

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of new Kwik Trip at the northwest corner of Broadway Avenue and S. Business Drive (the former VanDerVart property).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: September 25, 2020

MEETING DATE: September 29, 2020

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Kwik Trip, Inc. is proposing to construct a new Kwik Trip at the northwest corner of Broadway Avenue and S. Business Drive (the former VanDerVart property). The applicant states:

- Kwik Trip, Inc. is proposing the construction of an 11,120sf convenience store with attached single bay carwash, an attached dumpster enclosure and separate fueling canopies for gas and diesel (trucks).
- The type of products that will be sold will be similar to that of our existing stores: gasoline, in line diesel, E-85, groceries, bakery and dairy, hot and cold food and beverages, tobacco products, off-sale alcohol products, lotto, convenience store merchandise, ice, and propane. We will also be applying for an off-sale alcohol license for this store.
- Redevelopment of the former VanDerVart property, will upgrade the property, will continue the redevelopment of this property and will increase the City's tax base.

The applicant states the following about the Kwik Trip facility:

- The proposed architectural plan will consist of a brick facade with standing seam metal roof. The building and canopy fascia will tie in with franchise colors.
- Our building consists of all brick façade which is burgundy in color.
- The roofing is sheet metal which is green in color.

- The fascia and soffit is almond in color which compliments and ties our fueling canopies which are also almond in color fascia.
- The exterior doors are anodized aluminum in color along with our carwash doors are skewed view plastic with aluminum trim.
- The dumpster enclosure is fully integrated into the building so that it is screened from view. The enclosure is of full CMU face in brick to match the building. The gates are all composite deck boards with a complimenting color.
- Our fueling canopies consist of metal fascia façade that matches the fascia colors on the building. All canopy columns are wrapped in aluminum to complement the rest of the canopy construction. The canopy columns will be nine (9) feet high brick enclosures of the same brick colors of the building. This makes the entire building and accessory structures maintenance free for a long-lasting clean look.

STAFF COMMENTS:

The former VanDerVart Concrete property is redeveloping nicely with the new Kwik Trip and Oscar Apartments. These redevelopment projects will certainly change and vastly improve the overall appearance of these properties and will positively impact the look and feel of this neighborhood.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

PARCEL NO.:

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Kwik Trip, Inc - Jeff Osgood _____

ADDRESS: 1626 Oak St La Crosse, WI 54602 _____

E-MAIL ADDRESS: josgood@kwiktrip.com _____

PHONE: (608) 793-5547 _____ FAX NO.: () _____

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Kwik Trip, Inc _____

ADDRESS OF PROPERTY AFFECTED: NW Corner of S. Business Dr & Broadway Avenue

NEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT: We are proposing a new retail convenience store w/ attached single bay carwash and separate fueling canopies

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: N/A

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: _____

Our building consists of all brick façade which is burgundy in color. The roofing is sheet metal which is green in color. The fascia and soffit is almond in color which compliments and ties our fueling canopies which are also almond in color fascia. The exterior doors are anodized aluminum in color along with our carwash doors are skewed

view plastic with aluminum trim. The dumpster enclosure is fully integrated into the building so that it is screened from view. The enclosure is of full CMU face in brick to match the building. The gates are all composite deck boards with a complimenting color. The canopy columns will be 9 ft high brick enclosures of the same brick colors of the building. This makes the entire building and accessory structures maintenance free for a long-lasting clean look.

3. NAMES AND ADDRESSES

OWNER OF SITE: Green Street Development Group, LLC

ADDRESS: 8451 Maryland Ave Suite 200, Clayton, MO 63105

EMAIL: joel@greenstreetstl.com

PHONE: (314) 495-9884 FAX NO.: ()

ARCHITECT: Vantage Architects – Jerry Schomberg

ADDRESS: 750 N 3rd St La Crosse, WI 54601

EMAIL ADDRESS: js@vantagearchitects.com

PHONE: (608) 784-2826 FAX NO.: ()

CONTRACTOR: Kwik Trip, Inc – Jeff Osgood

ADDRESS: 1626 Oak St La Crosse, WI 54602

EMAIL: josgood@kwiktrip.com

PHONE: (608) 793-5547 FAX NO.: ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

C. A .pdf file of all drawings either by email or CD

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE



Store Engineering

FAX 608-793-6237

1626 Oak St., P.O. Box 2107
La Crosse, WI 54602

www.kwiktrip.com

City of Sheboygan
Meredith DeBruin
828 Center Ave
Sheboygan, WI 53081

September 14th, 2020

ARB Review Submittal / CUP Permit Submittal

Ms. DeBruin,

This letter is intended to accompany our submittal for our application to the City of Sheboygan for the requested ARB Review/CUP Application for our proposed project located at the NW Corner of S. Business Dr & Broadway Avenue.

Kwik Trip, Inc. is proposing the construction of a 11,120 S.F. convenience store w/ attached 1-Bay Carwash and an attached dumpster enclosure w/ separate Fueling Canopies. I have submitted the required hard copies per the applications as well as a link to all the digital files. I have enclosed a \$100.00 check for the ARB review as well as a check for \$250.00 for the CUP review.

The proposed method of operation for this development will be consistent with that for our existing convenience stores within the area. The requested hours of operation will be 24 hours for all uses. The type of products that will be sold will be similar to that of our existing stores: gasoline, in line diesel, E-85, groceries, bakery and dairy, hot and cold food and beverages, tobacco products, off-sale alcohol products, lotto, convenience store merchandise, ice, and propane. We will also be applying for an off-sale alcohol license for this store. The outside merchandising of products is being requested next to the store (ice and propane) and miscellaneous merchandising under the gas canopy. The proposed store is projected to have between 28-35 full and part time employees, with 2-8 on staff at any given time.

The proposed architectural plan will consist of a brick facade with standing seam metal roof. The building and canopy fascia will tie in with franchise colors. The prototype building is larger than previous years building. We have expanded the retail floor area as well as kitchen and mechanical space all on the main level with no basement. The total estimated project costs are \$2,000,000.

Kwik Trip would be happy to provide any additional information or answer any questions or concerns you may have with our submission. Please feel free to call me with any questions.

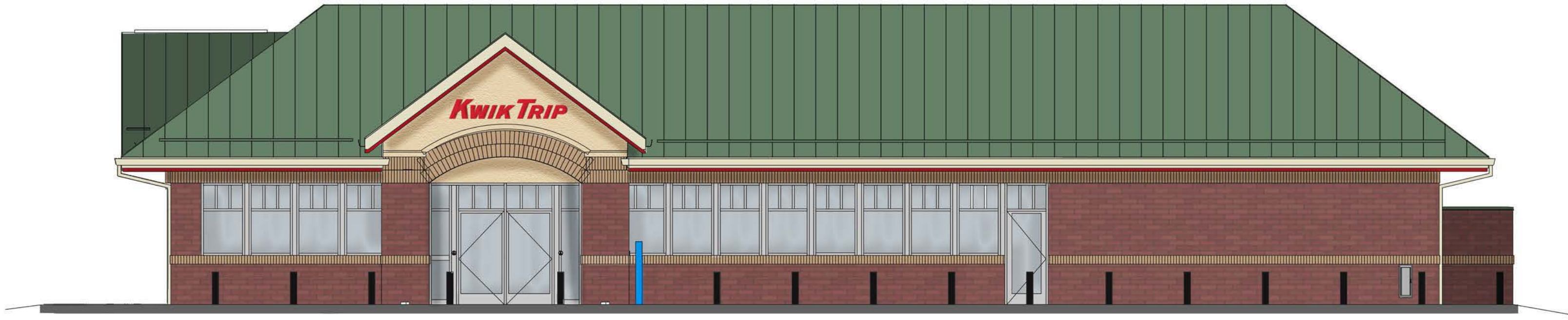
Sincerely,

Jeff Osgood – Sr. Development Manager - Store Engineering - Kwik Trip, Inc.

608-793-5547 - josgood@kwiktrip.com 1626 Oak St | P.O. Box 2107 | La Crosse, WI 54602

OUR MISSION

To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.



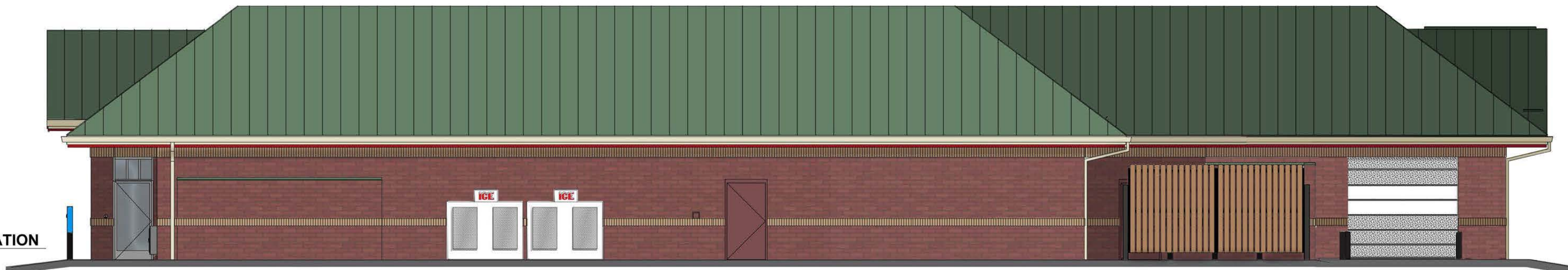
1 FRONT ELEVATION



2 LEFT ELEVATION



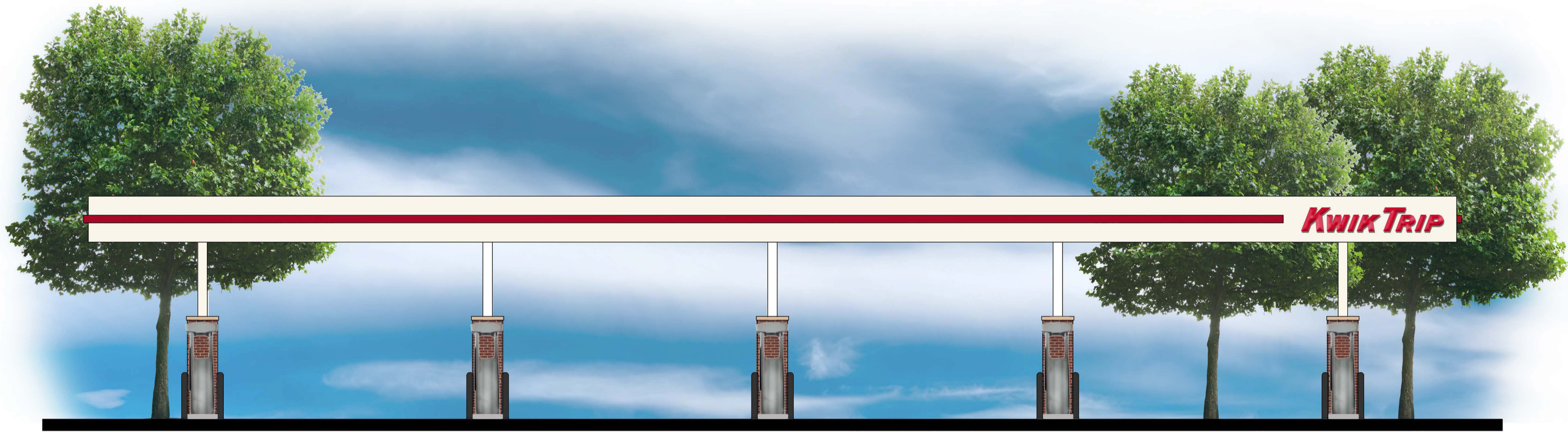
3 REAR ELEVATION



4 RIGHT ELEVATION



KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



1 FRONT ELEVATION

***KWIK
TRIP***

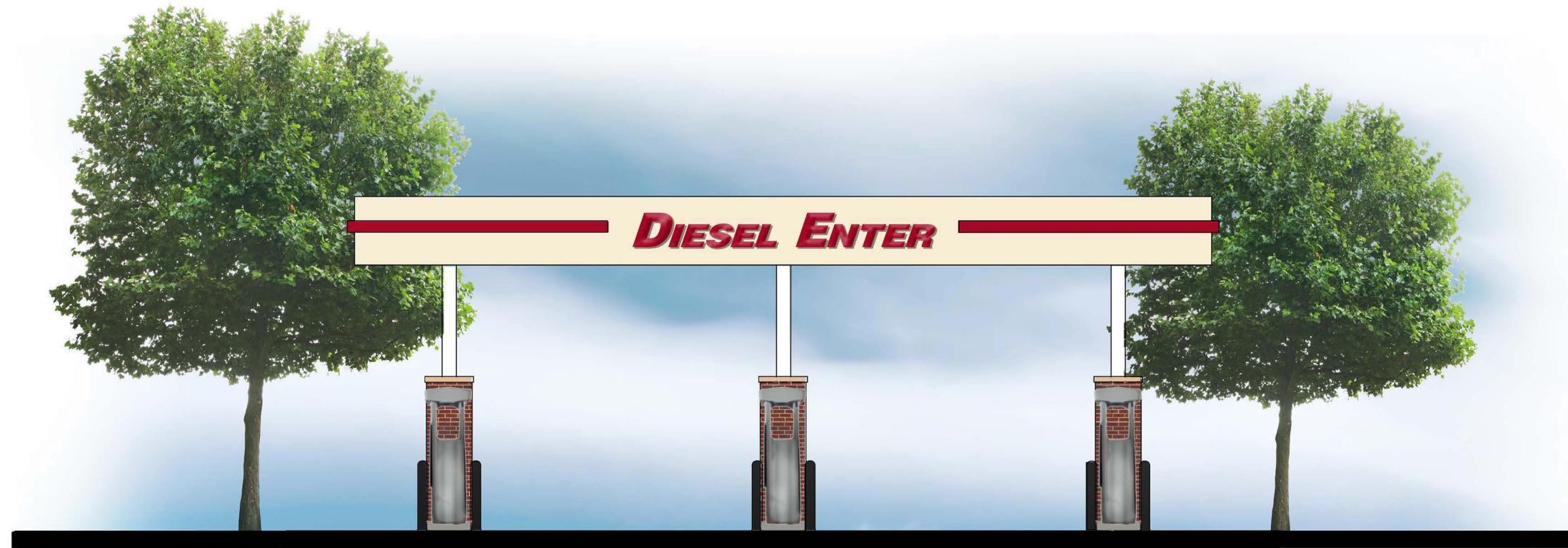
***KWIK
STAR***

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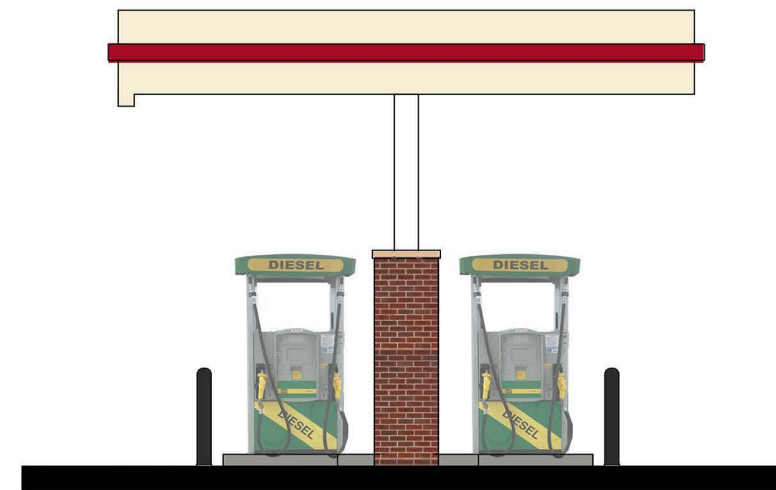
10 MPD
9' BRICK



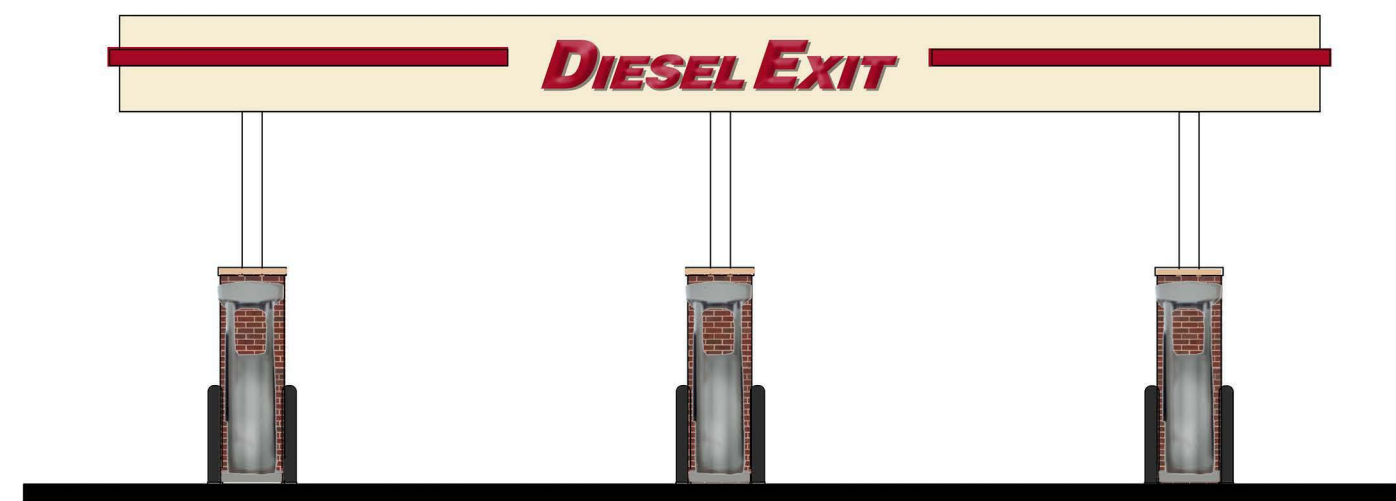
2 SIDE ELEVATION



1 FRONT ELEVATION



2 SIDE ELEVATION



3 REAR ELEVATION

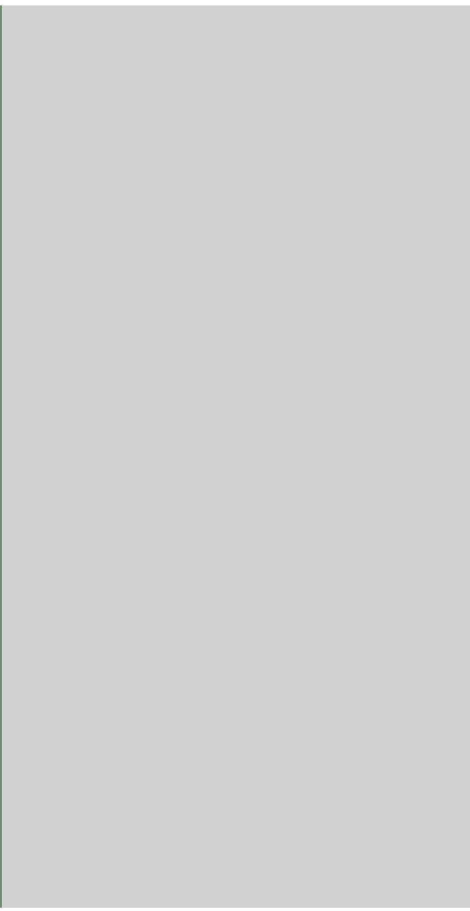


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2 LANE DIESEL
9' BRICK



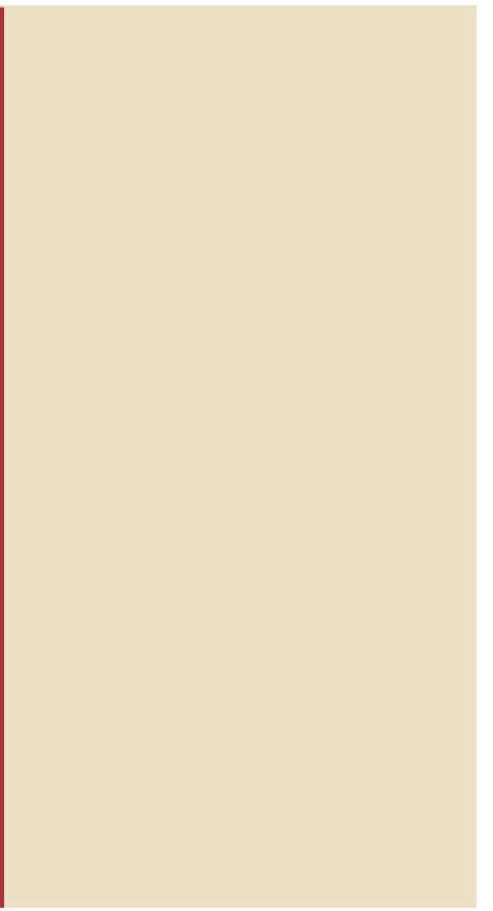
METAL ROOFING



DOORS AND WINDOWS



METAL FASCIA ACCENT



METAL FASCIA



STUCCO AT GABLE



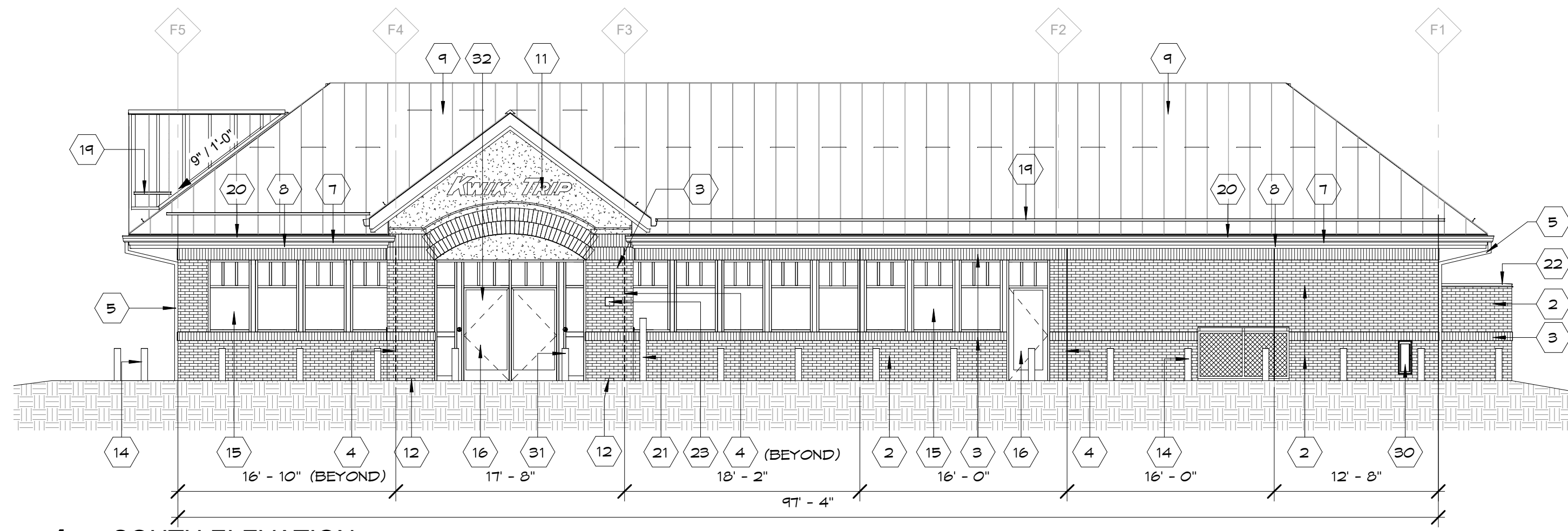
BRICK



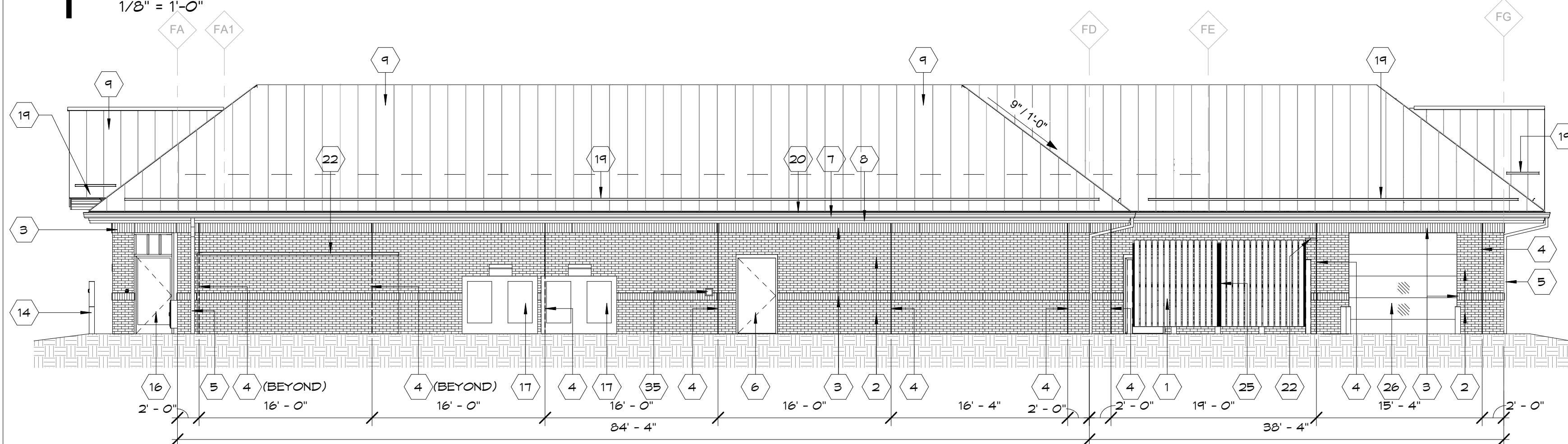
BRICK



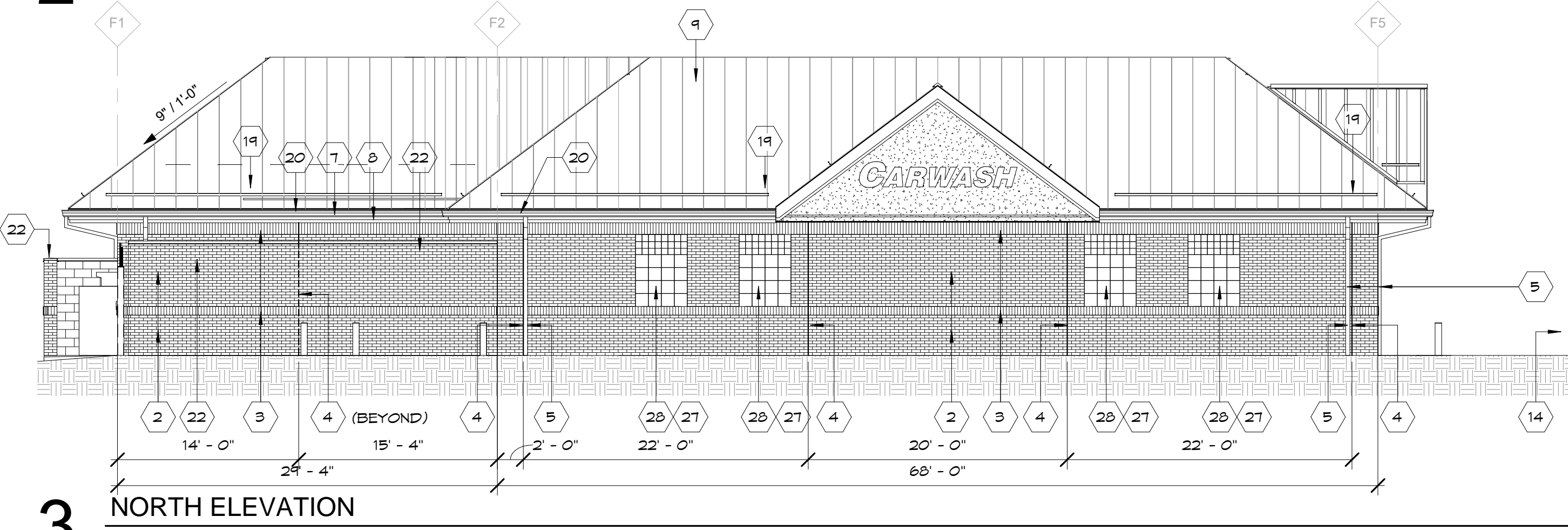
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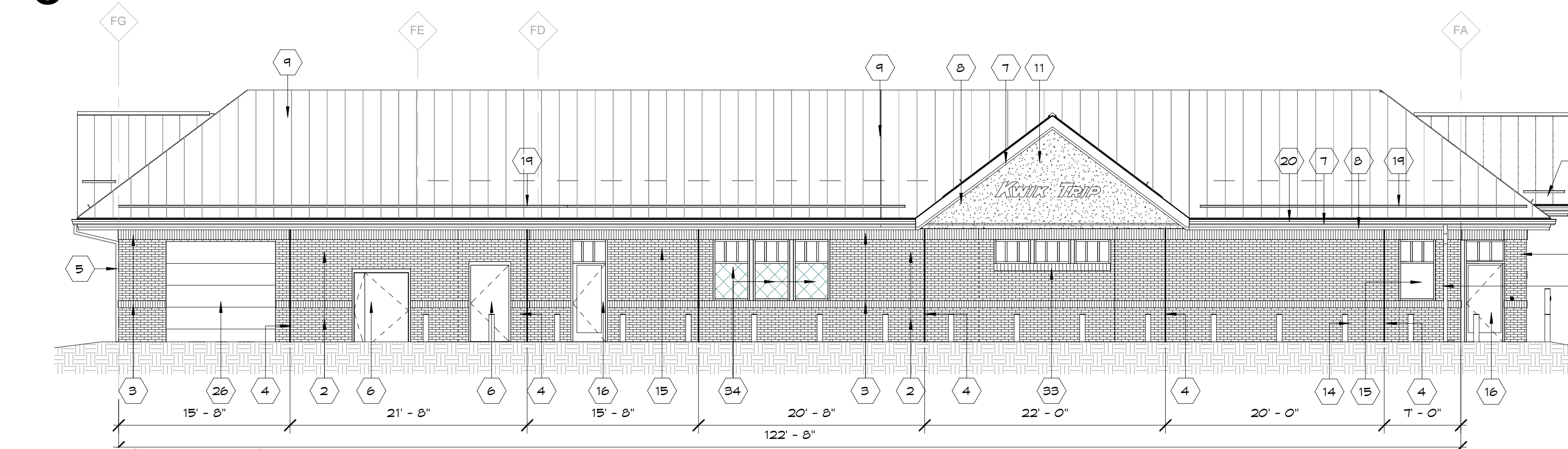
1 SOUTH ELEVATION
1/8" = 1'-0"



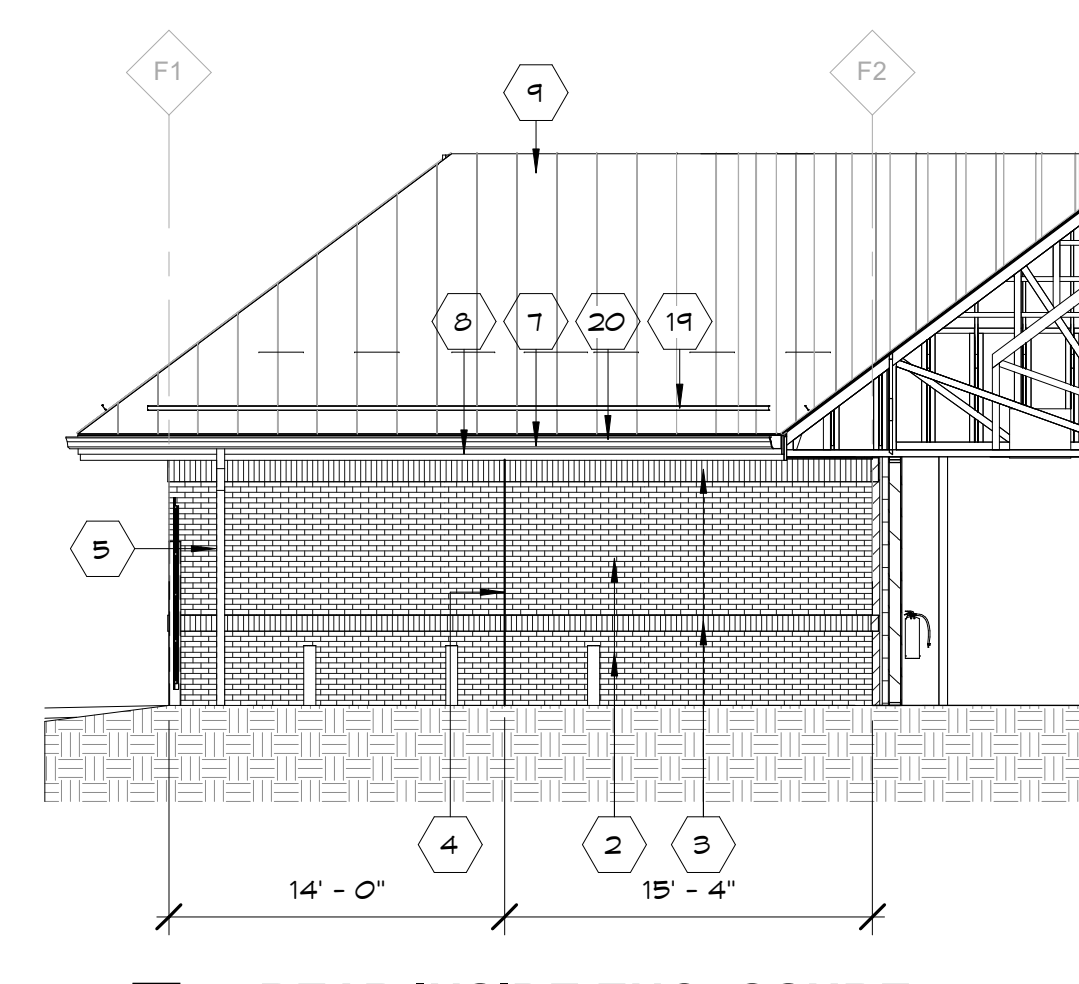
2 EAST ELEVATION
1/8" = 1'-0"



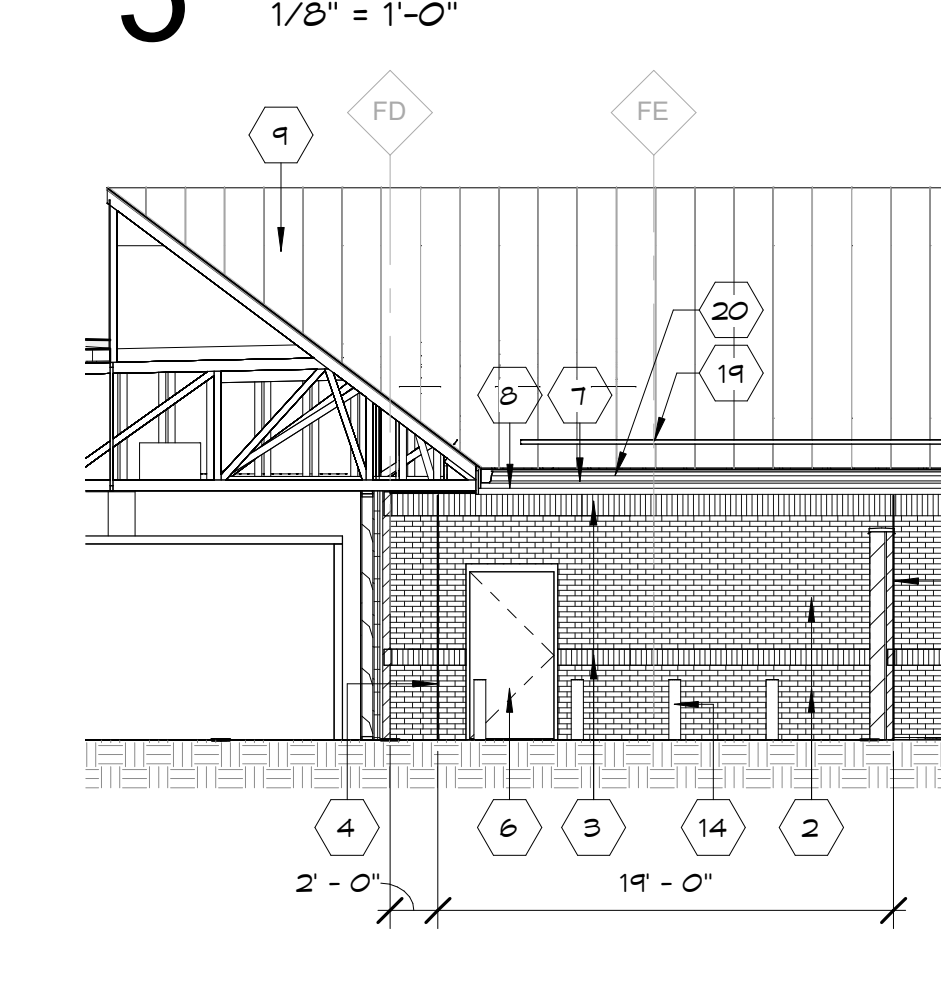
3 NORTH ELEVATION
1/8" = 1'-0"



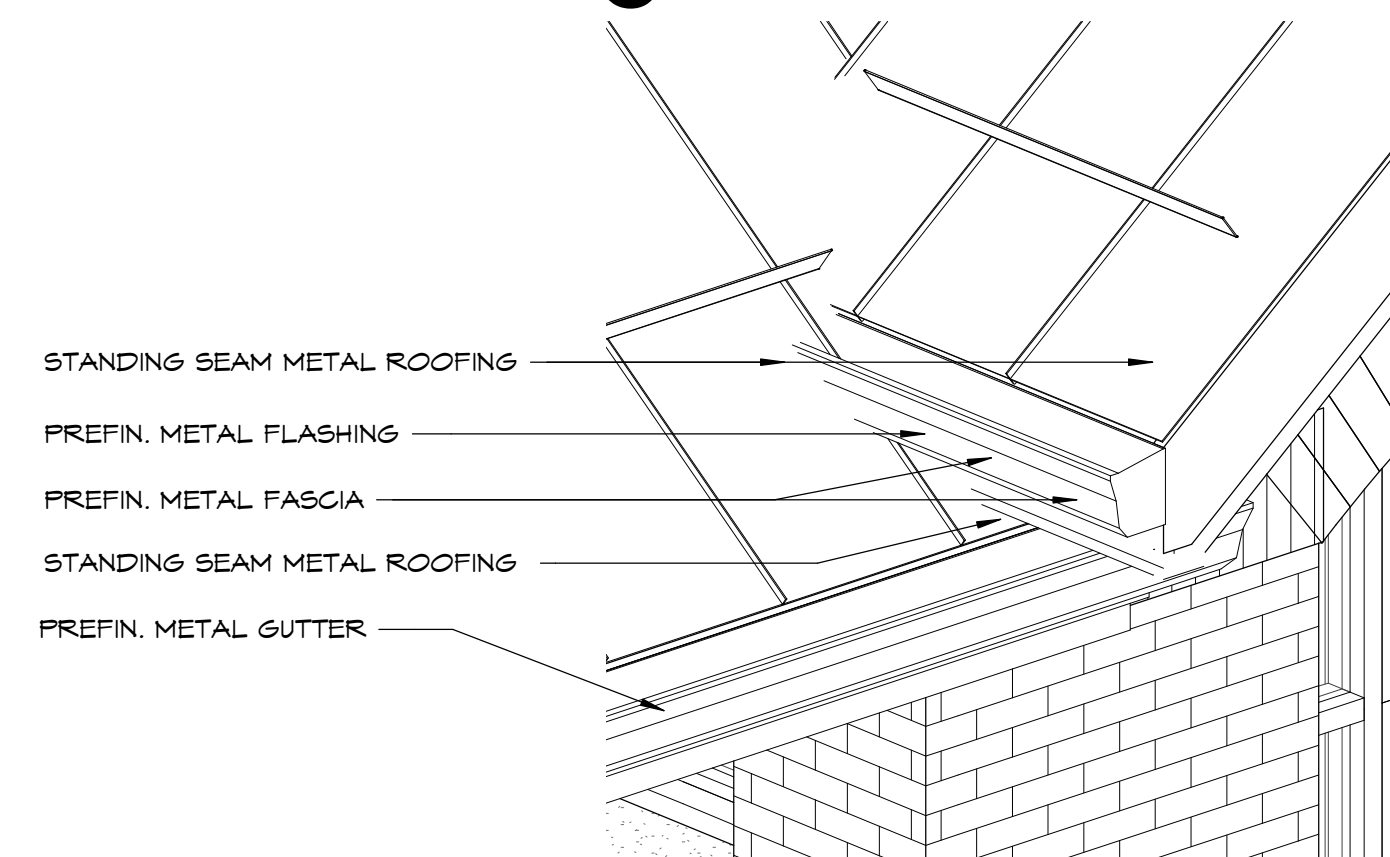
4 WEST ELEVATION
1/8" = 1'-0"



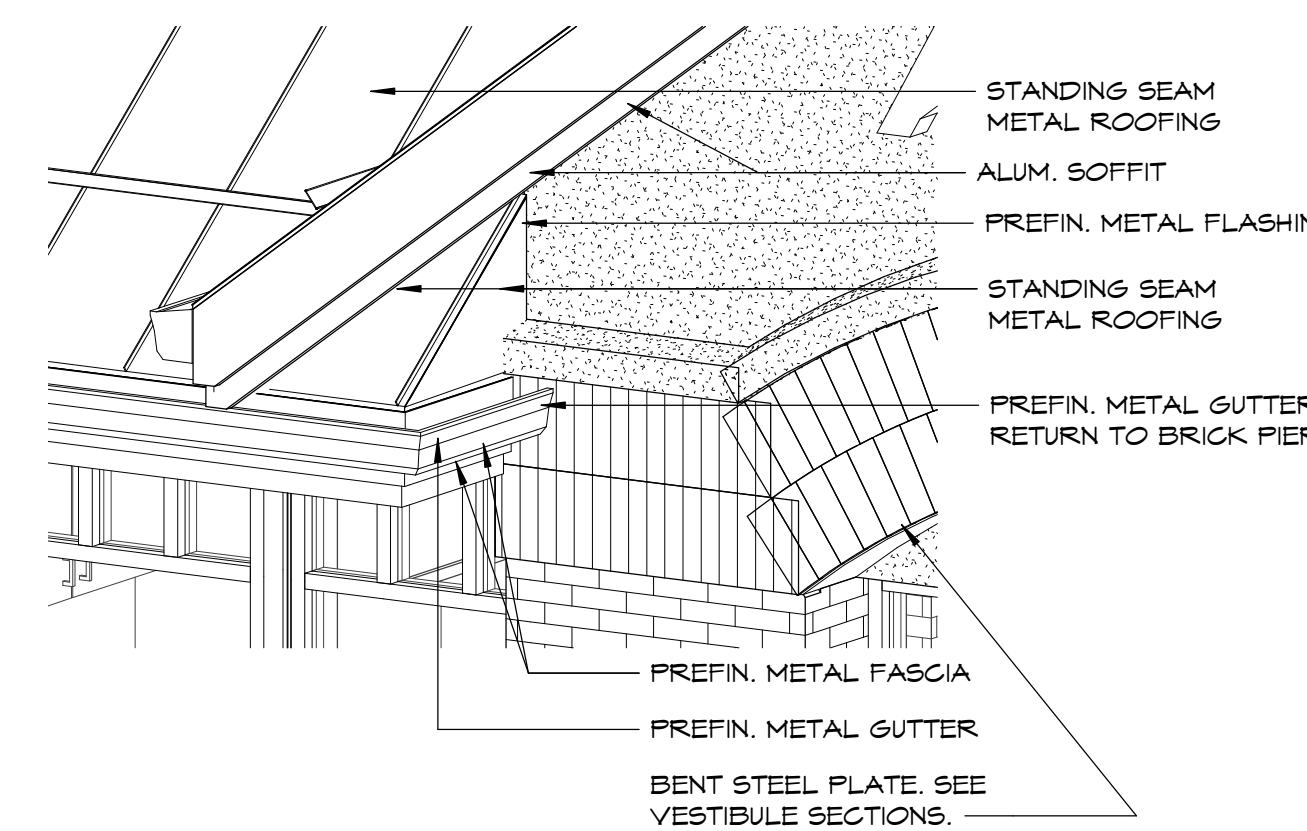
5 REAR INSIDE ENCLOSURE
1/8" = 1'-0"



6 LEFT INSIDE ENCLOSURE
1/8" = 1'-0"



7 VESTIBULE EAVE TO ROOF FLASHING DETAIL



8 FRONT VESTIBULE METAL ROOF RETURN

EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
1	TRASH ENCLOSURE.
2	MODULAR BRICK VENEER (RED).
3	BRICK SOLDIER COURSE (TAN). SEE SECTION FOR SIZE
4	BRICK CONTROL JOINT. SEALANT COLOR TO MATCH BRICK COLOR.
5	ALUMINUM DOWNSPOUT.
6	HOLLOW METAL DOOR & FRAME. PAINT. CAULK COLOR TO MATCH BRICK.
7	ALUMINUM FASCIA - ALMOND.
8	ALUMINUM FASCIA - RED.
9	PREFINISHED STANDING SEAM METAL ROOFING.
10	CT CABINET AND ELECTRICAL METER. RE: ELECT. PLANS.
11	EIFS. COLOR: TAN.
12	CAST ALUMINUM BRICK VENT - HOHMANN & BARNARD #C825, 8" X 2 1/4".
13	EMERGENCY FUEL SHUT OFF. RECESS FLUSH W/ WALL.
14	6" BOLLARD W/ 40" PLASTIC SLEEVE. SEE SHEET A124.
15	ALUMINUM STOREFRONT FRAMING W/ INSULATED GLAZING. CAULK COLOR GRAY DYMONIC.
16	ALUMINUM STOREFRONT ENTRANCE. CAULK COLOR GRAY DYMONIC.
17	ICE MERCHANTISER
18	LP CAGE
19	SNOW RETENTION BAR
20	PREFINISHED METAL GUTTER
21	BLUE HDGP. BOLLARD. REFER TO SITE PLANS.
22	PREFINISHED METAL WALL CAP.
23	KNOX BOX LOCATION WHEN NEEDED. OWNER PROVIDED.
24	SPLASH BLOCK
25	PROVIDE LOCK BOLT FOR EACH LEAF
26	INSULATED POLYCARBONATE DOOR
27	12 X 12 GLASS BLOCK
28	6 X 6 GLASS BLOCK
29	SUPPLY FAN. SEE HVAC PLANS.
30	FIRE EXTINGUISHER CABINET
31	HANDICAP PUSH PLATE. SEE ELECTRICAL SHEETS FOR MOUNTING HEIGHTS.
32	STREET ADDRESS NUMBERS TO BE LOCATED ON ENTRANCE DOOR. VERIFY WITH OWNER BEFORE APPLYING.
33	BRICK SOLDIER COURSE FIELD COLOR - (RED).
34	ALUMINUM STOREFRONT FRAMING W/ INSULATED SPANDREL GLAZING. CAULK COLOR GRAY DYMONIC.
35	CO2 FILL BOX. SEE FLOOR PLAN FOR MOUNTING HEIGHTS.

Exterior Door Color Code

BAC Blend-a-Color	02	32	64	120
W1 White	-	12	1	-
B1 Black	-	24	1	-
R2 Maroon	-	19	-	-
R3 Magenta	-	26	1	1

EXTERIOR COLOR SCHEDULE

MATERIAL	MANUFACTURER	COLOR
BOLLARDS	--	BLACK, GLOSS
FASCIA	UNA-CLAD 24 GA.	REGAL RED ALMOND
GUTTERS & DOWNSPOUTS	--	ALMOND
SOFFIT	UNA-CLAD	WHITE
METAL ROOF	UNA-CLAD	HEMLOCK GREEN
MORTAR	--	GREY
SEALANT		
RED BRICK	TREMCO DYMONIC	REDWOOD TAN
TAN BRICK	TREMCO DYMONIC	LIMESTONE
ROOF CAP CAR WASH	UNA-CLAD	HEMLOCK GREEN
TAN BRICK	LEGENDARY	CLEAR BUFF
RED BRICK	LEGENDARY	CABERNET BURGUNDY
EIFS	TOTAL WALL	MORNING MIST SWIRL TEXTURE
TRASH ENCLOSURE CAP	UNA-CLAD	HEMLOCK GREEN

EXTERIOR ELEVATION NOTES

- A. SEE FLOOR PLAN FOR WINDOW TYPE KEYS.
- B. CONTROL JOINT SEALANT TO MATCH VENEER COLOR.
- C. ALL DOWNSPOUTS TO CONNECT W/ BELOW GRADE DRAIN.
- D. VERIFY NUMBER OF GABLES AND LOCATION OF SIGNAGE WITH OWNER.



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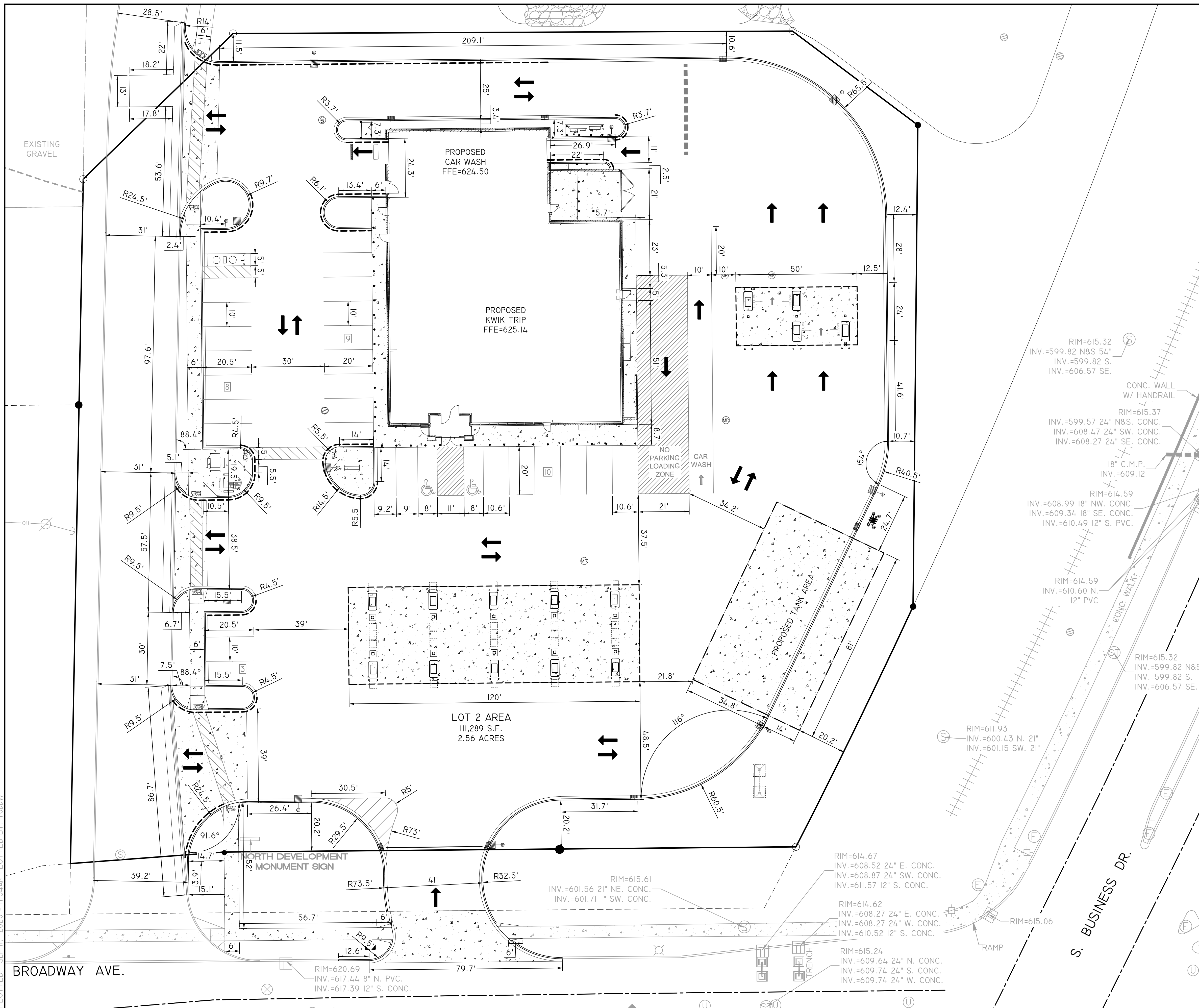
JOB #: 1081-...
DATE: 06.26.2020
DRAWN BY: Author
TYPE: Permit Set

REVISIONS	NO.	DATE

SHEET TITLE
Exterior Elevations

SHEET NO.
A200

DRAWING FILE: P:\9200-9299\9297-KT-#1138-SHEBOYGAN\DWG\PLANS\9297-SPI-SITE.DWG LAYOUT: SPI
 PLOTTED: SEP 11 2020 - 11:33AM PLOTTED BY: TODDW



LAYOUT NOTES:

- PLAN PREPARED FROM AN ALTA/ACSM LAND TITLE SURVEY BY: CHAPUT LAND SURVEYS 414-224-8068
 - CURBS ARE DIMENSIONED TO BACK OF CURB.
 - CONVENIENCE STORE, AND ISLAND COMPLEXES ARE LOCATED FROM THE NORTHEASTERN MOST PROPERTY CORNER AND ALIGNED PARALLEL/PERPENDICULAR TO THE LINE LABELED S89°29'20.00"W, UNLESS OTHERWISE INDICATED ON THIS PLAN.
 - UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES. CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' O.C., ALL OTHERS- 15' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS. EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' O.C., ALL OTHERS- 40' O.C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24" O.C.
 - CONCRETE IN ISLAND COMPLEX SHALL BE SMOOTH FINISHED.
 - EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER: APR 15- OCT 31 USE: TK-26UV NOV 1- DEC 31 USE: TK-290
 - EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SLI.
- FOR INFORMATIONAL PURPOSES ONLY

SITE DATA:

ZONING DISTRICT:	UI (URBAN INDUSTRIAL)
TOTAL SITE AREA - EXISTING/PROPOSED:	111,289 SF
EX. IMPERVIOUS:	17,510 SF
EX. PERVIOUS:	93,779 SF
PARKING REQUIREMENTS	SERVICE STATION = 1 STALL PER 2 EMPLOYEES +1 50 STALLS
PARKING PROVIDED	
BUILDING HEIGHTS	20.0'
CONVENIENCE STORE CANOPY	19.5'
BUILDING SETBACKS	20' FRONT 10' SIDE 10' REAR
PROPOSED LOT GREEN AREA:	17,126 SF 15.4%
PROPOSED HARD COVER:	94,163 SF 84.6%
PAVED AREA:	83,348 SF 74.9%
BUILDING ROOF AREA:	12,328 SF 11.1%
WATER FEATURE AREA:	0 SF 0%
CONVENIENCE STORE: (FLOOR AREA) =	10,815 SF 4,645 SF

UTILITY PROVIDERS

- ELECTRIC:** WISCONSIN POWER & LIGHT COMPANY- 608-458-3311
- GAS:** WISCONSIN PUBLIC SERVICE CORPORATION- 800-450-7260
- TELEPHONE:** SBC WI
- SANITARY/ WATER:** TOWN OF SHEBOYGAN 920-451-2323

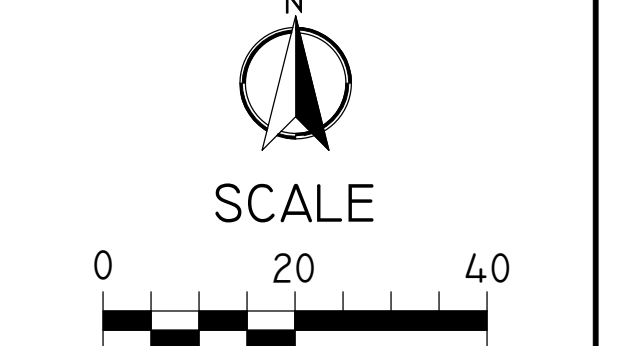


STORES



STORES

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 P.O. BOX 2107
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SITE PLAN
CONVENIENCE STORE #1138
BROADWAY AVE.
SHEBOYGAN, WI

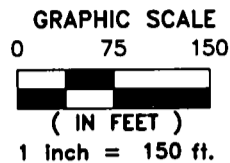
#	DATE	DESCRIPTION

DRAWN BY: NAP
 SCALE: GRAPHIC
 PROJ. NO.: 9297
 DATE: 08/18/20 - REVIEW DOCUMENTS
 SHEET: **SP1**

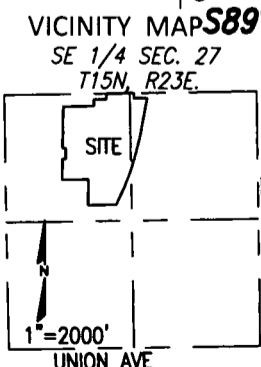
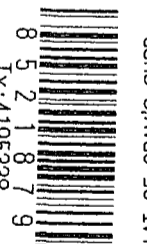
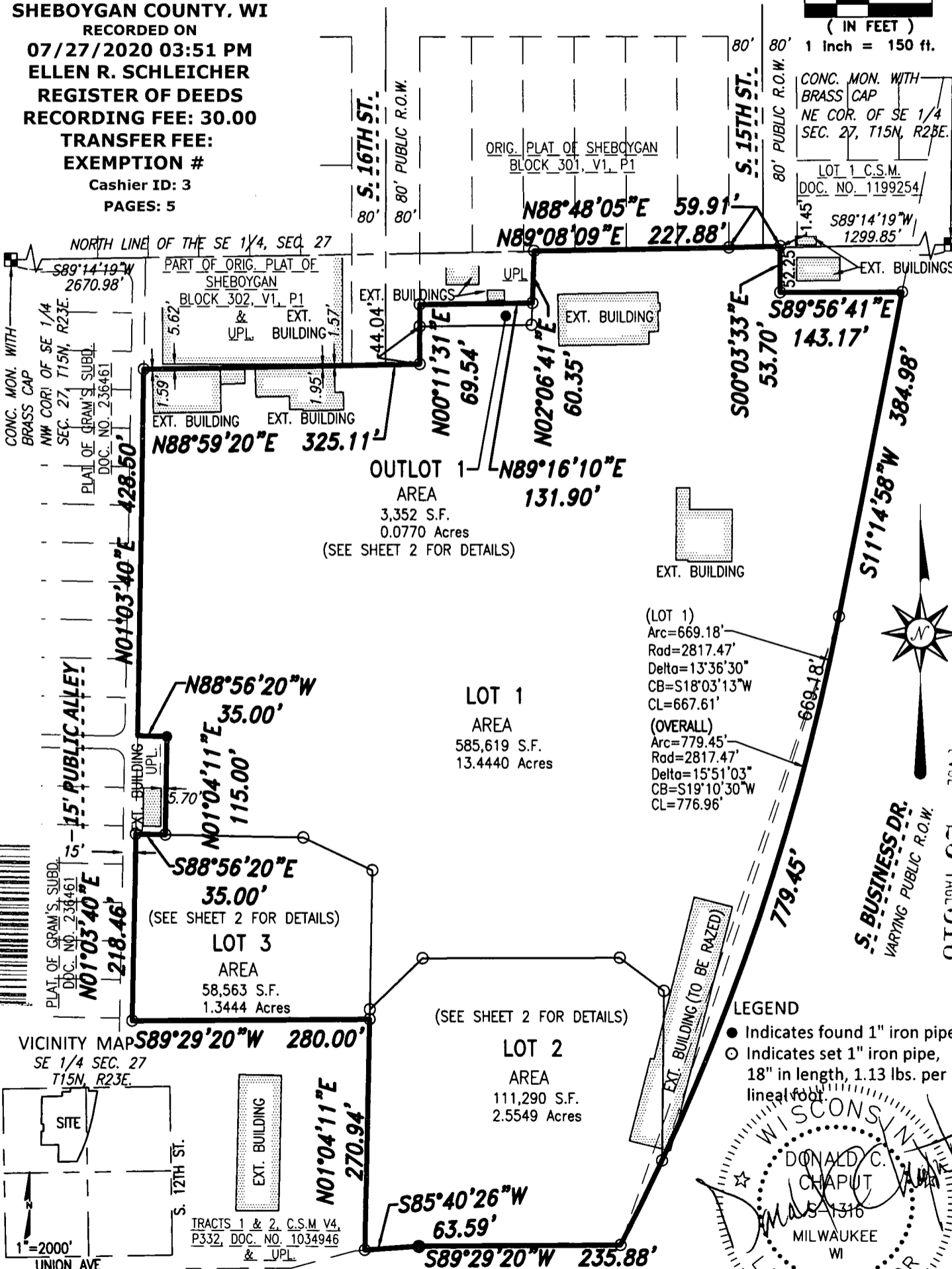
CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 27, Township 15 North, Range 23 East, in the City of Sheboygan, Sheboygan County, Wisconsin.

Bearings are referenced to Sheboygan County Datum, North line of the Southeast 1/4 of Section 27-15-23, which bears S89°14'19"W.



2095712
SHEBOYGAN COUNTY, WI
RECORDED ON
07/27/2020 03:51 PM
ELLEN R. SCHLEICHER
REGISTER OF DEEDS
RECORDING FEE: 30.00
TRANSFER FEE:
EXEMPTION #
Cashier ID: 3
PAGES: 5



CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

Owner: Oscar GS GP LLC, a Missouri limited liability company
BROADWAY AVE.
VARYING PUBLIC R.O.W.
This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

April 22, 2020
Drawing No. 3290-dmb
SHEET 1 OF 5 SHEETS

1 VOL
29 PAGE 316

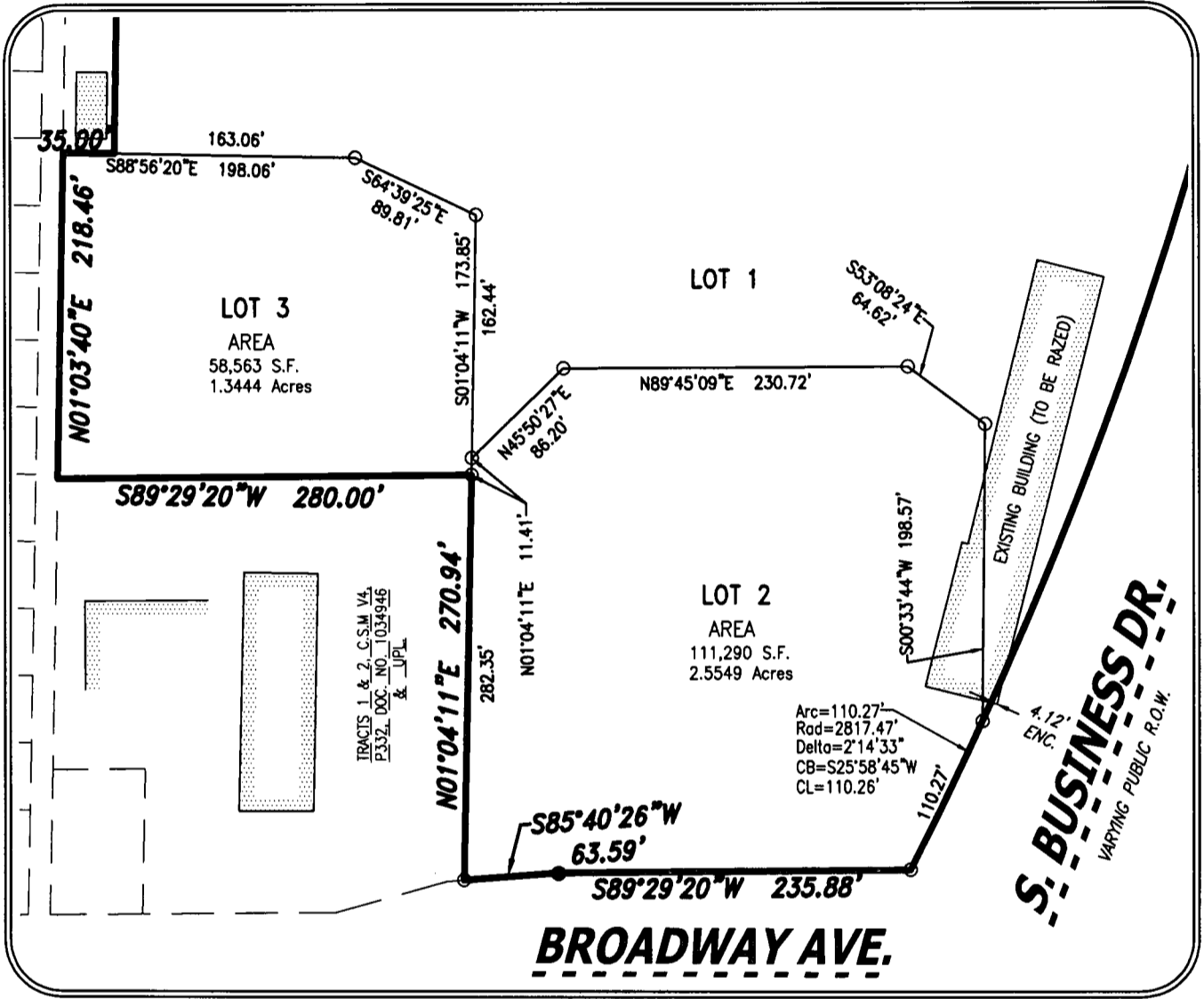
CERTIFIED SURVEY MAP NO. _____

Part of the Northwest 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 27, Township 15 North, Range 23 East, in the City of Sheboygan, Sheboygan County, Wisconsin.

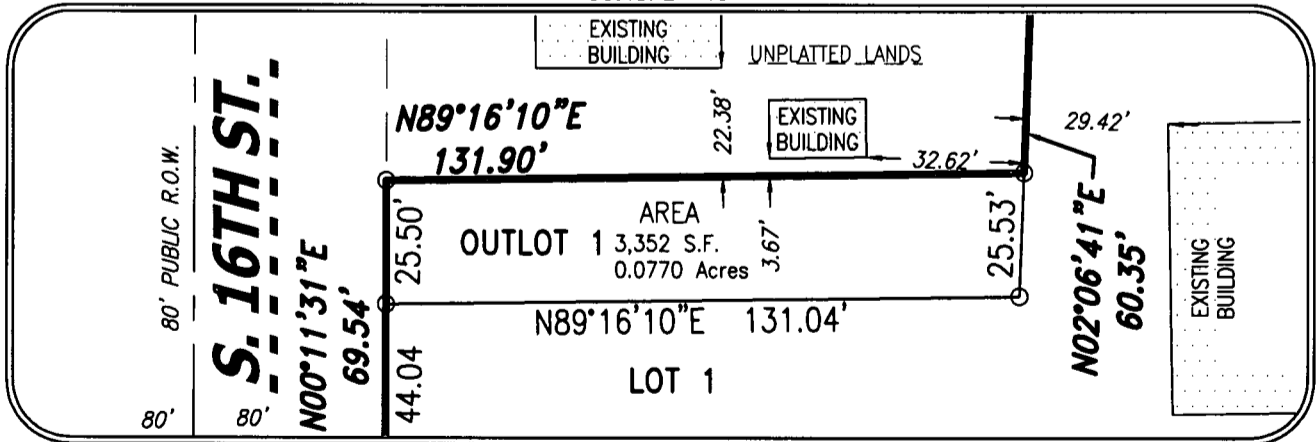
LEGEND

- Indicates found 1" iron pipe.
- Indicates set 1" iron pipe, 18" in length, 1.13 lbs. per lineal foot.

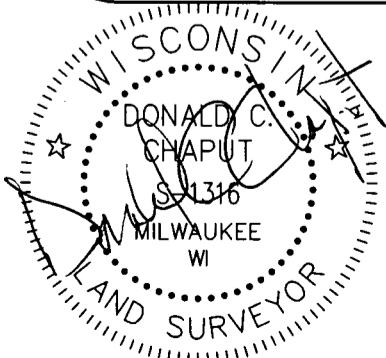
LOT 2 DETAIL
N.T.S.



OUTLOT 1 DETAIL
Scale: 1"=40'



VOL 29 PAGE 317



This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

April 22, 2020
Drawing No. 3290-dmb
SHEET 2 OF 5 SHEETS

Typical Abbreviations List

A/C	AIR CONDITIONING	GYP BD	GYPSUM BOARD
ACT	ACOUSTICAL CEILING TILE	H4V	HEATING & VENTILATION
AD	AREA DRAIN	HC	HOLLOW CORE
ADJ	ADJUSTABLE	HM	HOLLOW METAL
AFF	ABOVE FINISHED FLOOR	HO	HOLD OPEN ARM
ALT	ALTERNATE	HR	HOURS
ALUM	ALUMINUM	HYD	HYDRANT
AP	ACCESS PANEL	INSUL	INSULATION
APPROX	APPROXIMATE	INT	INTERIOR
@	AT	JOINT	JOINT
BD	BOARD	JST	JOIST
BRG	BEARING	MBD	MARKER BOARD
BIT	BITUMINOUS	MAS	MASONRY
BLK&B	BLOCKING	MO	MASONRY OPENING
BR	BRICK	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BM	BEAM	MTL	METAL
B.O.	BOTTOM OF	MIN	MINIMUM
BOTT.	BOTTOM	NIC	NOT IN CONTRACT
BRG	BEARING	NTS	NOT TO SCALE
BTWN.	BETWEEN	OC	ON CENTER
CAB	CABINET	OD	OUTSIDE DIAMETER
CB	CONCRETE BLOCK	OH	OVERHEAD
CIP	CAST-IN-PLACE	PNT	PAINT
CF	CUBIC FEET	PLAS	PLASTER
CPT	CARPET	PLAM	PLASTIC LAMINATE
CLG	CEILING	PL	PLATE
CLK	CAULK	PLB&P	PLUMBING
CLR	CLEAR	PLYWD	PLYWOOD
CT	CERAMIC TILE	PCT	PORCELAIN CERAMIC TILE
CTR	CENTER	P/C	PRECAST
CO	CLEAN OUT	P/C TERR	PRECAST TERRAZZO
COL	COLUMN	PREFAB	PREFABRICATED
CONC	CONCRETE	PREFIN	PREFINISHED
CMU	CONCRETE MASONRY UNIT	PT	PRESSURE TREATED
CONT	CONTINUOUS	QT	QUARRY TILE
CONST	CONSTRUCTION	REINF	REINFORCING OR REINFORCEMENT
CONTR	CONTRACTOR	REQ'D	REQUIRED
CJ	CONTROL JOINT	R	RISERS
COORD	COORDINATE	RD	ROOF DRAIN
CRPT	CARPET	RFG	ROOFING
CY	CUBIC YARD	RFS	ROOM FINISH SCHEDULE
DBL	DOUBLE	RM	ROOM
DET	DETAIL	SCHD	SCHEDULE
DIA	DIAMETER	S	SEALED
DIAG	DIAGONAL	SIM	SIMILAR
DM	DIMENSION	SC	SOLID CORE
DIST	DISTANCE	S.SURF	SOLID SURFACE
DN	DOWN	SPEC	SPECIFICATION
DRS	DOORS	ST	STAIN
DS	DOWNSPOUT	SS	STAINLESS STEEL
EAC	ELECTRIC WATER CHILLER	STRUCT	STRUCTURE OR STRUCTURAL
ELECT	ELECTRICAL	SW	SITE WASTE
EL	ELEVATION	TBD	TACKBOARD
ELEV	ELEVATOR	TEMP	TEMPERED
EP	EPOXY PAINT	TERR T	TERRAZZO TILE
EQUIP	EQUIPMENT	T&G	TONGUE & GROOVE
EXIST	EXISTING	T/	TOP OF
EPS	EXPANDED POLYSTYRENE	TP	TOILET PARTITION
EXP	EXPOSED	TR	TREADS
EXT	EXTERIOR	TYP	TYPICAL
EIFS	EXTERIOR INSULATION FINISH SYSTEM	UNFIN	UNFINISHED
FV	FIELD VERIFY	VB	VAPOR BARRIER
FIN	FINISH	VERT	VERTICALLY
FE	FIRE EXTINGUISHER	VCT	VINYL COMPOSITION TILE
FL	FLOOR	VAC	VINYL WALL COVERING
FD	FLOOR DRAIN	VB	VINYL BASE
FTG	FOOTING	WVF	WELDED WIRE FABRIC
FDN	FOUNDATION	WDW	WINDOW
GEN	GENERAL	W	WITH
GC	GENERAL CONTRACTOR	WD	WOOD
GL	GLASS OR GLAZING		
GFCMU	GROUND FACE CMU		

SYMBOL LEGEND

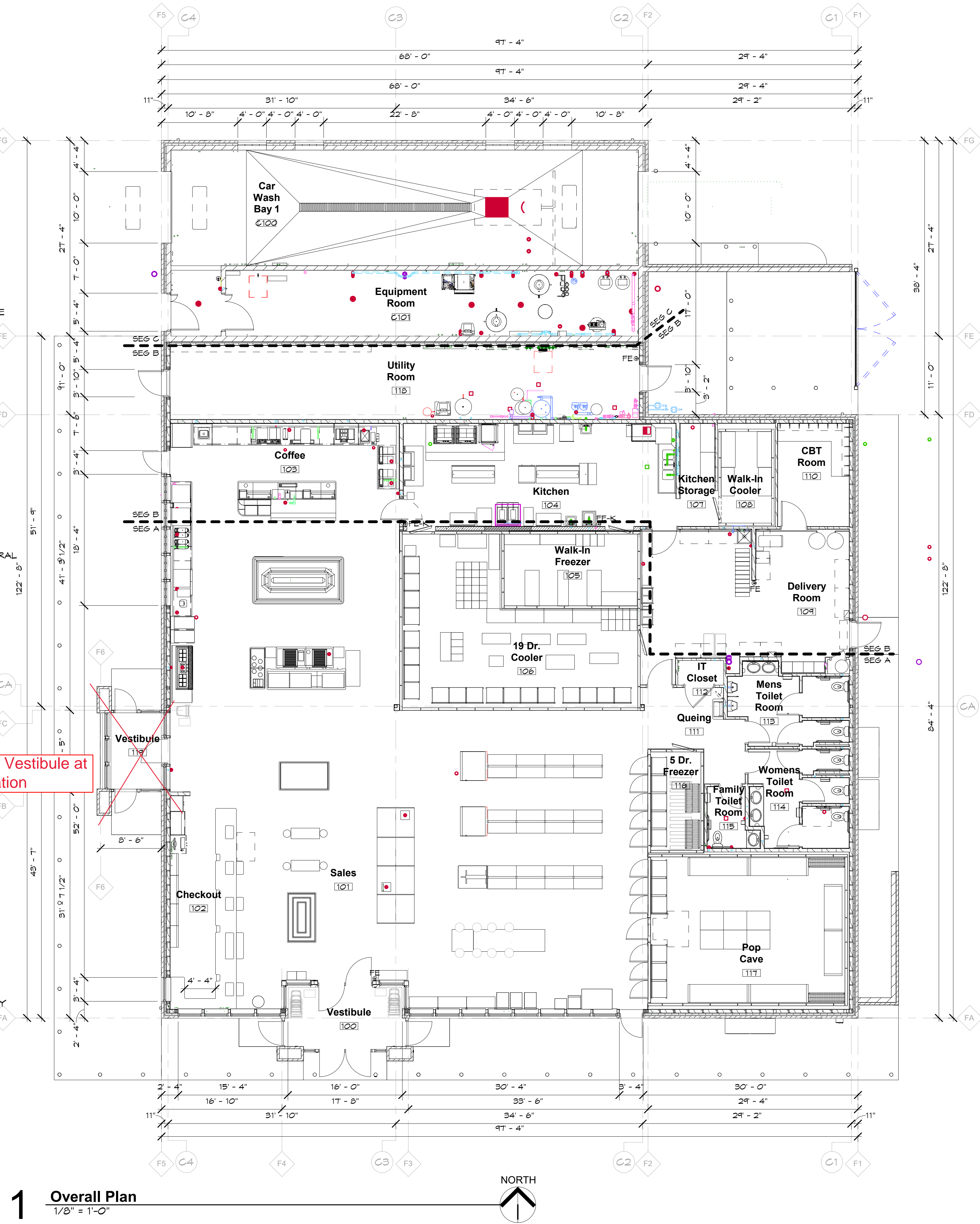
SEG A	MATCH LINE
SEG B	MATCH LINE
F1	GRID LINE - FACE OF BRICK VENEER & FOUNDATION WALL
CA	GRID LINE - CENTER OF STEEL

Graphic Symbols

Room name [101]	ROOM TAG
1 [A101]	SECTION CALLOUT
1 [A101]	ELEVATION CALLOUT
1 [A101]	DETAIL CALLOUT
5	DOOR NUMBER
CA	CURTAIN WALL TYPE
A1	WALL TYPE
+	VERTICAL WORKING POINT ELEVATION
△	REVISION INDICATOR
○	GRID LINE - CENTER OF STEEL STUD

Material Symbols

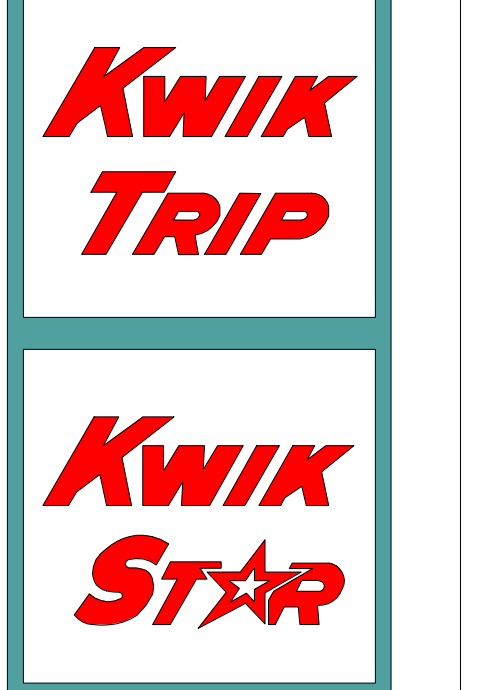
[Pattern]	EARTH
[Pattern]	CONCRETE
[Pattern]	CONCRETE MASONRY UNIT
[Pattern]	FACE BRICK
[Pattern]	SPRAY-FOAM INSULATION
[Pattern]	STRUCTURAL STEEL
[Pattern]	BATT INSULATION
[Pattern]	ROUGH LUMBER
[Pattern]	RIGID INSULATION
[Pattern]	GYPSUM BOARD
[Pattern]	PLYWOOD



1 Overall Plan
1/8" = 1'-0"

THERMAL ENVELOPE NOTES

RETAIL STORE	
AREA	SYSTEM
COLD ATTIC CEILING:	1. R-49 BLOWN FIBERGLASS WITH 4 MIL POLY VAPOR BARRIER AT GYP. BD. SURFACES. PROVIDE DEPTH MARKERS ON TRUSSES
KNEE WALL AT CEILING:	1. R-27 SPRAY FOAM POLYURETHANE (4") APPLY INTUMESCENT COATING @ ALL EXPOSED AREAS.
EXTERIOR WALLS:	1A. TYPICAL EXTERIOR WALLS: 3" UNFACED POLYISOCYANURATE INSUL. (R18.5) WITH VAPOR BARRIER COATING ON ALL INTERIOR GYP. BD. SURFACES 1B. WALLS AT FREEZER AND COOLER: 3" UNFACED POLYISOCYANURATE INSUL. (R18.5) WITH 5/8" DENS SHIELD, BEAD OF SEALANT AT ALL EDGES. NO ADDITIONAL FINISH OR VAPOR BARRIER. NO TAPE OR PAINT. 2. PACK ALL DOOR AND WINDOW VOIDS. 3. FOAM ALL PENETRATIONS. 4. SEAL ALL VAPOR BARRIER PENETRATIONS (OUTLETS, LIGHT FIXTURES, ETC.) 5. USE VAPOR BARRIER COATING ON ALL INTERIOR DENS SHIELD SURFACES.
INTERIOR WALLS:	1. NO SOUND INSULATION
ROOF:	1. R-35 TAPERED POLYISOCYANURATE (6" MIN) 2 LAYERS W/ STAGGERED JOINTS.
FOUNDATION PERIMETER:	1. R-10 EXTRUDED RIGID INSULATION (2" THICK). SEE SPEC. CONTINUOUS FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL.
HEATED SLAB:	1. R-20 EXTRUDED RIGID INSULATION (4" THICK) SEE SPEC. UNDERSLAB RADIANT FLOOR.
AIR BARRIER	
1. AIR & VAPOR BARRIER SPRAY @ ALL EXTERIOR WALLS. SEE SPEC & DETAIL 2. AIR BARRIER AT KNEE WALL WITHIN TRUSS SPACE, BETWEEN STORE AND ATTIC IS 4" CLOSED CELL SPRAY FOAM OVER GYPSUM BOARD THERMAL BARRIER. 3. SEAL ALL UTILITY PENETRATIONS TO AIR BARRIER. 4. SEAL ALL WINDOW AND DOOR FRAMES. 5. VAPOR BARRIER: A. GYP. BD. WALLS AND SPRAY FOAM KNEE WALL PAINTED: HALMAN LINSAY 530-1 FOR PERM RATING OF 0.30 B. 4 MIL POLY AT ATTIC CEILING.	
FENESTRATION	
ZONES 5 & 6 ALUMINUM WINDOWS: U = 0.36, SHGC: 0.40 ZONE 7 ALUMINUM WINDOWS: U = 0.29, SHGC: 0.45 ALUMINUM DOORS: U = 0.67, SHGC: 0.35 H.M. INSULATED DOORS: U = 0.44 ALUMINUM DOORS AND WINDOWS VALUES PER NFRC100 BY TUBELITE FOR T14000 WINDOWS AND NARROW STYLE DOORS.	
THERMAL ENVELOPE NOTES	
CAR WASH	
AREA	SYSTEM
COLD ATTIC CEILING:	1. (R-36) BLOWN FIBERGLASS (14") PLUS 2" SPRAY FOAM (R 13.0)
EXTERIOR WALLS:	1. TYPICAL EXTERIOR WALLS: 3" POLYISOCYANURATE INSULATION (R-18.5) AND EPOXY PAINT ON ALL INTERIOR SURFACES 2. PACK ALL DOOR AND WINDOW VOIDS. 3. FOAM ALL PENETRATIONS. 4. SEAL ALL VAPOR BARRIER PENETRATIONS (OUTLETS, LIGHT FIXTURES, ETC.)
INTERIOR WALLS:	1. NO SOUND INSULATION
COMMON WALLS:	1. (R-20) SPRAY FOAM POLYURETHANE (3"). APPLY INTUMESCENT COATING @ ALL EXPOSED AREAS.
ROOF:	1. AT CENTER FLAT ROOF: TPO MEMBRANE ROOFING SYSTEM FULLY ADHERED OVER A MIN. OF 6" TAPERED POLYISOCYANURATE INSUL. (R-35) OVER VAPOR BARRIER OVER 8" CONC. PLANK 2. AT PERIMETER METAL ROOF: R-25 BLOWN IN INSULATION OVER 2" CLOSED-CELL SPRAY FOAM (R-13) 3. PRECAST DECK - CONCRETE SEALANT.
FOUNDATION PERIMETER:	1. R-10 EXTRUDED RIGID INSULATION (2" THICK). SEE SPEC. CONTINUOUS FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL.
AIR BARRIER	
A. CARWASH AIR BARRIER IS EXTERIOR BRICK VENEER.	
FENESTRATION	
GLASS BLOCK WINDOWS: R-1.96, U = 0.51, SHGC: 0.35 FIBERGLASS REIN. PANEL U = 0.500 DOOR & FRAME: OVERHEAD POLYCARBONATE U = .260 (INCLUDES VINYL & AIR FILMS) DOORS:	



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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF WISCONSIN.

SIGNATURE: JERRELL SCHROEDERS
DATE: 08/03/2020 REG. NO. 11910

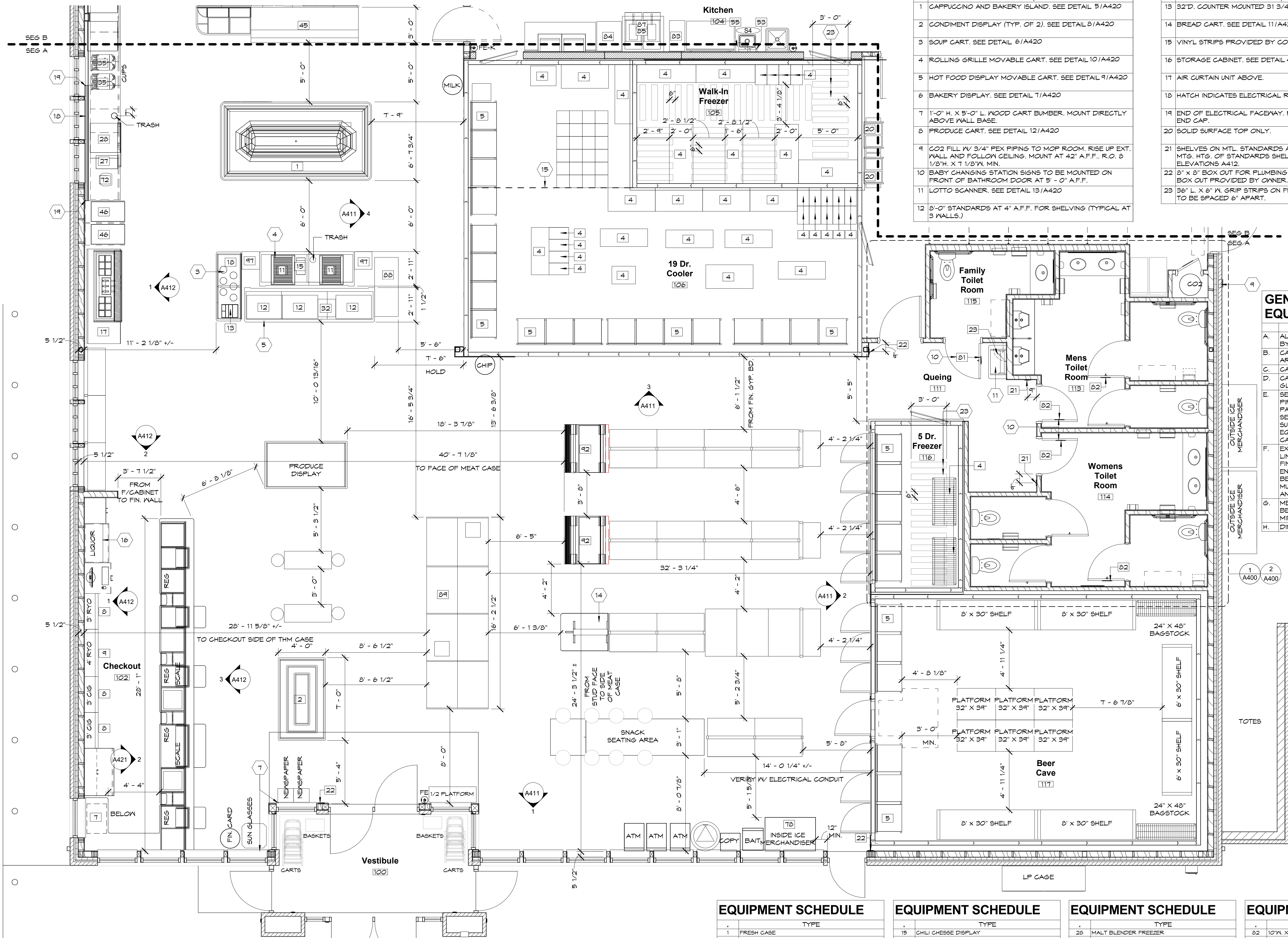
SIGNATURE: CARL M. FINE
DATE: 08/03/2020 REG. NO. 42448

JOB #:	1081.410
DATE:	06.03.2020
DRAWN BY:	Author
TYPE:	CD Set
REVISIONS	
NO.	DATE

SHEET TITLE
Overall Floor Plan & Thermal Envelope Insulation Values & Notes

SHEET NO.
A000

La Crosse, WI
750 N. Third Street
Ph (608) 784-2729 Fax (608) 784-2826
54601



EQUIPMENT PLAN KEY NOTES

#	Description
1	CAPPUCCINO AND BAKERY ISLAND, SEE DETAIL 5/A420
2	CONDIMENT DISPLAY (TYP. OF 2), SEE DETAIL 8/A420
3	SOUP CART, SEE DETAIL 6/A420
4	ROLLING GRILLE MOVABLE CART, SEE DETAIL 10/A420
5	HOT FOOD DISPLAY MOVABLE CART, SEE DETAIL 9/A420
6	BAKERY DISPLAY, SEE DETAIL 7/A420
7	1'-0" H. X 5'-0" L. WOOD CART BUMPER, MOUNT DIRECTLY ABOVE WALL BASE.
8	PRODUCE CART, SEE DETAIL 12/A420
9	CO2 FILL W/ 3/4" PEX PIPING TO MOP ROOM, RISE UP EXT. WALL AND FOLLOW CEILING, MOUNT AT 42" A.F.F., R.O. 3 1/8" X 1 1/8" MIN.
10	BABY CHANGING STATION SIGNS TO BE MOUNTED ON FRONT OF BATHROOM DOOR AT 5'-0" A.F.F.
11	LOTTO SCANNER, SEE DETAIL 13/A420
12	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS.)

EQUIPMENT PLAN KEY NOTES

#	Description
13	32" D. COUNTER MOUNTED 3 1/4" A.F.F. TO TOP
14	BREAD CART, SEE DETAIL 11/A420
15	VINYL STRIPS PROVIDED BY COOLER MANUFACTURER.
16	STORAGE CABINET, SEE DETAIL 4/A420
17	AIR CURTAIN UNIT ABOVE.
18	HATCH INDICATES ELECTRICAL RACE WAY.
19	END OF ELECTRICAL FACEWAY, PROVIDE SOLID SURFACE END CAP.
20	SOLID SURFACE TOP ONLY.
21	SHELVES ON MTL. STANDARDS AND BRACKETS (VERIFY MTS, HTGS. OF STANDARDS SHELVES), SEE INTERIOR ELEVATIONS A412.
22	8" X 8" BOX OUT FOR PLUMBING CASE, MATERIAL FOR BOX OUT PROVIDED BY OWNER.
23	36" L. X 6" W. GRIP STRIPS ON FREEZER FLOOR, STRIPS TO BE SPACED 6" APART.

GENERAL NOTES EQUIPMENT

A.	ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
B.	CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
C.	CAULK SINK COUNTERTOPS AT WALL.
D.	CAULK/ ROPE INSIDE COOLER/FREEZER GLASS DOORS.
E.	SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS, SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
F.	EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS, THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
G.	MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
H.	DIMENSIONS ARE FROM FINISHED FACE.

EQUIPMENT SCHEDULE

#	TYPE
1	FRESH CASE
2	BAKERY SHELF
4	NSF APPROVED SHELVES - COOLERS/FREEZERS
5	NSF APPROVED SHELVES - COOLERS/FREEZERS
7	UTILITY CART
8	3'-0" METAL LIGHTED CIGARETTE MERCHANDISER
9	4'-0" METAL LIGHTED CIGARETTE MERCHANDISER
11	ROLLER GRILL
12	HOT FOOD DISPLAY
13	CRACKER & SILVERWARE BASKET

EQUIPMENT SCHEDULE

#	TYPE
15	CHILI CHEESE DISPLAY
17	MULTI-TERRIA CONDIMENT
18	SOUP KELL
19	NSF APPROVED SHELVES - COOLERS/FREEZERS
21	ADA 6'X6' MEN/WOMEN SIGNAGE WITH BRAILLE SEE SHEET A403 FOR TYP. LOCATION
22	ADA 3'X6' EXIT SIGNAGE WITH BRAILLE SEE SHEET A501 FOR TYP. LOCATION
23	SECURITY MIRROR
27	MALT BLENDER

EQUIPMENT SCHEDULE

#	TYPE
28	MALT BLENDER FREEZER
32	PIZZA WARMER
35	BLUSHIE MACHINE
45	BAKERY CASE
46	SMOOTHE MACHINE
53	SOAP DISPENSER
55	PAPER TOWEL DISPENSER-KITCHEN
72	WHIPPED CREAM DISPENSER
78	INSIDE ICE MERCHANDISER
81	8'X1 X 3'H. BABY CHANGING STATION SIGN

EQUIPMENT SCHEDULE

#	TYPE
82	10'X1 X TH. BABY CHANGING STATION SIGN
83	GILES DUMP TABLE
84	AYRINK BREADER
85	HENRY PENNY OPEN FRYER
87	3'-6" TYPE 1 HOOD
88	BAKERY TABLE
89	TAKE HOME MEAL CASE
92	OPEN AIR MEAT CASE
97	DISPLAY RACK



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JOB #: 1081...
 DATE: 06.26.2020
 DRAWN BY: ams
 TYPE: Permit Set
 REVISIONS
 NO. DATE

EQUIPMENT PLAN KEYNOTES

#	Description
1.	CAFFUCCINO AND BAKERY ISLAND. SEE DETAIL 5/A420
2.	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL 5/A420
3.	SHELVES ON MTL. STANDARDS AND BRACKETS (VERIFY MTG. HTG. OF STANDARDS & SHELVES). SEE INTERIOR ELEVATIONS A412.
4.	SNOW MELT
5.	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS)
6.	HATCH INDICATES ELECTRICAL RACEWAY.
7.	END OF ELECTRICAL RACEWAY. PROVIDE SOLID SURFACE END CAP.
8.	SOLID SURFACE TOP ONLY.
9.	PROVIDE 8" X 32" OPENING AT 10' - 0" A.F.F. TO 10' - 8" A.F.F.
10.	AIR CURTAIN UNIT ABOVE.
11.	8"X11 X 8" D. BOX FOR POP LINES CHASE. MATERIAL FOR BOX OUT PROVIDED BY OWNER.
12.	10L. GLASS "K" FIRE EXTINGUISHER
13.	32" D. COUNTER MOUNTED 31/4" A.F.F. TO TOP

GENERAL NOTES EQUIPMENT

A.	ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
B.	CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
C.	CAULK SINK COUNTERTOPS AT WALL.
D.	CAULK/ ROPE INSIDE COOLER/FREEZER GLASS DOORS.
E.	SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
F.	EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
G.	MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
H.	DIMENSIONS ARE FROM FINISHED FACE.

CAR WASH EQUIPMENT SCHEDULE

TAG	DESCRIPTION
A	AIR COMPRESSOR
B	WATER SOFTENER
BU	BOILER UNIT
C	REVERSE OSMOSIS UNIT
CPO	CPO CONTROLLER
CA	CHOICENASH XT GANTRY
CWB**	*CITY WATER BOOST PUMP
D	RO WATER PUMP
DC	DOOR CONTROL - MARK VII
DE	DOOR SENSOR EYE
DR	DRYER CONTROL BOX (40hp)
DT	DRYER COUNTDOWN TIMER
E	SPOTFREE STORAGE TANK
EC	ENERGY CHAIN FEED SYSTEM
EP	ELECTRICAL PANELS (BY OTHERS)
F	BRINE TANK
FD	FS-40D FREESTANDING DRYER
FL	FLOOR LOOP SENSORS
G	RO REJECT WATER PUMP
GD	GARAGE DOORS
GR	GUIDE RAILS, SST LOW PROFILE
H	CARBON FILTER
JB	IN BAY JUNCTION BOX
K	AIR DOOR CONTROL BOX
L	CPC PANEL
MB	MENU BOARD - T POSITION
MD	MAIN DISCONNECT
P	DOOR CONTROL BOX
PP	PUMPING PLANT/ STAND
SSB	STOP-GO-BACK UP SIGN
SS	SALT STORAGE
T	COIN/ CODE BOX, POINT OF SALE
TK	GANTRY TRACK 33', LOW PROFILE
TR	TREADLE SENSOR PAD
UC	UNDERCARRIAGE WASH MANIFOLD W/ FLAT COVER
WST	WASH STAT



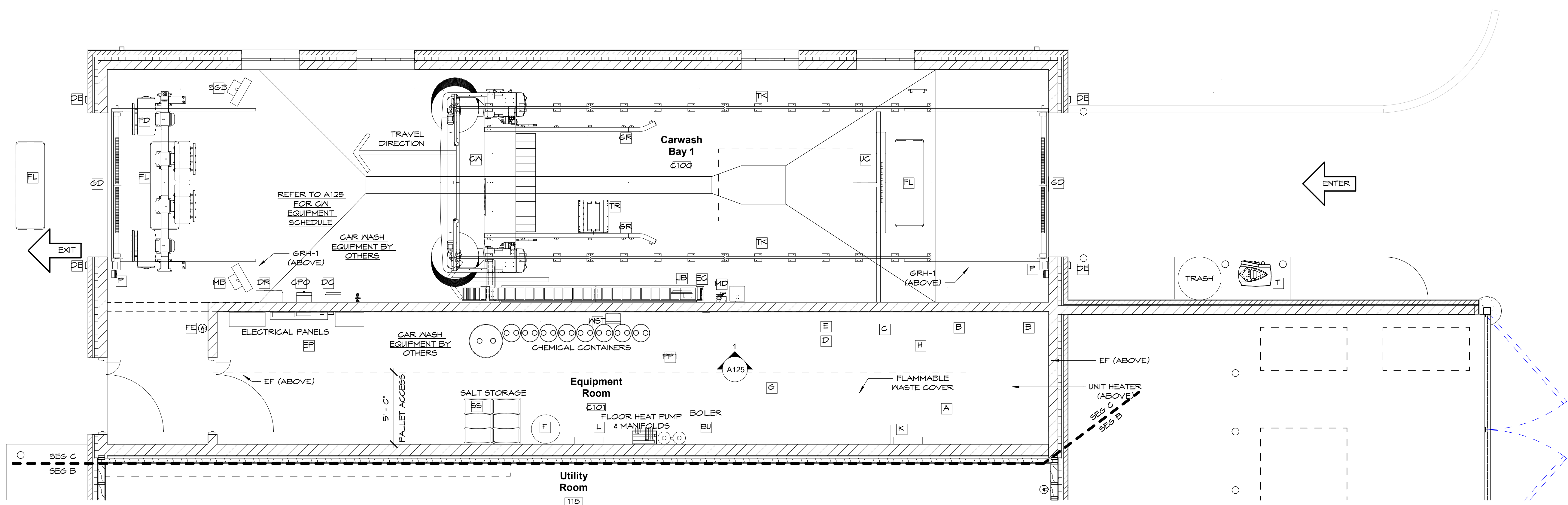
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JOB #: 1081...
 DATE: 06.26.2020
 DRAWN BY: Author
 TYPE: Permit Set

REVISIONS NO.	DATE

SHEET TITLE
 Equipment Floor Plan - Segment 'C'

SHEET NO.
A120C



1 EQUIPMENT FLOOR PLAN - SEG C
 1/4" = 1'-0"



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JOB #: 1081-...
DATE: 06.26.2020
DRAWN BY: Author
TYPE: Permit Set

REVISIONS	NO.	DATE

SHEET TITLE
Equipment Floor Plan -
Segment 'B'

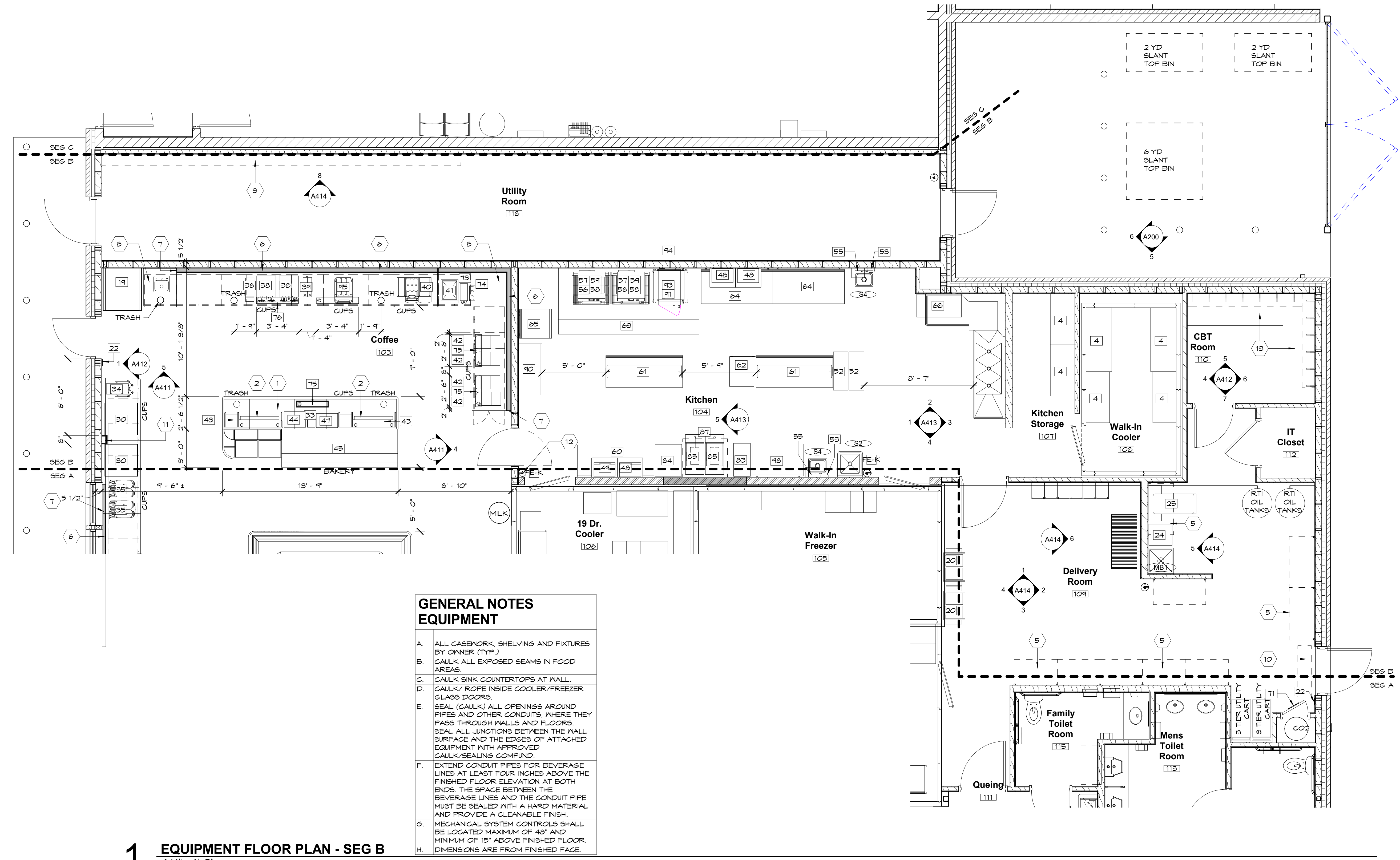
SHEET NO.
A120B

#	TYPE
4	NSF APPROVED SHELVES - COOLERS/FREEZERS
14	ICE CREAM NOVELTY CASE
20	BASKET-BOX RACK
22	ADA 3'x6' EXIT SIGNAGE WITH BRAILLE SEE SHEET A801 FOR TYP. LOCATION
24	UNDERCOUNTER REFRIGERATOR
25	FLOOR SCRUBBER
30	FOUNTAIN MACHINE
33	HOT WATER DISPENSER
34	ICE TEA MAKER
35	SLUSHIE MACHINE
36	SURESHOT FLAVORSHOT 2
38	COFFEE BREWER
39	COFFEE GRINDER
40	XPRESS TOUCH
41	ICE DISPENSER
42	IMIX-3 MACHINE
43	COFFEE CONDIMENT DISPLAY

#	TYPE
44	CREAMER
45	BAKERY CASE
47	MICROWAVE - SNACK
48	MICROWAVE - KITCHEN
49	SCALE/LABEL MACHINE
52	BIN RACK
53	SOAP DISPENSER
55	PAPER TOWEL DISPENSER-KITCHEN
56	TURBOCHEF 13 OVEN RACK
57	TURBOCHEF OVEN
58	TURBOCHEF 13 OVEN
59	CART (STAINLESS STEEL)
60	6'-0" STAINLESS TABLE
61	6'-0" STAINLESS TABLE w/ CENTER SHELF ABOVE
62	BAKERY RACK WITH COVER
63	CAPTIVE AIRE HOOD

#	TYPE
64	REFRIGERATED PREP TABLE
65	UNDERCOUNTER FREEZER KITCHEN
68	42" STAINLESS DRY RACK
71	CO2 SIGNAGE BY OWNER
73	COLD BREW DISPENSER
74	COLD BREW CUPS
75	30" DRIP TRAY
76	40" DRIP TRAY
83	GILES DUMP TABLE
84	AYRINK BREADER
85	HEAVY PENNY OPEN FRYER
87	3'-6" TYPE I HOOD
90	48" STAINLESS TABLE
91	VECTOR OVEN
93	VECTOR STAND
94	HOT FOOD HOLDING CABINETS
95	BEAN-TO-CUP
96	48" REFRIGERATED PREP TABLE

#	Description
1.	CAFFUCCINO AND BAKERY ISLAND. SEE DETAIL 5/A420
2.	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL 8/A420
3.	SHELVES ON MTL. STANDARDS AND BRACKETS (VERIFY MFG. HTG. OF STANDARDS & SHELVES). SEE INTERIOR ELEVATIONS A412.
4.	SNOW MELT
5.	8'-0" STANDARDS AT 4' A.F.F. FOR SHELVING (TYPICAL AT 9 WALLS)
6.	HATCH INDICATES ELECTRICAL RACEWAY.
7.	END OF ELECTRICAL RACEWAY. PROVIDE SOLID SURFACE END CAP.
8.	SOLID SURFACE TOP ONLY.
9.	PROVIDE 8' X 32" OPENING AT 10' - 0" A.F.F. TO 10' - 8" A.F.F.
10.	AIR CURTAIN UNIT ABOVE.
11.	8'W X 5'D. BOX FOR POP LINES CHASE. MATERIAL FOR BOX OUT PROVIDED BY OWNER.
12.	10L. CLASS "K" FIRE EXTINGUISHER
13.	32" D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP



GENERAL NOTES	
EQUIPMENT	
A.	ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
B.	CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
C.	CAULK SINK COUNTERTOPS AT WALL.
D.	CAULK/ROPE INSIDE COOLER/FREEZER GLASS DOORS.
E.	SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
F.	EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
G.	MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
H.	DIMENSIONS ARE FROM FINISHED FACE.

1 EQUIPMENT FLOOR PLAN - SEG B
1/4" = 1'-0"



BROADWAY AVE