

**\*\*\*ATTACHMENTS\*\*\***

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Construction of new deck addition and seasonal structure at Parker Johns located at 705 Riverfront Drive.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** February 19, 2021

**MEETING DATE:** February 22, 2021

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**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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Wisconsin Statutes:  
Municipal Code: N/A

**BACKGROUND / ANALYSIS:**

Parker Johns BBQ Restaurant is proposing to construct a new deck addition and seasonal structure at 705 Riverfront Drive. The applicant states the following about the proposal:

- Parker John's BBQ & Pizza is located at 705 Riverfront Drive on Sheboygan's Riverfront. We are a full service restaurant opened seven days a week for lunch and dinner. In addition to two levels of dining, Parker John's operates a robust patio business used for food and beverage service during our normal business hours in the summer months.
- Over the past few summers we have lost seating on our lower level patio (boardwalk level) due to the higher than normal water level. This water level has caused not only a loss of business but also thousands of dollars in damage to our landscaping and patio pavers. Due to demand for outdoor dining during the summer season, we are proposing an expansion of our "lower" patio area as well as bringing it up to the existing deck level to prevent future closures and damage to our property.
- The expectation would be for the patio to be operational by May 1st and run until weather permits, which is typically sometime in October. The patio will be managed as an extension of our existing business as it has been the past four (4) years. Our intention is to serve alcohol on the expanded patio area. We are aware we will need to request a modification to our existing liquor license to make that legal. We feel that this will not have an adverse effect on any adjacent properties. We will operate as we have been for years, simply in a large space that is elevated off the boardwalk.
- The proposed development consists of an outdoor raised wood deck to be constructed as an extension of the current wood deck located on the east side of the original building

(abutting the current Sheboygan River boardwalk). The proposed wood deck would extend south adjacent to the Sheboygan River boardwalk completely within the confines of Parker John's current Ground Lease.

- The proposed deck elevation will match the current restaurant floor elevation which has been set 2-feet above the current 100-year flood elevation. This will have the proposed deck set approximately 3-feet higher than the current boardwalk elevation.
- We are proposing an additional seasonal storage structure constructed atop the deck and connected to the northwest corner of the existing building. The building addition will incorporate a shed roof matching the roof slope of the adjacent building. It will be attached to the existing building but will not directly access the current restaurant building.
- The new seasonal structure will serve the following functions: Employee point of sales (POS) station, soda station, hand wash sinks and storage area for carry out boxes, napkins, etc. This area would also keep the bus tubs of dirty dishes, used glassware etc. out of the eye of our guest.
- A single 5-foot wide concrete walk is being proposed along the south wall of the existing building from the existing service entry on the south side to the west side of the proposed outdoor deck. Because the proposed deck and existing restaurant first floor elevation will match, the walk will be 'flat' between the service door and outdoor deck.

The applicant states the following about the existing building and the proposed deck and seasonal structure:

- The existing building consists of untreated cedar siding left to fade gray with a 4" lap. The roofing is dimensional Asphalt shingles. The existing decking consists of Cedar Tone treated 2x6 left natural to fade. The existing deck posts are green treated and wrapped with cedar from the deck the top of the railing also left to fade. The top of the railing is a cedar 2x6 which is untreated as well. Below the top rail is black metal railing that sets into the wood posts. Nothing on the existing building and deck has been stained and was left to Fade to a Gray color. The new deck will match with materials and colors which will eventually fade to match in color.
- The seasonal structure is located against the existing building which will extend the existing wall eight (8) feet to the east and return back to the north to the building eight (8) feet. The storage will be 64sf (8 x 8). The framing will be 2x4 treated lumber. The exterior and interior walls will have cedar siding to match the existing building siding. The roofing will also match the dimensional asphalt shingles in color and shape on the existing building. The roof will be sloped to the deck matching existing roof shape/pitch. Gutters will be continued from the existing gutters. The door will be a sliding barn door wrapped in cedar.
- The new deck foundation will be a 10inch thick, two feet wide footing with the top of footing at existing grade at the lowest point in each run. A six (6) inch wide concrete wall will sit on the footing with treated 2x6 anchored to the wall. The 2x12 treated deck joist will sit directly on the 2x6. The deck will not have treated post going into the ground. The decking will be Cedar Tone treated 2x6 left as is to fade. The lattice will also be Cedar

Tone treated made on site with 2x2 material and will simulate standard lattice but much stronger. The lattice will not be diamond shaped. We will run horizontals and verticals and make squares. The railing below the top rail will be black metal with .5 inch by .5 inch metal spindles to match the existing deck railing. The deck permanent seating will be wrapped with cedar except the back rest and seat. We will use a composite decking gray in color which will match the fading colors once they fade.

- The idea of colors and materials it to match existing which is all left natural to fade to a gray color. All materials will be cedar and Cedar Tone treated except the framing that can't be seen. The metal portion of the railing will be painted black to match the existing metal railing.

**STAFF COMMENTS:**

Staff would just like the board to verify that the proposal matches and maintains the overall look and feel of the existing Parker Joh's Riverfront Shanty.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

# CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

**FEE \$100.00**

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

## 1. APPLICANT INFORMATION

APPLICANT: Quasius Construction, Inc  
ADDRESS: 1202A Norht 8th Street, Sheboygan, WI 53081  
E-MAIL ADDRESS: rguentner@quasius.com  
PHONE: ( 920 ) 457-5585 FAX NO.: ( 920 ) 457-1045

## 2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Parker John's BBQ rESTAURANT  
ADDRESS OF PROPERTY AFFECTED: 705 Riverfront Drive, Sheboygan  
NEW BUIILDING: \_\_\_\_\_ ADDITION:  REMODELING: \_\_\_\_\_  
DESCRIPTION OF PROPOSED PROJECT: Exterior Deck Expansion

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
Treated lumber framing and decking with a combination of wood and metal railings.

\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
Deck expansion will match existing deck. Adding Lattice to new and existing deck.

\_\_\_\_\_

**3. NAMES AND ADDRESSES**

**OWNER OF SITE:** Parker John's, Viand Hospitality

**ADDRESS:** 705 Riverfront Drive, Sheboygan, WI 5301

**EMAIL:** aaronandjennifer@viandhospitality.com

**PHONE:** ( 920 ) 565-3303 **FAX NO.:** ( )

**ARCHITECT:** Integrated Structural Engineering LLC

**ADDRESS:** 7700 Hill N Dale Ct, Cedarburg, WI 53012

**EMAIL ADDRESS:** pete@ise-llc.net

**PHONE:** ( 920 ) 470-3119 **FAX NO.:** ( )

**CONTRACTOR:** Quasius Construction

**ADDRESS:** 1202A North 8th Street, Sheboygan, WI 53081

**EMAIL:** rguentner@quasius.com

**PHONE:** ( 920 ) 457-5585 **FAX NO.:** ( )

**4. APPLICATION SUBMITTAL REQUIREMENTS**

A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.

B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

**C. A .pdf file of all drawings either by email or CD**

D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.

E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

**5. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

\_\_\_\_\_  
APPLICANT'S SIGNATURE

Ryan Guentner

\_\_\_\_\_  
PRINT ABOVE NAME

1/1/2021  
DATE

## SITE NARRATIVE - CONDITIONAL USE APPLICATION

December 22, 2020

### PROJECT NAME AND ADDRESS:

PROPOSED OUTDOOR RAISED WOOD DECK  
Parker John's BBQ and Pizza - Sheboygan  
705 Riverfront Drive  
Sheboygan, Wisconsin 53081

### PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is defined as tax parcel 59281109920.
- Defined as Part of Lots 5 and 6, Block 206 and vacated Virginia Avenue, in the Original Plat of the City of Sheboygan, Section 23, T. 15 North, Range 23 East, City of Sheboygan, Sheboygan County.
- The entire lot area is 14,986 square feet (0.34 acres per original Ground Lease dated February 23, 2017 and Ground Lease Amendment #1 dated September 17, 2018).

### ZONING CLASSIFICATION/ZONING REQUIREMENTS:

#### CC – Central Commercial

- Minimum Lot Area: NA
- Minimum Lot Width: 0 feet

#### Minimum Setbacks:

- Building to Front or Street Side Lot Line: 0 feet
- Building to Residential Side Lot Line: 0 feet
- Building to Residential Rear Lot Line: 20 feet
- Building to Nonresidential Side Lot Line: 0 feet
- Building to Nonresidential Rear Lot Line: 10 feet
- Maximum Building Height: 20 feet (Can exceed 20 feet w/conditional use permit)

### EXISTING SITE CONDITIONS/LAND USE:

The current 0.34 acre parcel consists of the (2) story Parker John's restaurant building constructed in 2017. The site originally included (2) separate and independent fish shanty buildings. The City of Sheboygan had the southern shanty building demolished and removed in 2010 and the north shanty building was demolished and removed in 2016. Once the site was cleared of above grade components, the site was seeded and restored and left vacant. No changes/modifications were made to the communal parking lot and driveways.

### PROPOSED LAND USE/LOT COVERAGE SITE DATA

- In 2017 the original development included a new 3,200 square foot, (2) story restaurant building constructed within the location of the original fish shanty buildings. The original building footprint matched the (2) fish shanty building roof areas and therefore didn't impact/modify the 100-floodplain elevation associated with the lot.
- The proposed development consists of an OUTDOOR RAISED WOOD DECK to be constructed as an extension of the current wood deck located on the east side of the original building (abutting the current Sheboygan River boardwalk). The proposed wood deck would extend south adjacent to the Sheboygan River boardwalk completely within the confines of Parker John's current Ground Lease and Ground Lease Amendment #1. The proposed deck elevation will match the current restaurant floor elevation which has been set 2-feet above the current 100-year flood elevation. This will have the proposed deck set approximately 3-feet higher than the current boardwalk elevation. Because the proposed deck will be constructed as a wood post and beam construction the area below the deck will maintain the current 100-year floodplain and therefore does not impact current flood storage (no further analysis required).

- There is a seasonal building structure being planned to be constructed atop the deck at the NW corner. The seasonal building structure will allow for wait staff Point of Sale equipment and soda fountain access directly adjacent to the proposed outdoor seating. The building addition will incorporate a shed roof matching the roof slope of the adjacent building. It will be attached to the existing building but will not directly access the current restaurant building.
- A single 5-foot wide concrete walk is being proposed along the south wall of the existing building from the existing service entry on the south side to the west side of the proposed outdoor deck. Because the proposed deck and existing restaurant first floor elevation will match, the walk will be 'flat' between the service door and outdoor deck.

• Original restaurant footprint	3,200 Square foot
• Original outdoor raised deck	492 Square foot
• Original outdoor patio area/ Boardwalk decking (to be removed)	1,036 square feet
• Original asphalt (to be removed)	860 square feet
• Proposed outdoor raised deck addition	1,447 square feet

Total Pre-Developed impervious area 5,588 square feet  
 Total Post developed impervious area 5,139 square feet

#### LANDSCAPE REQUIREMENTS

- Landscape plan to comply with the requirements of Section 15.6 and the subsequent point values defined. Due to the type of proposed development (outdoor restaurant seating) and its separation from the current Public Right of Way, only Building Foundation and Developed Lot criteria were calculated.

#### PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards to comply with City of Sheboygan Zoning Ordinance, Section 15-7 to ensure this development will not become a nuisance to neighboring businesses.

#### SITE LIGHTING:

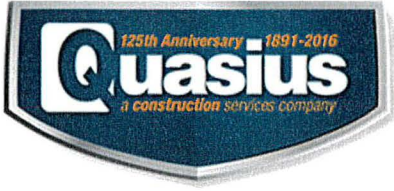
- Site lighting will be limited to perimeter lighting of the outdoor deck during business hours of operation for patrons dining.
- No pole lighting will be provided. The City of Sheboygan lighting along the current Sheboygan River boardwalk will remain in place and operational (SE corner of the proposed outdoor raised deck).

#### ARCHITECTURE:

See attached architectural elevations for both building.

#### VARIANCE REQUEST/VARIANCE DESCRIPTION:

No variances requested or required pursuant to the zoning ordinance.



To whom it may concern:

Parker John's BBQ & Pizza is located at 705 Riverfront Drive on Sheboygan's Riverfront. We are a full service restaurant opened seven days a week for lunch and dinner. In addition to two levels of dining, Parker John's operates a robust patio business during the summer months.

Over the past few summers we have lost seating on our lower level patio (boardwalk level) due to the higher than normal water level. This water level has caused not only a loss of business but also thousands of dollars in damage to our landscaping and patio pavers. Due to demand for outdoor dining during the summer season, we are proposing an expansion of our "lower" patio area as well as bringing it up to the existing deck level to prevent future closures and damage to our property.

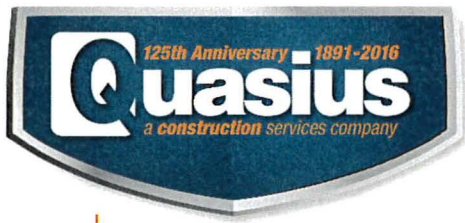
The patio will be used for food and beverage service during our normal business hours. It will operate from 11am to 9pm Monday through Saturday and 11am to 8pm on Sunday. We will continue to offer free live music on Sunday afternoons and on some holiday weekends throughout the summer months. Our live entertainment always takes place from 1pm to 4pm.

The expectation would be for the patio to be operational by May 1st and run until weather permits, which is typically sometime in October. The patio will be managed as an extension of our existing business as it has been the past four years. The patio will be lit using festoon lighting stretching from posts on the patio. Garbage will be kept at a minimum as we have staff that keeps up on the stray piece that the wind takes with it from time to time. Our intention is to serve alcohol on the expanded patio area. We are aware we will need to request a modification to our existing liquor license to make that legal. We feel that this will not have an adverse effect on any adjacent properties. We will operate as we have been for years, simply in a large space that is elevated off the boardwalk. Landscaping is being proposed and it will join what is currently existing under the upper patio.

There would be no additional signage requested for the space at this time. We are proposing an additional "storage" area to be built connected to the existing building to serve the following functions: Employee POS station, soda station, hand wash sink and storage area for carry out boxes, napkins, etc. This area would also keep the bus tubs of dirty dishes, used glassware etc out of the eye of our guest.

Feel free to reach out with any preliminary questions at (920) 286-0906 or via email at [aaronandjennifer@viandhospitality.com](mailto:aaronandjennifer@viandhospitality.com). Thank you.

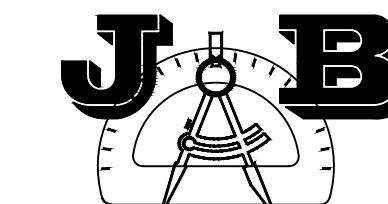
Aaron and Jennifer Sloma  
Owners-Parker John's BBQ & Pizza



Steve,

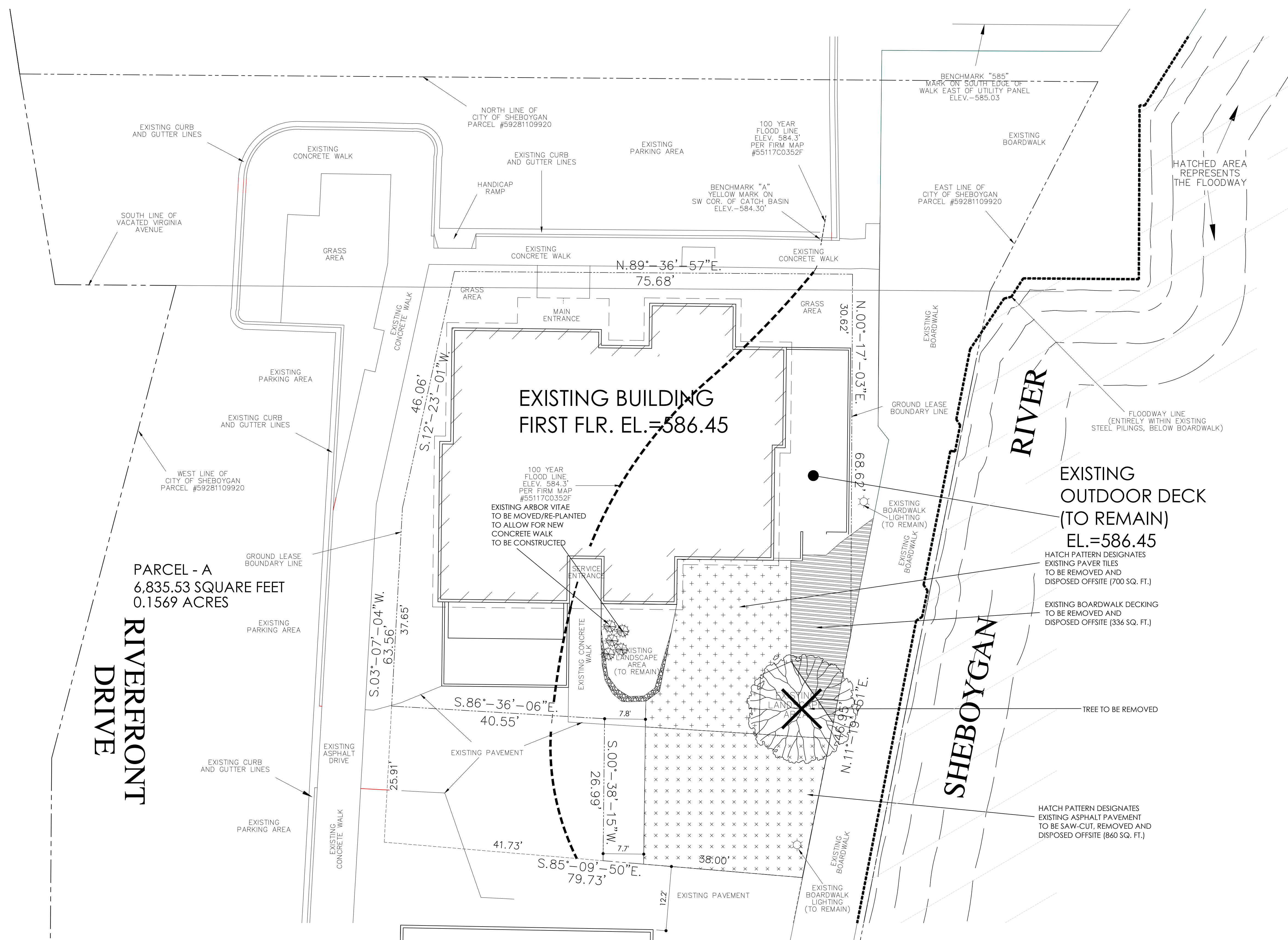
The existing building consists of untreated cedar siding left to fade gray with a 4" lap. The roofing is dimensional Asphalt shingles. The existing decking consists of Cedar Tone treated 2x6 left natural to fade. The existing deck posts are green treated and wrapped with cedar from the deck the top of the railing also left to fade. The top of the railing is a cedar 2x6 which is untreated as well. Below the top rail is black metal railing that sets into the wood posts. Nothing on the existing building and deck has been stained and was left to Fade to a Gray color. The new deck will match with materials and colors which will eventually fade to match in color.

- The seasonal structure is located against the existing building which will extend the existing wall 8' to the east and return back to the north to the building 8'. The storage will be 8'x8'. The framing will be 2x4 treated lumber. The exterior and interior walls will have cedar siding to match the existing building siding. The roofing will also match the dimensional Asphalt shingles in color and shape on the existing building. The roof will be sloped to the deck matching existing roof shape/pitch. Gutters will be continued from the existing gutters. The door will be a sliding barn door wrapped in cedar. Drawing of location attached for reference.
- The new deck foundation will be a 10" thick, 2' wide footing with the top of footing at existing grade at the lowest point in each run. 6" Wide concrete wall will sit on the footing with treated 2x6 anchored to the wall. The 2x12 treated deck joist will sit directly on the 2x6. The deck will not have treated post going into the ground. The decking will be Cedar Tone treated 2x6 left as is to fade. The Lattice will also be Cedar Tone treated made on site with 2x2 material and will simulate standard Lattice but much stronger. The lattice will not be diamond shaped. We will run horizontals and verticals and make squares. The railing below the top rail will be black metal with 1/2"x 1/2" metal spindles to match the existing deck railing. Existing pictures attached for reference. The deck permanent seating will be wrapped with cedar except the back rest and seat. We will use a composite decking gray in color which will match the fading colors once do fade.
- The idea of colors and materials it to match existing which is all left natural to fade to a gray color. All materials will be cedar and Cedar Tone treated except the framing that can't be seen. The metal portion of the railing will be painted black to match the existing metal railing.



SITE DESIGN AND ENGINEERING, LLC

PO BOX 1067  
WOODRUFF, WISCONSIN 54568  
(920) 207-8977  
jbronoski@jbsitedesign.net



NO.	REVISIONS	DATE
1	REVISION TO CHANGE OUTDOOR DECK FROM FOUNDATION WALL TO POST AND BEAM CONSTRUCTION	12/22/2020
2	REVISED SITE WORK DRAWINGS TO INCORPORATE FINAL STRUCTURAL PLAN	01/21/2021

**Issue Dates**

Revision Date

**PROPOSED OUTDOOR DECK FOR PARKER JOHNS**  
705 RIVERFRONT DRIVE  
CITY OF SHEBOYGAN, WISCONSIN

SHEET TITLE  
SITE DEMOLITION PLAN

DRAWN BY  
J.A.B.

CHECKED BY

DATE  
DECEMBER 2, 2020

PROJECT NO.  
2020-34

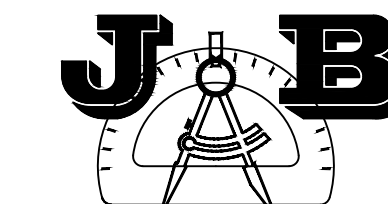
SHEET NO.

**C1**

**SITE DEMOLITION PLAN**

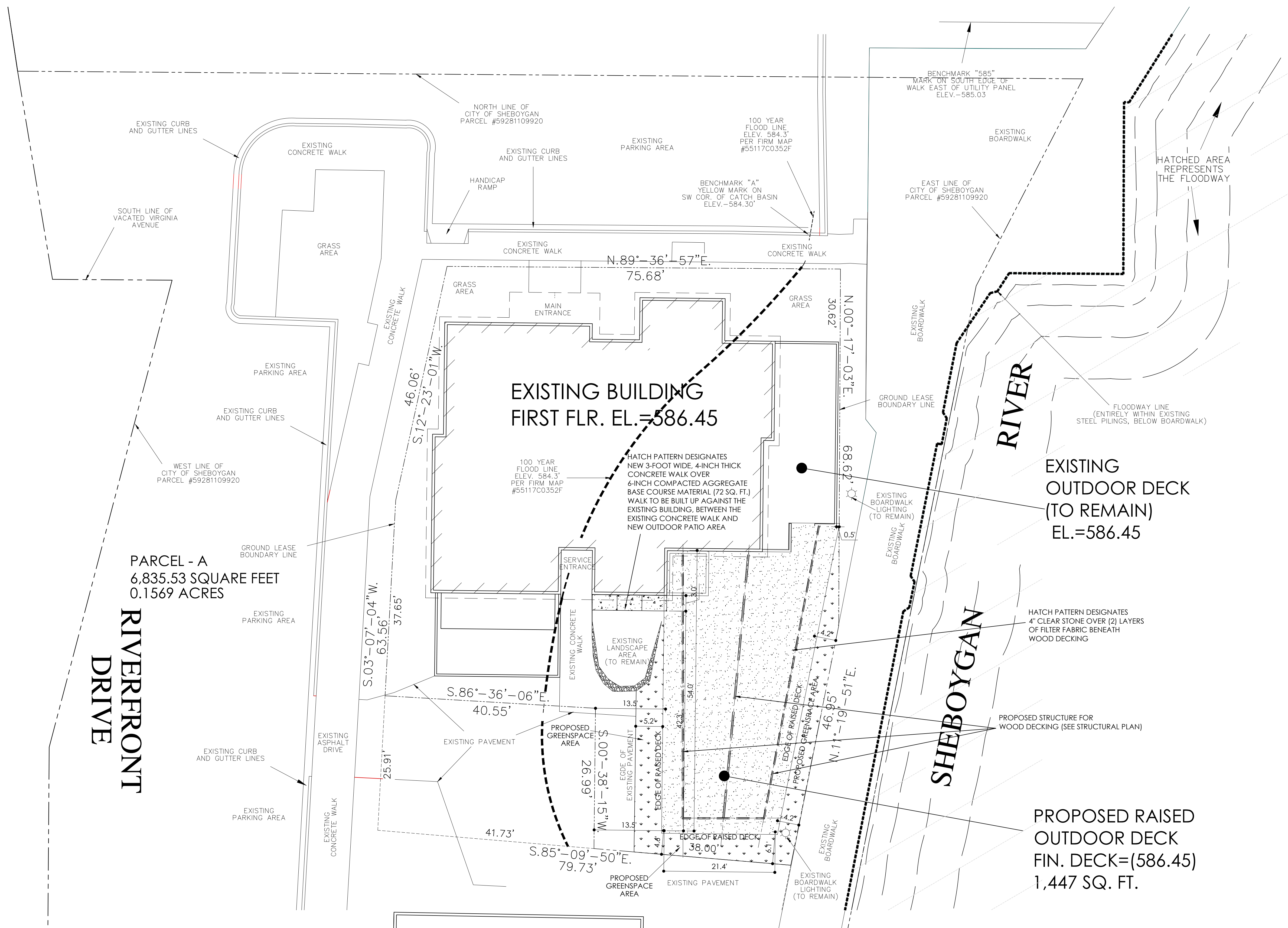
1"=10'





SITE DESIGN AND ENGINEERING, LLC

PO BOX 1067  
WOODRUFF, WISCONSIN 54568  
(920) 207-8977  
jbronoski@jbsitedesign.net



PARCEL - A  
6,835.53 SQUARE FEET  
0.1569 ACRES

RIVERFRONT  
DRIVE

RIVER

SHEBOYGAN

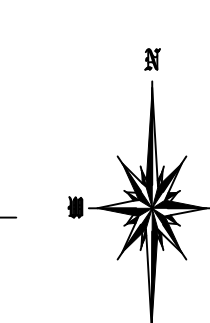
EXISTING BUILDING  
FIRST FLR. EL.=586.45

EXISTING  
OUTDOOR DECK  
(TO REMAIN)  
EL.=586.45

PROPOSED RAISED  
OUTDOOR DECK  
FIN. DECK=(586.45)  
1,447 SQ. FT.

SITE PLAN

1"=10'



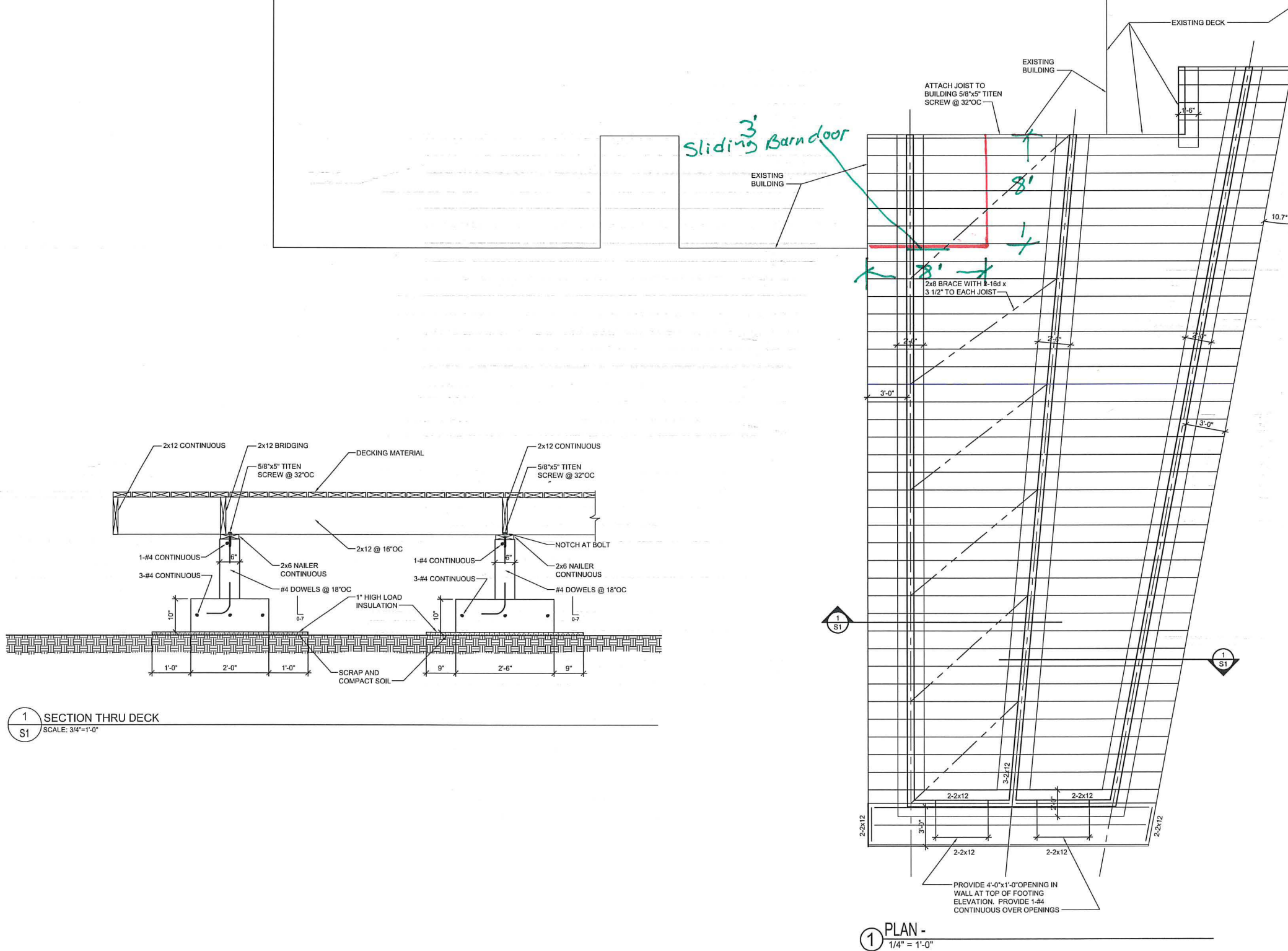
REVISION TO CHANGE OUTDOOR DECK FROM FOUNDATION WALL TO POST AND BEAM CONSTRUCTION	12/22/2020		
REVISED SITE WORK DRAWINGS TO INCORPORATE FINAL STRUCTURAL PLAN	01/21/2021		
NO. REVISIONS			DATE
<b>Issue Dates</b>			
Revision	Date		
<b>PROPOSED OUTDOOR DECK FOR PARKER JOHNS</b>			
705 RIVERFRONT DRIVE CITY OF SHEBOYGAN, WISCONSIN			
SHEET TITLE SITE PLAN			
DRAWN BY J.A.B.			
CHECKED BY			
DATE DECEMBER 2, 2020			
PROJECT NO. 2020-34			
SHEET NO. <b>C2</b>			

DESIGN LOADS

DECK LOAD DESIGN DATA:  
 DEAD LOAD \_\_\_\_\_ 15 PSF  
 LIVE \_\_\_\_\_ 100 PSF

DESIGN STRESSES

CAST IN PLACE CONCRETE (28 DAY COMPRESSIVE STRENGTH)  
 FOOTINGS  $f_c = 3,000$  PSI  
 WALLS AND PIERS  $f_c = 4,000$  PSI  
 ALL CONCRETE TO CONTAIN 6% AIR ENTRAINMENT  
 CONCRETE REINFORCEMENT  
 FIELD BENT BARS  $F_y = 40,000$  PSI  
 ALL OTHER  $F_y = 60,000$  PSI  
 WOOD EXTERIOR USE, PRESSURE TREATED  
 SOUTHERN PINE No. 1 No. 2  
 $F_b = 875$  PSI  $F_{vH} = 135$  PSI  $F_{cH} = 1150$  PSI  $F_{cL} = 425$  PSI  $E = 1,700,000$  PSI  
 TIMBERS (6x6 AND LARGER): SOUTHERN PINE No. 2  
 $F_b = 850$  PSI  $F_{vH} = 165$  PSI  $F_{cH} = 525$  PSI  $F_{cL} = 440$  PSI  $E = 1,200,000$  PSI



1 SECTION THRU DECK  
 S1 SCALE: 3/4" = 1'-0"

1 PLAN -  
 1/4" = 1'-0"

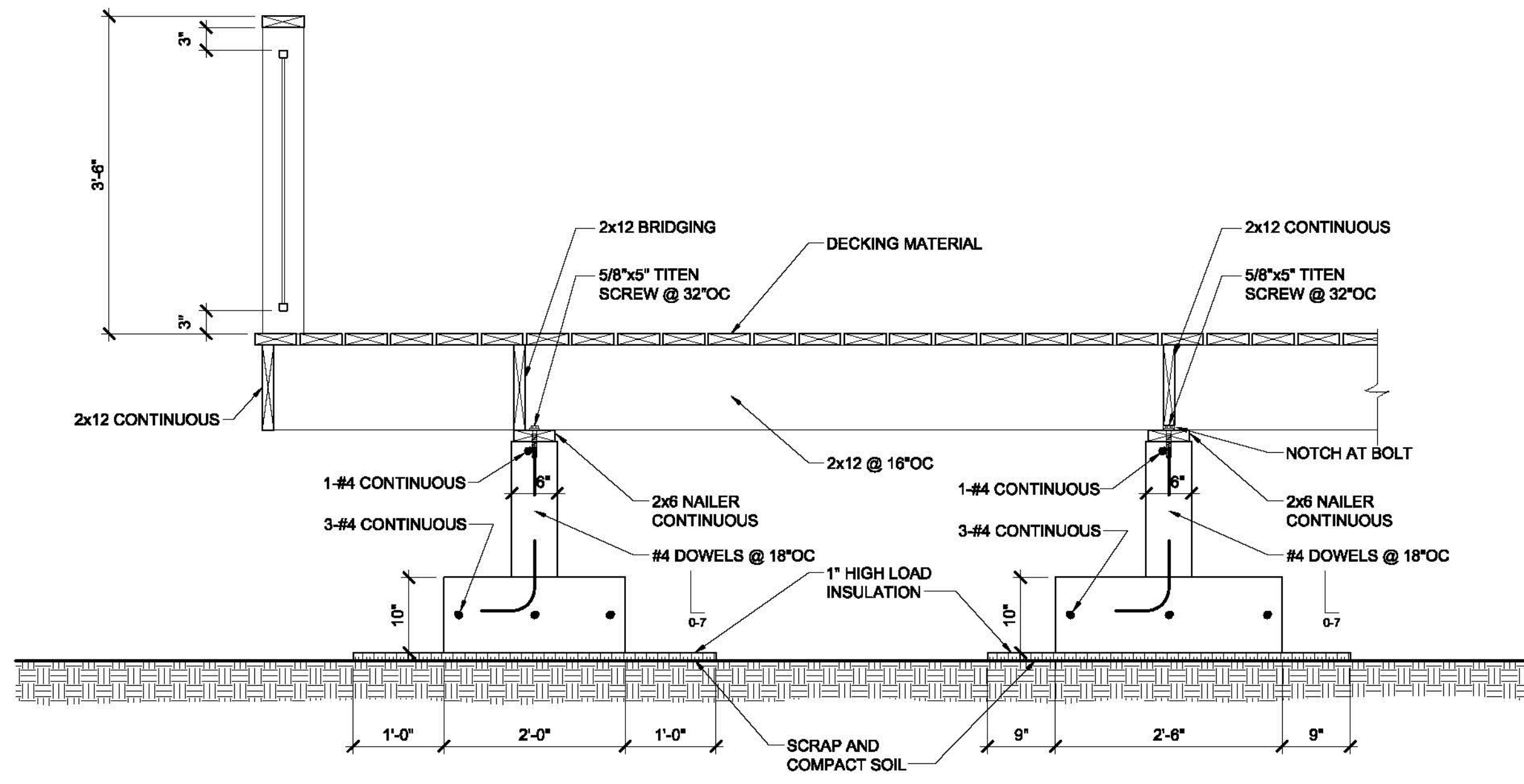


ISSUE NO	REVISIONS	ISSUE DATE

PARKER JOHN'S  
 DECK ADDITION  
 SHEBOYGAN, WI

Project number XXXX  
 Date January 15, 2021  
 Drawn by XX  
 Checked by XX

S1



6 SECTION THRU DECK  
1 SCALE: 3/4"=1'-0"

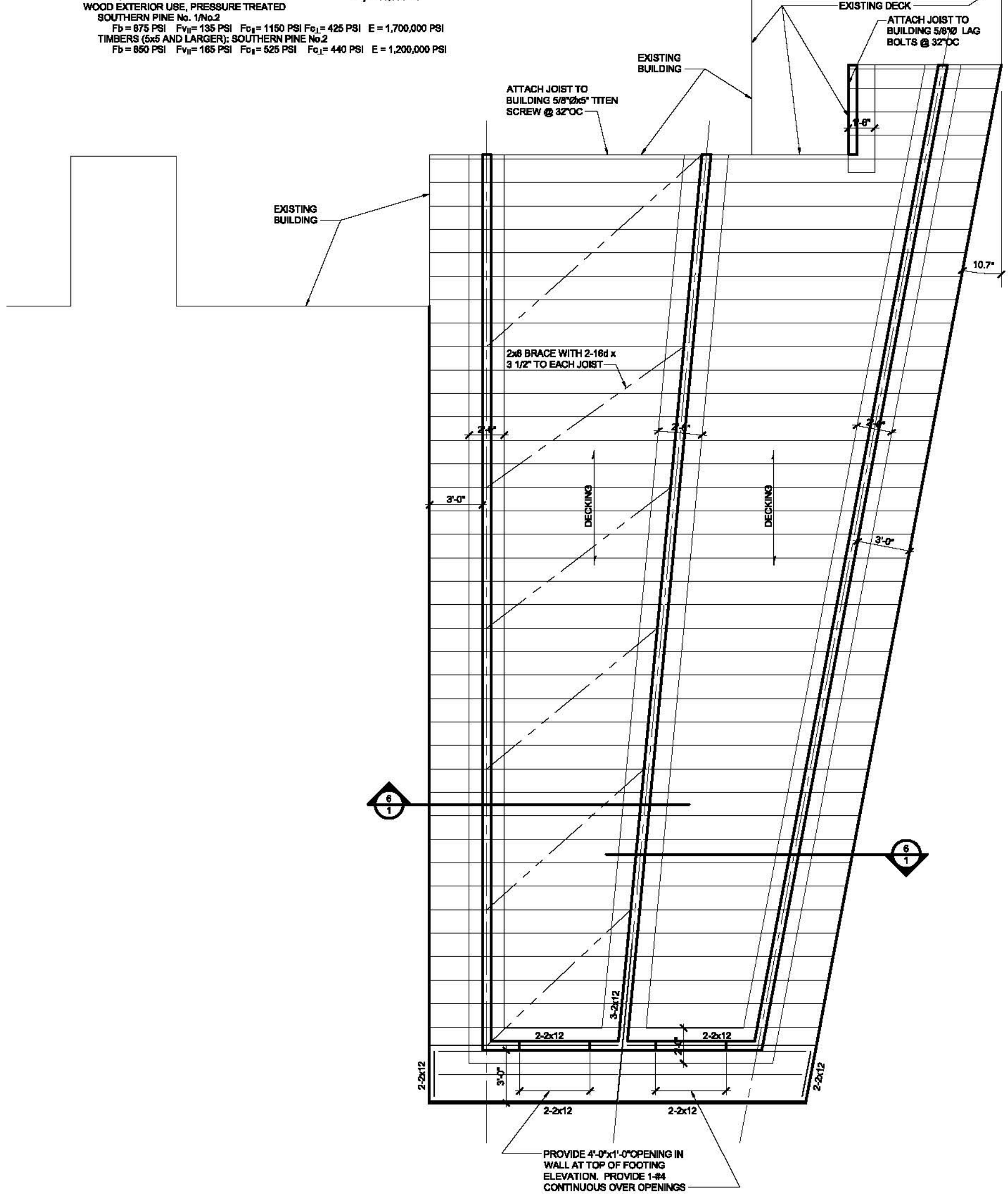
**DESIGN LOADS**

DECK LOAD DESIGN DATA:  
DEAD LOAD: 15 PSF  
LIVE: 100 PSF

**DESIGN STRESSES**

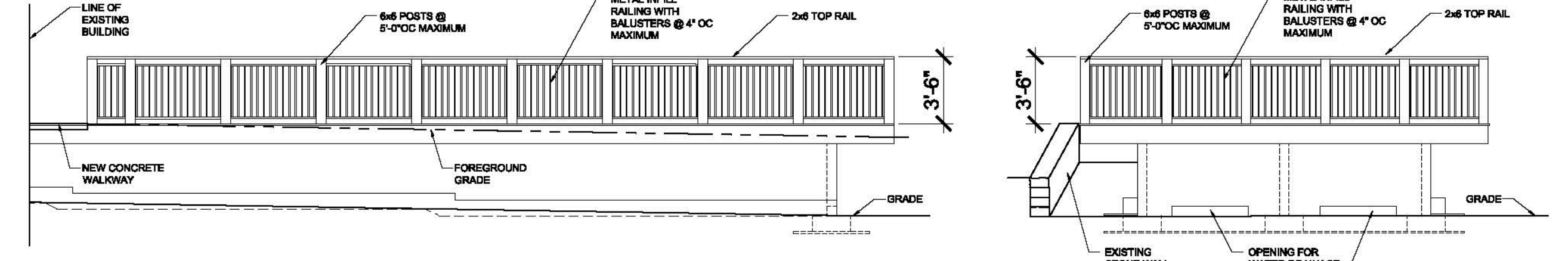
CAST IN PLACE CONCRETE (28 DAY COMPRESSIVE STRENGTH):  
FOOTINGS:  $f'_c = 3,000$  PSI  
WALLS AND PIERS:  $f'_c = 4,000$  PSI  
ALL CONCRETE TO CONTAIN 5% AIR ENTRAINMENT  
CONCRETE REINFORCEMENT:  
FIELD BENT BARS:  $F_y = 60,000$  PSI  
ALL OTHERS:  $F_y = 65,000$  PSI

WOOD EXTERIOR USE, PRESSURE TREATED  
SOUTHERN PINE No. 1:  
 $F_b = 875$  PSI  $F_{v1} = 135$  PSI  $F_{v2} = 1150$  PSI  $F_{c1} = 425$  PSI  $E = 1,700,000$  PSI  
TIMBERS 6&6 AND LARGER SOUTHERN PINE No. 2:  
 $F_b = 850$  PSI  $F_{v1} = 165$  PSI  $F_{v2} = 525$  PSI  $F_{c1} = 440$  PSI  $E = 1,200,000$  PSI



2 DECK FRAMING PLAN  
1 SCALE: 3/16"=1'-0"

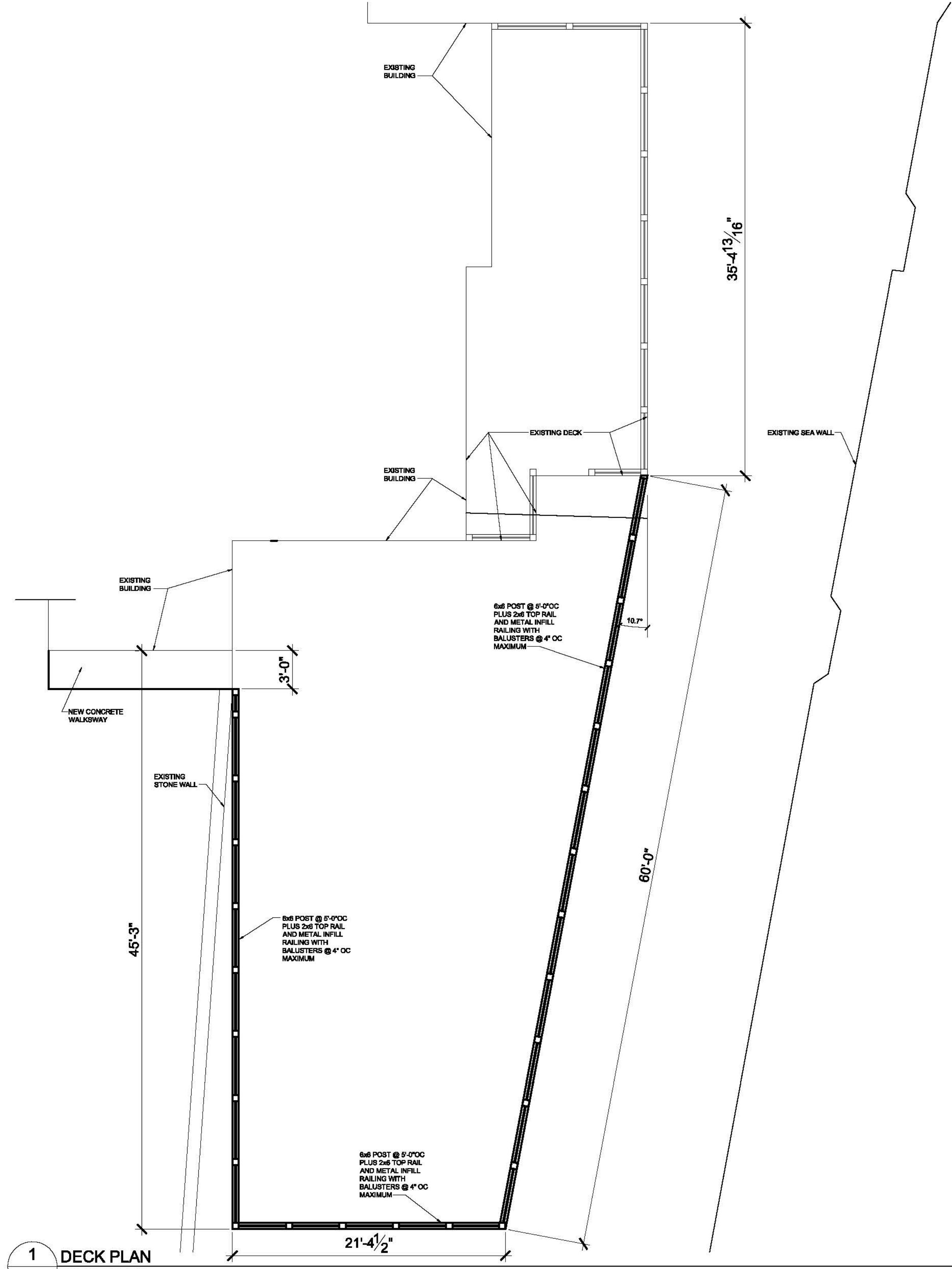
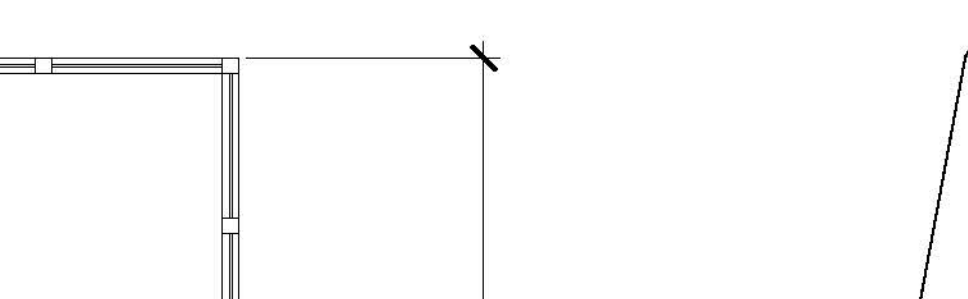
5 DECK EAST ELEVATION  
1 SCALE: 3/16"=1'-0"



4 DECK WEST ELEVATION  
1 SCALE: 3/16"=1'-0"



3 DECK SOUTH ELEVATION  
1 SCALE: 3/16"=1'-0"



1 DECK PLAN  
1 SCALE: 3/16"=1'-0"

ISSUE DATE	ISSUE NO	REVISIONS

PARKER JOHN'S  
DECK ADDITION  
SHEBOYGAN, WI

Project number: XXXX  
Date: January 20, 2021  
Drawn by: XX  
Checked by: XX

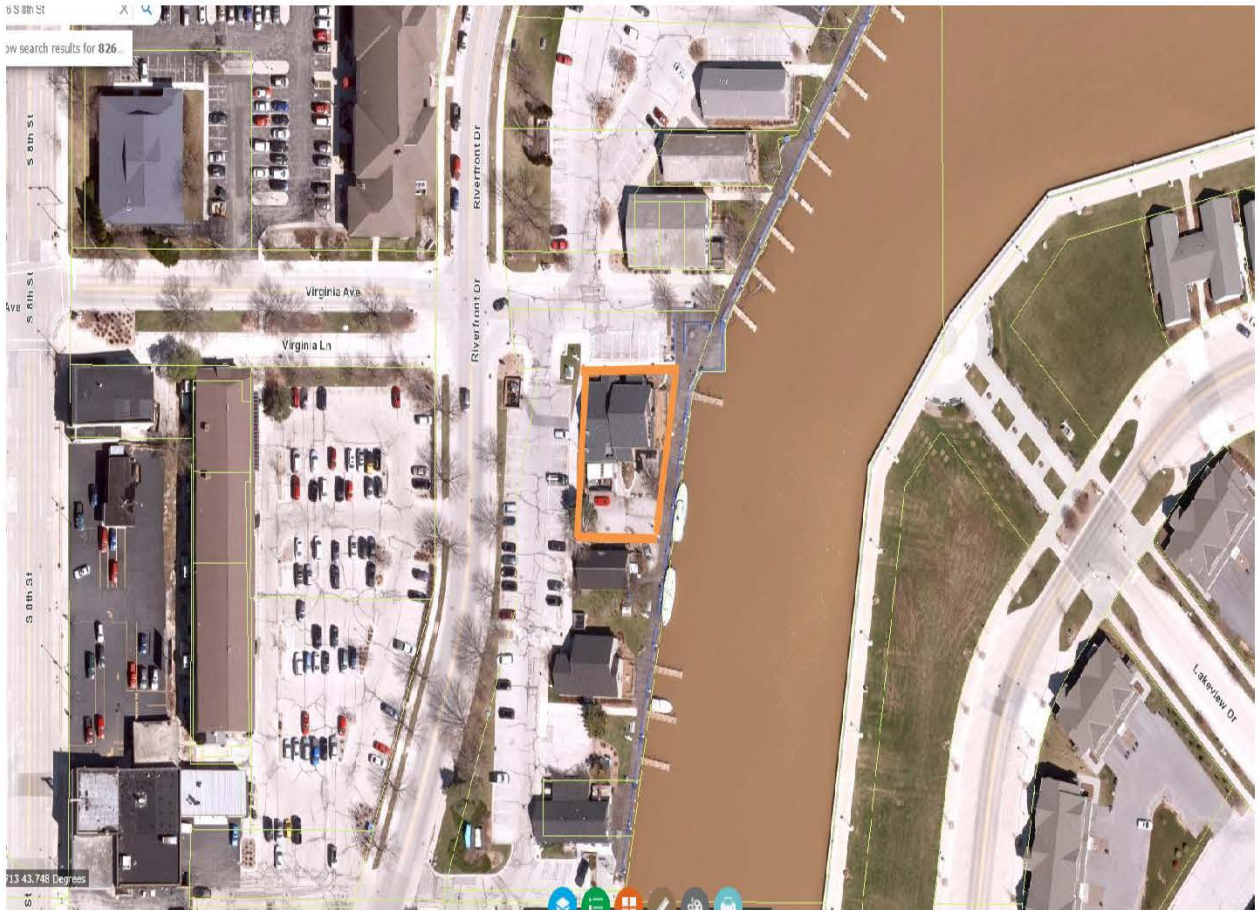
1











705 F Sheb  
705 Riverfront Dr  
Sheboygan, WI 53081  
43.75°N, 87.71°W  
OUTH PIER









# Parker John's BBQ & PIZZA Sheboygan, Wisconsin

General Contractor  
**Charles Carpentry LLC**  
W6613 County Line Road  
Elkhart Lake, WI 53020

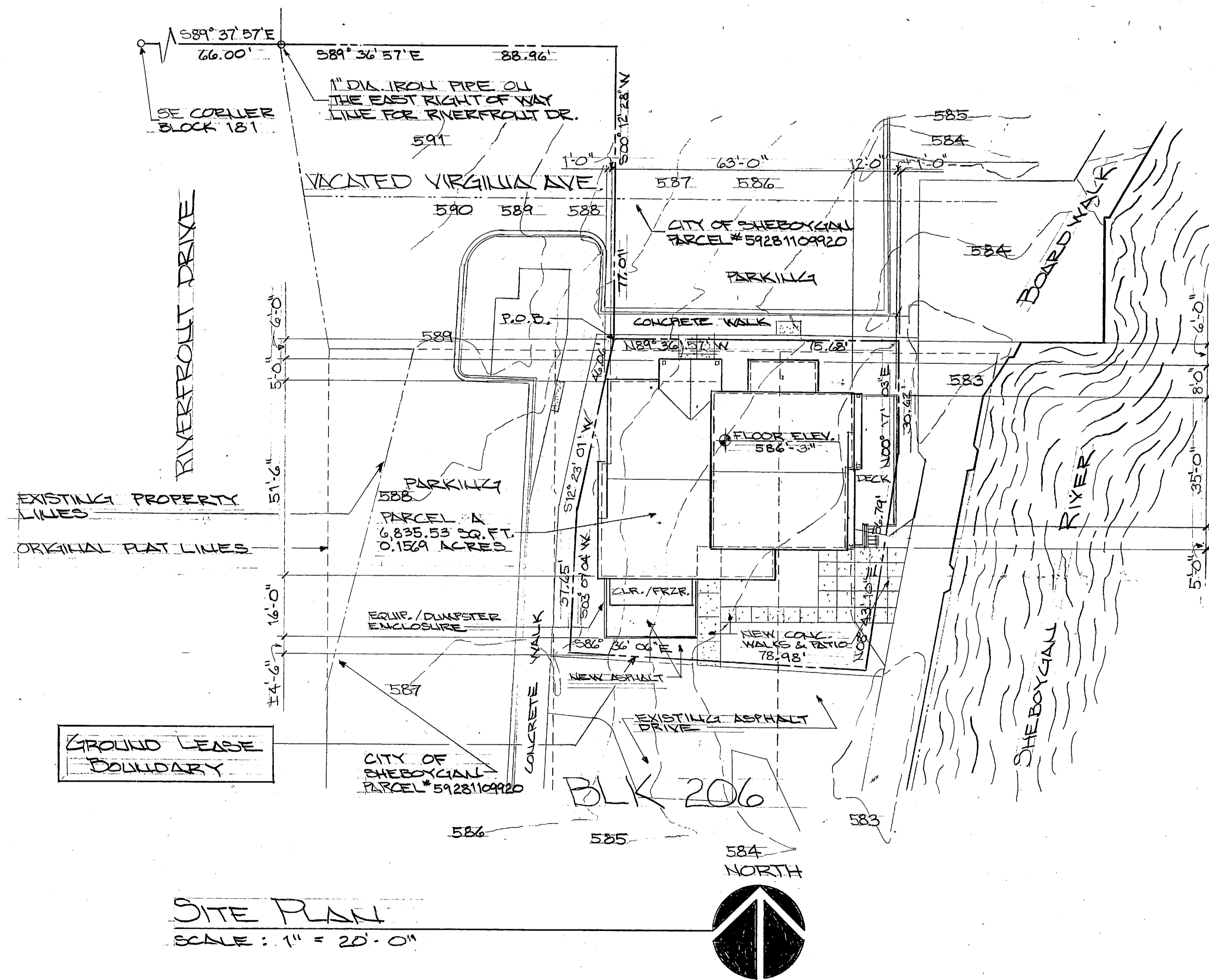
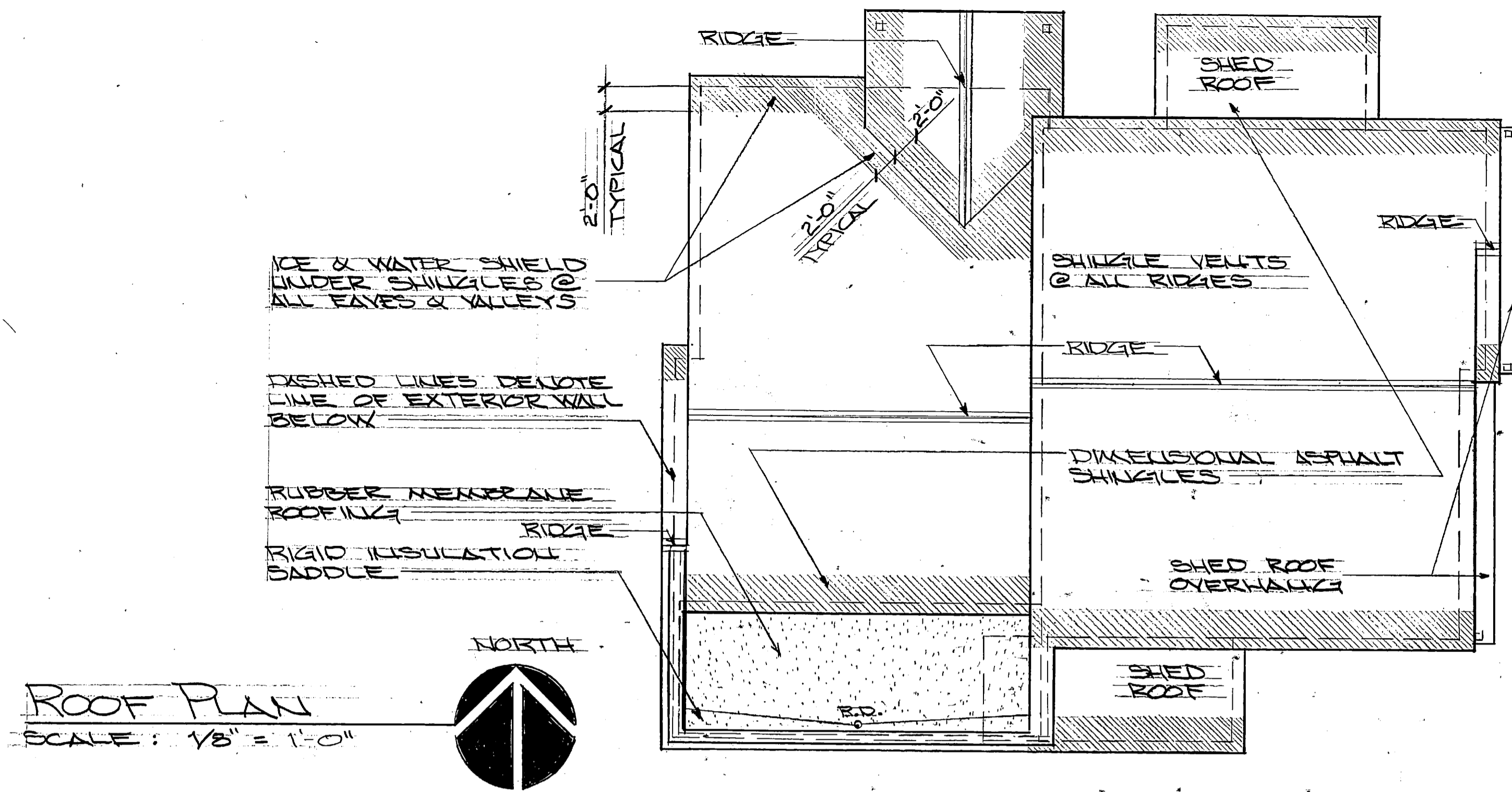
Phone: (920) 377-1203  
david@charlescarpentry.com

Architect  
**G K Architectural LLC**  
W6612 Esker Ridge  
Elkhart Lake, WI 53020

Phone: (920) 946-6197  
gkarchit@yahoo.com

Structural  
**Core 4 Engineering, Inc.**  
12308 North Corporate Pkwy, Suite 300  
Mequon, WI 53902

Phone: (262) 236-9372  
mchristianson@core4engineering.com



## Sheet Index

### Architectural

- 1 Title sheet / Site Plan/Roof Plan
- 2 Existing Plans/Building Elevations
- 3 First Floor Plan/Window Elevations/Details
- 4 Mezzanine Plan/Schedules/Door & Frame Elevations
- 5 Building Sections/Details

### Structural

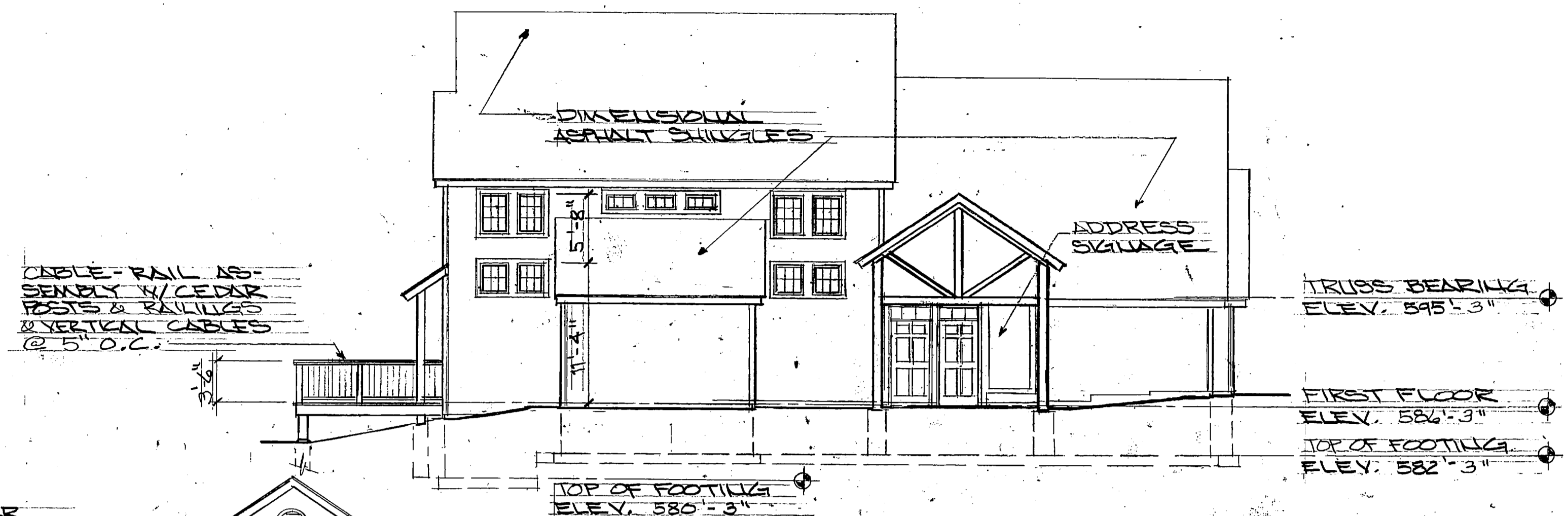
- S1.0 General Notes
- S1.1 Schedules
- S2.0 Foundation Plan
- S2.1 Mezzanine Framing Plan
- S2.2 Roof Framing Plan
- S2.3 Elevations
- S3.0 Concrete Sections & Details
- S3.1 Concrete Sections & Details
- S3.2 Wood Sections & Details
- S3.3 Wood Sections & Details

### Civil

- A201 Site Grading & Erosion Control Plan/Site Plan/Notes & Details

## Building Contents

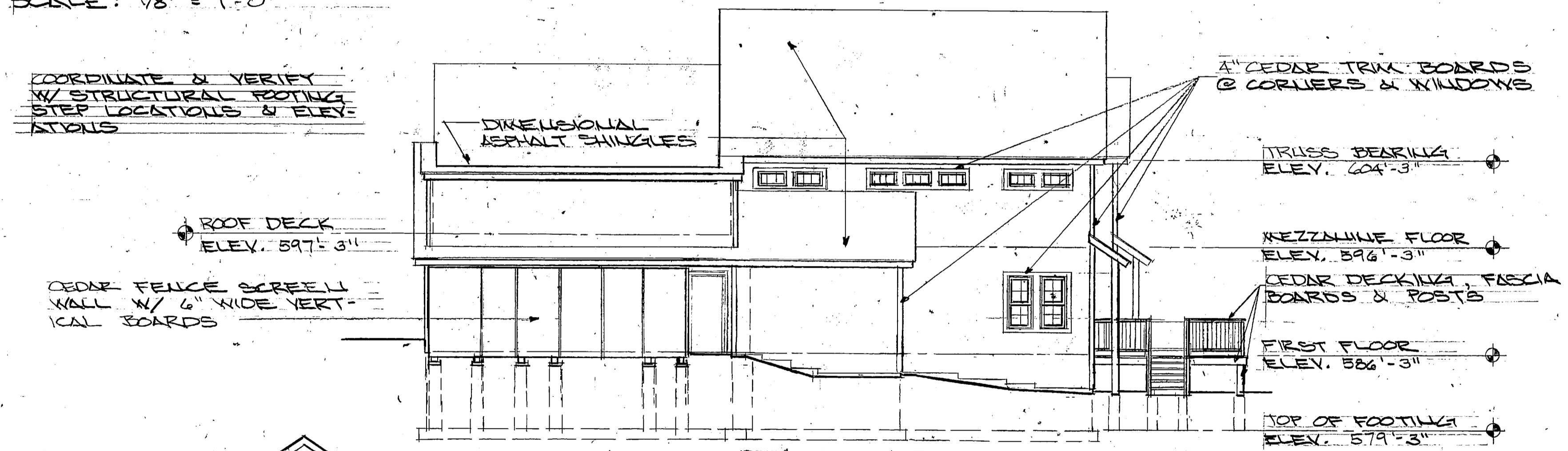
Site:	Less than one acre disturbed
Occupancy	A-2 Restaurant
Construction Type	VB (Wood Frame Unprotected) Fully Sprinklered
Building Capacity	140
Building Area	4276 Sq Ft
First Floor	3056 Sq Ft
Dining Mezzanine	613 Sq Ft
Mech. Mezzanine	607 Sq Ft



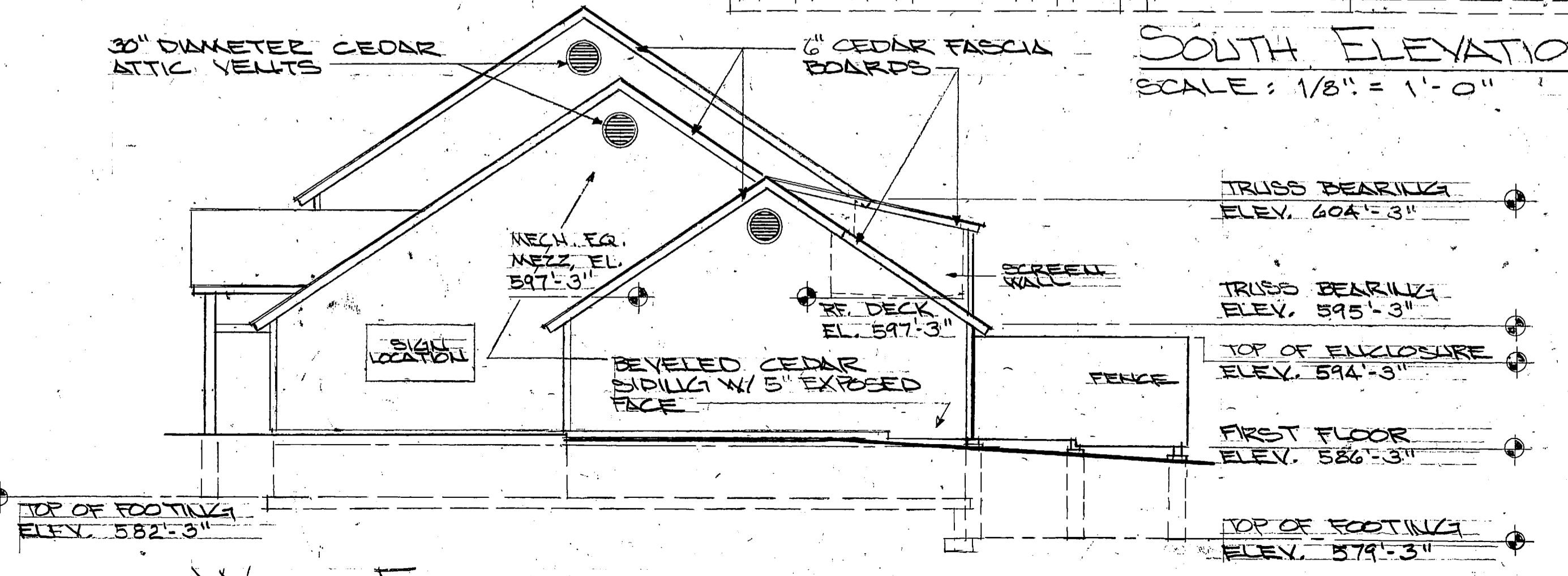
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SCALE: 1/8" = 1'-0"



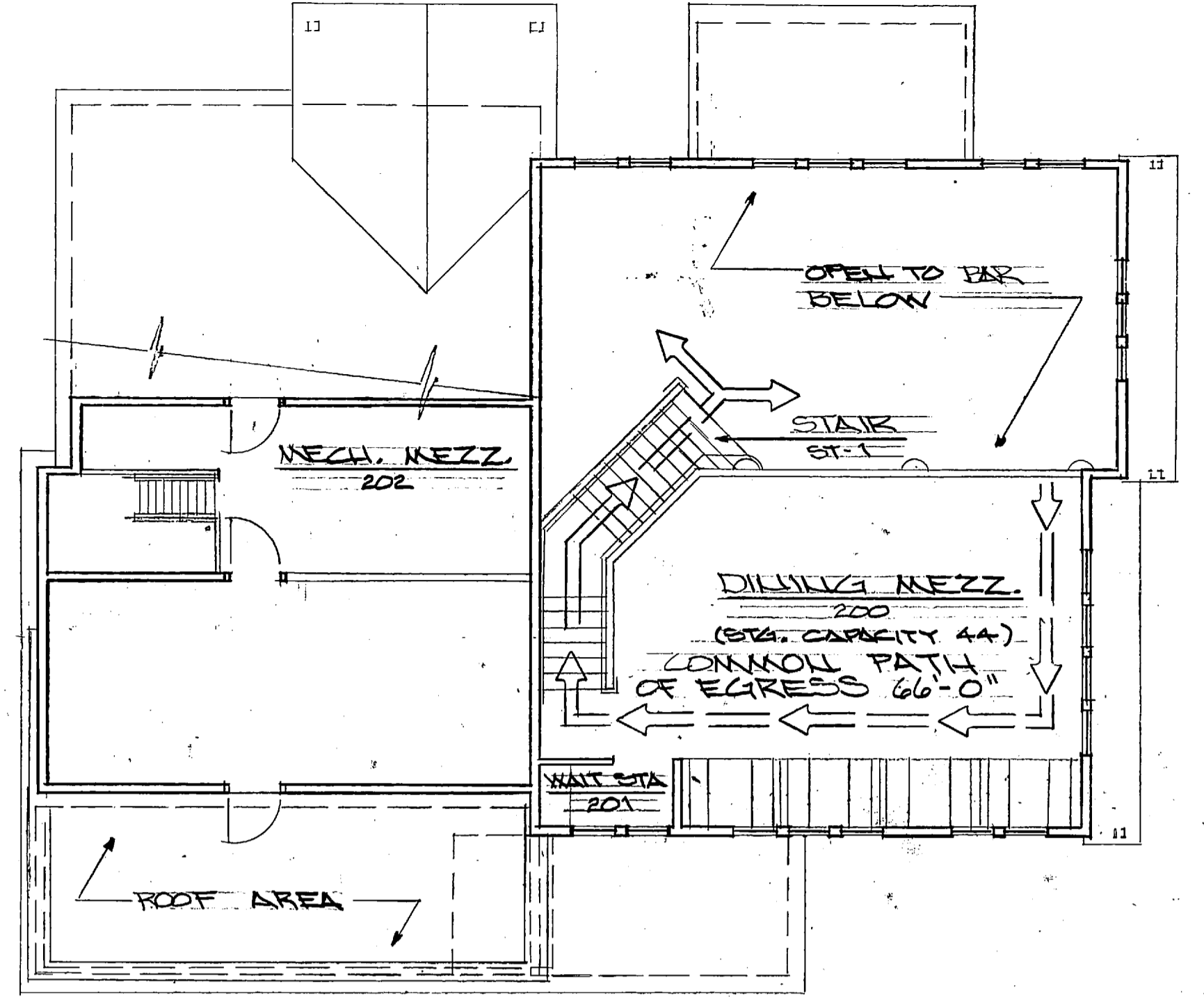
**EAST ELEVATION**  
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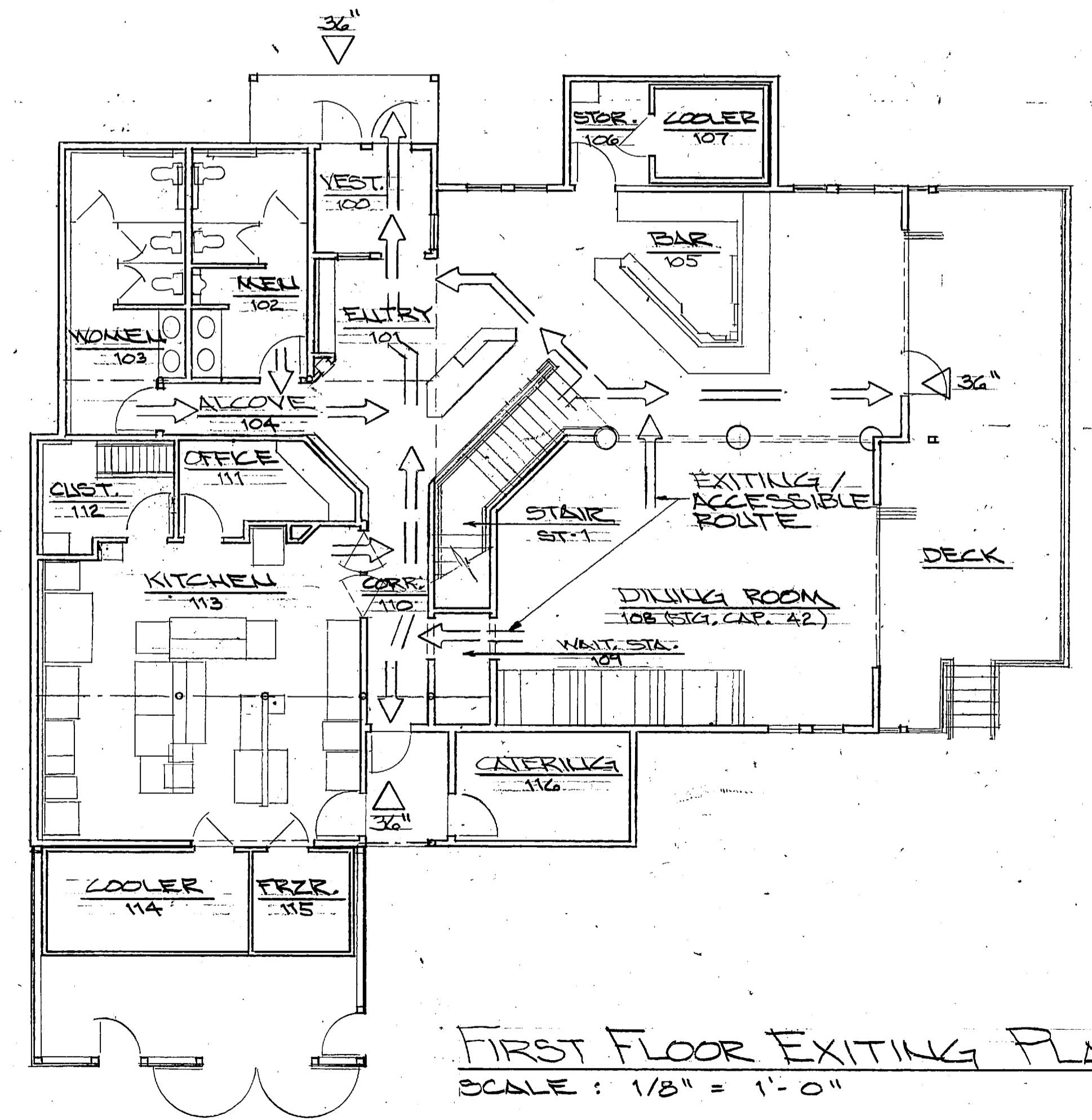
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**MEZZANINE EXITING PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR EXITING PLAN**  
SCALE: 1/8" = 1'-0"

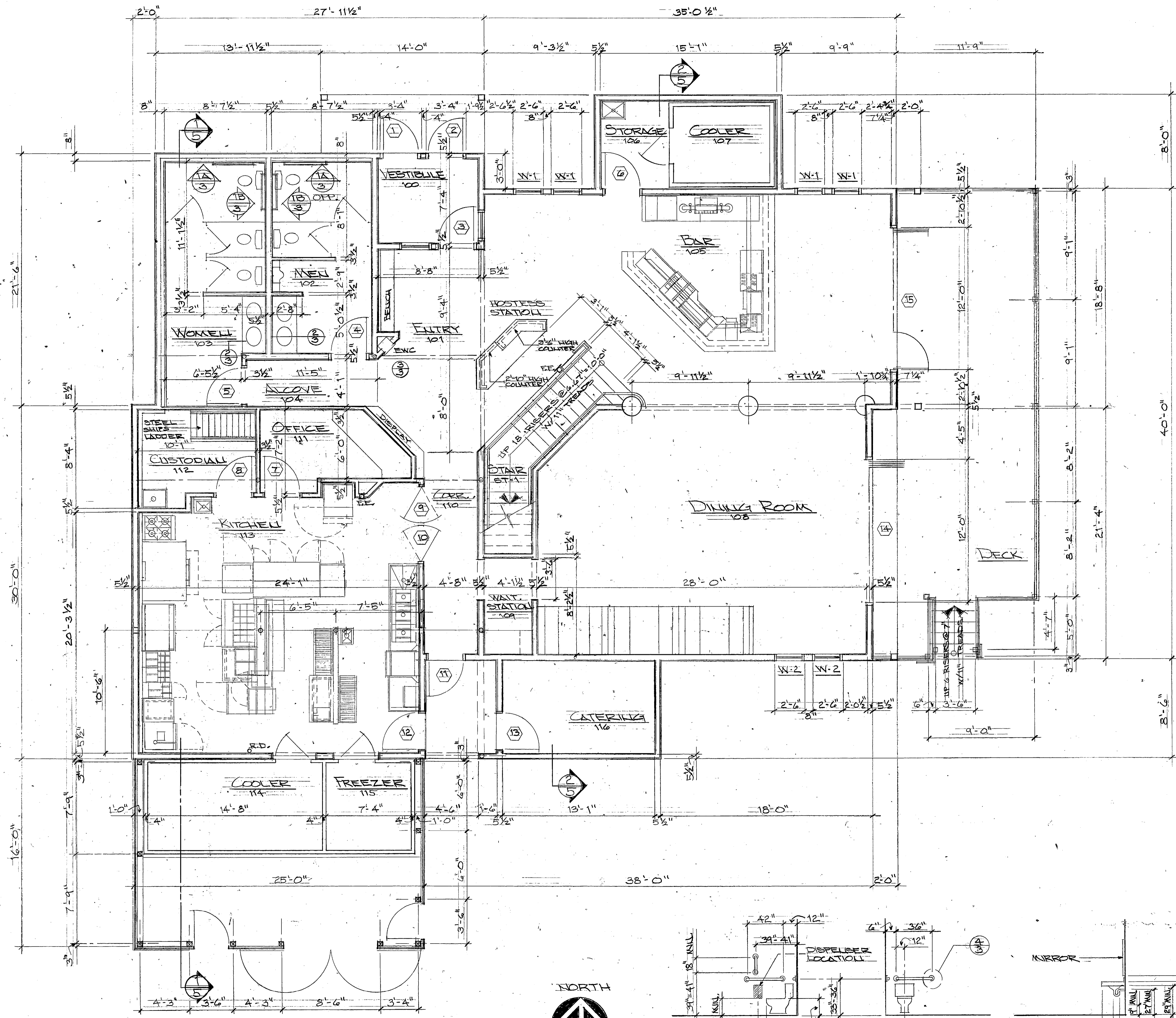
FIRST FLOOR	3056 SQ. FT.
DINING MEZZANINE	613 SQ. FT.
MECH. MEZZANINE	607 SQ. FT.
TOTAL AREA	4276 SQ. FT.

**GKA** architectural, LLC  
 W6912 Esker Ridge  
 Elkhart Lake, WI 53020  
 Phone/Fax: 920-678-3099  
 email: gkarchi@yahoo.com

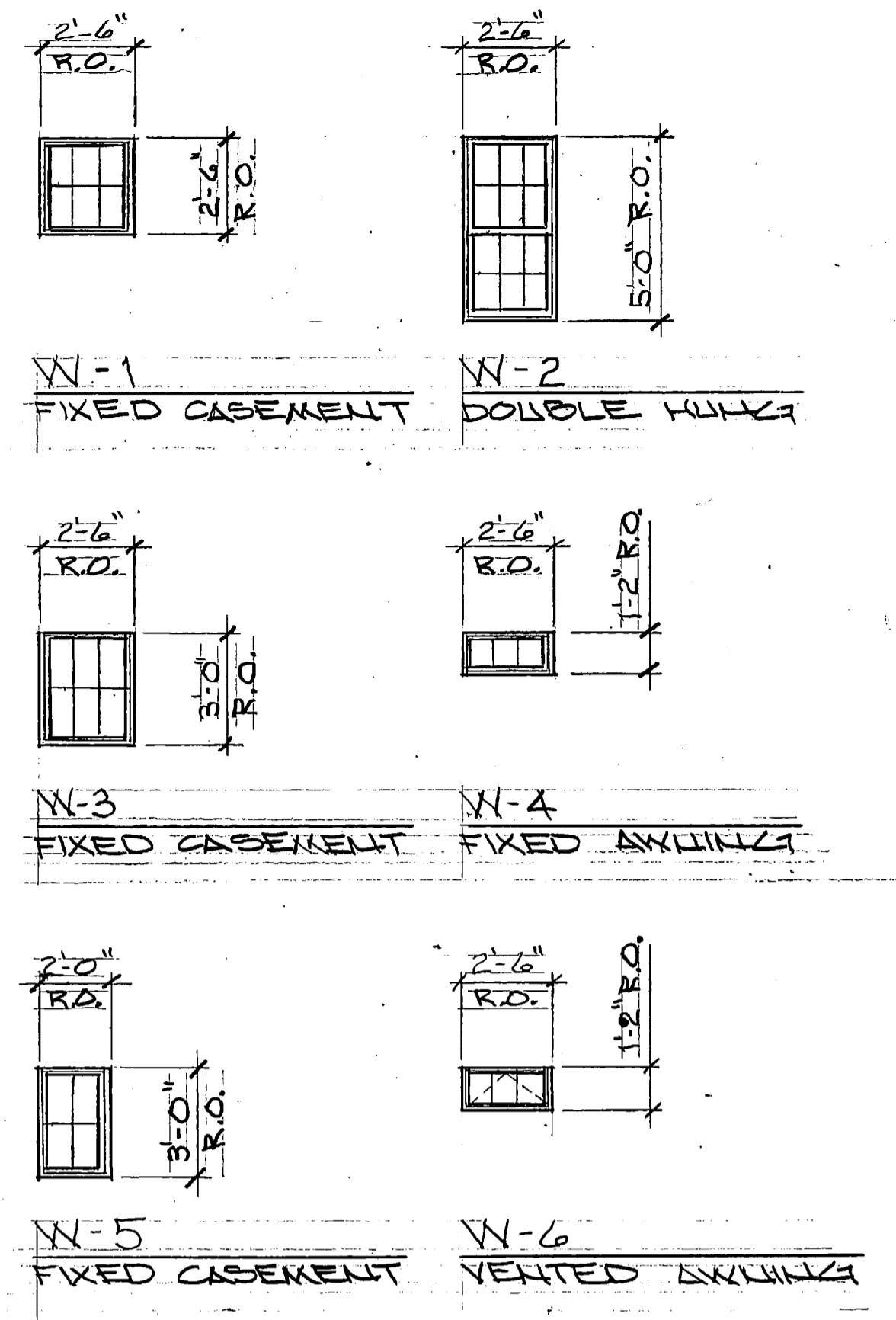
**PARKER JOHN'S**  
 RIVERFRONT  
 SHEBOYGAN, WISCONSIN

Proj. No. 182  
 Date: 2/15/16

**2**

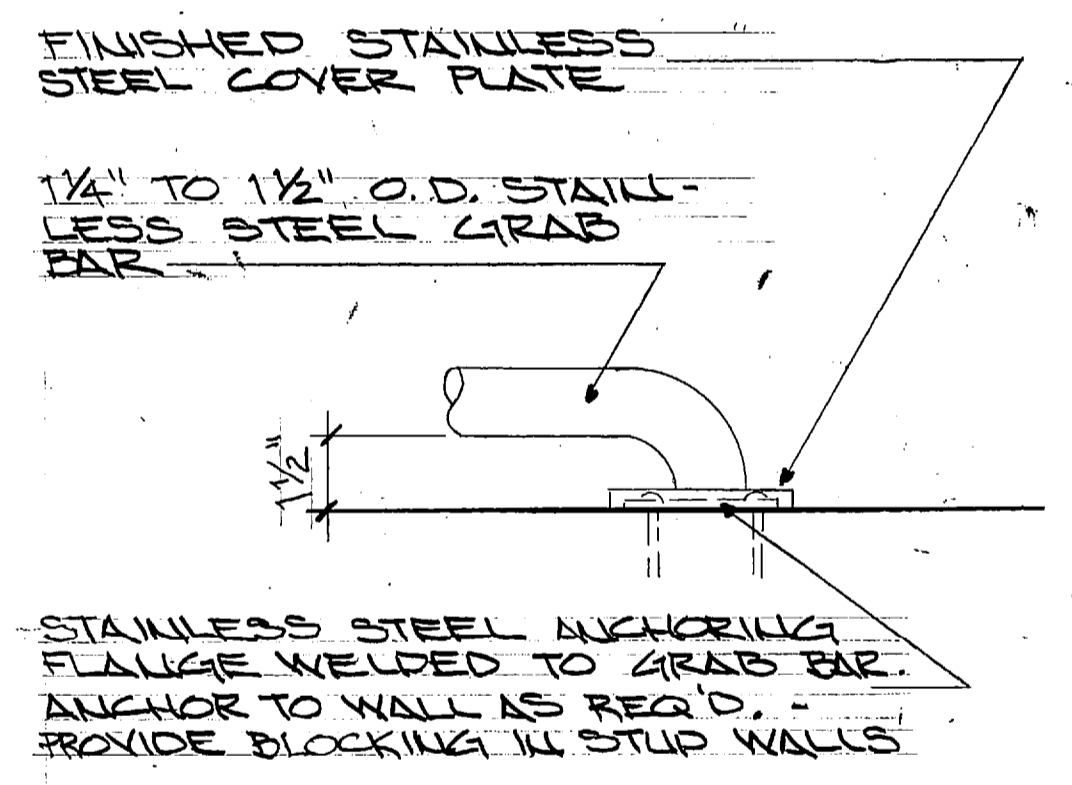


**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

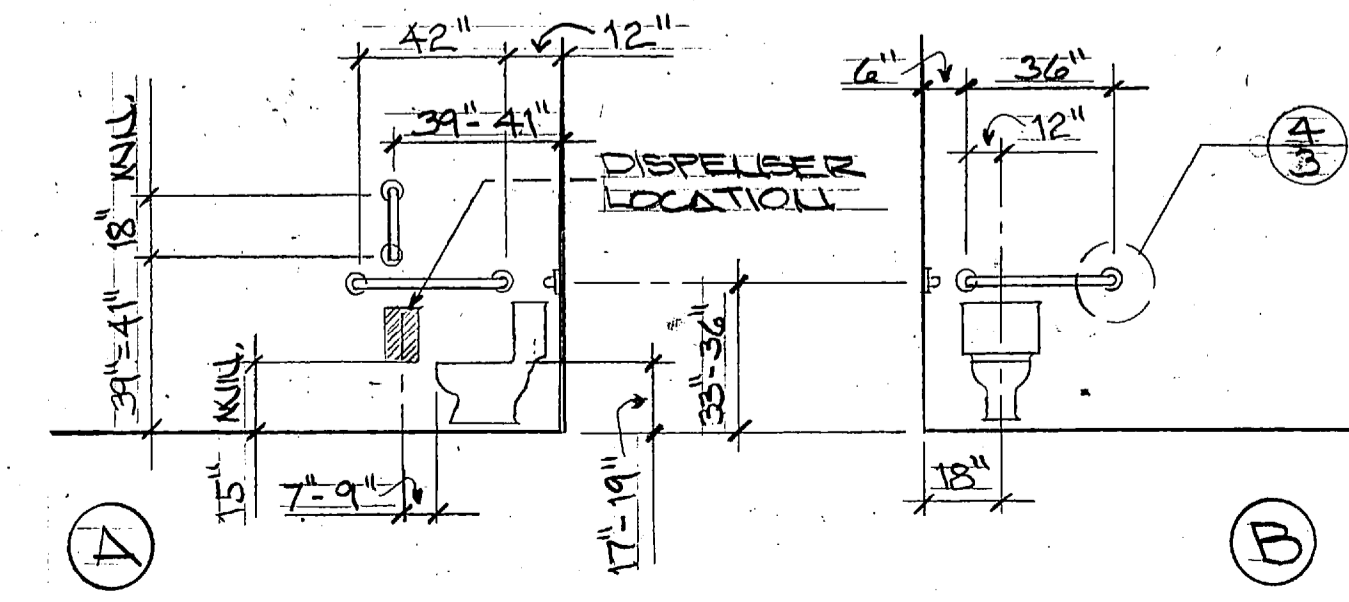


ALUMINUM CLAD WOOD MILKONS W/  
1" INSULATING GLASS & MULTIS.  
(U-FACTOR 0.490 / SHGC 0.790)

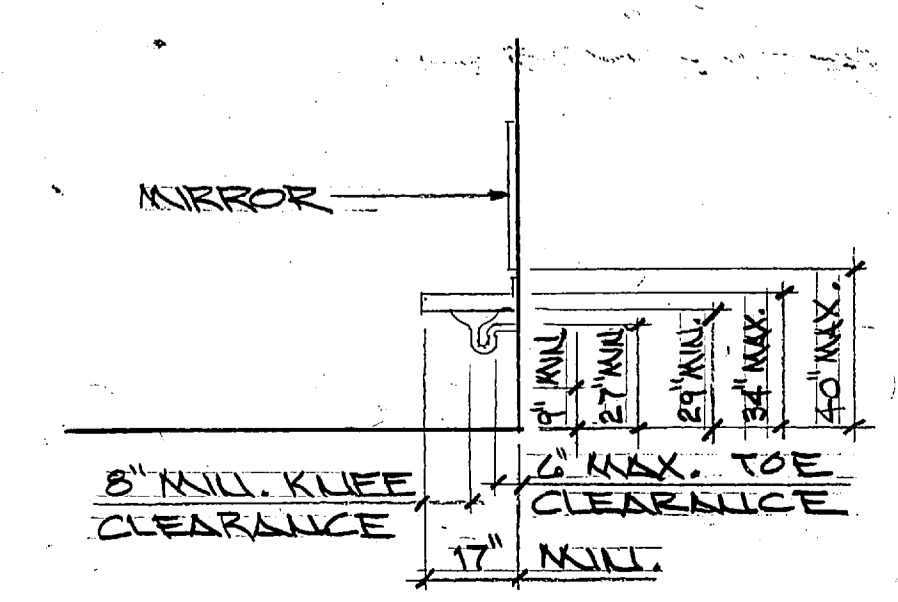
**WINDOW ELEVATIONS**  
SCALE: 1/4" = 1'-0"



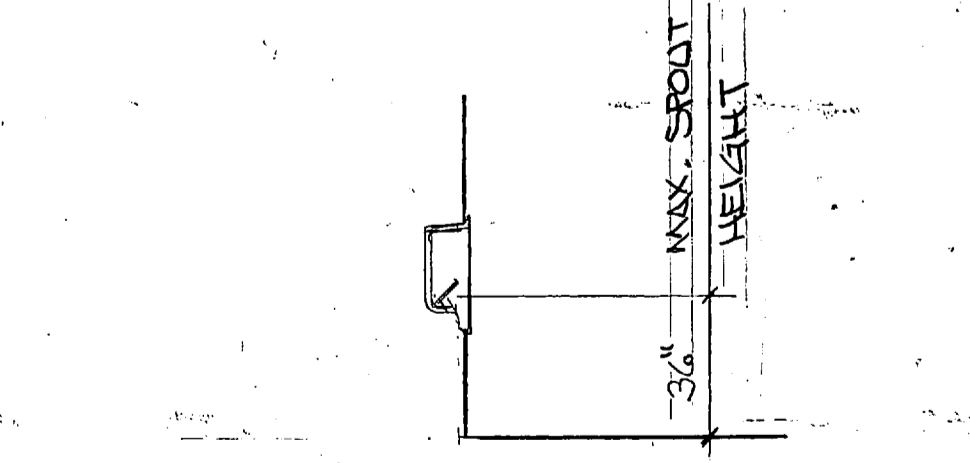
**GRAB BAR DETAIL**  
SCALE: 3" = 1'-0"



**WATER CLOSET ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**LAVATORY CLEARANCES**  
SCALE: 1/4" = 1'-0"



**WATER COOLER**  
SCALE: 1/4" = 1'-0"

**GKA architectural, LLC**  
 76612 Ecker Ridge  
 Elkhart Lake, WI 53009  
 Phone/Fax 920-878-3099  
 email gkatoh@yahoo.com  
 Proj. No. 182  
 Date 2/15/10

**PARKER JOHN'S**  
 RIVERFRONT  
 SHEBOYGAN, WISCONSIN

**3**

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

---

**ITEM DESCRIPTION:** Construction of new building additions and two silos at Old World Creamery located at 1606 Erie Avenue

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

---

**REPORT DATE:** February 19, 2021

**MEETING DATE:** February 22, 2021

---

**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

---

**BACKGROUND / ANALYSIS:**

Old World Creamery is proposing construct new building additions and two silos at 1606 Erie Avenue. The applicant states:

- Old World Creamery is part of a 4<sup>th</sup> generation family-owned cheese, butter, and dairy manufacturing company that got its start in 1912. The company purchased the old Verifine Dairy Products building in Sheboygan in 2016 and began to manufacture butter from cream at this location. The butter products manufactured here include their line of salted and unsalted butter as well as salted and unsalted Irish butter.
- Old World Creamery started manufacturing butter products due to demand and continue to grow this sector of their business. Due to the increased demand of their butter products, they will be adding another butter production line in the room on the southwest side of the building. The corridor and storage tank addition are located adjacent to this production room to minimize unwanted agitation of the cream prior to processing.
- After delivery, the cream will be pasteurized and held in these tanks to await production into butter. The storage tanks are adjacent to a corridor that provides access to piping used for the transfer of cream as well as access to the tank alcoves located at the bottom of the tanks which allows access to tank pumps, valves, and piping.
- The salt storage addition will be used for the storage of salt as well as the location where the salt will be added during the manufacturing their salted butters. Salt is corrosive to metal. Having the salt in a separate, closed-off room will minimize corrosion to production equipment which will result in lower maintenance and repair costs.

- The new cream storage tanks and salt storage addition will Old World Creamery to meet current and expected demand for the foreseeable future. Other additions and production increases depend upon demand and business growth.

The applicant states the following about the structures to be constructed:

- The proposed work consists of two (2) additions which will remain consistent with the look and feel of the existing buildings with cream-colored brick exterior, parapets, and tan copings/flashings. Both additions will have flat roofs with parapet walls. No mechanicals will be added to the roofs of the buildings.
- Addition 1 is a 370sf Storage Tank and Corridor Addition located at the southwest corner of the existing building, consisting of a small building addition and up to four (4) 30,000-gallon stainless steel cream storage tanks located adjacent to this addition. The two (2) tanks on the south side of the corridor addition will be installed now along with the foundation for the north tanks. The two (2) south tanks will be installed later. Each tank is 10'-6" outside diameter, 54'-7" overall height from base to top of dome.
- Addition 2 is 473sf (54'-3 3/4" x 8'-8 1/2" x 24' - 0" high) Salt Storage Addition located on the south side of the existing buildings, west of the office building and east of the new tank addition. This addition will be used for the storage of salt that is used in the production of salted butter.
- Addition 2 is and the south wall of this addition will be in alignment with the south wall of the existing southwest building.

#### **STAFF COMMENTS:**

Appears that the new building additions will match the look and feel of the existing buildings which works well architecturally in these visible areas along Erie Avenue. However, the tanks will certainly provide a new appearance along Erie Avenue.

#### **ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

#### **ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

# CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

**FEE \$100.00**

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

## 1. APPLICANT INFORMATION

APPLICANT: Old World Creamery- Steve Knaus

ADDRESS: 1606 Erie Avenue

E-MAIL ADDRESS: steve@owcreamery.com

PHONE: ( 920 ) 550-4443 FAX NO.: ( 608 ) 837-0763

## 2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Old World Creamery

ADDRESS OF PROPERTY AFFECTED: 1606 Erie Avenue

NEW BUILDING: \_\_\_\_\_ ADDITION: X REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: The owner would like to add a few small additions to the current property. One addition will be located on the southwest side of the existing property and would comprise of a small corridor addition and 2 silos on the south side of the corridor with 2 additional silos to be added to the north side of the corridor at a future date.

The second addition will be located on the south side of the building in line with the south wall of the existing southwestern most building. This addition will be used to store and add salt during production.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: The existing building is constructed of block wall with cream-colored brick veneer.

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: The two additions will be of similar construction with a cream-colored brick veneer to match the existing construction. Flashings and copings will match the existing tan copings, and doors will match the existing dark bronze doors.

**3. NAMES AND ADDRESSES**

**OWNER OF SITE:** Old World Creamery

ADDRESS: 1606 Erie Avenue

PHONE: ( 920 ) 550-4443 FAX NO.: ( 608 ) 837-0763

**ARCHITECT:** Distinctive Design Studio – Jason Ahrens

ADDRESS: 215 Pine Street, Sheboygan Falls, WI 53085

E-MAIL ADDRESS: jason@distinctivedesignstudio.com

PHONE: ( 920 ) 458-5584 FAX NO.: ( )

**CONTRACTOR:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_


PHONE: ( ) FAX NO.: ( )

**4. APPLICATION SUBMITTAL REQUIREMENTS**

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A .pdf file of all drawings either by email or CD
- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

**5. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
APPLICANT'S SIGNATURE

02/01/2021  
DATE

Jason Ahrens  
PRINT ABOVE NAME



## **NARRATIVE – ARCHITECTURAL REVIEW & CONDITIONAL USE PERMIT APPLICATIONS**

February 16, 2021

### **PROJECT NAME AND ADDRESS:**

Old World Creamery  
1606 Erie Avenue  
Sheboygan WI 53081

### **COMPANY HISTORY AND JUSTIFICATION:**

Old World Creamery is part of a 4<sup>th</sup> generation family-owned cheese, butter, and dairy manufacturing company that got its start in 1912. The company purchased the old Verifine Dairy Products building in Sheboygan in 2016 and began to manufacture butter from cream at this location. The butter products manufactured here include their line of salted and unsalted butter as well as salted and unsalted Irish butter.

The company started manufacturing butter products due to demand and continue to grow this sector of their business. Due to the increased demand of their butter products, they will be adding another butter production line in the room on the southwest side of the building. The corridor and storage tank addition are located adjacent to this production room to minimize unwanted agitation of the cream prior to processing. After delivery, the cream will be pasteurized and held in these tanks to await production into butter. The storage tanks are adjacent to a corridor that provides access to piping used for the transfer of cream as well as access to the tank alcoves located at the bottom of the tanks which allows access to tank pumps, valves, and piping.

The salt storage addition will be used for the storage of salt as well as the location where the salt will be added during the manufacturing their salted butters. Salt is corrosive to metal. Having the salt in a separate, closed-off room will minimize corrosion to production equipment which will result in lower maintenance and repair costs.

The new cream storage tanks and salt storage addition will allow them to meet current and expected demand for the foreseeable future. Other additions and production increases depend upon demand and business growth.

### **PARCEL INFORMATION/ SITE DATA/ LEGAL DESCRIPTION:**

- The parcel is defined as tax parcel 59281205260.
- As described in document no. 202514 as all of block 84 and the vacated alley of the original plat of the city of Sheboygan, Sheboygan County, Wisconsin except that part deeded for right of way in volume 1440, pages 143 and 144, document no. 1448324.
- The entire lot area is 2.59 acres.

### **ZONING CLASSIFICATION/ ZONING REQUIREMENTS:**

URBAN INDUSTRIAL

#### **25-foot front yard setback (Erie Avenue)**

25-foot side yard setback to residential lot (16<sup>th</sup> Street)

5-foot side yard setback to nonresidential lot (17<sup>th</sup> Street)

25-foot rear yard setback to residential lot (St. Clair Avenue)

\* Bold text defines variance to be requested. See Variance Description.



**EXISTING SITE CONDITIONS/ LAND USE:**

- Property was formerly the location of Verifine Dairy Products Corporation. This site has been owned and occupied by Old World Creamery to produce butter products since 2016. The use of the building will not change.

**SITE SELECTION:**

- The property is, and has been, the location of a dairy foods plant for a long time. It was the location of Verifine Dairy Products Corporation until 2016 when Old World Creamery moved in.

**ESTIMATED EMPLOYEES:**

- There are currently 23 employees with an anticipated 5 or 6 employees added in the near future.

**LANDSCAPE REQUIREMENTS:**

- We are requesting variances to the landscape point allocations and locations outlined in requirements of Section 15.6. See below for more information regarding the variance requests.

**PERFORMANCE STANDARDS/ POTENTIAL NUISANCES:**

- All performance standards to comply with City of Sheboygan Zoning Ordinance, Section 15-7 to ensure this development will not become a nuisance to neighboring residential property owners. We do not anticipate any issues as the use of the site and building are not changing.

**SITE LIGHTING:**

- Site lighting will be limited to wall mounted fixtures that match existing.
- No pole lighting will be provided.

**HOURS OF OPERATION:**

Production at Old World Creamery runs 24 hours per day, 5 days per week, with the occasional 6-day work week. Office hours are from 7am to 5pm Monday thru Friday. The hours of operation will not change.

**ESTIMATED EMPLOYEES:**

There are currently 23 employees with an anticipated 5 or 6 employees added in the near future.

**HOURS OF OPERATION:**

Production at Old World Creamery runs 24 hours per day, 5 days per week, with the occasional 6-day work week. Office hours are from 7am to 5pm Monday thru Friday. The hours of operation will not change.

**ACCESS:**

Access to the site is provided from all four sides of the property. We are not changing the location or number of access points.

**PARKING:**

Employees park on the east side of the property. We are not changing the employee parking.

### **DELIVERIES:**

Deliveries are made on the east side of the property between 4 am and 7pm. The location will not change. There are currently 3 deliveries per day, 15 deliveries per week on average. With the new tanks, they anticipate another 2-3 deliveries per day.

There will not be an adverse impact on any nearby properties, and it will not significantly increase traffic, parking, or impact rights-of-way.

### **SIGNAGE:**

Existing signage will remain. No new signage will be installed at this time.

### **ARCHITECTURE:**

- The proposed work consists of two (2) additions which will remain consistent with the look and feel of the existing buildings with cream-colored brick exterior, parapets, and tan copings/ flashings. No mechanicals will be added to the roofs of the buildings, which will not require screening.
  - Addition 1 is a Storage Tank and Corridor Addition located at the southwest corner of the existing building, consisting of a small building addition and up to four (4) 30,000-gallon stainless steel cream storage tanks located adjacent to this addition. The two tanks on the south side of the corridor addition will be installed now along with the foundation for the north tanks. The south tanks will be installed later.
    - 370 square feet building addition(14'-7 1/4" x 25'-4 1/2" x 17'-0" high).
    - 4 tanks, each tank is 10'-6" outside diameter, 54'-7" overall height from base to top of dome.
  - Addition 2 is a Salt Storage Addition located on the south side of the existing buildings, west of the office building and east of the new tank addition. This addition will be used for the storage of salt that is used in the production of salted butter.
    - 473 square feet (54'-3 3/4" x 8'-8 1/2" x 24' - 0" high)
- Impervious coverage of the lot will not increase. The locations of the new additions are currently paved with asphalt or another impermeable surface.

### **VARIANCE REQUEST/ VARIANCE DESCRIPTION:**

- There are a total of three (3) variances being requested:
  1. Landscape location requirements
  2. Landscape point allocation per category
  3. Front yard setback, Erie Avenue

#### **1. LANDSCAPE LOCATION VARIANCE**

The requested variance is to allow the landscaping required by these additions to be located elsewhere on the site and not have to follow the location requirements based on category. We are unable to provide landscaping next to the building due to regulations for delivery of the raw goods used in manufacturing of products made at this facility. The additions will be in areas where there is existing impervious asphalt or gravel paving. We request that plantings be located at the island on the southwest end of the property where the sign is located as well as in the greenspace located on the south east end of the property.

#### **2. LANDSCAPE POINT ALLOCATION AND MINIMUMS PER CATEGORY**

The requested variance is to allow points from plantings to be divided amongst multiple landscape categories and minimize the use of plant classification minimums for each category. We are



requesting this variance due to the small size of the additions and the small amount of greenspace available for landscape. This will allow us to allocate points from larger plants to multiple categories. Minimizing the plant point minimums based on size of plants will also prevent overcrowding of the little landscaping areas that are available that the larger classifications could lead to.

### 3. FRONT YARD SETBACK REQUIREMENTS

The final request is for a variance to the front yard setback requirements. The zoning ordinance states that Urban Industrial zoning shall have a 25-foot front yard setback. A portion of the existing building currently resides within the 25-foot setback requirement. This variance will allow the alignment of the south edge of the south side tank slab foundation as well as the south wall of the salt storage addition to align with the south wall of the existing building. This will allow for better internal production flow into the new space as well as keeping the northern tank foundation slab away from the existing exit door just north of the new addition.

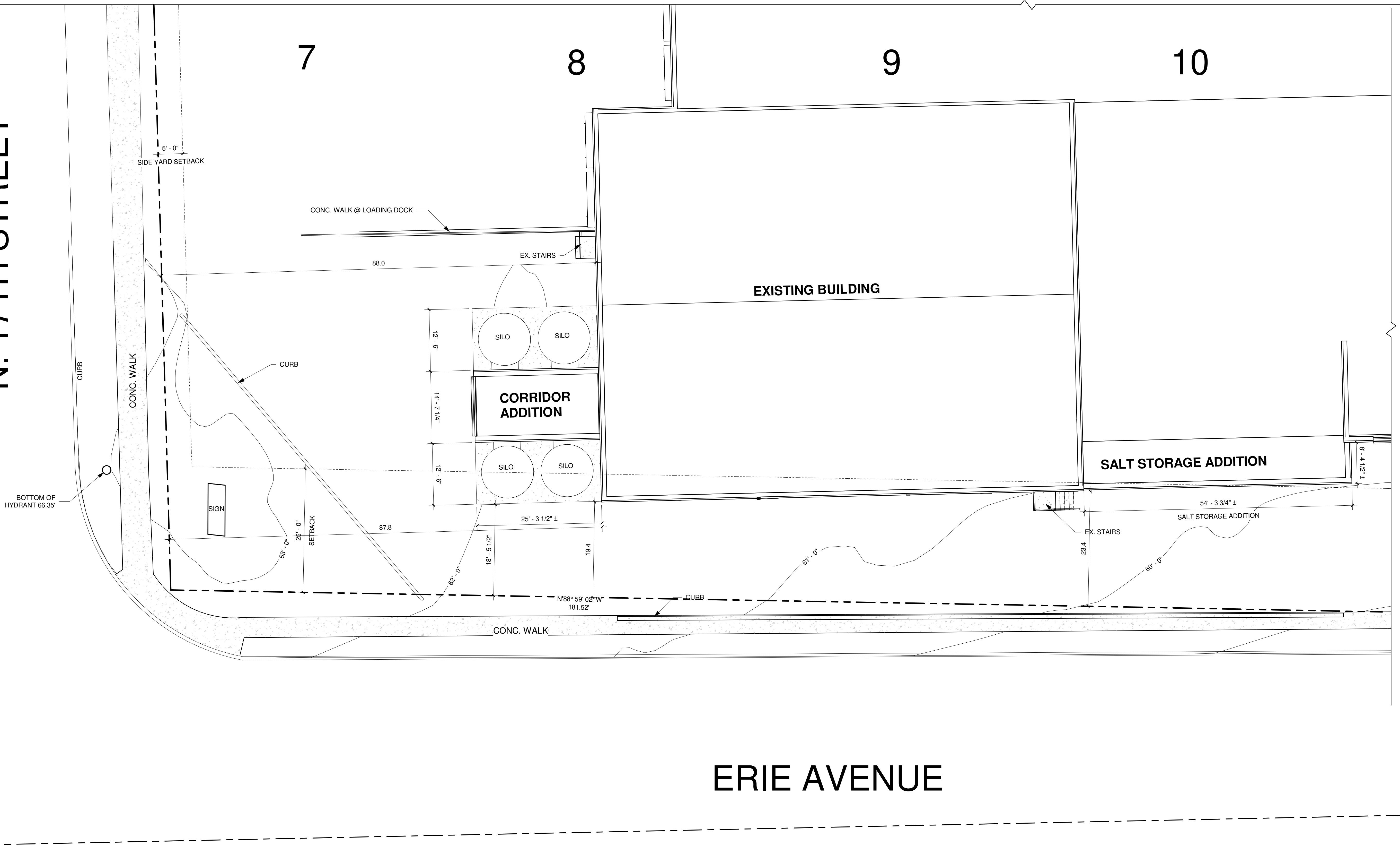
N. 17TH STREET

7

8

9

10



1 SITE PLAN - PARTIAL SITE PLAN  
1" = 10'-0"

THESE DOCUMENTS ARE NOT FOR CONSTRUCTION

#	DATE	CITY SUBMITTALS	DESCRIPTION
1	2/16/2021		

**DISTINCTIVE DESIGN**  
STUDIO

215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
www.distinctivedesignstudio.com

# OLD WORLD CREAMERY

SILO TANK ADDITION  
1606 ERIE AVENUE  
SHEBOYGAN, WI 53081

PRELIMINARY PLANS

SITE PLAN

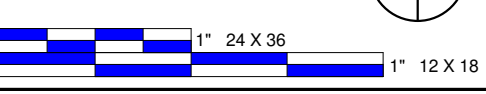
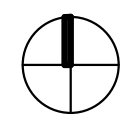
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 DRAWN BY: JRA  
 CHECKED BY: JRA  
 PROJECT #: 20-052

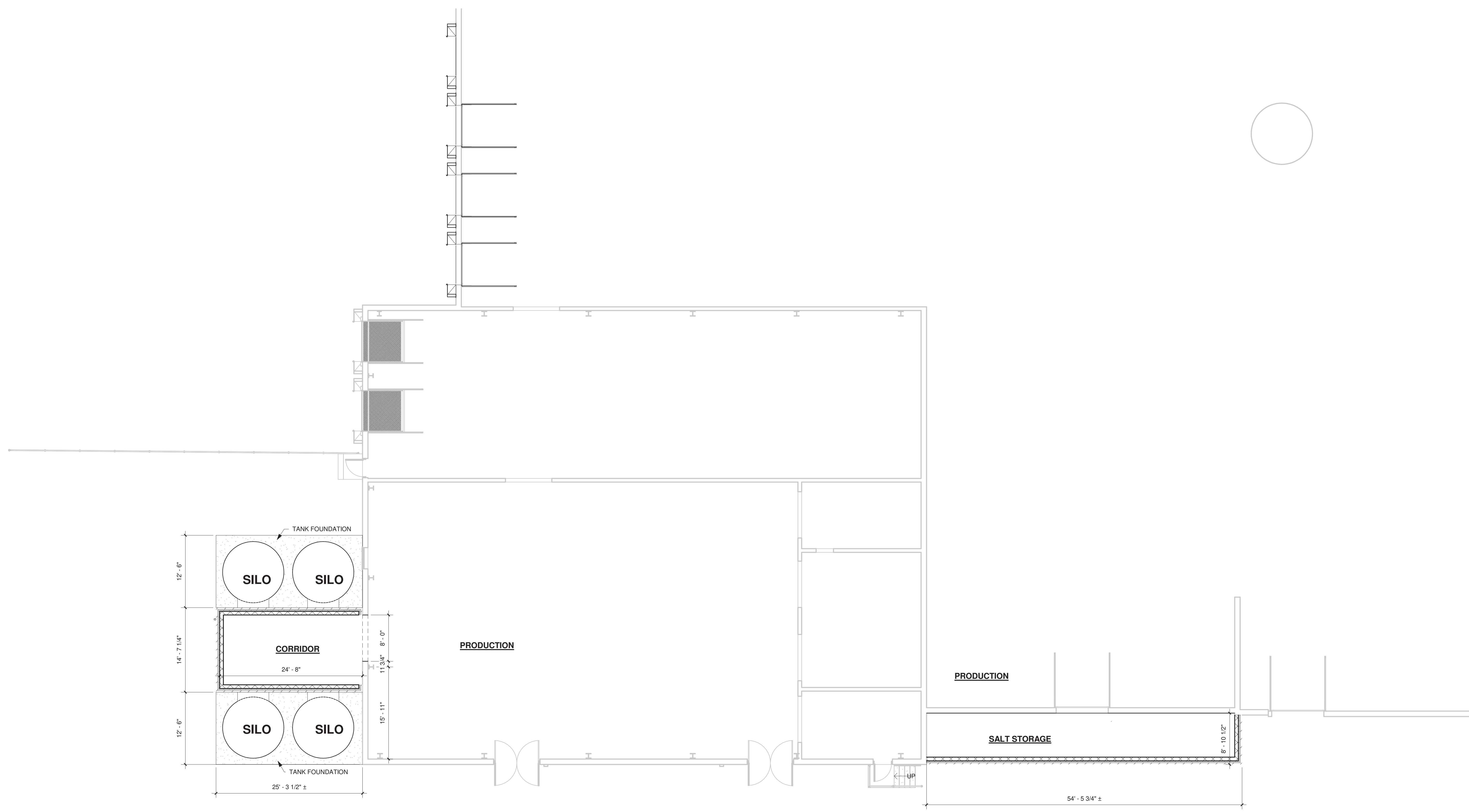
## C100

SCALE: 1" = 10'-0"  
 NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE ARCHITECT SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE WORK.

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**1 FLOOR PLAN - PARTIAL FIRST FLOOR**  
 1/8" = 1'-0"

THESE DOCUMENTS ARE NOT FOR CONSTRUCTION

#	DATE	SD DOCS	DESCRIPTION
1			

**DISTINCTIVE DESIGN**  
 STUDIO

215 Pine Street  
 Sheboygan Falls, WI 53085  
 Ph: (920)-395-1090  
 www.distinctivedesignstudio.com

# OLD WORLD CREAMERY

SILO TANK ADDITION  
 1606 ERIE AVENUE  
 SHEBOYGAN, WI 53081

PRELIMINARY PLANS

FIRST FLOOR PLAN

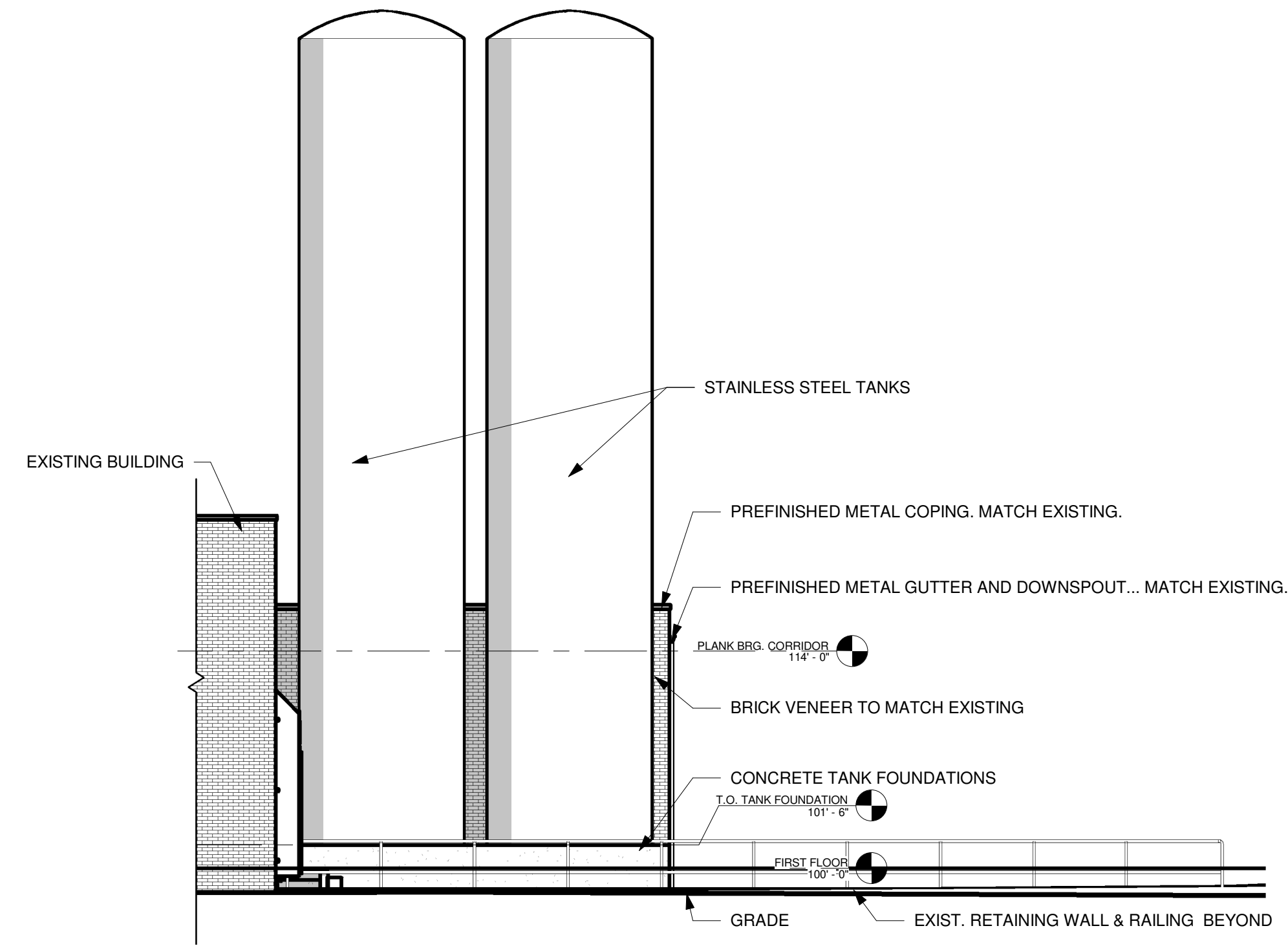
ISSUE DATE: 12/20/2020  
 DRAWN BY: JRA  
 CHECKED BY: JRA  
 PROJECT #: 20-052

**A101**

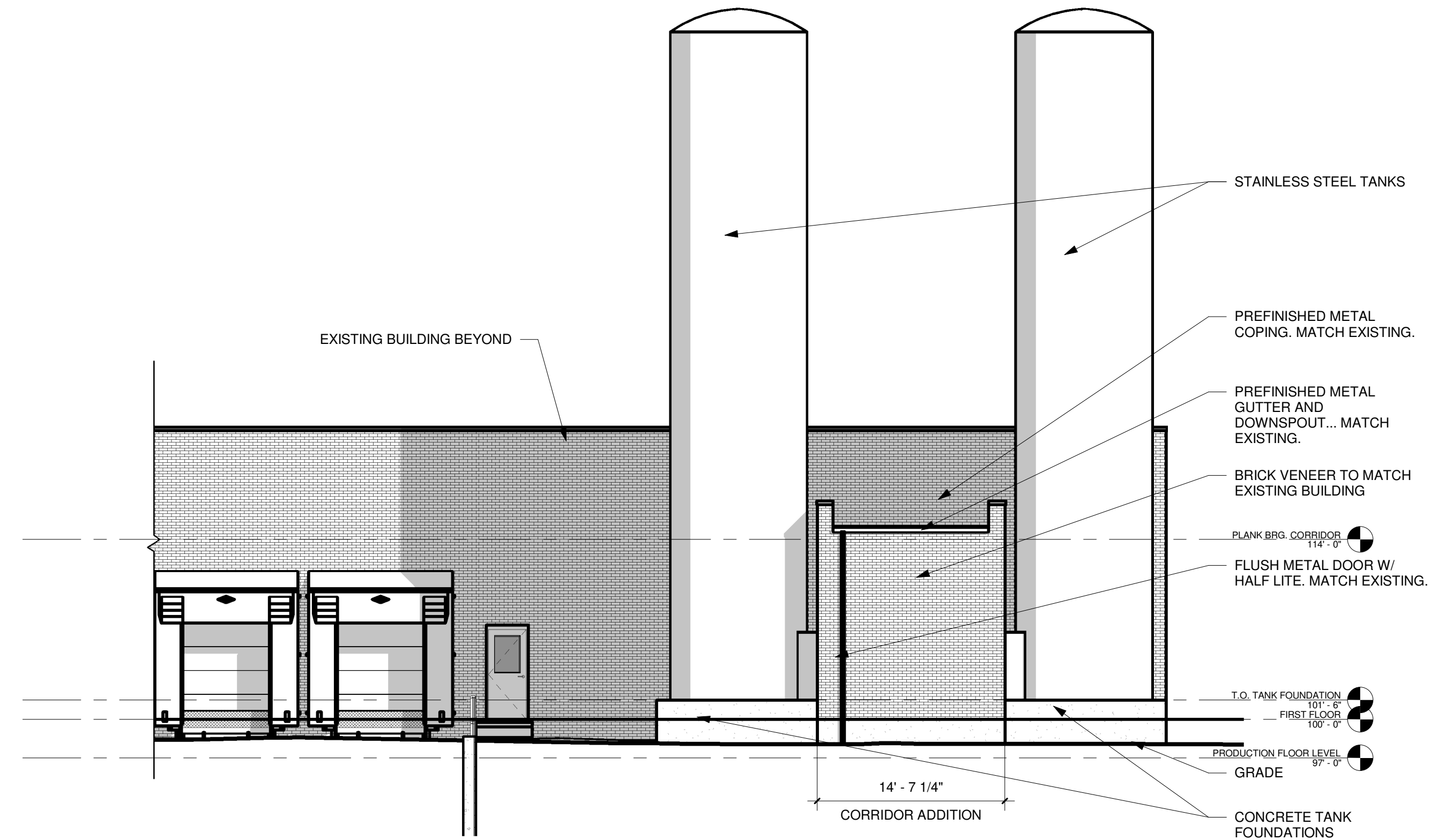
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NOTE:  
 12x18 SETS ARE REDUCED BY 50%  
 SCALE DRAWINGS ACCORDINGLY

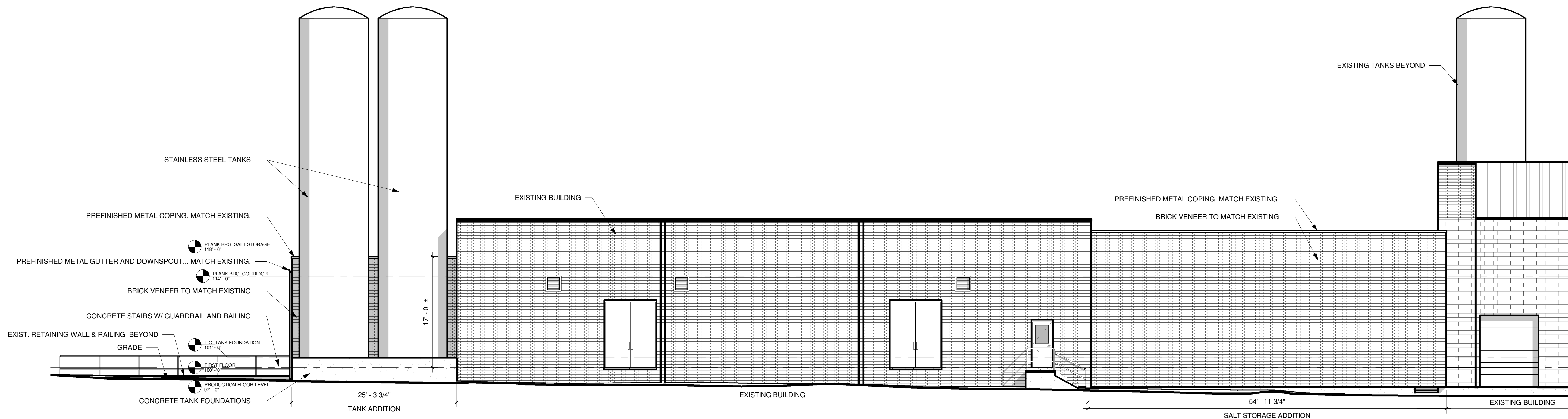
WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE WORK.



③ FLOOR PLAN - NORTH ELEVATION  
1/8" = 1'-0"



② EXTERIOR ELEV. - PARTIAL WEST ELEVATION  
1/8" = 1'-0"



① EXTERIOR ELEV. - PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"

REVISIONS	DESCRIPTION
#	DATE

**DISTINCTIVE DESIGN**  
STUDIO  
215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
www.distinctivedesignstudio.com

# OLD WORLD CREAMERY

SILO TANK ADDITION  
1606 ERIE AVENUE  
SHEBOYGAN, WI 53081

PRELIMINARY PLANS

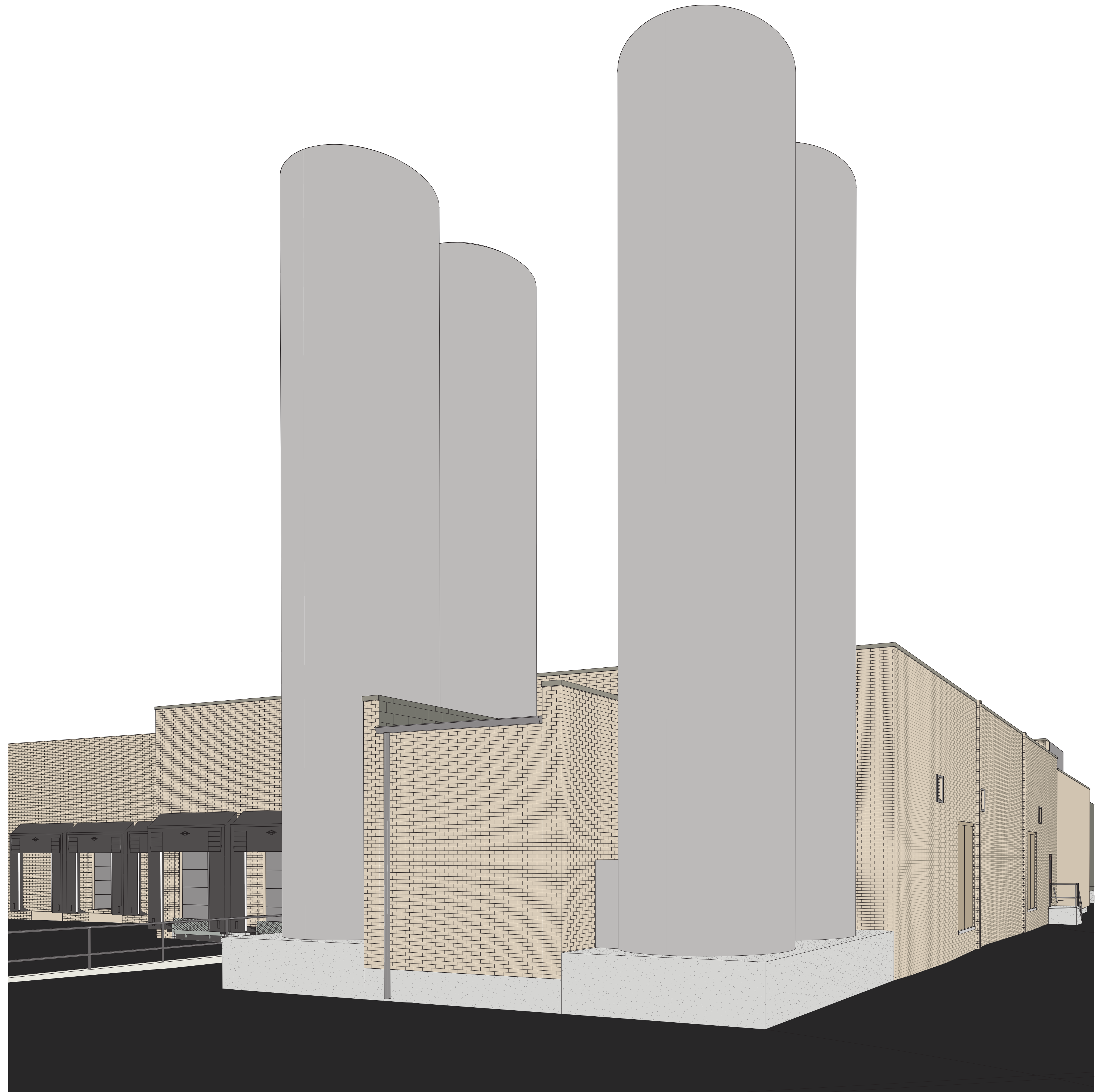
EXTERIOR ELEVATIONS

ISSUE DATE: 12/20/2020  
DRAWN BY: JRA  
CHECKED BY: JRA  
PROJECT #: 20-052

**A201**

SCALE: 1/8" = 1'-0"  
NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

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THESE DOCUMENTS ARE NOT FOR CONSTRUCTION

#	DATE	DESCRIPTION

**DISTINCTIVE DESIGN**  
STUDIO

215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
www.distinctivedesignstudio.com

# OLD WORLD CREAMERY

SILO TANK ADDITION  
1606 ERIE AVENUE  
SHEBOYGAN, WI 53081

PRELIMINARY  
PLANS

PERSPECTIVE

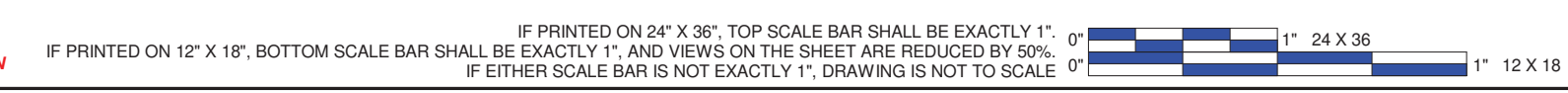
ISSUE DATE: 12/20/2020  
DRAWN BY: JRA  
CHECKED BY: JRA  
PROJECT #: 20-052

**G200**

SCALE:  
12x18 SETS ARE REDUCED BY 50%  
SCALE DRAWINGS ACCORDINGLY

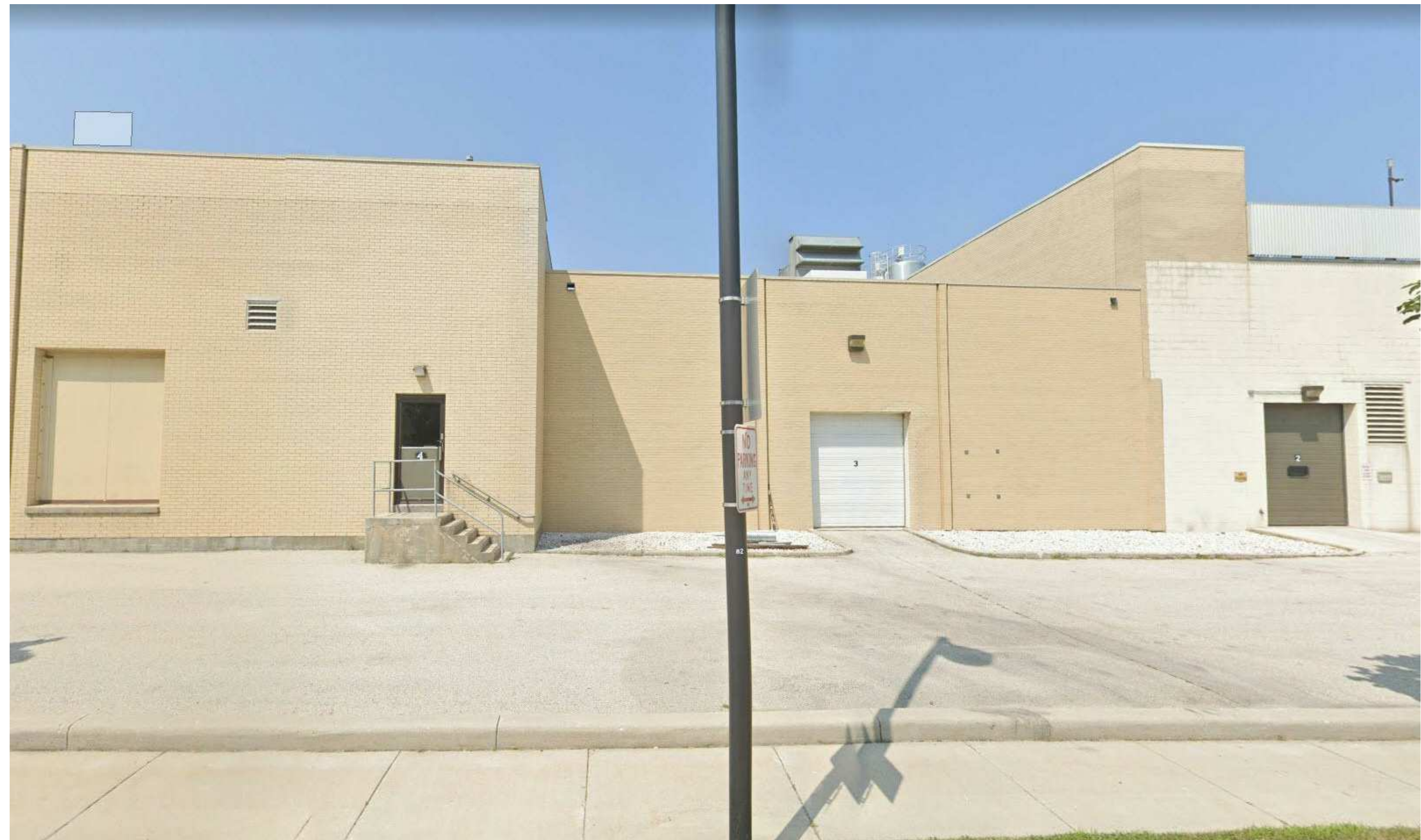
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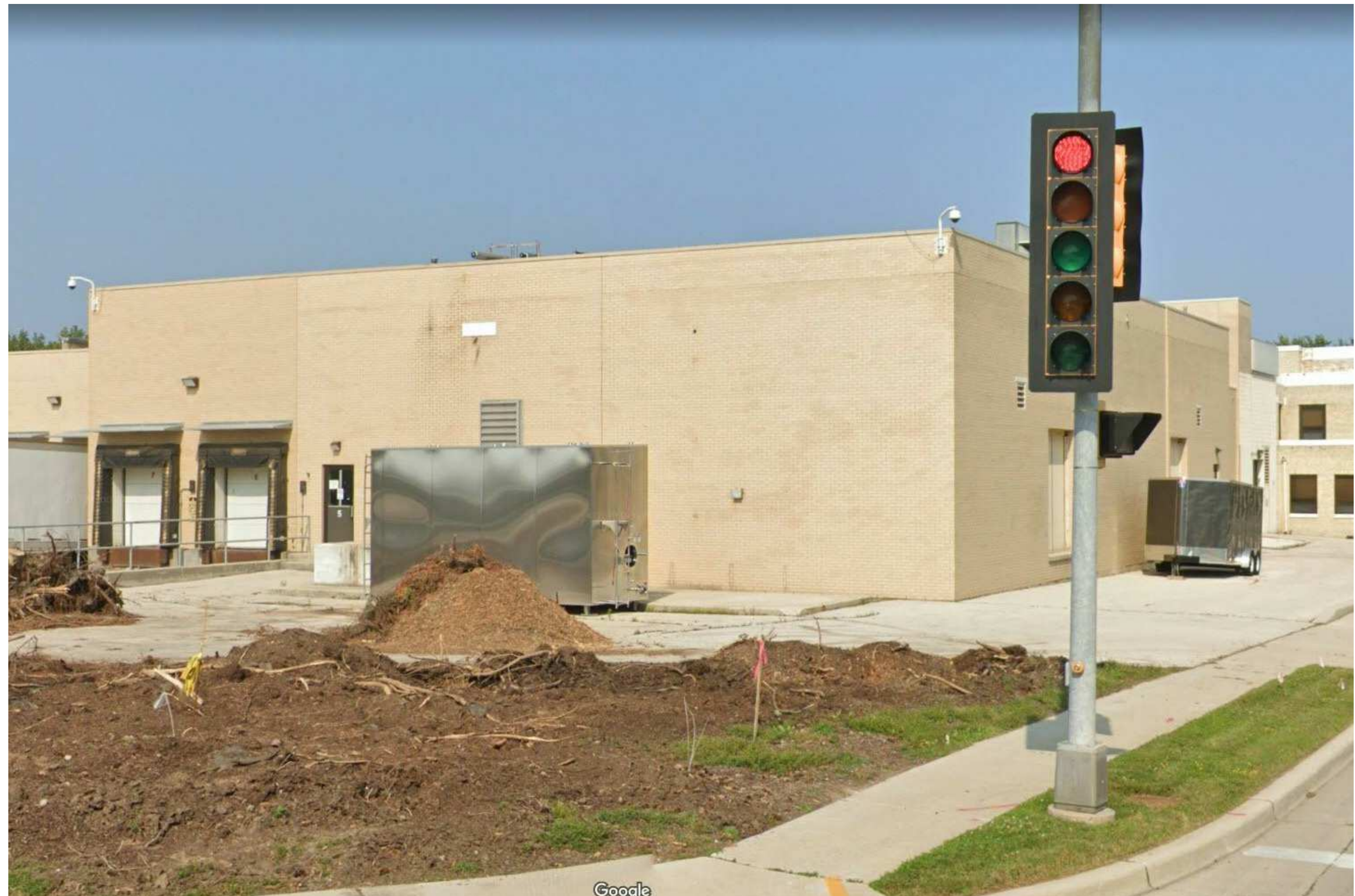




BUILDING WITH TANKS SIMILAR TO PROPOSED PROJECT



EXISTING SOUTH ELEVATION



EXISTING VIEW FROM SOUTHWEST CORNER

#	DATE	CITY SUBMITTALS	DESCRIPTION
1	2/16/2021		

**DISTINCTIVE DESIGN**  
STUDIO  
215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
www.distinctivedesignstudio.com

# OLD WORLD CREAMERY

SILO TANK ADDITION  
1606 ERIE AVENUE  
SHEBOYGAN, WI 53081

PRELIMINARY PLANS

PHOTOS

ISSUE DATE:	12/20/2020
DRAWN BY:	JRA
CHECKED BY:	JRA
PROJECT #:	20-052

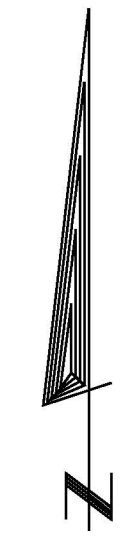
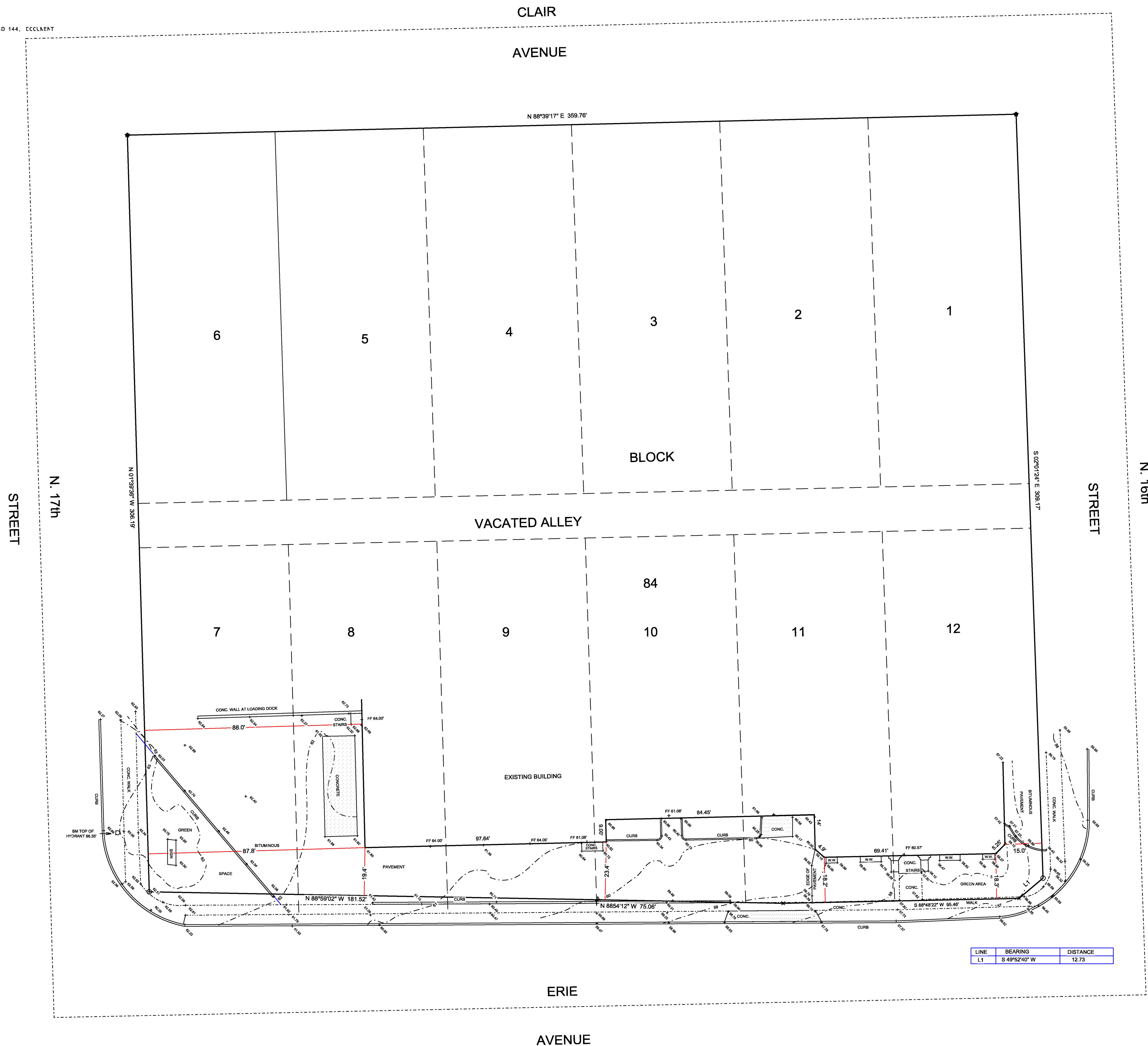
## G300

SCALE:  
NOTE:  
12x18 SETS ARE REDUCED BY 50%  
SCALE DRAWINGS ACCORDINGLY

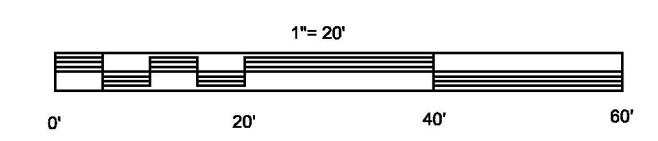
WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD.  
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D & H LAND SURVEYS LLC  
 1628 GEORGIA AVENUE  
 SHEBOYGAN, WISCONSIN

1606 ERIE AVENUE  
 PARCEL NO. 59281205260  
 AS DESCRIBED IN DOCUMENT NO. 202514 AS ALL OF BLOCK 84 AND THE VACATED ALLEY  
 OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.  
 EXCEPT THAT FAULT CEDED FOR FIGHT CF VAY IN VCLLAE 1440 PAGES 143 AND 144, ECCLAENT  
 NO. 1448324

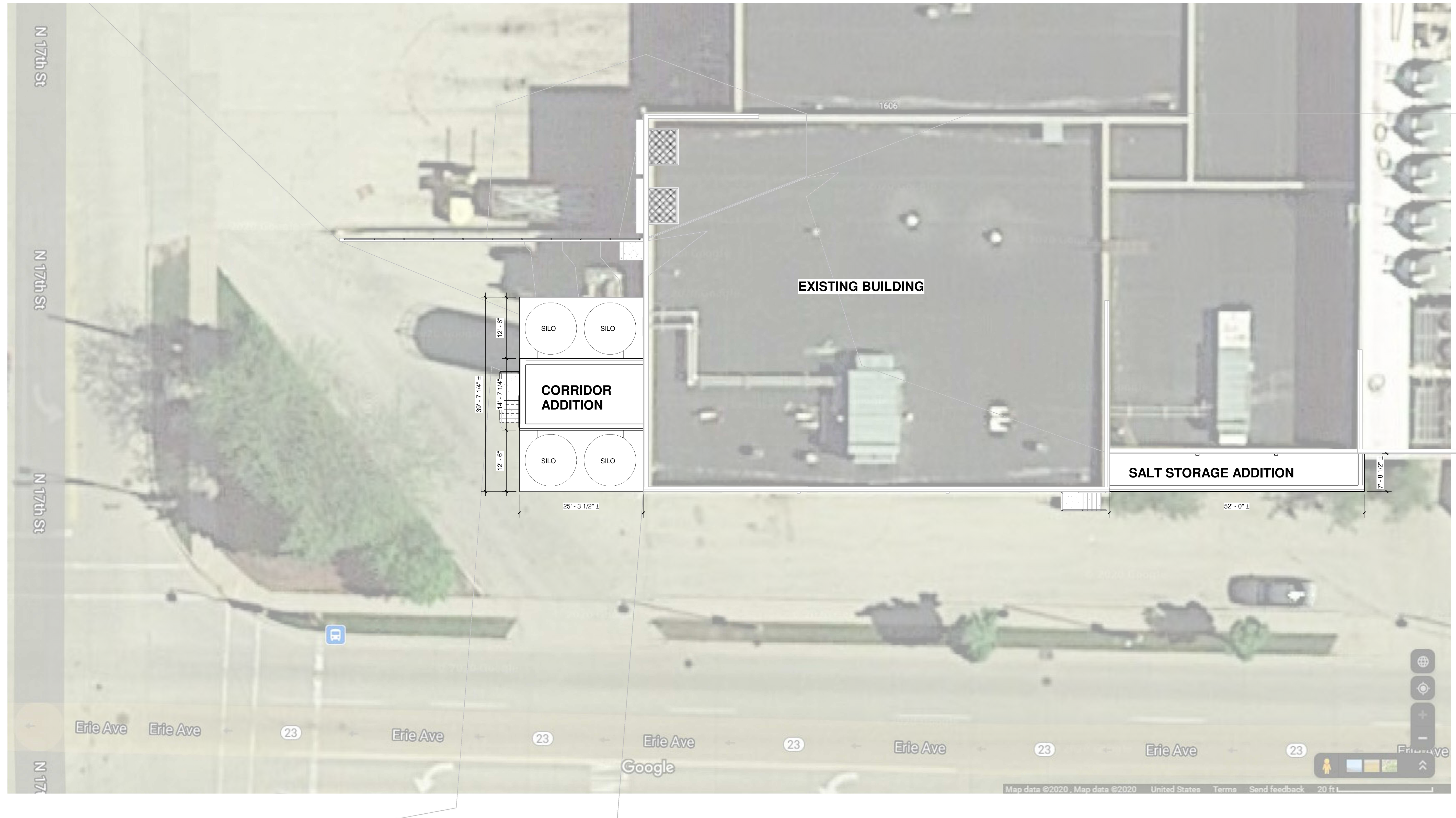


- ★ = 1" IRON PIPE FOUND
- = 1" IRON PIPE SET
- ▲ = PK NAIL SET
- x = CHISELED CROSS SET
- W.W. = WINDOW WELL
- - - = EDGE OF CONCRETE



THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON  
 IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dennis J. Van Sluys S-1238  
 Dated this 22nd day of January, 2021.



**1 FLOOR PLAN - SITE PLAN**  
1" = 10'-0"

**DISTINCTIVE DESIGN**  
STUDIO

215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
www.distinctivedesignstudio.com

**OLD WORLD CREAMERY**

SILO TANK ADDITION  
1606 ERIE AVENUE  
SHEBOYGAN, WI 53081

PRELIMINARY PLANS

SITE PLAN

ISSUE DATE: 12/20/2020  
DRAWN BY: JRA  
CHECKED BY: JRA  
PROJECT #: 20-052

**C100**

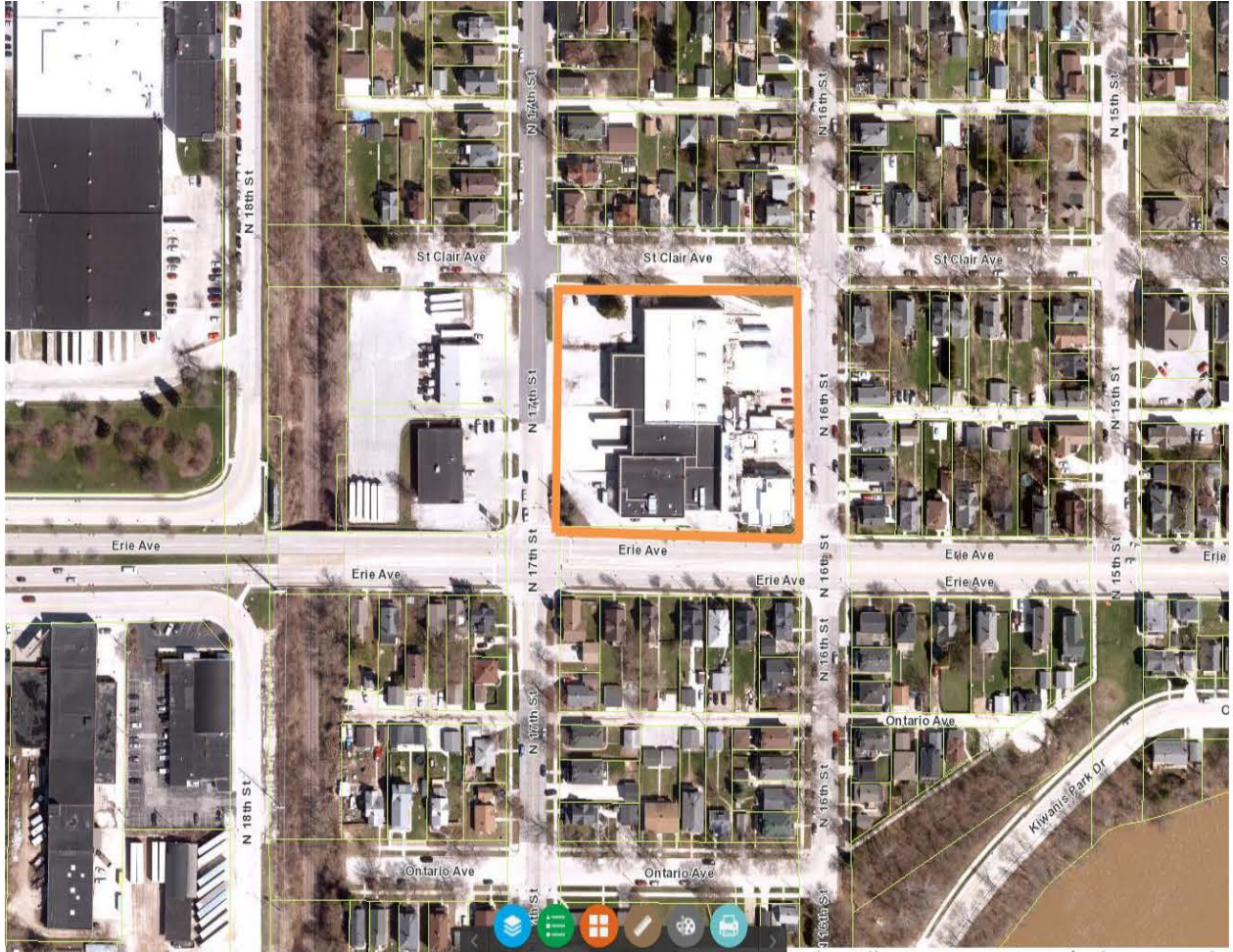
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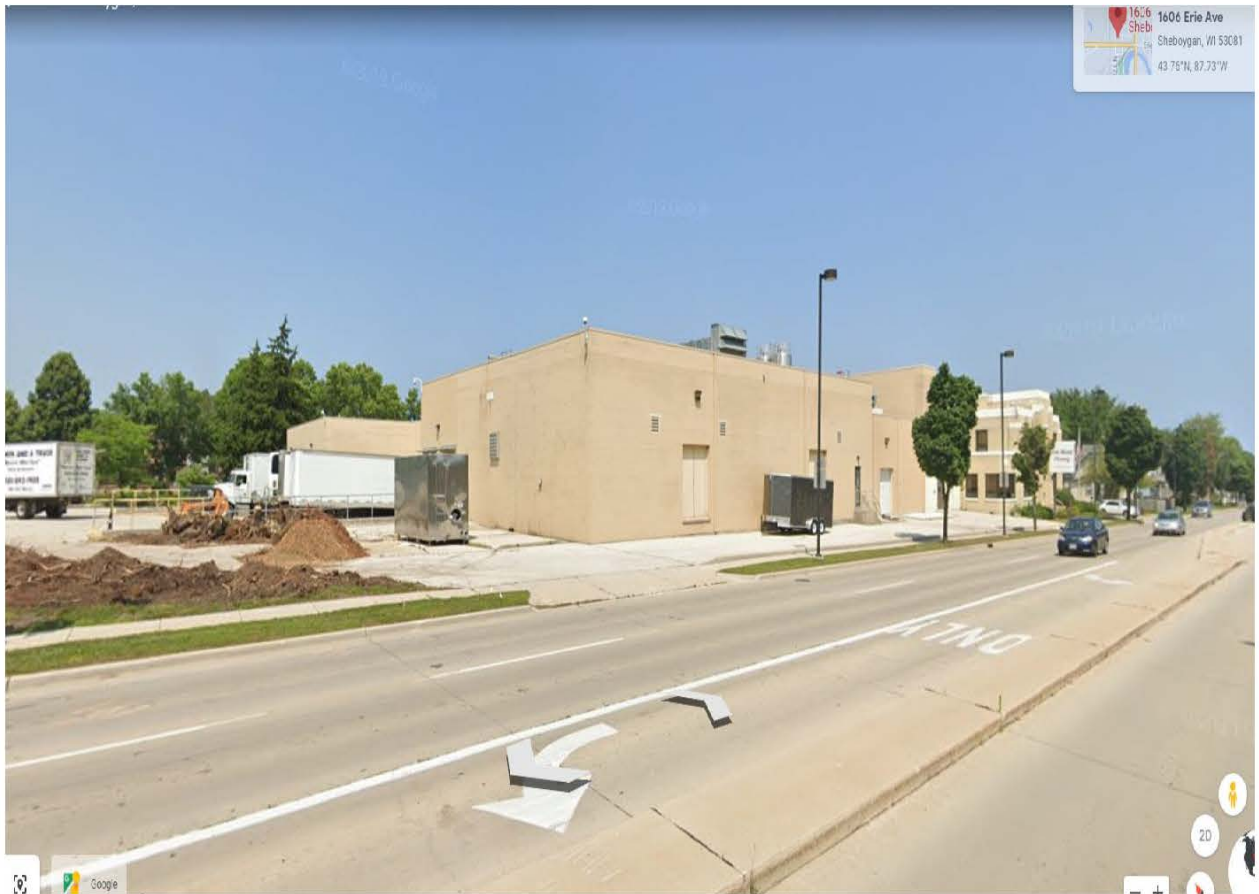
**NOTE:**  
12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

REVISIONS	DATE	DESCRIPTION
#		

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**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

---

**ITEM DESCRIPTION:** Construction of new building additions at Johnsonville Sausage located at 3402 Crocker Avenue.

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

---

**REPORT DATE:** February 19, 2021

**MEETING DATE:** February 22, 2021

---

**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

---

**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

---

**BACKGROUND / ANALYSIS:**

Johnsonville Sausage is proposing construct new building additions and rooftop mechanicals at their new facility located at 3402 Crocker Avenue (former Wigwam). The applicant states:

- The existing 193,749sf facility was formerly owned by Wigwam Mills and functioned as an industrial knitting mill corporate headquarters. The building is currently vacant. The existing building is to remain and be remodeled with a small building 1,053sf addition to the north side with little change to the exterior layout and appearance of the building.
- The facility will be converted to a meat processing facility. Activities start with meat being received in totes. The meat will then be stuffed into links, cooked, and packaged. Pallets of finished products will then leave the facility for refrigerated storage off site.
- Current plans include increasing the proposed number of lines used to process more volumes of meat into sausages at some point soon, but current project will install one line with a relatively low volume of materials in and out of the facility.
- The existing manufacturing facility provides much needed space for continued strategic growth for Johnsonville. Johnsonville will be utilizing just 38,000sf of the 194,000sf facility in the initial phase.
- Demolition work is in progress within the building with construction to full building enclosure to be complete by October 2021 followed by equipment installations into balance of 2021 and first production runs in December 2021.

New building and structures include:

- 1,053 SF proposed building addition is proposed on the north side of the existing building.
- A proposed 41' evaporator/condenser pad is proposed on the northeast corner of the existing building.
- There is an eight (8) foot tall chain link fence proposed around the evaporator/condenser platform near the NE corner of the existing building to prevent unauthorized use per OSHA requirements.

Building Architecture:

- Proposed structure is very visible and the current façade on the south, east, and west sides shall remain with the front office brick façade remaining in place and balance of building precast façade also remaining in place. Current windows on old building will remain in place or be replaced with non-vision panels to preserve the current building finishes to the public.
- The elevation plan shows the five (5) windows over existing exterior walls on the warehouse, two (2) on south side and three (3) on the north side, that would be replaced with spandrel glazing after new interior insulation walls installed to maintain the current visual appeal on the south side and replaced with insulated metal panels on the north side. In addition, three (3) of the existing dock doors are to be infilled with IMP panels on the south docks improve thermal performance. We've highlighted these changes with notes and colors on the attached elevation plan.
- Building addition on the north side away from public view is intended to be insulated metal panels as this provides the most cost-effective finish for the temperature-controlled building. The Wigwam facility was an early resident of the business park and it set the standard for current and future development. No significant changes to the building will occur that take away from its current presence as a high-quality manufacturing facility.
- The new mechanical equipment will be located within the existing building footprint with some required roof mounted piping and food grade air handling units.

Proposed Landscaping:

- Two rows of evergreen trees - a row of 11 Black Hills Spruce evergreen trees and a row of 11 White Pine are being proposed between Crocker Avenue and the existing parking lot and building. These trees will screen proposed mechanical equipment to be located on the roof of the existing building. This landscaping will screen both roof mounted equipment but also provide screening of existing truck docks and trash docks on the west side of the building.
- Additionally, five (5) Emerald Green Arborvitae evergreen shrubs are proposed to screen between Crocker Avenue and an existing sump pit. In total, the proposed landscaping point value is 940.

**STAFF COMMENTS:**

Johnsonville Sausage is proposing a significant amount of tall rooftop mechanicals in this initial phase that are to be located on the north/rear side of their building. In this initial phase of use of the building, the applicant is proposing to install landscaping along Crocker Avenue to help screen these new rooftop mechanicals. The Board will want to review sight line drawing submitted by the applicant who believes the landscaping will help screen these new rooftop mechanicals from the Crocker Avenue.

As Johnsonville adds more production lines to the center and south side of the building, these tall mechanical structures will get closer to the south building elevation and much more visible to Crocker Avenue. Staff is making the applicant aware that as these rooftop mechanicals continue towards the south side of the building additional screening will be required, thus, it is important for Johnsonville Sausage to begin considering their rooftop mechanical screening options.

Does Johnsonville have plans for other potential structures and/or improvements in the future?

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.:	_____
MAP NO.:	_____
ZONING CLASSIFICATION:	_____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

## CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Johnsonville Sausage, LLC Contacts: Brian Jacoby, Mike Ames

ADDRESS: P.O. Box 906, Sheboygan Falls, WI

E-MAIL ADDRESS: bjacoby@johnsonville.com, mames@johnsonville.com

PHONE: (     ) <sup>Brian Jacoby 920-453-7755</sup>  
<sub>Mike Ames 920-453-7403</sub>      FAX NO.: (920) 453-2212

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Johnsonville Sausage, LLC

ADDRESS OF PROPERTY AFFECTED: 3402 Crocker Ave, Sheboygan, WI, 53081

NEW BUILDING: \_\_\_\_\_ ADDITION:   X   REMODELING:   X  

DESCRIPTION OF PROPOSED PROJECT: \_\_\_\_\_  
 \_\_\_\_\_  
See attached narrative.  
 \_\_\_\_\_  
 \_\_\_\_\_

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
 \_\_\_\_\_  
See attached narrative.  
 \_\_\_\_\_  
 \_\_\_\_\_

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
 \_\_\_\_\_  
See attached narrative.  
 \_\_\_\_\_  
 \_\_\_\_\_

**3. NAMES AND ADDRESSES**

**OWNER OF SITE:** Johnsonville Sausage, LLC Contacts: Brian Jacoby, Mike Ames

**ADDRESS:** P.O. Box 906, Sheboygan Falls, WI 53085

**PHONE:** ( ) Brian Jacoby 920-453-7755  
Mike Ames 920-453-7403 **FAX NO.:** ( )

**ARCHITECT:** Excel Engineering Inc, Contact: Mike Sampson

**ADDRESS:** 100 Camelot Drive, Fond du Lac WI 54935

**E-MAIL ADDRESS:** mike.s@excelengineer.com

**PHONE:** ( 920 ) 926-9800 **FAX NO.:** ( )

**CONTRACTOR:** Miron Construction Co, Inc - Eric Grams

**ADDRESS:** 1471 McMahon Drive, Nennah, WI 54956

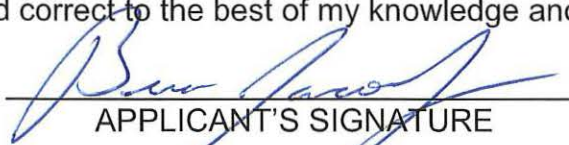
**PHONE:** ( 920 ) 969-7074 **FAX NO.:** ( )

**4. APPLICATION SUBMITTAL REQUIREMENTS**

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Provide eight 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- D. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

**5. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
APPLICANT'S SIGNATURE

2/1/21  
\_\_\_\_\_  
DATE

Brian Jacoby  
\_\_\_\_\_  
PRINT ABOVE NAME

OFFICE USE ONLY

January 29, 2021

## **Architectural Review Board Narrative**

### **PROJECT NAME AND ADDRESS:**

Johnsonville Sheboygan Remodel  
3402 Crocker Ave  
Sheboygan, Wisconsin 53081

### **DESCRIPTION OF PROPOSED PROJECT**

- The facility will be converted to a meat processing facility. Activities start with meat being received in totes. The meat will then be stuffed into links, cooked, and packaged. Pallets of finished products will then leave the facility for refrigerated storage off site.
- Current plans include increasing the proposed number of lines used to process more volumes of meat into sausages at some point soon, but current project will install one line with a relatively low volume of materials in and out of the facility.
- No outdoor storage is proposed.

### **DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS**

- Existing building has a Front office building with a Brick façade that will remain in place and the surrounding industrial building has a pre-cast exterior façade on south, east, and west sides that will remain intact along the entire public façade along Crocker Avenue.

### **DESCRIPTION OF **PROPOSED** EXTERIOR DESIGN AND MATERIALS**

- Proposed structure is very visible and the current façade on the south, east, and west sides shall remain with the front office brick façade remaining in place and balance of building precast façade also remaining in place. Current windows on old building will remain in place or be replaced with non-vision panels to preserve the current building finishes to the public. Building addition on the north side away from public view is intended to be insulated metal panels as this provides the most cost-effective finish for the temperature-controlled building. The Wigwam facility was an early resident of the business park and it set the standard for current and future development. No significant changes to the building will occur take away from its current presence as a high-quality manufacturing facility.

### **MECHANICAL EQUIPMENT**

- The new mechanical equipment will be located within the existing building footprint with some required roof mounted piping and food grade air handling units.

### **FACILITY ACCESS**

- There are no access changes proposed from existing access from Crocker Ave.

### **FENCING / LANDSCAPING**

- There is an 8' tall chain link fence being proposed around the evaporator/condenser platform being proposed near the NE corner of the existing building to prevent unauthorized use per OSHA requirements.
- A row of 11 Black Hills Spruce evergreen trees and a row of 11 White Pine evergreen trees are

being proposed between Crocker Avenue and the existing parking lot and building. These trees will screen proposed mechanical equipment to be located on the roof of the existing building. Additionally, 5 Emerald Green Arborvitae evergreen shrubs are proposed to screen between Crocker Avenue and an existing sump pit. In total, the proposed landscaping point value is 940.

- The proposed evergreens on the west side of the site will both screen roof mounted equipment but also provide new screening from the public of the existing truck docks and trash docks.
- Landscape plan to comply with the requirements of Section 15.6 and the subsequent point values defined for all four landscape point criteria (Building Foundation, Developed Lot, Street Frontages, and Paved Area). In total, 61 points are required.

January 29, 2021

## **CUP Project Description**

### **PROJECT NAME AND ADDRESS:**

Johnsonville Sheboygan Remodel  
3402 Crocker Ave  
Sheboygan, Wisconsin 53081

### **PARCEL INFORMATION/ZONING CLASSIFICATION/SITE DATA**

- The parcel is defined as tax parcel 59281423880
- SI – Suburban Industrial
- Lot area is 16.56 acres.

### **EXISTING SITE CONDITIONS/LAND USE:**

- Facility was formerly owned by Wigwam Mills and functioned as an industrial knitting mill corporate headquarters. The building is currently vacant. Existing building to remain and be remodeled with a small building addition to the north side with little change to the exterior layout and appearance of the building.

### **PROPOSED BUILDING USE AND ACTIVITIES TO TAKE PLACE ONSITE**

- The facility will be converted to a meat processing facility. Activities start with meat being received in totes. The meat will then be stuffed into links, cooked, and packaged. Pallets of finished products will then leave the facility for refrigerated storage off site.
- Current plans include increasing the proposed number of lines used to process more volumes of meat into sausages at some point soon, but current project will install one line with a relatively low volume of materials in and out of the facility.
- No outdoor storage is proposed.

### **SITE SELECTION**

- Current location is supported logistically easily from the current Johnsonville Sheboygan Falls facility for both raw meat preparation and storage and distribution of finished product.
- The facility being a current manufacturing facility provides much needed space for continued strategic growth for Johnsonville.
- Demolition work is in progress within the building with construction to full building enclosure to be complete by October 2021 followed by equipment installations into balance of 2021 and first production runs in December 2021.

### **BUILDING SQUARE FOOTAGE**

- Existing –193,749 SF
- Proposed – 1,053 SF Addition
- No other building additions have been identified at this time.

### **BUILDING LAYOUT DESCRIPTION**

- Existing shipping and receiving docks will be reused to receive raw materials and supplies as well as to ship out finished products.
- Existing trash dock shall be reused to provide for waste disposal.

- Existing parking lot to the east will remain in use for primary Member (employee) parking.
- Existing dining and break room facilities in the center of the plant shall be reused.
- New production line will be located on the north end of the existing warehouse.
- Old mechanical dye room on the north east corner of the building will be repurposed to provide a new code compliant ammonia refrigeration room and a new electrical room.
- Existing office and support spaces shall remain intact at this time but may not be fully utilized at this time.
- Existing boiler, maintenance, and air compressor rooms will remain.
- Of the current building area of 193,749 s.f. building less than 38,000 s.f. of area will be actively used in this first phase of work.

#### DESCRIPTION OF NEW BUILDING IMPROVEMENTS AND ALL NEW SITE IMPROVEMENTS

- 1,053 SF proposed building addition is proposed on the north side of the existing building.
- Roof drains/downspouts on the north side of the current building that currently connect to storm pipes which discharge into several swales north of the building will be connected to a proposed storm line which will also collect the newly proposed addition downspouts. The proposed storm line will discharge on the northeast corner of site, which will drain offsite to a stormwater management basin owned by the city of Sheboygan.
- A new process line and grease interceptor is proposed on the north side of the building, connecting into the existing sanitary system east of the existing building.
- A proposed asphalt drive is proposed to access the proposed grease interceptor.
- A proposed 41' evaporator/condenser pad is proposed on the northeast corner of the existing building.
- A stone strip is proposed around the perimeter of the existing building for pest management required by third party food inspections.
- Two rows of evergreen trees are being proposed between Crocker Avenue and the existing parking lot and building. These trees will screen proposed mechanical equipment to be located on the roof of the existing building. This landscaping will screen both roof mounted equipment but also provide screening of existing truck docks and trash docks on the west side of the building.

#### ARCHITECTURAL DESCRIPTION AND ORIENTATION OF ALL PROPOSED BUILDINGS

- Proposed structure is very visible and the current façade on the south, east, and west sides shall remain with the front office brick façade remaining in place and balance of building precast façade also remaining in place. Current windows on old building will remain in place or be replaced with non-vision panels to preserve the current building finishes to the public. Building addition on the north side away from public view is intended to be insulated metal panels as this provides the most cost-effective finish for the temperature-controlled building. The Wigwam facility was an early resident of the business park and it set the standard for current and future development. No significant changes to the building will occur that take away from its current presence as a high-quality manufacturing facility.
- Site signage design, review, and approval by Owner in a separate submittal.

#### MECHANICAL EQUIPMENT

- The new mechanical equipment will be located within the existing building footprint with some required roof mounted piping and food grade air handling units.

## FACILITY ACCESS

- There are no access changes proposed from existing access from Crocker Ave.
- Existing truck docks and loading facilities to remain on the west side of the facility with additional landscaping added along Crocker Avenue to shield both existing truck traffic areas as well as the trash docks.
- Members (employees) will use the east drive to access the site with the current entrance on this east side of the building.

## PARKING

- Number of proposed parking spaces = 360 Existing
- Number of required parking spaces = 1 per employee on largest work shift, which is anticipated to be about 16.

## PARKING AND TRAFFIC IMPACTS

No new proposed parking, so there are no expected traffic impacts.

- Short term the traffic impact will certainly go down on this site, but it is anticipated that as future process expansions occur within the building addition more truck and service traffic will occur.

## SITE LIGHTING

- Existing site lighting will remain. There will be no new pole lights. There will be some building mounted exterior emergency wall packs by the new exit doors to meet current code required egress lighting requirements.

## FENCING / LANDSCAPING

- There is an 8' tall chain link fence being proposed around the evaporator/condenser platform being proposed near the NE corner of the existing building to prevent unauthorized use per OSHA requirements.
- A row of 11 Black Hills Spruce evergreen trees and a row of 11 White Pine evergreen trees are being proposed between Crocker Avenue and the existing parking lot and building. These trees will screen proposed mechanical equipment to be located on the roof of the existing building. Additionally, 5 Emerald Green Arborvitae evergreen shrubs are proposed to screen between Crocker Avenue and an existing sump pit. In total, the proposed landscaping point value is 940.
- Landscape plan to comply with the requirements of Section 15.6 and the subsequent point values defined for all four landscape point criteria (Building Foundation, Developed Lot, Street Frontages, and Paved Area). In total, 61 points are required.
  - Building Foundation
    - 40 points/100LF of foundation
      - $40 \times 120 / 100 = 48$  Points Required
  - Developed Lot
    - 10 points/1,000SF of floor area
      - $10 \times 1,034 / 1,000 = 11$  Points Required
  - Street Frontage
    - No newly proposed street frontage
  - Paved Area
    - 10 points/10,000SF of floor area
      - $10 \times 2,000 / 10,000 = 2$  Points Required

- Locational landscape variance to be requested see Variance Description.

#### VARIANCE REQUEST/VARIANCE DESCRIPTION:

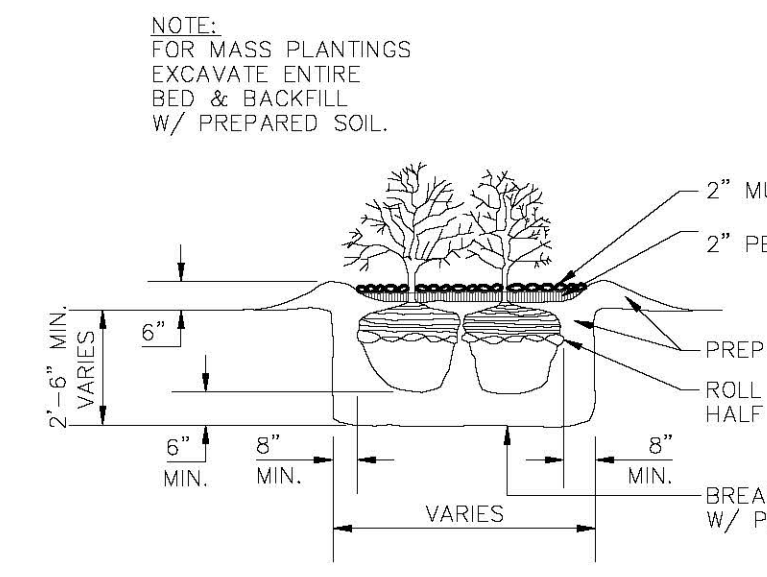
- Locational Landscaping - The requested variance is to allow for flexibility in meeting the (4) required landscape criteria planting locations. It is our intention to provide the total required landscape points associated with each of the (4) landscape criteria. However, given the location of the building addition and need for landscaping between Crocker Avenue and the existing parking lot and building, we request the flexibility to provide the required landscape outside of the building foundation wall area. In addition, we need to follow food safety guidelines that prohibit providing habitat near a building that is manufacturing food product.

#### POTENTIAL NUISANCES

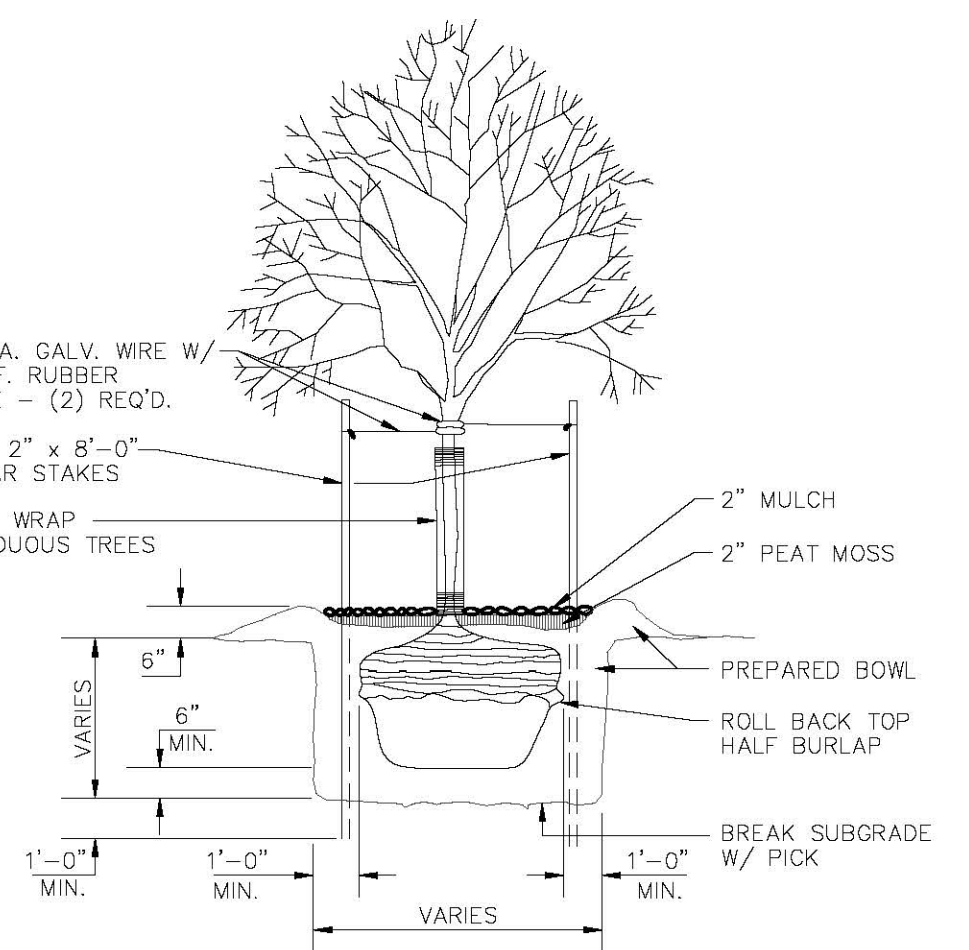
- Current plans will reduce traffic at this site.
- Existing truck and material handling facilities will be used.
- No outdoor storage is needed.
- Lighting will remain in place and will not in any material way change current use.
- Meat products are cooked, and this can emit a nice backyard barbeque smell which is part of the basic product appeal but venting for this process happens through the roof and this normally disperses any smells associated with production.
- The new cooling media will be ammonia and the relief venting and valves for these systems will be located on the roof. During normal operation, no smells will be anticipated. In addition, Johnsonville will maintain a process safety management plan in accordance with OSHA and IIAR Guidelines to inspect and maintain the ammonia system. In the event of an emergency the ammonia smell as we all know generally acts as an early warning sign allowing for prompt emergency response.

LANDSCAPING CALCULATIONS	
ZONE	REQ. POINTS
BUILDING FOUNDATION	40 POINTS PER 100 LF OF FOUNDATION 40x100=40
GROSS FLOOR AREA	10 POINTS PER 1,000 SF FLOOR AREA 10x1000=10
PAVED AREA	10 POINTS PER 10,000 SF 10x10000=2
TOTAL	61 POINTS REQUIRED

Landscape Planting Schedule					
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY	POINTS
<b>EVERGREEN TREES</b>					
⊙	Black Hills Spruce	Picea glauca	14"	11	40
⊙	White Pine	Pinus strobus	12"	11	40
<b>EVERGREEN SHRUBS</b>					
⊙	Emerald Green Arborvitae	Thuja occidentalis 'Emerald Green'	2'	5	12
<b>TOTAL POINTS</b>					<b>940</b>



**SPECIFICATION NOTE:**  
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



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Miron Construction Co., Inc.  
1471 McMahon Drive  
Neenah, WI 54956

**PROJECT INFORMATION**

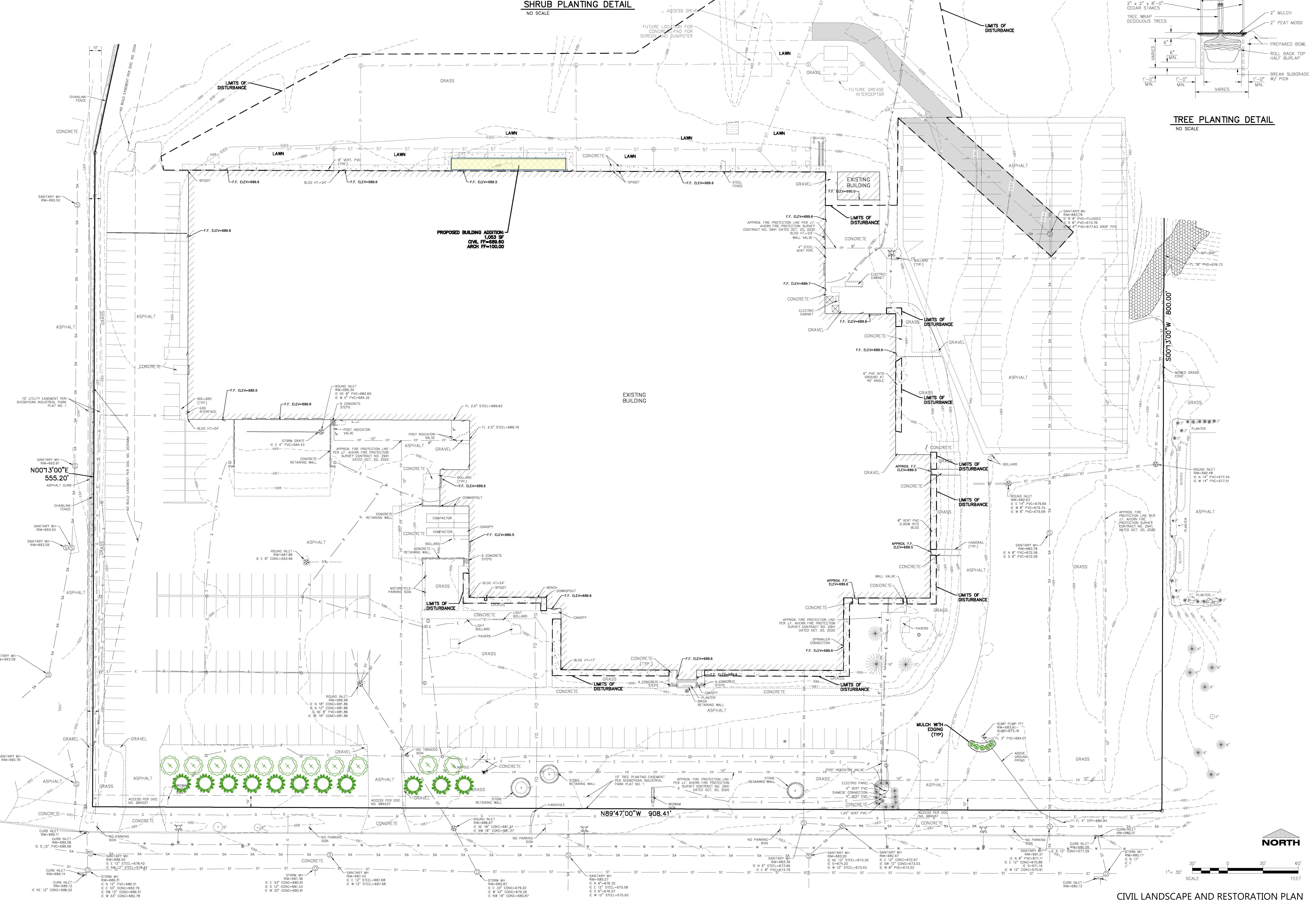
EXPANSION & REMODEL FOR:  
**JOHNSONVILLE - SHEBOYGAN FACILITY PHASE 1**  
3402 CROCKER AVENUE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

SHEET DATES	
SHEET ISSUE	JAN. 29, 2021
REVISIONS	

JOB NUMBER	
2046040	

SHEET NUMBER	
C1.4	



**CIVIL LANDSCAPE AND RESTORATION PLAN**

PROJECT INFORMATION

EXPANSION & REMODEL FOR:  
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 3402 CROCKER AVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JAN. 29, 2021

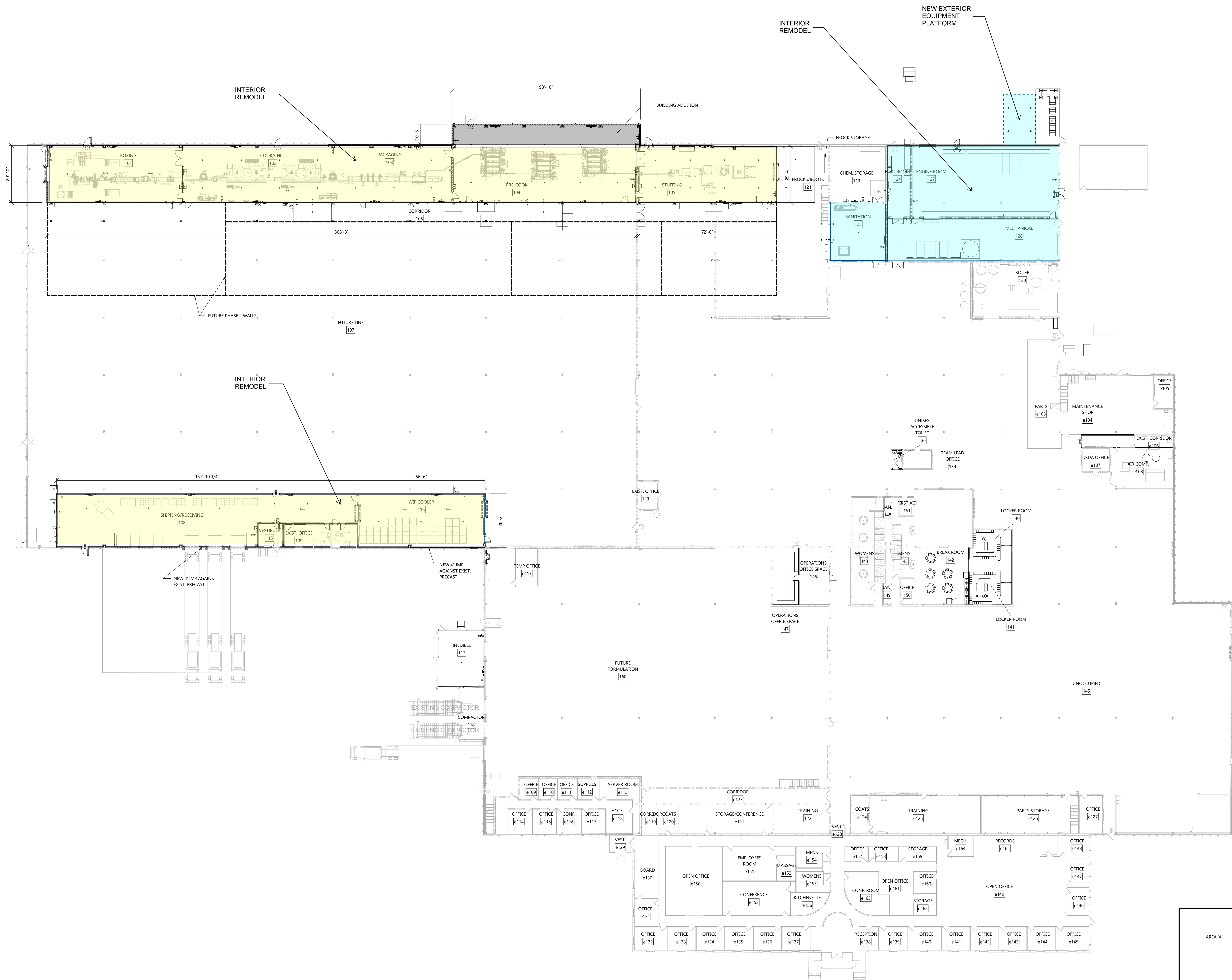
REVISIONS FEB. 17, 2021

JOB NUMBER

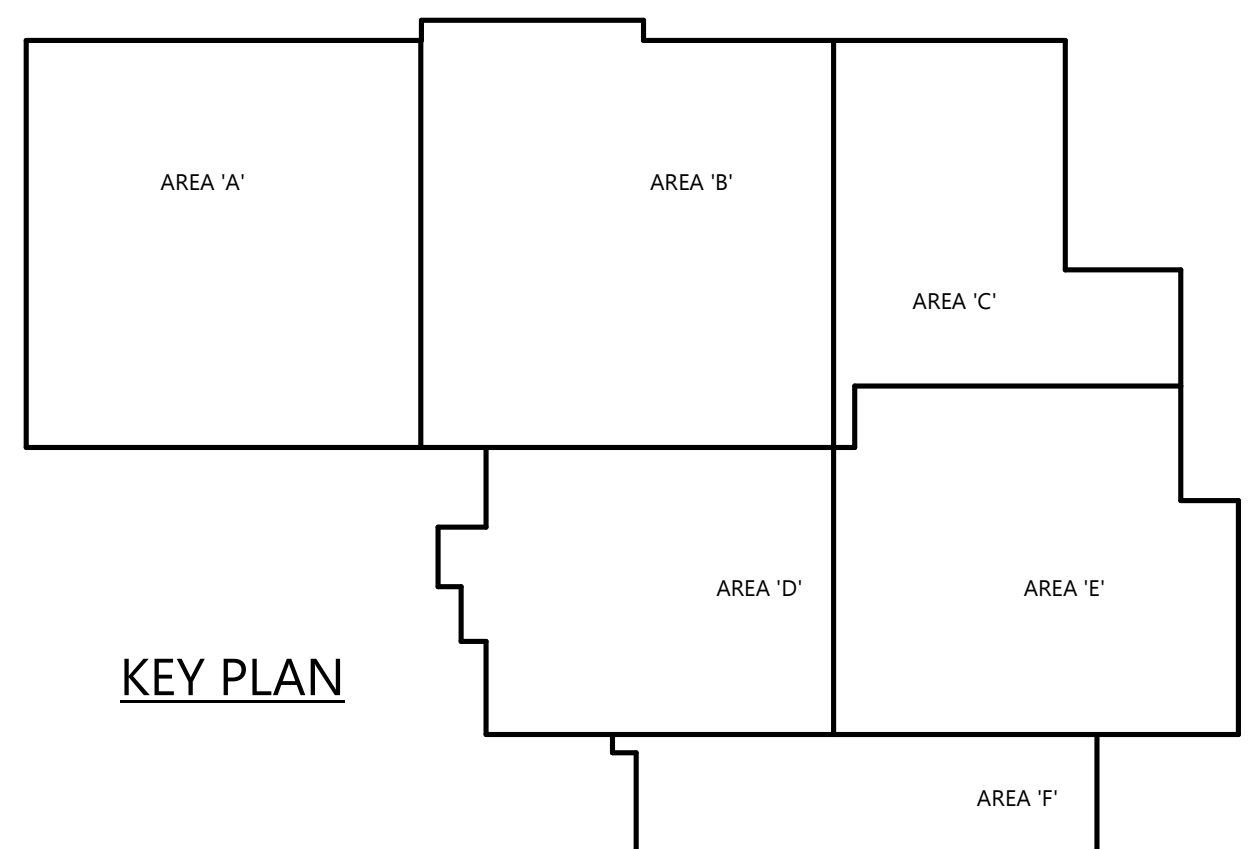
2046040

SHEET NUMBER

**A1.1**



**OVERALL FIRST FLOOR PLAN**  
 SCALE: 1" = 20' 0"  
 NORTH



KEY PLAN

ARCHITECTURAL OVERALL FIRST FLOOR PLAN

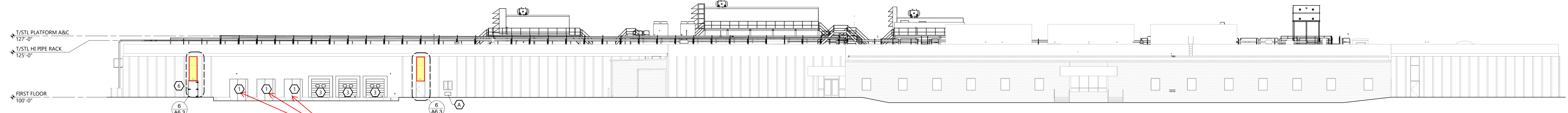
C:\Users\jacob@excel.com\Documents\JOHNSONVILLE - SHEBOYGAN FACILITY PHASE 1\2021\_01\_29\Overall First Floor Plan.dwg  
 2/17/2021 4:03:54 PM

EXTERIOR FINISH KEY

- ① NEW COOLER DOOR
- ② NEW STAINLESS STEEL DOOR
- ③ NEW METAL DOOR
- ④ NEW OH DOOR
- ⑤ DOWNSPOUT & GUTTER
- ⑥ INSULATED METAL WALL PANEL

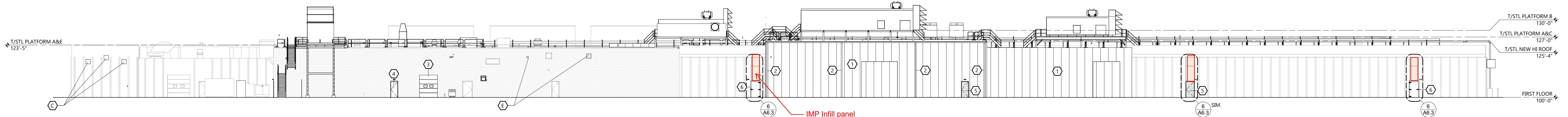
KEYED NOTES

- Ⓐ EXISTING PTAC UNIT REMOVED FROM WALL - INFILL OPENING WITH IMP. PROVIDE SEALANT ALL AROUND PERIMETER OF INFILL TO EXISTING PRECAST PANEL.
- Ⓑ NEW DUCT THROUGH WALL IS SMALLER - INFILL REMAINDER OF OPENING WITH IMP. PROVIDE SEALANT ALL AROUND PERIMETER OF INFILL TO EXISTING PRECAST PANEL. IMP SUPPLIER TO DETERMINE APPROPRIATE PLACEMENT OF TRACK AND DIRECTION OF SPAN. FLASH AND SEAL AS REQUIRED AND DETAILED ON HVAC DRAWINGS.
- Ⓒ INFILL EXISTING OPENINGS IN PRECAST WALL AT ABANDONED DUCTS WITH IMP - CUT TO FIT OPENING. PROVIDE SEALANT ALL AROUND PERIMETER OF INFILL TO EXISTING PRECAST PANEL.
- Ⓓ EXISTING HVAC PENETRATION REMOVED - INFILL REMAINING OPENING WITH TRANSLUCENT PANEL TO MATCH EXISTING. FIELD VERIFY IF OPENING EXTENDS INTO CMU WALL BELOW. IF YES, INFILL CMU WALL WITH CMU TO MATCH EXISTING ADJACENT THICKNESS AND FINISH.
- Ⓔ EXISTING HVAC PENETRATION REMOVED - INFILL REMAINING OPENING WITH CMU TO MATCH EXISTING ADJACENT THICKNESS AND FINISH.



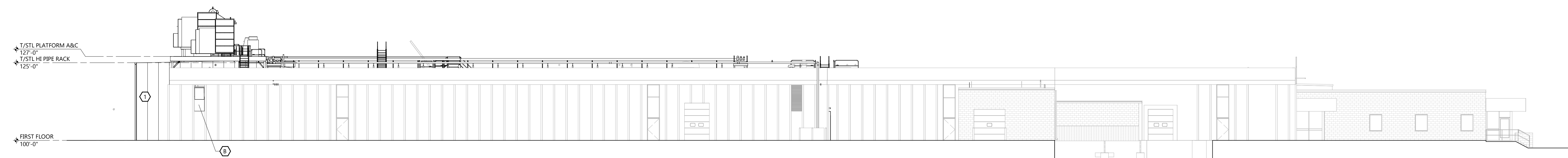
SOUTH BUILDING ELEVATION

SCALE: 1" = 20'-0"



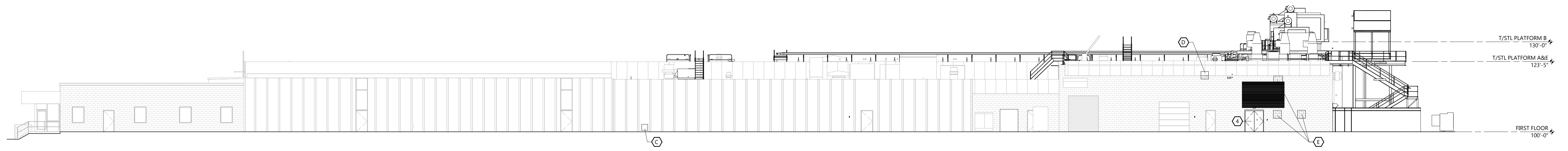
NORTH BUILDING ELEVATION

SCALE: 1" = 20'-0"



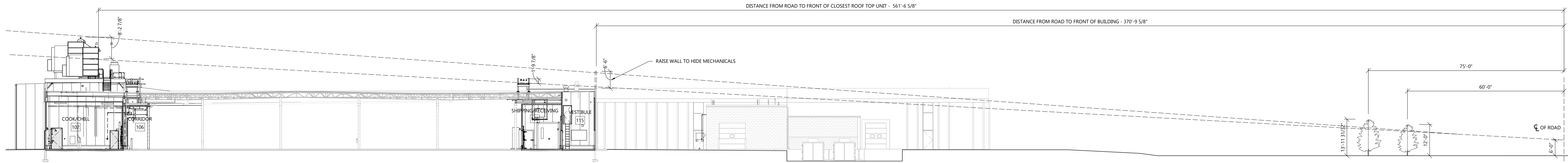
WEST BUILDING ELEVATION

SCALE: 1/16" = 1'-0"

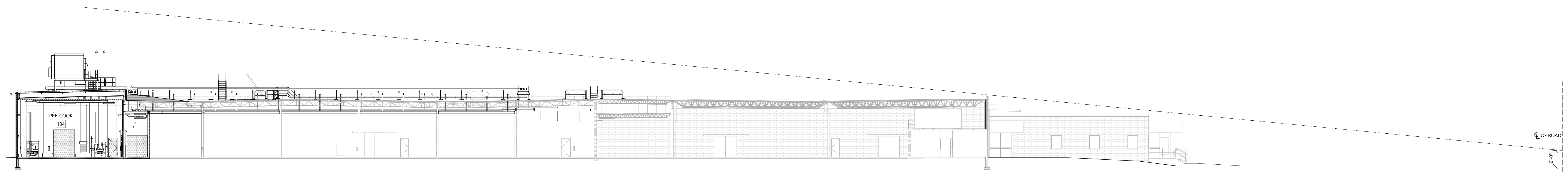


EAST BUILDING ELEVATION

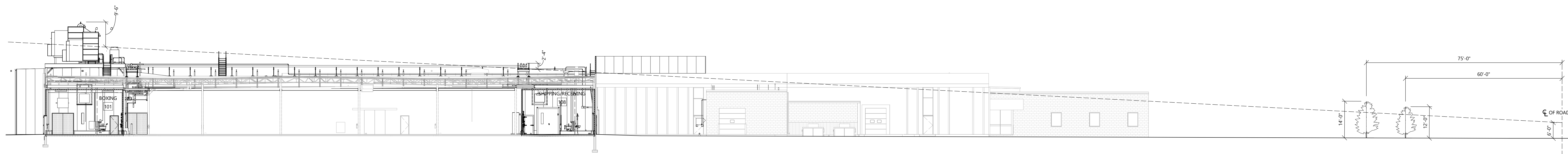
SCALE: 1/16" = 1'-0"



1 BUILDING SIGHT LINE SECTION  
A2.0S SCALE: 1/16" = 1'-0"



2 BUILDING SIGHT LINE SECTION  
A2.0S SCALE: 1/16" = 1'-0"



3 BUILDING SIGHT LINE SECTION  
A2.0S SCALE: 1/16" = 1'-0"

PROJECT INFORMATION

EXPANSION & REMODEL FOR:  
**JOHNSONVILLE - SHEBOYGAN FACILITY PHASE 1**  
3402 CROCKER AVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

PRELIMINARY DATES

JAN. 14, 2021  
JAN. 19, 2021  
FEB. 17, 2021

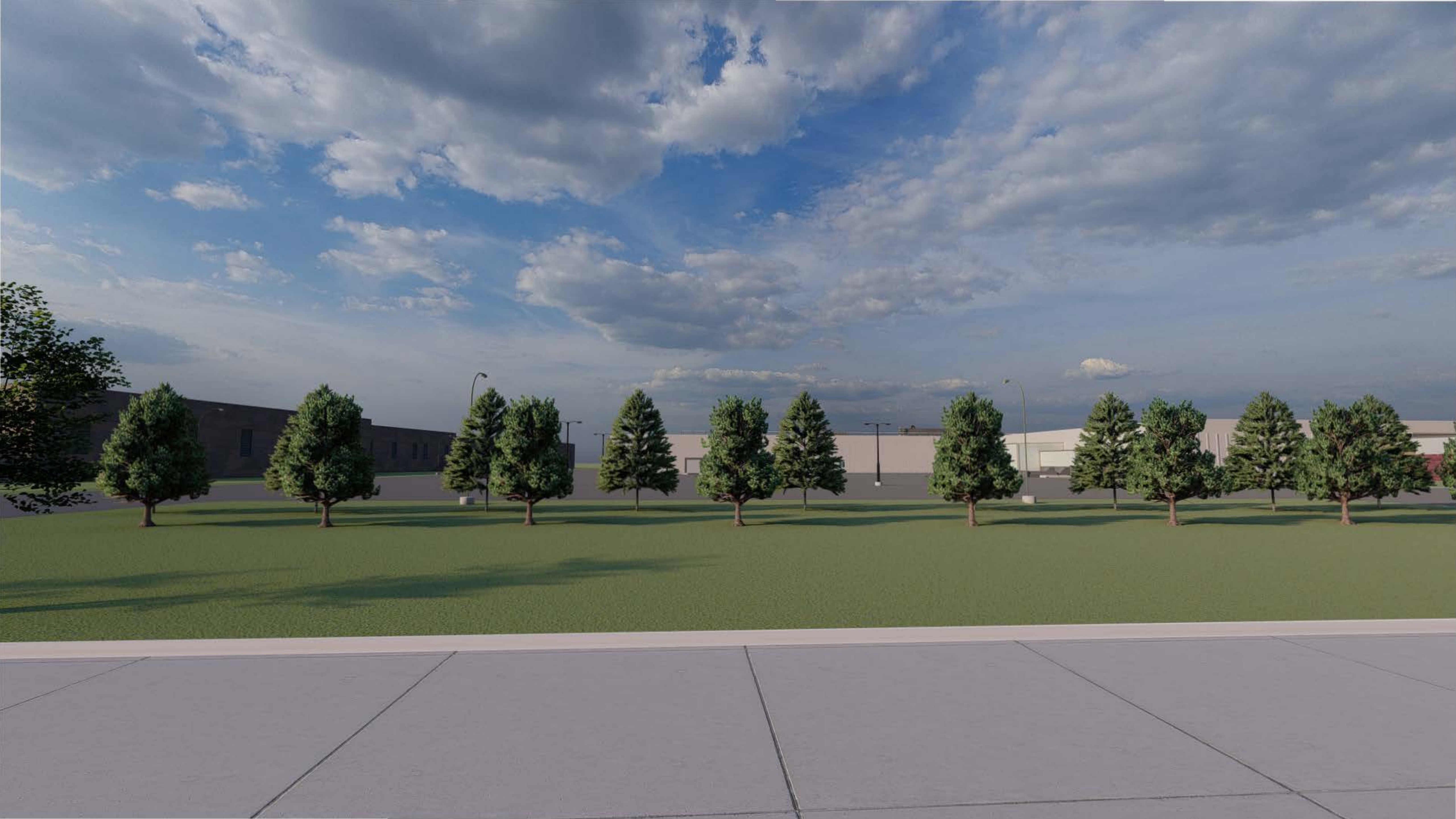
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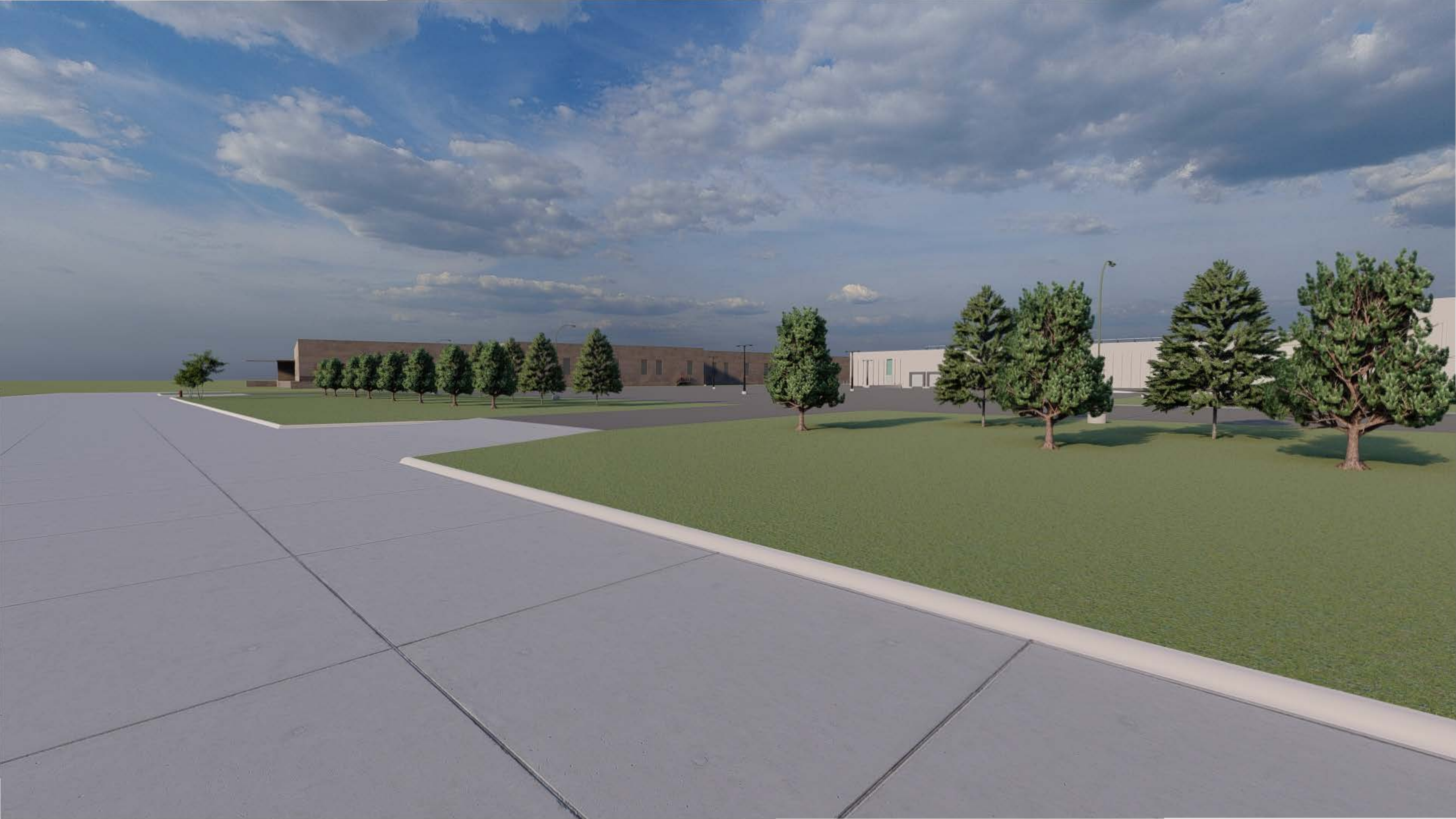
2046040

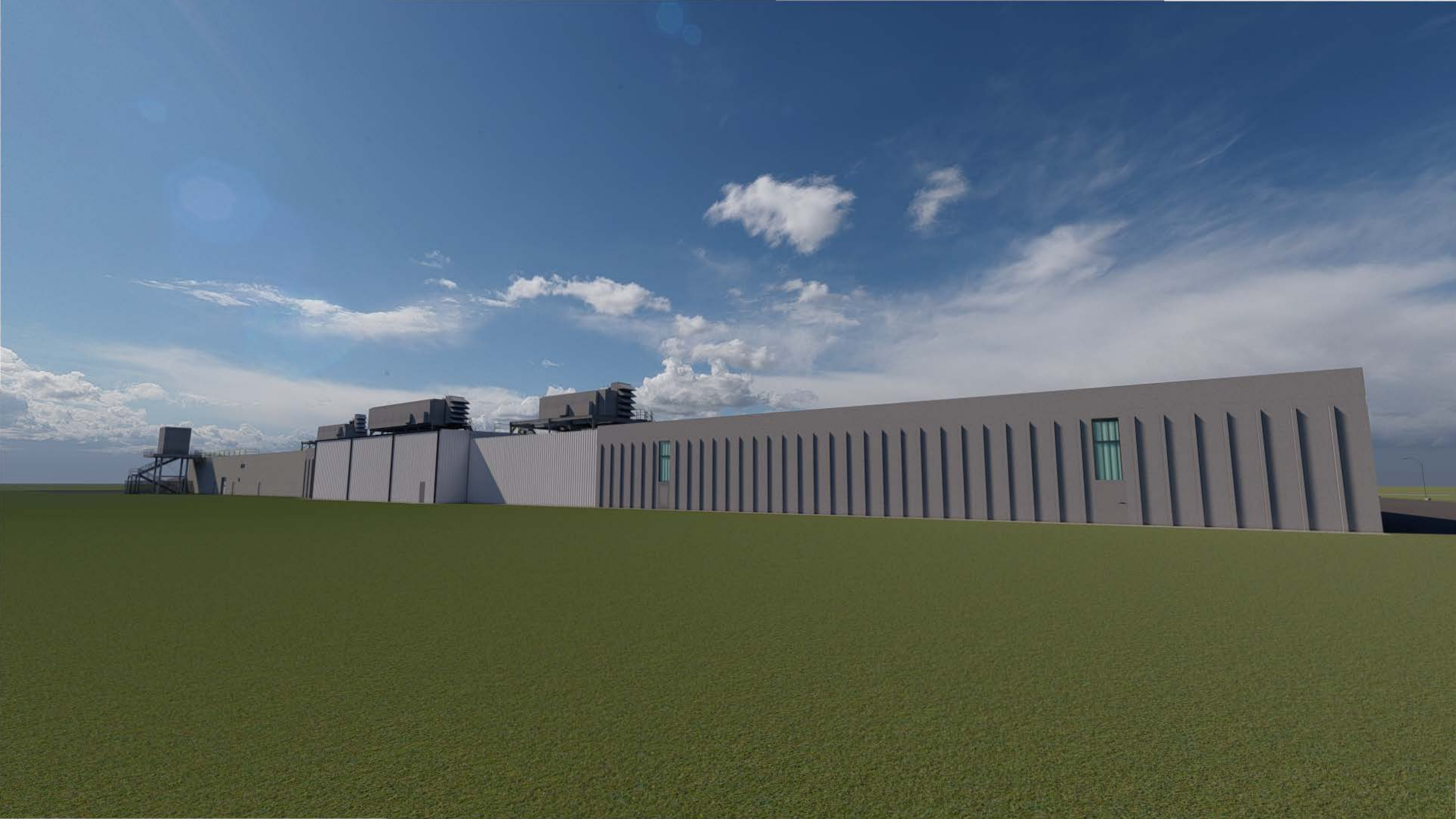
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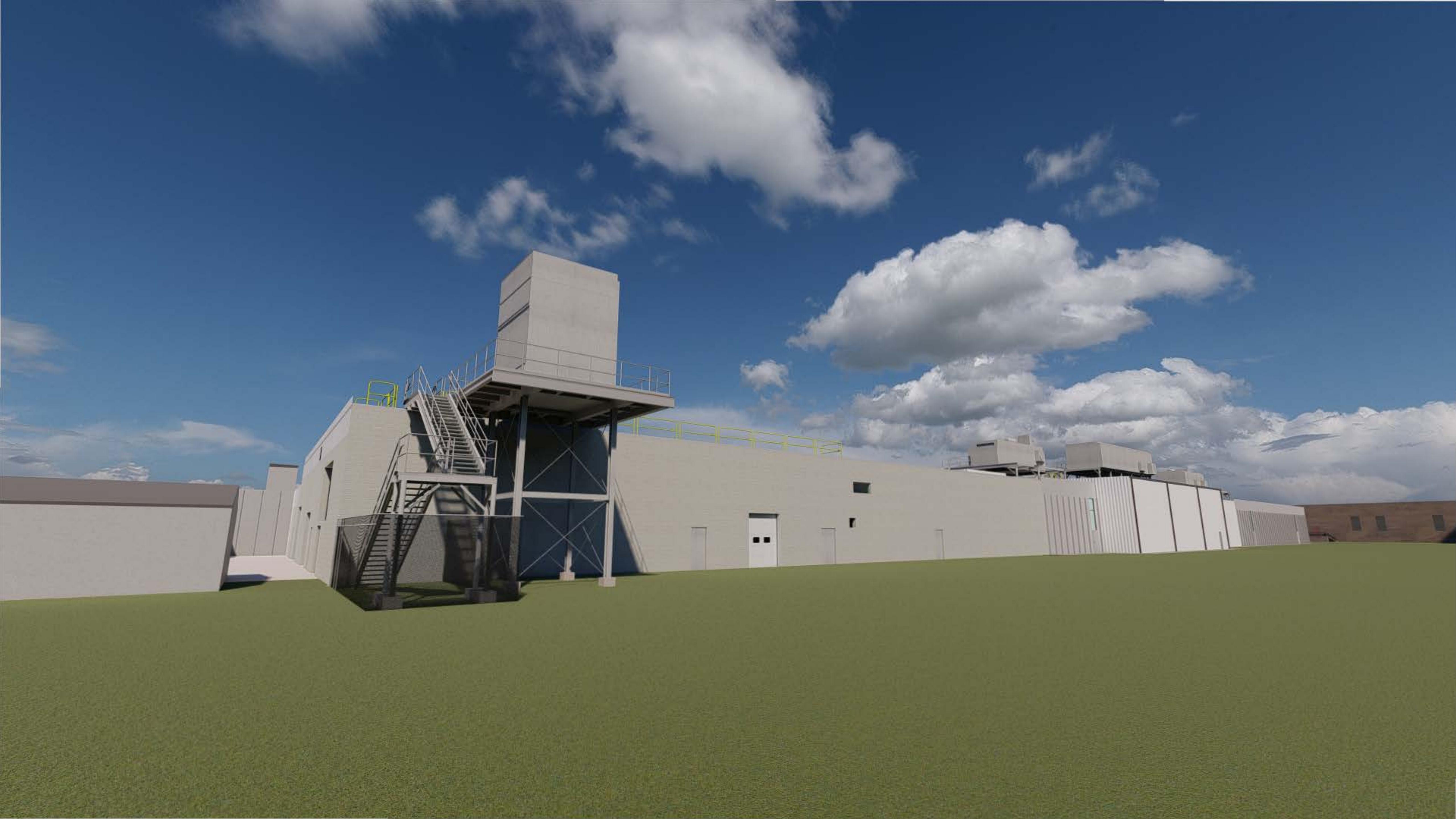
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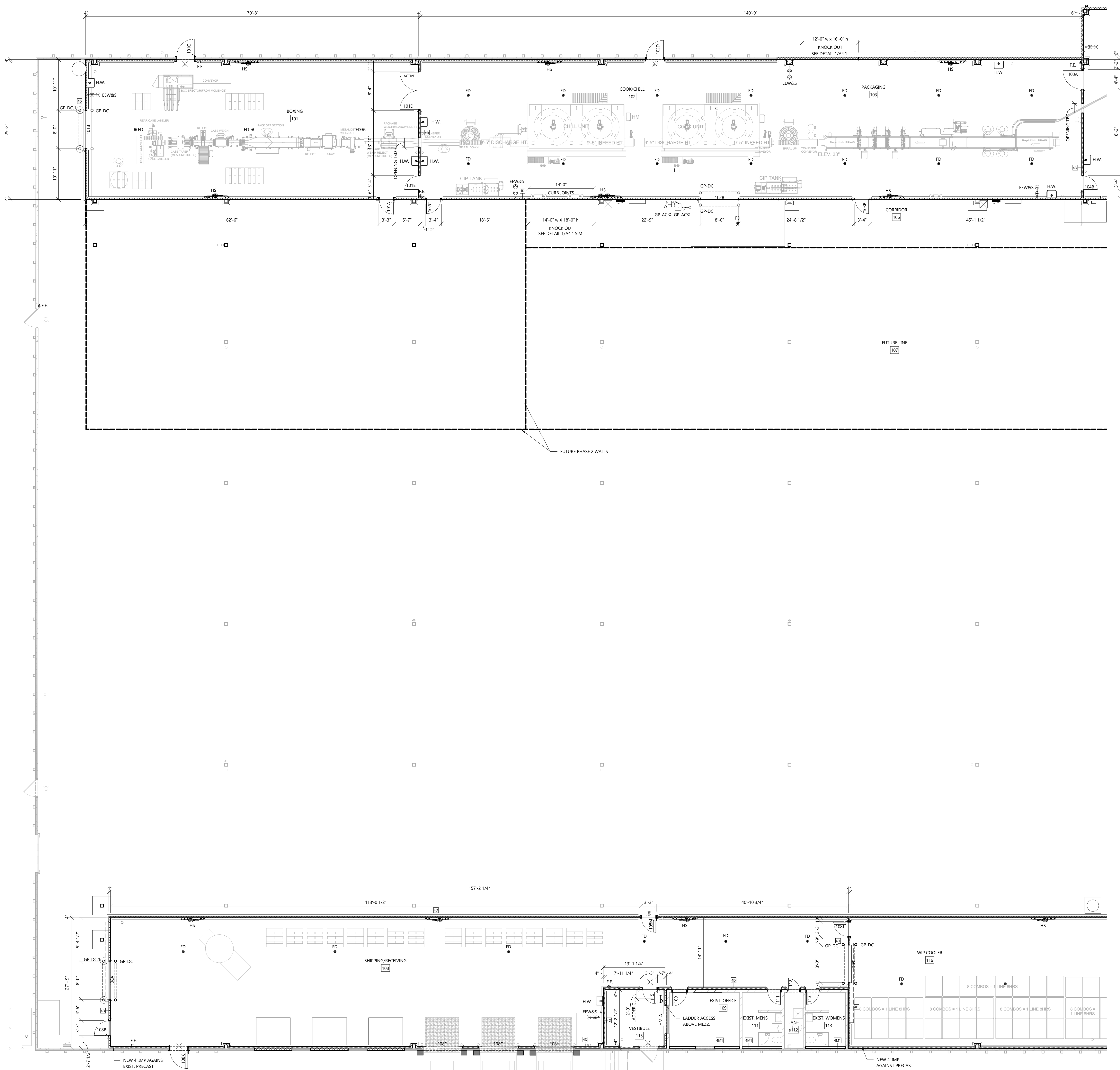




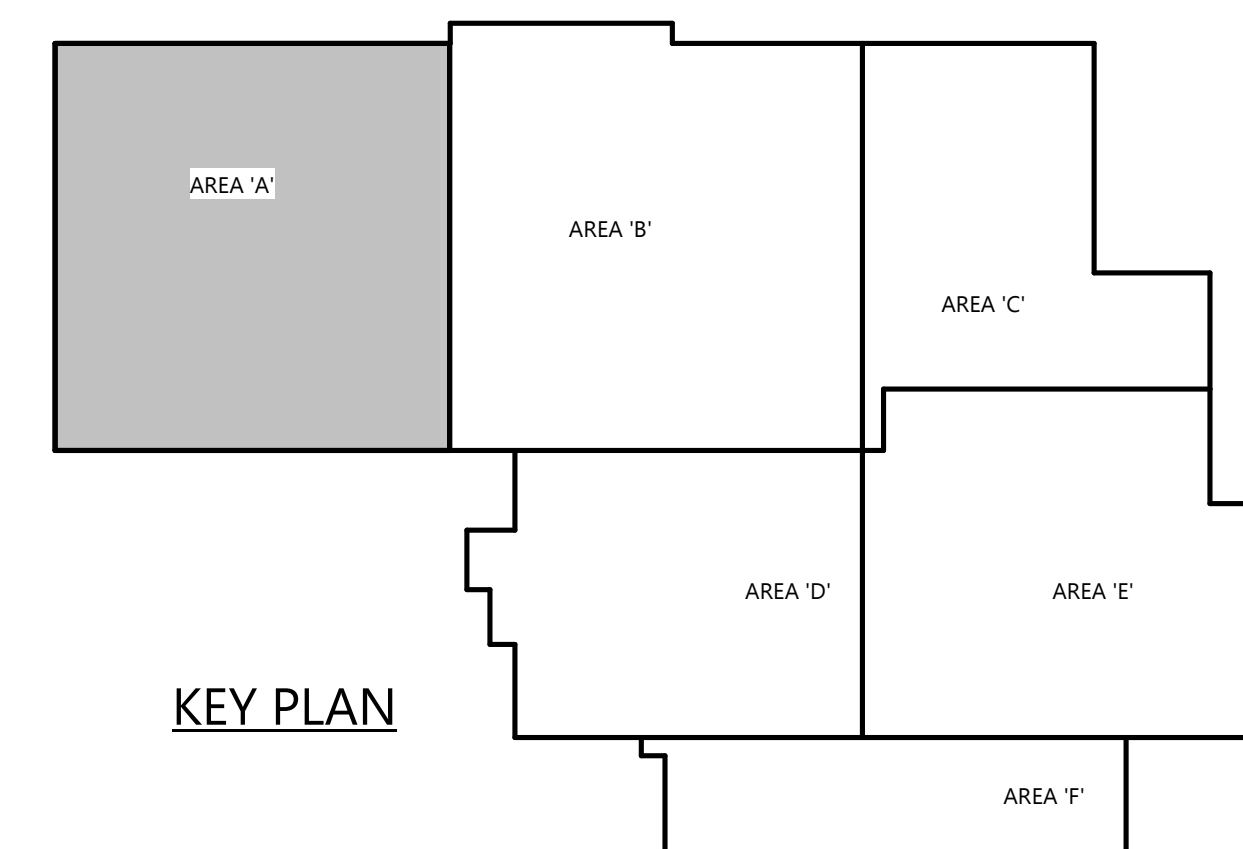








NORTH  
 FIRST FLOOR - AREA 'A'  
 SCALE: 1/8" = 1'-0"



KEY PLAN

ARCHITECTURAL FIRST FLOOR PLAN - AREA 'A'

PROJECT INFORMATION

EXPANSION & REMODEL FOR:  
**JOHNSONVILLE - SHEBOYGAN FACILITY PHASE 1**  
 3402 CROCKER AVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

SHEET DATES

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JOB NUMBER

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**A1.1A**

PROJECT INFORMATION

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SHEET DATES

SHEET ISSUE JAN. 29, 2021

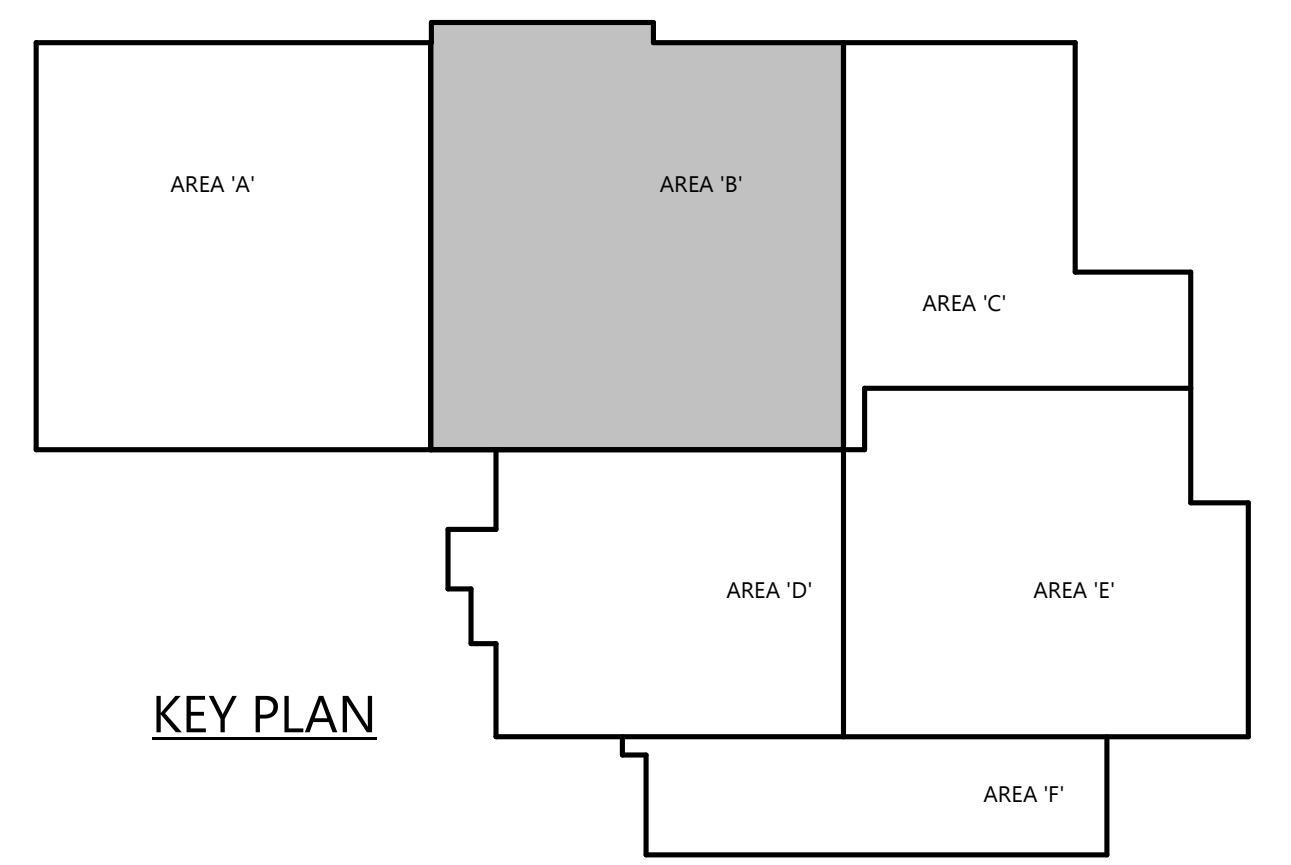
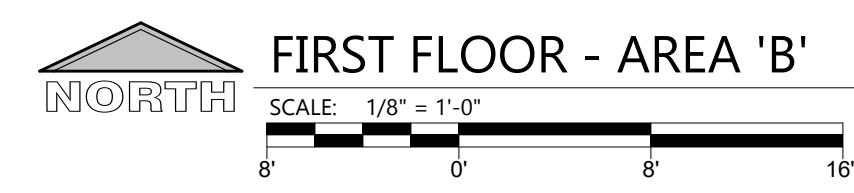
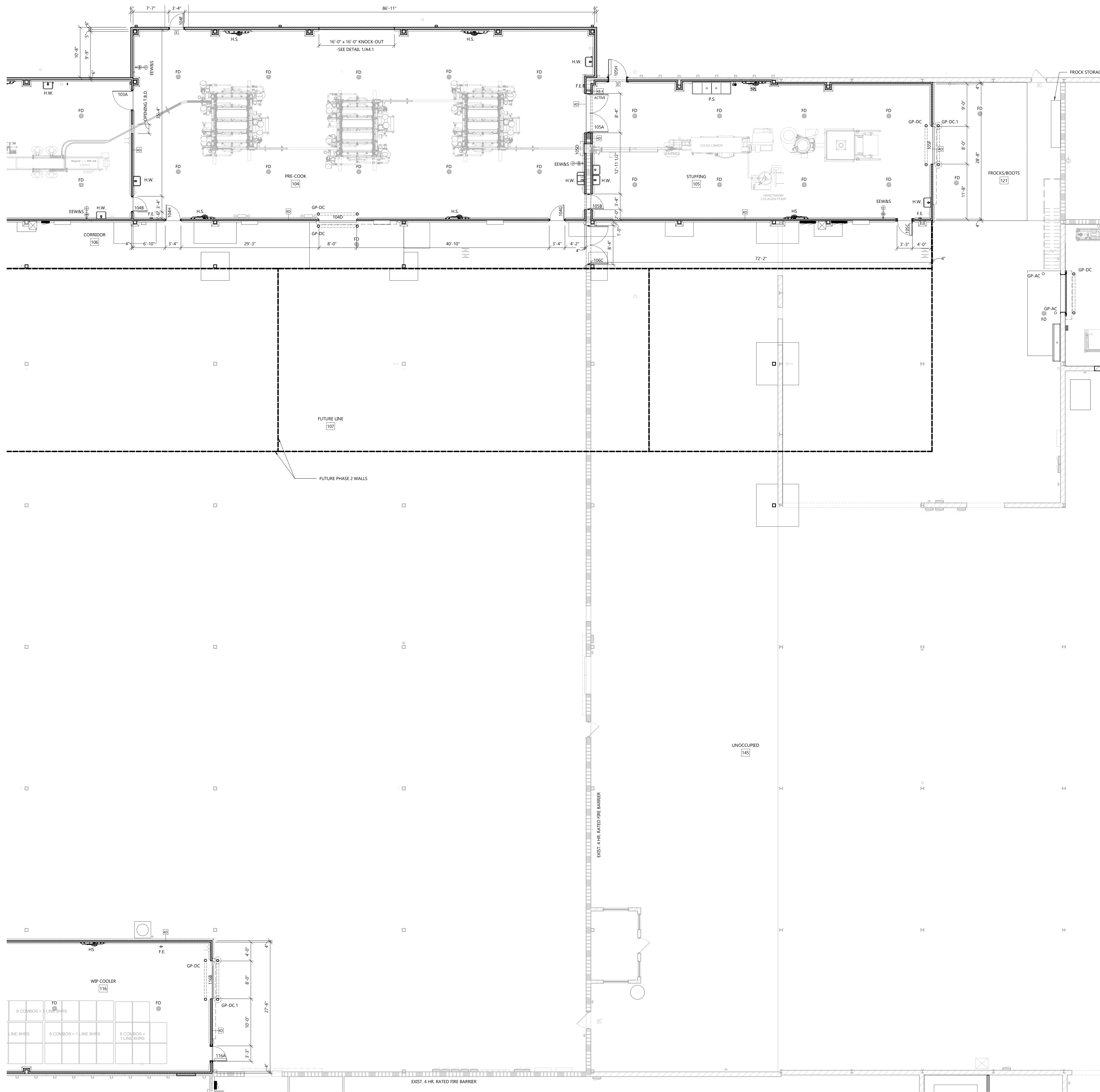
REVISIONS FEB. 17, 2021

JOB NUMBER

2046040

SHEET NUMBER

**A1.1B**



KEY PLAN

ARCHITECTURAL FIRST FLOOR PLAN - AREA 'B'

PROJECT INFORMATION

EXPANSION & REMODEL FOR:  
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PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE JAN. 29, 2021

REVISIONS

FEB. 17, 2021

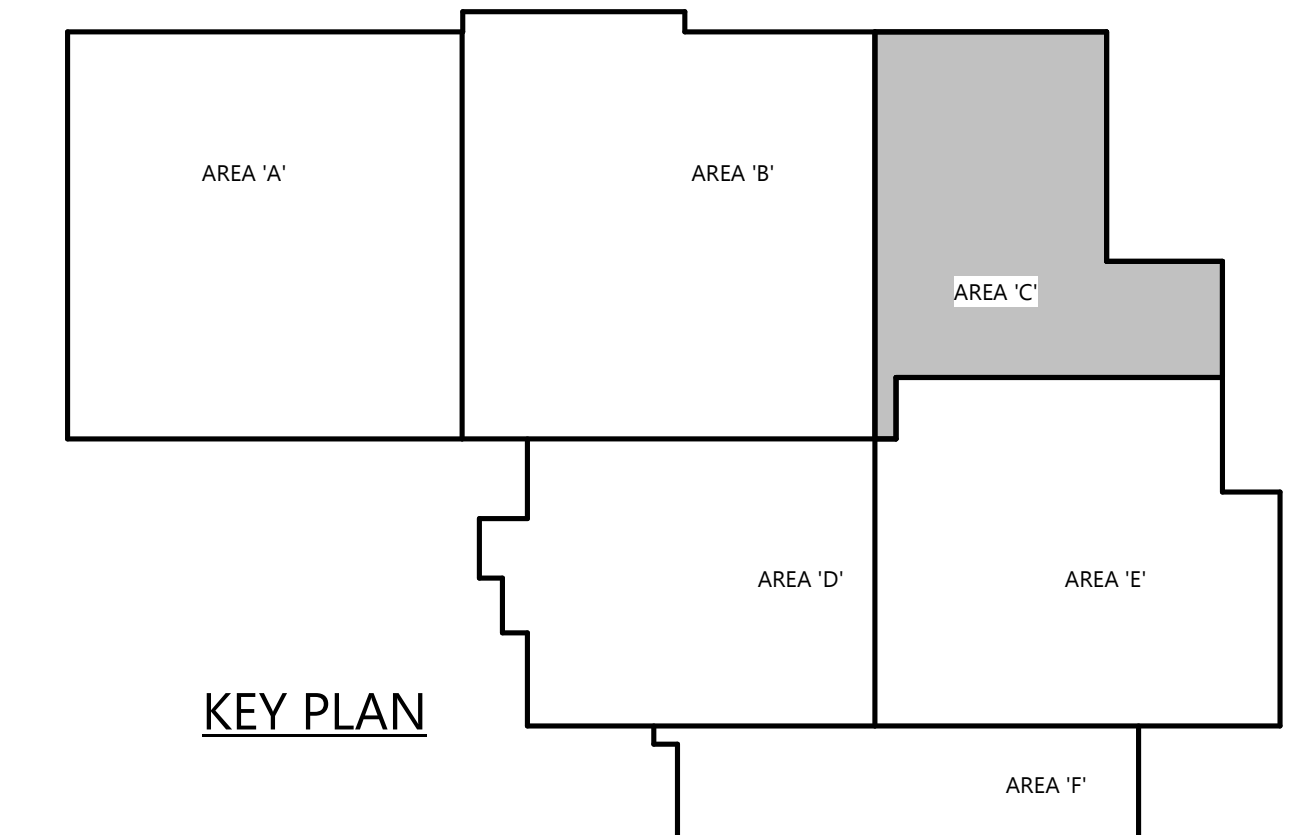
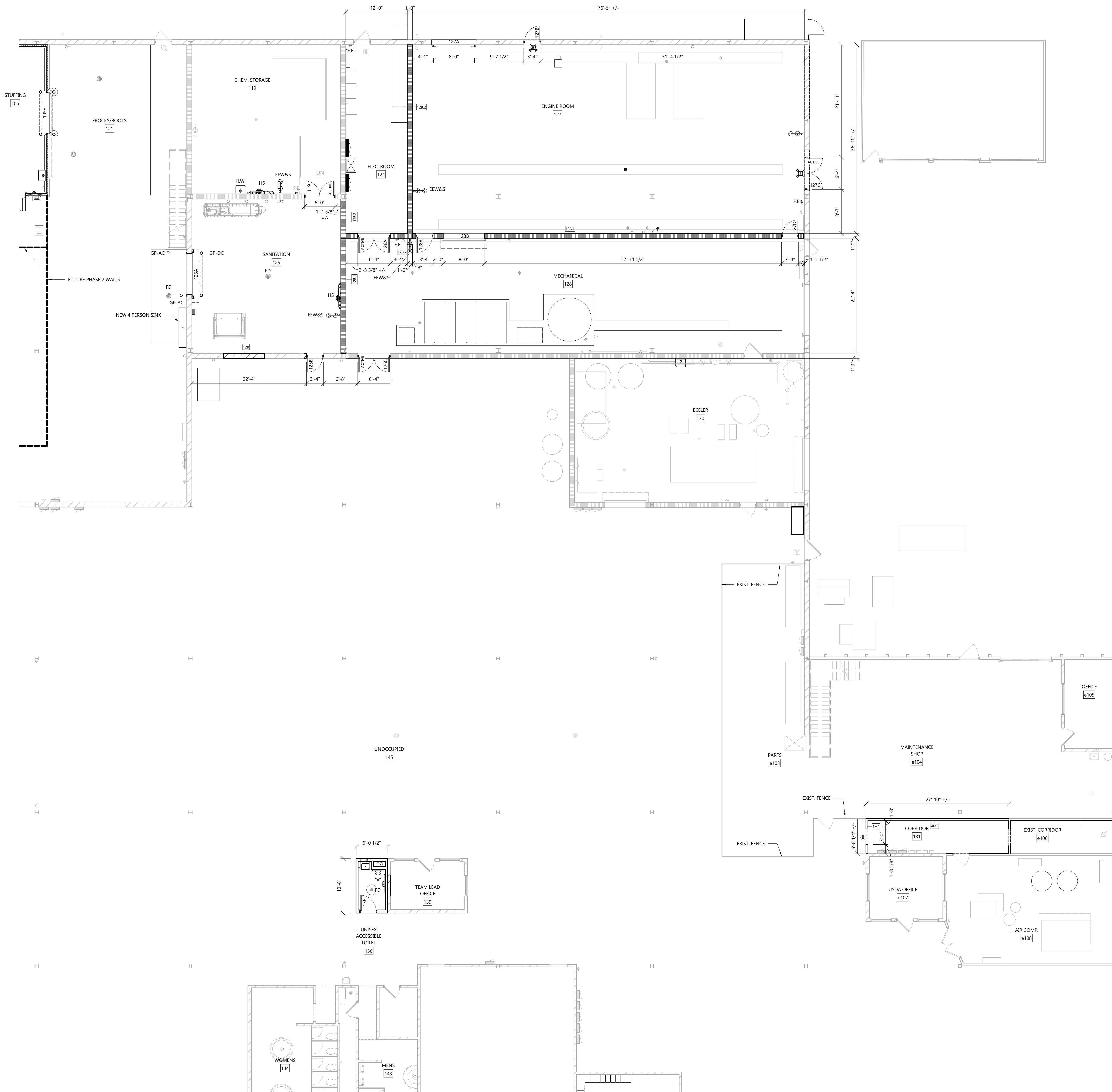
JOB NUMBER

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SHEET NUMBER

**A1.1C**

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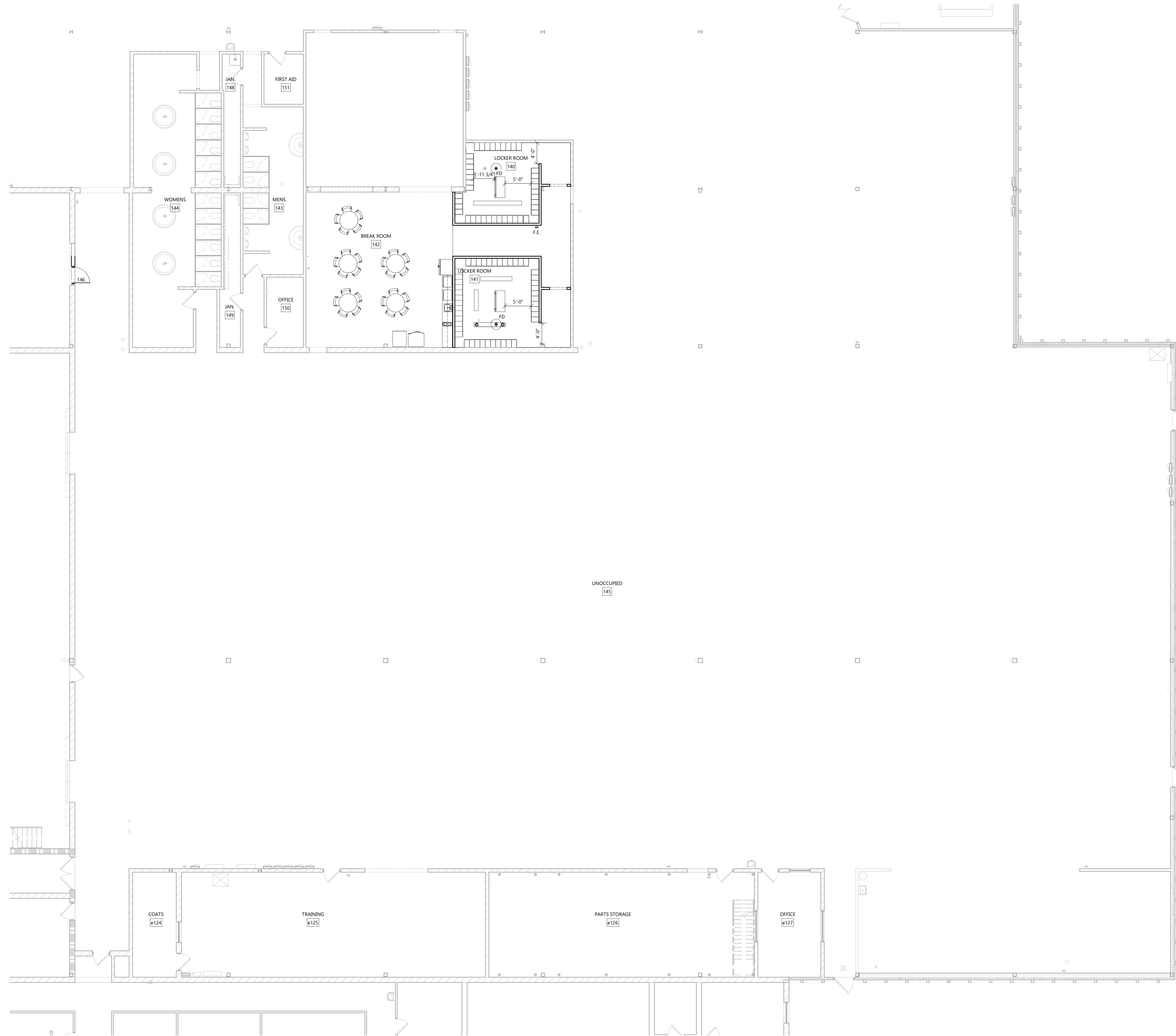


KEY PLAN  
 ARCHITECTURAL FIRST FLOOR PLAN - AREA 'C'

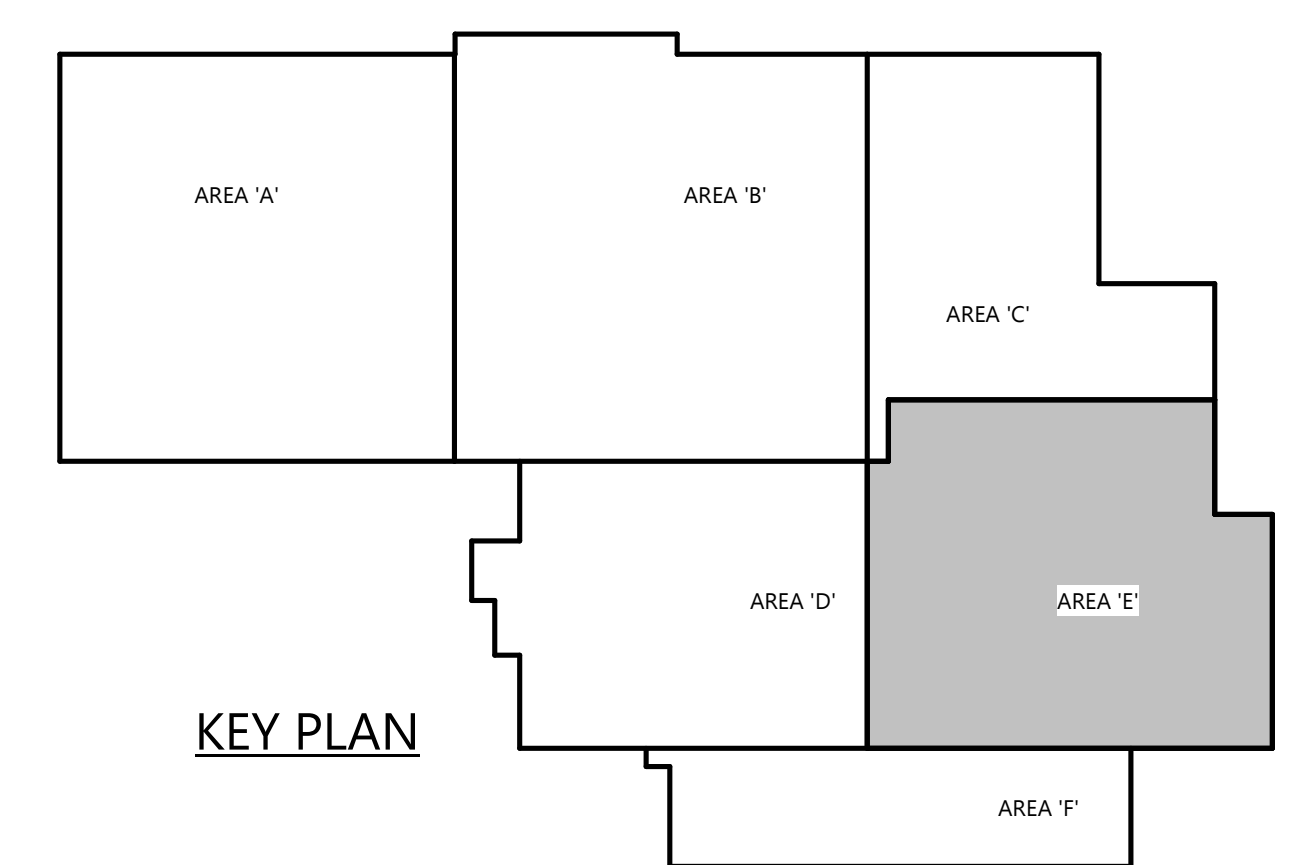
**FIRST FLOOR - AREA 'C'**  
 SCALE: 1/8" = 1'-0"  
 NORTH

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**FIRST FLOOR - AREA 'E'**  
 SCALE: 1/8" = 1'-0"  
 0' 8' 16'



ARCHITECTURAL FIRST FLOOR PLAN - AREA 'E'

PROJECT INFORMATION

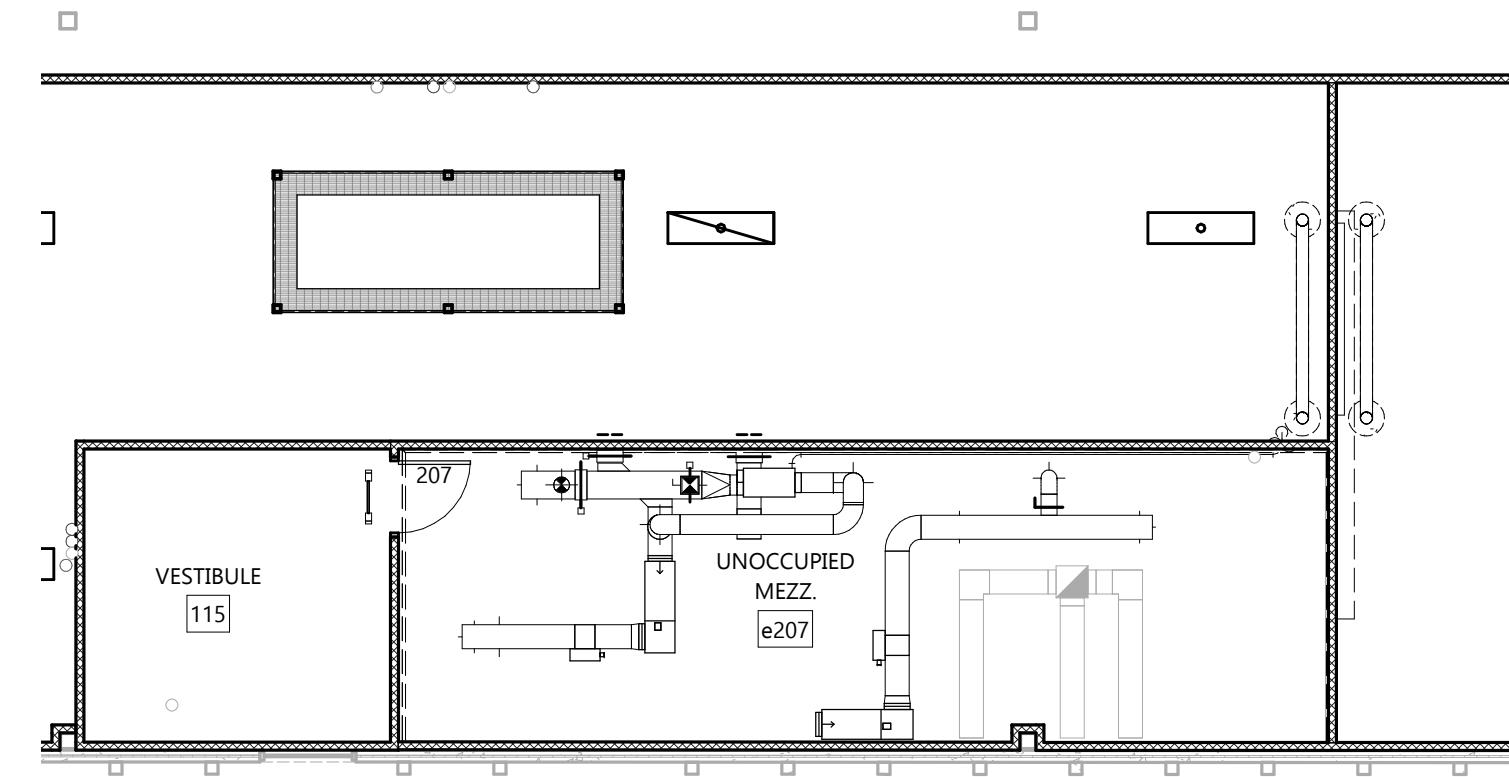
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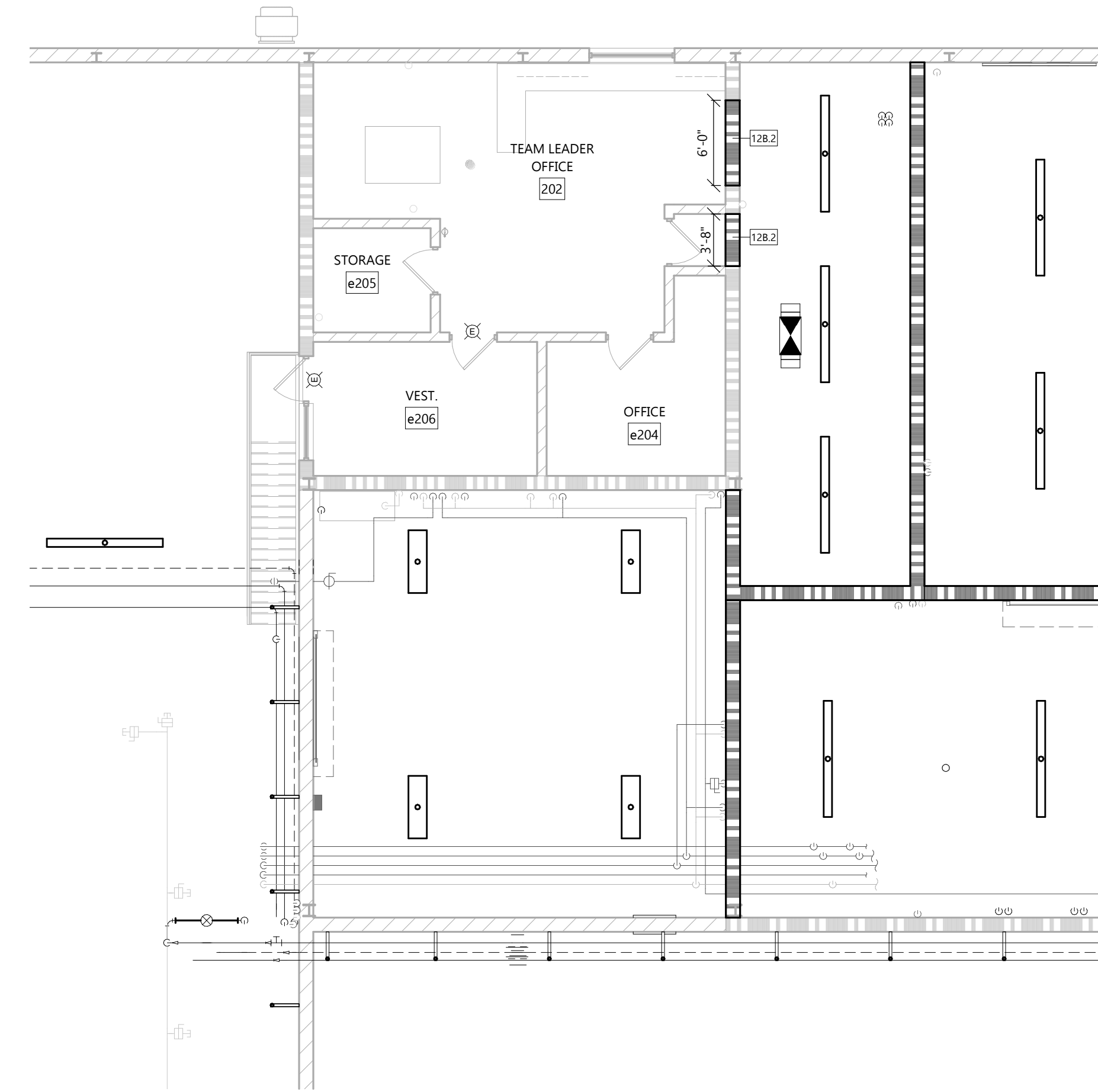
SHEET DATES	
SHEET ISSUE	JAN. 29, 2021
REVISIONS	FEB. 17, 2021

JOB NUMBER  
 2046040

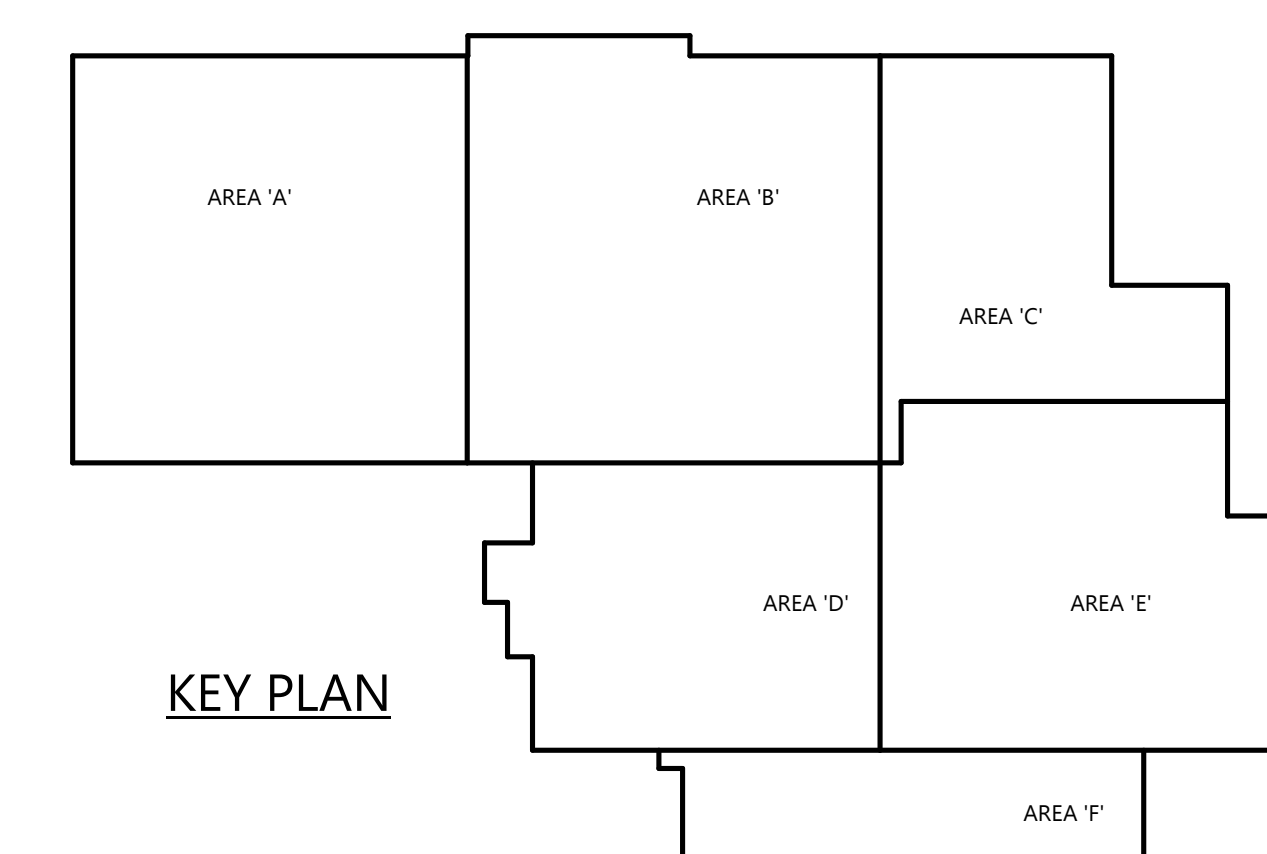
SHEET NUMBER  
**A1.1E**



**UNOCCUPIED MEZZ. AREA 'A'**  
 NORTH  
 SCALE: 1/8" = 1'-0"  
 0 5 10



**SECOND FLOOR PLAN - AREA 'C'**  
 NORTH  
 SCALE: 1/8" = 1'-0"  
 0 5 10



**ARCHITECTURAL MEZZANINE LEVEL FLOOR PLAN**

**PROJECT INFORMATION**

EXPANSION & REMODEL FOR:  
**JOHNSONVILLE - SHEBOYGAN FACILITY PHASE 1**  
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PROFESSIONAL SEAL

**SHEET DATES**

SHEET ISSUE	JAN. 29, 2021
REVISIONS	FEB. 17, 2021

**JOB NUMBER**

2046040

**SHEET NUMBER**

**A1.2**

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SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

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PROJECT INFORMATION

EXPANSION & REMODEL FOR:  
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3402 CROCKER AVENUE • SHEBOYGAN, WI 53081

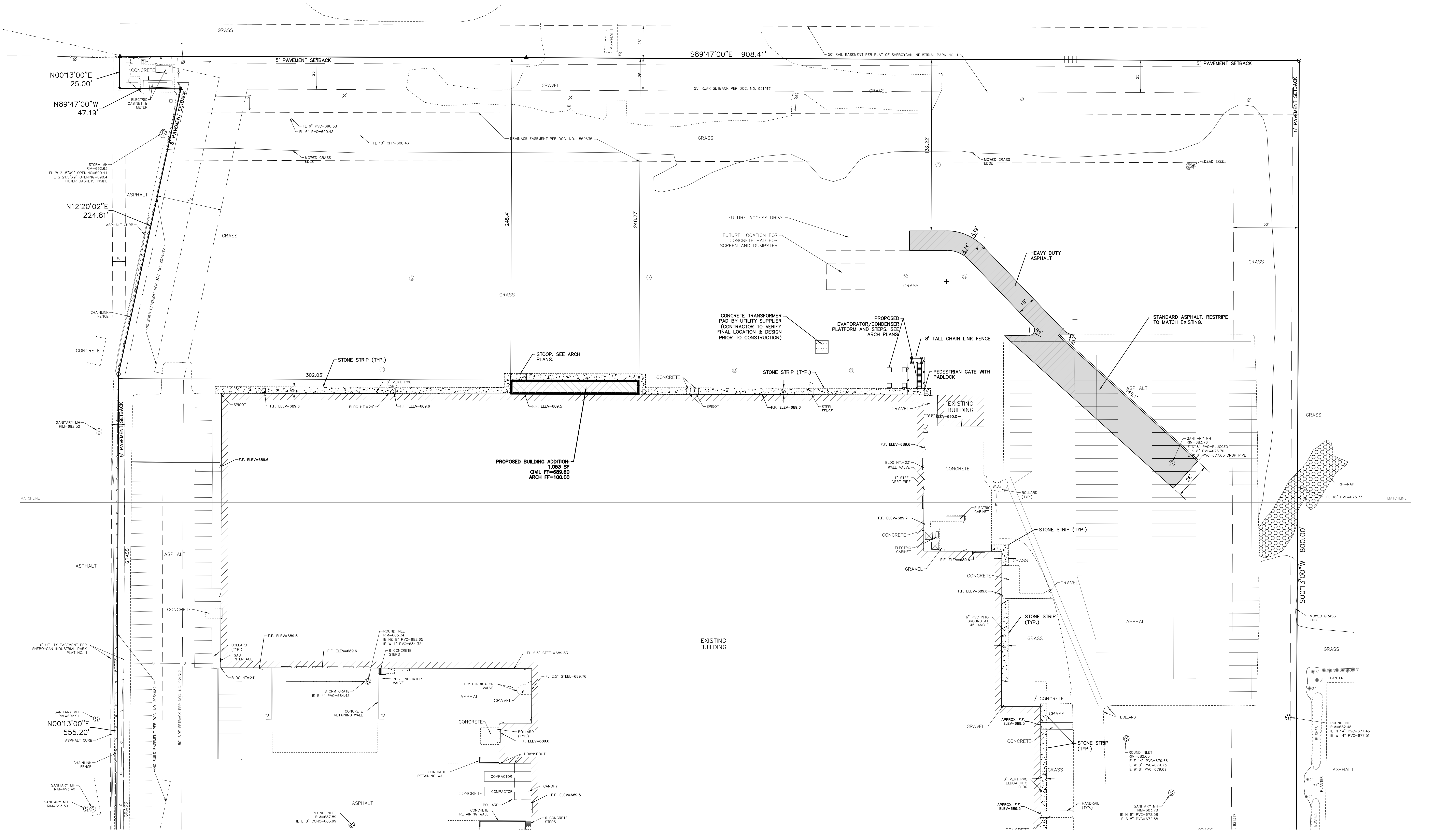
PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE	JAN. 29, 2021
REVISIONS	

JOB NUMBER  
2046040

SHEET NUMBER  
**C1.1A**



**SITE INFORMATION:**

LEGAL DESCRIPTION: Part of Lot 3, Block 3, According to the Recorded Plat of Sheboygan Industrial Park No. 1, in the City of Sheboygan, Sheboygan County, Wisconsin.

PROPERTY AREA: AREA = 721,542 S.F. (16.56 ACRES).

EXISTING ZONING: SUBURBAN INDUSTRIAL (SI)

PROPOSED ZONING: SUBURBAN INDUSTRIAL (SI)

PROPOSED USE: MANUFACTURING-FOOD (LIGHT INDUSTRIAL)

AREA OF SITE DISTURBANCE: 94,092 S.F. (2.16 ACRES)

SETBACKS: BUILDING: FRONT = 25' (50' PER RESTRICTIVE COVENANT)  
SIDE = 10' (50' PER RESTRICTIVE COVENANT)  
REAR = 25'  
PAVEMENT: FRONT = 10' (50' RESTRICTIVE COVENANT)  
SIDE = 5'  
REAR = 5'

PROPOSED BUILDING HEIGHT: 25'10" (MAX. HEIGHT ALLOWED: 50')  
PROPOSED EVAP PLATFORM HEIGHT: 41' (MAX. HEIGHT ALLOWED: 50')  
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 25%  
SOIL TYPE: LEAN CLAY

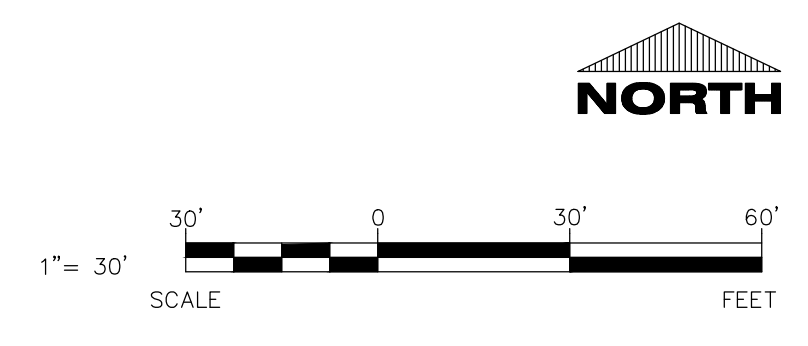
**NOTE:**  
SITE SIGNAGE DESIGN, LOCATION,  
AND APPROVAL BY OTHERS.

**EXISTING SITE DATA**

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.16	94,092	
BUILDING FLOOR AREA	0.02	863	0.9%
PAVEMENT (ASP. & CONC.)	0.11	4,752	5.1%
TOTAL IMPERVIOUS	0.13	5,615	6.0%
LANDSCAPE/ OPEN SPACE	2.03	88,477	94.0%

**PROPOSED SITE DATA**

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.00	87,000	
BUILDING FLOOR AREA	0.02	1,053	1.2%
PAVEMENT (ASP. & CONC.)	0.32	13,972	16.1%
TOTAL IMPERVIOUS	0.34	15,025	17.3%
LANDSCAPE/ OPEN SPACE	1.65	71,975	82.7%



CIVIL SITE PLAN NORTH

**SPECIFICATION NOTE:**  
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

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**PROJECT INFORMATION**

EXPANSION & REMODEL FOR:  
**JOHNSONVILLE - SHEBOYGAN FACILITY PHASE 1**  
3402 CROCKER AVENUE • SHEBOYGAN, WI 53081

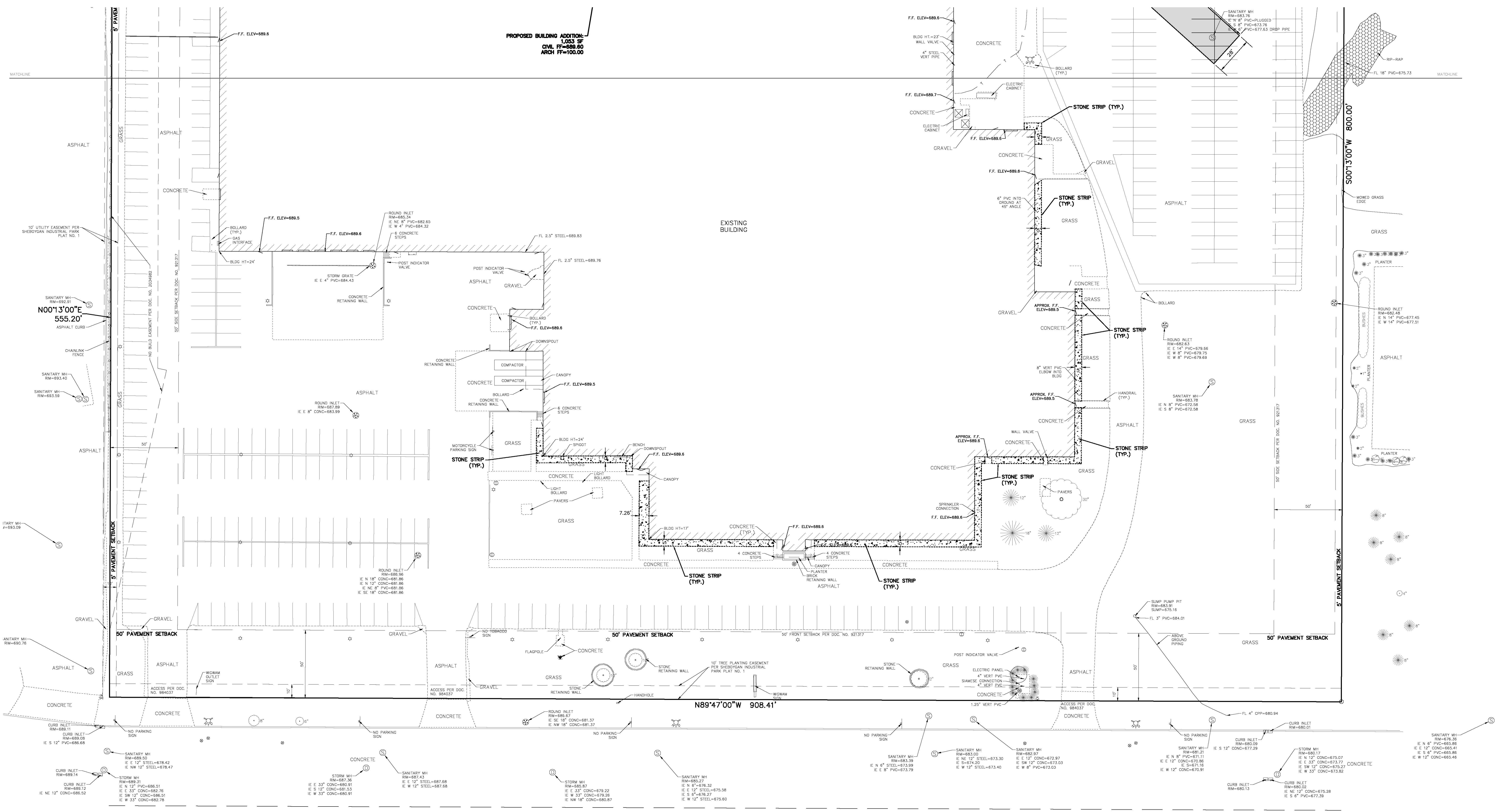
PROFESSIONAL SEAL

**SHEET DATES**  
SHEET ISSUE JAN. 29, 2021

REVISIONS

**JOB NUMBER**  
2046040

**SHEET NUMBER**  
C1.1B



**PROPOSED BUILDING ADDITION**  
1,053 SF  
CIVIL FF=680.60  
ARCH FF=100.00

EXISTING BUILDING

**SITE INFORMATION:**

LEGAL DESCRIPTION: Part of Lot 3, Block 3, According to the Recorded Plat of Sheboygan Industrial Park No. 1, in the City of Sheboygan, Sheboygan County, Wisconsin.

PROPERTY AREA: AREA = 721,542 S.F. (16.56 ACRES).

EXISTING ZONING: SUBURBAN INDUSTRIAL (SI)

PROPOSED ZONING: SUBURBAN INDUSTRIAL (SI)

PROPOSED USE: MANUFACTURING-FOOD (LIGHT INDUSTRIAL)

AREA OF SITE DISTURBANCE: 94,092 S.F. (2.16 ACRES)

SETBACKS: BUILDING: FRONT = 25' (50' PER RESTRICTIVE COVENANT)  
SIDE = 10' (50' PER RESTRICTIVE COVENANT)  
REAR = 25'

PAVEMENT: FRONT = 10' (50' RESTRICTIVE COVENANT)  
SIDE = 5'  
REAR = 5'

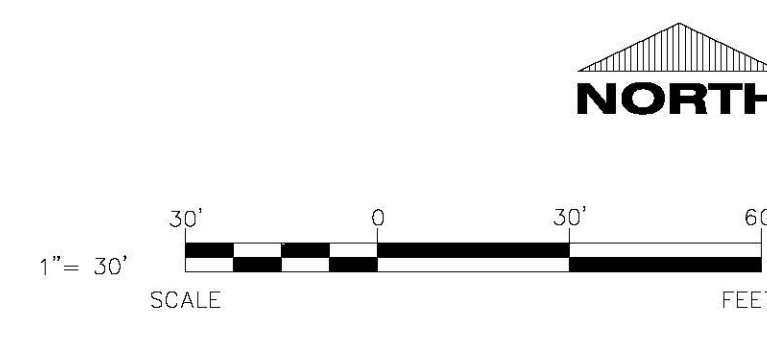
PROPOSED BUILDING HEIGHT: 25'10" (MAX. HEIGHT ALLOWED: 50')

PROPOSED EVAP PLATFORM HEIGHT: 41" (MAX. HEIGHT ALLOWED: 50')

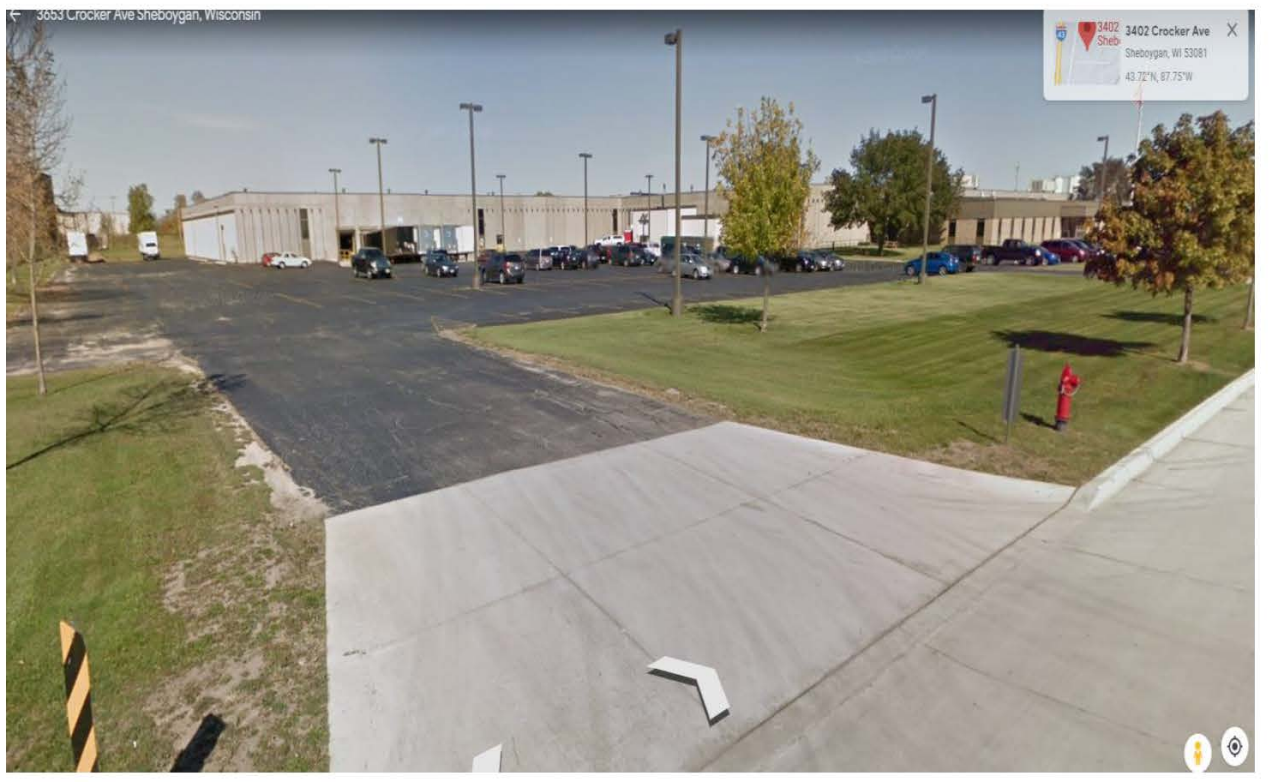
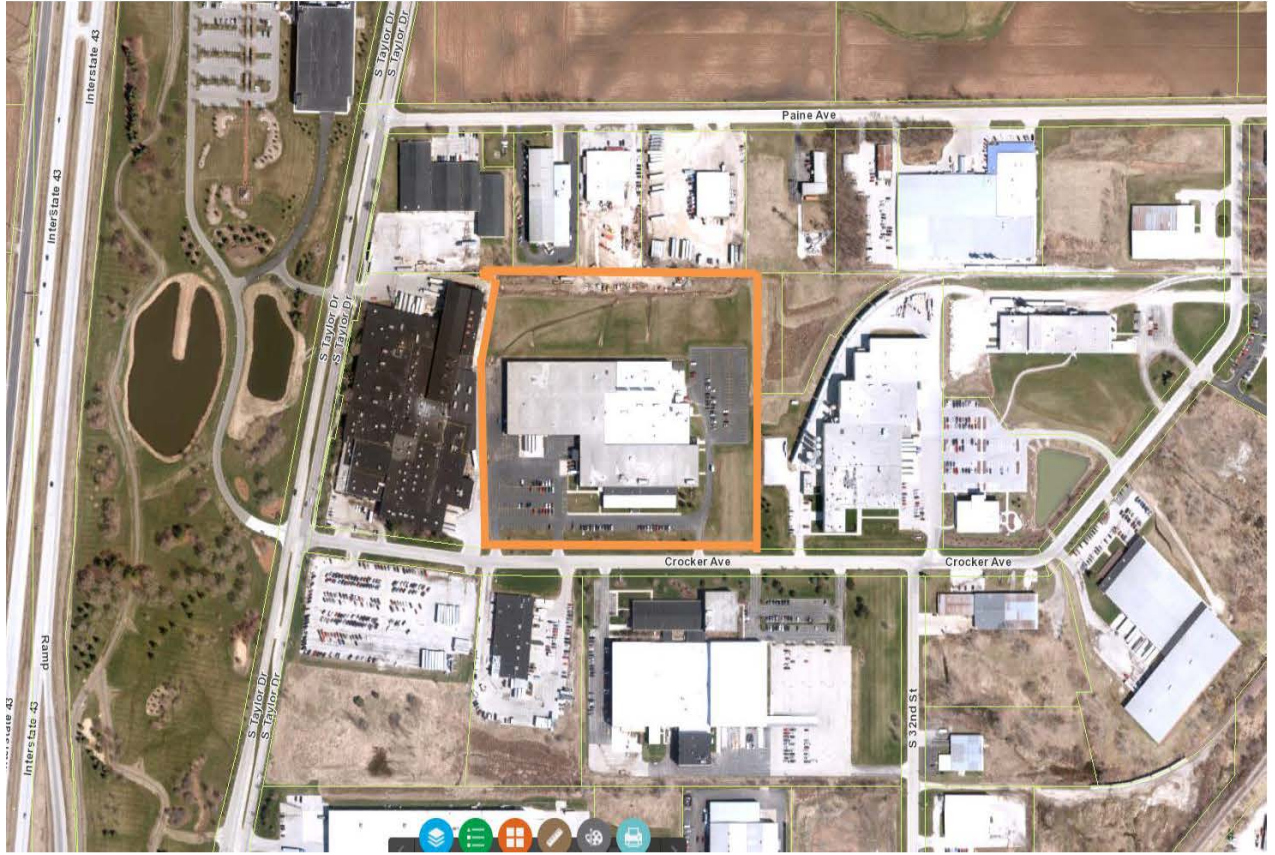
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 25%

SOIL TYPE: LEAN CLAY

**NOTE:**  
SITE SIGNAGE DESIGN, LOCATION,  
AND APPROVAL BY OTHERS.



CIVIL SITE PLAN SOUTH





← 3422 Crocker Ave Sheboygan, Wisconsin

3402 Crocker Ave  
Sheboygan, WI 53081  
43.72°N, 87.75°W



← 3333 Crocker Ave Sheboygan, Wisconsin

3402 Crocker Ave  
Sheboygan, WI 53081  
43.72°N, 87.75°W



