

**\*\*\*ATTACHMENTS\*\*\***

PARCEL NO.: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Office Use Only

DATE SUBMITTED: \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

## CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

### 1. APPLICANT INFORMATION

APPLICANT: Heather Cleveland

ADDRESS: 2505 Erie Ave, Sheboygan, WI 53081

E-MAIL ADDRESS: heather@greenbicycleco.com

PHONE: (920)287-3661 FAX NO.: ( )

### 2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Green Bicycle Co. (formerly Suscha News)

ADDRESS OF PROPERTY AFFECTED: 1117 N 8<sup>th</sup> St, Sheboygan, WI 53081

NEW BUILDING: \_\_\_\_\_ ADDITION: \_\_\_\_\_ REMODELING:

DESCRIPTION OF PROPOSED PROJECT: Repair & restore: windows, brick, mortar, & paint, entrance to the center; replace awning; add lettering sign, hanging sign, and with logo, and exterior lights to illuminate the sign.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_

windows have been either completely filled in or reduced in size, brick & mortar are in disrepair, entrance is on the corner of the building with water leaking into the basement

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_

windows will be replaced w/ historic sized aluminum clad windows, paint will be scraped & bricks & mortar replaced to match, 1" x 1" glass mosaic tile, fabric awning, aluminum letters, and aluminum storefront entrance with Low-E insulated glass.

3. NAMES AND ADDRESSES

OWNER OF SITE: Heather Cleveland

ADDRESS: 2505 Erie Ave, Sheboygan, WI 53081

EMAIL: heather@greenbicycleco.com

PHONE: (920) 287-3661 FAX NO.: ( )

ARCHITECT: Legacy Architecture

ADDRESS: 605 Erie Ave Suite #101, Sheboygan, WI 53081

EMAIL ADDRESS: jlehrke@legacy-architecture.com

PHONE: (920) 783-6303 FAX NO.: ( )

CONTRACTOR: Quasius Construction

ADDRESS: 1202 A N 8<sup>th</sup> St., Sheboygan, WI 53081

EMAIL: cleapley@quasius.com

PHONE: (920) 457-5585 FAX NO.: ( )

4. APPLICATION SUBMITTAL REQUIREMENTS

A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.

B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

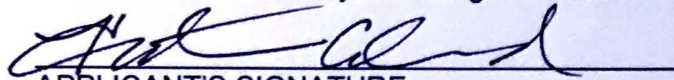
**C. A .pdf file of all drawings either by email or CD**

D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.

E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
APPLICANT'S SIGNATURE

06/21/2021  
DATE

Heather Cleveland  
PRINT ABOVE NAME



**GREEN BICYCLE CO.**

1117 N 8th Street  
Sheboygan, WI 53081  
Phone: 920-287-3661  
www.greenbicycleco.com

June 22, 2021

Subject: Building Improvements for 1117 N 8th Street, Sheboygan, WI

Dear Architectural Review Board,

Thank you for receiving my Architectural Review Application for the property located at 1117 N 8th Street, Sheboygan, WI.

**Project Information**

My husband, Adam DeSombre, and I purchased the former Suscha News building in November 2020. The building was built in 1887 and has been occupied by Suscha News since 1952.

Over the years the exterior of the building was modified: windows were filled in and replaced with smaller windows, the entrance was bumped in and shifted to the corner, the glass above the awning was filled in, and the cornice was removed and filled in.

The proposed exterior work is restore components including: repair brick and mortar, restore 11 windows to the original size, repair and move the entrance to the center of the building, replace the awning, add lettering signage and a logo hanging sign, add exterior lighting to illuminate the sign, add a hanging logo sign, and paint the building in Green Bicycle Co. brand colors.

Historic, present, and future photos of the building:



1928



2020



Proposed

The repairs and restoration will restore the look of the building in addition to repairing it and preserving it for years to come.



**GREEN BICYCLE CO.**

1117 N 8th Street  
Sheboygan, WI 53081  
Phone: 920-287-3661  
[www.greenbicycleco.com](http://www.greenbicycleco.com)

The attached documents demonstrate the elevations, rendering including the adjacent building (future improvements), and materials and colors to be used.

The construction on the building will be a great improvement to the historic building, the neighborhood, and the community.

In addition to restoring the building, we will be opening a retail business and shared workspace for Green Bicycle Co.

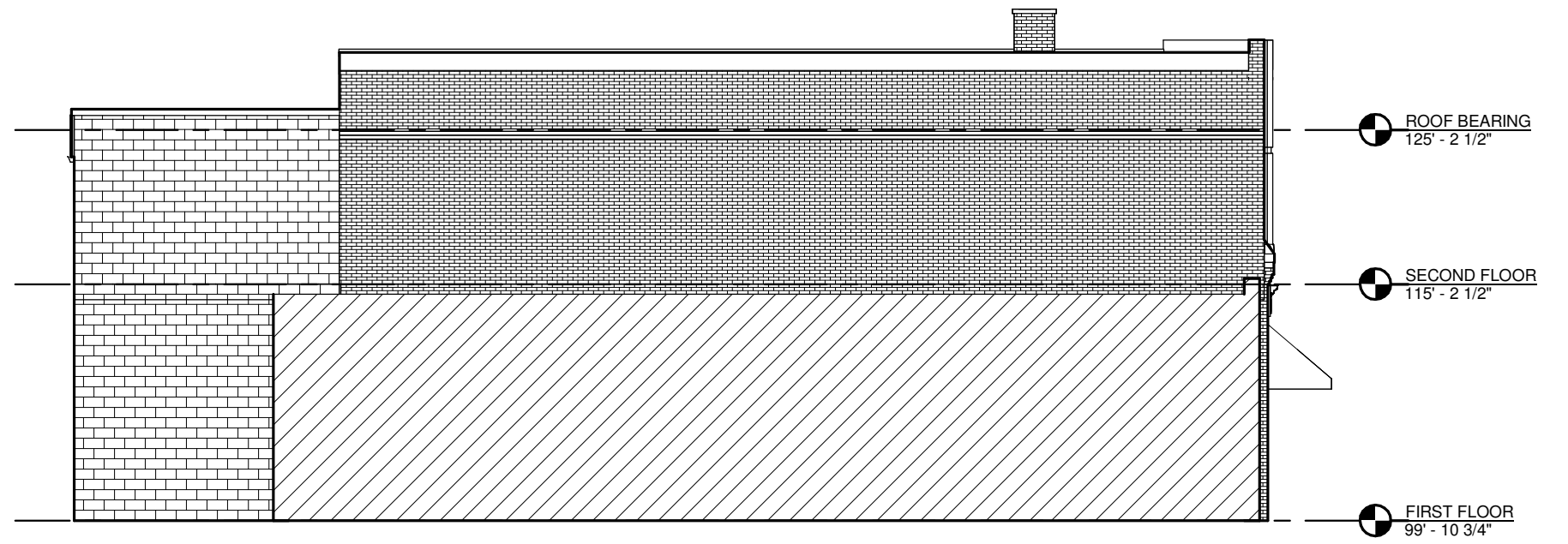
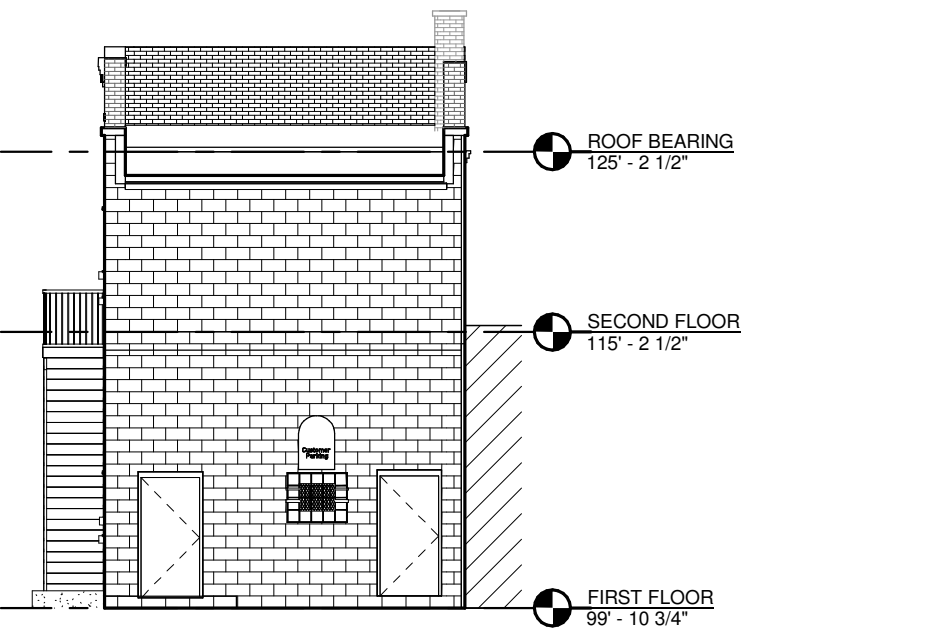
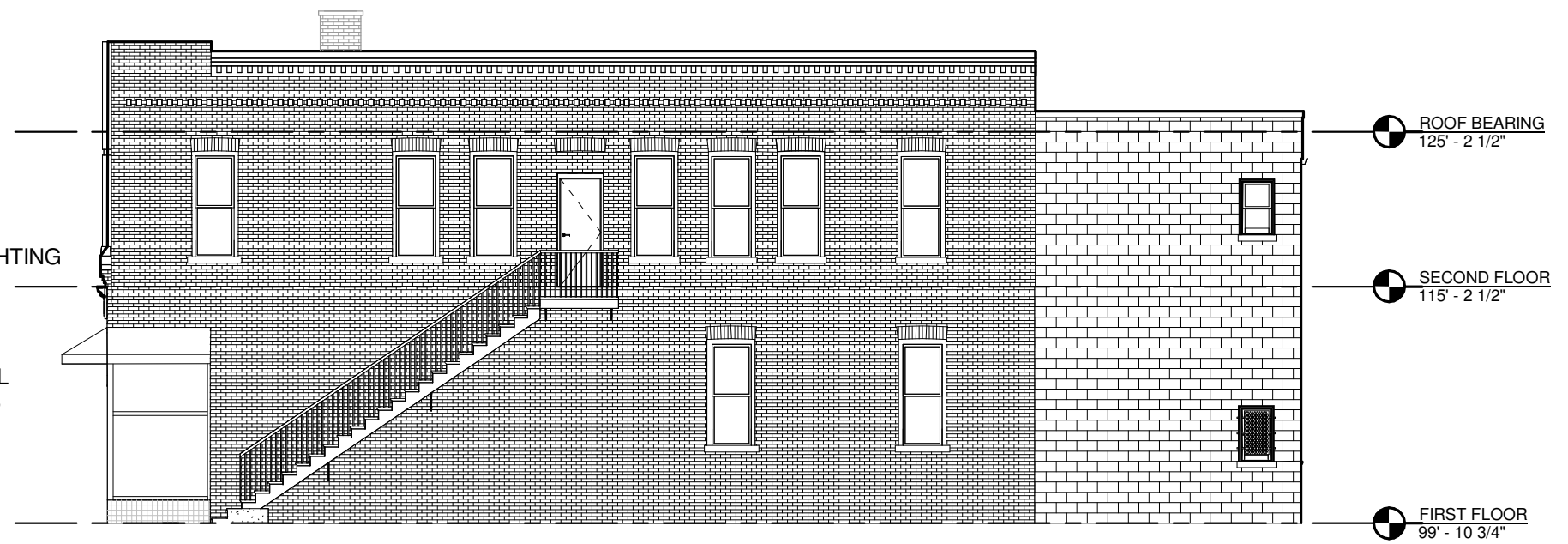
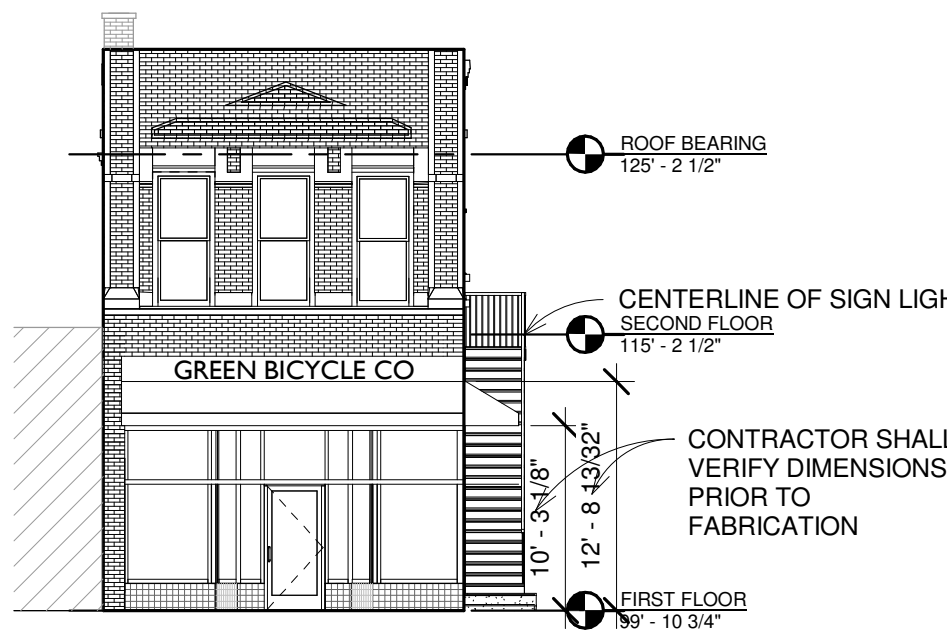


Thank you for your time and consideration.

Sincerely,

Heather Cleveland

Green Bicycle Co. Founder and Owner



① Level 1  
3/32" = 1'-0"

**Elevations**  
 Project number: 6/21/21  
 Date: SDL  
 Drawn by: SDL  
 Checked by: SDL

**Green Bicycle Co  
 Facade Reno**

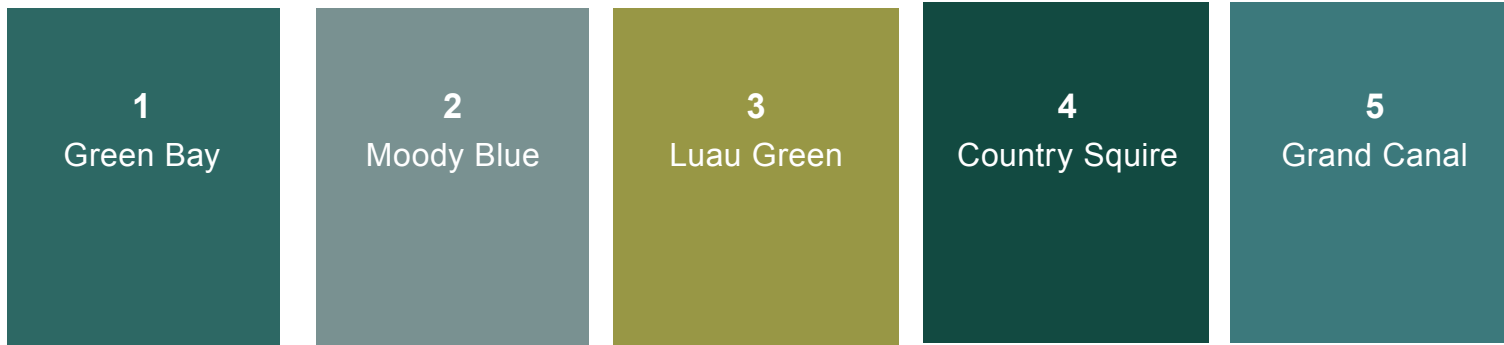
**A1**



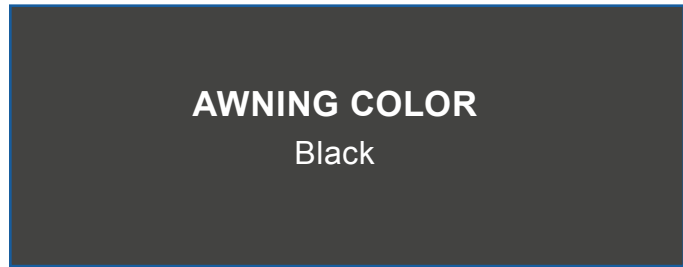
SHOP BUILDING FACADE CONCEPT  
FINAL DESIGN



PAINT COLOR KEY



SHOP BUILDING FACADE CONCEPT  
MATERIAL + FINISHES



R Series 1 Light Outdoor Wall Sconce with 10" Wide Angle Shade and 21.5" Gooseneck Stem , Satin Black Finish  
SKU# RAS10-RGN22-SB  
Build.com , \$148. ea (qty x 4)



Shop Signage - Black Lettering, slim modern ALL CAPS typeface



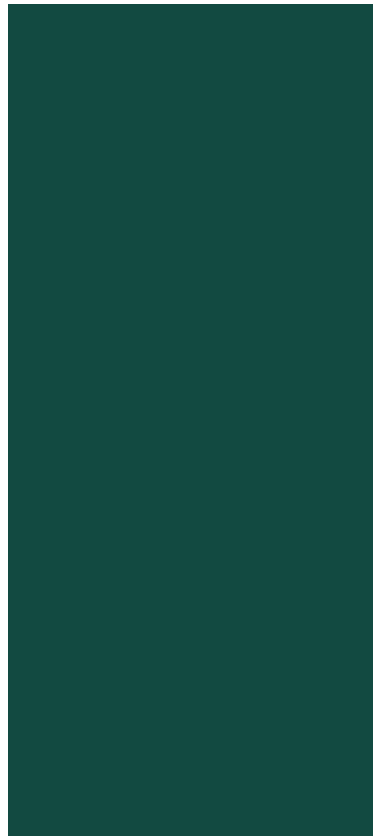
**Paint Color 1**  
Green Bay SW6481  
Sherwin Williams



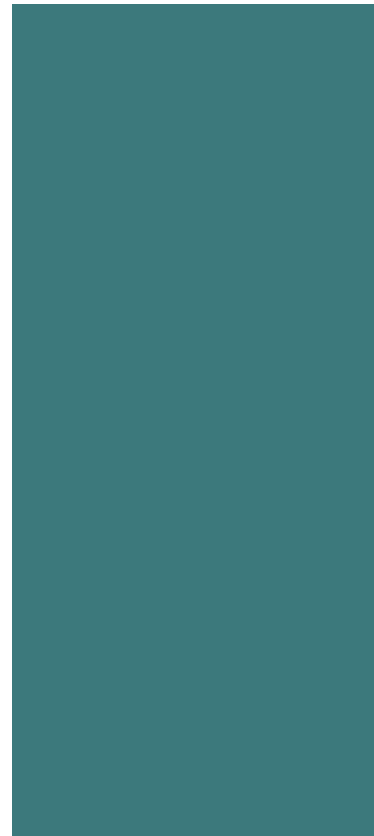
**Paint Color 2**  
Moody Blue SW6221  
Sherwin Williams



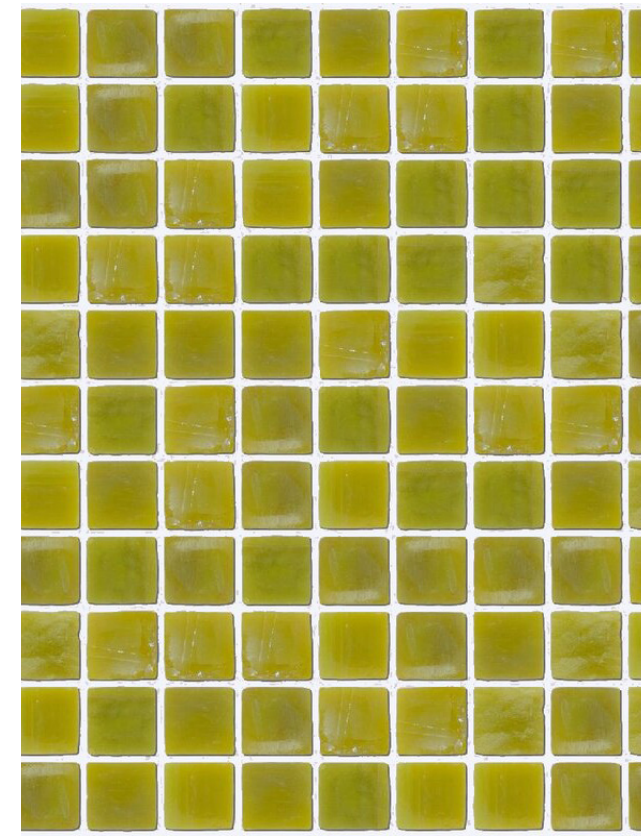
**Paint Color 3**  
Luau Green SW6712  
Sherwin Williams



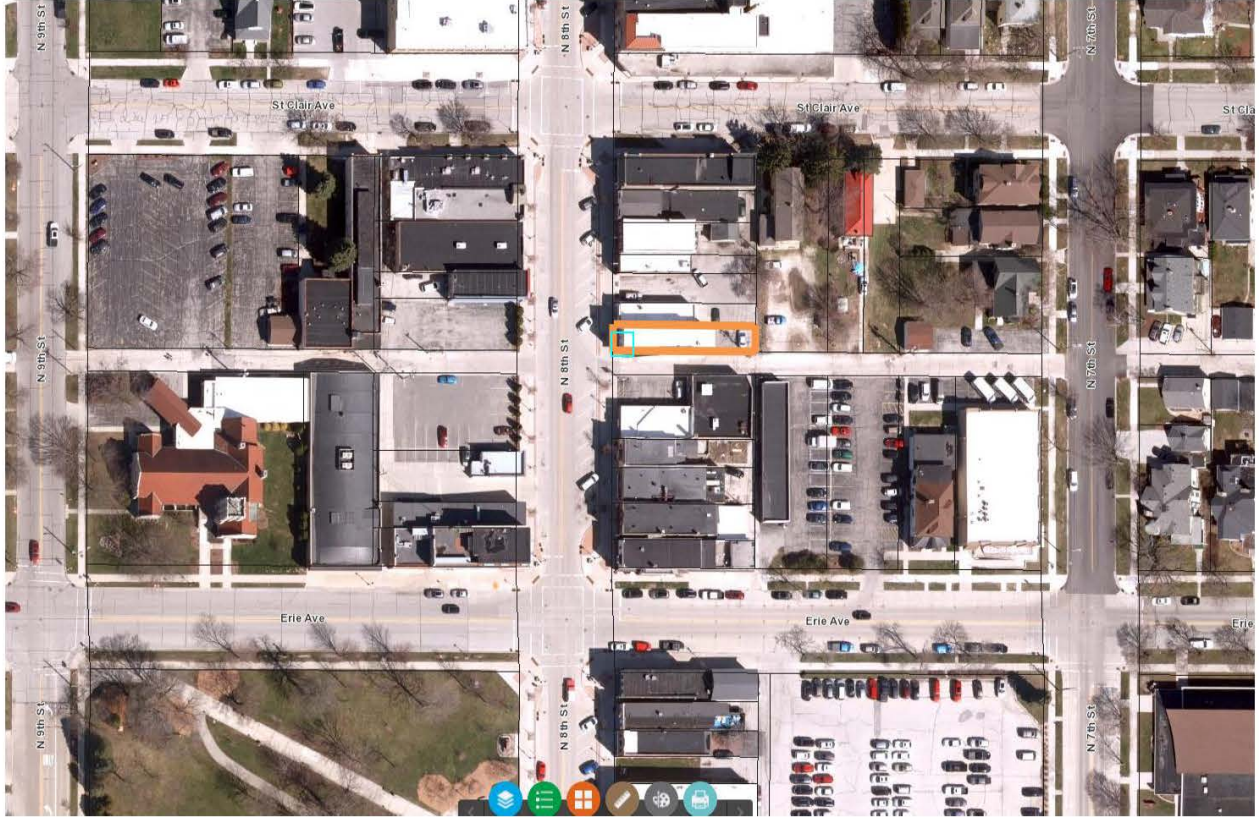
**Paint Color 4**  
Country Squire SW6475  
Sherwin Williams

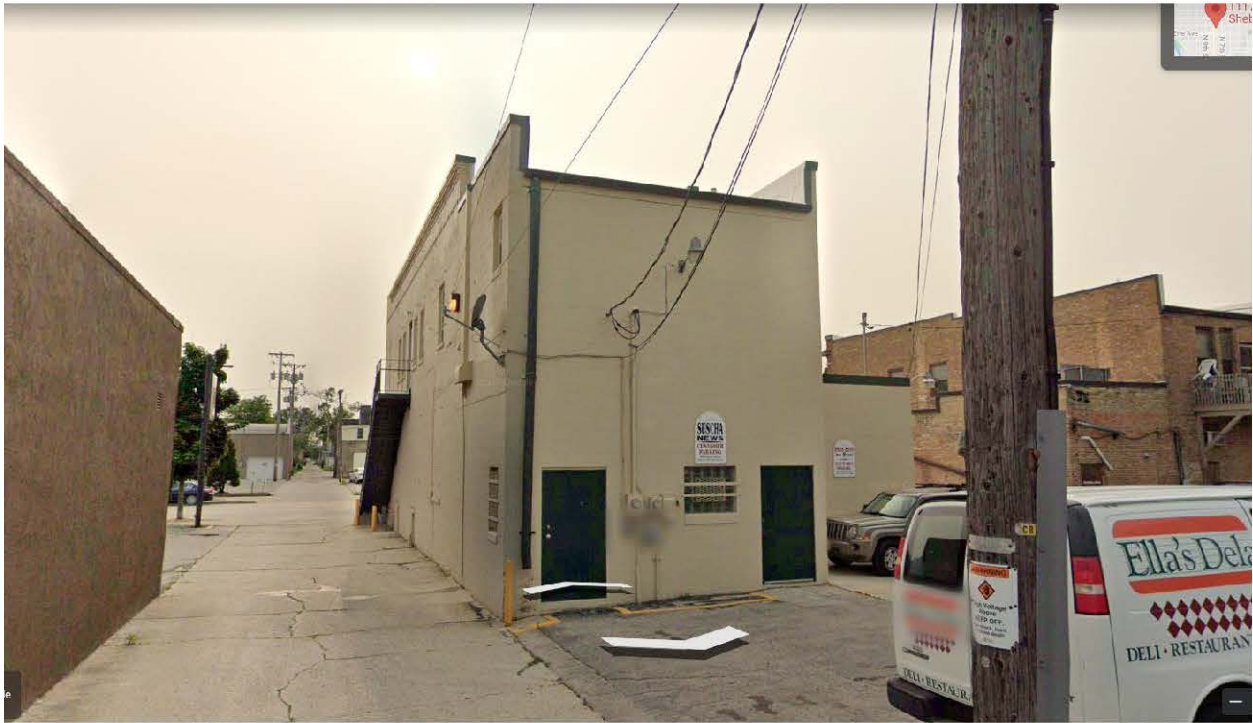


**Paint Color 5**  
Grand Canal SW6488  
Sherwin Williams



**Tile Accent**  
Architect's Overstock Iridescent 1" x 1" Glass  
Mosaic Tile in Chartreuse  
WAYFAIR.COM SKU# SUSJ1176







**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Exterior remodel of Green Bicycle Company located at 1117 N. 8<sup>th</sup> Street.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** July 9, 2021

**MEETING DATE:** July 12, 2021

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

**STATUTORY REFERENCE:**

Wisconsin Statutes:  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

The applicant purchased the former Suscha News building in November 2020. The building was built in 1887 and has been occupied by Suscha News since 1952. In addition to restoring the building, we will be opening a retail business and shared workspace for Green Bicycle Co.

Over the years the exterior of the building was modified:

- Windows were filled in and replaced with smaller windows
- The entrance was bumped in and shifted to the corner
- The glass above the awning was filled in
- And the cornice was removed and filled in.

The proposed exterior work includes:

- Repair brick and mortar.
- Restore 11 windows to the original size.
- Repair and move the entrance to the center of the building.
- Replace the awning, add lettering signage and a logo hanging sign, add exterior lighting to illuminate the sign, add a hanging logo sign
- Paint the building in Green Bicycle Co. brand colors.

The repairs and exterior renovations will restore the look of the building and will preserve the building for years to come.

The attached documents include the elevations, a rendering including the adjacent building (future improvements), and materials and colors to be used.

The construction on the building will be a great improvement to the historic building, the neighborhood, and the community.

**STAFF COMMENTS:**

Appears this will be a nice improvement to this section of N. 8<sup>th</sup> Street.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

## CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

### 1. APPLICANT INFORMATION

APPLICANT: Watershed Development LLC

ADDRESS: 7722 Hawthorne Road Mequon, WI 53097

E-MAIL ADDRESS: pweaver832@aol.com

PHONE: (414) 731-0795 FAX NO.: ( )

### 2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: The Watershed Hotel

ADDRESS OF PROPERTY AFFECTED: 824N 15<sup>TH</sup> STREET

NEW BUILDING: X ADDITION: \_\_\_\_\_ REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: We are proposing a new 25 unit boutique hotel with an outdoor event space on the northern portion of 824N 15<sup>th</sup> street.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: Though the building we are proposing is new construction, we are drawing from the materials and scale of the existing condominiums on the southern portion of the site. They have a stone base, horizontal siding, shakes. They are approximately 2 ½ stories tall. See the attached 11x17 supplement for reference.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: We are proposing a two-story building with a slightly sloped roof that extends beyond the exterior walls. The building will sit parallel to the river to the west, and the outdoor event space's roof will be sloped up toward the river to maximize views on the site. The building is clad mostly in white horizontal lap siding, has a grey-brown brick base and matte black metal panel accents. The soffits will be unstained, sealed wood, expressing the building's structure and will bring warmth to the exterior. The main entrance of the building is slightly taller than the rest of the building. the entrance will be clad in a matte black standing seam metal panel and have a cantilevered roof. See the attached 11x17 supplement for reference.

**3. NAMES AND ADDRESSES**

**OWNER OF SITE:** Watershed Development LLC

ADDRESS: 7722 Hawthorne Road Mequon, WI 53097

E-MAIL ADDRESS: pweaver832@aol.com

PHONE: (414) 731-0795 FAX NO.: ( )

**ARCHITECT:** Galbraith Carnahan Architects

ADDRESS: 6404 West North Avenue Wauwatosa, Wisconsin 53213

E-MAIL ADDRESS: jhw@glabraithcarnahan.com

PHONE: (414) 291-0772 FAX NO.: ( )

**CONTRACTOR:** To be determined

ADDRESS: \_\_\_\_\_

PHONE: ( ) FAX NO.: ( )

**4. APPLICATION SUBMITTAL REQUIREMENTS**

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

**5. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

DATE

**PAUL C. WEINER**

PRINT ABOVE NAME

OFFICE USE ONLY

**ACTION BY ARCHITECTURAL REVIEW BOARD**

DATE OF MEETING: \_\_\_\_\_

APPROVED: \_\_\_\_\_      CONDITIONALLY APPROVED: \_\_\_\_\_

DENIED: \_\_\_\_\_

**CONDITIONS**

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**SIGNATURE:** \_\_\_\_\_  
Chairperson, Architectural Review Board OR  
Manager of Planning & Zoning

**DATE:** \_\_\_\_\_

**WATERSHED  
BOUTIQUE HOTEL AND OUTDOOR EVENT SPACE**

- Location: Sheboygan Wisconsin
- Status: In Design
- Size: 25 room boutique hotel and outdoor event space



*The site is the former location of Richardson Lumber.*

Building on the The Water's Edge development, We are proposing a two-story building with a slightly sloped roof that extends beyond the exterior walls. The building will sit parallel to the river to the west, and the roof of the outdoor space will slope up toward the river, maximizing views to make the most of this unique site. The building is clad mostly in horizontal lap siding, has a brick base and metal panel accents. The soffits will be wood, expressing the buildings structure and adding warmth to the exterior. The main entrance of the building is slightly taller than the rest of the building. The entrance will be clad in a dark standing seam metal panel and have its own cantilevered roof.



*Rendering of Proposed Hotel and Event space from 15th Street*

THE WATERSHED - CONTEXTUAL SYMPATHY

Though the hotel we are proposing is new construction, we are drawing from the materials and scale of the existing condominiums on the southern portion of the site as well as the existing neighborhood fabric. They have a stone base, horizontal siding, shakes. They are approximately 2 ½ stories tall. We are also taking cues from the existing fabric to inform the scale and form of the hotel. We chose sympathetic materials to relate the hotel design to the adjacent condos as well as the existing buildings in the neighborhood. We are also pulling from the history of the site, which was storage for a lumber mill across the street by using wood throughout the design and the nautical history of Sheboygan, borrowing forms and structural queues from traditional wood boat construction.



precedent boat imagery



The condominiums on the southern portion of the site



Modest size, lap siding, symmetrical window arrangement & steeply pitched roof. (Wisconsin Ave).



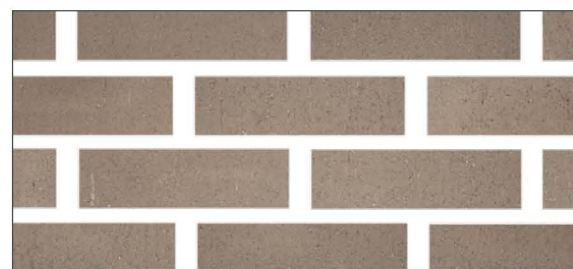
Original lumberyard across the street from proposed site (15th Street)



Rendering of Proposed Hotel and Event space from the Sheboygan River



Painted Clapboard Siding and Trim



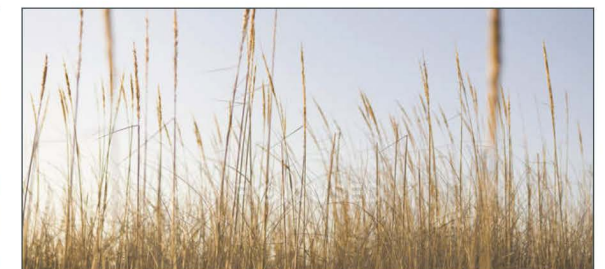
Wire-cut Cobblestone Brick Veneer



Matte Black Metal Panel



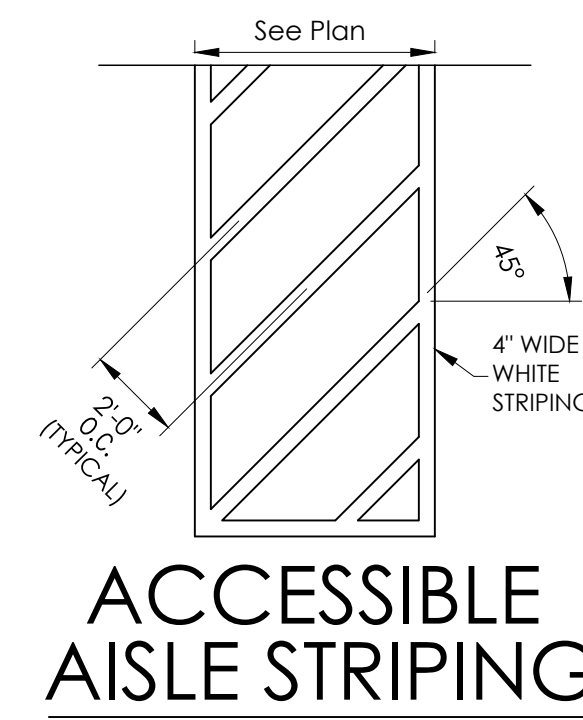
Wood Tones



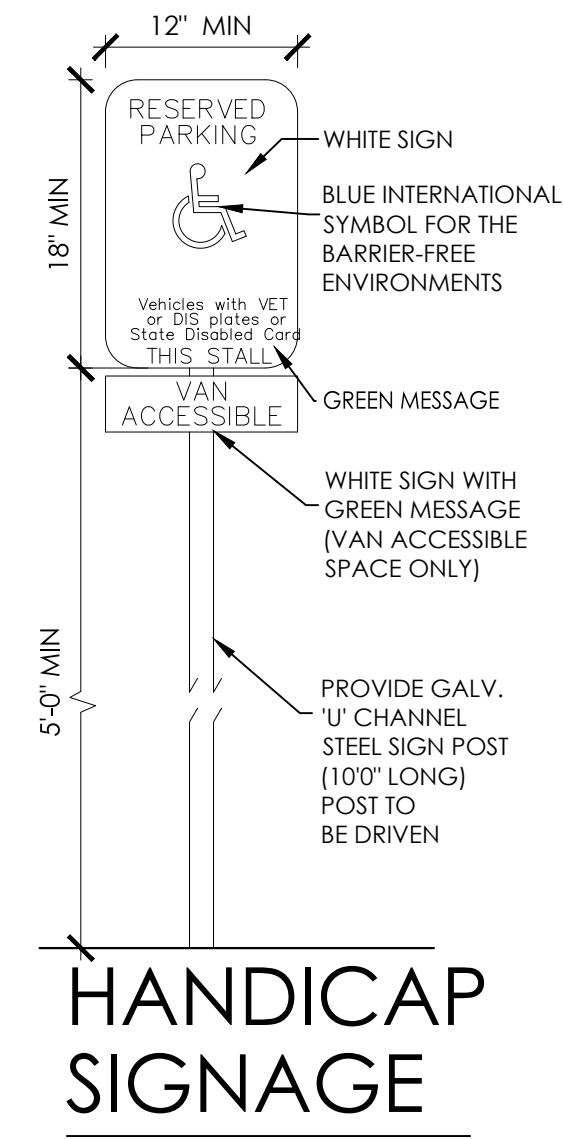
Native Landscaping



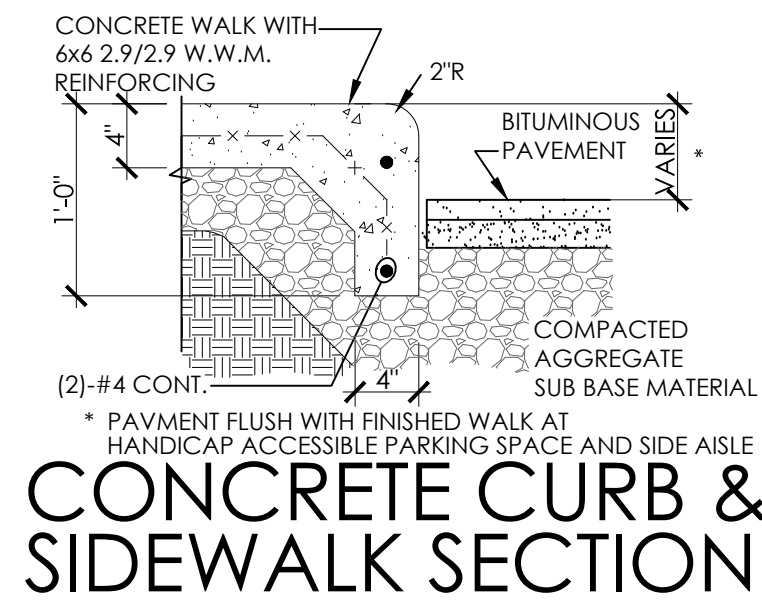
Black Door & Window Frames



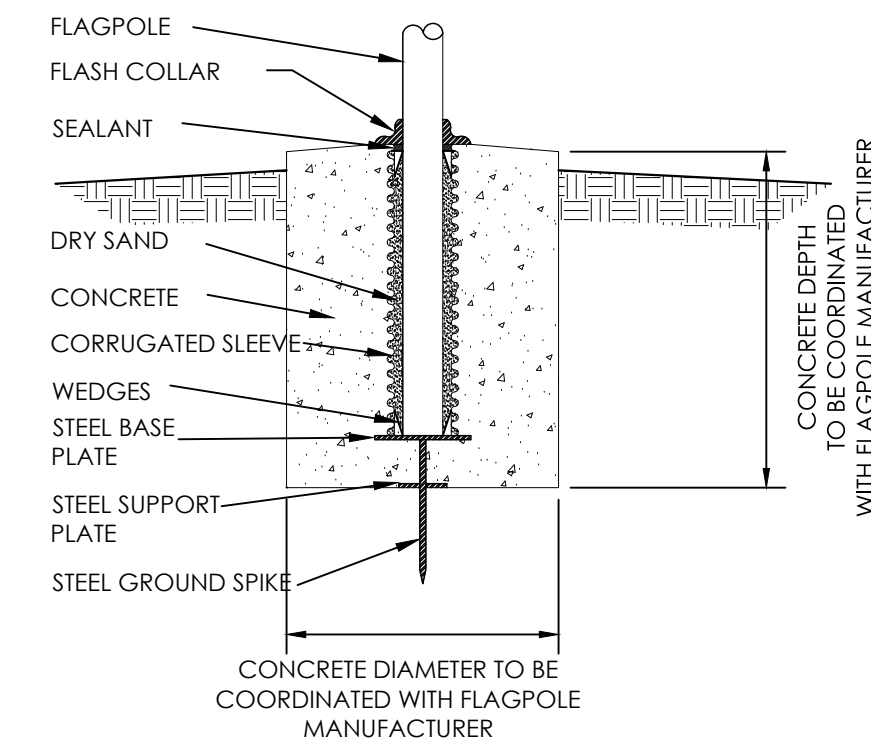
**ACCESSIBLE AISLE STRIPING**



**HANDICAP SIGNAGE**



**CONCRETE CURB & SIDEWALK SECTION**

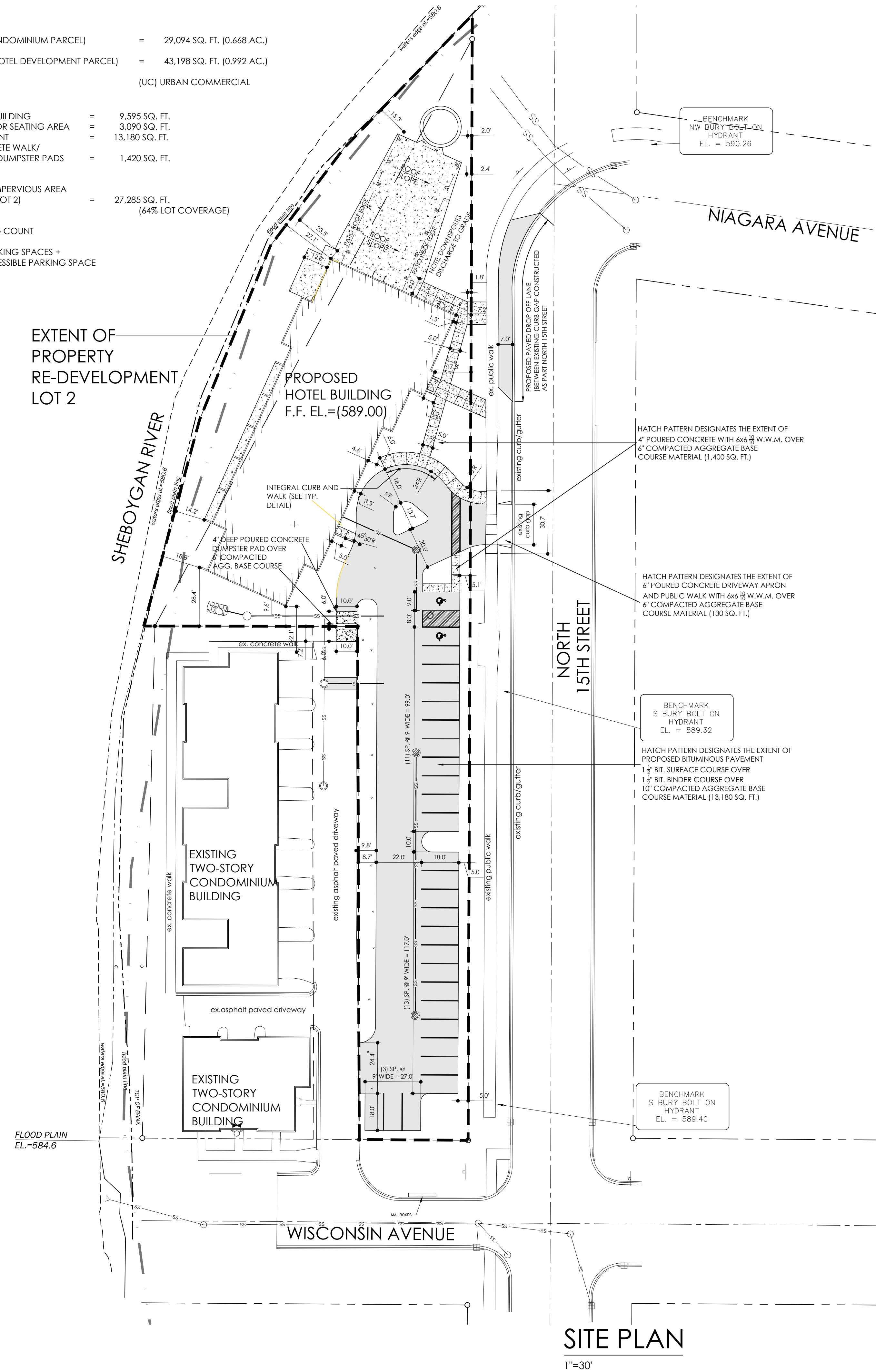


**FLAGPOLE BASE SECTION**

**SITE DATA**

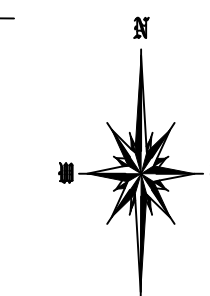
LOT 1 (EXISTING CONDOMINIUM PARCEL)	=	29,094 SQ. FT. (0.668 AC.)
LOT 2 (PROPOSED HOTEL DEVELOPMENT PARCEL)	=	43,198 SQ. FT. (0.992 AC.)
PROPERTY ZONED:		(UC) URBAN COMMERCIAL
PROPOSED HOTEL BUILDING	=	9,595 SQ. FT.
PROPOSED OUTDOOR SEATING AREA	=	3,090 SQ. FT.
PROPOSED PAVEMENT	=	13,180 SQ. FT.
PROPOSED CONCRETE WALK/ DRIVEWAY APRON/DUMPSTER PADS	=	1,420 SQ. FT.
PROPOSED TOTAL IMPERVIOUS AREA (POST DEVELOPED, LOT 2)	=	27,285 SQ. FT. (64% LOT COVERAGE)
OFF-STREET PARKING COUNT		
(26) STANDARD PARKING SPACES +		
(2) HANDICAP ACCESSIBLE PARKING SPACE		

EXTENT OF PROPERTY RE-DEVELOPMENT LOT 2

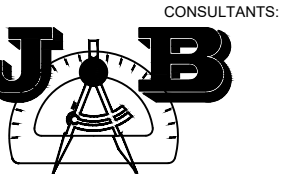


**SITE PLAN**

1"=30'



6528 West North Avenue  
Milwaukee, Wisconsin 53213  
(414) 291-0772 phone  
www.galbraithcarnahan.com



CONSULTANTS  
SITE DESIGN AND ENGINEERING, LLC  
PO BOX 1047  
WOODRUFF, WISCONSIN 54568  
(920) 207-8977  
jsb@desig1@gmail.com

**WATERSHED - BOTIQUE HOTEL**  
NORTH 15th STREET,  
SHEBOYGAN, WI 53081

DRAWING ISSUE DATE

PROJECT # 2021-11

SITE PLAN

**C 1.1**

**GENERAL LANDSCAPE NOTES**

- ALL LANDSCAPE PLANTINGS, INCLUDING BUT NOT LIMITED TO PLANTING BEDS, TREES AND SHRUBS AS DEFINED, TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019.
- ALL EROSION MAT, SEEDING AND MULCH WITHIN ALL TURF AREAS TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019. SEE SHEET C/1.1 FOR EXTENT OF EROSION MAT AS WELL AS REQUIRED SEED MIXTURE.
- CALL DIGGER'S HOTLINE PRIOR TO DIGGING.
- ALL BUILDING DIMENSIONS, GRADES AND ELEVATIONS TO BE VERIFIED IN THE FIELD.
- PLANT ALL TREES, SHRUBS AND EVERGREENS ACCORDING TO THE HEIGHT OF THE ROOT BALL OR POT.
- ALL PERENNIAL BEDS TO RECEIVE 3" COMPOST.
- ALL TREES IN THE LAWN AREAS TO RECEIVE A MULCH CIRCLE (NO LANDSCAPE EDGING) AND WATER SAUCER.
- LANDSCAPE CONTRACTOR TO PROVIDE TWO LAYERS OF WEED BARRIER WITHIN PLANTING AREAS AS DEFINED.

**BUILDING FOUNDATION**

106 POINTS (MIN.) REQUIRED  
117 POINTS PROVIDED

- (11) ANDORRA JUNIPER = (3) PTS. PER - 33 POINTS TOTAL
- (10) ARTIC FIRE DOGWOOD = (5) PTS. PER - 50 POINTS TOTAL
- (2) NANNYBERRY = (5) PTS. PER - 10 POINTS TOTAL
- (2) PYRAMEDIAL ARBORVITAE = (12) PTS. PER - 24 POINTS TOTAL

**DEVELOPED LOTS**

48 POINTS (MIN.) REQUIRED  
80 POINTS PROVIDED

- (3) AMERICAN ARBORVITAE = (20) PTS. PER - 60 POINTS TOTAL
- (2) WASHINGTON HAWTHORN = (10) PTS. PER - 20 POINTS TOTAL

**STREET FRONTAGE**

138 POINTS (MIN.) REQUIRED  
175 POINTS PROVIDED

- (2) SUGAR MAPLE = (75) PTS. PER - 150 POINTS TOTAL

**PAVEMENT AREA**

71 POINTS (MIN.) REQUIRED  
100 POINTS PROVIDED

- (5) ANDORRA JUNIPER = (3) PTS. PER - 15 POINTS TOTAL
- (5) ARTIC FIRE DOGWOOD = (5) PTS. PER - 25 POINTS TOTAL
- (3) AMERICAN ARBORVITAE = (20) PTS. PER - 60 POINTS TOTAL

**LANDSCAPE POINTS REQUIRED FOR 'UC' URBAN COMMERCIAL ZONING**

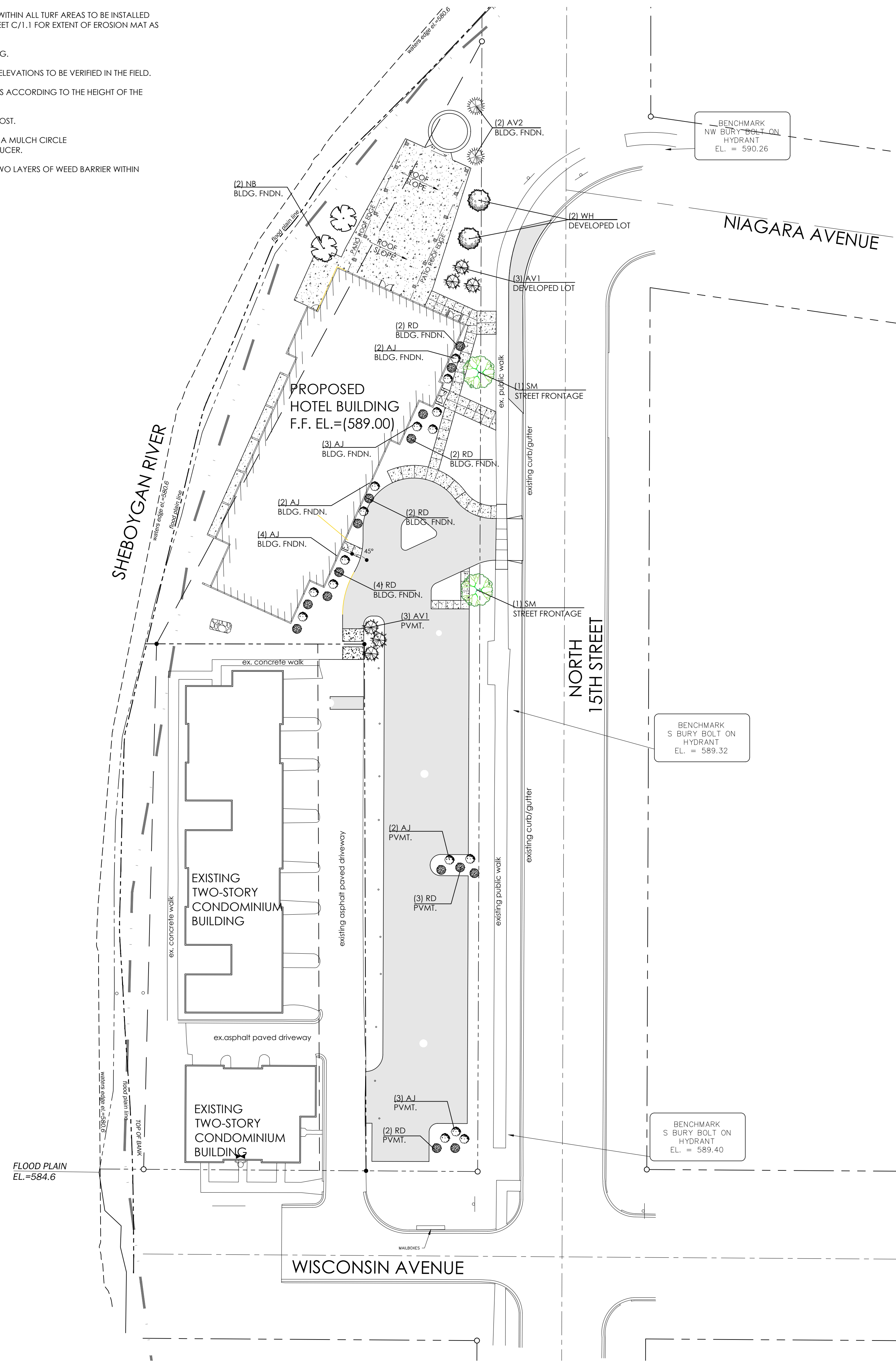
**BUILDING FOUNDATIONS = 530 LINEAL FEET**  
PER SECTION 15.604 AND TABLE 15.604: BUILDING FOUNDATION LANDSCAPE REQUIREMENTS  
20 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 106 POINTS REQUIRED  
- NO CLIMAX TREES OR TALL TREES ALLOWED TO MEET REQUIREMENT

**DEVELOPED LOT (LOT 2 ONLY) = 9,595 SQUARE FOOT BUILDING FOOTPRINT**  
PER SECTION 15.605 AND TABLE 15.605: DEVELOPED LOT LANDSCAPE REQUIREMENTS  
05 POINTS PER 1,000 SQUARE FEET - FOR A TOTAL OF 48 POINTS REQUIRED

**STREET FRONTAGE = 692 LINEAL FEET (NORTH 15th STREET and WISCONSIN AVENUE)**  
PER SECTION 15.606 AND TABLE 15.606: STREET FRONTAGE LANDSCAPE REQUIREMENTS  
20 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 138 POINTS REQUIRED  
- A MINIMUM OF 50-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (69 POINTS)  
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE SMALL TREES (42 POINTS)

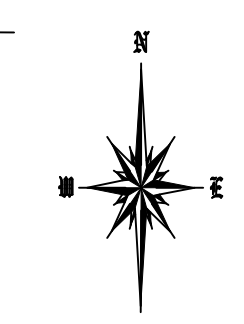
**PAVEMENT AREA/CONCRETE AREA = 17,820 SQUARE FEET**  
PER SECTION 15.607 AND TABLE 15.607: PAVED AREA LANDSCAPE REQUIREMENTS  
40 POINTS PER 10,000 SQUARE FEET - FOR A TOTAL 71 POINTS REQUIRED  
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (21 POINTS)  
- A MINIMUM OF 40-PERCENT OF POINTS SHALL BE SHRUBS (28 POINTS)

SYMBOL	MARK	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	SM	2	ACER SACCHARUM	SUGAR MAPLE	2" DIA.
	AV TYPE 1	6	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	60" TALL
	AV TYPE 2	2	THUJA OCCIDENTALIS 'TECHNY'	PYRAMEDIAL, TECHNY	60" TALL
	NB	2	VIBURNUM	NANNYBERRY	12"-15"
	AJ	16	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	12"-15"
	RD	15	CORNUS SERICEA	ARTIC FIRE DOGWOOD	30"-36"
	WH	2	CRATAEGUS PHAENOPYUM	WASHINGTON HAWTHORN	3'0" TALL

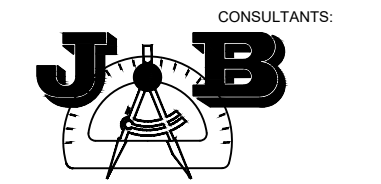


**LANDSCAPE PLAN**

1"=30'



6528 West North Avenue  
Milwaukee, Wisconsin 53213  
(414) 291-0772 phone  
www.galbraithcarnahan.com



CONSULTANTS  
SITE DESIGN AND ENGINEERING, LLC  
PO BOX 1047  
WOODRUFF, WISCONSIN 54568  
(920) 207-8977  
jbsitedesign1@gmail.com

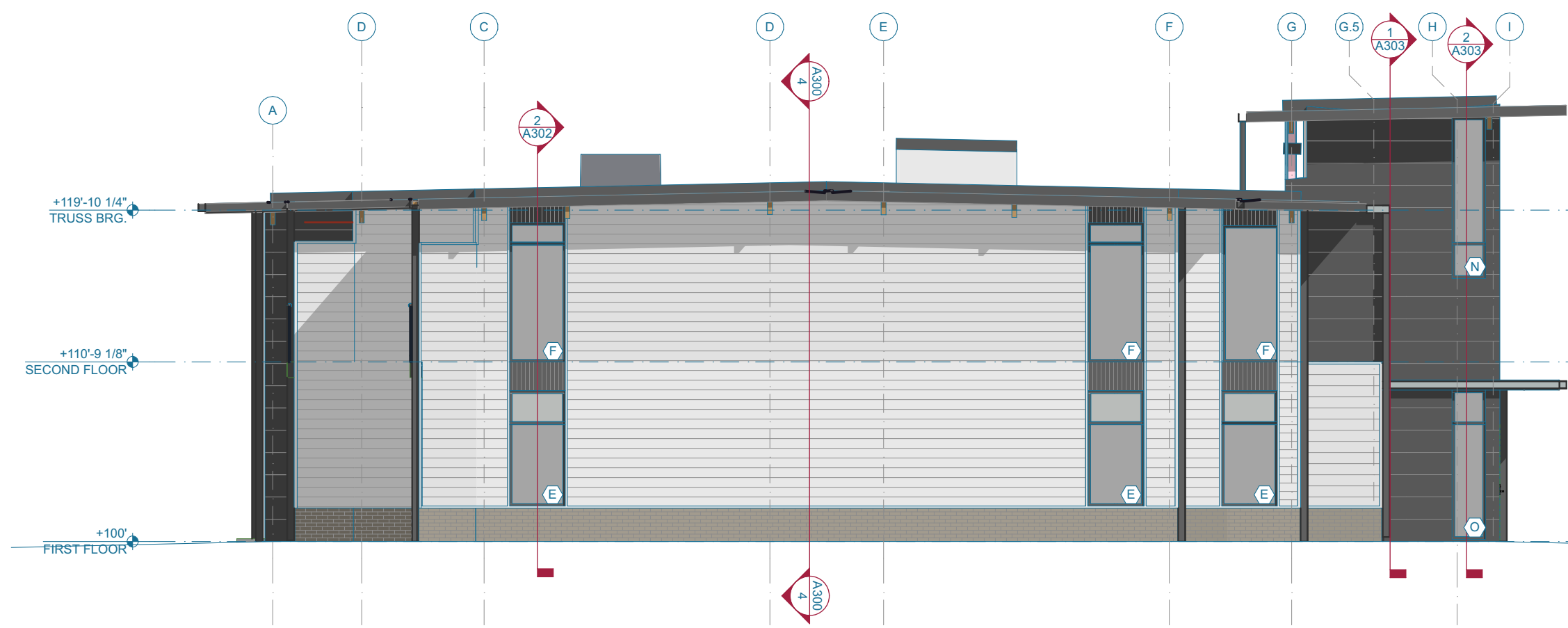
**WATERSHED - BOTIQUE HOTEL**  
NORTH 15th STREET,  
SHEBOYGAN, WI 53081

DRAWING ISSUE DATE

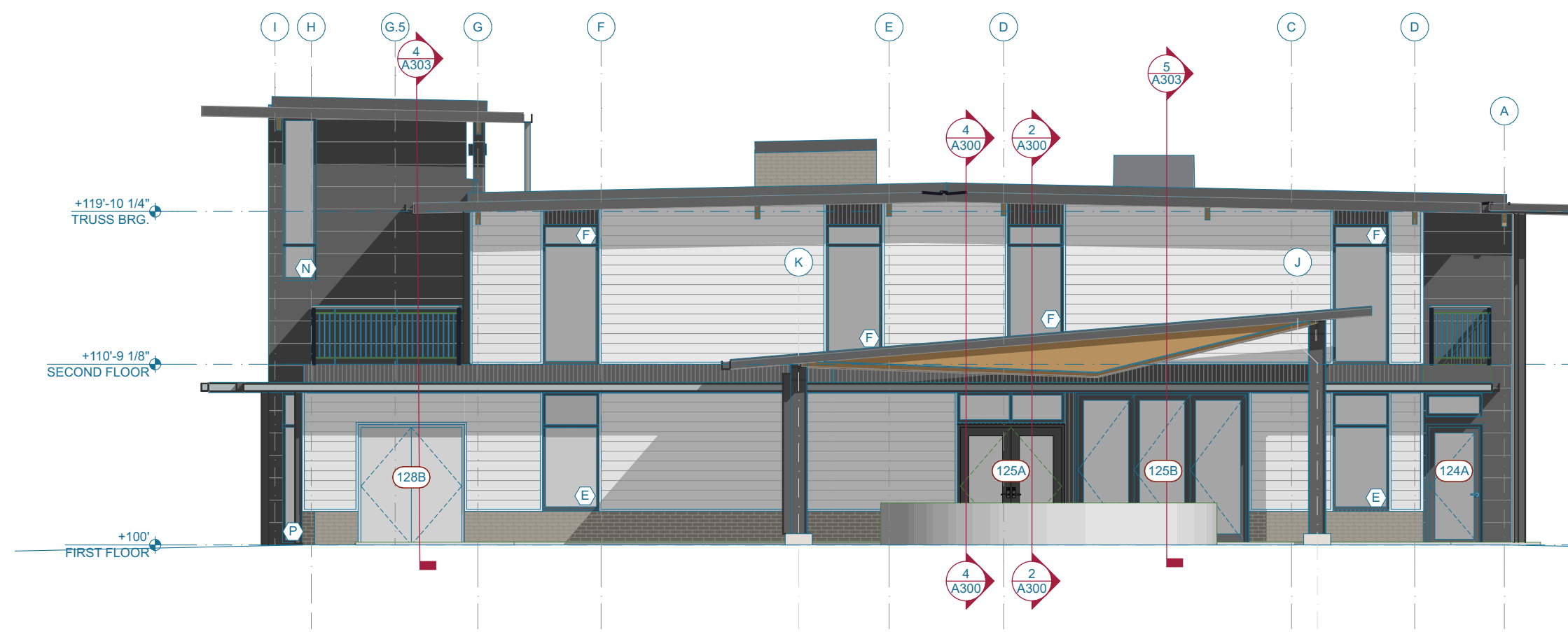
PROJECT # 2021-11

LANDSCAPE PLAN

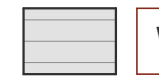





**C 1.4**



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

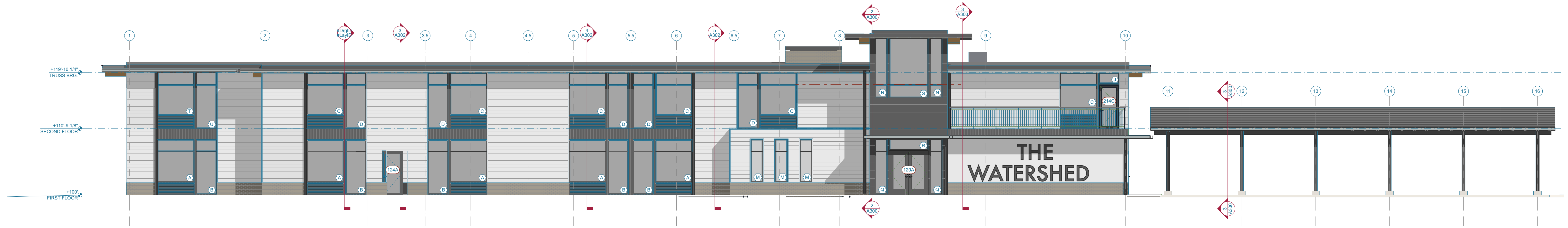


4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

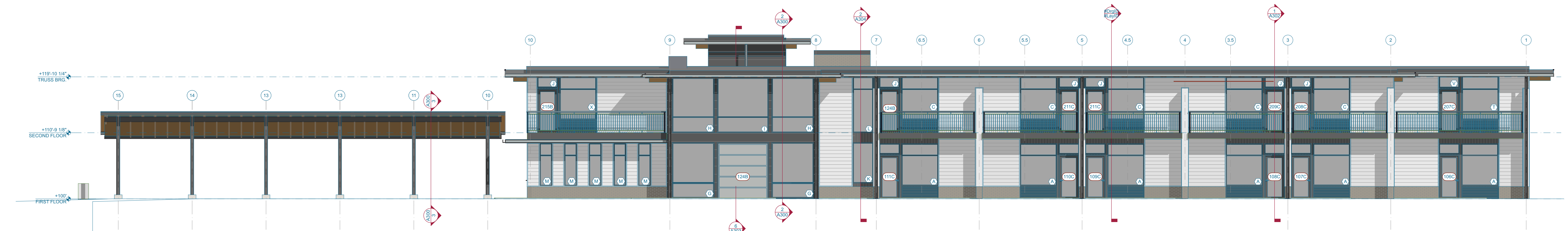
	<b>W1</b>	EXTERIOR WOOD STUD WALL WITH HORIZONTAL LAP SIDING FINISH COLOR: SMOOTH FINISH SNOWSCAPE WHITE SIDING SIZE: 7"
	<b>W2</b>	EXTERIOR WOOD STUD WALL WITH THIN BRICK VENEER FINISH COLOR: COBBLESTONE UNIT SIZE: MODULAR
	<b>W3</b>	EXTERIOR WOOD STUD WALL WITH STANDING SEAM METAL PANEL FINISH COLOR: MATTE BLACK PANEL SIZE: 12" LINEAR
	<b>W4</b>	EXTERIOR WOOD STUD WALL WITH BRAKE METAL PANEL FINISH COLOR: MATTE BLACK PANEL SIZE: VARIES
	<b>S1</b>	EXTERIOR WOOD SOFFIT FINISH COLOR: CLEAR SEALER PANEL SIZE: VARIES
		EXTERIOR INSULATED GLAZING UNITS

**GENERAL ELEVATION NOTES**

1. SEE SHEET A602 FOR WINDOW ELEVATIONS/TYPES.



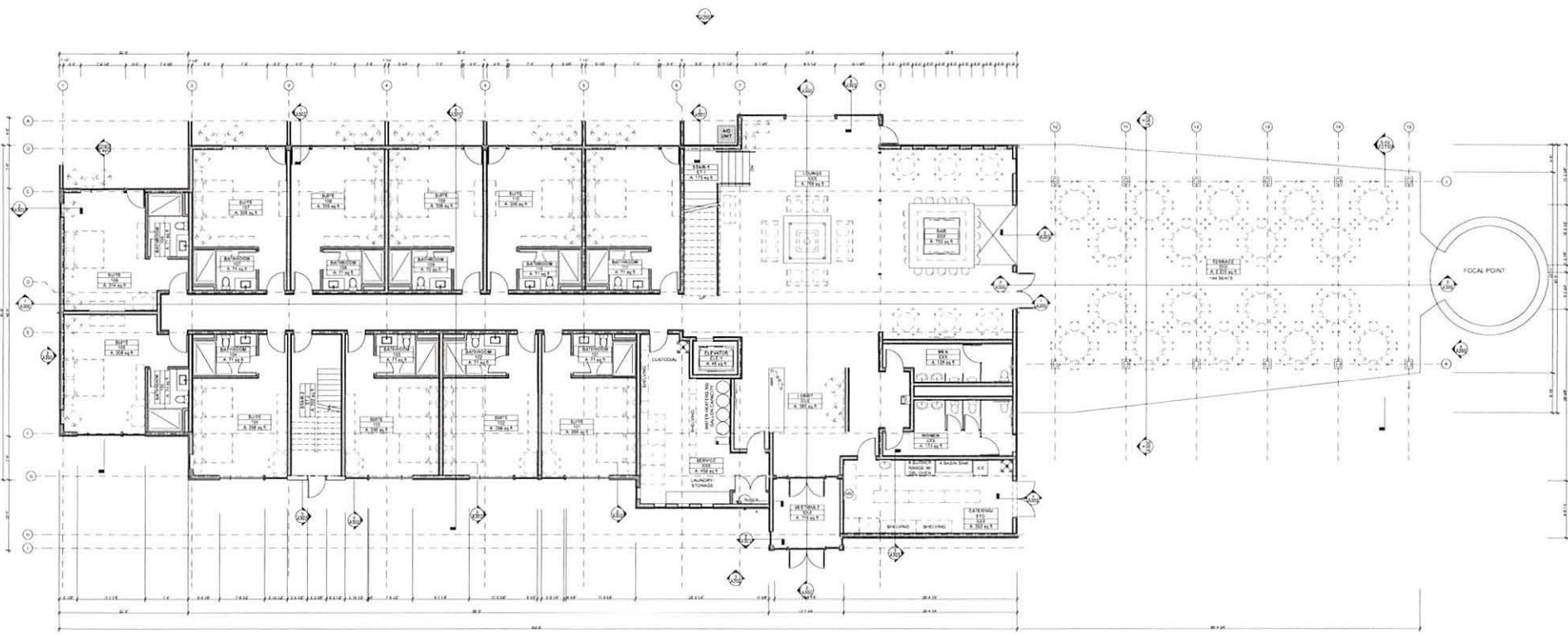
3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

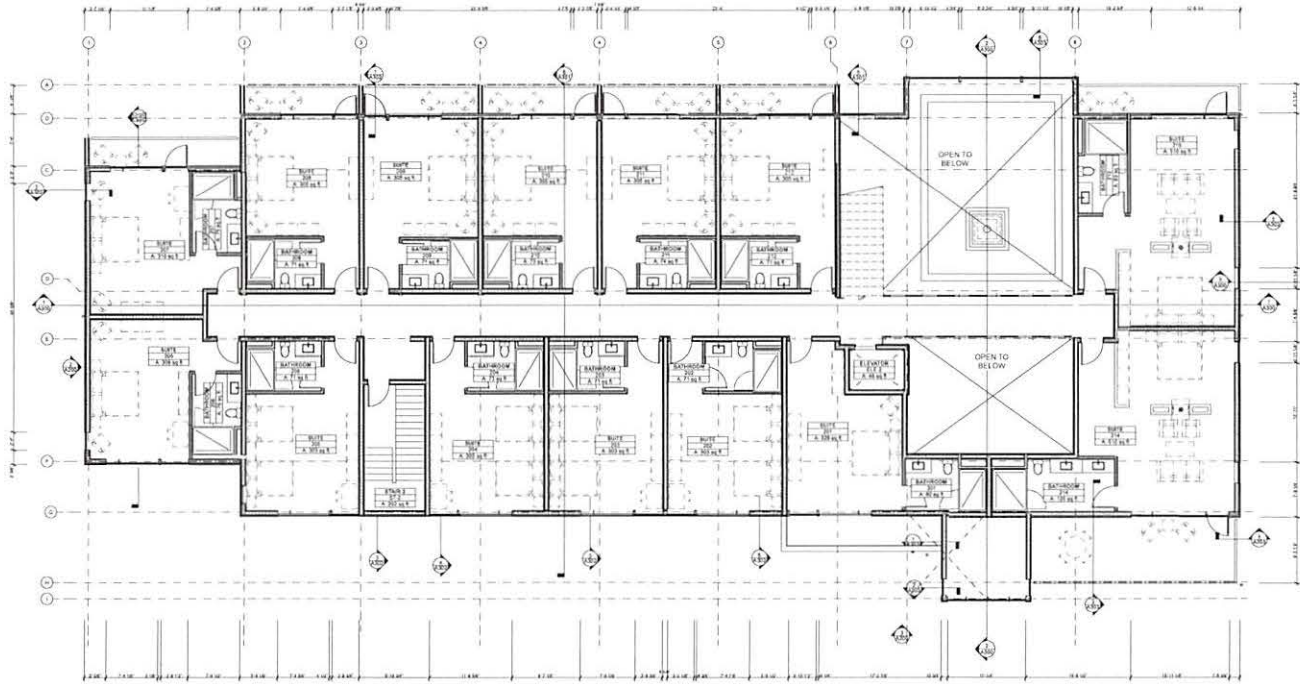
**WATERSHED HOTEL**  
 NORTH 15TH STREET SHEBOYGAN, WI 53081

**WATERSHED HOTEL**  
NORTH 15TH STREET SHEBOYGAN, WI 53081

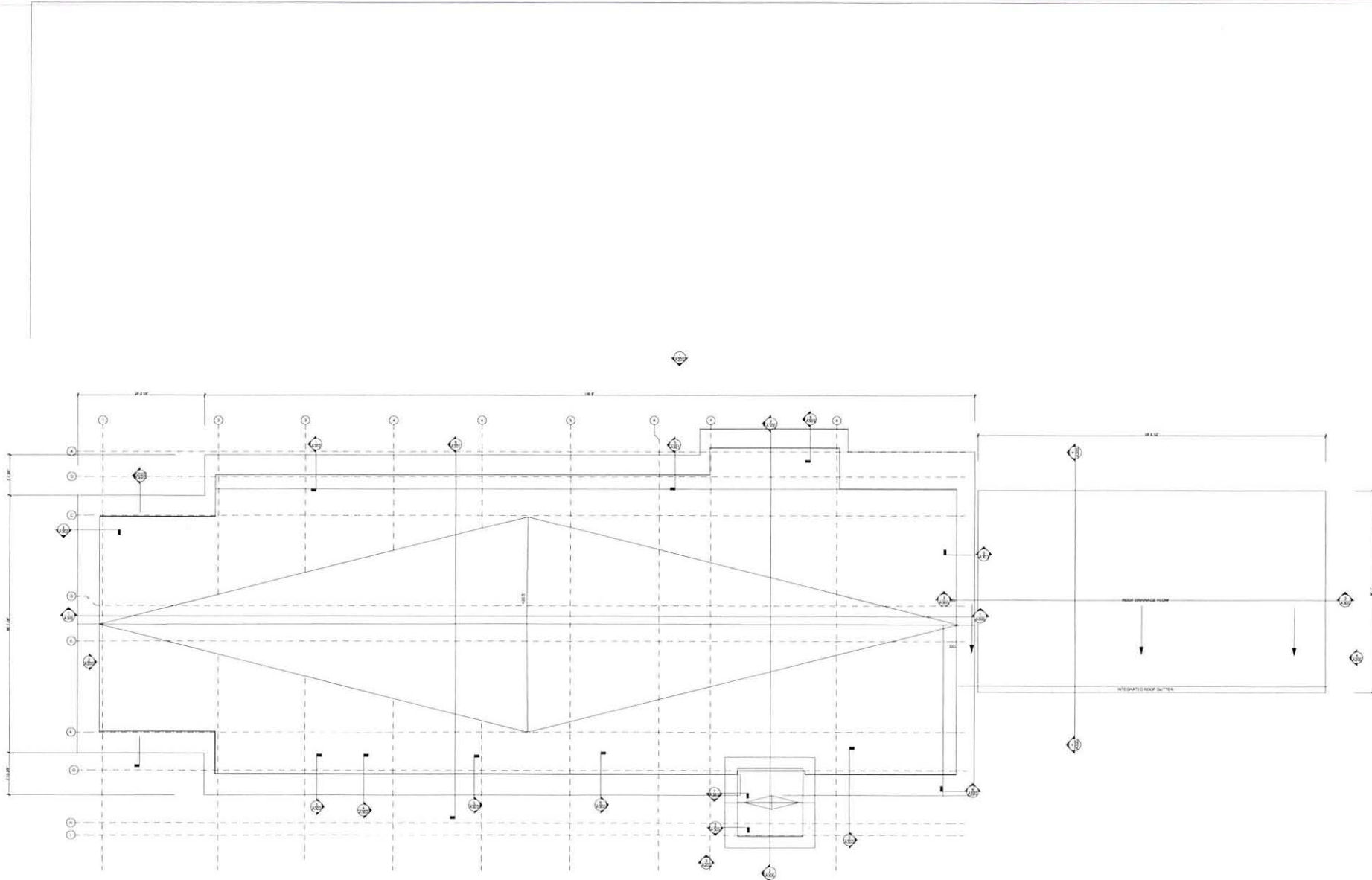


101 FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

**WATERSHED HOTEL**  
NORTH 15TH STREET SHEBOYGAN, WI 53081



SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

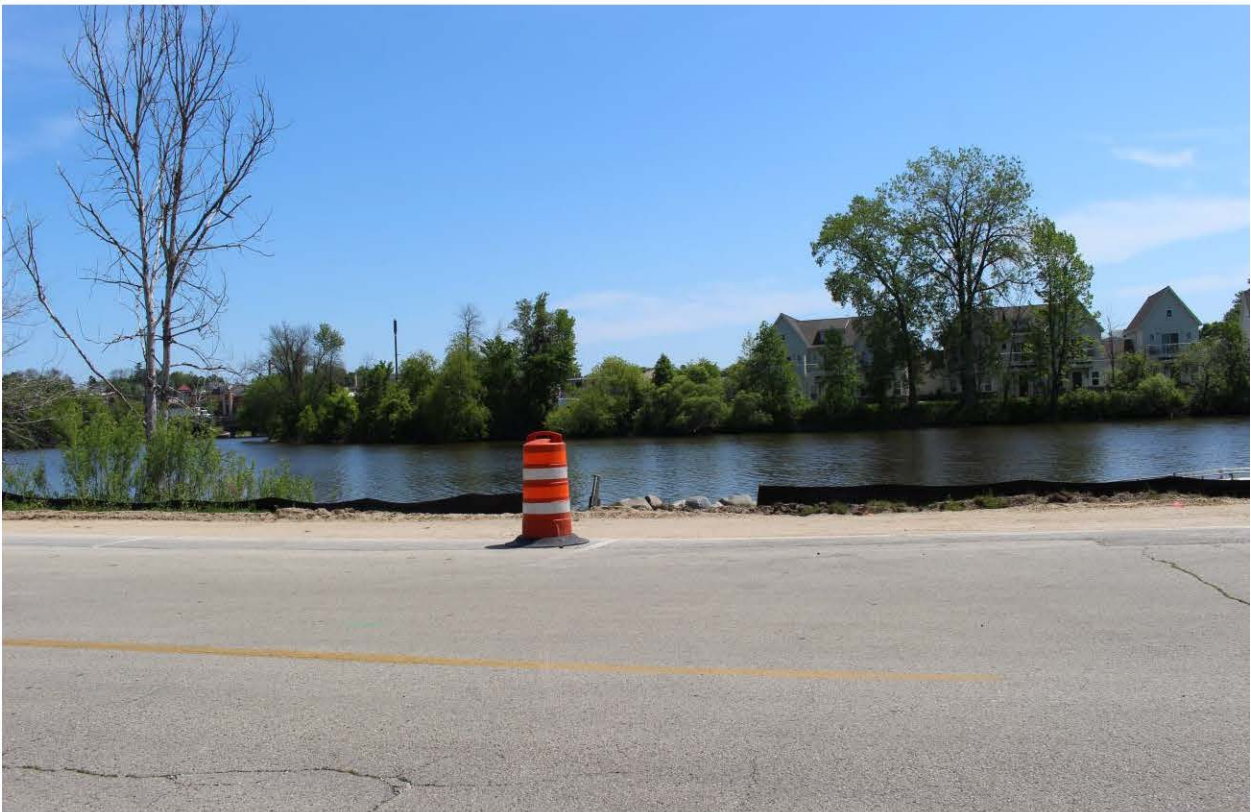


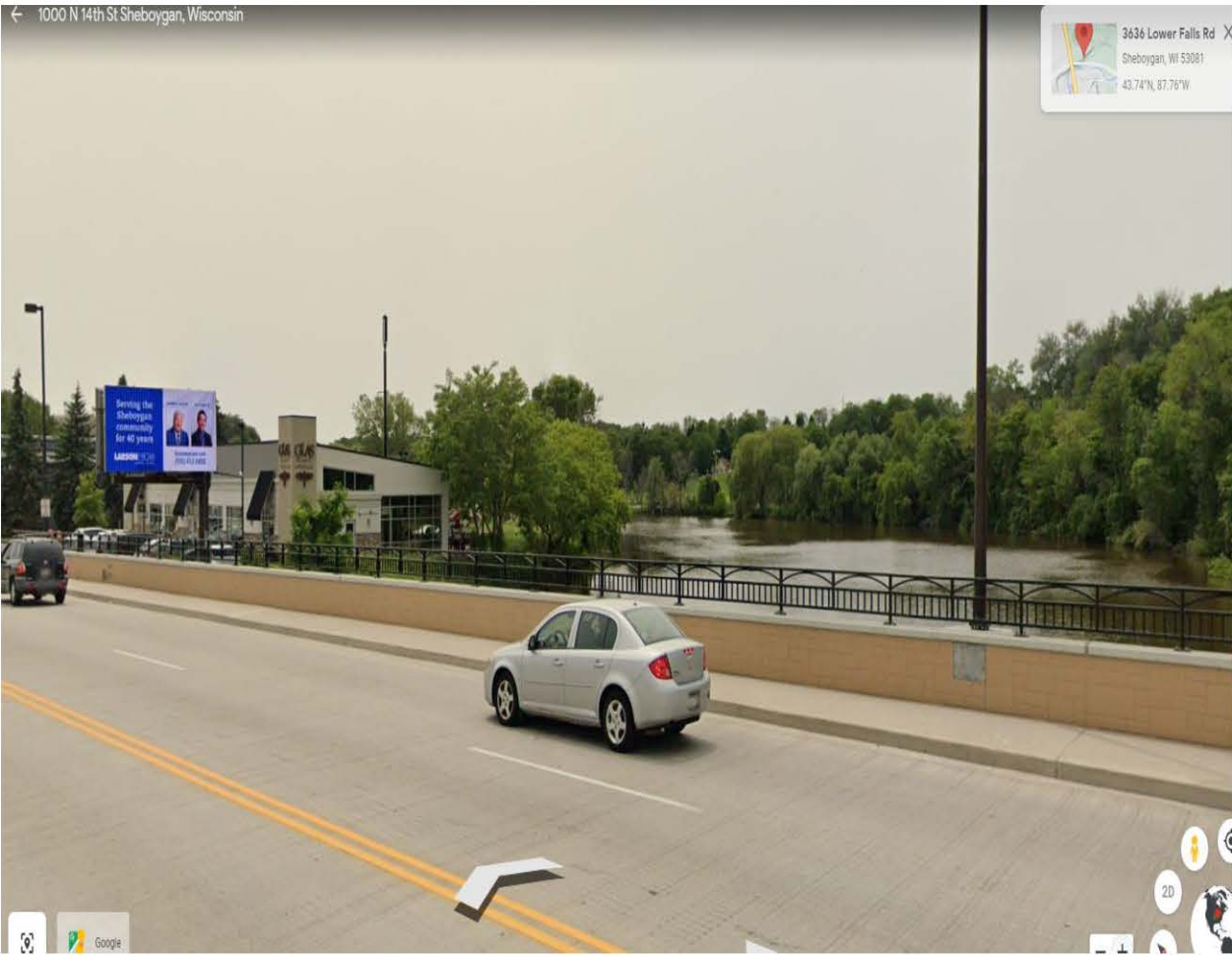
170 ROOF PLAN  
SCALE 1/8" = 1'-0"











**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

---

**ITEM DESCRIPTION:** Construction of new Watershed Hotel at the northwest intersection of Niagara Avenue and N. 15<sup>th</sup> Street along the Sheboygan River (Parcel 59281550023).

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

---

**REPORT DATE:** July 9, 2021

**MEETING DATE:** July 12, 2021

---

**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

---

Wisconsin Statutes: N/A  
Municipal Code: N/A

---

**BACKGROUND / ANALYSIS:**

Watershed Development, LLC is proposing to construct the Watershed Hotel on Parcel #59281550023 (remaining vacant land north and east of the Water's Edge Condos). The applicant states the following about the project:

- Presently, the property is vacant (and has been for several years). It was intended that Water's Edge Development of Sheboygan, LLC, would continue with additional condominium development on the property but the market does not exist for that to continue in the opinion of the applicant. A new parcel will be created for the development of the hotel.
- The applicant is proposing development of a boutique hotel, which would consist of 25 hotel rooms and a small event space. It is anticipated that the hotel development will produce an investment value of approximately \$3 million.

The applicant states the following about the construction:

- Though the hotel we are proposing is new construction, we are drawing from the materials and scale of the existing condominiums on the southern portion of the site as well as the existing neighborhood fabric. The condos have a stone base, horizontal siding, shakes and they are approximately 2 ½ stories tall.
- We are also taking cues from the existing fabric to inform the scale and form of the hotel. We chose sympathetic materials to relate the hotel design to the adjacent condos as well as the existing buildings in the neighborhood. We are also pulling from the history of the site, which was storage for a lumber mill across the street by using wood throughout the

design and the nautical history of Sheboygan, borrowing forms and structural queues from traditional wood boat construction.

- Building on the Water's Edge Condominium development, we are proposing a two-story building with a slightly sloped roof that extends beyond the exterior walls. The building will sit parallel to the river to the west, and the roof of the outdoor space will slope up toward the river, maximizing views to make the most of this unique site.
- The building is clad mostly in horizontal lap siding, has a grey-brown brick base and matte black metal panel accents. The soffits will be unstained, sealed wood, expressing the buildings structure and adding warmth to the exterior. The main entrance of the building is slightly taller than the rest of the building. The entrance will be clad in a dark standing seam metal panel and have its own cantilevered roof.

**STAFF COMMENTS:**

It appears to be a nice design and use on this attractive riverfront property.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Paul Mentink  
ADDRESS: 1135 Michigan Avenue, Sheboygan WI 53081  
E-MAIL ADDRESS: pmentink@abacusarchitects.net  
PHONE: (920) 452-4444 FAX NO.: ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan Christian School  
ADDRESS OF PROPERTY AFFECTED: 929 Greenfield Avenue  
NEW BUILDING: \_\_\_\_\_ ADDITION: X REMODELING: X

DESCRIPTION OF PROPOSED PROJECT: We are adding the elementary school currently located on Geele Avenue to the existing high school. This addition is roughly 40,612 s.f. The addition includes 18 classrooms, elementary gymnasium, stage and some storage rooms.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The exterior of the existing school is made up of a number of different style and color metal panels. I have included a number of photographs showing the existing facility.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The new addition will use a mixture of vertical and horizontal metal panels, stone and Longboard siding. The intent of the new materials is to give the building a smaller scale feel, not the large metal building it currently looks like.

## Design Narrative

# Sheboygan Christian School K-8 Addition

## Sheboygan, Wisconsin

Abacus Architects, Inc.  
May 18, 2020

Project No. 2017-93

The current Christian High School located on the south side of Greenfield Avenue has had numerous additions over the years. The original facility was built as a pre-engineered metal building in 1971. The facility has been added on 3 times over the past 49 years. Each addition has been a pre-engineered metal building with different metal panel profiles and colors. The new 40,000 s.f. addition will again be a pre-engineered metal building. The new addition will wrap much of the existing facility on the north and east side of the building. This gives us the opportunity to completely change the feel of the existing facility from the public side. It is our intent to bring the scale of the building down and break up the façade using different types of materials. We do not want this to feel or look like a large metal building when we are complete.

The proposed façade uses a mix of horizontal and vertical metal siding, longboard siding and cultured stone. It is also the school's intent to refinish the façade of the existing "north wing" to better match what is happening on the new elementary school addition. The rest of the existing building that is not being covered by this new addition is to remain as is. It is the school's hope that this will be addressed down the road as part of a future project. The plan is to use a bluish gray horizontal metal siding, a warm gray vertical siding, wood look longboard siding and a warm gray/brown cultured stone. Samples will be provided at the meeting.

The school does not have any close neighbors to the building. There is one house west of the parking lot and one house east of the school. These are the only two adjacent buildings to the school. To the south of the school is WE Energies open land and to the north is the railroad tracks and then a residential neighborhood.

The existing school building is not overly attractive, and we feel that what we are presenting is cost effective and a huge improvement over the existing building.





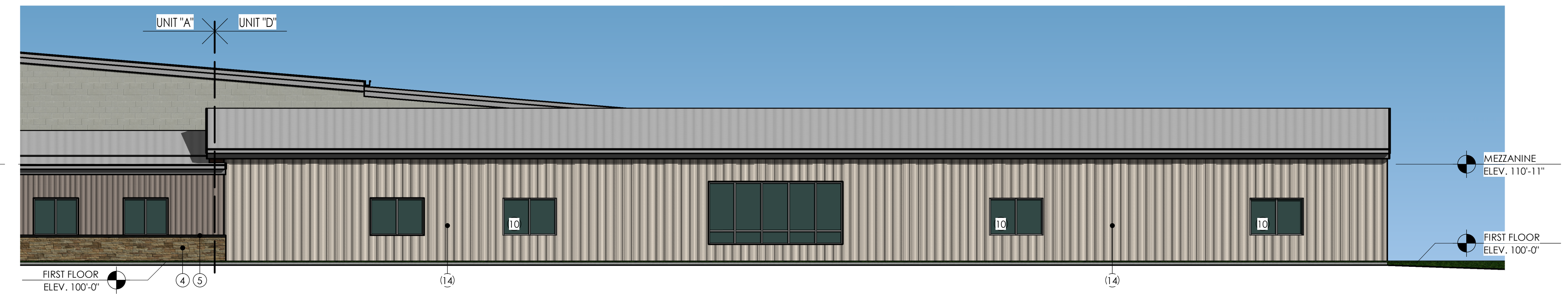


NOTICE TO BIDDERS  
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 © 2020 ABACUS ARCHITECTS, INC.

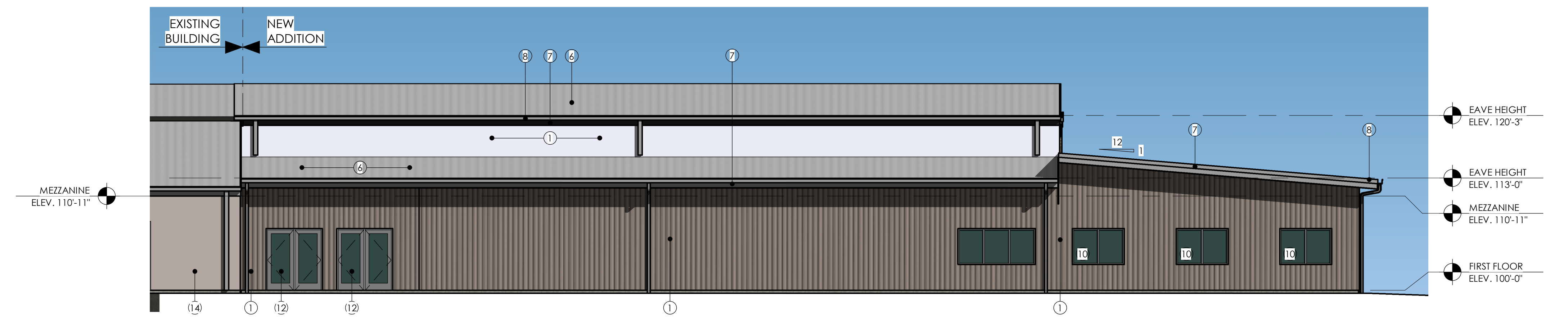
ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	VERTICAL METAL WALL PANEL
2	HORIZONTAL METAL WALL PANEL
3	HORIZONTAL LONGBOARD SIDING
4	CULTURED STONE VENEER
5	CUT STONE WATERTABLE
6	STANDING SEAM METAL ROOFING PANELS
7	PRE-FINISHED METAL FASCIA
8	PRE-FINISHED METAL GUTTERS
10	ALUMINUM STOREFRONT WINDOW
11	ALUMINUM ENTRANCE DOOR AND FRAME
12	INSULATED HOLLOW METAL DOOR AND FRAME
13	EXISTING PAINTED CMU
14	EXISTING METAL SIDING

**GENERAL EXTERIOR ELEVATION NOTES**

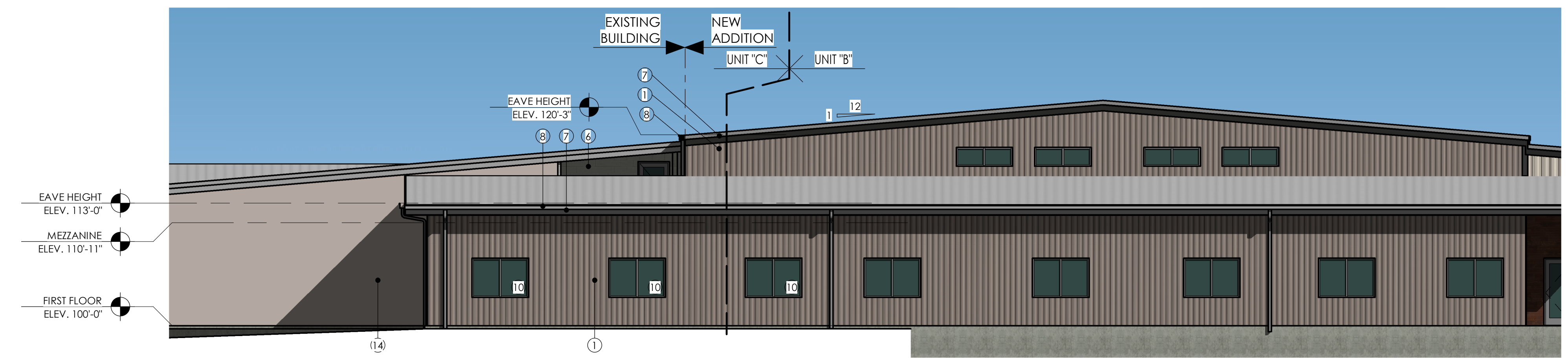
- ALL EXPOSED MISC. EXTERIOR STEEL SHALL BE PAINTED WITH PAINT FINISH E-1.
- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY.
- MASONRY CONTROL JOINTS SHALL BE LOCATED AT ALL MASONRY HEIGHT CHANGES, WINDOW OPENINGS, DOOR OPENINGS, 5' MAX. FROM BUILDING CORNERS, AND 25' MAX. AT CONTINUOUS WALL LOCATIONS.



**UNIT "D" - WEST ELEVATION** 5  
 SCALE: 1/8" = 1'-0" (A 502)



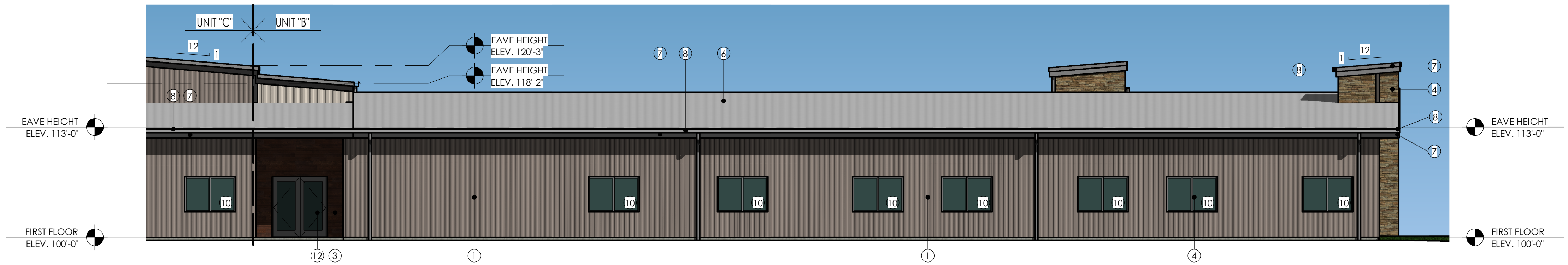
**UNIT "C" - SOUTH ELEVATION** 4  
 SCALE: 1/8" = 1'-0" (A 502)



**UNIT "C" - EAST ELEVATION** 3  
 SCALE: 1/8" = 1'-0" (A 502)



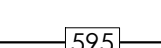
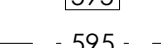
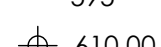
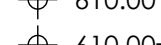
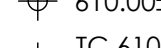
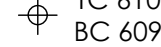
**UNIT "B" - WEST ELEVATION - UPPER ELEMENTARY POD** 2  
 SCALE: 1/8" = 1'-0" (A 502)

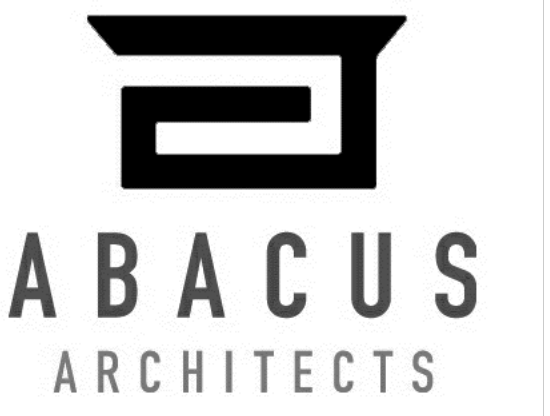


**UNIT "B" - EAST ELEVATION - UPPER ELEMENTARY AND MIDDLE SCHOOL PODS** 1  
 SCALE: 1/8" = 1'-0" (A 502)

GREENFIELD AVENUE

GRADING LEGEND

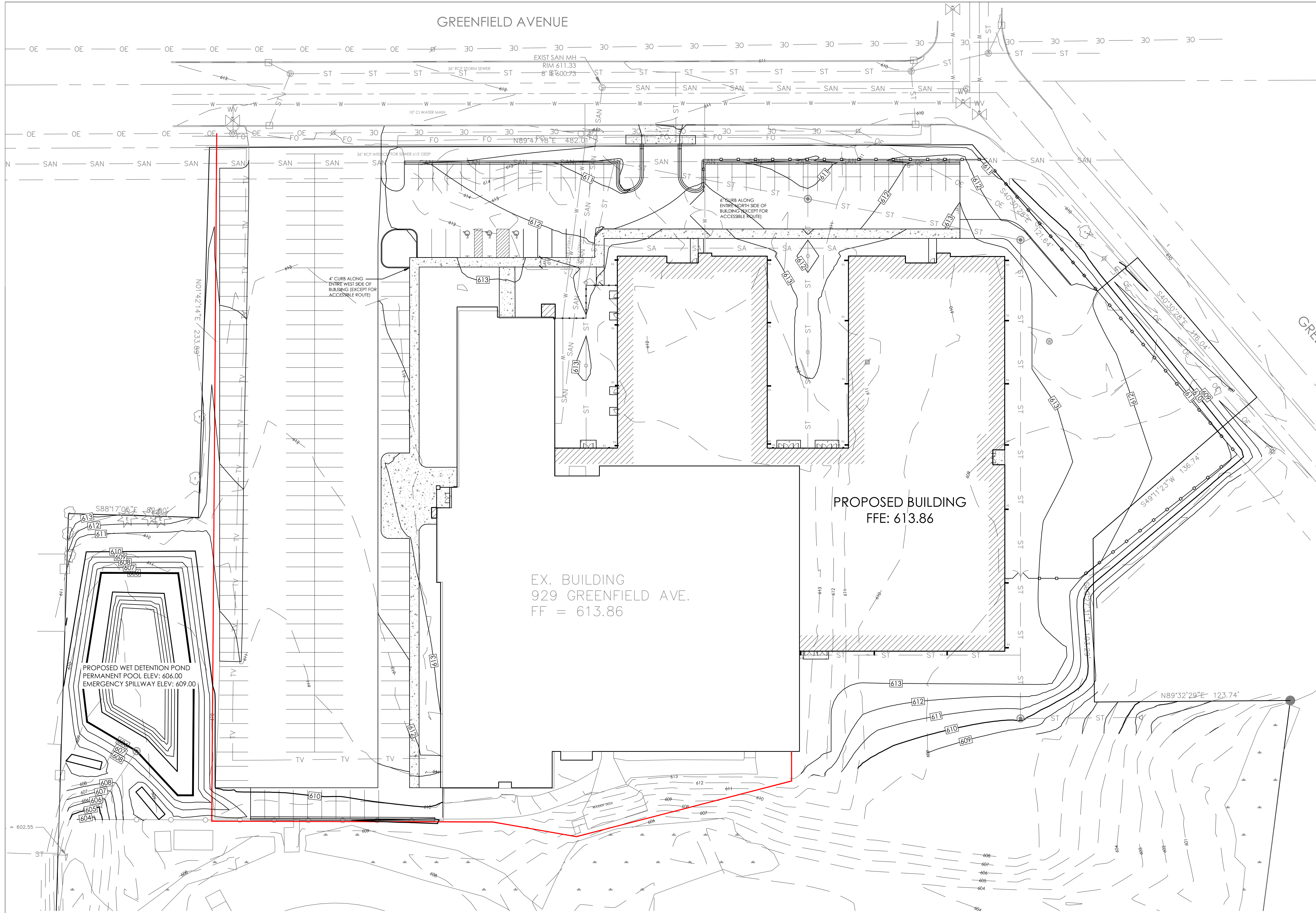
-  PROPOSED CONTOUR
-  EXISTING CONTOUR
-  PROPOSED SPOT ELEVATION
-  MATCH EXISTING ELEVATION
-  PROPOSED TOP OF CURB ELEVATION
-  PROPOSED BOTTOM OF CURB ELEVATION



REVISIONS:

NOTICE TO BIDDERS  
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

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May 12, 2020

ADDITION & REMODEL

SHEBOYGAN CHRISTIAN SCHOOL

929 GREENFIELD AVE, SHEBOYGAN, WI 53081

ABACUS ARCHITECTS, INC., 1135A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 PH. 920-452-4444 FX. 920-452-9198

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: MDW

CHECKED BY: JRV

A  
203

GRADING PLAN

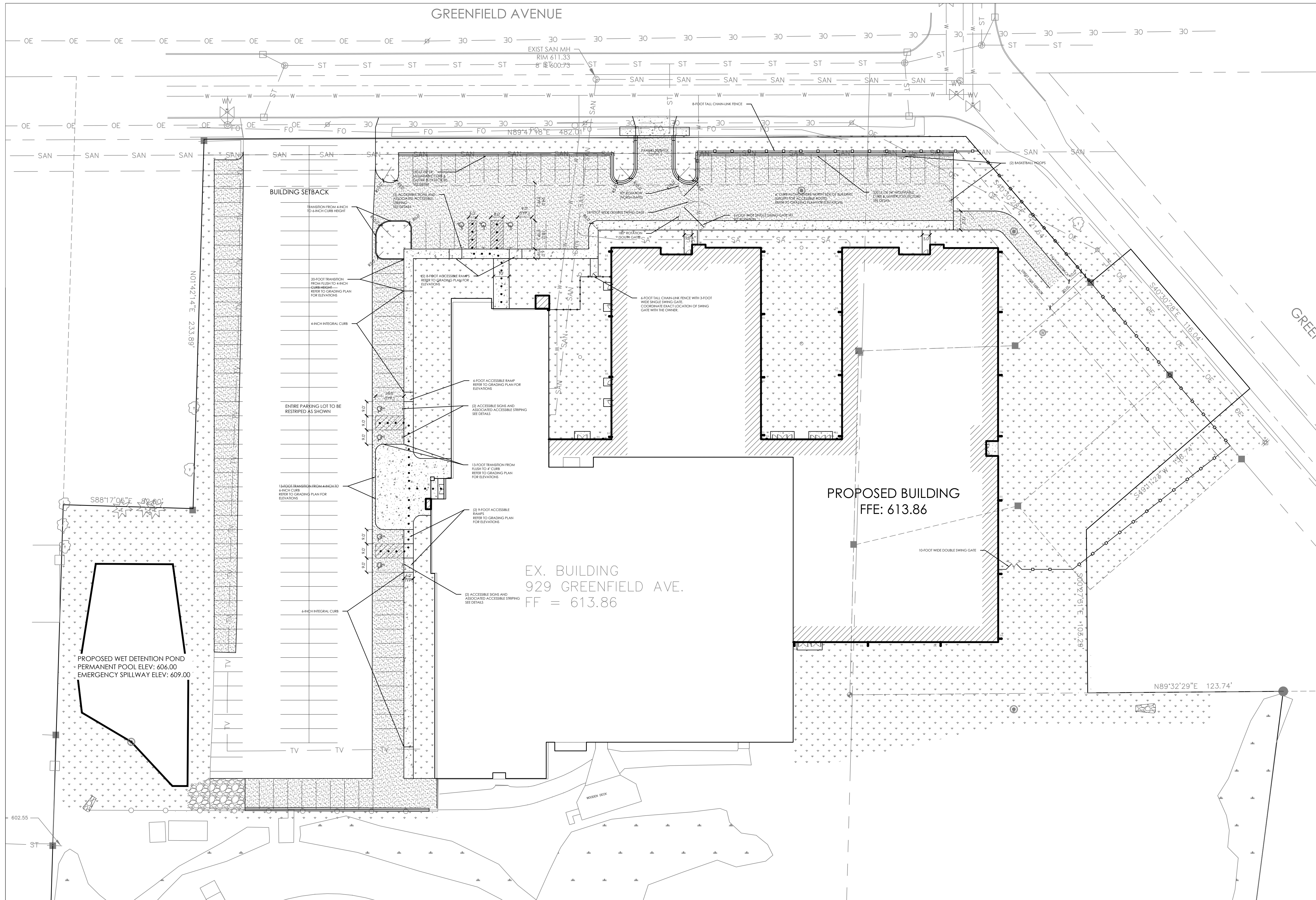
SCALE: 1"=30'



PROJ. NO. 2017-93



GREENFIELD AVENUE



SITE LEGEND

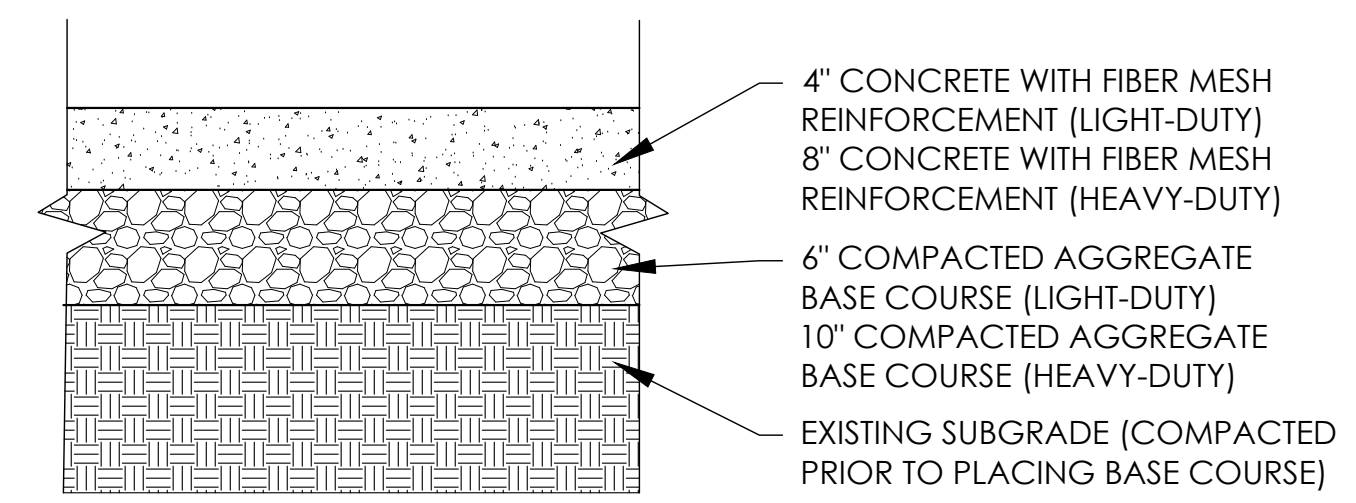
- PROPOSED BUILDING ADDITION
- PROPOSED PAVEMENT HATCH. SEE DETAIL.
- PROPOSED CONCRETE HATCH. SEE DETAIL.
- PROPOSED LANDSCAPED AREA. REFER TO LANDSCAPE PLAN
- ACCESSIBLE ROUTE. REFER TO GRADING PLAN FOR ELEVATIONS



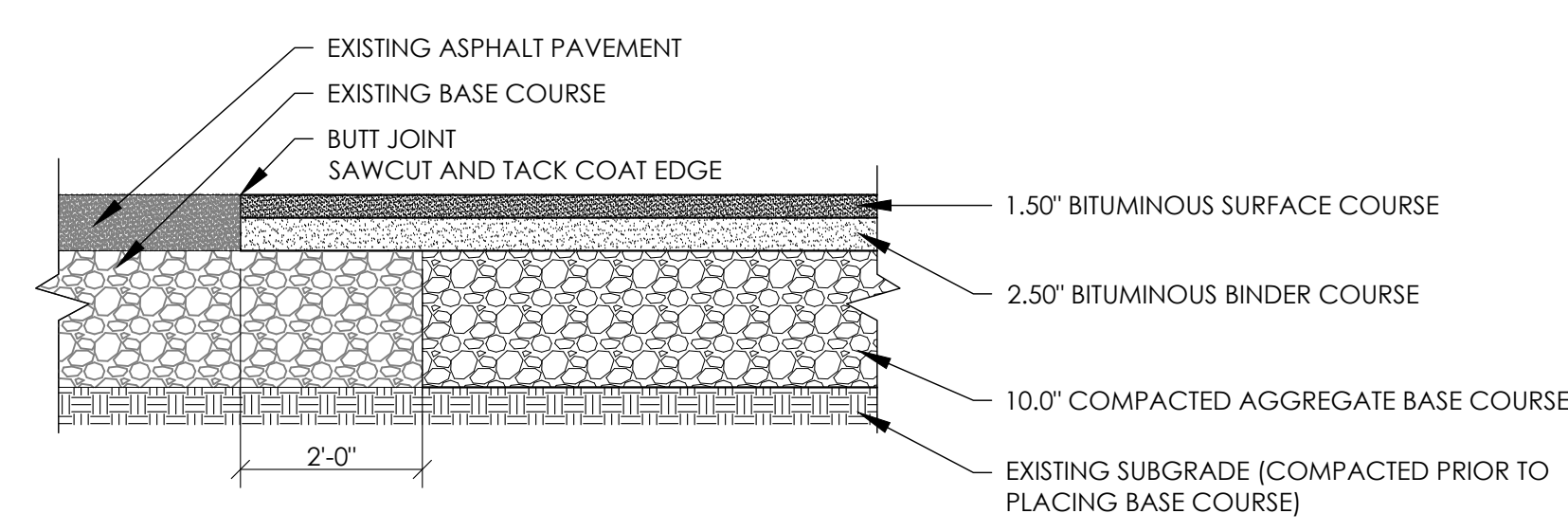
REVISIONS:

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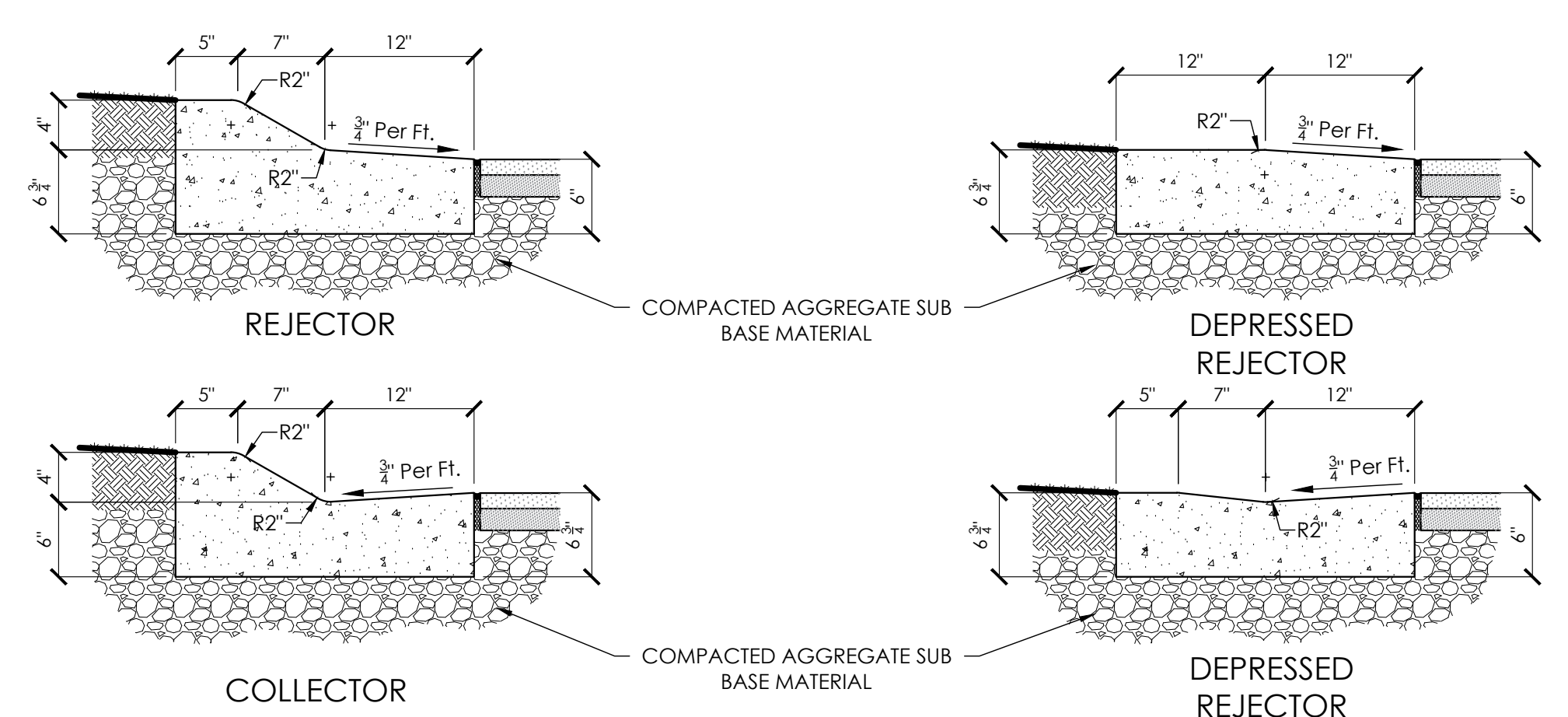
© 2020 ABACUS ARCHITECTS, INC.



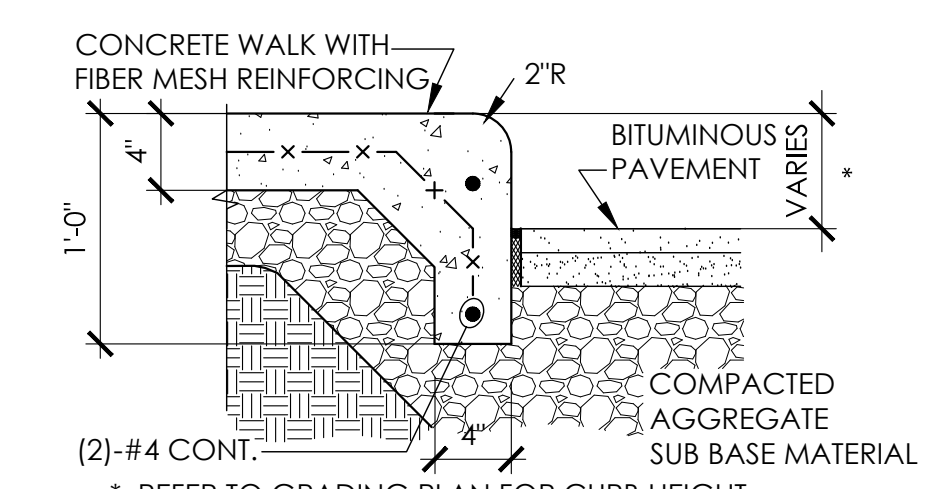
CONCRETE PAVEMENT CROSS SECTION



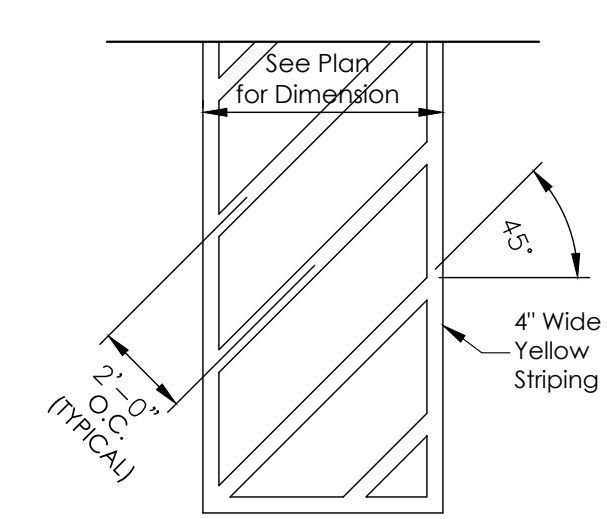
ASPHALT PAVEMENT CROSS SECTION



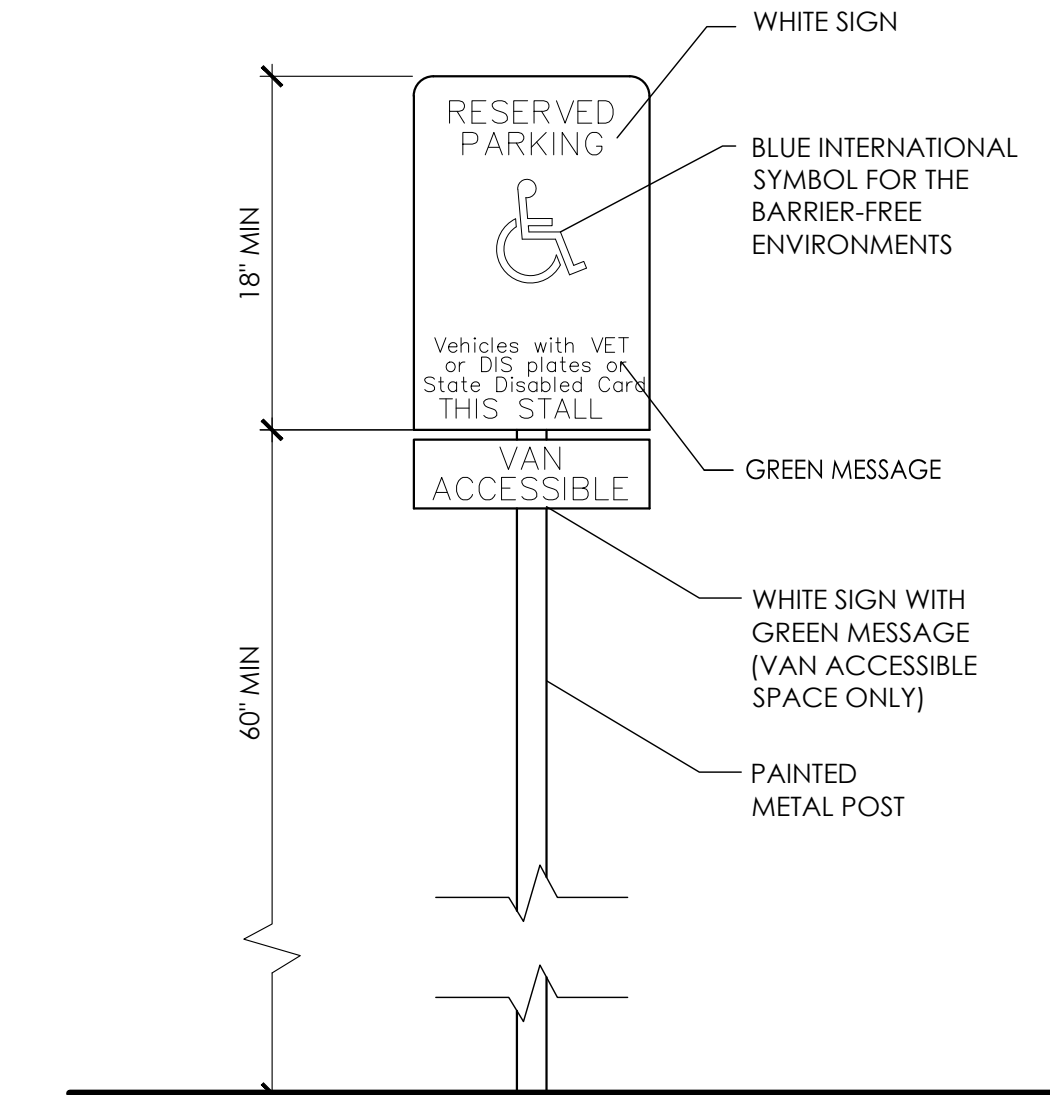
24" MOUNTABLE CURB & GUTTER SECTION



CONCRETE CURB & SIDEWALK SECTION



ACCESS AISLE STRIPING



HANDICAPPED PARKING SIGNAGE DETAIL

SITE PLAN SCALE: 1"=30'



ISSUE DATE: MAY 27, 2020

ADDITION & REMODEL

SHEBOYGAN CHRISTIAN SCHOOL

929 GREENFIELD AVE, SHEBOYGAN, WI 53081

1135A MICHIGAN AVENUE, SHEBOYGAN, WI 53081 | (920) 452-444 | 225 EAST ST. PAUL AVE, MILWAUKEE, WI 53202 | (414) 837-6450

DRAWN BY: MDW

CHECKED BY: JRV

A 202

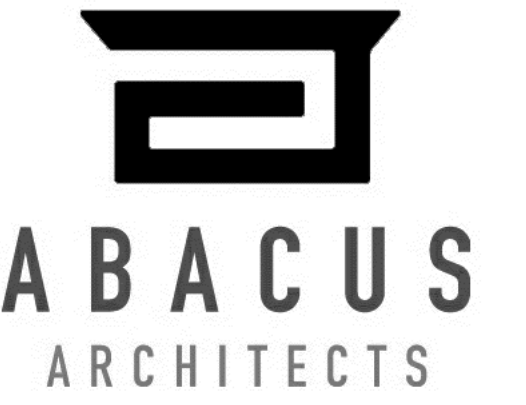
PROJ. NO. 2017-93

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GREENFIELD AVENUE

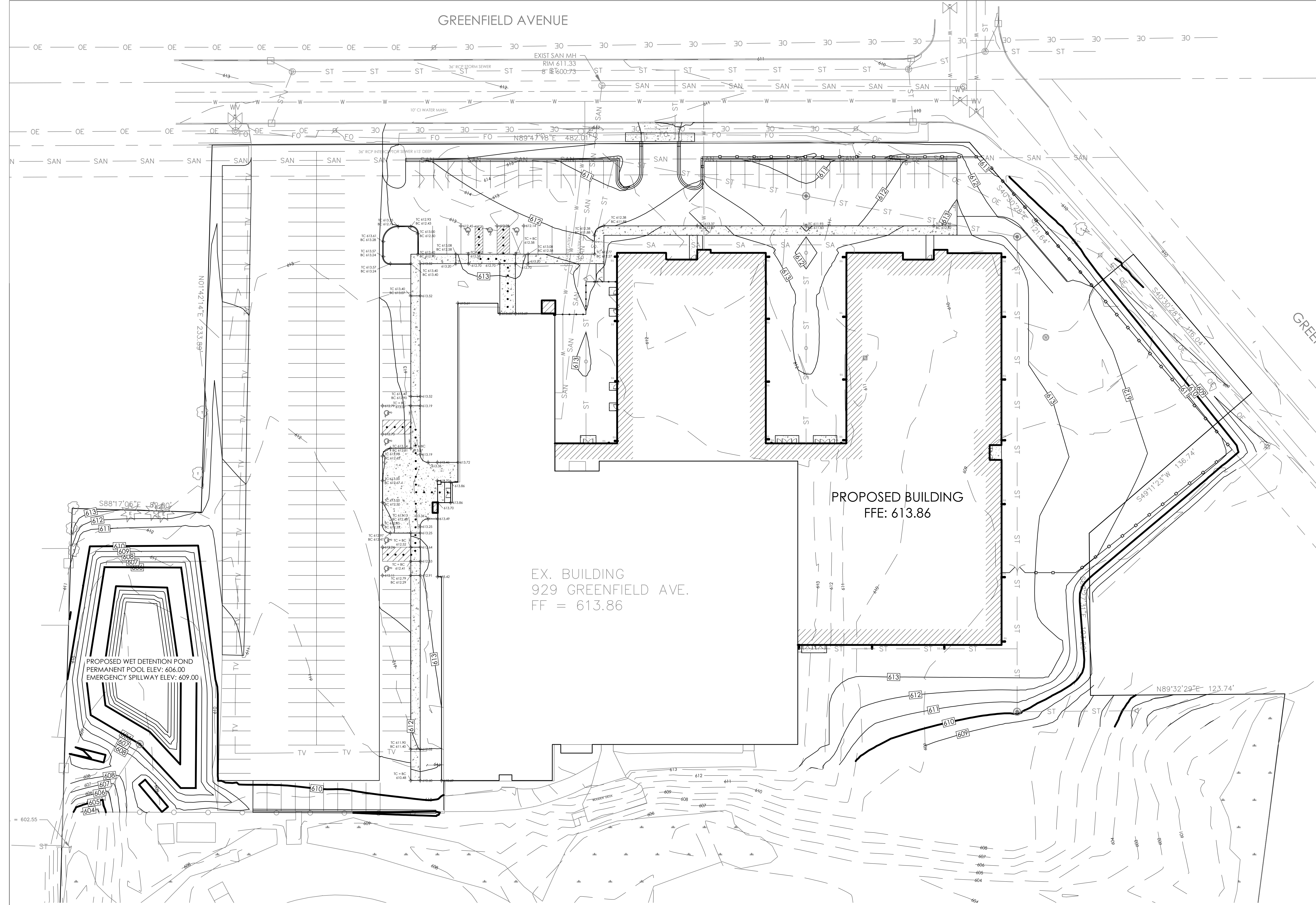
GRADING LEGEND

- 595 — PROPOSED CONTOUR
- - - 595 - - EXISTING CONTOUR
- ⊕ 610.00 PROPOSED SPOT ELEVATION
- ⊕ 610.00± MATCH EXISTING ELEVATION
- ⊕ TC 610.00 PROPOSED TOP OF CURB ELEVATION
- ⊕ BC 609.50 PROPOSED BOTTOM OF CURB ELEVATION



REVISIONS:

NOTICE TO BIDDERS  
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ISSUE DATE: MAY 27, 2020

ADDITION & REMODEL

SHEBOYGAN CHRISTIAN SCHOOL

929 GREENFIELD AVE, SHEBOYGAN, WI 53081

1135A MICHIGAN AVENUE, SHEBOYGAN, WI 53081 | (920) 452-444 | 225 EAST ST. PAUL AVE, MILWAUKEE, WI 53202 (414) 837-6450

DRAWN BY: MDW

CHECKED BY: JRV

A  
203

GRADING PLAN

SCALE: 1"=30'



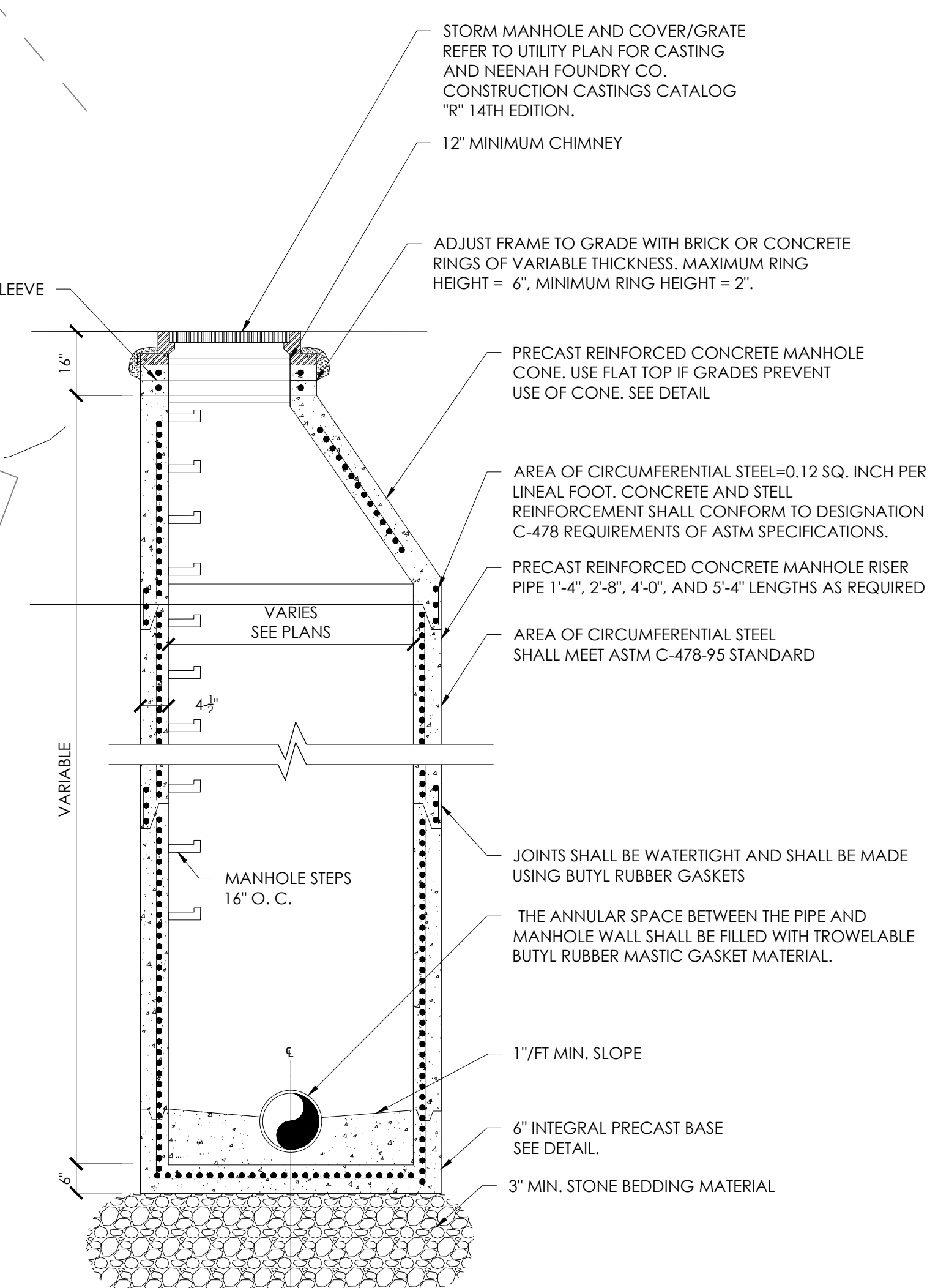
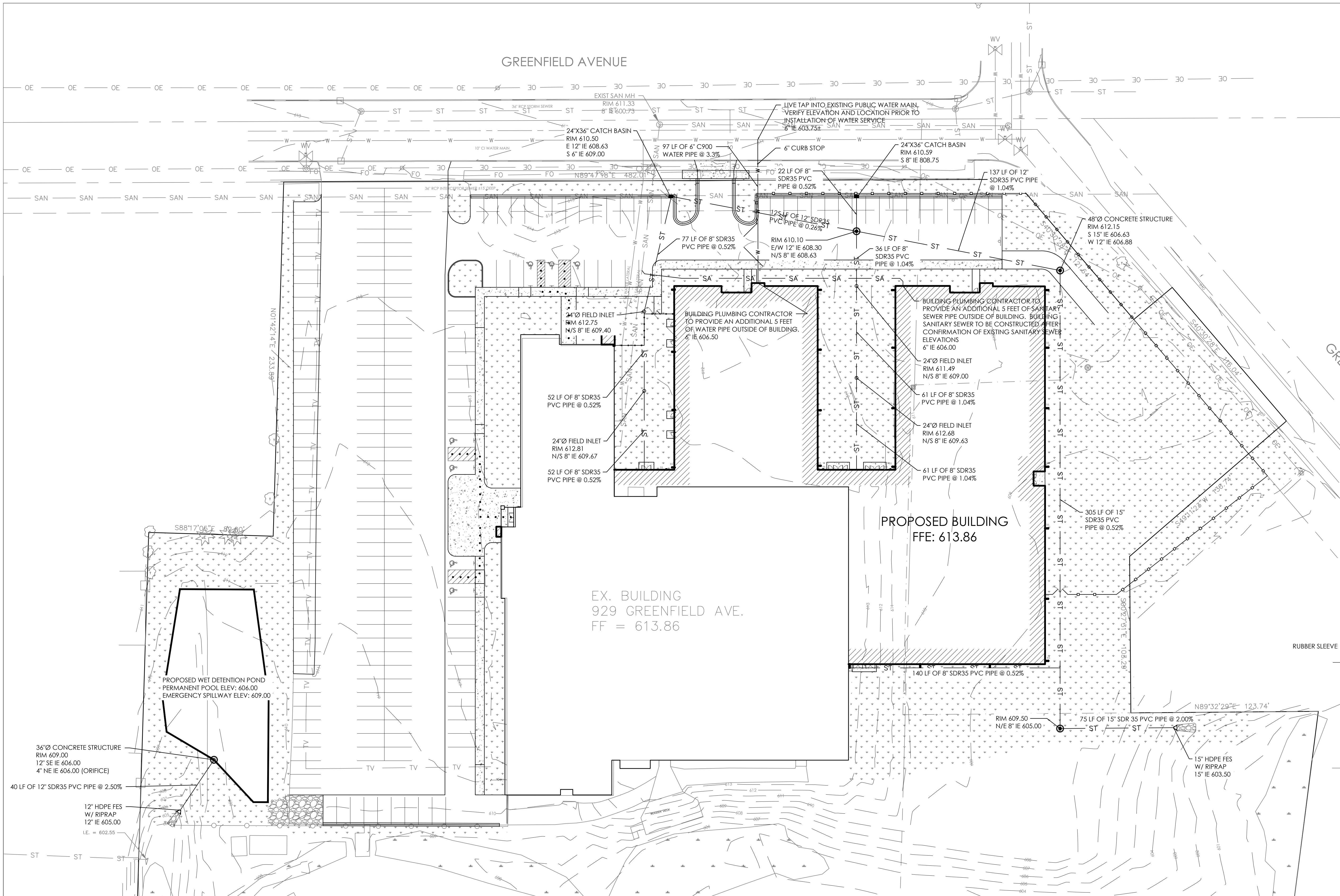
PROJ. NO. 2017-93

REVISIONS:

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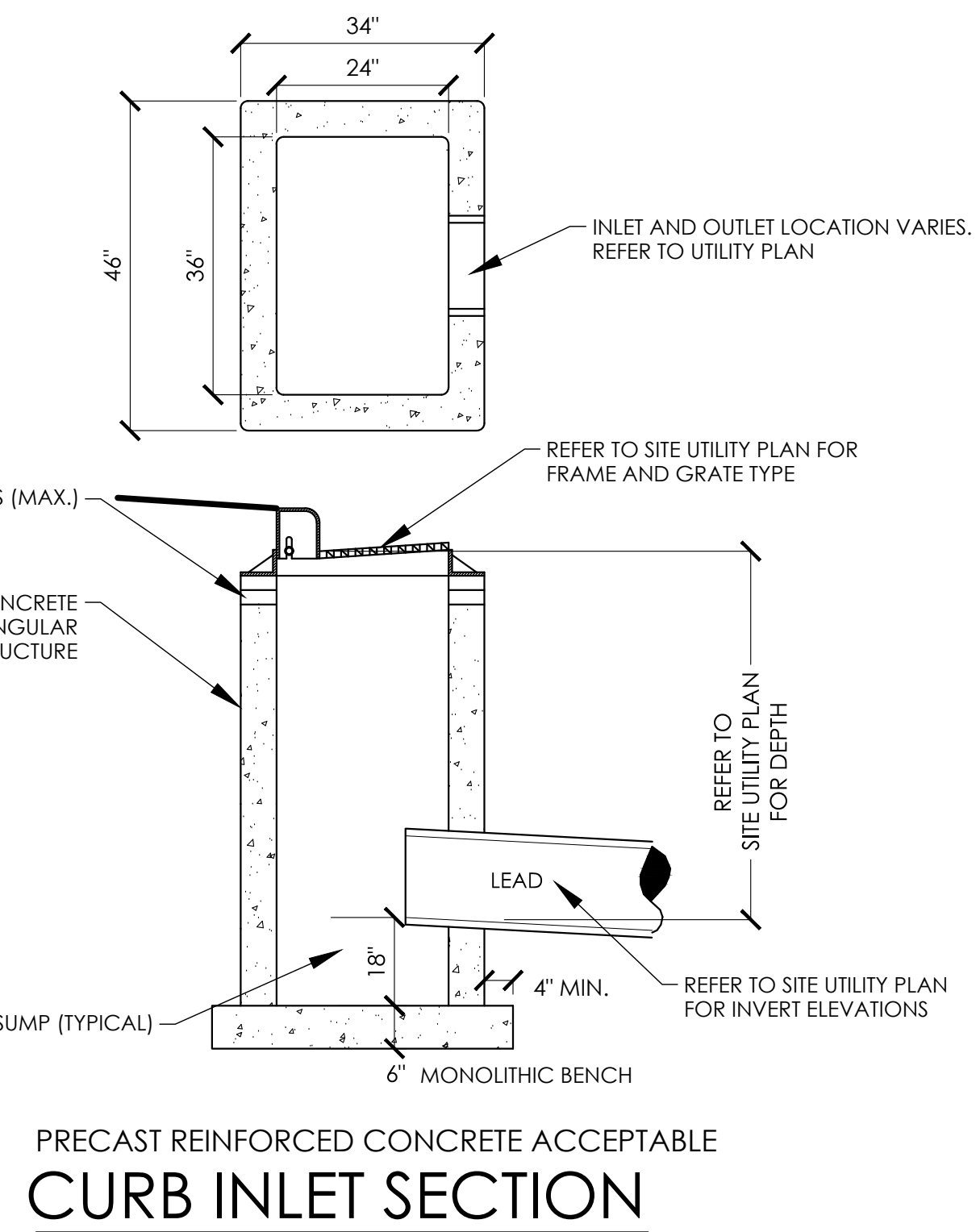
ISSUE DATE: MAY 27, 2020  
ADDITION & REMODEL  
**SHEBOYGAN CHRISTIAN SCHOOL**  
929 GREENFIELD AVE., SHEBOYGAN, WI 53081  
1135A MICHIGAN AVENUE, SHEBOYGAN, WI 53081 | 920.452.444 | 225 EAST ST. PAUL AVE., MILWAUKEE, WI 53202 (414) 837-6450



**STORM MANHOLE NOTES:**

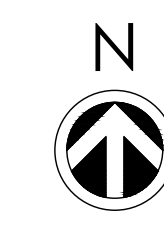
1. PRECAST ADJUSTING RINGS TO BE REINFORCED WITH ONE HOOP OF STEEL CENTERED WITH THE RING, WHERE NECESSARY. RINGS SHALL BE GROOVED TO RECEIVE STEP.
2. CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
3. 3\"/>

**STORM MANHOLE DETAIL**



**PRECAST REINFORCED CONCRETE ACCEPTABLE CURB INLET SECTION**

UTILITY PLAN  
SCALE: 1\"/>



DRAWN BY: MDW

CHECKED BY: JRV

**A**  
**204**

PROJ. NO. 2017-93

# EROSION CONTROL NOTES

- POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS). MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL COMPACTION, AND PRESERVE SOIL.
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT [http://dnr.wisconsin.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wisconsin.gov/topic/stormwater/standards/const_standards.html).
- INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE **WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057** FOR ROCK CONSTRUCTION ENTRANCE(S).
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH **WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060**.
- STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY PROTECTION FOR EROSION CONTROL PER **WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067**.
- PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE. (Rev. February 2017)
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH **WDNR TECHNICAL STANDARD DE-WATERING #1068** (Rev. February 2017).
- COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO MR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER **WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP #1063**.
- INSTALL AND MAINTAIN SILT FENCING PER **WDNR TECHNICAL STANDARD SILT FENCE #1056**. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER **WDNR TECHNICAL STANDARD DITCH CHECKS #1062**.
- INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH **WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071**.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER, IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER, STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE MUNICIPALITY. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER **WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1065**.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- COORDINATE WITH THE CONTRACTOR TO UPDATE THE DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERRIERS).
- FOR NON-CHEANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE APPROPRIATE EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDO'S WDOOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER **WDNR TECHNICAL STANDARD NON-CHEANNEL EROSION MAT #1052**.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE APPROPRIATE EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDO'S WDOOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER **WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053**.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.) OR AS DIRECTED BY THE MUNICIPALITY.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT <http://dnr.wisconsin.gov/bohr/>.

EROSION CONTROL NOTES PROVIDED BY WDNR BUREAU OF WATERSHED MANAGEMENT PROGRAM GUIDANCE #3800-2015-03

## REVISIONS:

NOTICE TO BIDDERS: BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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ISSUE DATE: MAY 27, 2020  
ADDITION & REMODEL

**SHEBOYGAN CHRISTIAN SCHOOL**  
929 GREENFIELD AVE., SHEBOYGAN, WI 53081

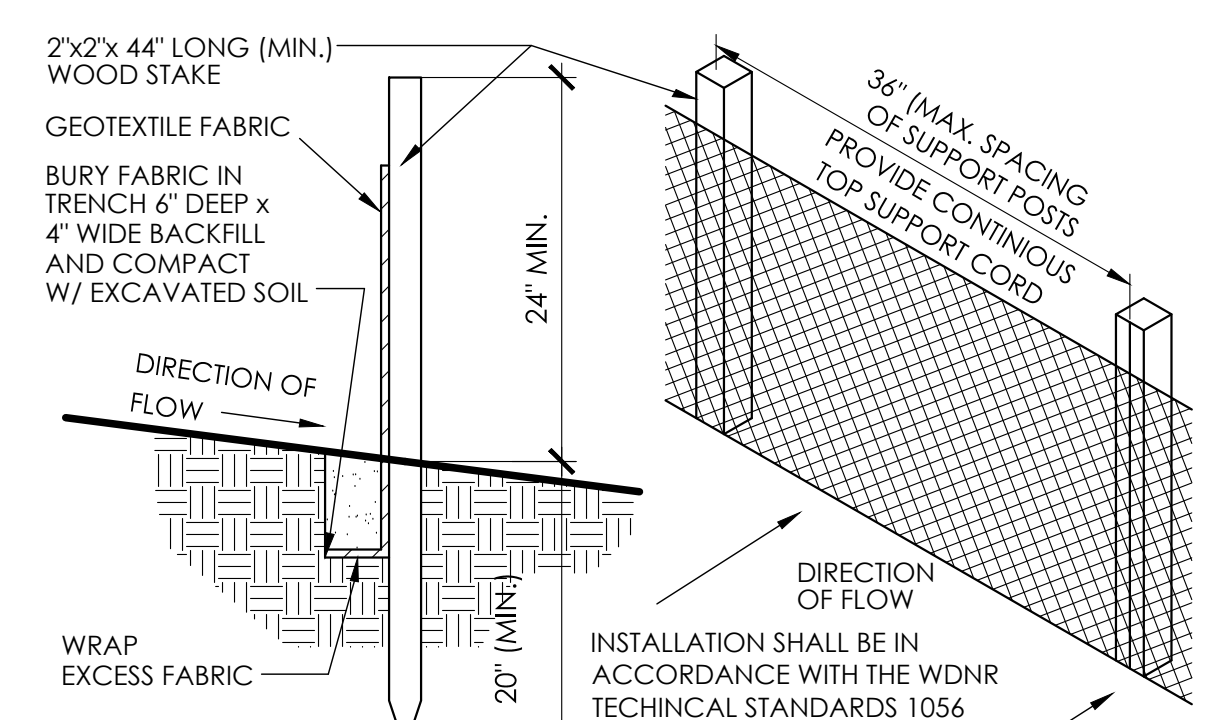
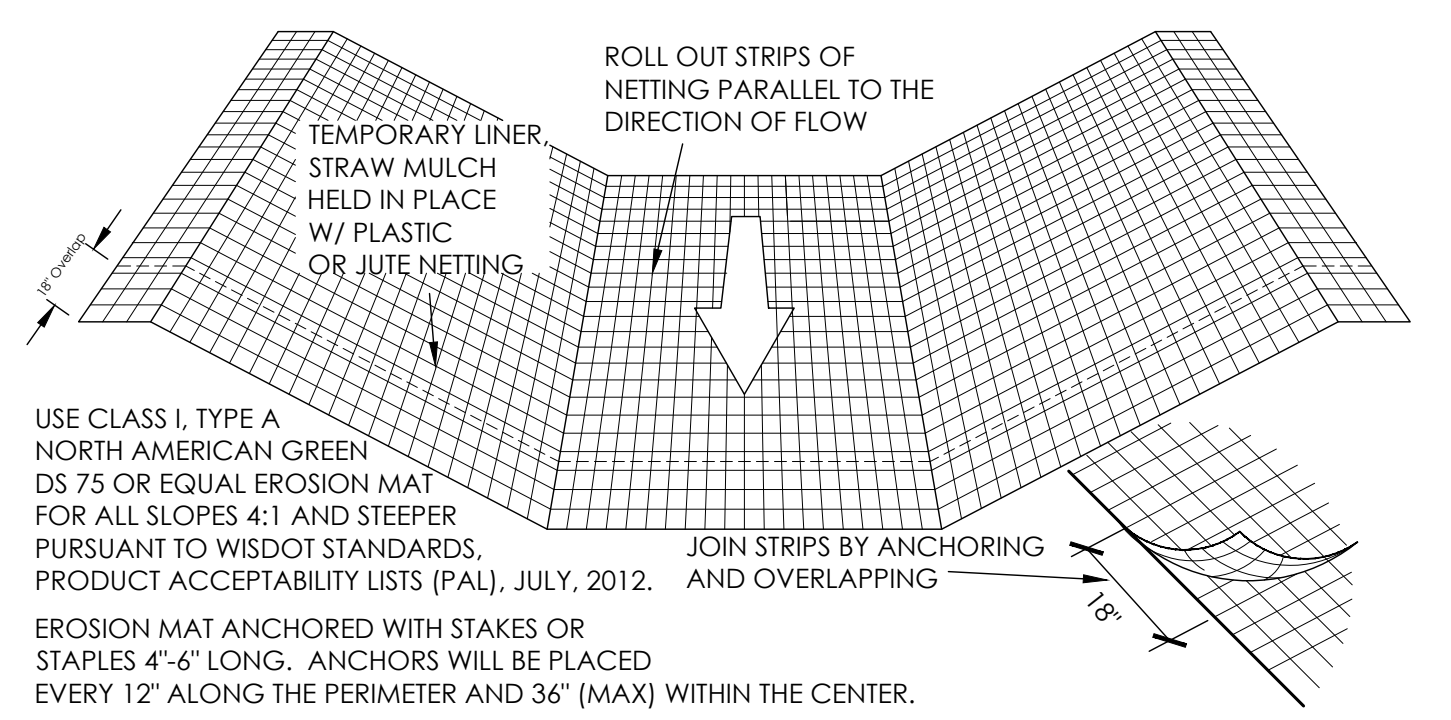
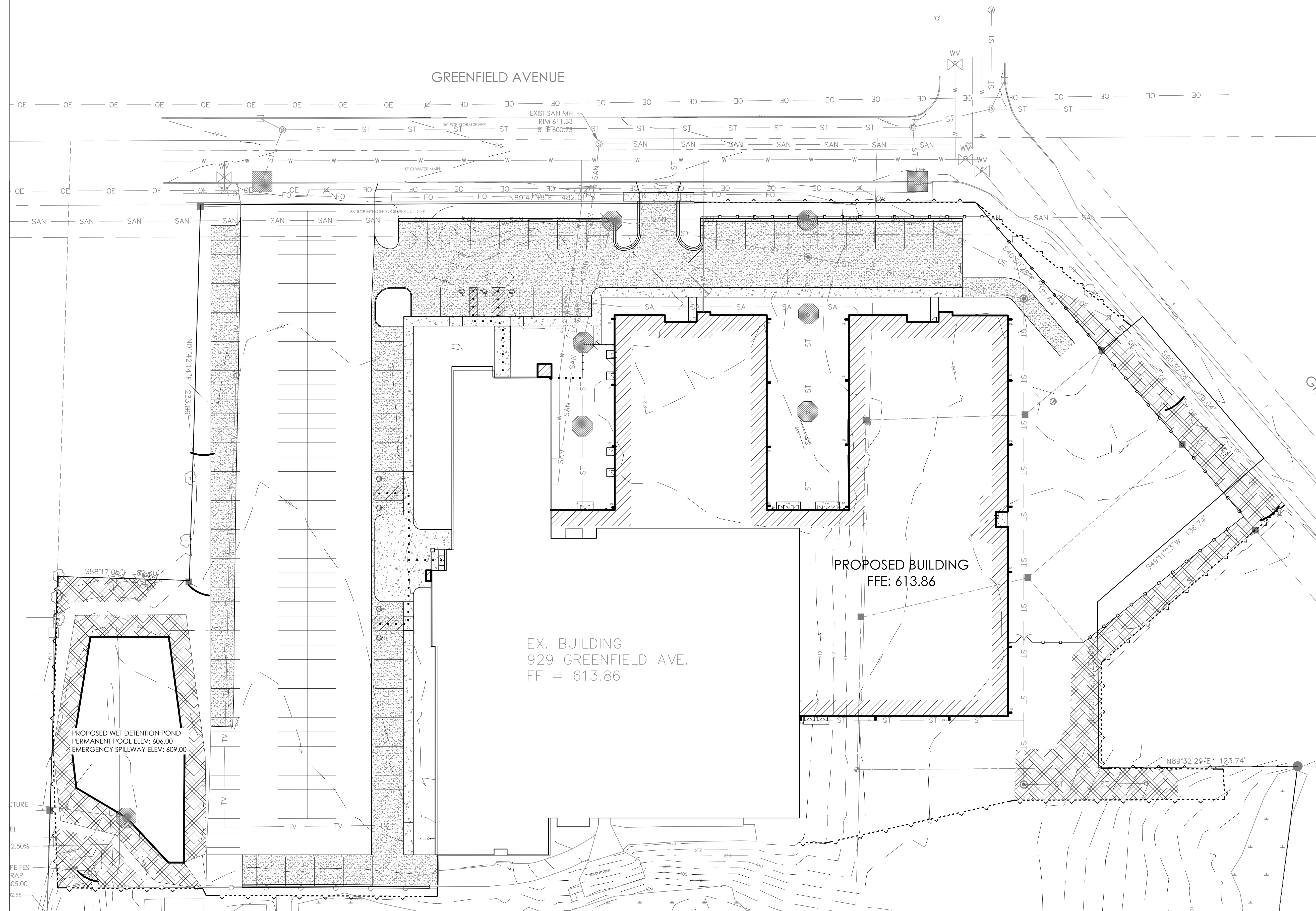
1135A MICHIGAN AVENUE, SHEBOYGAN, WI 53081 | (920) 452-4444 | 225 EAST ST. PAUL, WIS. MILWAUKEE, WI 53202 | (414) 837-6450

## CONSTRUCTION SEQUENCE

- INSTALL INLET PROTECTION AS INDICATED ON PLANS.
- INSTALL STONE TRACKING PAD AS INDICATED ON PLANS.
- CLEAR AND STRIP AREAS NECESSARY TO INSTALL SILT FENCE AS INDICATED ON PLANS.
- INSTALL SILT FENCE AS INDICATED ON PLANS.
- STRIP TOPSOIL AND GRADE SITE IN INCREMENTS APPROPRIATE TO WORK WHILE MAINTAINING EROSION CONTROL IN CONFORMANCE WITH LOCAL AND STATE GUIDELINES.
- CONTINUE SITE, BUILDING CONSTRUCTION, UTILITY INSTALLATION, AND PAVING.
- INSTALL INLET PROTECTION ON STORM INLETS WHEN THEY ARE INSTALLED.
- WHEN THE ENTIRE SITE HAS ESTABLISHED VEGETATION AND IS NO LONGER SUSCEPTIBLE TO EROSION: REMOVE INLET PROTECTION, SILT FENCE, AND ALL OTHER TEMPORARY EROSION CONTROL BMPs.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. OCTOBER 15 THROUGH COLD WEATHER, STABILIZE WITH A POLYMER AND DORMANT SEED MIX, APPROPRIATE FOR REGION AND SOIL TYPE.

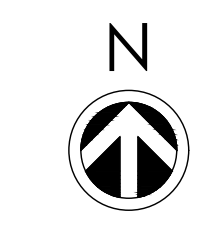
## EROSION CONTROL LEGEND

- EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4% TV. SEE DETAIL.
- PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL.
- INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL.
- INLET PROTECTION TO BE INSTALLED AFTER INSTALLATION OF PROPOSED STORM SEWER INLETS. SEE DETAIL.
- SILT SOCK DITCH CHECK



## EROSION CONTROL PLAN

SCALE: 1"=30'



DRAWN BY: MDW

CHECKED BY: JRV

**A**  
**205**

PROJ. NO. 2017-93





CHRISTIAN  
HIGH SCHOOL

929

 SHEBOYGAN  
CHRISTIAN  
SCHOOL

DISABLED  
PERSONS  
PARKING  
ONLY  


33





**PARKING**

**Guest Parking**

**Guest Parking**







**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Addition and exterior remodel of Sheboygan Christian School at 929 Greenfield Avenue. Screening of Mechanicals.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** July 9, 2021

**MEETING DATE:** July 13, 2021

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**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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Wisconsin Statutes: N/A  
Municipal Code: N/A

**BACKGROUND / ANALYSIS:**

On behalf of Sheboygan Christian School Association, we are requesting that the Architectural Review Board reconsider the requirement of rooftop unit screenings for the additions and renovations at 929 Greenfield Avenue. The association has embarked on a 6.9 million dollar project that will improve the property, provide better aesthetics within the city, and will increase the property value for the neighborhood. As a private, nonprofit organization, which is fundraising these improvements, we would like to propose an alternative solution to save \$50K that is needed for other improvements within the budget.

Solution #1: Paint the rooftop units to blend in with the roof.

Solution #2: Remove all stickers from the rooftop units to blend in with the roof.

We have included images of what the building looks like to passersby from the street level, showing that these units are not even particularly visible. Considering other buildings, including schools such as Wilson Elementary and Christ Child Academy, in our neighborhood that do not currently have rooftop screenings, we hope that you will seriously consider this request.

Additionally, please understand that the funds saved from this alternative solution would be used to further improve the building in more aesthetic ways that would benefit the whole community (i.e. expanding the playground to be shared with the neighborhood).

**STAFF COMMENTS:**

The Paul Mentink from Abacus Architects reached out to staff when the mechanicals were installed. Staff did a site inspection and the site inspection revealed the mechanicals were very visible. Based on that site inspection, staff informed the applicant that the mechanicals

needed to be screened. Subsequent to that discussion, a SCS representative reached out to me to further discuss the issue. Staff informed the representative that this matter was discussed at the architectural review board meeting and the architect indicated the HVAC plan had not been completed and they did not know the size or location of the mechanicals to be installed. The board informed the architect and the SCS representative of the rooftop mechanical concerns and the applicant's acknowledged this concern.

The representative asked what else they might be able to do. Staff informed the representative that SCS could submit a letter and information to the board trying to justify why these mechanicals should not be screened and that is why we are discussing this today.

**ACTION REQUESTED:**

As you can see per the photos and plans, the rooftop mechanicals are quite visible. Staff recommends that the SCS come up with an acceptable plan to be reviewed and approved by the Architectural Review Board to properly address these rooftop units.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.



**SHEBOYGAN  
CHRISTIAN**  
S C H O O L

June 24, 2021

Dear Mayor Sorrenson and Mr. Sokolowski,

On behalf of Sheboygan Christian School Association, we are requesting that the Architectural Review Board reconsider the requirement of rooftop unit screenings for the additions and renovations at 929 Greenfield Avenue. The association has embarked on a 6.9 million dollar project that will improve the property, provide better aesthetics within the city, and will increase the property value for the neighborhood. As a private, nonprofit organization, which is fundraising these improvements, we would like to propose an alternative solution to save \$50K that is needed for other improvements within the budget.

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If you have any questions, please do not hesitate to contact us. If permissible, we would like this request to be considered at the July 12 meeting. We would be happy to attend the meeting to answer any questions.

Sincerely,

Eric Otte, SCS Steering Committee Chair  
Ann Steenwyk, Director of Academics and Instruction  
Rudi Gesch, Director of Marketing and Enrollment

**GENERAL ROOF NOTES**

- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT, CRICKETS & SADDLES. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FSR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.
- TAPERED INSULATION SLOPE TO BE 1/8" PER 1'-0" MINIMUM.

**ROOF SYMBOLS**

- TAPERED INSULATION ROOF DRAINAGE  
THERMOPLASTIC SINGLE FLY MEMBRANE  
TAPERED EPS INSULATION OVER  
3" POLYISOCYANURATE INSULATION OVER  
1 1/2" METAL DECK OVER  
FLAT STRUCTURE  
(SEE ROOF PLAN FOR  
TAPERED INSULATION THICKNESS)
- EXISTING MEMBRANE ROOFING ASSEMBLY  
EXISTING MEMBRANE ROOFING OVER EXISTING  
INSULATION OVER EXISTING METAL DECK ON  
EXISTING ROOF STRUCTURE
- SLOPED STRUCTURE ROOF DRAINAGE  
STANDING SEAM ROOFING PANELS OVER 4" BATT  
INSULATION BETWEEN THERMAL BLOCKS OVER  
9 1/2" STEEL 2-PURLINS AND BATT INSULATION OVER  
SLOPED METAL BUILDING FRAMES.
- SLOPED STRUCTURE ROOF DRAINAGE  
THERMOPLASTIC SINGLE FLY MEMBRANE  
OVER 4 1/2" POLYISOCYANURATE INSULATION  
OVER 1 1/2" METAL DECK OVER SLOPED METAL  
JOISTS - SEE STRUCTURAL DRAWINGS.
- SLOPED STRUCTURE ROOF DRAINAGE  
THERMOPLASTIC SINGLE FLY MEMBRANE OVER  
RIGID INSULATION BOARD AND FILLER PANELS  
OVER EXISTING METAL ROOFING PANELS AND  
METAL ROOF PURLINS ON EXISTING SLOPED METAL  
BUILDING FRAMES.
- EXISTING SLOPED STRUCTURE ROOF DRAINAGE  
EXISTING STANDING SEAM ROOFING PANELS OVER  
EXISTING METAL ROOF PURLINS OVER EXISTING  
SLOPED METAL BUILDING FRAMES.
- TAPERED INSULATION SADDLE / EDGE STRIP



**OVERALL ROOF PLAN**  
SCALE: 1/16" = 1'-0"  
N  
W E  
S

ISSUE DATE: SEPTEMBER 23, 2020  
ADDITION & REMODEL

**SHEBOYGAN CHRISTIAN SCHOOL**  
929 GREENFIELD AVE. SHEBOYGAN, WI 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 | (414) 837-6450

**CONSTRUCTION SET**

DRAWN BY: GAD  
CHECKED BY: PGM

**A**  
**701**

PROJ. NO. 2017-93





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