

**\*\*\*ATTACHMENTS\*\*\***

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: _____

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised November 2009

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: A.C.E. Building Service – Contact – Chris Herzog

ADDRESS: 3510 S. 26<sup>th</sup> Street, Manitowoc, WI 54220

E-MAIL ADDRESS: cherzog@acebuildingservice.com

PHONE: ( 920 ) 682-6105 FAX NO.: N.A.

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Torginol, Inc.

ADDRESS OF PROPERTY AFFECTED: 4617 South Taylor Drive

NEW BUILDING: \_\_\_\_\_ ADDITION: X REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT:

The proposed project includes the construction of a 4,592 square foot building addition located on the south side of the existing building. The dry storm water basin will be modified and enlarged to comply with the City of Sheboygan stormwater regulations.

DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIALS:

The existing building is a pre-engineered metal building with metal wall & roof panels. The office area, which is adjacent to this expansion has an exterior base wainscot of brick and stone ledge, which will be extended to the expansion.

DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIALS:

The proposed building will be a pre-engineered metal building with metal wall & roof panels to match the existing building. Additionally, brick masonry wainscot with stone ledge, architectural metal accent panel, windows, and landscaping will be incorporated with the expansion to keep in kind with the existing office and clearly



City of Sheboygan  
Architectural Review Committee  
828 Center Avenue  
Suite 104  
Sheboygan, WI 53081

Ladies and Gentlemen:

Attached please find information pertaining to the proposed building addition to Torginol, Inc. located at 4617 S. Taylor Drive in the City of Sheboygan, Wisconsin. There is no zoning change, conditional use request, or increase in parking associated with the proposed expansion.

It is our request as agent of Torginol, Inc. for approval of the enclosed plans and information to construct a 4,592 square foot addition to the south side of the existing facility. Torginol has experienced several stages of growth over the past several years at their current location in the City of Sheboygan in addition to acquiring additional property on Tower Drive. This expansion is necessary to better organize and streamline their sales staff functionality, which in turn will bolster their overall business operation and better respond to domestic and international client demand. It is our intent to commence construction as soon as is feasible, presumably the latter half of July, 2020.

The development will include the enlargement of a storm water treatment area on the east portion of the lot to the east of the facility. The building will be classified as unlimited area by the International Building Code. A requirement of this classification is to maintain a minimum 60' distance from property lines that abut adjacent property. This area was originally selected for the storm water treatment area as it will be unbuildable space to maintain the unlimited area classification. 3 existing building downspouts will be plumbed to underground storm piping and diverted to the storm water treatment area which will divert approximately 8,200 square feet of impermeable roof surface to the storm water treatment area. This is about 3,600 additional square feet of roof surface runoff than the actual expansion area that will be diverted to the storm water management area.



The expansion construction type will be consistent with the existing structure. Specifically, a pre-engineered metal building with prefinished metal wall panels, gable trim, gutter, and downspouts. The wall panel profile will match the existing building panel profile. The addition eave heights will match those of the existing office building structure. There are no at-grade overhead doors or loading docks being added as part of this expansion project.

Brick masonry wainscot with standard grey mortar will be included on the south and west elevations of the expansion to match the condition on the existing office structure. Windows of similar style and exterior color will be installed. The new office entrance will be surrounded by an architectural metal panel installed perpendicular to the main building panel. This along with the entrance canopy will clearly define and architecturally enhance the entrance to the facility. Base plantings will be installed in a stone landscape bed along the entire length of the south and west sides of the expansion to enhance the balance and symmetry of the masonry and windows.

The metal panel material colors for the expansion will be complimentary to the existing building, but intentionally offsetting to create a contemporary appearance. The final color selection of the brick will match the existing brick as closely as possible. Additionally, Torginol is going to paint the entire perimeter of the existing manufacturing and warehouse structure to give it a fresh and uniform color appearance.

The expansion project and color/material selections will be complimentary to the adjacent and surrounding businesses in both style and materials used.

Please feel free to contact me with any questions regarding this project. Thank you in advance for your consideration.

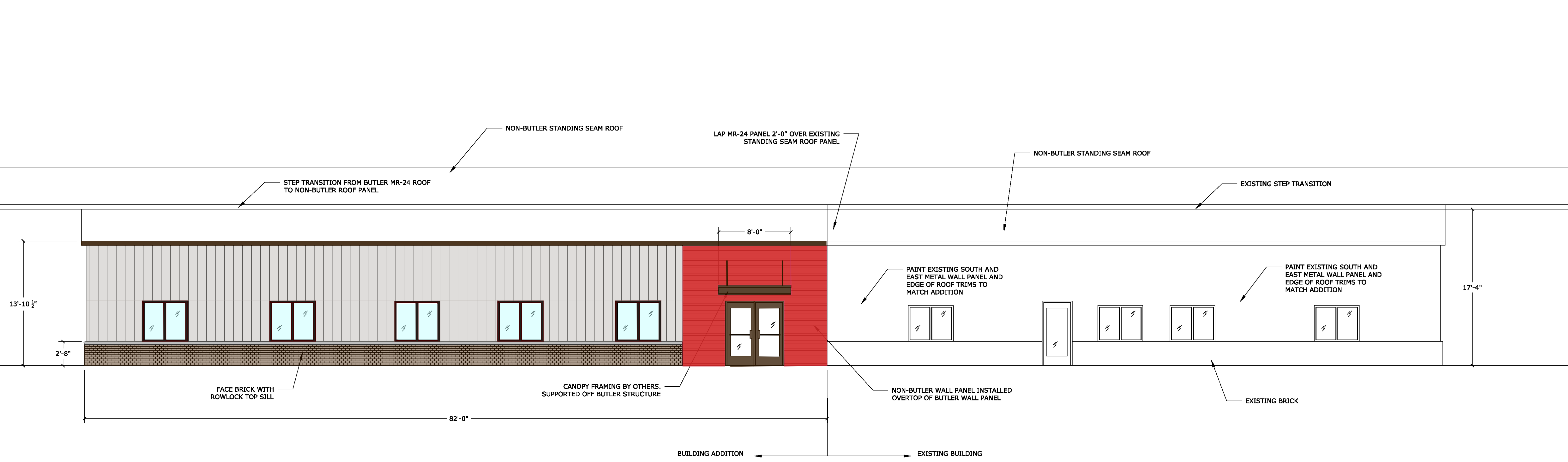
Respectfully Submitted,

Christopher Herzog  
A.C.E. Building Service, Inc.

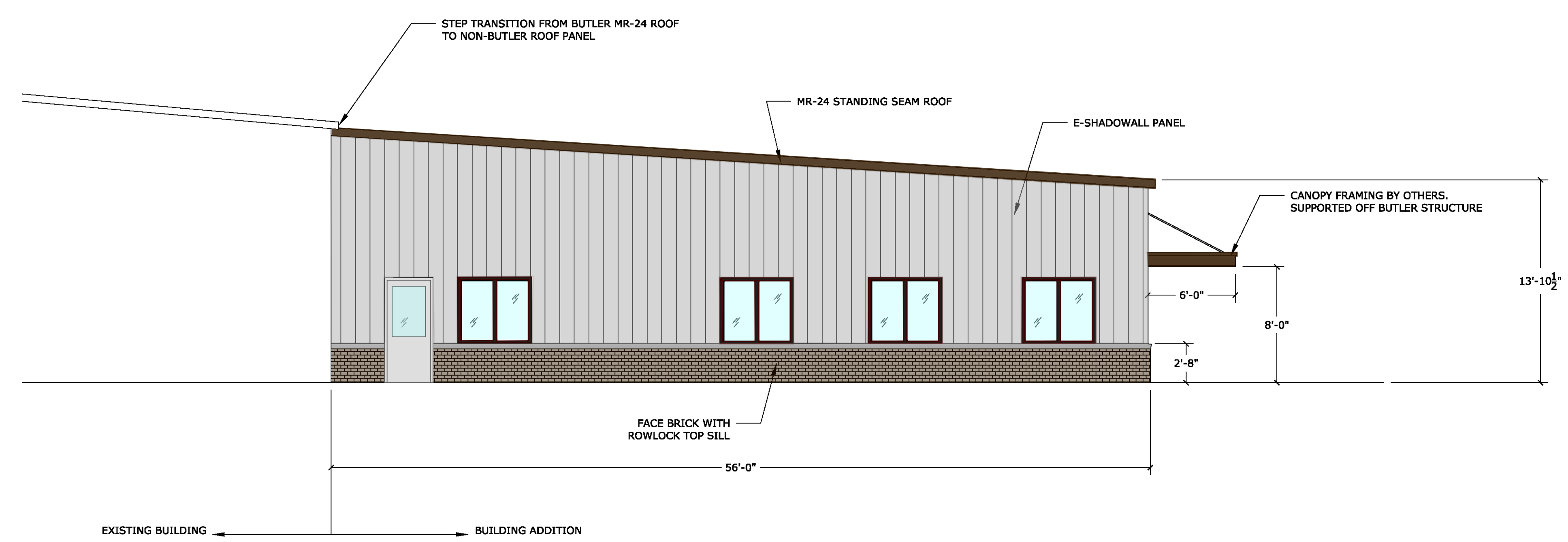
**PROPOSED OFFICE EXPANSION - TORGINOL, INC.**

**4617 S. TAYLOR DRIVE, SHEBOYGAN WI**





**PROPOSED SOUTH ELEVATION**



**PROPOSED WEST ELEVATION**

REVISION DESCRIPTION	DATE	REV. BY
QUOTE DRAWINGS	3-18-20	TLG
PROPOSAL DRAWINGS	3-25-20	TLG

**A.C.E. BUILDING SERVICE**  
 OUR REPUTATION IS OUR FOUNDATION  
 3510 SOUTH 26TH STREET • MANITOWIC, WISCONSIN • 54220  
 PHONE: 920.682.6105 • WWW.ACEBUILDINGSERVICE.COM  
 SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:  
**OFFICE EXPANSION**  
 TORGINOL, INC.  
 4617 SOUTH TAYLOR DRIVE  
 SHEBOYGAN, WI 53081

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SHEET INFORMATION	
A.C.E. JOB NO.	884/20
DATE:	3/18/20
DRAWN BY:	TLG
SCALE:	3/16" = 1'-0"

SHEET  
**A3.0**

PRELIMINARY DRAWINGS  
 NOT FOR CONSTRUCTION



**SAND  
DELIVERIES**

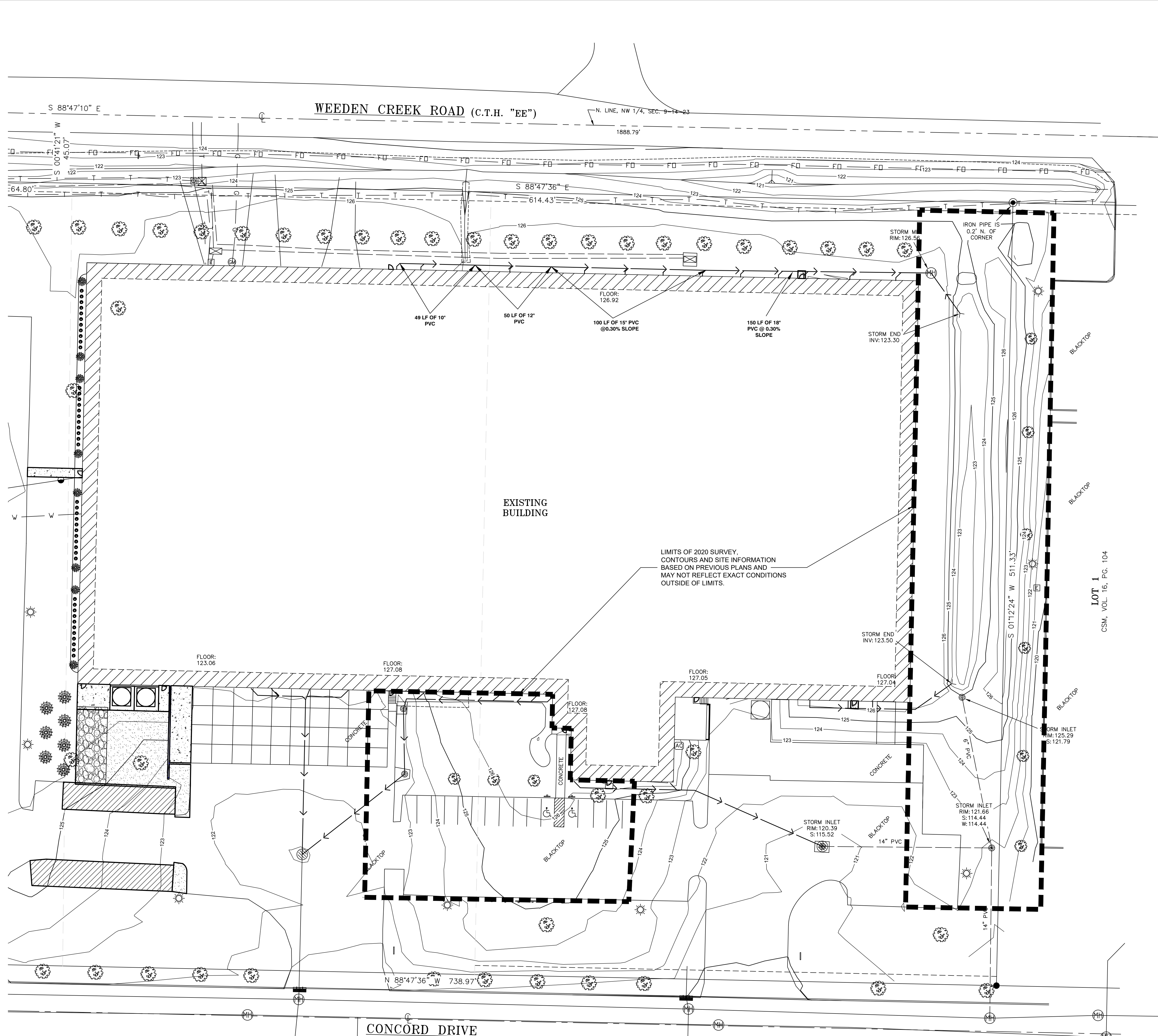
DESIGNATED  
SMOKING  
AREA





53

DESIGNATED SMOKING AREA  
PLEASE USE CIGARETTE BINS PROVIDED



**LEGEND**

- = EXISTING ROD WITH CAP
- ⊙ = EXISTING 1" IRON PIPE
- ⊕ = EXISTING MANHOLE
- ⊖ = EXISTING CLEANOUT
- ⊗ = EXISTING INLET
- ⊘ = EXISTING CURB INLET
- ⊙ = EXISTING HYDRANT
- ⊚ = EXISTING WATER VALVE
- ⊛ = EXISTING TELEPHONE PEDESTAL
- ⊜ = EXISTING LIGHT POLE
- ⊝ = EXISTING ELECTRIC TRANSFORMER
- ⊞ = EXISTING SIGN
- ⊟ = DECIDUOUS TREE
- ⊠ = CABLE TV LINE
- G = GAS LINE
- T = TELEPHONE LINE
- FO = FIBER OPTIC LINE
- W = WATER LINE
- SAN = SANITARY SEWER LINE
- = STORM SEWER LINE
- = ELECTRIC LINE

**GRAPHIC SCALE**  
0 30' 60'

**N 1/4 CORNER SEC. 9-14-23**  
(EXISTING MAG NAIL)  
SHEB. CO. COORD.  
N: 159025.031  
E: 209015.492

- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINT, LLC ON 6/10/20.
  4. ELEVATION DATUM FOR THE PROJECT SURVEY IS BASED ON CITY OF SHEBOYGAN DATUM. BENCHMARK FOR THE PROJECT SURVEY IS ELEVATION 125.77, HYDRANT TOP AT INTERSECTION OF WEEDEN CREEK ROAD (C.T.H. "EE") AND S. TAYLOR DRIVE AND ELEVATION 127.05, BUILDING FLOOR AT SOUTHEAST LOADING DOCK DOOR.
  5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

**WARNING:**  
ALTHOUGH DIGGERS HOTLINE WAS CONTACTED TO MARK UNDERGROUND UTILITIES, STORM SEWER, SANITARY SEWER AND WATER MAIN LATERALS WERE NOT MARKED AT THE TIME OF THIS SURVEY (DIGGERS HOTLINE DOES NOT MARK PRIVATE SEWER AND WATER LATERALS, A MARKING COMPANY MUST BE HIRED TO MARK LATERALS). THOSE UTILITIES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS. CONTACT DIGGERS HOTLINE AND VERIFY ALL UTILITY LOCATIONS BEFORE DIGGING.

**BENCHMARK:**  
125.77 - HYDRANT TOP AT INTERSECTION OF WEEDEN CREEK ROAD (C.T.H. "EE") AND S. TAYLOR DRIVE.  
127.05 - BUILDING FLOOR AT SOUTHEAST LOADING DOCK DOOR.  
(ELEVATIONS ARE BASED ON CITY OF SHEBOYGAN DATUM)

**DESCRIPTION:**  
Part of the NW 1/4 of the NW 1/4 of Section 9, Town 14 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin, previously described in Document No.: 1920646, now being described as follows:  
Commencing at the NW Corner of said Section 9; Thence S 88°47'10" E, 758.80 feet coincident with the north line of said NW 1/4; Thence S 00°41'21" W, 45.07 feet to the south right-of-way line of Weeden Creek Road being the point of beginning; Thence S 88°47'36" E, 614.43 feet coincident with said south right-of-way line to the northwest corner of a Certified Survey Map recorded in volume 16, page 102/05; Thence S 01°12'24" W, 511.33 feet to the southwest corner of said Certified Survey Map; Thence N 88°47'36" W, 738.97 feet coincident with the north right-of-way line of Concord Drive to the easterly right-of-way line of South Taylor Drive; Thence N 45°42'02" W, 44.22 feet; Thence Northerly, 384.60 feet along the arc of a 1400.00 foot radius curve to the right, the chord of which bears N 02°20'04" E, 383.39 feet; Thence N 10°12'15" E, 30.00 feet; Thence N 50°42'11" E, 104.94 feet all coincident with said easterly right-of-way line of South Taylor Drive to said south right-of-way line of Weeden Creek Road; Thence S 88°47'36" E, 64.80 feet coincident with said south right-of-way line to the point of beginning.  
Said parcel contains 391,960 Square Feet (8.998 Acres) of land.

**TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN:**

**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE

WIS. STATUTE 182.0175(1874)  
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU DIG/AWAKE  
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

REVISION DESCRIPTION	DATE	REV. BY

**ACE BUILDING SERVICE**  
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**PROJECT INFORMATION:**

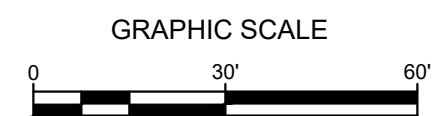
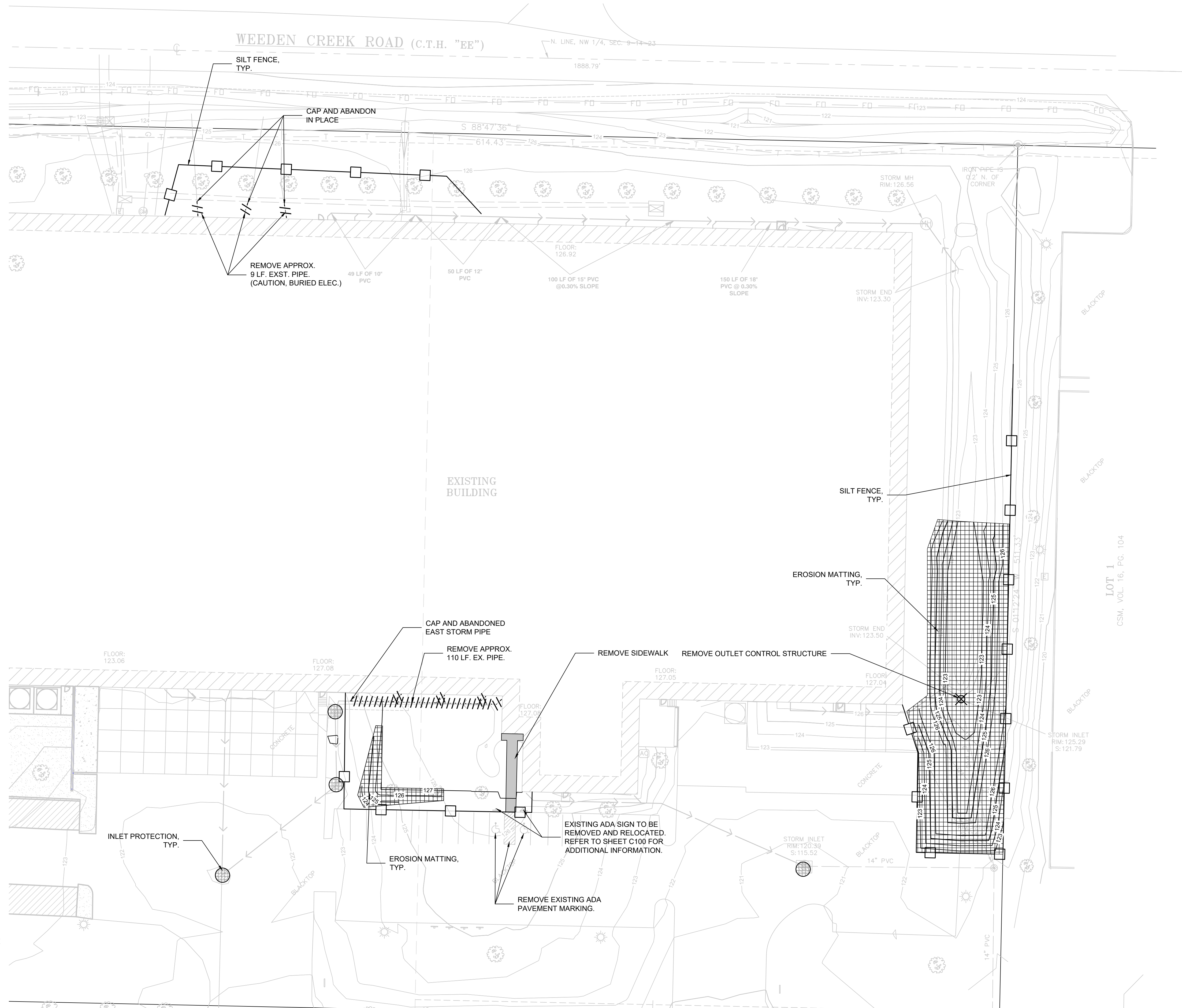
**OFFICE EXPANSION**  
TORGINOL  
4617 SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

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**SHEET INFORMATION**

A.C.E. JOB NO.  
DATE: 06/23/2020  
DRAWN BY: SMM  
SCALE: AS NOTED  
SHEET

**C001**



**LEGEND:**

- PROPOSED SILT FENCE (A C400)
- PROPOSED INLET PROTECTION (B C400)
- PROPOSED EROSION MATTING WISDOT APPROVED CLASS 1 TYPE B (C C400)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- UTILITY REMOVAL
- STRUCTURE REMOVAL
- PAVEMENT REMOVAL

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3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.



CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
WI STATE 182.0175(974)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE  
MILW. AREA 259-1181

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GROUP

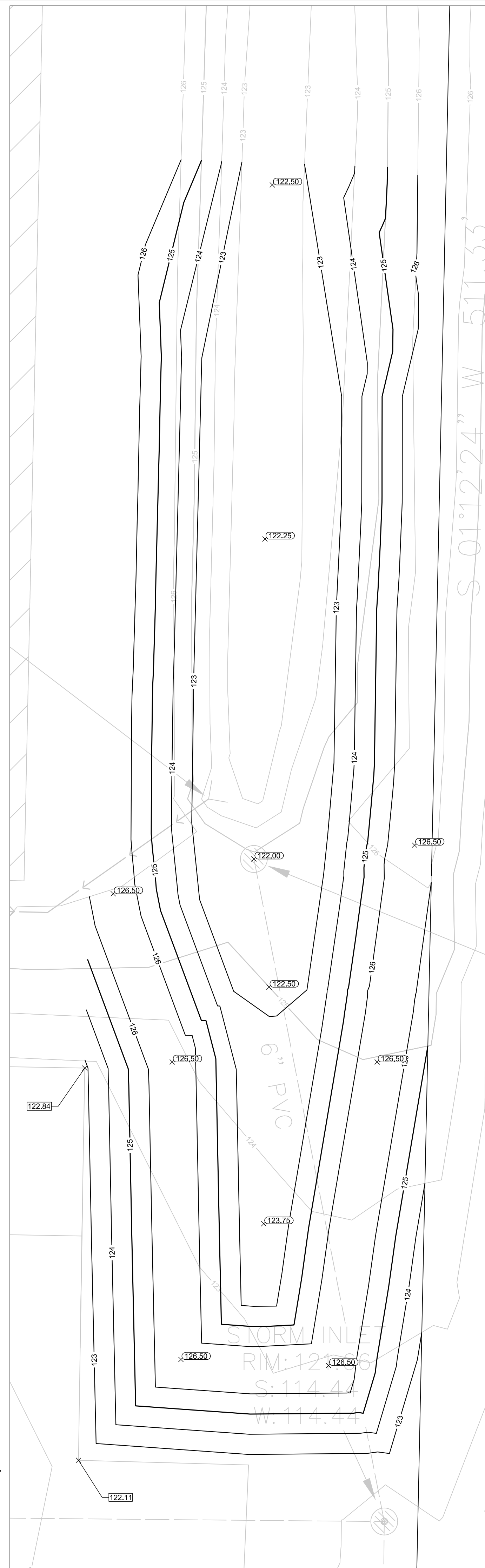
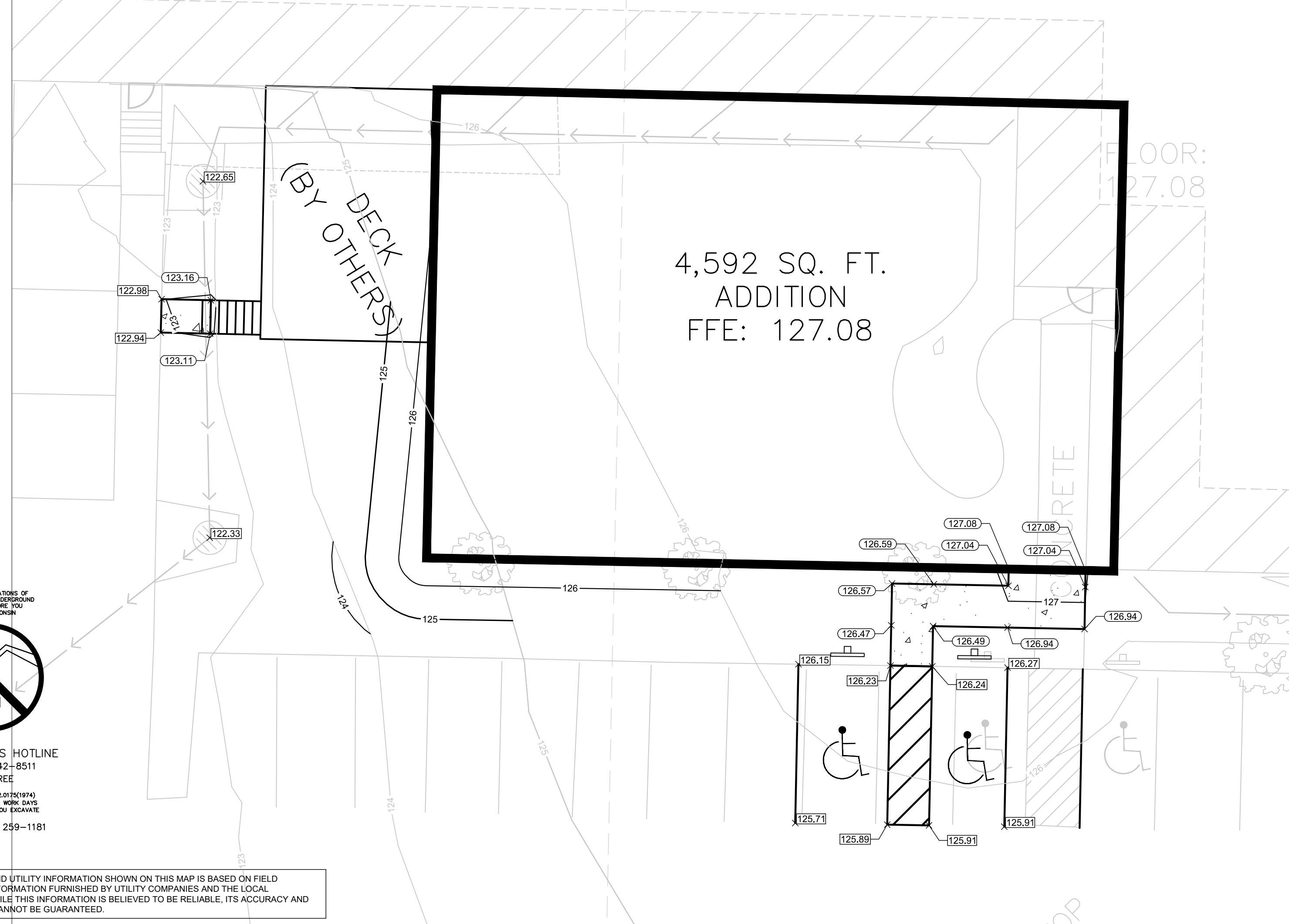
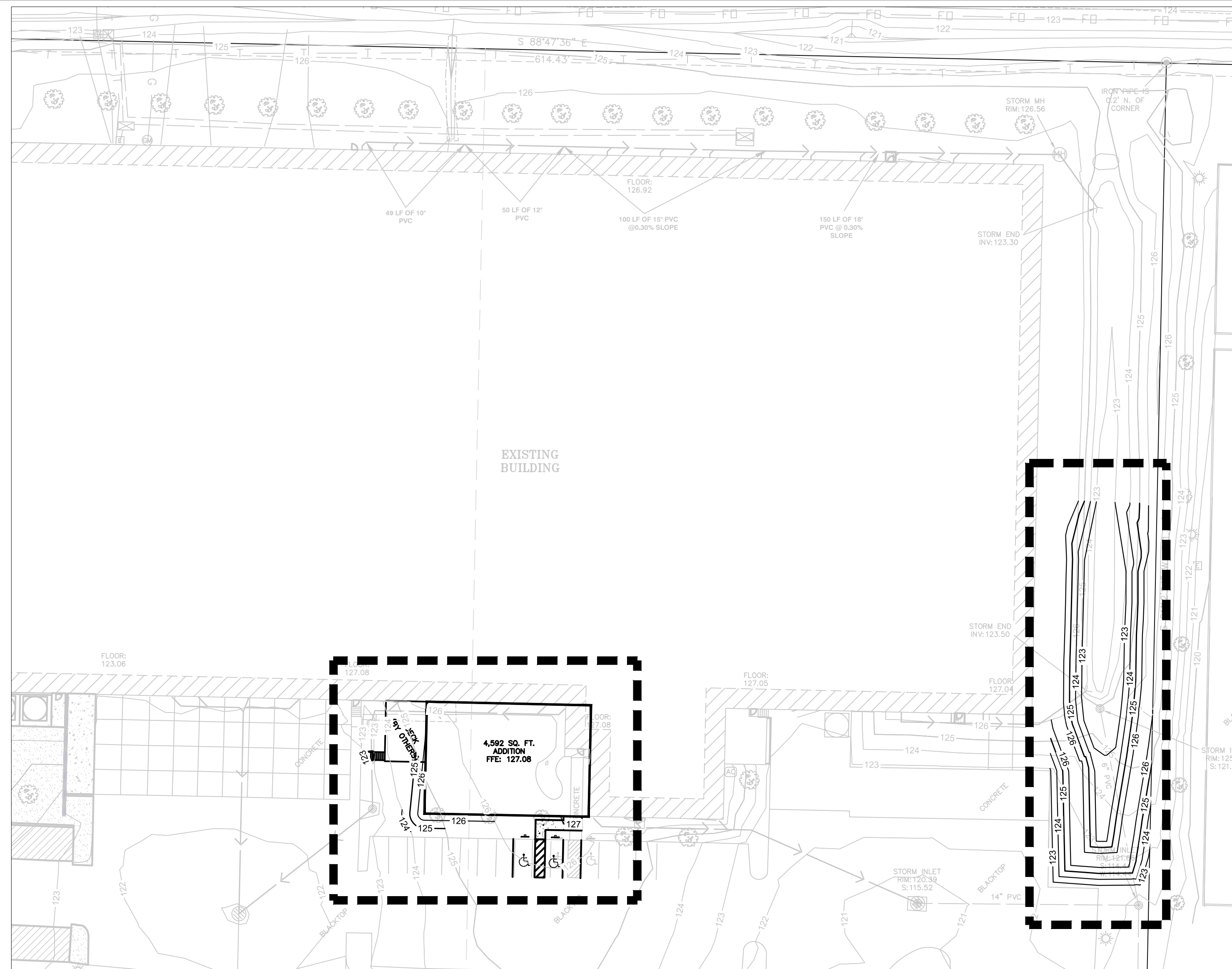
PROJECT INFORMATION:  
**OFFICE EXPANSION**  
TORGINOL  
4617 SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

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SHEET INFORMATION  
A.C.E. JOB NO.  
DATE: 06/23/2020  
DRAWN BY: SMM  
SCALE: AS NOTED  
SHEET  
**C002**

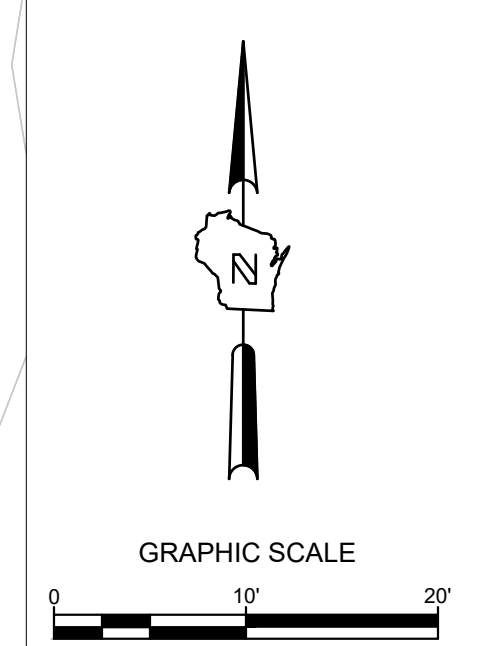
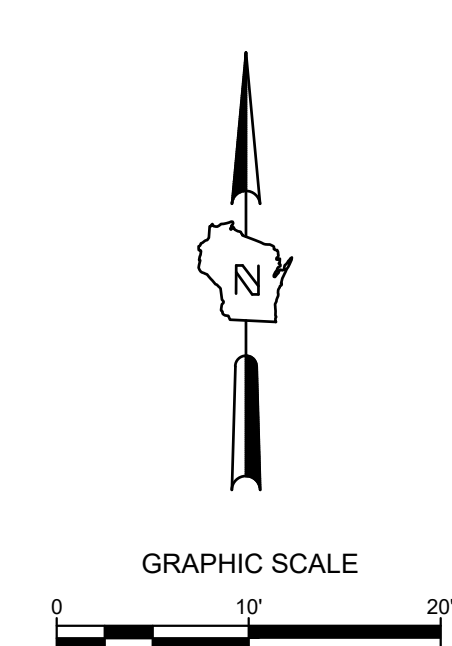
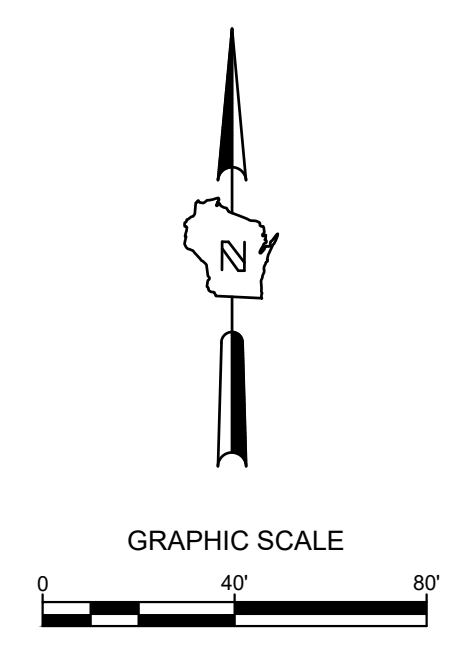
**EROSION CONTROL PLAN**





- LEGEND:**
- 5" THICK CONCRETE WALK (C401)
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED CURB & GUTTER SPOT GRADE  
T/C: TOP OF CURB GRADE  
FL: FLOW LINE CURB GRADE
  - PROPOSED ASPHALT SPOT GRADE
  - EXISTING SURFACE SPOT GRADE (MATCH)

- GENERAL NOTES:**
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  3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
  4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
  5. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



TO OBTAIN LOCATIONS OF PARTIES UNDERGROUND FACILITIES BEFORE YOU DIG IN RECORDS

CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WE STANDBY 1820(18)740  
REQUIRE MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE  
MILW. AREA 259-1181

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REVISION DESCRIPTION	DATE	REV. BY

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PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

SUPERVISING PROFESSIONAL:  
**SIGMA**  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4210  
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PROJECT INFORMATION:

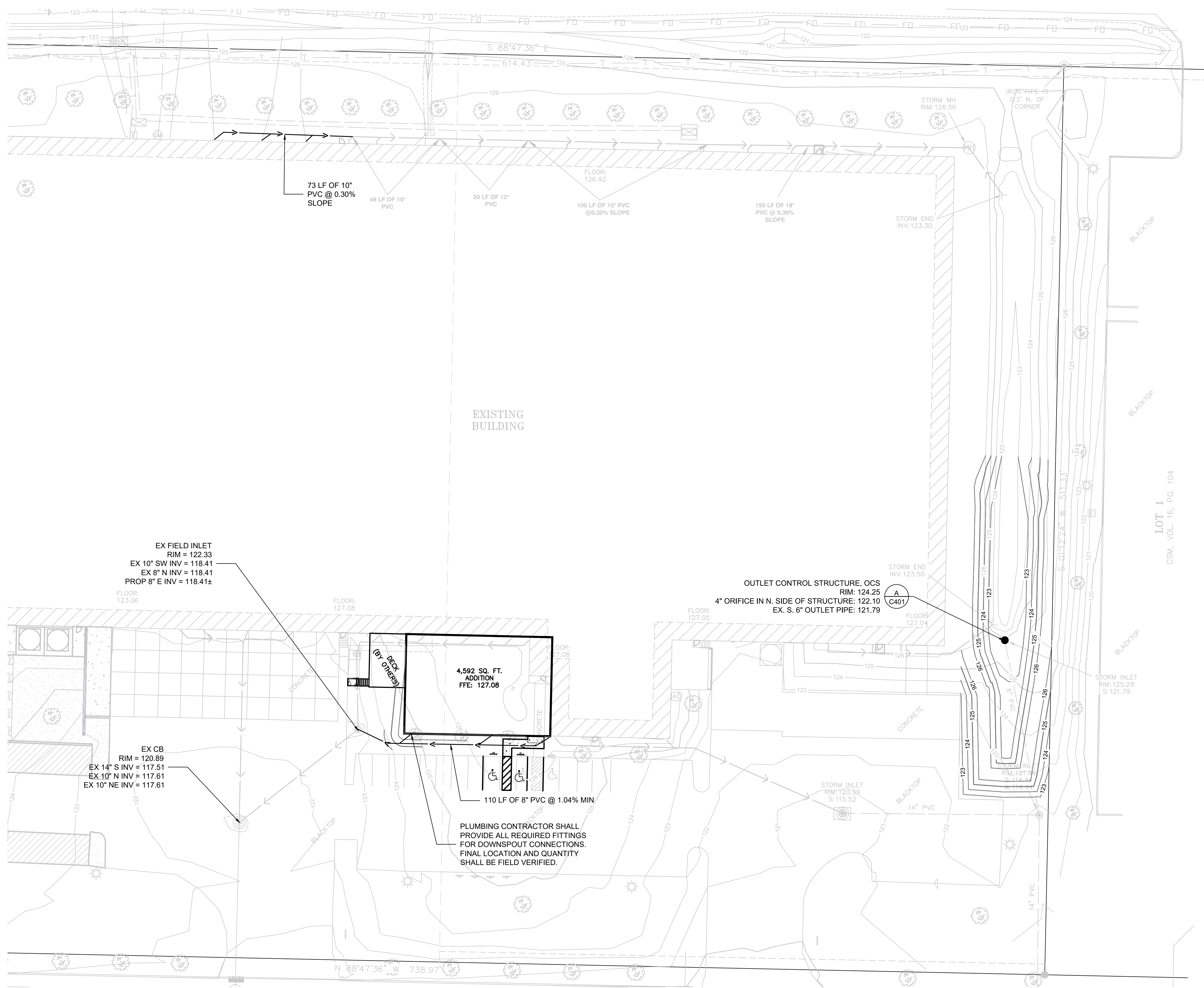
**OFFICE EXPANSION**  
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SHEBOYGAN, WI 53081

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SHEET INFORMATION

A.C.E. JOB NO.  
DATE: 06/23/2020  
DRAWN BY: SMM  
SCALE: AS NOTED  
SHEET

**GRADING PLAN C200**



**LEGEND:**

- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE (A C401)

**GENERAL NOTES:**

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3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
6. PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUDS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
7. WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
8. PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 150 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
9. COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
10. IF PROJECT IS DESIGN BUILD MEP, THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FINAL SEWER AND WATER DESIGN SHOWING LOCATION, INVERTS AND SIZES TO THE ENGINEER FOR FINAL REVIEW AND VERIFICATION PRIOR TO STARTING UNDERGROUND UTILITY CONSTRUCTION.



CALL DIGGERS HOTLINE  
1-800-242-8511  
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**PROJECT INFORMATION:**

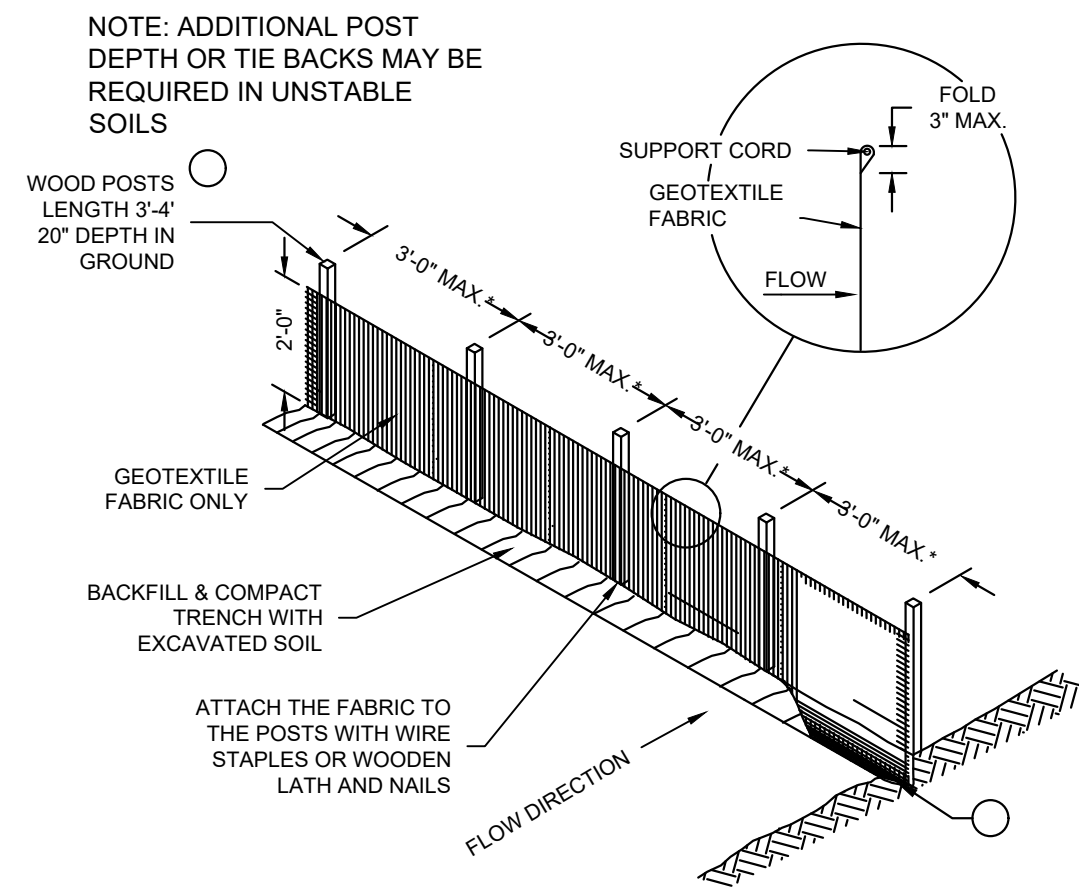
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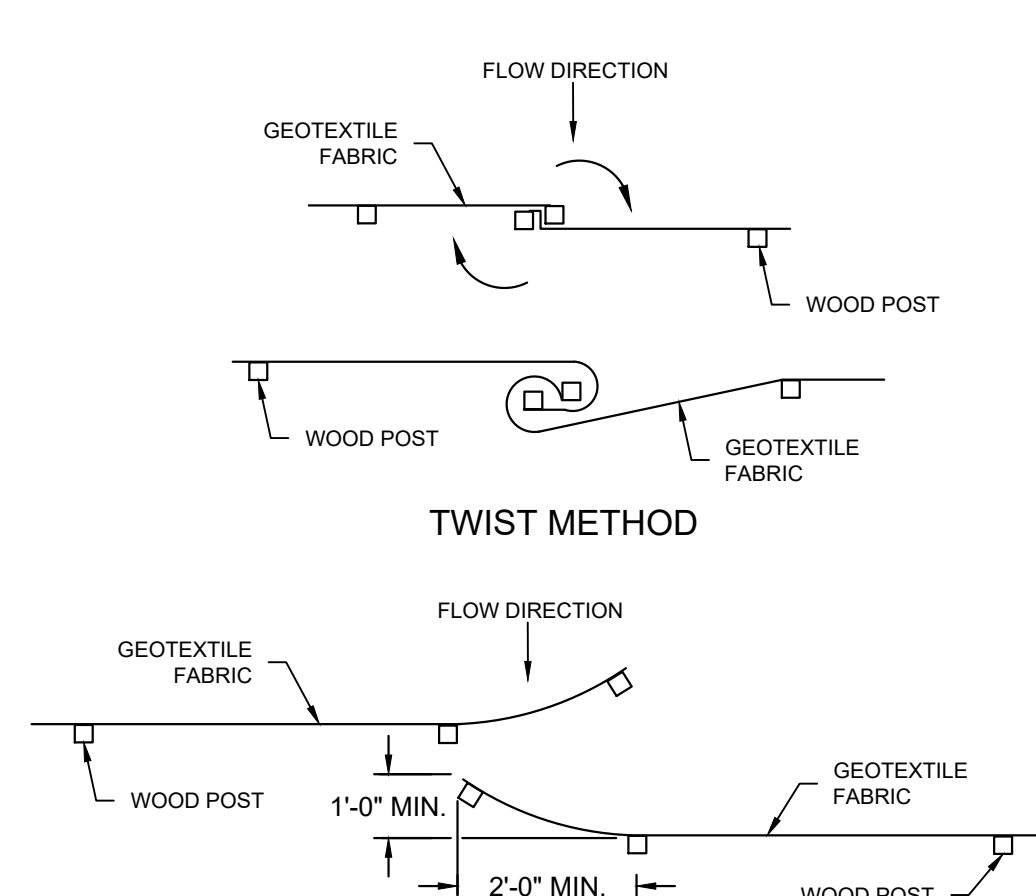
SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	06/23/2020
DRAWN BY:	SMM
SCALE:	AS NOTED
SHEET	

**UTILITY PLAN**

**C300**

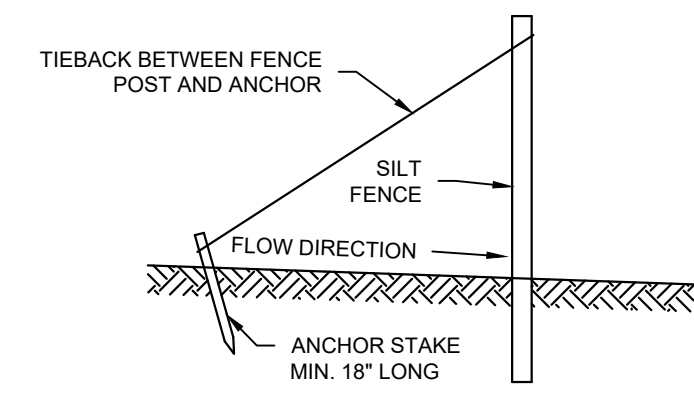


SILT FENCE

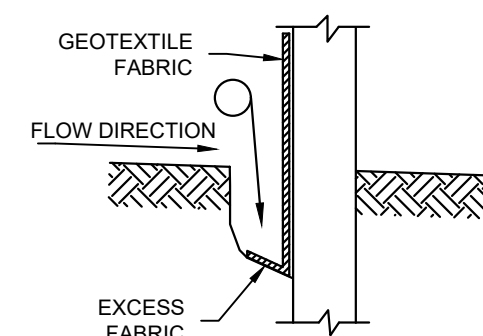


HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK  
(WHEN ADDITIONAL SUPPORT REQUIRED)



TRENCH DETAIL

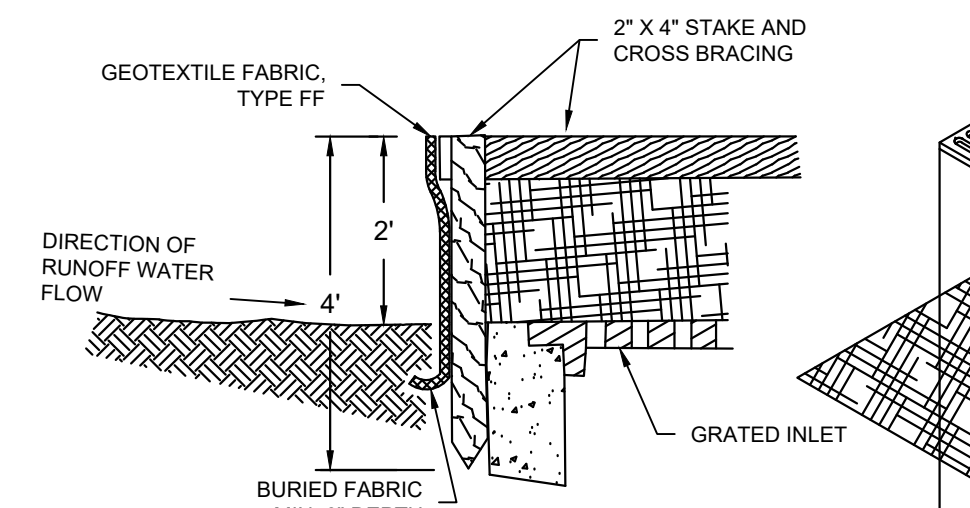
GENERAL NOTES  
SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056

THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6

**A** SILT FENCE: WDNR TS-1056  
NOT TO SCALE

GENERAL NOTES

- HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ON THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.



INLET PROTECTION, TYPE A

- GENERAL NOTES
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
  - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
  - FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
  - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
  - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

**B** INLET PROTECTION TYPE A, B, C, AND D: WDNR TS-1060  
NOT TO SCALE

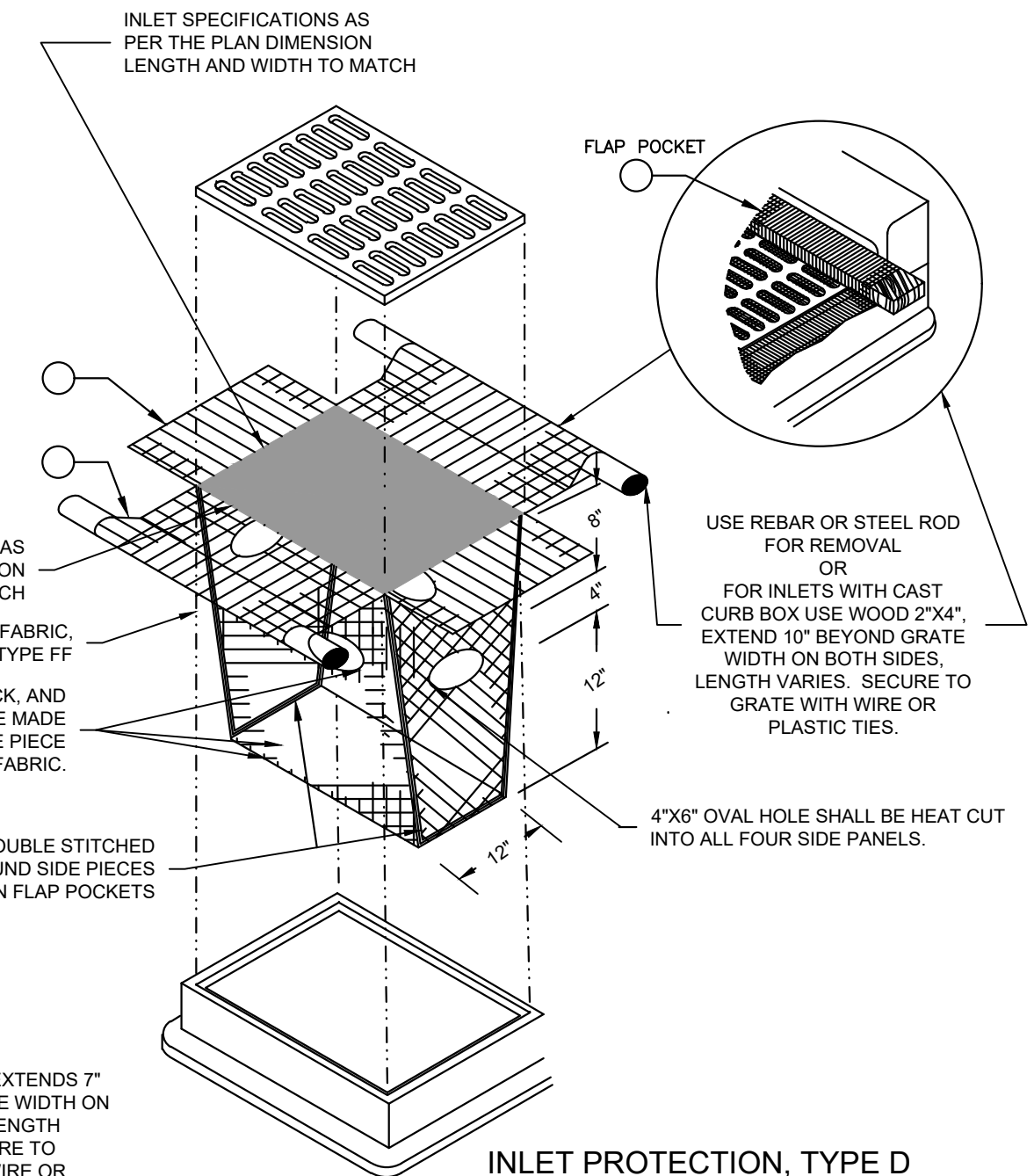
INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

INLET PROTECTION, TYPE C  
(WITH CURB BOX)

INSTALLATION NOTES  
TYPE B & C  
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCHE THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX AS PER NOTE)

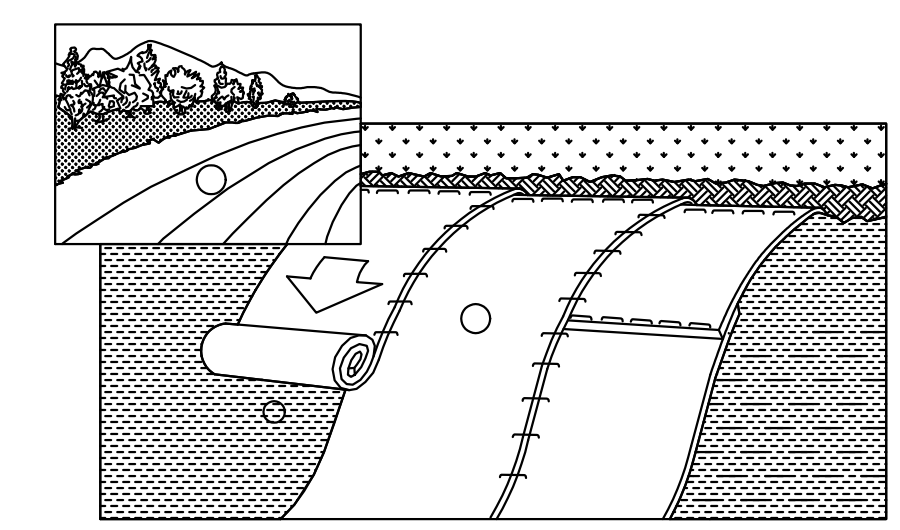
GENERAL NOTE:  
INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060

THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING. TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARP, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH. THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1059. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY.

SLOPE INSTALLATION



- ECRMs (EROSION CONTROL REVEGETATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
- THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
- TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
- AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.

NOTES:

- EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
- INSTALL PER MANUFACTURERS SPECIFICATIONS.

**C** EROSION MATTING: WDNR TS-1052  
NOT TO SCALE

REVISION DESCRIPTION	DATE	REV. BY

**ACE BUILDING SERVICE**  
OUR REPUTATION IS OUR FOUNDATION  
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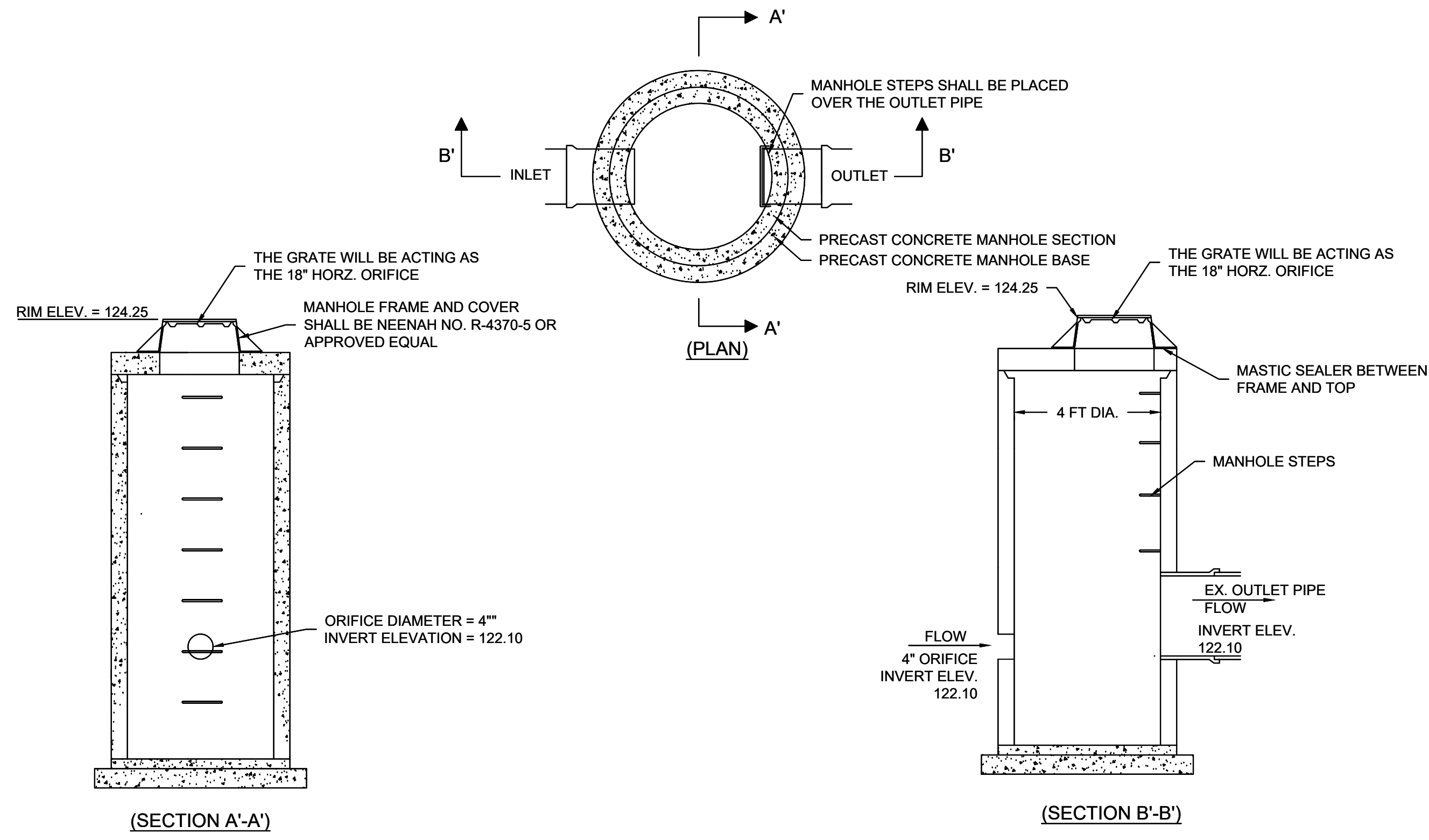
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PROJECT INFORMATION:  
**OFFICE EXPANSION**  
TORGINOL  
4617 SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

SHEET INFORMATION

A.C.E. JOB NO.
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DRAWN BY: SMM
SCALE: AS NOTED
SHEET

**EROSION CONTROL DETAILS C400**

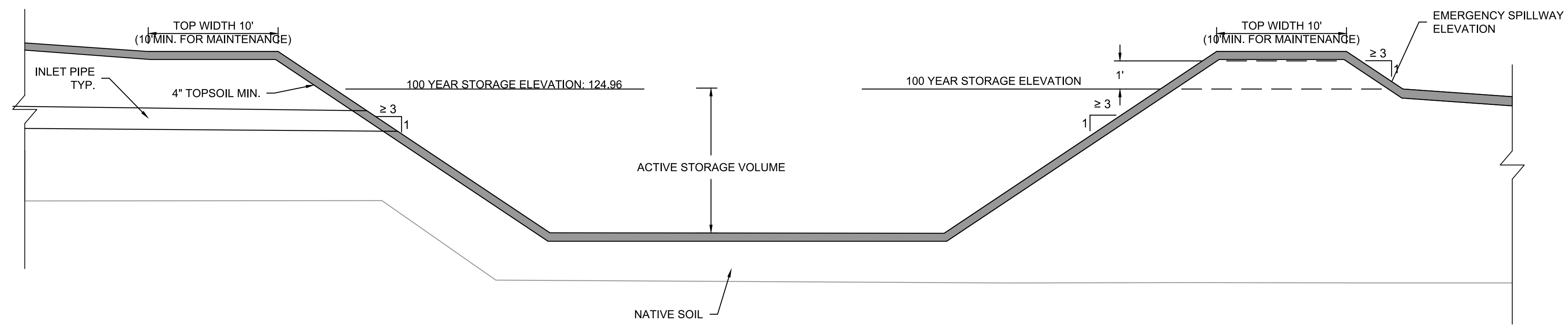


**A** **OUTLET CONTROL MANHOLE**  
NOT TO SCALE

EMERGENCY SPILLWAY CONSTRUCTION INFORMATION					
WET DETENTION POND	TOP OF BERM (FT)	CREST ELEVATION (FT)	WIDTH (FT)	HEIGHT (FT)(min.)	100-YEAR HWL (FT)
BASIN A	126.0	125.0	10'	1.0'	124.99

**NO CHANGE FROM EXISTING SHOWN FOR INFORMATIONAL PURPOSES ONLY.**

**C** **EMERGENCY SPILLWAY**  
NOT TO SCALE



**B** **TYP. CROSS SECTION FOR DRY BASIN**  
NOT TO SCALE

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PROJECT INFORMATION:

**OFFICE EXPANSION**  
TORGINOL  
4617 SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

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SHEET INFORMATION

A.C.E. JOB NO.  
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SHEET

**GENERAL:**

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
- CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL HAVE SITE MARKED BY DIGGER'S HOTLINE AND SHALL HAVE PRIVATE UTILITIES MARKED BY A PRIVATE UTILITY LOCATOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL UTILITY CROSSINGS AND PROPOSED CONNECTIONS FOR CONFLICTS/DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

**SITE CLEARING:**

- EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
- MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
- SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
- UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
- DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
- PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
- LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
- PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.
- LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.
- EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.
- FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
- REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
- STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
- STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
- SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.
- REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

**STORM DRAINAGE:**

- ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
- ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
- PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
- REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.
- CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 28 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.
- MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
- MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
- SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
- PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
- CLASS B COMPACTED TRENCH SECTION (FILE NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
- CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.
- AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(1/4) OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.

**EARTH MOVING:**

- ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
- CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
- CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUCTED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.
- OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
- FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE.
- SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER.
- UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.
- ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.
- BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.
- TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
- PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.
- SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS. DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.
- PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER Tired VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED, THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INOT THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.
- DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINTILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINTILES SHALL BE 0.5%.
- CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.
- ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.
- WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EACH 12 INCHES OF OVEREXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)
- UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.
- UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557).
- COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR EACH LIFT WITHIN 200 LINEAR FEET OF TRENCH, WHICHEVER IS LESS.
- AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.
- GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.
- TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.
- FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.
- BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.
- PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.
- UTILITY TRENCH BACKFILL TESTING: ONE TEST FOR EACH 200 CUBIC YARDS OF FILL BACKFILL PLACED OR ONE TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT; WHICHEVER IS LESS.
- FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.
- WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.

**CONCRETE PAVING:**

- THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS; CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
- CONCRETE GRADE: GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
- AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
- WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
- EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
- MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
- SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
- CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
- JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
- CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
- ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
- CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS. SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
- EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
- CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
- SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
- MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
- FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
- FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
- FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAE FINISH).
- PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
- REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
- PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
- MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

REVISION	DESCRIPTION	DATE	REV. BY

**ACE BUILDING SERVICE**  
OUR REPUTATION IS OUR FOUNDATION

P.O. BOX 1656 • 9510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626  
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Milwaukee, WI 53233  
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**THE SIGMA**  
Group, Inc. • **G R O U P**

SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:

**OFFICE EXPANSION**  
TORGINOL  
4617 SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

THIS PLAN AND IDEAS EXPRESSED HEREIN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION

A.C.E. JOB NO.  
DATE: 06/23/2020  
DRAWN BY: SMM  
SCALE: AS NOTED  
SHEET

**SPECIFICATIONS C500**

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Building addition to Torginol located at 4617 S. Taylor Drive.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** July 10, 2020

**MEETING DATE:** July 13, 2020

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**FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

**STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

Torginol is proposing to construct a new addition to their existing facility located at 4617 S. Taylor Drive. The applicant states the following about the addition:

- Torginol, Inc. is proposing to construct a 4,592 square foot addition to the south side of the existing facility. The existing office is 3,808sf (56 x 68) bringing the total business office space to 8,400 square feet. The total combined square footage of the manufacturing and office facility will now be approximately 158,086 square feet.
- This expansion is necessary to better organize and streamline their sales staff functionality, which in turn will bolster their overall business operation and better respond to domestic and international client demand. It is our intent to commence construction as soon as is feasible, presumably the latter half of July, 2020.
- Torginol has experienced several stages of growth over the past several years at their Taylor Drive location as well as at their recently acquired Tower Drive property.

The applicant states the following about the building and site improvements:

- The expansion construction type will be consistent with the existing structure. Specifically, a pre-engineered metal building with prefinished metal wall panels, gable trim, gutter, and downspouts. The wall panel profile will match the existing building panel profile. The addition eave heights will match those of the existing office building structure. There are no at-grade overhead doors or loading docks being added as part of this expansion project.
- Brick masonry wainscot with standard grey mortar will be included on the south and west elevations of the expansion to match the condition on the existing office structure.

Windows of similar style and exterior color will be installed. The new office entrance will be surrounded by an architectural metal panel installed perpendicular to the main building panel. This along with the entrance canopy will clearly define and architecturally enhance the entrance to the facility.

- The metal panel material colors for the expansion will be complimentary to the existing building, but intentionally offsetting to create a contemporary appearance. The final color selection of the brick will match the existing brick as closely as possible. Additionally, Torginol is going to paint the entire perimeter of the existing manufacturing and warehouse structure to give it a fresh and uniform color appearance.
- Base plantings will be installed in a stone landscape bed along the entire length of the south and west sides of the expansion to enhance the balance and symmetry of the masonry and windows.
- There will be a wood framed deck included with the project for employee use during break and lunch periods. This deck will not have a vision screen, but will have typical guardrails and handrails that meet code requirements.
- There will be no fencing, screening, or dumpster enclosures included as part of this project.

**STAFF COMMENTS:**

The project also includes a new deck on the west side of the new addition. This deck is to be similar in terms of design, materials, colors etc. to the existing deck that was previously constructed on east side of the office addition (southeast corner of the building).

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

**CITY OF SHEBOYGAN**

**REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION**

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**ITEM DESCRIPTION:** Construction of new Rogers Behavioral Health facilities on the vacant and undeveloped property located at 1108 S. Wildwood Avenue (Parcel # 59281215710 located south of Aldi's between Taylor Drive and S. Wildwood Avenue).

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** July 10, 2020

**MEETING DATE:** July 13, 2020

---

**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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Wisconsin Statutes: N/A  
Municipal Code: N/A

**BACKGROUND / ANALYSIS:**

Established in 1907, Rogers Behavioral Health has grown from a single hospital in Oconomowoc, Wisconsin to a nationwide system that is recognized internationally for its specialized mental health and addiction treatment programs and program outcomes. Within the last decade, Rogers has entered where the needs are and has opened 11 clinics in 7 states and invested in serving the mental health needs of communities in Wisconsin, including Brown Deer, West Allis, Madison, Kenosha, and Appleton.

Within our hospitals, residential, and Intensive Outpatient Programs (IOP) and Partial Hospitalization Programs (PHP), Rogers specialty programs provide effective treatment for:

- Eating disorders
- Depression and other mood disorders
- Obsessive-compulsive disorder (OCD) and related anxiety disorders
- Posttraumatic stress disorder (PTSD)
- Dual diagnosis (such as addiction and depression)
- Addiction, including alcohol, opioid and substance abuse
- General mental health

As the Sheboygan area's first structured housing facility that serves patients in specialized treatment for a range of both mental health and addiction issues, the Center for Living on the Sheboygan campus will be a tremendous asset to the community. Yet it holds the potential to become so much more. Rogers sees a day when residents in the Sheboygan region can receive internationally-recognized, specialized mental health treatment close to home. We are prepared to seize the opportunity to build a campus and a presence that includes specialized treatment programs, a structured housing facility, and collaborations with schools

and other groups that are destined to make life worth living for local young adults and adults struggling with mental health challenges.

One of the buildings will be a general office type use for our day treatment/outpatient services. Patients will come and go on a daily basis while enrolled in counseling programs. We will anticipate offering varying types of programs serving both adolescents/adults. We estimate hours of operation to be 8:00am to 8:00pm. Phase I of the building will be 8,900SF in a single story, slab on grade structure. The building is designed for future expansion.

The second building will be a residential type facility built to CBRF standards but will be not licensed or operated as a CBRF. It will be used for our structured housing residents who will reside there on a double occupancy basis. We anticipate the residents will be enrolled in our day treatment/outpatient programs facility described above.

The applicant states the following about the facilities:

- The overall exterior design was based off of a northern retreat feel with utilizing earth tones and natural looking elements. This design fits well with the remoteness of the dead end road, wooded area to the south, and the rolling site grade that gives the opportunity for the buildings to be nestled in on the same lot without feeling crowded. Both buildings will be clad with areas of thin stone veneer, smart side wood tone horizontal lap siding, Smart Side shakes, and Smart side soffit and fascia. The exterior of both building will also have timber elements accenting the gable roofs and awning features. Roofs will be asphalt shingles with standing seam metal roof elements.
- The main building will be the outpatient facility which will incorporate a clearstory entry way with timber trusses and stone/timber columns. Paring off of this building facade, the remainder of the building incorporates complimentary elements of stone wainscot, limestone sills and wood gable brackets.
- The secondary building, Supportive Living facility, provides a much smaller visual impact. The entry way and covered porch provide a quaintness and comfort for the participants to create more of a home feeling while incorporating timber columns and stone, emulating the outpatient facility. Overall this building will have similar elements of finish, but in a reduced scale producing more of a home like feel.

**STAFF COMMENTS:**

None.

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.

PARCEL NO.: \_\_\_\_\_  
MAP NO.: \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW APPLICATION**  
Revised May 2018

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

**1. APPLICANT INFORMATION**

APPLICANT: Rogers Behavioral Health

ADDRESS: 34700 Valley Rd, Oconomowoc, WI 53066 E-MAIL: Jack.Collier@rogersbh.org

PHONE: ( ) FAX NO. ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Rogers Behavioral Health

ADDRESS OF PROPERTY AFFECTED: 1108 S. WILDWOOD AVENUE

NEW BUILDING: X ADDITION: \_\_\_\_\_ REMODELING: \_\_\_\_\_

DESCRIPTION OF PROPOSED PROJECT: New 2 building Campus - Outpatient and Supportive Living Facility

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: N/A

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS: \_\_\_\_\_  
The overall exterior design was based off of a northern retreat feel with utilizing earth tones and natural looking elements. This design fits well with the remoteness of the dead end road, wooded area to the south, and the rolling site grade that gives the opportunity for the buildings to be nestled in on the same lot without feeling crowded. Both buildings will be clad with areas of thin stone veneer, smart side wood tone horizontal lap siding, Smart Side shakes, and Smart side soffit and fascia . The exterior of both building will also have timber elements accenting the gable roofs and awning features. Roofs will be asphalt shingles with standing seam metal roof elements.

**3. NAMES AND ADDRESSES**

# ROGERS BEHAVIORAL HEALTH

## SHEBOYGAN OUTPATIENT FACILITY

### ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.B.	ANCHOR BOLT
AGGR.	AGGREGATE
ALT.	ALTERNATE
APPROX.	APPROXIMATELY
B.W.	BOTH WAYS
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BM.	BEAM
BOT.	BOTTOM
C.J.	CONTROL JOINT
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
DEG.	DEGREE
DIAG.	DIAGONAL
DN.	DOWN
D.S.	DOWNSPOUT
E.J.	EXPANSION JOINT
E.W.	EACH WAY
EA.	EACH
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXP.	EXPANSION
F.D.	FLOOR DRAIN
F.F.	FINISH FLOOR
F.O.B.	FACE OF BRICK
F.O.C.	FACE OF CONCRETE
FDN.	FOUNDATION
FIN.	FINISH
FLR.	FLOOR
FTG.	FOOTING
FURR.	FURRING
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GA.	GALVE
GALV.	GALVANIZED
H.B.	HOSE BIB
HDWD.	HARDWOOD
HDWE.	HARDWARE
HT.	HEIGHT
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JNT.	JOINT
JST.	JOIST
KIT.	KITCHEN
LAV.	LAVATORY
LT.	LIGHT
M.O.	MASONRY OPENING
MAX.	MAXIMUM
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MIR.	MIRROR
MTL.	METAL
MULL.	MULLION
N.T.S.	NOT TO SCALE
NOM.	NOMINAL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OH.	OVERHEAD
OPG.	OPENING
OPP.	OPPOSITE
PLYWD.	PLYWOOD
PR.	PAIR
R.O.	ROUGH OPENING
REQ'D.	REQUIRED
RM.	ROOM
S.C.	SOLID CORE
S.F.	SQUARE FOOT
S.S.	STAINLESS STEEL
SCHED.	SCHEDULE
SECT.	SECTION
SH.	SHELF
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
SUSP.	SUSPENDED
T&B	TOP AND BOTTOM
THK.	THICK
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VER.	VERIFY
VERT.	VERTICAL
W/	WITH
W/O	WITHOUT
WD.	WOOD



### PROJECT INFORMATION

#### PROJECT ADDRESS

WILDWOOD AVE.  
SHEBOYGAN, WI

#### BUILDING CODE

IBC 2015 SERIES  
ANSI A117.1 2009

#### USE AND OCCUPANCY

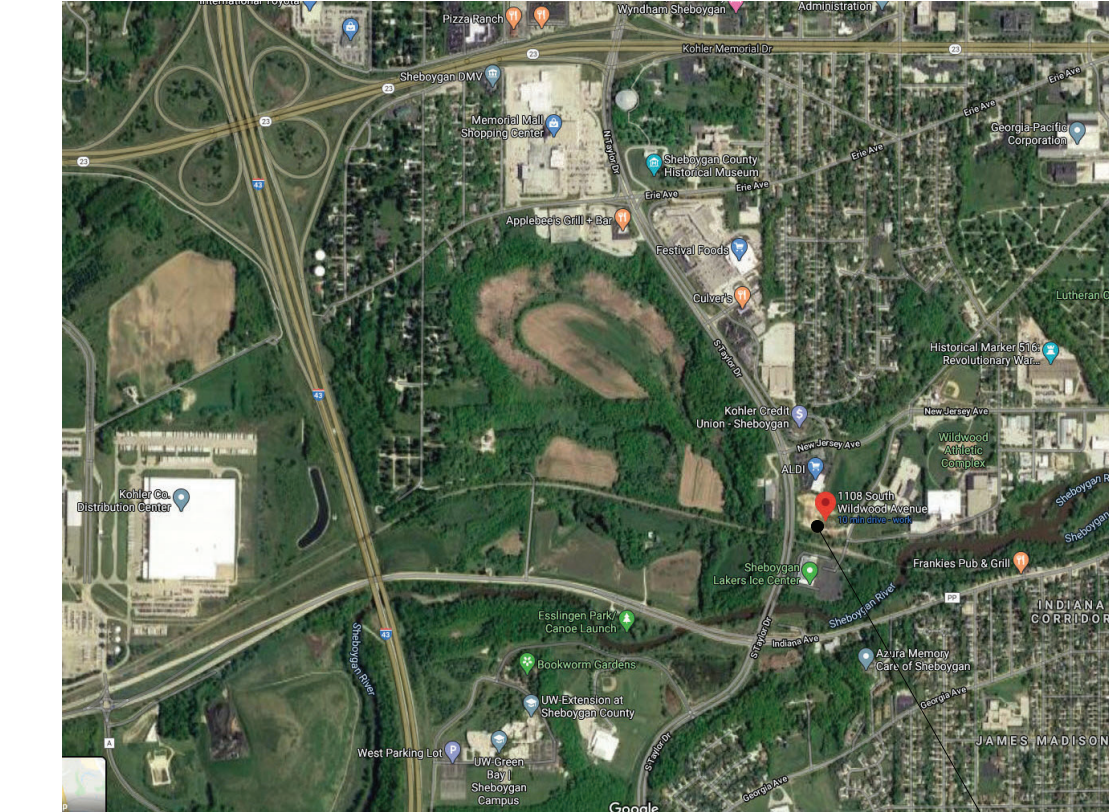
NON SEPARATED USES  
B- BUSINESS OCCUPANCY

#### TYPE OF CONSTRUCTION

VB- WOOD FRAME UNPROTECTED

#### BUILDING HEIGHT & AREA

ALLOWED- 2 STORIES/ 40' & 9,000 S.F.  
ACTUAL- 1 STORY/ 32'-4" & 8,915 S.F.



PROJECT LOCATION  
118 S. WILDWOOD AVE  
SHEBOYGAN, WI 53081

#### ARCHITECTURE FIRM

DISTINCTIVE DESIGN STUDIO  
215 PINE STREET  
SHEBOYGAN FALLS, WI 53085

CONTACT: STEVEN M PESKIE (PRINCIPAL)  
PHONE: (920)-395-1090  
EMAIL: STEVE@DISTINCTIVEDESIGNSTUDIO.COM

#### CONTRACTOR

TBD

CONTACT: TBD  
PHONE: TBD  
EMAIL: TBD

#### STRUCTURAL ENGINEER

CORE 4 ENGINEERING  
12308 CORPORATE PKWY., SUITE 450  
MEQUON, WI 53092

CONTACT: REID SPIERING, P.E.  
PHONE: 262.236.9372  
EMAIL: RSPIERING@CORE4ENGINEERING.COM

#### CIVIL ENGINEER

J&B SITE DESIGN AND ENGINEERING  
1129 KENTUCKY AVE  
SHEBOYGAN, WI 53081

CONTACT: JOE BRONOSKI  
PHONE: 920.207.8977  
EMAIL: JBSITEDSIGN1@GMAIL.COM

#### SHEET LIST

SHEET #	SHEET NAME	REVISION #	DATE
S000	3D VIEWS AND TITLE SHEET	2	06.22.2020
S001	GENERAL NOTES	2	06.22.2020
S002	SCHEDULES	2	06.22.2020
S100	FOUNDATION PLAN	2	06.22.2020
S101	ROOF FRAMING PLAN	2	06.22.2020
S300	CONCRETE SECTIONS & DETAILS	2	06.22.2020
S301	CONCRETE SECTIONS & DETAILS	2	06.22.2020
S302	CONCRETE SECTIONS & DETAILS	2	06.22.2020
S600	WOOD SECTIONS & DETAILS	2	06.22.2020
S601	WOOD SECTIONS & DETAILS	2	06.22.2020
GENERAL			
G000	COVER	2	06.22.2020
G400	CODE REVIEW SUMMARY	2	06.22.2020
G401	CODE PLAN	2	06.22.2020
G402	WALL TYPES AND MOUNTING HEIGHTS	2	06.22.2020
CIVIL			
C1	OVERALL SITE PLAN	2	06.22.2020
C2	OVERALL SITE GRADING AND EROSION CONTROL	2	06.22.2020
C3	OVERALL SITE UTILITY PLAN	2	06.22.2020
C4	OVERALL SITE LANDSCAPING	2	06.22.2020
C5	TYPICAL DETAILS	2	06.22.2020
CONSTRUCTION PLANS			
A101	1ST FLOOR PLAN	2	06.22.2020
A102	MEZZANINE PLAN	2	06.22.2020
A103	CEILING PLAN	2	06.22.2020
A104	ROOF PLAN	2	06.22.2020
A201	EXTERIOR ELEVATIONS	2	06.22.2020
A202	EXTERIOR ELEVATIONS	2	06.22.2020
A301	SECTIONS	2	06.22.2020
A302	SECTIONS	2	06.22.2020
A303	SECTIONS	2	06.22.2020
A304	ENTRY CANOPY WALL SECTIONS AND DETAILS	2	06.22.2020
A305	COMMONS AND COMMUNITY ROOM WALL SECTIONS	2	06.22.2020
A306	WALL SECTIONS AND BACK LOUNGE SECTIONS	2	06.22.2020
A401	RECEPTION AND COMMONS INTERIOR ELEVATIONS	2	06.22.2020
A405	TOILET ROOM ELEVATIONS	2	06.22.2020
A406	KITCHENETTE INTERIOR ELEVATIONS	2	06.22.2020
A601	SCHEDULES	2	06.22.2020
A602	STOREFRONT GLAZING SYSTEMS AND DETAILS	2	06.22.2020
A603	ALUMINUM CLAD WOOD WINDOWS AND DETAILS	2	06.22.2020

#### SYMBOLS LEGEND

	DEMO WALLS
	EXISTING WALLS
	NEW WALLS
	ROOM NAME
150 SF	
	(TRANSOM - IF APPLICABLE)
	WINDOW TAG
	SEE WINDOW SCHEDULE
	DOOR TAG
	SEE DOOR SCHEDULE
	LEVEL
	HEIGHT

#### GENERAL NOTES

- THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. OWNERSHIP OF THESE DOCUMENTS REMAINS WITH DISTINCTIVE DESIGN STUDIO.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE AND SPECIFICATIONS AS PUBLISHED AND ADOPTED BY THE GOVERNING AUTHORITY. SHOULD A CONFLICT OCCUR BETWEEN THE IBC AND THE DRAWINGS, THE IBC SHALL GOVERN.
- THE DESIGNER IS NOT RESPONSIBLE FOR THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
- THE CONTRACTOR AND ANY SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL WORK, AND MUST MEET ALL REQUIREMENTS DICTATED BY THE IBC.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, LOCAL, CODES AND ORDINANCES AND SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE FOR SECURING AND MAINTAINING ALL NECESSARY INSURANCE INCLUDING WORKERS COMPENSATION.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS AND ASSOCIATED FEES, AND ALLOW FOR REQUIRED INSPECTIONS AS MAY BE NECESSARY BY THE GOVERNING BODIES HAVING LEGAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK INCLUDING ADEQUATE PRE-REVIEW OF ALL SHOP DRAWINGS. ERRORS DUE TO LACK OF REVIEW AND/OR COORDINATION SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL REPORT IMMEDIATELY TO THE DESIGNER ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
- ALL MATERIAL USED IN THE CONSTRUCTION OF THIS PROJECT SHALL BE NEW UNLESS OTHERWISE NOTED.
- REJECT AND REPLACE ANY DAMAGED MATERIAL RESULTING FROM SHIPPING DAMAGE OR POOR STORAGE CONDITIONS INCLUDING BUT NOT LIMITED TO: WARPAGES, WEATHER DAMAGE, OR OTHER CAUSES.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PREMISES IN A NEAT AND ORDERLY FASHION.
- CONSTRUCTION DEBRIS REMOVAL FROM THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, UNDO.
- ALL WINDOW / DOOR SIZES ARE NOMINAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH OPENING SIZES FROM SUPPLIER BEFORE CONSTRUCTION.
- GLAZING INSTALLED IN HAZARDOUS LOCATIONS (BATHROOMS) TO BE TEMPERED SAFETY GLAZING PER IBC.

#### PLUMBING NOTES - (DESIGN BUILD)

- ALL PLUMBING DRAWINGS AND WORK SHALL BE PROVIDED BY THE DESIGN BUILD PLUMBING CONTRACTOR. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL PERMIT REQUIRED DRAWINGS AND CALCULATIONS PER THE BUILDING CODE.
- VERIFY SIZE OF ALL PLUMBING FIXTURES AND APPLIANCES.

#### MECHANICAL NOTES - (DESIGN BUILD)

- ALL MECHANICAL DRAWINGS AND WORK SHALL BE PROVIDED BY THE DESIGN BUILD MECHANICAL CONTRACTOR. THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL PERMIT REQUIRED DRAWINGS AND CALCULATIONS PER THE INTERNATIONAL BUILDING CODE.
- ALL TOILET ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION, VENTING DIRECTLY TO THE OUTSIDE.

#### ELECTRICAL NOTES - (DESIGN BUILD)

- ALL ELECTRICAL DRAWINGS AND WORK SHALL BE PROVIDED BY THE DESIGN BUILD ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL PERMIT REQUIRED DRAWINGS AND CALCULATIONS PER THE INTERNATIONAL BUILDING CODE.
- VERIFY SIZE OF ALL ELECTRICAL FIXTURES, APPLIANCES AND EQUIPMENT.
- BACK TO BACK OUTLETS ARE NOT ALLOWED. PROVIDE WOOD BLOCKING BETWEEN OUTLETS IN ADJACENT ROOMS.

REVISIONS	DATE	DESCRIPTION
#	04.27.2020	SD DOCS
1	06.22.2020	FOR STATE APPROVAL
2		

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215 Pine Street  
Sheboygan Falls, WI 53085  
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**ROGERS BEHAVIORAL HEALTH**  
SHEBOYGAN OUTPATIENT FACILITY  
WILDWOOD AVE.  
SHEBOYGAN, WI

#### CONSTRUCTION DOCUMENTS

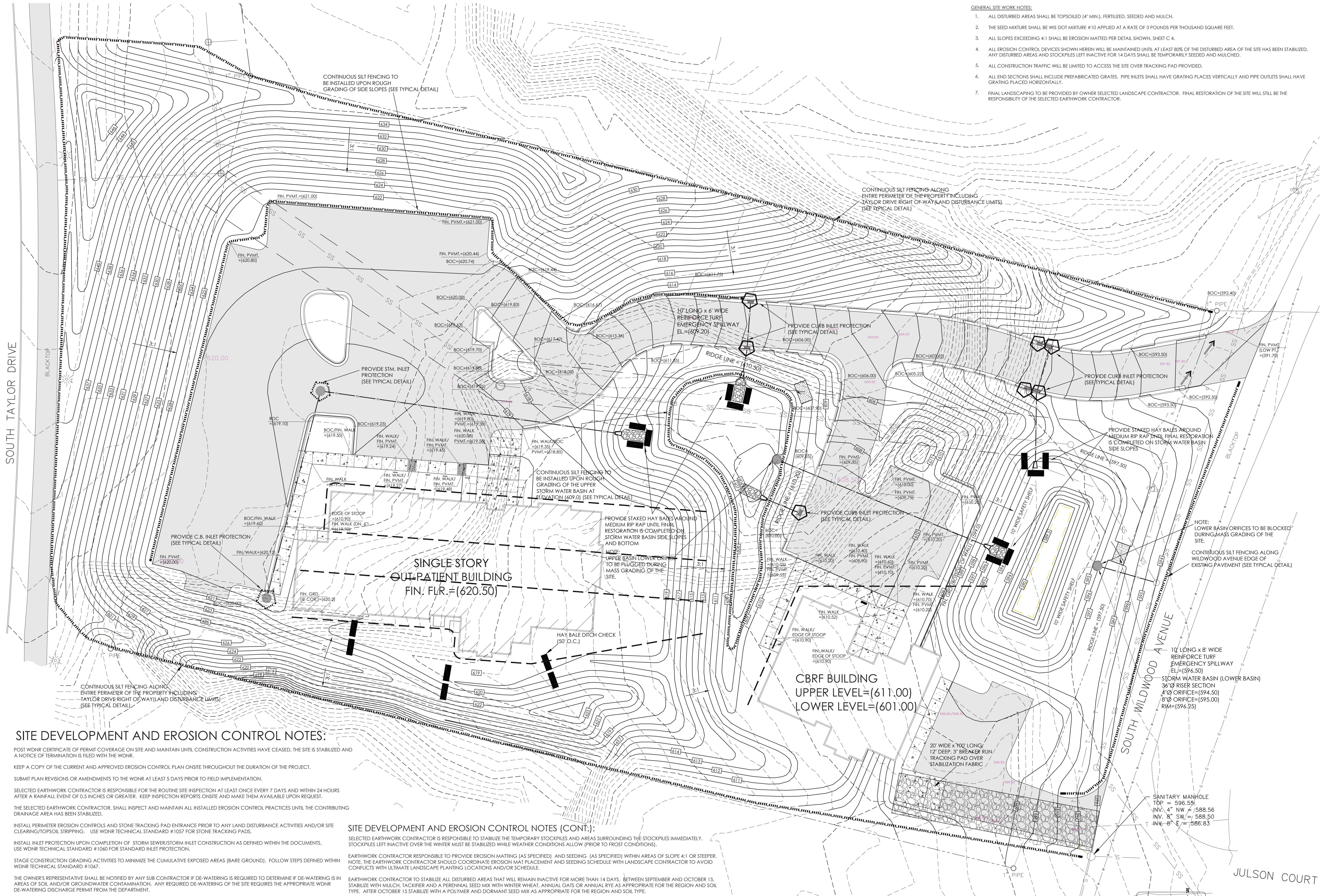
#### COVER

ISSUE DATE: 04/27/2020  
DRAWN BY: ECK  
CHECKED BY: SMP  
PROJECT #: 19-051

**G000**  
SCALE: 12" = 1'-0"

NOTE:  
12x18 SETS ARE REDUCED BY 50%; SCALE DRAWINGS ACCORDINGLY

DISTINCTIVE DESIGN STUDIO / STEVEN M PESKIE EXPRESSLY RESERVES THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, COPIED, OR TRANSMITTED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF DISTINCTIVE DESIGN STUDIO. WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD.



- GENERAL SITE WORK NOTES:**
- ALL DISTURBED AREAS SHALL BE TOPSOILED (4" MIN.), FERTILIZED, SEEDED AND MULCH.
  - THE SEED MIXTURE SHALL BE WIS DOT MIXTURE #10 APPLIED AT A RATE OF 3 POUNDS PER THOUSAND SQUARE FEET.
  - ALL SLOPES EXCEEDING 4:1 SHALL BE EROSION MATTED PER DETAIL SHOWN, SHEET C 4.
  - ALL EROSION CONTROL DEVICES SHOWN HEREIN WILL BE MAINTAINED UNTIL AT LEAST 80% OF THE DISTURBED AREA OF THE SITE HAS BEEN STABILIZED. ANY DISTURBED AREAS AND STOCKPILES LEFT INACTIVE FOR 14 DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED.
  - ALL CONSTRUCTION TRAFFIC WILL BE LIMITED TO ACCESS THE SITE OVER TRACKING PAD PROVIDED.
  - ALL END SECTIONS SHALL INCLUDE PREFABRICATED GRATES. PIPE INLETS SHALL HAVE GRATING PLACES VERTICALLY AND PIPE OUTLETS SHALL HAVE GRATING PLACED HORIZONTALLY.
  - FINAL LANDSCAPING TO BE PROVIDED BY OWNER SELECTED LANDSCAPE CONTRACTOR. FINAL RESTORATION OF THE SITE WILL STILL BE THE RESPONSIBILITY OF THE SELECTED EARTHWORK CONTRACTOR.

**SITE DEVELOPMENT AND EROSION CONTROL NOTES:**

POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED AND A NOTICE OF TERMINATION IS FILED WITH THE WDNR.

KEEP A COPY OF THE CURRENT AND APPROVED EROSION CONTROL PLAN ONSITE THROUGHOUT THE DURATION OF THE PROJECT.

SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE FOR THE ROUTINE SITE INSPECTION AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ONSITE AND MAKE THEM AVAILABLE UPON REQUEST.

THE SELECTED EARTHWORK CONTRACTOR, SHALL INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD ENTRANCE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AND/OR SITE CLEARING/TOPSOIL STRIPPING. USE WDNR TECHNICAL STANDARD #1057 FOR STONE TRACKING PADS.

INSTALL INLET PROTECTION UPON COMPLETION OF STORM SEWER/STORM INLET CONSTRUCTION AS DEFINED WITHIN THE DOCUMENTS. USE WDNR TECHNICAL STANDARD #1060 FOR STANDARD INLET PROTECTION.

STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREAS (BARE GROUND). FOLLOW STEPS DEFINED WITHIN WDNR TECHNICAL STANDARD #1067.

THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BY ANY SUB CONTRACTOR IF DE-WATERING IS REQUIRED TO DETERMINE IF DE-WATERING IS IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION. ANY REQUIRED DE-WATERING OF THE SITE REQUIRES THE APPROPRIATE WDNR DE-WATERING DISCHARGE PERMIT FROM THE DEPARTMENT.

THE LOWER STORM WATER BASIN SHOULD BE CONSTRUCTED BEFORE ANY OTHER LAND DISTURBANCE ACTIVITIES TAKE PLACE. UPON COMPLETION OF SITE STABILIZATION (ROAD CONSTRUCTION, PAVEMENT, FOOTING/FOUNDATION, TOPSOIL/GRASS) THE LOWER STORM WATER BASIN SHOULD BE CLEANED OUT AND BASIN BOTTOM RESTORED TO DESIGNED GRADE.

INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD #1056 FOR SILT FENCING. REMOVE SEDIMENT FROM BEHIND SILT FENCING AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE TO REPAIR ALL BREAKS AND/OR GAPS IN THE SILT FENCE IMMEDIATELY.

**SITE DEVELOPMENT AND EROSION CONTROL NOTES (CONT.):**

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE TO STABILIZE THE TEMPORARY STOCKPILES AND AREAS SURROUNDING THE STOCKPILES IMMEDIATELY. STOCKPILES LEFT INACTIVE OVER THE WINTER MUST BE STABILIZED WHILE WEATHER CONDITIONS ALLOW (PRIOR TO FROST CONDITIONS).

EARTHWORK CONTRACTOR RESPONSIBLE TO PROVIDE EROSION MATTING (AS SPECIFIED) AND SEEDING (AS SPECIFIED) WITHIN AREAS OF SLOPE 4:1 OR STEEPER. NOTE: THE EARTHWORK CONTRACTOR SHOULD COORDINATE EROSION MAT PLACEMENT AND SEEDING SCHEDULE WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS WITH ULTIMATE LANDSCAPE PLANTING LOCATIONS AND/OR SCHEDULE.

EARTHWORK CONTRACTOR TO STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR MORE THAN 14 DAYS. BETWEEN SEPTEMBER AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER AND A PERENNIAL SEED MIX WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE AS APPROPRIATE FOR THE REGION AND SOIL TYPE. AFTER OCTOBER 15 STABILIZE WITH A POLYMER AND DORMANT SEED MIX AS APPROPRIATE FOR THE REGION AND SOIL TYPE.

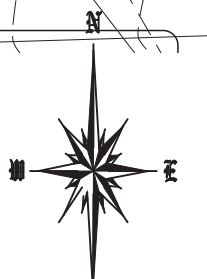
EARTHWORK CONTRACTOR TO SWEEP/CLEAN UP ALL SEDIMENTATION/TRASH THAT MAY MOVE OFFSITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY OF SHEBOYGAN.

PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS AND DO NOT ALLOW THESE ITEMS TO BE CARRIED BY RUNOFF INTO THE EXISTING STORM WATER BASIN.

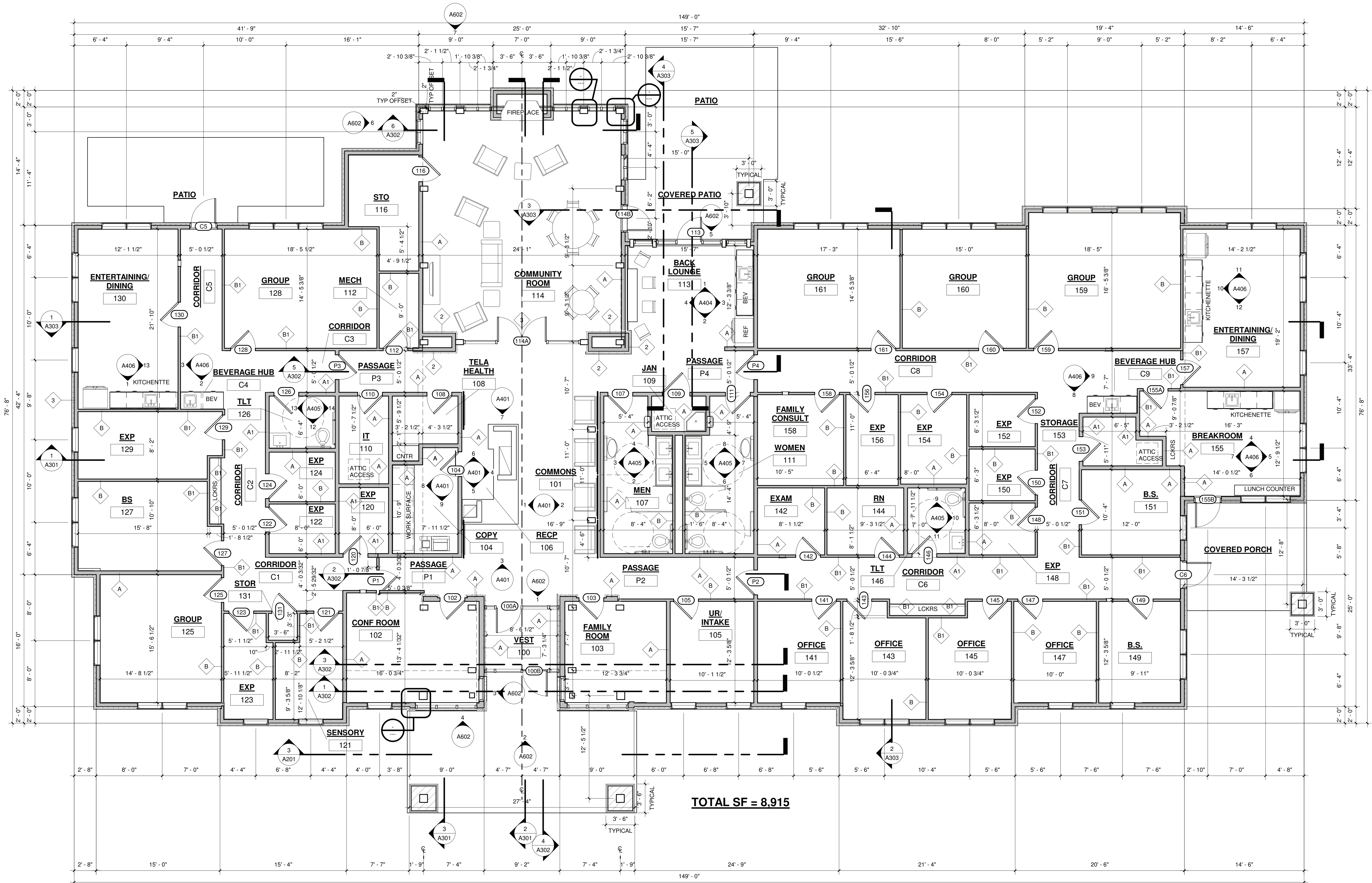
SELECTED EARTHWORK CONTRACTOR WILL BE RESPONSIBLE TO INSTALL ANY/ALL ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE CITY OF SHEBOYGAN AND/OR THE OWNER'S REPRESENTATIVE.

**OVERALL SITE GRADING AND EROSION CONTROL PLAN**

SCALE: 1" = 20'



<p>SITE DESIGN AND ENGINEERING, LLC 1129 KENTUCKY AVENUE SHEBOYGAN, WISCONSIN 53081 jcb@jcbdesign.com</p>		NO.	REVISIONS	DATE
<p><b>ROGERS BEHAVIORAL HEALTH</b> 1108 S. WILDWOOD AVENUE CITY OF SHEBOYGAN SHEBOYGAN COUNTY, WISCONSIN</p>				
SHEET TITLE				
OVERALL SITE GRADING AND EROSION CONTROL PLAN				
DRAWN BY				
CHECKED BY				
DATE				
06/11/2020				
PROJECT NO.				
2019-41				
SHEET NO.				
C 2				



**TOTAL SF = 8,915**

**1 FLOOR PLAN - FIRST FLOOR PRESENTATION**  
3/16" = 1'-0"

REVISIONS	DATE	DESCRIPTION
1	04.27.2020	SD DOCS
2	06.22.2020	FOR STATE APPROVAL

**DISTINCTIVE DESIGN**  
STUDIO

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Sheboygan Falls, WI 53085  
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# ROGERS BEHAVIORAL HEALTH

SHEBOYGAN OUTPATIENT FACILITY  
WILDWOOD AVE.  
SHEBOYGAN, WI

CONSTRUCTION DOCUMENTS

1ST FLOOR PLAN

ISSUE DATE:	04/27/2020
DRAWN BY:	ECK
CHECKED BY:	SMP
PROJECT #:	19-051

**A101**

SCALE: 3/16" = 1'-0"  
NOTE: 12x18 SETS ARE REDUCED BY 50%; SCALE DRAWINGS ACCORDINGLY

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MATERIAL KEYNOTE	
A	MATERIAL
01	THIN STONE
02	CUT STONE SILL
03	CUT STONE HEAD
04	8" CONCAVE STONE TRIM
05	L.P. SMARTSIDE HORIZONTAL LAP SIDING
06	L.P. SMARTSIDE SMOOTH PANEL SIDING
07	L.P. SMARTSIDE SHAKES
08	L.P. SMARTSIDE TRIM
09	EXPOSED WOOD COLUMN
10	EXPOSED WOOD BEAM
11	EXPOSED WOOD TRUSS
12	EXPOSED WOOD DECORATIVE TRUSS
13	EXPOSED WOOD BRACKETRY
15	STANDING SEAM METAL ROOFING
18	ASPHALT SHINGLE ROOFING
19	STANDING SEAM METAL ROOFING
20	CONTINUOUS RIDGE VENT
22	L.P. SMARTSIDE FASCIA

REVISIONS	DESCRIPTION
#	DATE
1	04/27/2020 SD DOCS
2	06/22/2020 FOR STATE APPROVAL

**DISTINCTIVE DESIGN**  
STUDIO  
215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
www.distinctivedesignstudio.com

# ROGERS BEHAVIORAL HEALTH

SHEBOYGAN OUTPATIENT FACILITY  
WILDWOOD AVE.  
SHEBOYGAN, WI

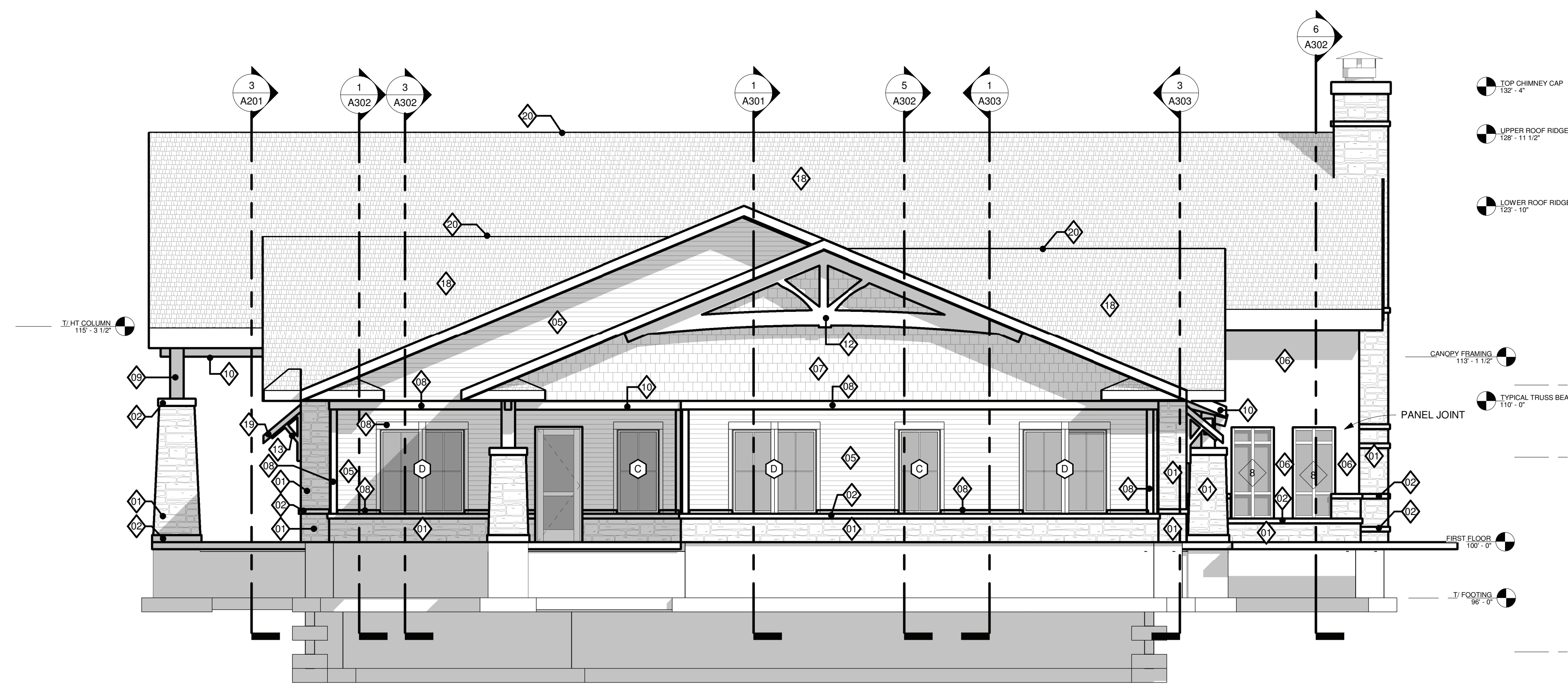
CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

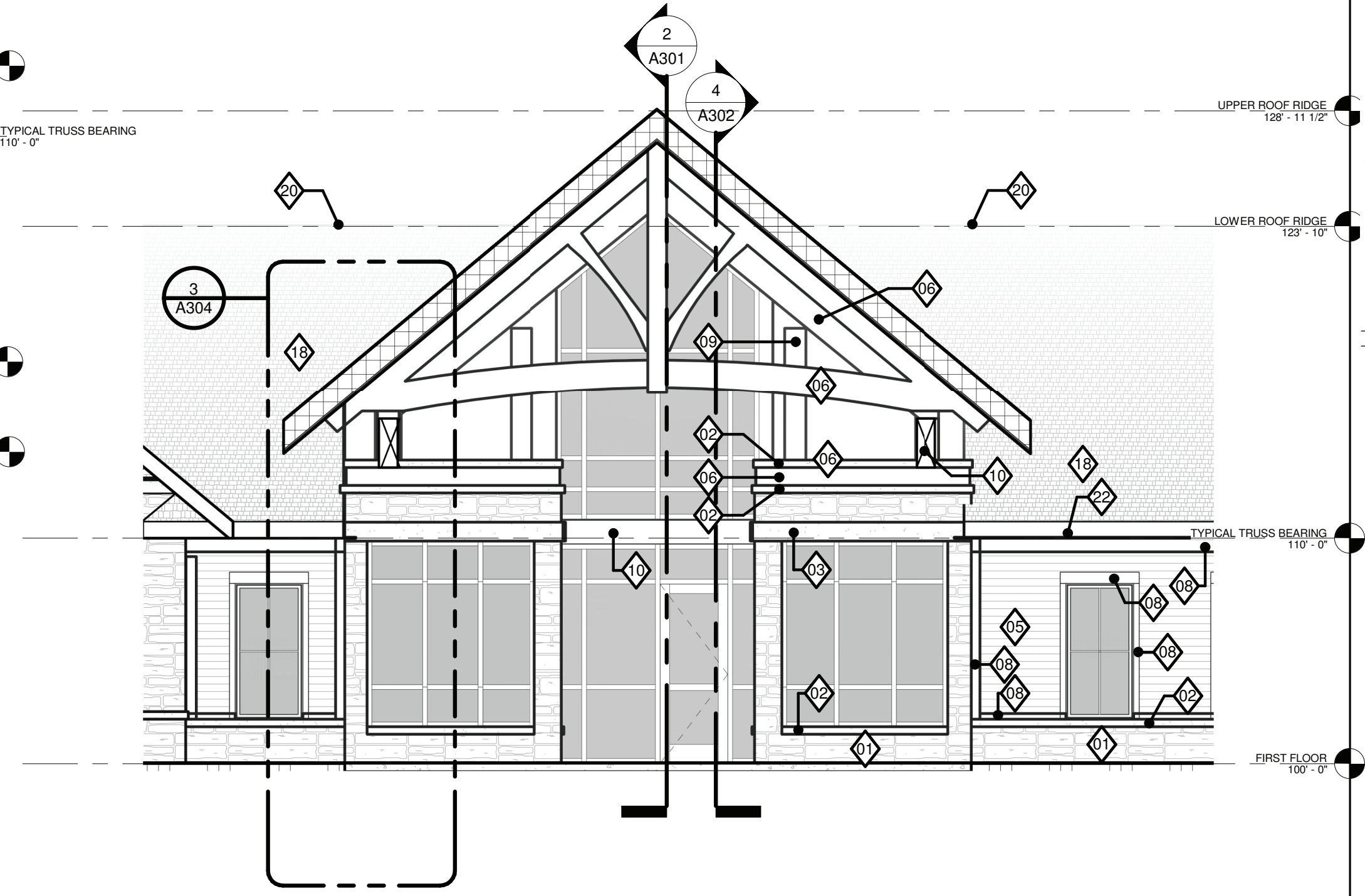
ISSUE DATE: 04/27/2020  
DRAWN BY: ECK  
CHECKED BY: SMP  
PROJECT #: 19-051

**A201**  
SCALE: 3/16" = 1'-0"  
NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

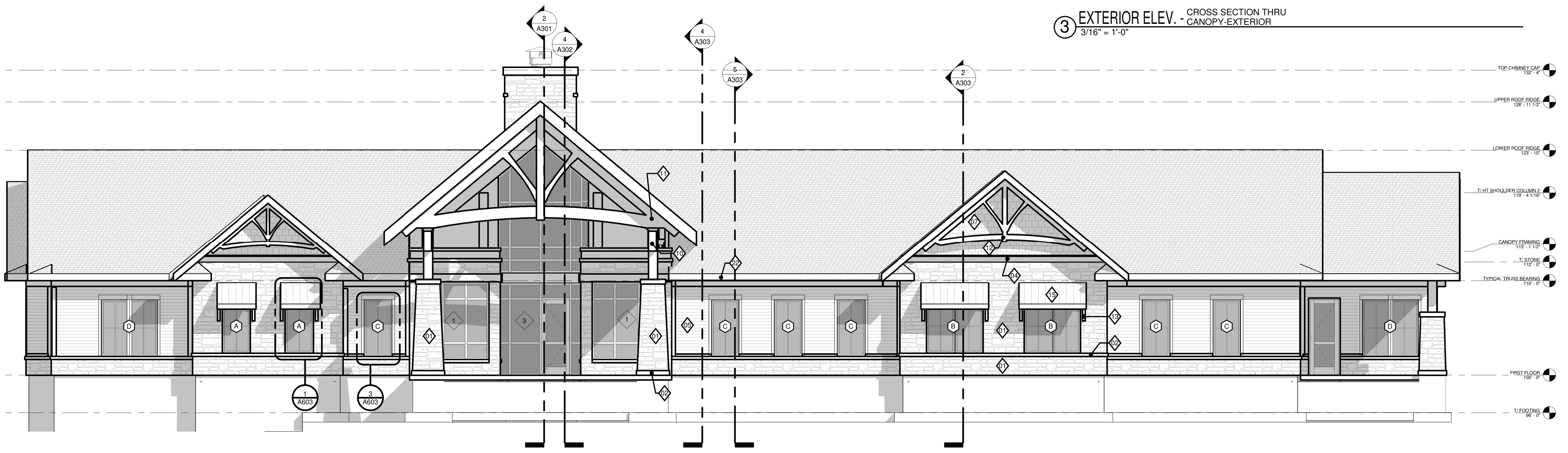
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2 EXTERIOR ELEV. - EAST ELEVATION  
3/16" = 1'-0"

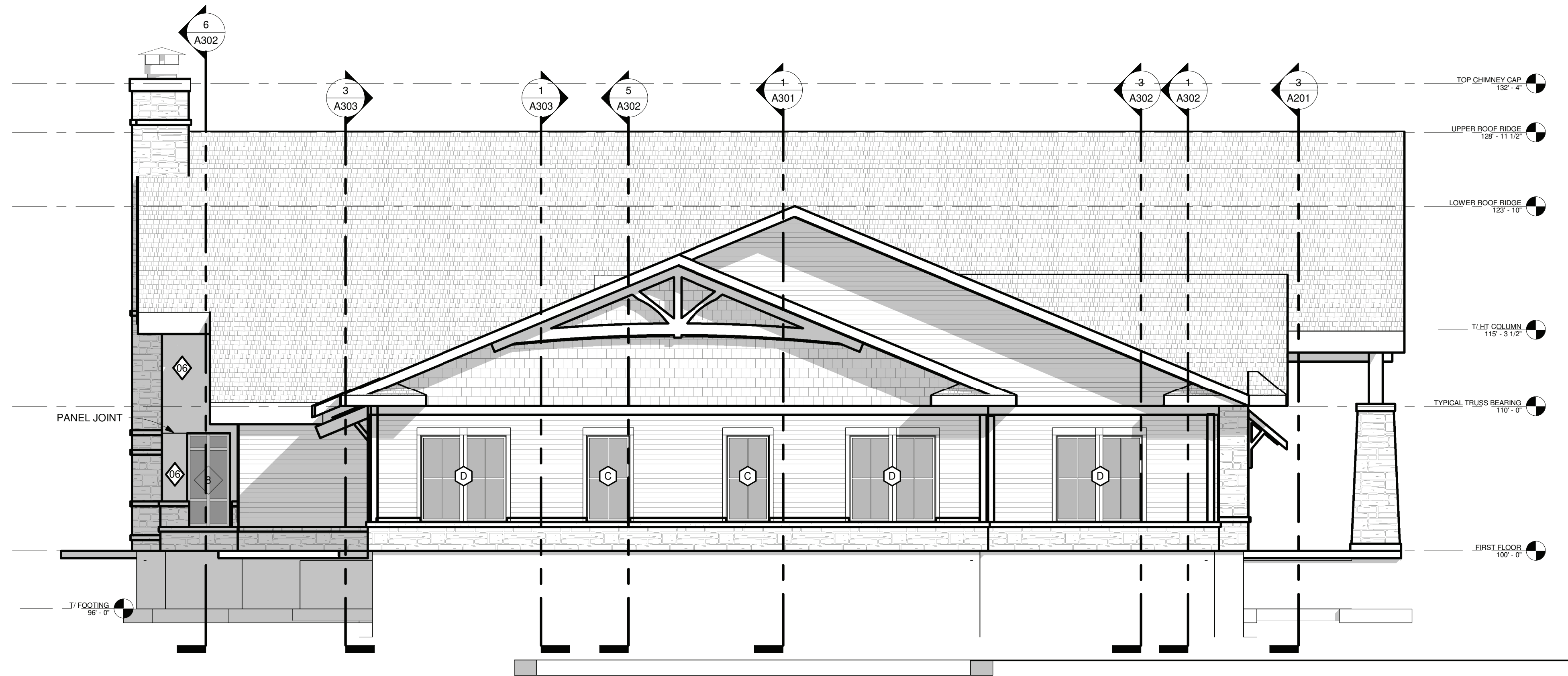


3 EXTERIOR ELEV. - CROSS SECTION THRU CANOPY-EXTERIOR  
3/16" = 1'-0"

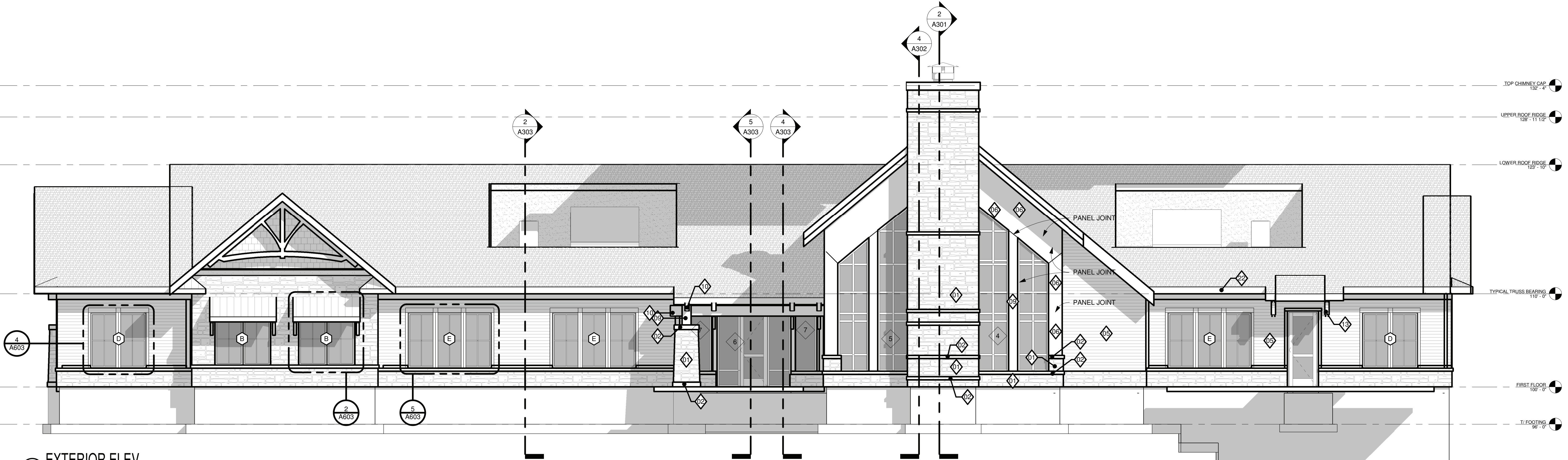


1 EXTERIOR ELEV. - SOUTH ELEVATION  
3/16" = 1'-0"

MATERIAL KEYNOTE	
A	MATERIAL
01	THIN STONE
02	CUT STONE SILL
05	L.P. SMARTSIDE HORIZONTAL LAP SIDING
06	L.P. SMARTSIDE SMOOTH PANEL SIDING
09	EXPOSED WOOD COLUMN
10	EXPOSED WOOD BEAM
13	EXPOSED WOOD BRACKETRY
22	L.P. SMARTSIDE FASCIA



2 EXTERIOR ELEV. - WEST ELEVATION  
3/16" = 1'-0"



1 EXTERIOR ELEV. - NORTH ELEVATION  
3/16" = 1'-0"

#	DATE	DESCRIPTION
1	04.27.2020	SD DOCS
2	06.22.2020	FOR STATE APPROVAL

**DISTINCTIVE DESIGN**  
STUDIO

215 Pine Street  
Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
www.distinctivedesignstudio.com

# ROGERS BEHAVIORAL HEALTH

SHEBOYGAN OUTPATIENT FACILITY  
WILDWOOD AVE.  
SHEBOYGAN, WI

CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

ISSUE DATE: 04/27/2020  
DRAWN BY: ECK  
CHECKED BY: SMP  
PROJECT #: 19-051

**A202**

SCALE: 3/16" = 1'-0"  
NOTE: 12x18 SETS ARE REDUCED BY 50% SCALE DRAWINGS ACCORDINGLY

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WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.



**DISTINCTIVE DESIGN**  
S T U D I O



**DISTINCTIVE DESIGN**  
S T U D I O



**DISTINCTIVE DESIGN**  
STUDIO

SMART SIDE – BACK  
TO NATURE –  
KNOTTED OAK

STAINED WOOD  
TIMBERS & ACCENT

LANDMARK SHINGLES  
- DRIFTWOOD

WEATHERED SHINGLE  
SIDING

BUECHEL STONE–  
KOHLER HERITAGE  
BLEND

BRONZE METAL ROOF

WEATHERED  
SHINGLE  
SIDING

LANDMARK SHINGLES  
- DRIFTWOOD

SMART SIDE – BACK TO  
NATURE – KNOTTED OAK

BRONZE METAL ROOF

BUECHEL STONE—  
KOHLER HERITAGE  
BLEND

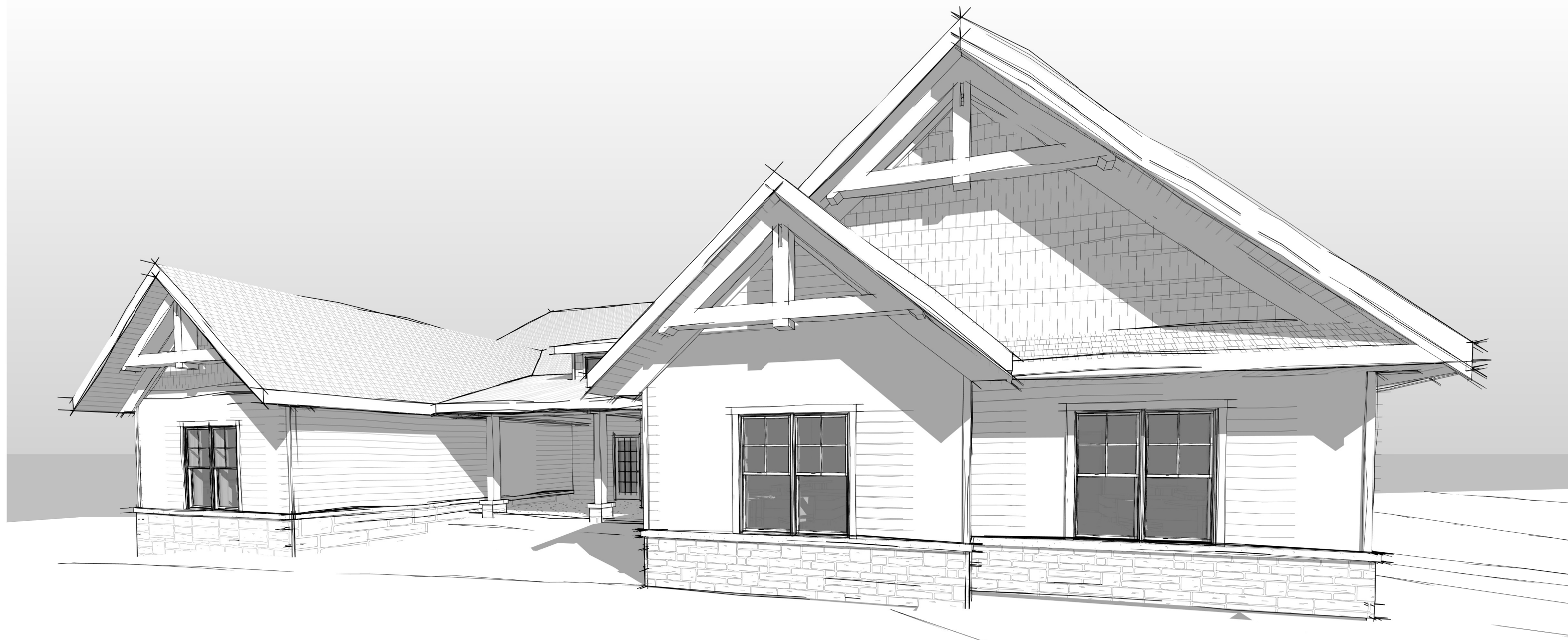
STAINED WOOD  
TIMBERS & ACCENT

# ROGERS BEHAVIORAL HEALTH

## SHEBOYGAN SUPPORTIVE LIVING FACILITY

### ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.B.	ANCHOR BOLT
AGGR.	AGGREGATE
ALT.	ALTERNATE
APPROX.	APPROXIMATELY
B.W.	BOTH WAYS
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BM.	BEAM
BOT.	BOTTOM
C.J.	CONTROL JOINT
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
DEG.	DEGREE
DIAG.	DIAGONAL
DN.	DOWN
D.S.	DOWNSPOUT
E.J.	EXPANSION JOINT
E.W.	EACH WAY
EA.	EACH
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXP.	EXPANSION
F.D.	FLOOR DRAIN
F.F.	FINISH FLOOR
F.O.B.	FACE OF BRICK
F.O.C.	FACE OF CONCRETE
FDN.	FOUNDATION
FIN.	FINISH
FLR.	FLOOR
FTG.	FOOTING
FURR.	FURRING
G.C.	GENERAL CONTRACTOR
GL.	GLASS
GA.	GALVE
GALV.	GALVANIZED
H.B.	HOSE BIB
HDWD.	HARDWOOD
HDWE.	HARDWARE
HT.	HEIGHT
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JNT.	JOINT
JST.	JOIST
KIT.	KITCHEN
LAV.	LAVATORY
LT.	LIGHT
M.O.	MASONRY OPENING
MAX.	MAXIMUM
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MIR.	MIRROR
MTL.	METAL
MUL.	MULLION
N.T.S.	NOT TO SCALE
NOM.	NOMINAL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OH.	OVERHEAD
OPG.	OPENING
OPP.	OPPOSITE
PLYWD.	PLYWOOD
PR.	PAIR
R.O.	ROUGH OPENING
REQ'D.	REQUIRED
RM.	ROOM
S.C.	SOLID CORE
S.F.	SQUARE FOOT
S.S.	STAINLESS STEEL
SCHED.	SCHEDULE
SECT.	SECTION
SH.	SHELF
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SO.	SQUARE
STD.	STANDARD
STL.	STEEL
SUSP.	SUSPENDED
T&B	TOP AND BOTTOM
THK.	THICK
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VER.	VERIFY
VERT.	VERTICAL
W/	WITH
W/O	WITHOUT
WD.	WOOD



### PROJECT INFORMATION

#### PROJECT ADDRESS

1108 WILDWOOD DRIVE,  
SHEBOYGAN

#### BUILDING CODE

IBC 2015 WITH WISCONSIN  
AMENDMENTS

ANSI A117.1

#### USE AND OCCUPANCY

SEPARATED / NON SEPARATED USES  
B / R-2 (BOTH TRANSIENT AND NON-TRANSIENT  
IN NATURE)

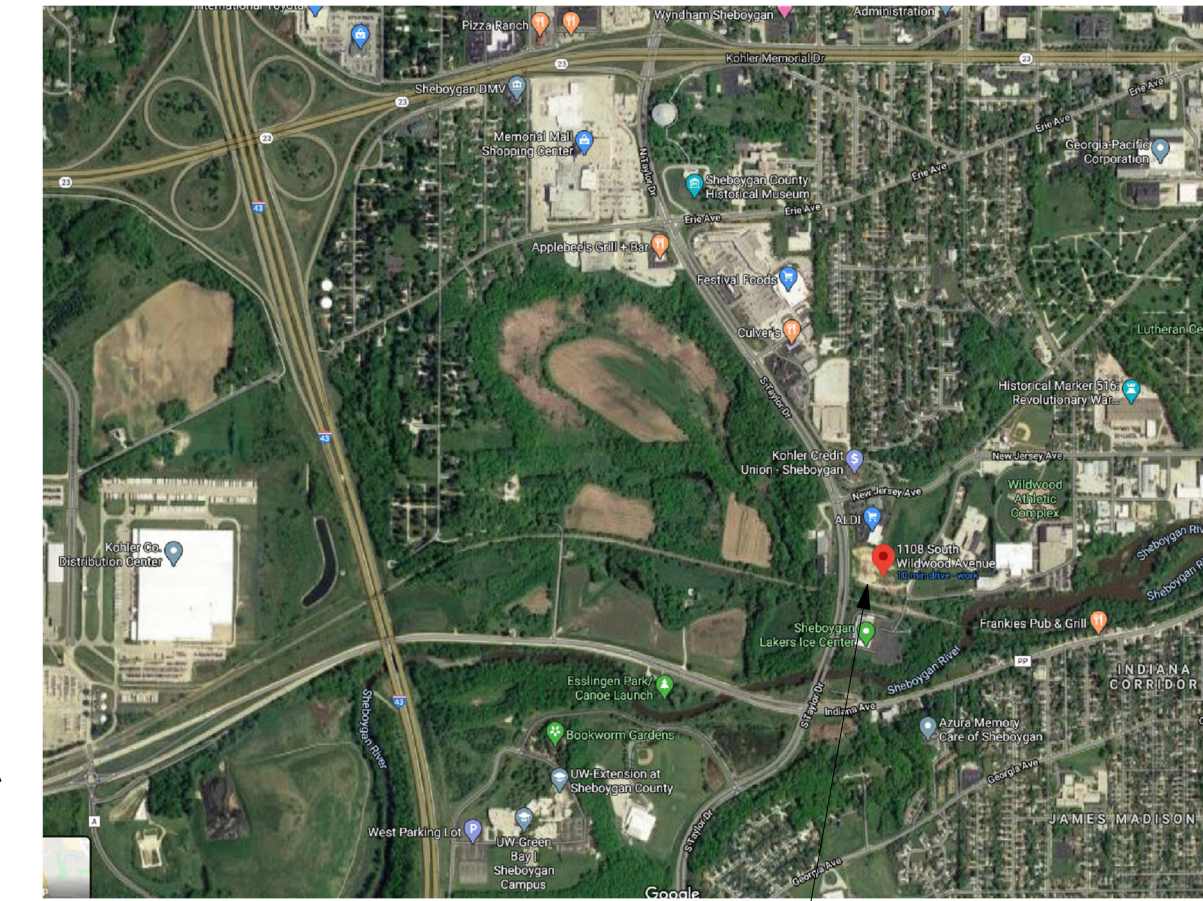
#### TYPE OF CONSTRUCTION

VB - WOOD FRAME UNPROTECTED  
SPRINKLERED WITH 'NFPA13R'

#### BUILDING HEIGHT & AREA

ALLOWABLE =  
3 STORY OR 60' & 28,000 SF

PROPOSED =  
2 STORY OR 37'-0" & 9,092 SF



PROJECT LOCATION

#### ARCHITECTURE FIRM

DISTINCTIVE DESIGN STUDIO  
215 PINE STREET  
SHEBOYGAN FALLS, WI 53085

CONTACT: STEVEN M PESKIE (PRINCIPAL)  
PHONE: (920)-395-1090  
EMAIL: STEVE@DISTINCTIVEDESIGNSTUDIO.COM

#### CONTRACTOR

TBD

CONTACT: TBD  
PHONE: TBD  
EMAIL: TBD

#### STRUCTURAL ENGINEER

TBD

CONTACT: TBD  
PHONE: TBD  
EMAIL: TBD

#### CIVIL ENGINEER

TBD

CONTACT: TBD  
PHONE: TBD  
EMAIL: TBD

### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AND SPECIFICATIONS AS PUBLISHED AND ADOPTED BY THE GOVERNING AUTHORITY. SHOULD A CONFLICT OCCUR BETWEEN THE IBC AND THE DRAWINGS, THE IBC SHALL GOVERN.
- WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, UNO.
- THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS (WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED. OWNERSHIP OF THESE DOCUMENTS REMAINS WITH DISTINCTIVE DESIGN STUDIO.
- THE DESIGNER IS NOT RESPONSIBLE FOR THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
- THE CONTRACTOR AND ANY SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL WORK, AND MUST MEET ALL REQUIREMENTS DICTATED BY THE UDC.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, LOCAL, AND SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE FOR SECURING AND MAINTAINING ALL NECESSARY INSURANCE INCLUDING WORKERS COMPENSATION.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK INCLUDING ADEQUATE PRE-REVIEW OF ALL SHOP DRAWINGS. ERRORS DUE TO LACK OF REVIEW AND/OR COORDINATION SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL REPORT IMMEDIATELY TO THE DESIGNER ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
- ALL MATERIAL USED IN THE CONSTRUCTION OF THIS PROJECT SHALL BE NEW UNLESS OTHERWISE NOTED. REJECT AND REPLACE ANY DAMAGED MATERIAL RESULTING FROM WARPAGES, WEATHER DAMAGE, OR OTHER CAUSES.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PREMISES IN A NEAT AND ORDERLY FASHION. CONSTRUCTION DEBRIS REMOVAL FROM THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRESTOPS PER UDC REQUIREMENTS.
- PROVIDE SOUND INSULATION AROUND ALL BEDROOMS AND BATHROOMS.
- GLAZING INSTALLED IN HAZARDOUS LOCATIONS (BATHROOMS) TO BE TEMPERED SAFETY GLAZING PER UDC.
- ALL WINDOW / DOOR SIZES ARE NOMINAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH OPENING SIZES FROM SUPPLIER BEFORE CONSTRUCTION.
- PROVIDE GUARDRAILS AT ALL OPENINGS GREATER THAN 24" ABOVE ADJACENT SURFACES.
- STAIR CONSTRUCTION: MAX RISE 7.34" MIN. RUN 11". MINIMUM HEADROOM 6'6". MIN WIDTH 44". HANDRAILS TO BE PLACED 34"-38" ABOVE TREAD NOSING GUARDRAILS MIN 36" HIGH WITH INTERMEDIATE MEMBERS NOT MORE THAN 4" SEPARATION BETWEEN.
- PROVIDE A MINIMUM OF 1200 NET FREE VENTILATION OF THE ROOFED AREA BELOW. THIS VENTILATIONS TO BE DIVIDED EQUALLY AND PROVIDED AT BOTH RIDGE AND SOFFIT AREAS. PROVIDE A CONTINUOUS MEANS OF ATTIC VENTILATION BY THE USE OF INSULATION STOPS, PROPER VENTS, AND CUTOUTS AT OVER FRAMED ROOF AREAS.
- PER IBC: ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM OPENING OF 20" X 24" IN EITHER DIRECTION.

### MECHANICAL NOTES

- ALL MECHANICAL DRAWINGS AND WORK SHALL BE PROVIDED BY THE DESIGN BUILD MECHANICAL CONTRACTOR. THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL PERMIT REQUIRED DRAWINGS AND ENERGY CALCULATIONS PER THE BUILDING CODE.
- KITCHEN, BATH, LAUNDRY, AND SIMILAR ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION, VENTING DIRECTLY TO THE OUTSIDE.

### PLUMBING NOTES

- ALL PLUMBING DRAWINGS AND WORK SHALL BE PROVIDED BY THE DESIGN BUILD PLUMBING CONTRACTOR. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL PERMIT REQUIRED DRAWINGS AND CALCULATIONS PER THE BUILDING CODE.
- VERIFY SIZE OF ALL PLUMBING FIXTURES AND APPLIANCES.

### SYMBOLS LEGEND

	DEMO WALLS
	EXISTING WALLS
	NEW WALLS
	ROOM NAME
	150 SF
	(TRANSOM - IF APPLICABLE) WINDOW TAG SEE WINDOW SCHEDULE
	101 DOOR TAG SEE DOOR SCHEDULE
	LEVEL HEIGHT

### AREA

### SHEET LIST

SHEET #	SHEET NAME	REVISION #	DATE
S000	3D VIEWS AND TITLE SHEET		
S001	GENERAL NOTES		
S002	SCHEDULES		
S100	FOUNDATION PLAN		
S101	FIRST FLOOR FRAMING PLAN		
S102	ROOF FRAMING PLAN		
S300	CONCRETE SECTIONS & DETAILS		
S301	CONCRETE SECTIONS & DETAILS		
S500	STEEL SECTIONS & DETAILS		
S600	WOOD SECTIONS & DETAILS		
GENERAL			
G400	CODE SUMMARY		
G401	CODE REVIEW		
CONSTRUCTION PLANS			
A100	LOWER LEVEL PLAN		
A101	1ST FLOOR PLAN		
A102	LOWER LEVEL REFLECTED CEILING PLAN		
A103	FIRST FLOOR REFLECTED CEILING PLAN		
A104	ROOF PLAN		
A201	EXTERIOR ELEVATIONS		
A202	EXTERIOR ELEVATIONS		
A301	BUILDING SECTIONS		
A302	BUILDING SECTIONS		
A303	BUILDING SECTIONS		
A304	BUILDING SECTIONS		
A402	TYPICAL GUEST ROOM PLANS AND ELEVATIONS		
A501	DETAILS		
A601	SCHEDULES		

REVISIONS	DATE	SD	DOCS	DESCRIPTION
1				

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# ROGERS BEHAVIORAL HEALTH

## SHEBOYGAN SUPPORTIVE LIVING FACILITY

### 1108 WILDWOOD DRIVE, SHEBOYGAN

### CONSTRUCTION DOCUMENTS

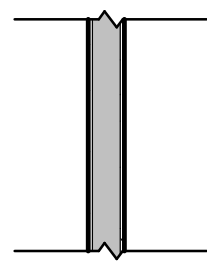
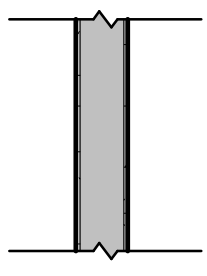
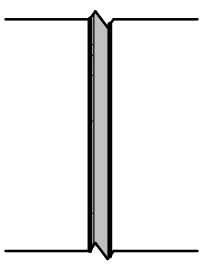
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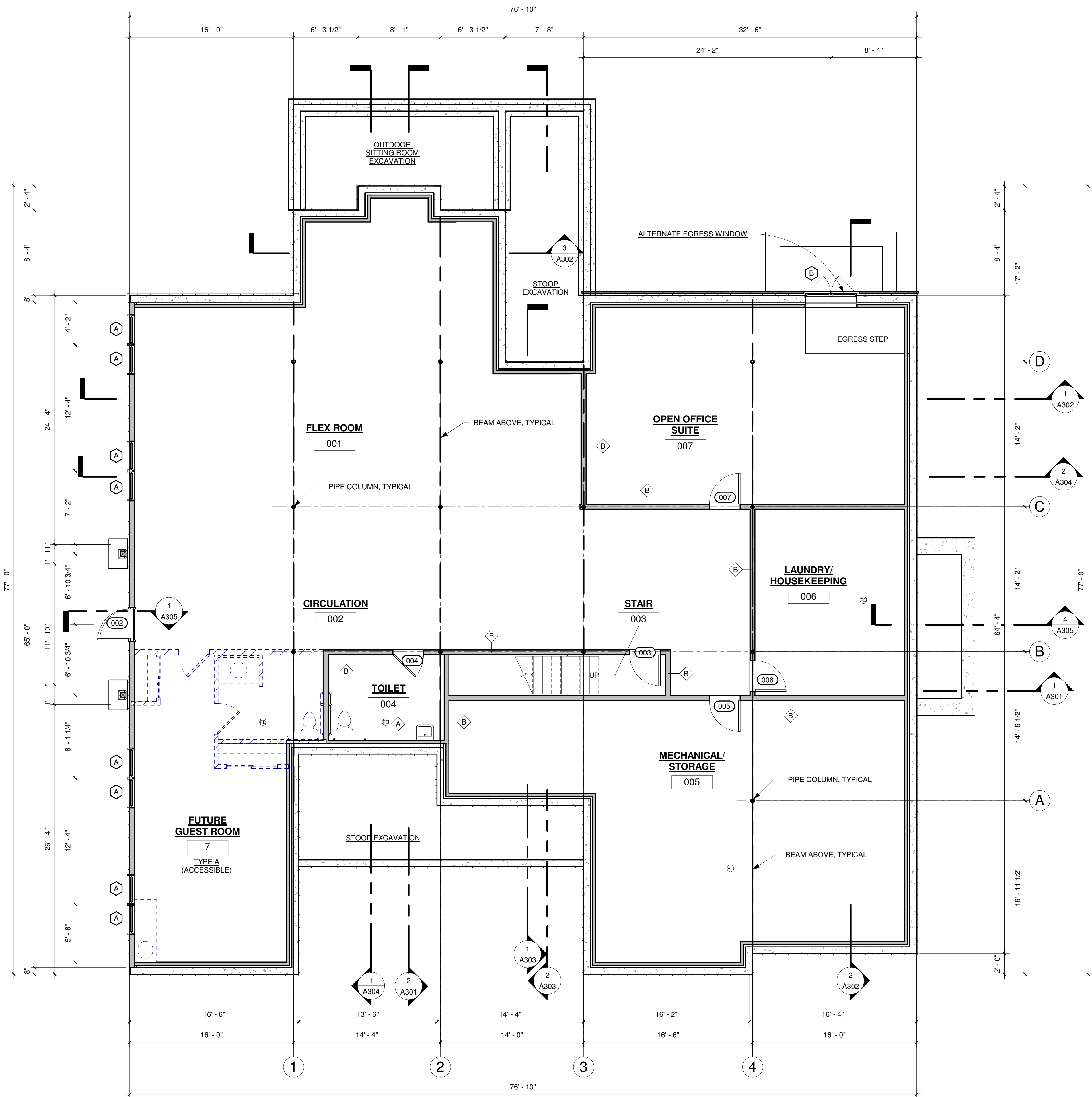
ISSUE DATE:	11.22.19
DRAWN BY:	EJ
CHECKED BY:	SMP
PROJECT #:	19-050

# G000

SCALE: 12" = 1'-0"  
NOTE:  
12x18 SETS ARE REDUCED BY 50%; SCALE DRAWINGS ACCORDINGLY

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WALL TYPES		
		
<b>WALL TYPE A</b>	<b>WALL TYPE B</b>	<b>WALL TYPE C</b>
2 x 4 STUD 16" O.C., 5/8" TYPE X GYPSUM BOARD EACH SIDE, 3 1/2" SOUND BATT, SCHEDULED FINISH. PROVIDE MOLD RESISTANT GYPSUM BOARD AT ALL DAMP LOCATIONS.	2 x 6 STUD 16" O.C., 5/8" TYPE X GYPSUM BOARD EACH SIDE, 3 1/2" SOUND BATT, SCHEDULED FINISH. PROVIDE MOLD RESISTANT GYPSUM BOARD AT ALL DAMP LOCATIONS.	2 x 2 FURR-OUT, 5/8" GYPSUM BOARD ONE SIDE, SCHEDULED FINISH. PROVIDE MOLD RESISTANT GYPSUM BOARD AT ALL DAMP LOCATIONS.
2 x 4 FIRE RATED UL U305 SYSTEM SEE G401 OR LOCATIONS	2 x 6 FIRE RATED SIM. TO UL U305 SYSTEM SEE G401 FOR LOCATIONS	



**1 FLOOR PLAN - LOWER LEVEL**  
3/16" = 1'-0"

REVISIONS	DATE	DESCRIPTION
#		

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Sheboygan Falls, WI 53085  
Ph: (920)-395-1090  
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# ROGERS BEHAVIORAL HEALTH

SHEBOYGAN SUPPORTIVE LIVING FACILITY  
1108 WILDWOOD DRIVE,  
SHEBOYGAN

CONSTRUCTION DOCUMENTS

LOWER LEVEL PLAN

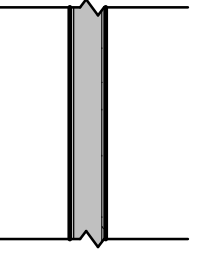
ISSUE DATE: 11.22.19  
DRAWN BY: EJ  
CHECKED BY: SMP  
PROJECT #: 19-050

**A100**

SCALE: As indicated  
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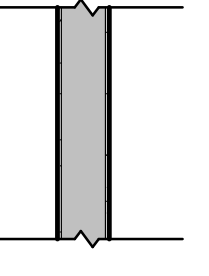
### WALL TYPES



**WALL TYPE A**

2 x 4 STUD 16" O.C., 5/8" TYPE X GYPSUM BOARD EACH SIDE, 3 1/2" SOUND BATT, SCHEDULED FINISH  
PROVIDE MOLD RESISTANT GYPSUM BOARD AT ALL DAMP LOCATIONS

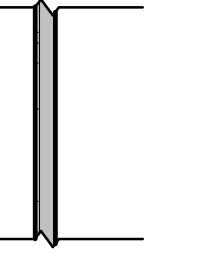
2 x 4 FIRE RATED  
UL U305 SYSTEM  
SEE G401 OR LOCATIONS



**WALL TYPE B**

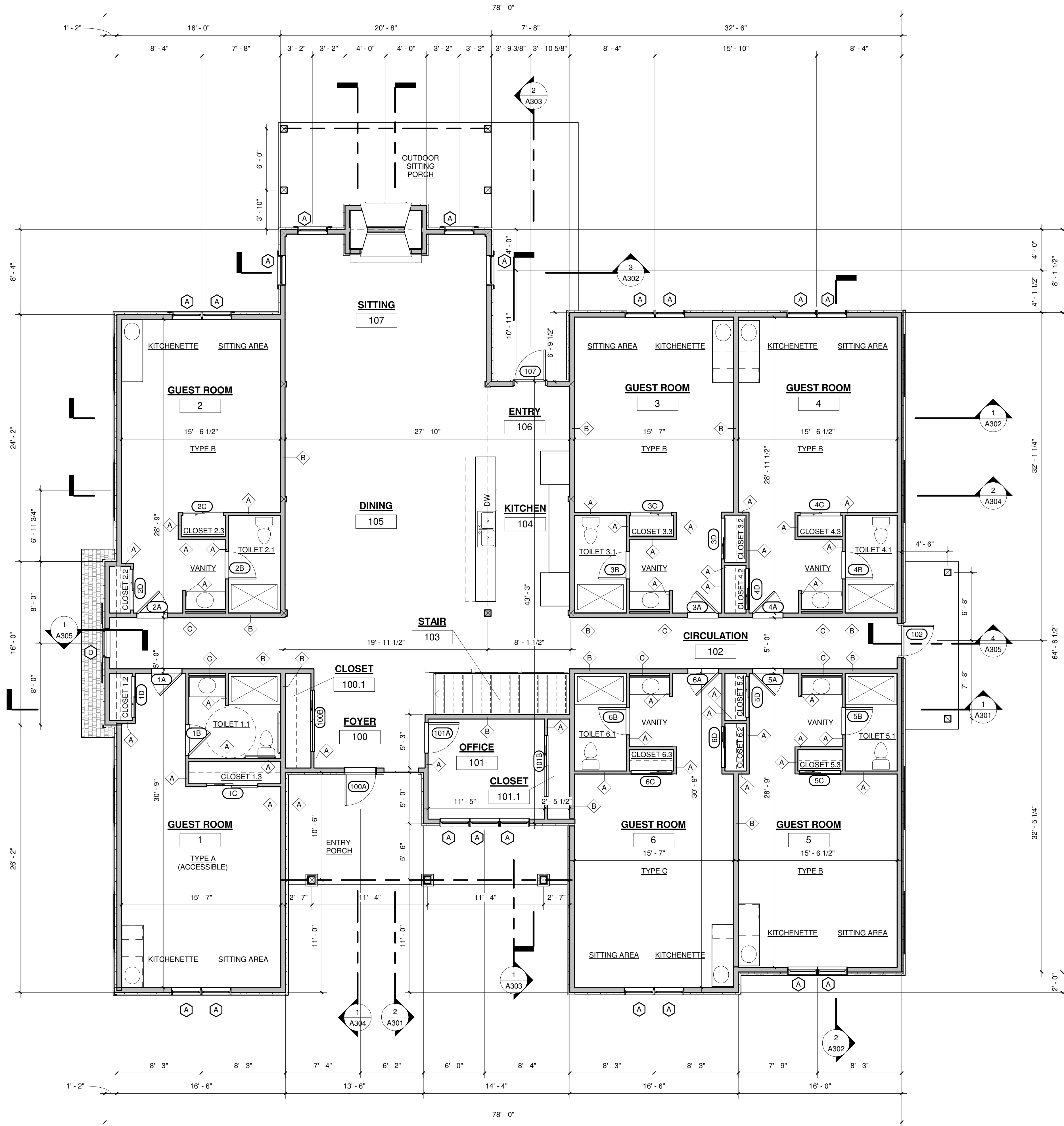
2 x 6 STUD 16" O.C., 5/8" TYPE X GYPSUM BOARD EACH SIDE, 3 1/2" SOUND BATT, SCHEDULED FINISH  
PROVIDE MOLD RESISTANT GYPSUM BOARD AT ALL DAMP LOCATIONS

2 x 6 FIRE RATED  
SIM. TO UL U305 SYSTEM  
SEE G401 FOR LOCATIONS



**WALL TYPE C**

2 x 2 FURR-OUT, 5/8" GYPSUM BOARD ONE SIDE, SCHEDULED FINISH  
PROVIDE MOLD RESISTANT GYPSUM BOARD AT ALL DAMP LOCATIONS



**1 FLOOR PLAN - FIRST FLOOR**  
3/16" = 1'-0"

REVISIONS		DESCRIPTION
#	DATE	SD DOCS
1		

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# ROGERS BEHAVIORAL HEALTH

SHEBOYGAN SUPPORTIVE LIVING FACILITY  
1108 WILDWOOD DRIVE,  
SHEBOYGAN

**CONSTRUCTION DOCUMENTS**

**1ST FLOOR PLAN**

ISSUE DATE: 11.22.19  
DRAWN BY: EJ  
CHECKED BY: SMP  
PROJECT #: 19-050

## A101

SCALE: As indicated

**NOTE:**  
12x18 SETS ARE REDUCED BY 50%  
50% SCALE DRAWINGS ACCORDINGLY

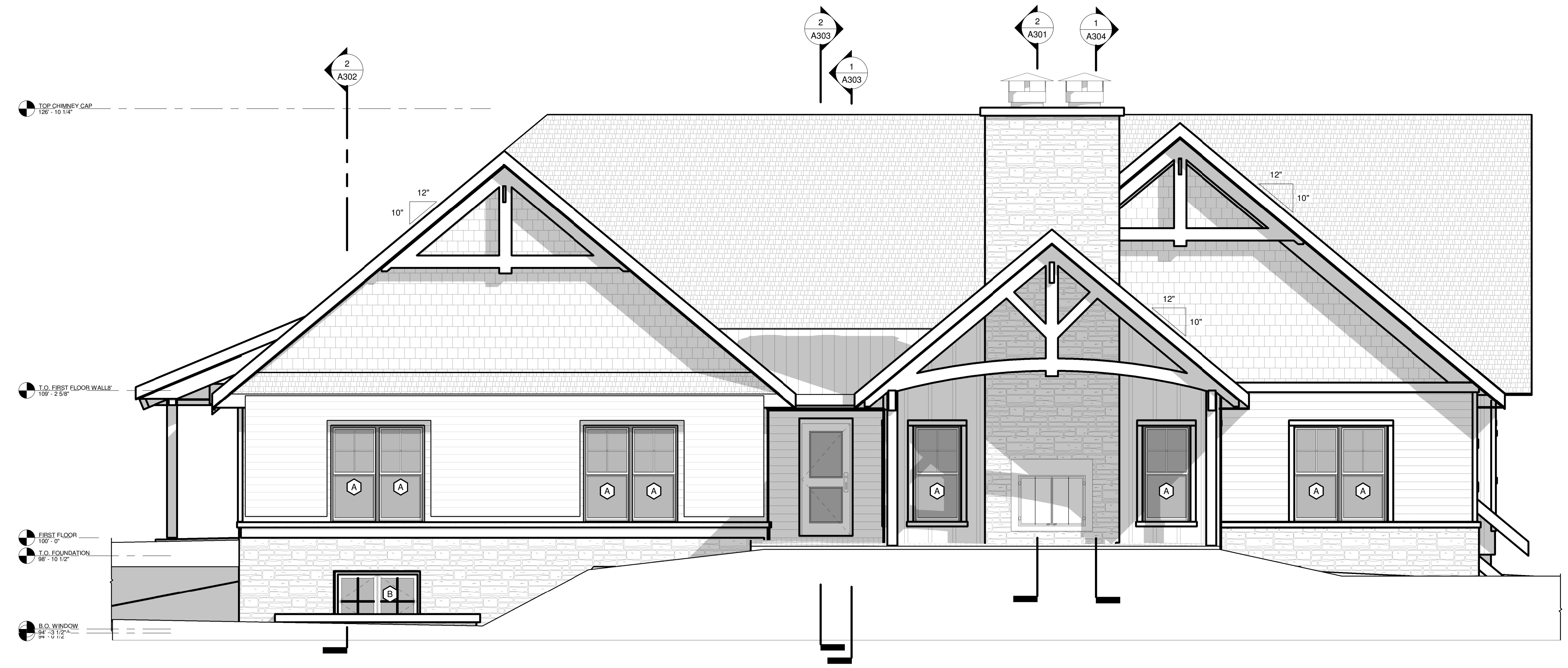
IF PRINTED ON 12" X 18", BOTTOM SCALE BAR SHALL BE EXACTLY 1" = 12' X 18"  
IF PRINTED ON 24" X 36", TOP SCALE BAR SHALL BE EXACTLY 1" = 24' X 36"  
IF EITHER SCALE BAR IS NOT EXACTLY 1", DRAWING IS NOT TO SCALE

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2 EXTERIOR ELEV. - SOUTH  
1/4" = 1'-0"

WINDOW SCHEDULE							
SYM.	QTY.	TYPE	SIZE		INTERIOR FINISH	EXTERIOR FINISH	Comments
			WIDTH	HEIGHT			
BASEMENT FLOOR							
A	8		35"	72"			
B	1		60"	41"			
FIRST FLOOR							
A	19		35"	72"			
D	1		34"	46"			
INACTIVE DORMER							
B	4		35"	24"			



1 EXTERIOR ELEV. - NORTH ELEVATION  
1/4" = 1'-0"

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# ROGERS BEHAVIORAL HEALTH

SHEBOYGAN SUPPORTIVE LIVING FACILITY  
1108 WILDWOOD DRIVE,  
SHEBOYGAN

CONSTRUCTION DOCUMENTS

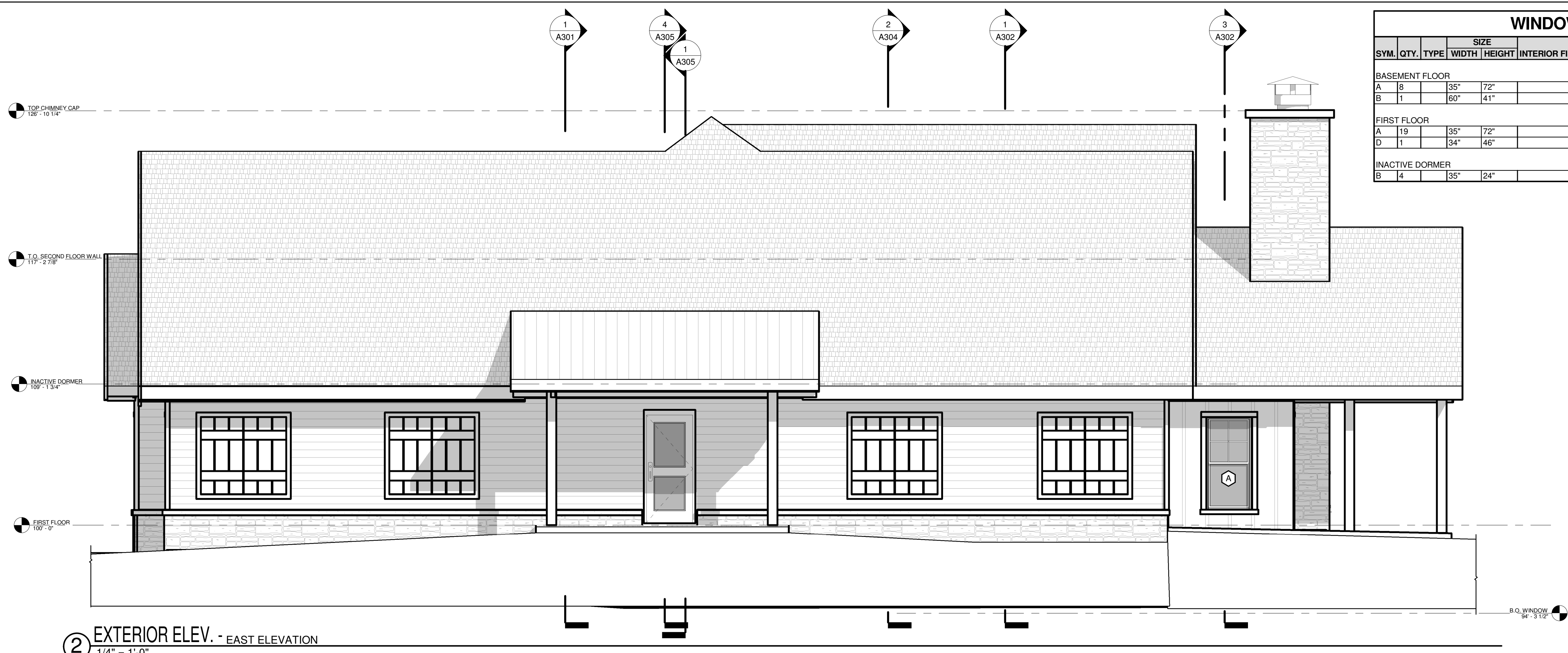
EXTERIOR ELEVATIONS

ISSUE DATE: 11.22.19  
DRAWN BY: EJ  
CHECKED BY: SMP  
PROJECT #: 19-050

**A201**

SCALE: 1/4" = 1'-0"  
NOTE: 12x18 SETS ARE REDUCED BY 50%; SCALE DRAWINGS ACCORDINGLY

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2 EXTERIOR ELEV. - EAST ELEVATION  
1/4" = 1'-0"

WINDOW SCHEDULE							
SYM.	QTY.	TYPE	SIZE		INTERIOR FINISH	EXTERIOR FINISH	Comments
			WIDTH	HEIGHT			
BASEMENT FLOOR							
A	8		35"	72"			
B	1		60"	41"			
FIRST FLOOR							
A	19		35"	72"			
D	1		34"	46"			
INACTIVE DORMER							
B	4		35"	24"			



1 EXTERIOR ELEV. - WEST ELEVATION  
1/4" = 1'-0"

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# ROGERS BEHAVIORAL HEALTH

SHEBOYGAN SUPPORTIVE LIVING FACILITY  
1108 WILDWOOD DRIVE,  
SHEBOYGAN

CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

ISSUE DATE: 11.22.19  
DRAWN BY: EJ  
CHECKED BY: SMP  
PROJECT #: 19-050

## A202

SCALE: 1/4" = 1'-0"

NOTE: 12x18 SETS ARE REDUCED BY 50%; SCALE DRAWINGS ACCORDINGLY

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE WORK.