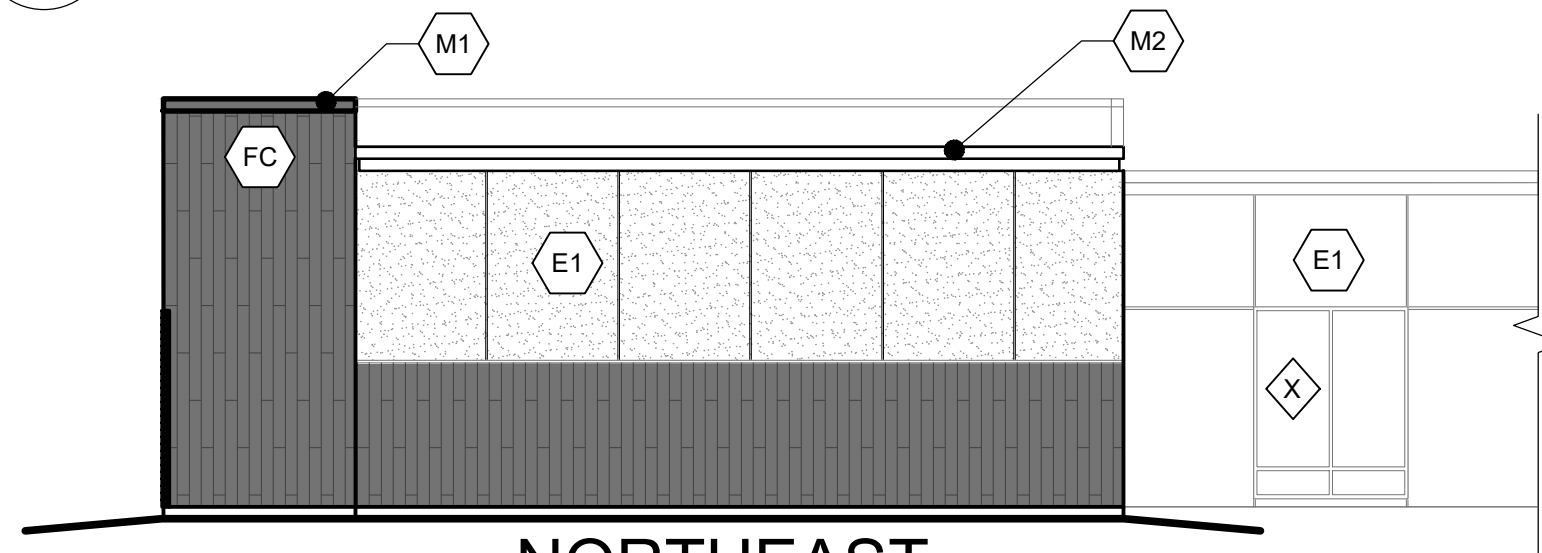
TOP OF PARAPET
EL. = 149'-6"
TOP OF PARAPET
EL. = 146'-6"
TRUSS BRG.
EL. = 142'-6 3/4"

FOURTH FLOOR
EL. = 134'-6 7/8"

THIRD FLOOR
EL. = 124'-5"

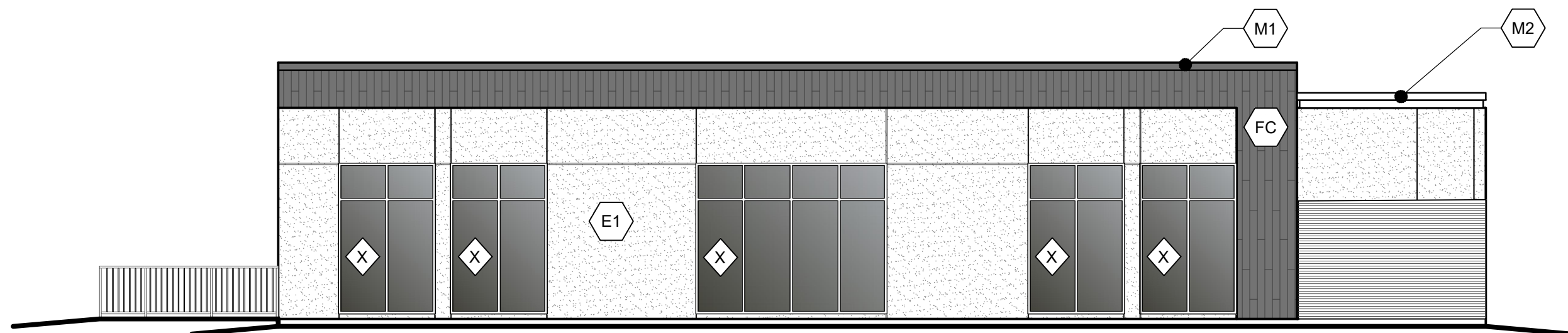
SECOND FLOOR
EL. = 114'-3 1/8"

FIRST FLOOR
EL. = 100'-0"



NORTHEAST
POOL SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SOUTHEAST
POOL FRONT ELEVATION

SCALE: 1/8" = 1'-0"

TOP OF PARAPET
EL. = 149'-6"
TOP OF PARAPET
EL. = 146'-6"
TRUSS BRG.
EL. = 142'-6 3/4"

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EL. = 124'-5"

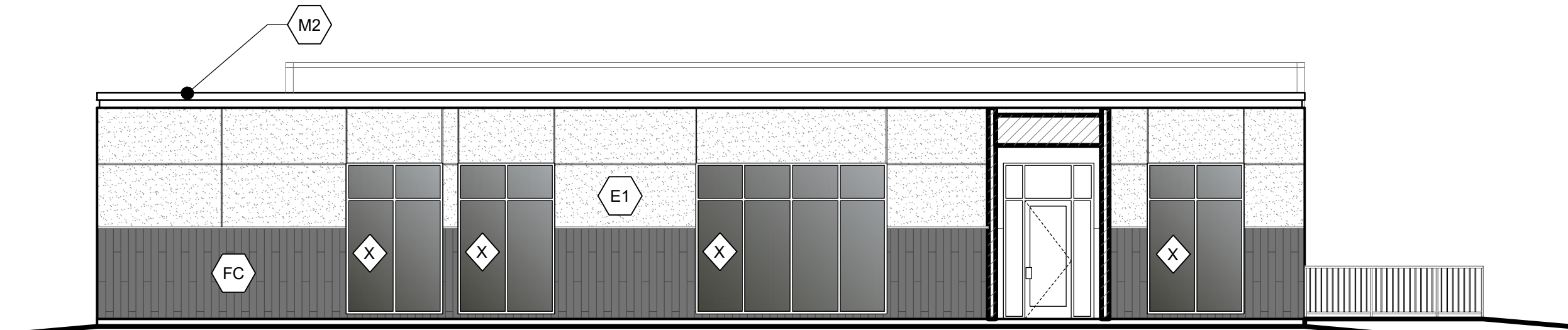
SECOND FLOOR
EL. = 114'-3 1/8"

FIRST FLOOR
EL. = 100'-0"



SOUTHWEST
POOL SIDE ELEVATION

SCALE: 1/8" = 1'-0"



NORTHWEST
POOL REAR ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR COLORS & MATERIALS SCHEDULE			
KEYNOTE	MATERIAL	FINISH & COLOR	
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P1	PAINT 1	COLOR: GRAY	
P2	PAINT 2	COLOR: WHITE	
P3	INTUMESCENT PAINT	COLOR: DARK BRONZE	
M1	METAL COLOR 1	COLOR: GRAY	
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M3	METAL COLOR 3	COLOR: DARK BRONZE	
W1	WOOD SLAT	WESTERN RED CEDAR	
C1	CONCRETE	SEALED	
WINDOWS	ALUMINUM	DARK BRONZE	
FENCE	ALUMINUM	DARK BRONZE	

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PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY
SHEET DATES:

M+A DESIGN, INC.

24 SOUTH BROOKE STREET
FOND DU LAC, WISCONSIN 54937
l.petrie@madesigninc.net (920) 922-8170

PROJECT #:
59648

OWNERS:
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625 WEST ROLLING MEADOWS DRIVE
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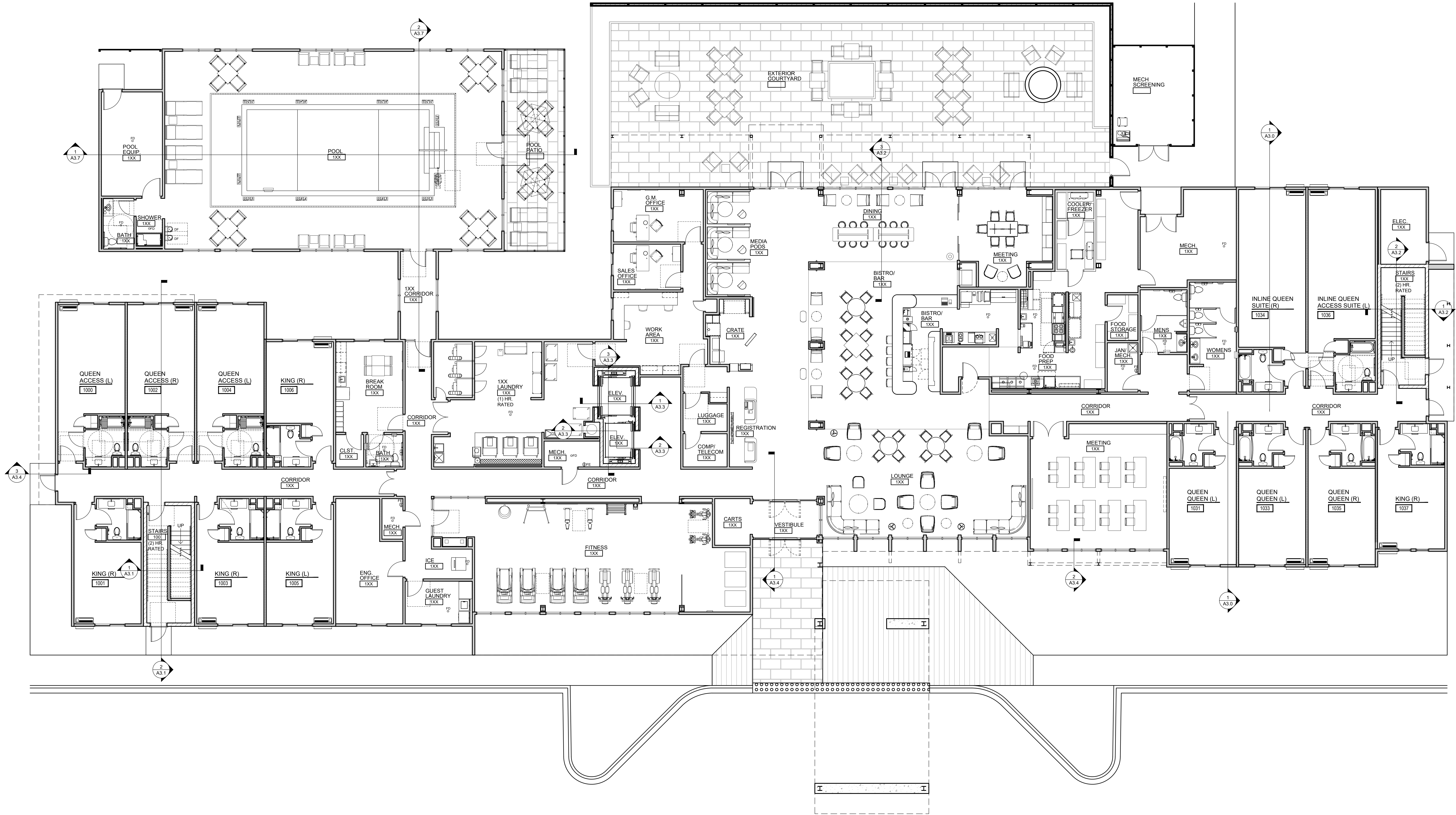
COURTYARD®
BY MARRIOTT

SOUTH TAYLOR DRIVE
SHEBOYGAN, WI 53081

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JOB NUMBER:
2021.56

SHEET
A2.1



HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
1ST FLOOR	5	-	3	3	-	-	1	1	13
2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	2	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	76	3	25	3	5	2	1	1	117

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY SHEET DATES:

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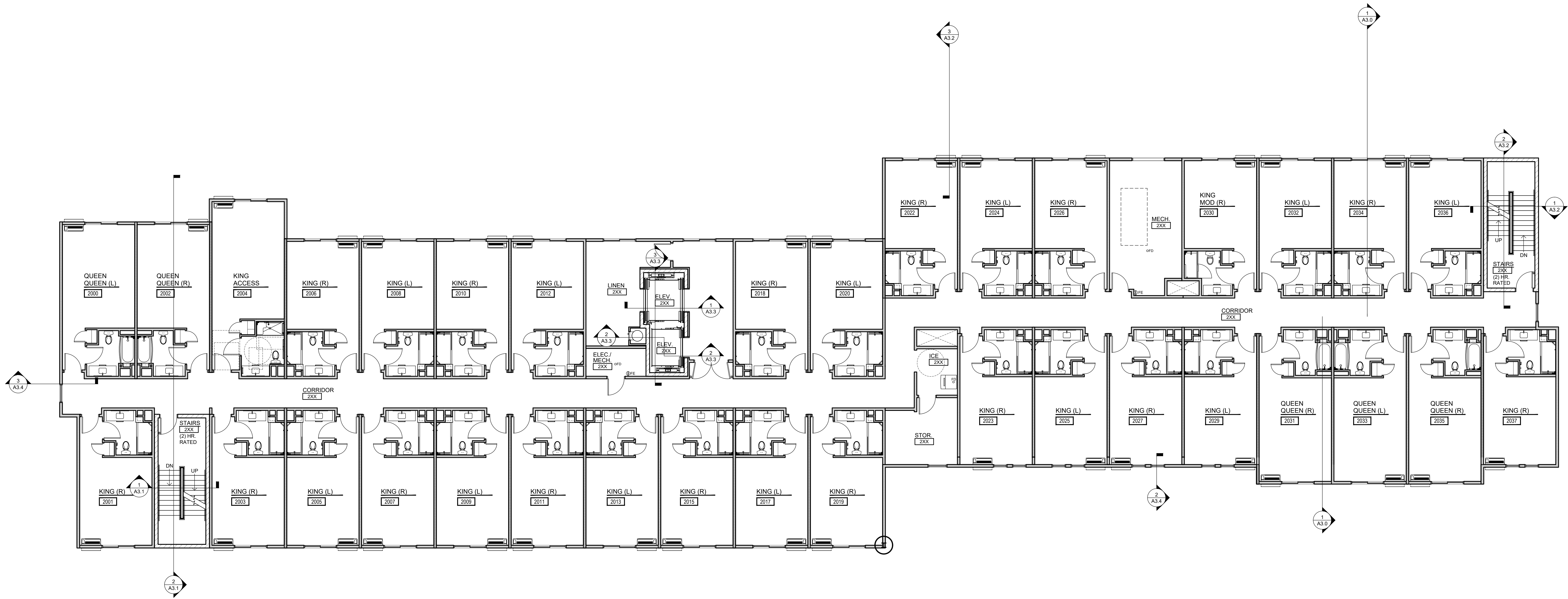
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PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

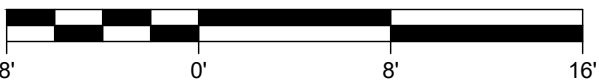


HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
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2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	-	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	76	3	25	3	5	2	1	1	117



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

M+A DESIGN, INC.

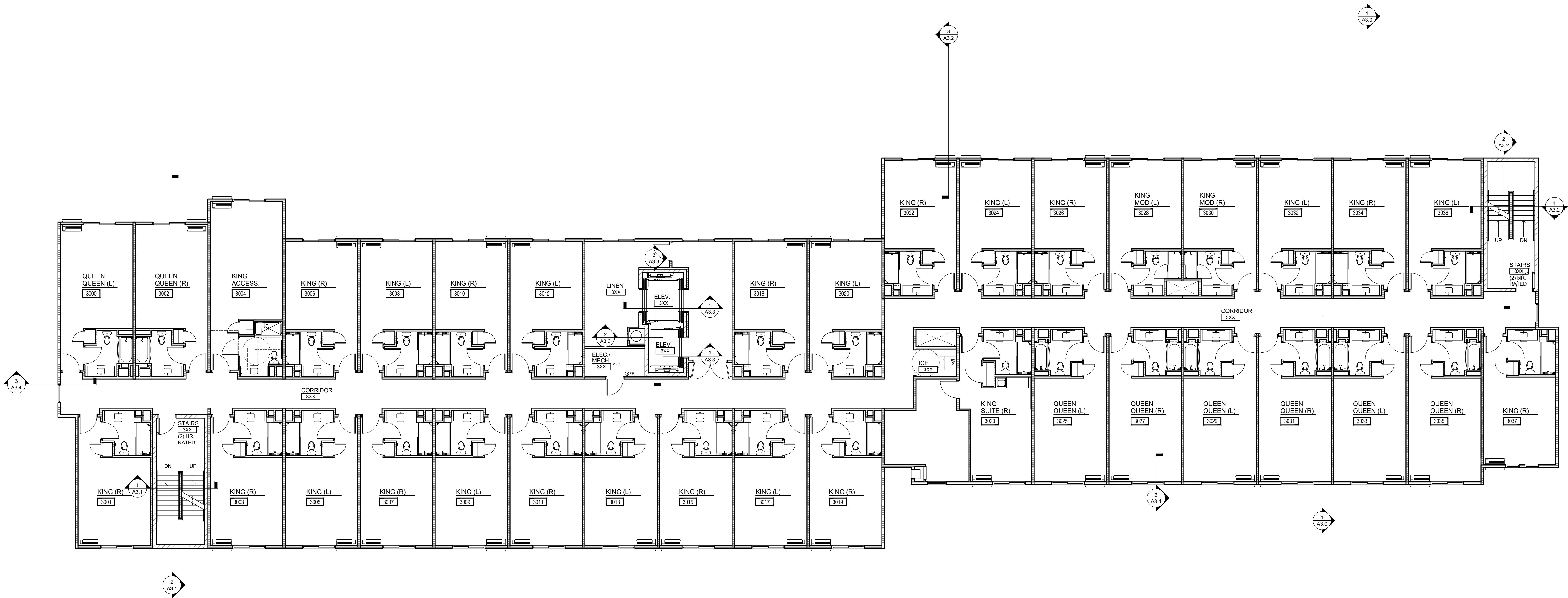
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JOB NUMBER:
2021.56
SHEET
A1.2



HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
1ST FLOOR	5	-	3	3	-	-	1	1	13
2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	2	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	76	3	25	3	5	2	1	1	117



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



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PROJECT #:
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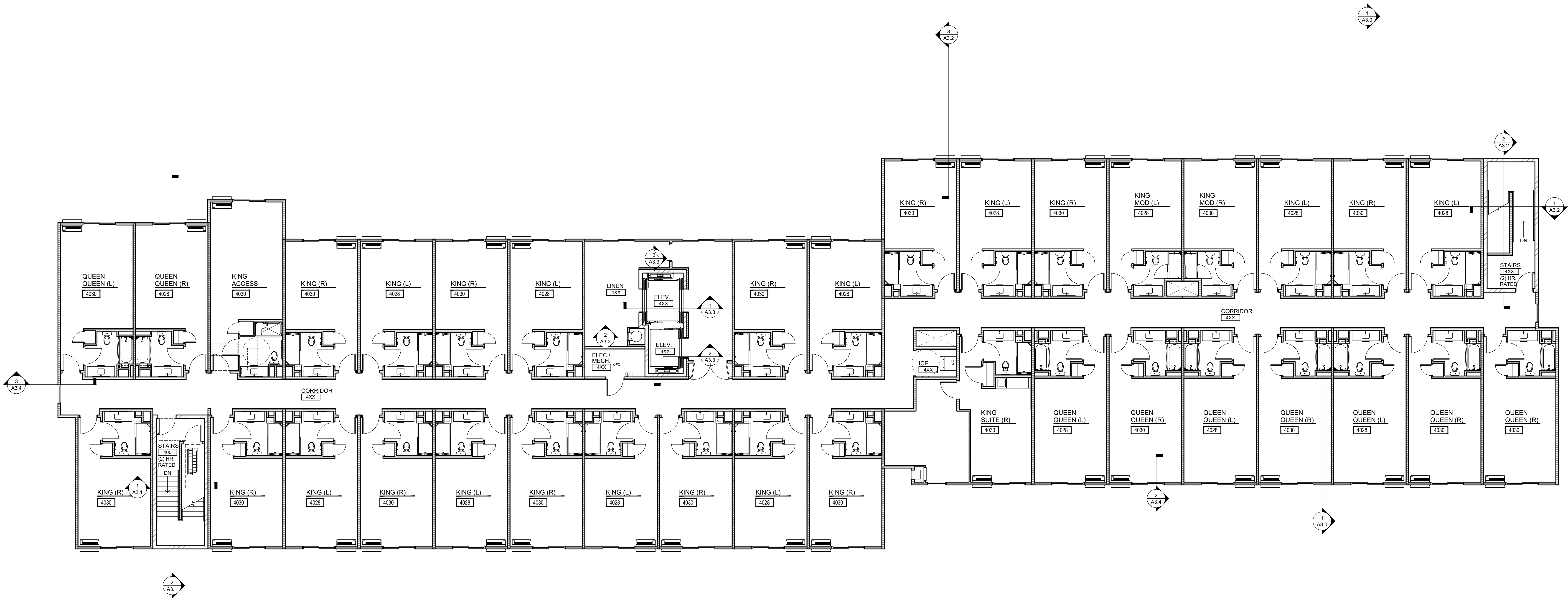
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COURTYARD®
BY MARRIOTT

SOUTH TAYLOR DRIVE
SHEBOYGAN, WI 53081

JOB NUMBER:
2021.56

SHEET
A1.3



HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
1ST FLOOR	5	-	3	3	-	-	1	1	13
2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	2	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	76	3	25	3	5	2	1	1	117



FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

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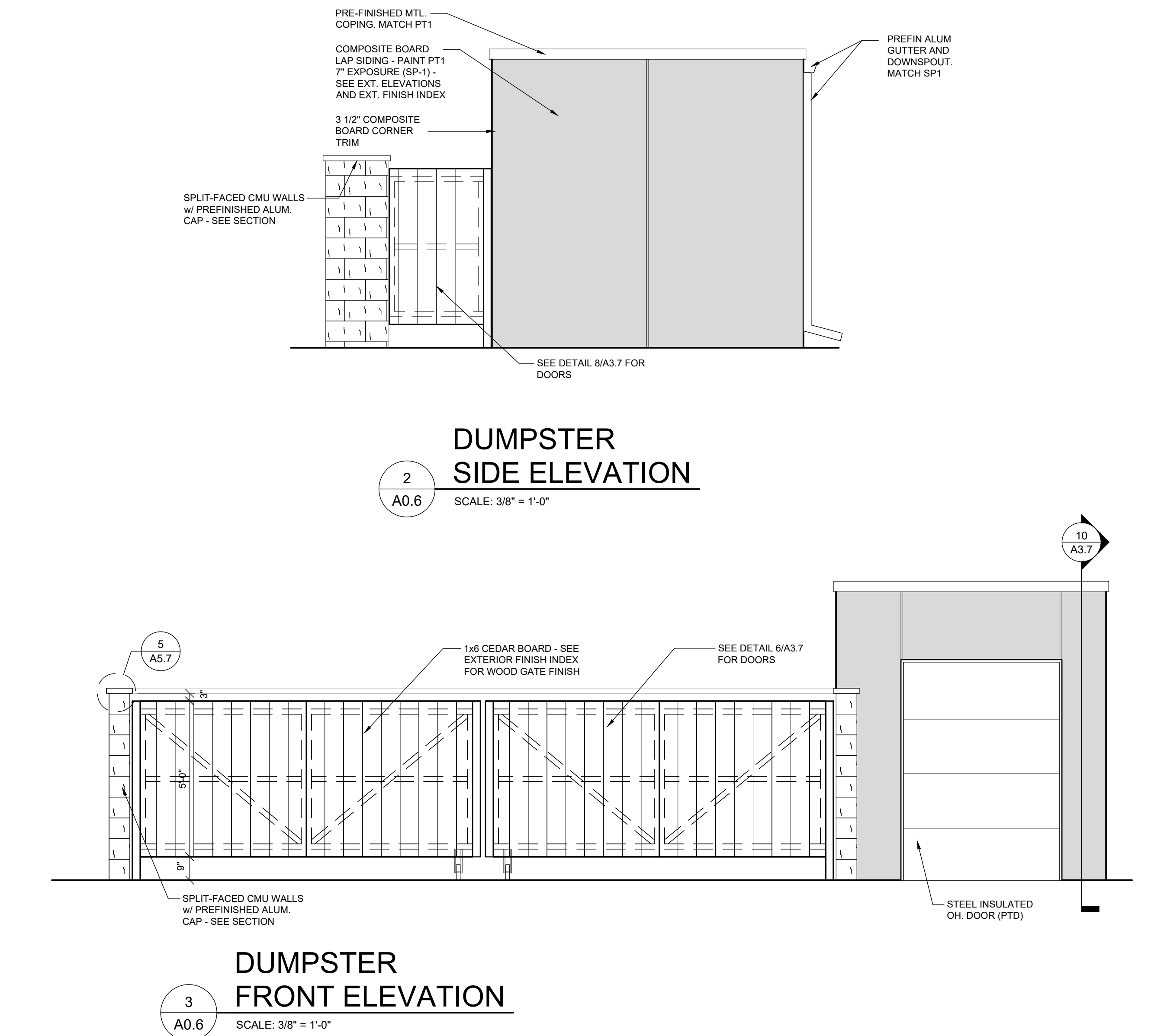
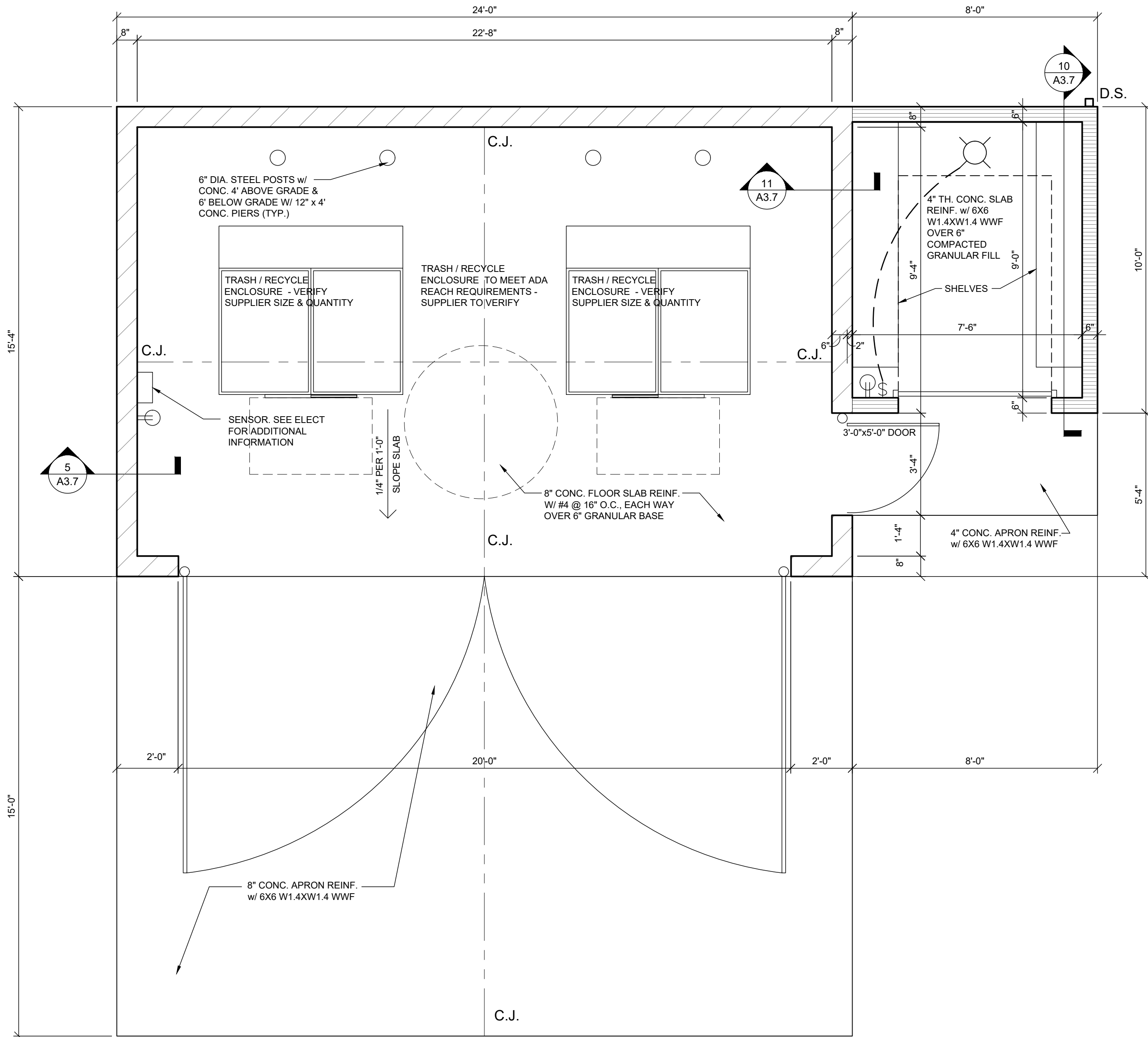
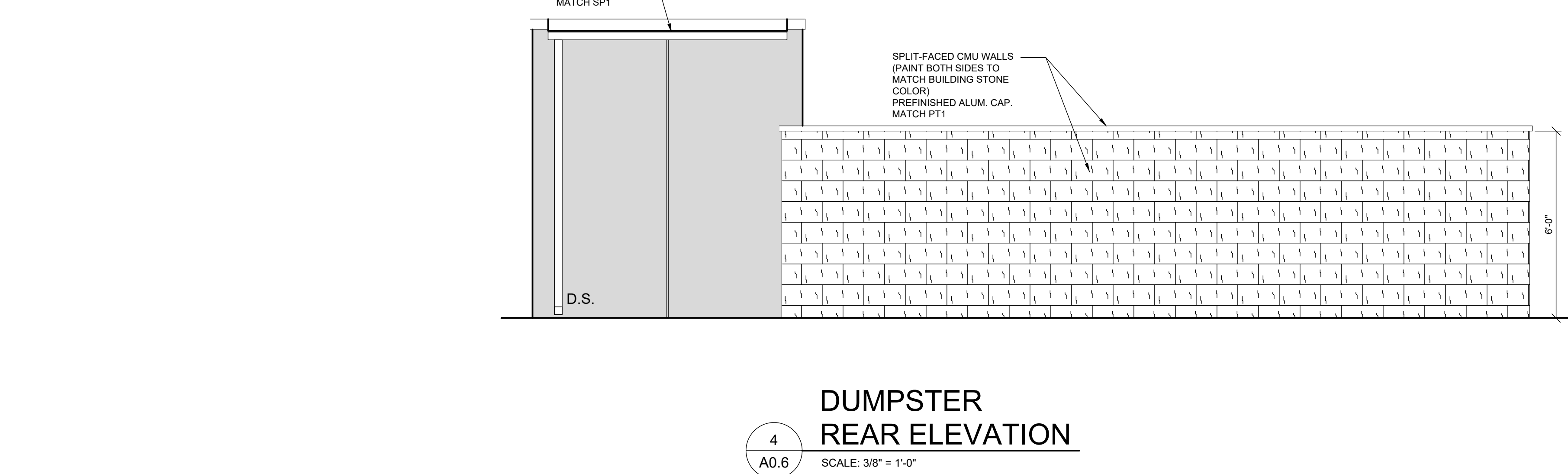
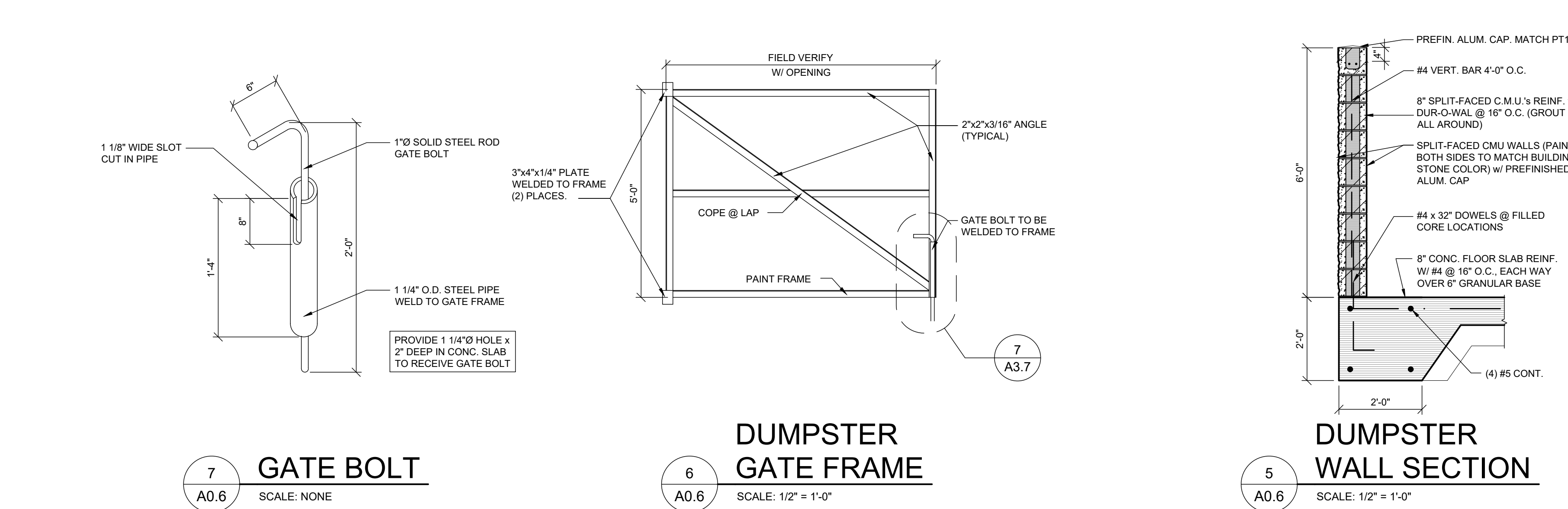
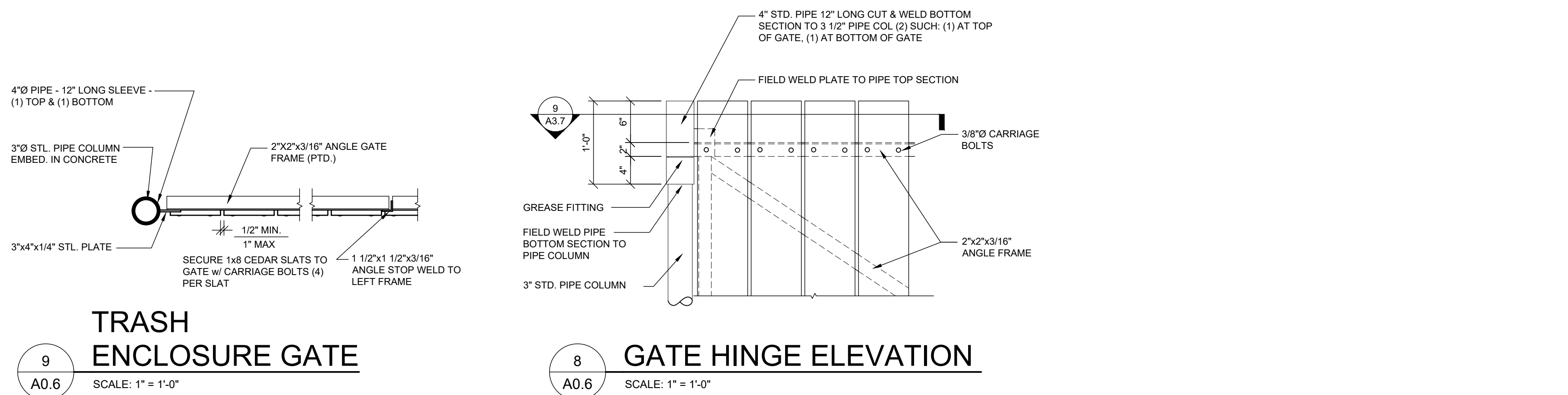
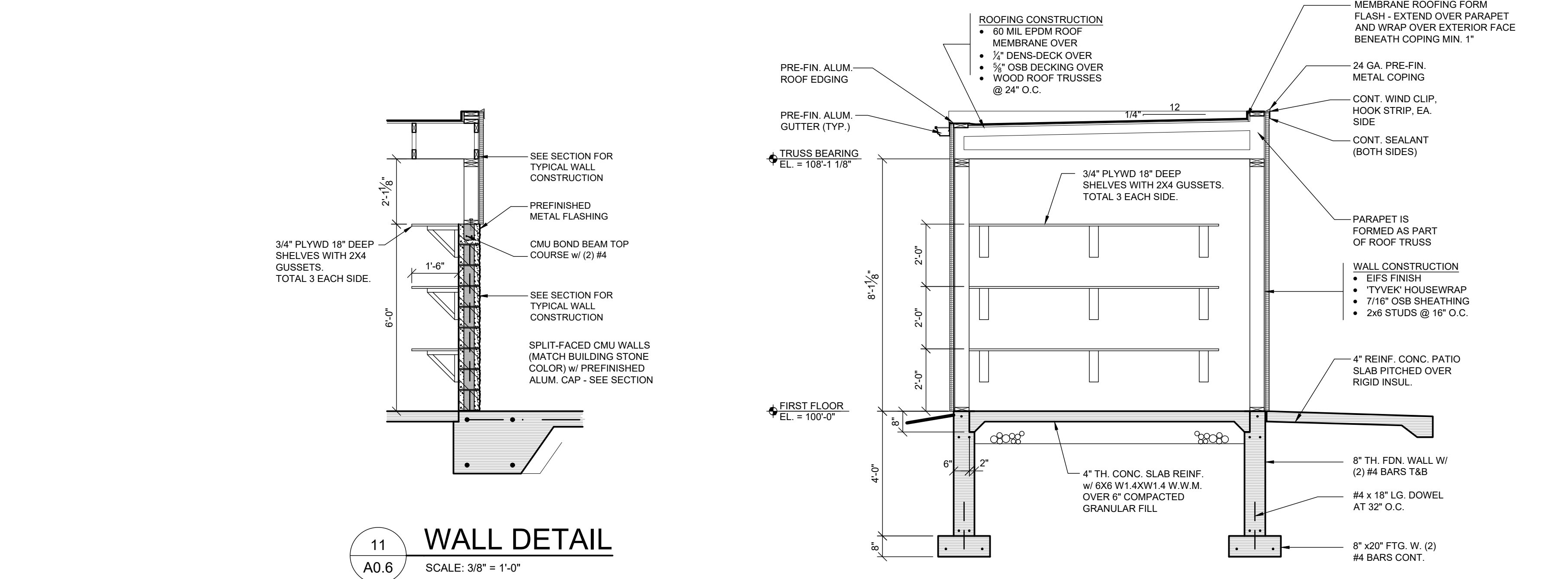
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JOB NUMBER:

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SHEET

A1.4



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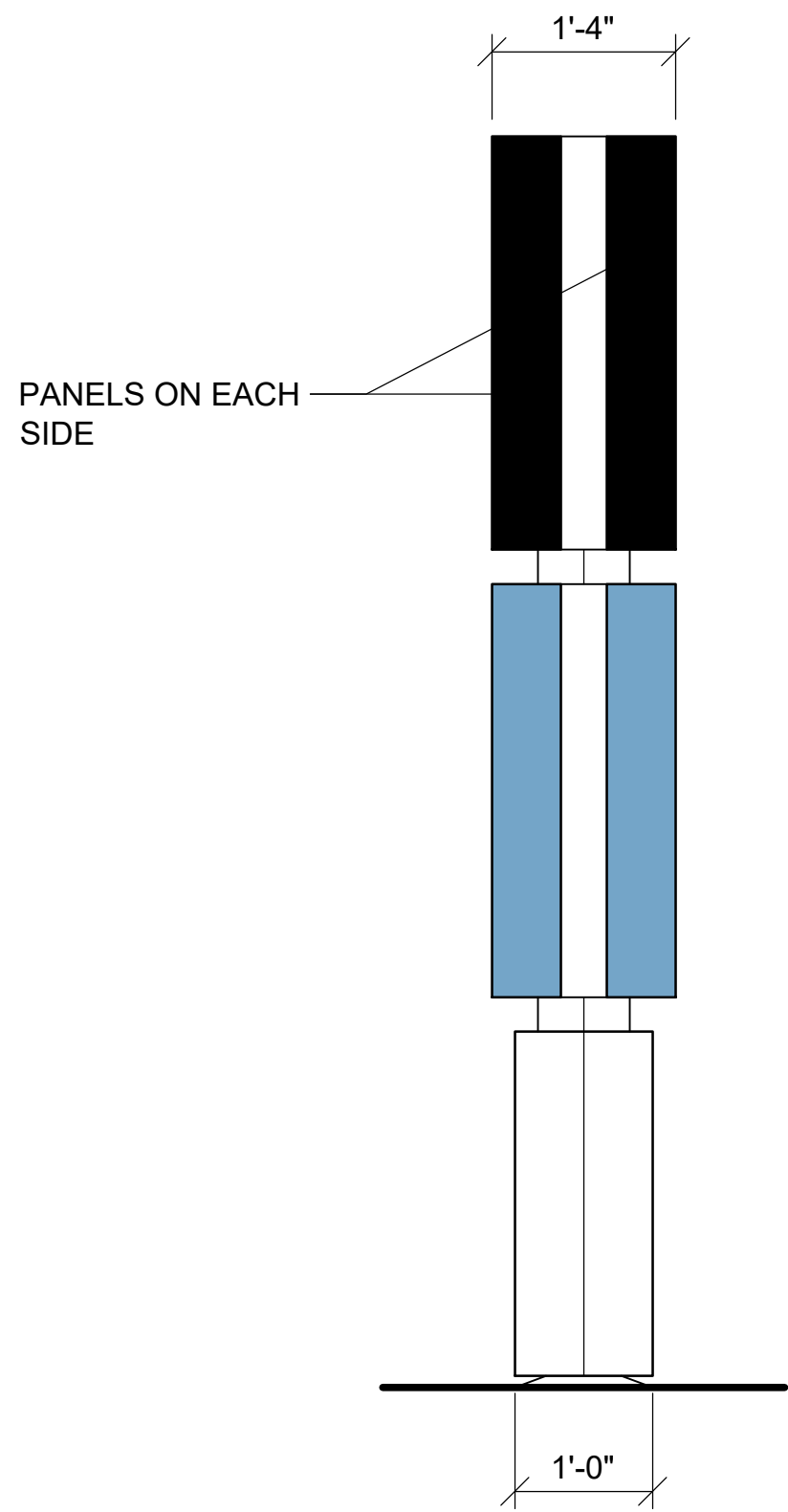
JOB NUMBER:	2021.56
SHEET	A0.6



3

A0.5

CONCEPTUAL SIGN RENDER

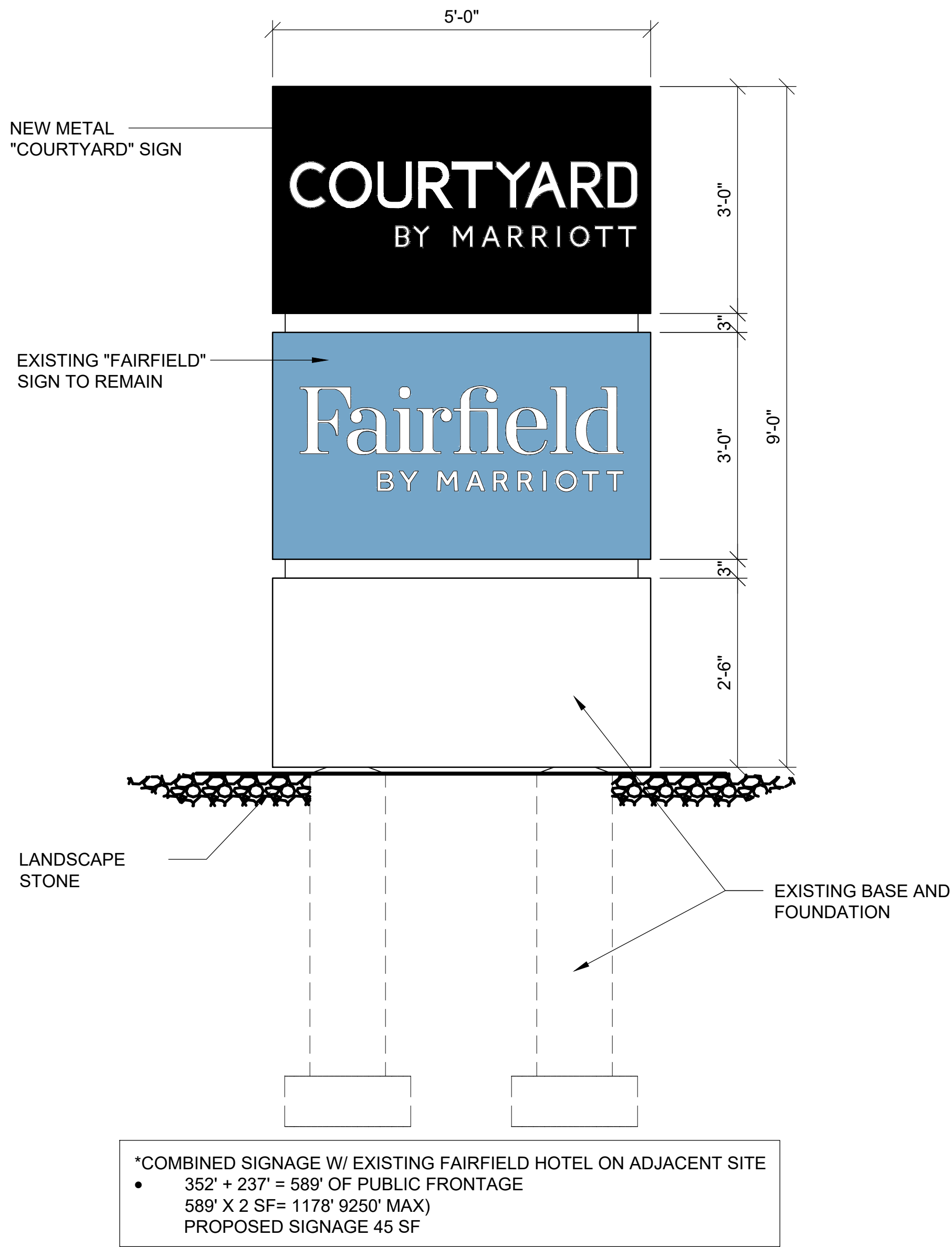


2

A0.5

SIGN SIDE ELEVATION

SCALE: 3/4" = 1'-0"



1

A0.5

SIGN ELEVATION

SCALE: 3/4" = 1'-0"

results for 362.







CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a new Courtyard Hotel by Marriott on parcel #59281470610 (south of the Fairfield Inn located at 4117 S. Taylor Drive).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 7, 2022

MEETING DATE: January 10, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Shebpro II, LLC is proposing to construct and operate a new Courtyard Hotel by Marriott on parcel #59281470610 (south of the Fairfield Inn located at 4117 S. Taylor Drive). The applicant states the following about the project:

- Shebpro II, LLC is requesting conditional use approval for construction of a new Courtyard Hotel by Marriott on parcel #59281470610 (south of the Fairfield Inn located at 4117 S. Taylor Drive).
- The existing site is a vacant and undeveloped 2.7 acre property south of the previously constructed Fairfield Inn. The Union Pacific Railroad borders the south side of the parcel.
- The Courtyard Hotel will be 4-story (49.5 feet tall), 21,680sf hotel consisting of a 117 guest rooms. There will be an indoor swimming pool and fenced outdoor patio on the south/rear side of the building and an entrance canopy on the front/north side of the building.
- The development architecture is contemporary and current. The materials are of high quality, in a contextually appropriate composition
- There will be a maximum of seven (7) employees per shift.
- The project is estimated to cost approximately \$12 million.
- Construction to begin around June 1, 2022 and be completed by May 21, 2023.

The applicant states the following about the architecture:

- The buildings orientation will face S. Taylor Drive and interstate highway 43. The proposed exterior materials will primarily be cladded with EIFS and fiber cement panels with some metal and painted steel.
- The southwest elevation faces S. Taylor Drive and Interstate Highway-43 and has contrasting colors of dark/ light gray fiber cement panels, white EIFS, with lime green accents and red cedar screenings.
- A painted grey metal porte-cochere covering the drive/drop-off area at the main entry will allow shelter when loading/ unloading with stamped concrete.
- The southwest façade will have a courtyard patio that will have stamped concrete and steel/ red cedar trellis coverings that will give guests a place to have breakfast and dinner directly from the lounge. Along with a patio off the south façade directly off the pool for a place to soak up the sun.
- The waste enclosure will be constructed out of split faced block painted to match the building (southeast corner of the parking lot).
- Mechanical unit screening provided near the southwest corner of the proposed building near the patio.
- A landscape buffer will surround the property on the southwest and northeast. Additional landscaping will be at the building and parking lot.
- The design intent comes from Marriott International, which will help attract visitors to the growing Sheboygan area.

STAFF COMMENTS:

Staff has a couple of comments:

- The Board should be aware that the front of the hotel is facing north towards the Fairfield Inn hotel and parking lot.
- The most visible building elevations will be the west side along Taylor Drive and the south/rear side facing Taylor Drive and I-43. Thus, the board will want to be comfortable with what the applicant is proposing for these elevations (building, patio fencing, swimming pool, etc.).
- The board should have the applicant address the patio area screening/materials.
- What is the applicant proposing for rooftop mechanicals and how are those units screened? Or are these all ground mechanicals, how are they screened?
- Applicant states “A modular block retaining wall and fence are proposed along the southeast property line.” Applicant should address design, materials, colors, etc. of wall/fence.

- Applicant should explain design, materials, colors of dumpster enclosure.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.