

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Conditional Use Permit and variance application by Jerry McCabe to construct and operate a new carryout restaurant and drive thru from 1303 N. 11th Street. CC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 10, 2018

MEETING DATE: August 14, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Jerry McCabe is proposing to construct and operate a new carryout restaurant and drive thru at 1303 N. 11th Street. The applicant states the following about the proposed project:

- The project involves redeveloping a vacant and dilapidated former gas station site with a carry out/drive thru restaurant and storage building.
- This will be a 2-story building that is 1,500sf - approximately 700sf restaurant and 800sf covered storage and cooler space.
- There will be a driveway entry along 11th street, a driveway exit along Michigan and a walk up entrance along Michigan.
- There will be an outdoor seating area that will have approximately four (4) tables where people can enjoy food outside. The outdoor patio will have a 40 inch masonry wall and a split rail fence along N. 11th and Michigan.
- Menu will include sandwiches, brats, burgers, ice cream and special of the day.
- Number of employees will initially be 2-4.

STAFF COMMENTS:

In 2016, the Plan Commission approved a similar conditional use permit drive thru restaurant proposal but Mr. McCabe never proceeded with that project. The project before you today is similar but there are some differences in building and site plan design. This is an interesting building design so the Plan Commission will want to make sure that the Architectural Review Board has approved the building design – is the contemporary design compatible with the more historical look of neighboring buildings in this area.

The drive thru will operate by entering the site from N. 11th Street and exiting the site from Michigan Avenue. In order to do this the applicant will be modifying (extending and closing) some of the existing access drives on Michigan Avenue and N. 11th Street.

No formal sign package has been presented. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.

Plan Commission may want to have the applicant explain the materials and colors to be used for the outdoor dining space – Fencing, masonry columns, paving, tables, chairs, etc.

It appears that there may be a 10 foot access easement that allows access from his property located at 1034 Michigan Avenue (Blondies Bar) through Mr. McCabe's 1303 N. 11th Street property to access N. 11th Street. If there is an access easement, Mr. McCabe shall maintain this access for the property owner to the east.

The Plan Commission should be aware that Mr. McCabe also owns the property at 1035 Michigan Avenue (BJ's Restaurant at the southeast intersection of Michigan and N. 11th). The Plan Commission approved a conditional use permit for Mr. McCabe to renovate BJ's Restaurant in March of 2011.

The Architectural Review Board reviewed amended plans on January 9, 2017 because the applicant did not follow the original architectural drawings that he submitted and that the architectural review board approved. The Board approved the revised plans subject to the following condition:

"The owner shall remove the stone above the trellis and replace it with horizontal siding to match the rest of the building prior to occupancy being issued."

As of today, the applicant has not completed this condition. The applicant should be aware that he will not receive an occupancy permit to operate or occupy this site until such time as this condition is completed. Staff will be recommending a condition of approval that requires the applicant to complete this condition prior to issuance of a building permit for this project. The Plan Commission should strongly recommend that Mr. McCabe complete the exterior of his 1035 Michigan Avenue project as soon as possible because this project has been under construction since 2012.

The Plan Commission should also be aware that Mr. McCabe continues to use the 1303 N. 11th Street site, the site we are reviewing today, as a storage area for his 1035 Michigan

Avenue renovation project (former BJ's Restaurant site). There continues to be a significant amount of building materials, equipment, miscellaneous debris, etc. scattered throughout this small parcel (see photos of large trailer, dumpster, bricks, old sign cabinet, central air unit, pvc and perforated pipes, etc.). In addition to the unsightly storage, the existing building and site has not been well maintained. This property does not present itself well in this very visible downtown Sheboygan location. Staff will be recommending a condition of approval that will require all miscellaneous materials equipment, debris, etc. to be removed from this site by September 28, 2018. The owner must understand that the property must be completely clean by September 28, 2018 or citations will be issued.

The Plan Commission should have the applicant address the timeframes he plans to complete the exterior of 1035 Michigan Avenue and the expectation as to when he plans to begin and complete the 1303 N. 11th Street carryout restaurant.

Applicant is requesting the following variances:

- Each drive-up lane shall have a minimum stacking length of 100 feet before the pass through window and 40 feet beyond the pass through
- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

ACTION REQUESTED:

Staff recommends approval of the conditional use and variances subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, hazardous materials, DNR, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall include a legend that shows how the four (4) landscape criteria are being met. Landscaping shall be installed prior to issuance of an occupancy permit.
4. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
5. Outdoor storage of materials, products or equipment shall be prohibited.
6. Applicant shall remove all miscellaneous materials equipment, debris, etc. from 1303 N. 11th Street by September 28, 2018. The applicant needs to be aware of that if all the miscellaneous materials equipment, debris, etc. are not removed from 1303 N. 11th Street by September 28, 2018, citations will be issued and this matter will be forwarded to the City Attorney for further action.

7. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
8. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
9. Applicant shall obtain the necessary sign permits prior to installation.
10. Applicant shall be permitted to install individual letter signs – no cabinet or flat panel signs. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
11. All areas used for parking or maneuvering of vehicles shall be paved.
12. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
13. The drive-through facility shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts. In no instance shall a drive-through facility be permitted to operate which endangers the public safety.
14. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
15. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, street lights, etc.).
16. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
17. Applicant will provide adequate public access along adjacent streets and minimize the time period that these sidewalks/streets will be closed/affected.
18. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
19. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
20. Absolutely no portion of the new building and/or site improvements shall cross the property line (buildings, parking, retaining walls, signs, landscaping, etc.).
21. If there is an access easement on the north part of 1303 N. 11th Street property, Mr. McCabe is responsible for maintaining this access for the property owner to the east.
22. Prior to building permit issuance for the 1303 N. 11th Street project, the applicant shall complete the exterior remodeling at 1035 Michigan – Applicant shall remove the stone above the trellis and replace it with horizontal siding to match the rest of the building.
23. The applicant will be required to obtain approval from the Architectural Review Board prior to receiving a building permit for this project.
24. If there are any amendments to the approved conditional use/site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. 200 710
MAP NO. _____
ZONING CLASSIFICATION: CC

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 8/14/18

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$150 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Jerry McCabe
ADDRESS: 1035 Michigan Ave E-MAIL: g.mccabe_spe@yahoo.com
PHONE: () 920.917.0018 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Vacant building
ADDRESS OF PROPERTY AFFECTED: North east corner 11/Michigan
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____
Vacant Building/lot

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: _____
Proposed new carryout and drive through restaurant and kitchen-Revision from 2016 submittal. The new scheme has a slightly different shape for the restaurant portion and there is now a rear covered carport and storage area for cooler and dumpsters.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: _____
None



Sunday, July 29, 2018

Sheboygan Plan Commission
City of Sheboygan

Subject: N. 11th and Michigan ave property

We are requesting a conceptual site plan approval for our new drive through and walk up restaurant that will be associated with the new Bj's restaurant across the street.

Our proposal

1. 684 sf building and 814 sf covered storage/cooler area
2. drive through window
3. Outdoor seating approx 4 tables
4. Approximately 1,200 sf paving
5. reduce two existing curb cut sizes

An explanation of the proposed use and all business activities to take place onsite.

This will be a drive through and walk up fast food restaurant

Why was this site selected?

It is located next to the owners existing restaurant. There is a good walk up business and Michigan ave has good vitality.

Is this a 1 tenant or multi-tenant facility? Who are the tenants? Description of proposed uses.

Currently It will be owner occupied.

How many employees will you have?

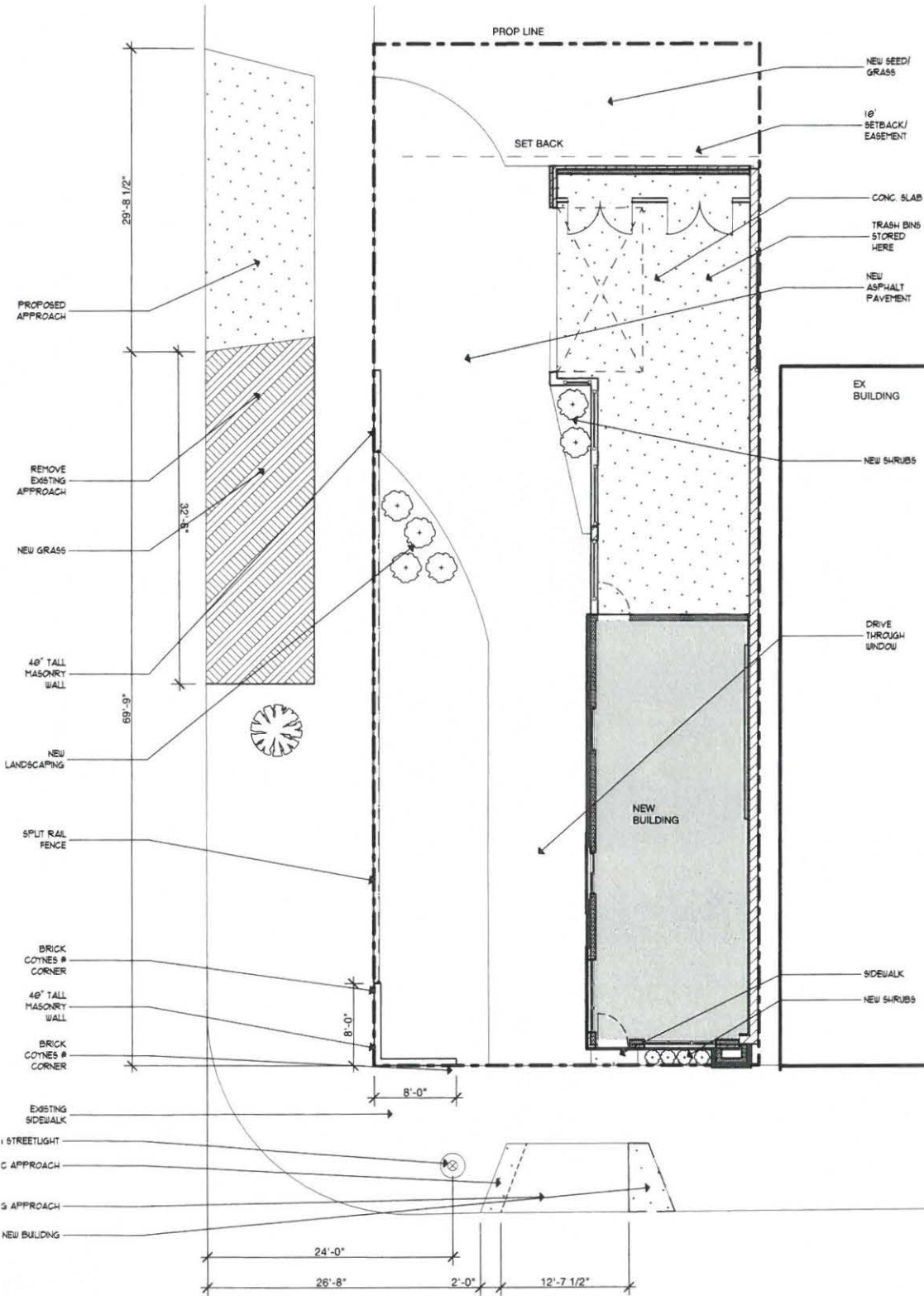
2-4 employed when open

Explain site lighting.

There will be light packs on the building

Sincerely,

Scott Matula, AIA
Aspire Architecture & Design, LLC



ID
A1.1
A1.2
A1.3
A1.4
A1.5
A1.6
A1.7
A2.1
A2.2
A3.1
A3.2
A3.3
A4.1
A4.2

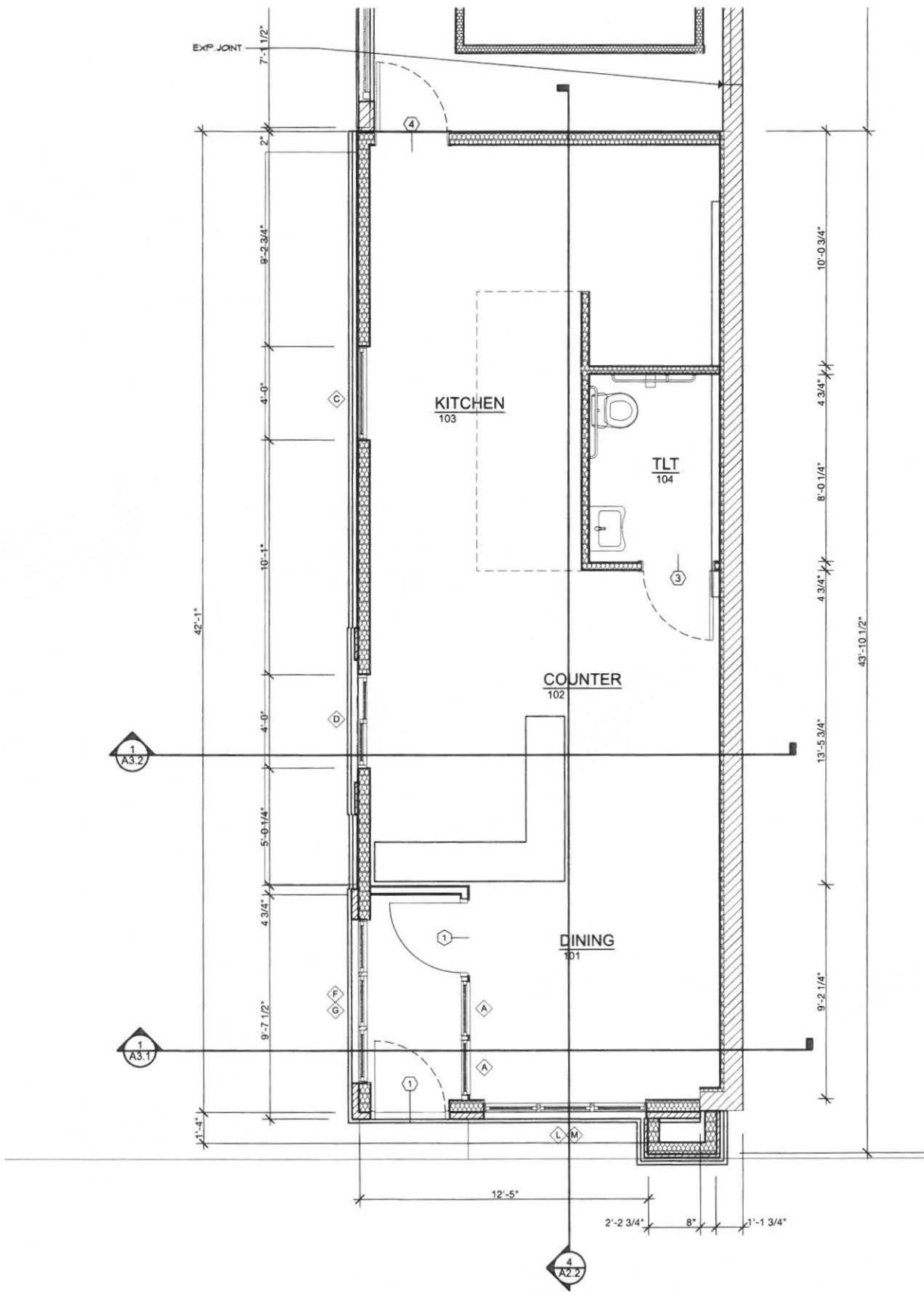
2 SITE PLAN
SCALE: 1" = 10'



ASPIRE ARCHITECTURE & DESIGN, LLC
1416 N. 5th St Sheboygan, WI 53081
920-457-4884 scott@aspirearchitects.com
www.aspirearchitects.com

NEW BUILDING for: BJS NORTH RESTAURANT
MICHIGAN AVE SHEBOYGAN WI 53081

6.23.18
07-011
A1.1



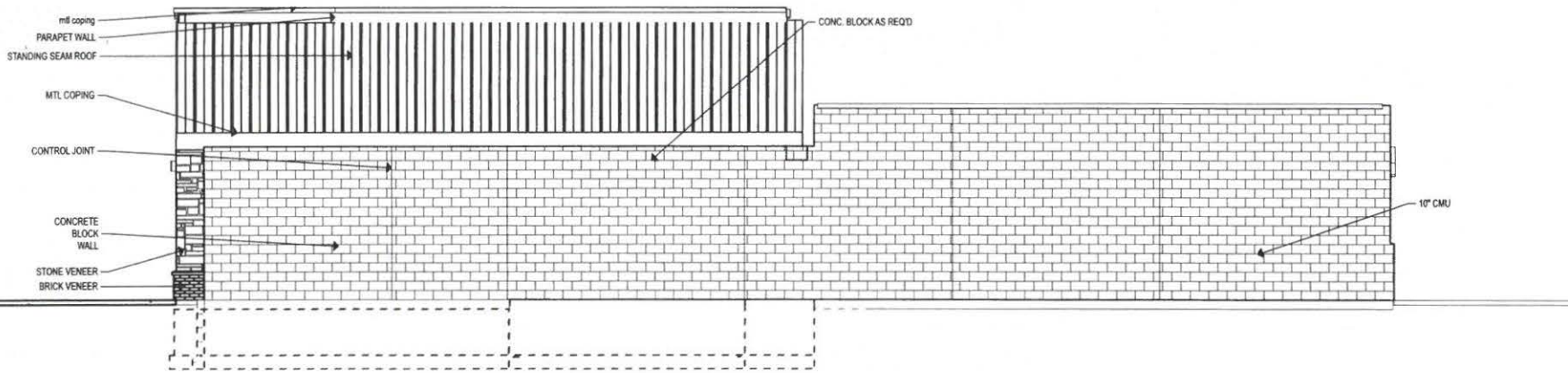
1st Floor Plan



ASPIRE ARCHITECTURE & DESIGN, LLC
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 920-457-4884 scott@aspirearchitects.com
 www.aspirearchitects.com

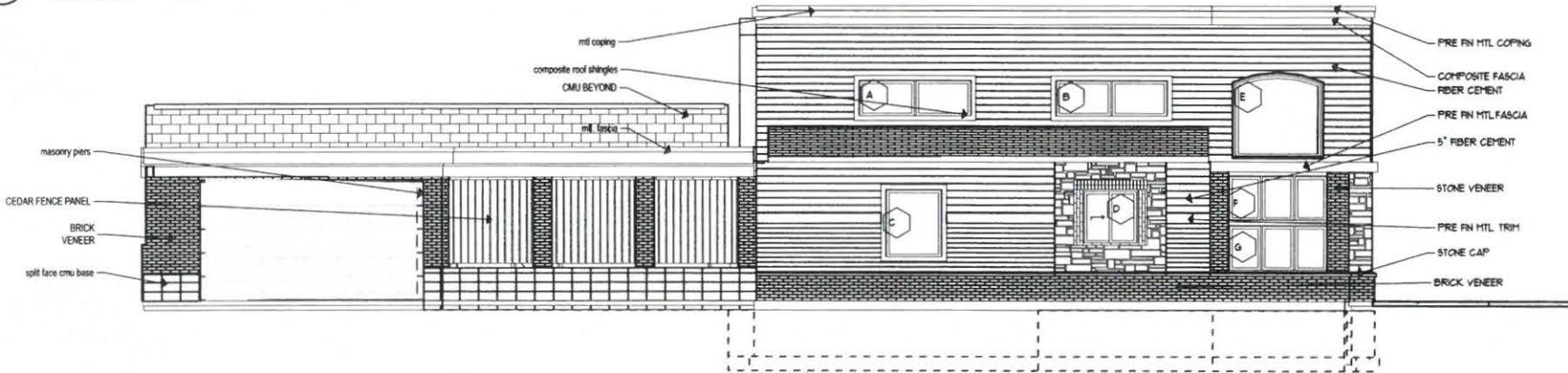
NEW BUILDING for: BJS NORTH RESTAURANT
 MICHIGAN AVE SHEBOYGAN WI 53081

6.23.18
 07-011
 A1.4



1 East Elevation

SCALE: 1/8" = 1'-0"



2 West Elevation

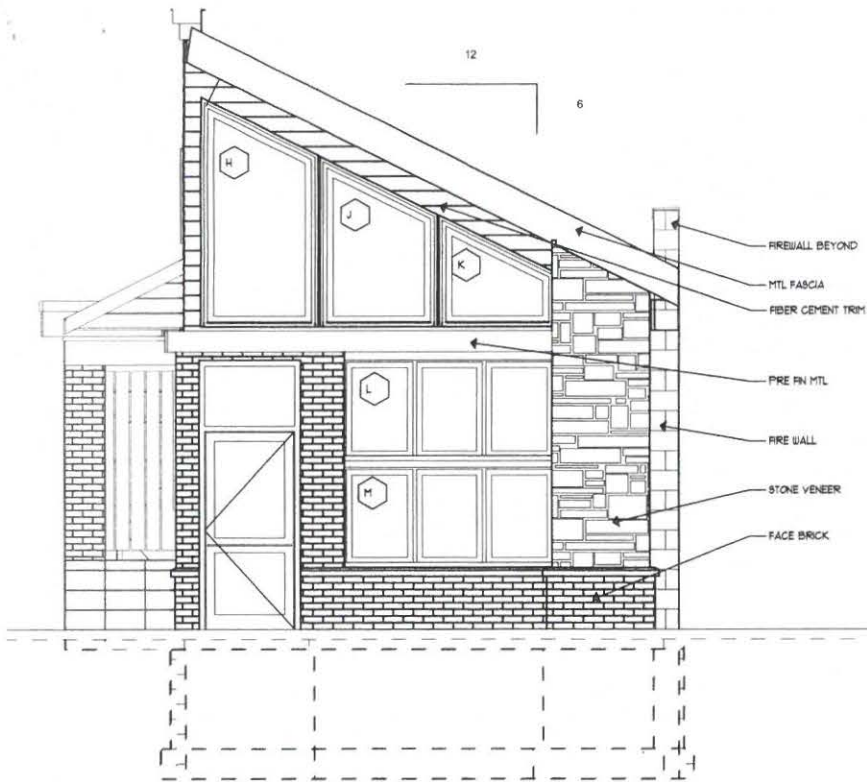
SCALE: 1/8" = 1'-0"

NEW BUILDING for:
BJS NORTH RESTAURANT
 MICHIGAN AVE SHEBOYGAN WI 53081

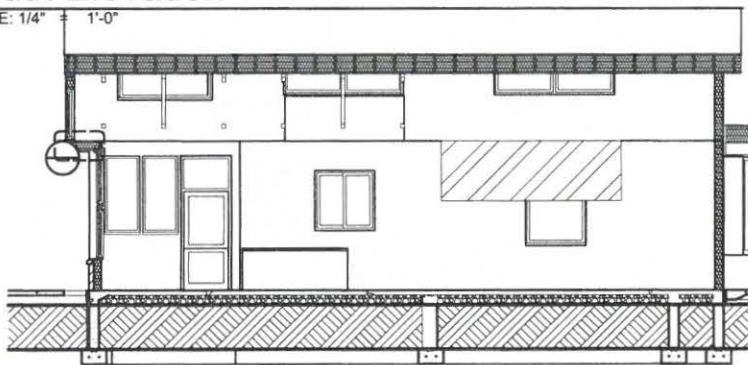
ASPIRE ARCHITECTURE & DESIGN, LLC
 1416 N. 5th St. Sheboygan, WI. 53081
 920-457-4884
 scott@aspirearchitects.com
 www.aspirearchitects.com



6.23.18
 07-011
A2.1

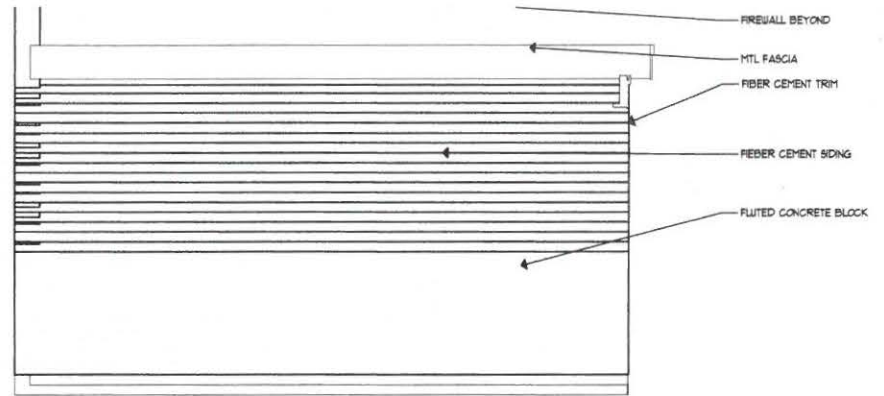


② South Elevation
SCALE: 1/4" = 1'-0"

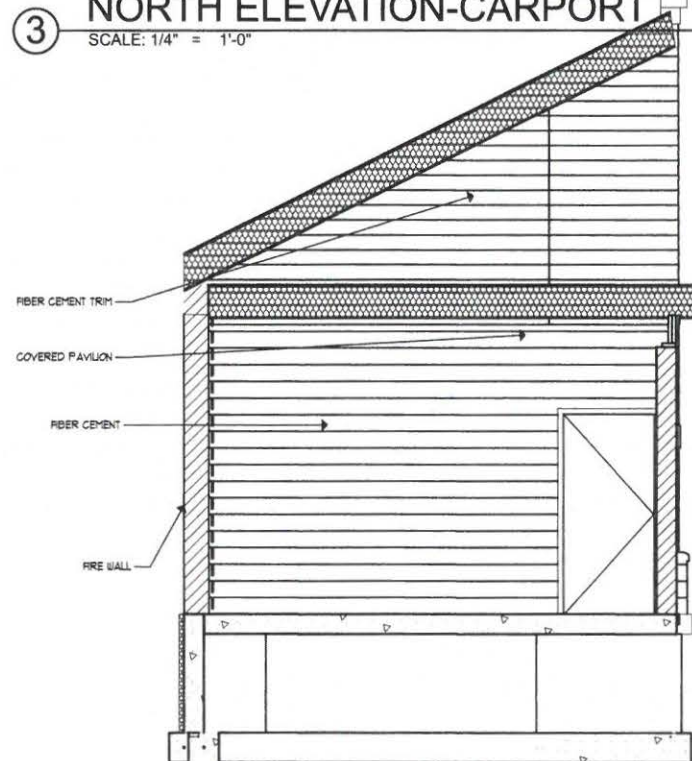


④ BUILDING SECTION
SCALE: 1/8" = 1'-0"

/Users/brmetula/Library/Mobile Documents/com-apple-CloudDocs/Aspire-Cad/07-011 BJ's North/07-011-MAIN scheme b option2.pln
9/2/18 4:11:55 PM



③ NORTH ELEVATION-CARPORT
SCALE: 1/4" = 1'-0"



① North Elevation
SCALE: 1/4" = 1'-0"

BUILDING for:
RESTAURANT
JYGAN WI 53081



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6.23.18
07-011
A2.2

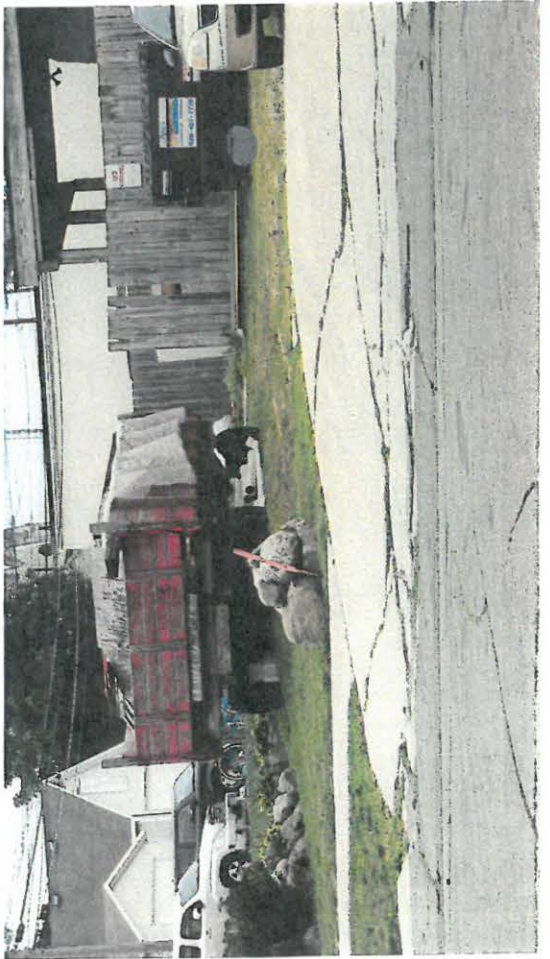


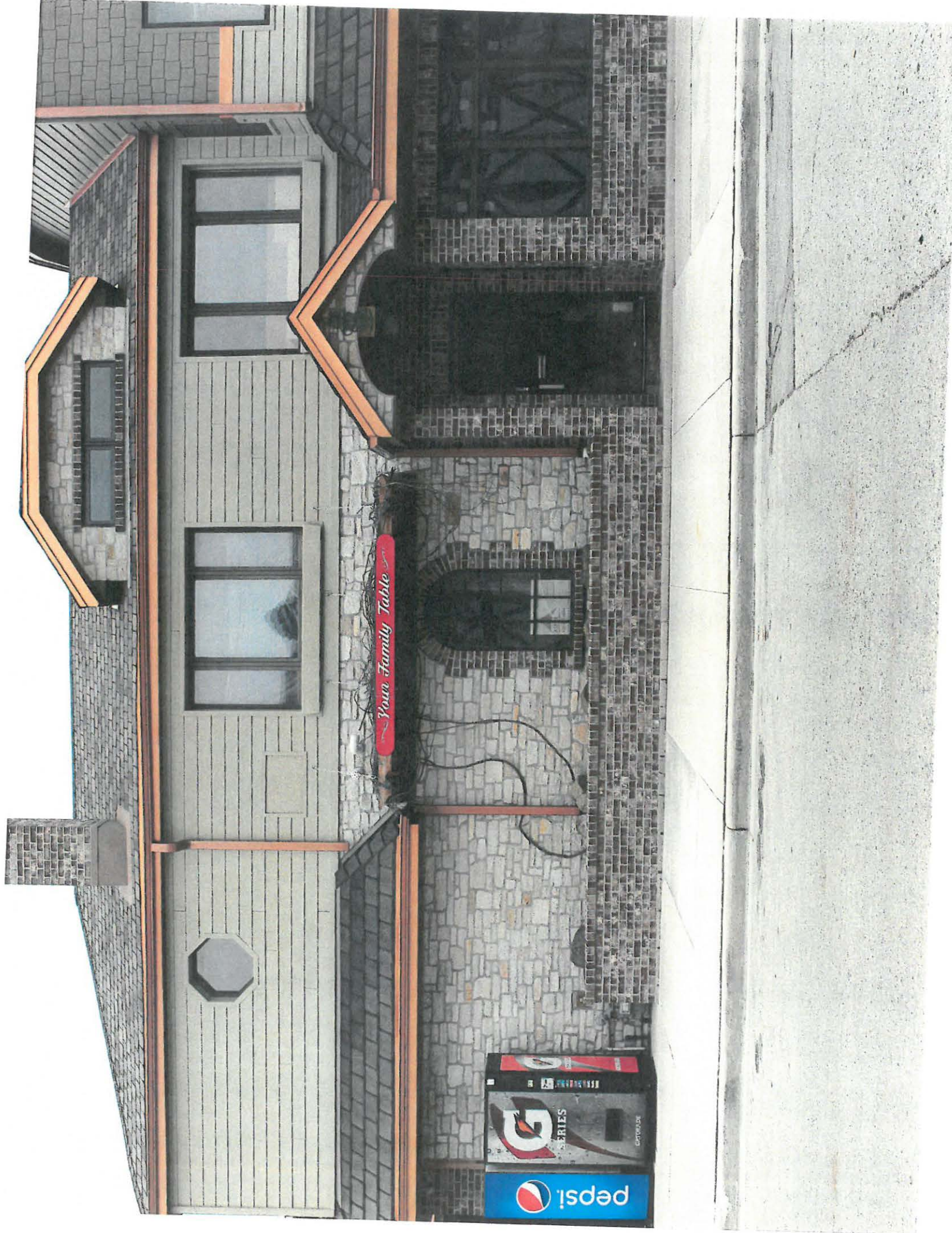
**NEW BUILDING for:
BJS NORTH RESTAURANT**
MICHIGAN AVE SHEBOYGAN WI 53081

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scott@aspirearchitects.com
www.aspirearchitects.com



6.23.18
07-011
A4.2





Your Family Table

pepsi
SERIES
ENTERTAINMENT



January 11, 2017

Gerald R Mc Cabe
2628 N 11th Street
Sheboygan WI 53083-4813

The Architectural Review Board at their meeting of January 9, 2017, reviewed and approved the amended plans for the façade renovation for BJ's Restaurant located at 1035 Michigan Avenue with the following conditions:

- 1) The owner shall remove the stone above the trellis and replace it with horizontal siding to match the rest of the building prior to occupancy being issued.

If you have any questions feel free to contact me at 920/459-3382.

Sincerely

Steve Sokolowski
Manager of Planning & Zoning

Cc: Scott Matula, Aspire Architecture, 1416 N. 5th St., Sheboygan WI 53081

DEPARTMENT OF
PLANNING AND
DEVELOPMENT

828 Center Avenue,
Suite 104
Sheboygan, WI 53081

920-459-3377 (Phone)
920-459-7302 (Fax)

Building Inspection
City Hall
828 Center Ave, Suite 105
Sheboygan WI 53081-4442



Phone 920/459-4064
Fax 920/459-2010
Email: buildinginspection@sheboyganwi.gov
City Website: www.sheboyganwi.gov

February 15, 2018

MC CABE, GERALD R
2628 N. 11TH ST.
SHEBOYGAN, WI 53083-4813

Complaint No: 180092

Parcel No: 200710

RE: ORDINANCE VIOLATION @ 1303 N. 11TH ST.

Description Of Violation:

REMOVE CONSTRUCTION DEBRIS AND MISC JUNK FROM
PROPERTY.

Date Of Inspection: February 12, 2018

Compliance Deadline: March 18, 2018

Notice to Property Owner(s) and/or Occupant(s):

An inspection of the property described above was made as a result of a complaint received by the Building Inspection Department or as the result of a routine survey by the department.

The conditions identified on your premises are in violation of International Property Maintenance Code Section 302.1 Sanitation and Sheboygan Municipal Code Section 66-3 Nuisances Prohibited. All exterior property areas shall be maintained in a clean and sanitary condition free from any accumulation of rubbish, garbage or debris. It is unlawful for any person to cause, permit, allow, or maintain any nuisance upon premises owned or occupied within the city and includes any source of filth, cause of sickness, source of rodent problems or conditions which causes a safety hazard. Examples would be tires, appliances, auto parts, furniture, mattresses, food waste, cans, bottles, pieces of wood metal, dismantled equipment, garbage bags, cardboard or any other miscellaneous items or conditions located on the premises that are determined to be a nuisance.

Therefore, conditions existing at the above referenced property have been declared a nuisance per Sheboygan Municipal Code, and in accordance with 66-5, 66-6, and 66-7, it is hereby ordered that immediate action be taken to abate this nuisance and ensure compliance with the Municipal Code. Failure to do so by the compliance deadline date will result in this department causing the abatement and or removal, with the costs thereof being assessed against the property owner. Municipal citations may also be issued if warranted.

Please find enclosed information in regard to this complaint. Inquiries regarding this notice must be made prior to the deadline date listed above.

CITY OF SHEBOYGAN, BUILDING INSPECTION DEPARTMENT

Bob Wallace

Bob Wallace - Inspector
Phone: 920-459-3490
Email: Bob.Wallace@sheboyganwi.gov

Enclosure(s)

cc Occupants

Building Inspection
City Hall
828 Center Ave, Suite 105
Sheboygan WI 53081-4442



Phone 920/459-4064
Fax 920/459-2010
Email: buildinginspection@sheboyganwi.gov
City Website: www.sheboyganwi.gov

February 15, 2018

MC CABE, GERALD R
2628 N. 11TH ST.
SHEBOYGAN, WI 53083-4813

Complaint No: 180044

Date of Inspection: 2/12/2018

RE: Housing Code Violation(s) @ 1303 N. 11TH ST.

Parcel No: 200710

Notice to Property Owner(s):

An inspection of the property described above was made as a result of a complaint received by the Building Inspection Department or as the result of a special Neighborhood Revitalization Initiative.

The following condition(s) identified on this property are in violation of International Property Maintenance Code (IPMC), local Municipal Ordinance (MC), or State Code (SC) as listed.

Violation Code	Description	Compliance Deadline
IPMC 304.2	PROTECTIVE TREATMENT Raze building or rehab the exterior to code.	06/01/2018
MC 26-37(A) (2) (B) 2	ROOFS AND DRAINAGE. Raze building or replace roof.	06/01/2018

It is hereby ordered that immediate action be taken to rectify the violation(s) and make compliant. Violations not corrected by the Compliance Deadline date may result in a Municipal Citation being issued at \$691.00 per violation. Permits may be required to complete the work.

Inquiries regarding this notice must be made prior to the deadline date(s) listed above. Recourse to this notice is outlined in Section 26-869 of the Housing Maintenance Code.

CITY OF SHEBOYGAN, BUILDING INSPECTION DEPARTMENT

Bob Wallace

Bob Wallace - Inspector
Phone: 920-459-3490
Email: Bob.Wallace@sheboyganwi.gov

Complaint #: 180044

NEIGHBORHOOD SURVEY

Insp Date 2-18-18

Address of concern: 180092 1303 - N. 11th St

302.7 ACCESSORY _____ RAZE BUILDING OR

MC 66-14(c) GRAFFITTI _____ REHAB TO CODE.

304.2 PAINT _____ ROOF AND EXTERIOR.

304.2 PAINT _____ 6-1-18

304.5 FOUND WALLS _____

26-37(A)(2)(B)(2) ROOFS _____

304.10 STAIRS/DECKS _____

26-37(A)(2)(B)6: HAND/GUARDRAILS _____

304.13 WINDOWS/DOORS _____

304.18.3.HATCHWAYS _____

MC 110-357 HOUSE NOS. _____

304.11 CHIMNEY/TOWERS _____ 3/18/18

302.3 SIDEWALK/DRIVEWAY _____

SZO 15.704(6)(A) OFF-ST PARKING _____ REMOVE CONSTRUCTION

OTHER: JANI _____ DEBRIS JUNK FROM PROPERTY

INSPECTOR: _____ 8

Building Inspection
City Hall
828 Center Ave., Suite 105
Sheboygan, WI 53081-4442



Phone 920/459-4064
Fax 920/459-0210
Email: buildinginspection@ci.sheboygan.wi.us
City Website: www.ci.sheboygan.wi.us

July 29, 2015

MC CABE, GERALD R.
2628 N. 11TH ST.
SHEBOYGAN, WI 53083-4813

Complaint No: 150420

Parcel No: 200710

RE: Housing Code Violation(s) @ 1303 N. 11TH ST.

Notice to Property Owner(s):

This correspondence is a follow-up to the violations listed in the Housing Code Violation Letter you received dated March 13, 2015.

Based on discussions with the Building Inspection staff it has been agreed upon that some or all of the remaining violations listed below will be granted an extension of time to correct.

Violation Code	Description	Compliance Deadline	Extension Date
IPMC 304.2	PROTECTIVE TREATMENT Paint door and gutters on building.	08/01/2015	09/01/2015
MC 26-37(A) (2) (B)	ROOFS AND DRAINAGE. Replace roof shingles on building.	08/01/2015	09/01/2015

It is your responsibility to call the inspector when the violations listed above have been corrected. Violations not corrected by the date indicated may result in Municipal Citation(s) being issued at \$691.00 per violation. Permits may be required to complete the work.

Inquiries regarding this notice must be made prior to the deadline date(s) listed above. Recourse to this notice is outlined in Section 26-869 of the Housing Maintenance Code.

Your cooperation will be greatly appreciated.

CITY OF SHEBOYGAN, BUILDING INSPECTION DEPARTMENT

Bob Wallace

Bob Wallace - Inspector
Phone: 920-459-3490
Email: Bob.Wallace@sheboyganwi.gov

BI215D - Inspection Violation Maintenance

F2=Assign Extension Date

Option: (A)dd (C)hange (D)elete

F3=Exit

F4=Prompt (+) For List

F5=Clear Screen

Inspection No: 150120 Location of Property: 1303 N. 11TH ST.

Compliance Deadline Date: 8/01/2015 Date Of Inspection: 3/11/2015

Compliance Date: _____ Deadline Extension Date: _____

Abatement Date: _____ Date Record Added: 3/13/2015

EXTENSION
TO 9-1-15.
GET TO PLANNING
COMMISSION w/ PLAN
BY THEN.
BM

----- Violation -----

Violation Code: IPMC 301.2 (+)
Violation Category: PROTECTIVE TREATMENT
Violation Notes: Paint door and gutters on building.

JERRY

917-0018

- Tuesday -

Extension
B.J.'s Rest

Scott Mantula
980-4884

BI215D - Inspection Violation Maintenance

F2=Assign Extension Date

Option: _ (A)dd (C)hange (D)elete

F3=Exit

F4=Prompt (+) For List

F5=Clear Screen

Inspection No: 150420 Location of Property: 1303 N. 11TH ST.

Compliance Deadline Date: 8/01/2015 Date Of Inspection: 3/11/2015

Compliance Date: _____ Deadline Extension Date:

Abatement Date: _____ Date Record Added: 3/13/2015

----- Violation -----

Violation Code: MC 26-37(A)(2)(B)2 (+)

Violation Category: ROOFS AND DRAINAGE.

Violation Notes: Replace roof shingles on building.

Building Inspection
City Hall
828 Center Ave., Suite 105
Sheboygan, WI 53081-4442



Phone 920/459-4064
Fax 920/459-0210
Email: buildinginspection@ci.sheboygan.wi.us
City Website: www.ci.sheboygan.wi.us

March 13, 2015

MC CABE, GERALD R.
2628 N. 11TH ST.
SHEBOYGAN, WI 53083-4813

Complaint No: 150420

Date of Inspection: 3/11/2015

RE: Housing Code Violation(s) @ 1303 N. 11TH ST.

Parcel No: 200710

Notice to Property Owner(s):

An inspection of the property described above was made as a result of a complaint received by the Building Inspection Department or as the result of a special Neighborhood Revitalization Initiative.

The following condition(s) identified on this property are in violation of International Property Maintenance Code (IPMC), local Municipal Ordinance (MC), or State Code (SC) as listed.

Violation Code	Description	Compliance Deadline
IPMC 304.2	PROTECTIVE TREATMENT Paint door and gutters on building.	08/01/2015
MC 26-37(A) (2) (B)2	ROOFS AND DRAINAGE. Replace roof shingles on building.	08/01/2015

It is hereby ordered that immediate action be taken to rectify the violation(s) and make compliant. Violations not corrected by the Compliance Deadline date may result in a Municipal Citation being issued at \$691.00 per violation. Permits may be required to complete the work.

Inquiries regarding this notice must be made prior to the deadline date(s) listed above. Recourse to this notice is outlined in Section 26-869 of the Housing Maintenance Code.

CITY OF SHEBOYGAN, BUILDING INSPECTION DEPARTMENT

Bob Wallace
Inspector

Complaint #:

150470

NEIGHBORHOOD SURVEY

Insp Date

3/11/15

Address of concern:

1303-7 11th St

302.7 ACCESSORY

302.9 GRAFFITI

304.2 PAINT

Bldg Paint door & gutters

304.2 PAINT

304.5 FOUND WALLS

26-37(2)(B)(2) ROOFS

Bldg Replace Roof shingles

304.10 STAIRS/DECKS

26-37(2)(B)5: HAND/GUARDRAILS

304.13 WINDOWS/DOORS

304.18.3.HATCHWAYS

MC 110-357 HOUSE NOS.

OTHER:

OTHER:

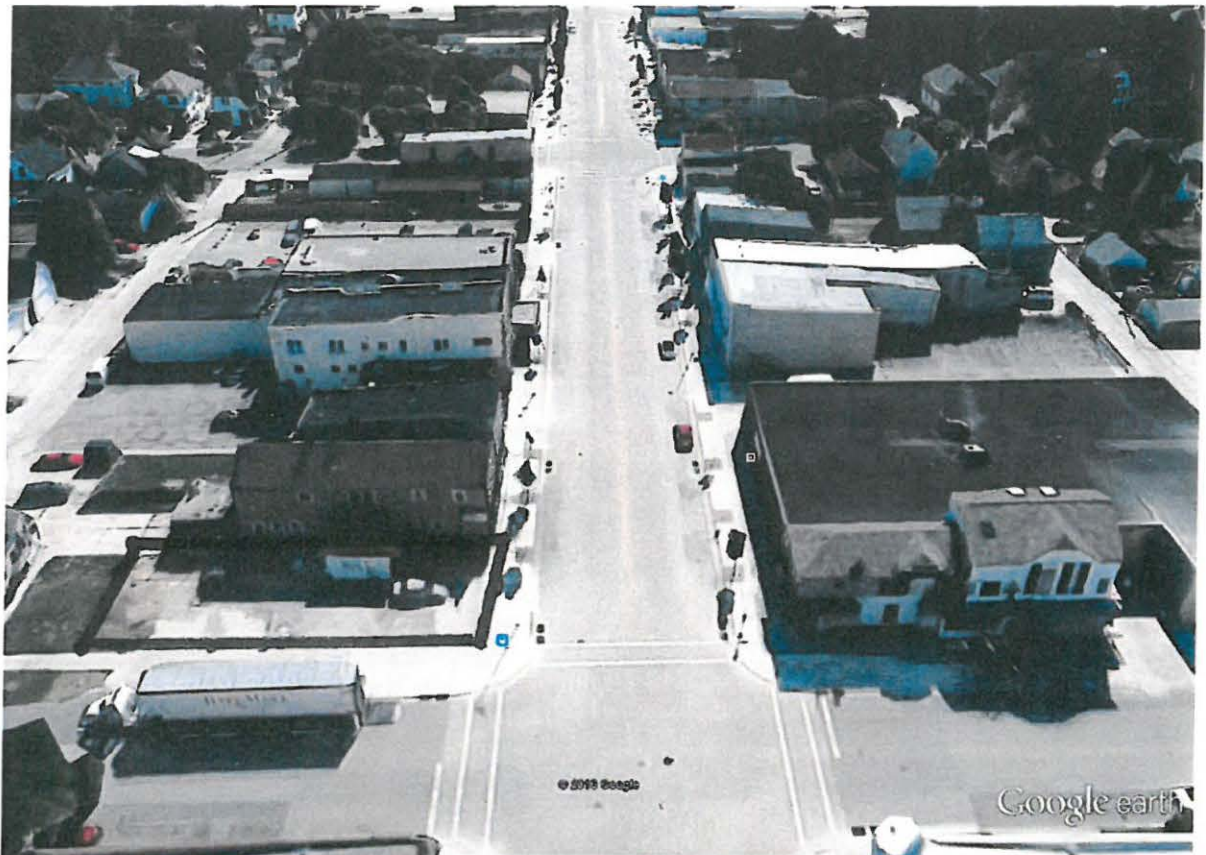
OTHER:

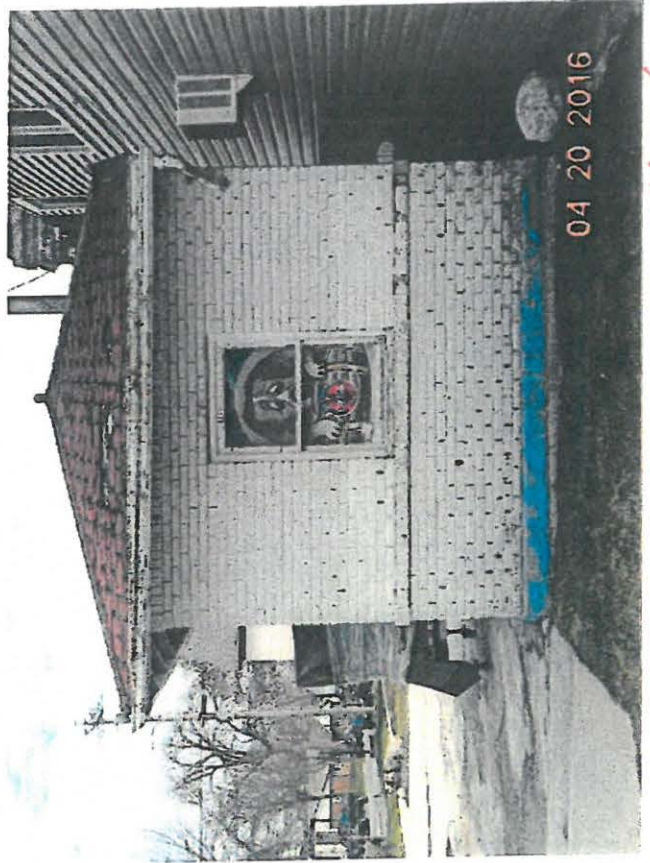
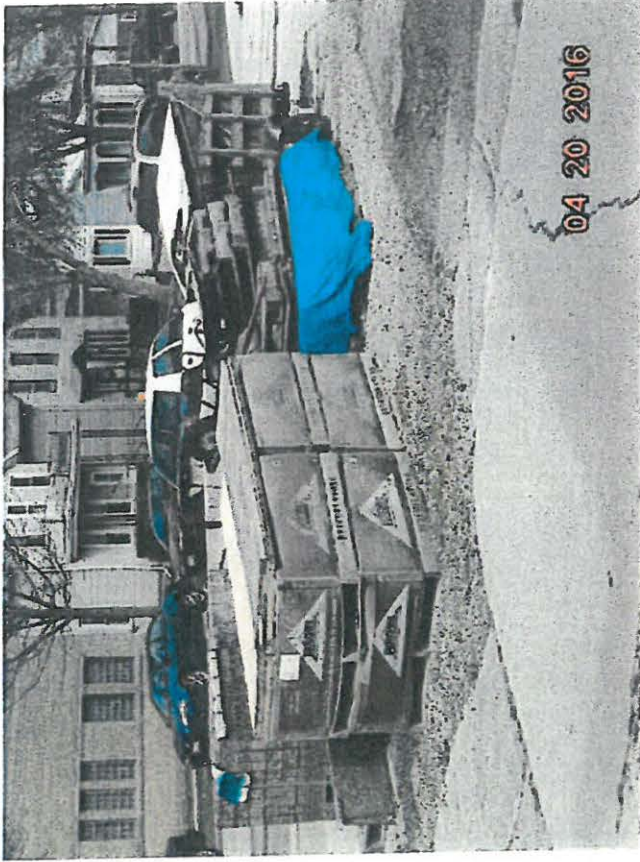
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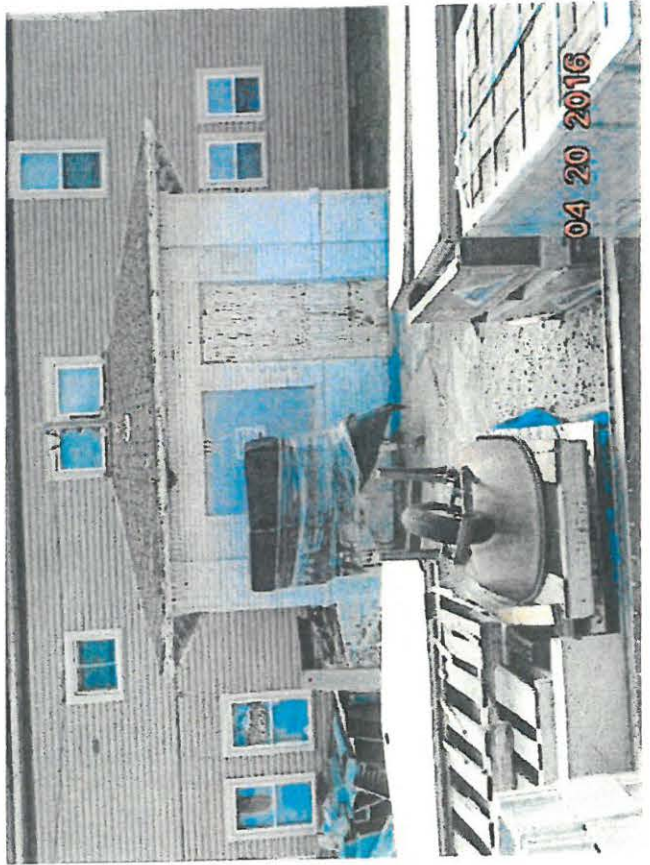
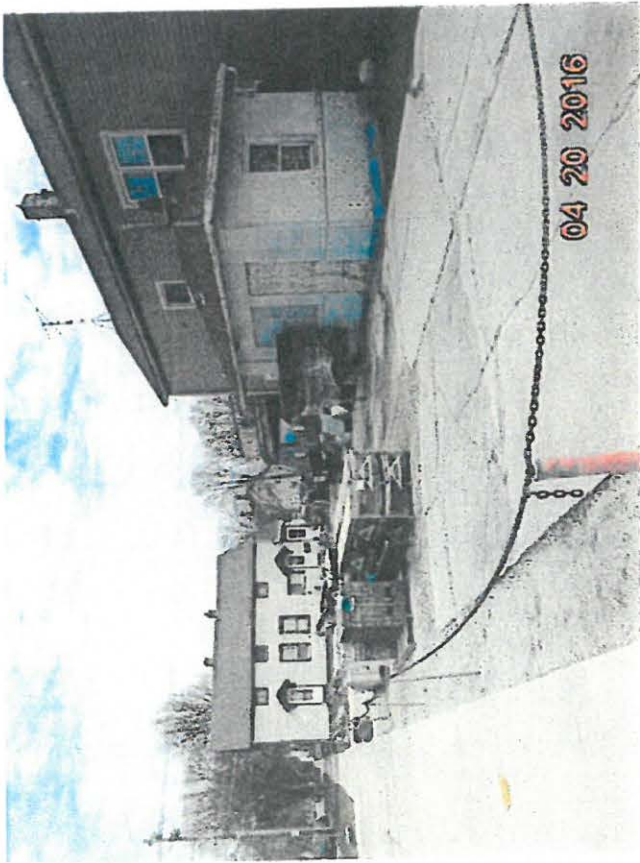
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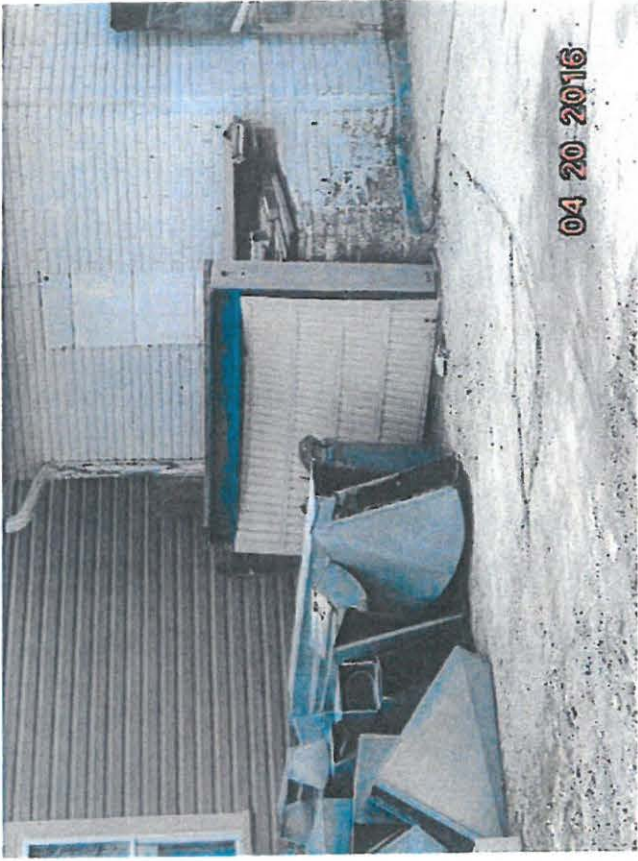
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1303 N 14th St



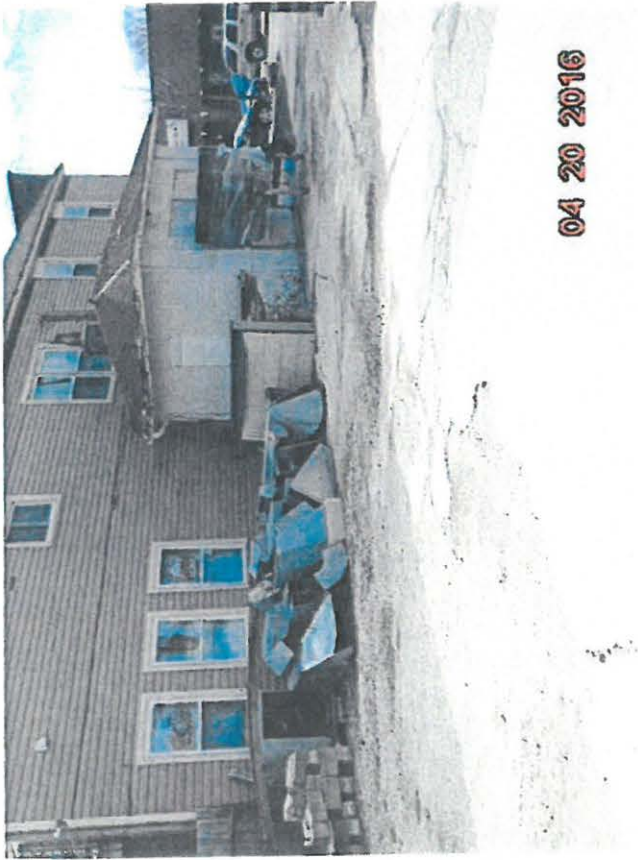


04 20 2016



04 20 2016

1303 N. 11th St



04 20 2016



04 20 2016

CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Conditional Use and variance application by James Klunck to construct a building addition at Klunck Masonry located at 1422 S. 15th Street. NR Zone.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 10, 2018

MEETING DATE: August 14, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

In April of 2018, the Plan Commission approved a conditional use and variance permit by James Klunck to operate Klunck Masonry from the building located at 1422 S. 15th Street. Today, the applicant is proposing a new building addition and states the following about the project:

- Applicant is proposing a 570sf (14 x 40) addition to rear of the building. The existing building is 1,400sf so the building will now be approximately 2,000sf.
- Klunck Masonry has six (6) employees that may increase to 10 employees in the future.
- Typical hours of operation are from 7am to 5pm Monday through Saturday. The building may have some different hours as employees visit the site to either pick up or drop off vehicles, equipment, etc.

The improvements include:

- Applicant is proposing a 560sf addition to the rear of the building (west side of property).
- The proposed addition will have vertical metal siding (off-white to match the siding on the gable ends of the existing building) and a 2-1/4: 12 single slope metal roof (charcoal to match existing) that will slope down to the west.
- There will be a 10 foot wide by 7 foot high sectional overhead door and a 3 foot wide x 7 foot high man door on the east side of the addition.

- New gutters and downspouts will be added on the west side of the addition and will drain into an underground drain tile.
- The interior of the building will have a concrete floor and OSB wall finish and will remain open to serve as a warehouse/ storage space for various concrete forms and tools for the Klunck Masonry business.
- The existing building has painted concrete masonry exterior walls and a standing seam metal gable roof. The walls at the ends of the gable have metal siding.

STAFF COMMENTS:

1422 S. 15th Street is zoned Neighborhood Residential (NR). The NR zone permits single-family and two family residences. An indoor contracting/storage facility is not a permitted or conditionally permitted use in the NR zone. Therefore, the previous business use of this property was a legal nonconforming use (legal because the property/building has been there for many years, nonconforming because a business is not permitted in the NR zone today). Thus, the previous use may continue to operate, however, a legal nonconforming use is not permitted to be extended or enlarged, per the zoning ordinance.

Sections 15.207(3) and 15.207(4) of the City of Sheboygan Zoning Ordinance state:

- ***Extension:*** *A nonconforming use shall not be extended, expanded, enlarged or increased in intensity.*
- ***Enlargement:*** *No building or other structure that is devoted wholly or in part to a nonconforming use shall be enlarged or added to in any manner unless such building or other structure and the use thereof shall thereafter conform to the regulations of the district in which it is located.*

Therefore, the applicant is requesting a variance for this proposed expansion.

The applicant has had a number of vehicles, materials, equipment, etc. located on S. 15th Street and some building materials on the paved area on the south side of the building. The applicant previously informed the Plan Commission that all of his vehicles, materials, equipment, etc. would be stored indoors. In addition, the Plan Commission conditionally approved the last conditional use permit and variance with a condition that there will be no outdoor storage. Staff will be recommending the same condition again for this request. The applicant needs to be aware that he needs to properly maintain his property or citations may be issued to insure compliance.

The applicant is requesting the following variances:

- Requesting to expand a legal nonconforming use – No building or other structure that is devoted wholly or in part to a nonconforming use shall be enlarged or added to in any manner unless such building or other structure and the use thereof shall thereafter conform to the regulations of the district in which it is located.

- Requesting building setbacks of eight (8) feet along the north property line and six (6) feet along the west property line and 5.5 feet along the south property line – Minimum building setback is 25 feet for a legal nonconforming structure to a residentially zoned property.
- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

The applicant shows landscaping on the City of Sheboygan S. 15th Street public right-of-way. All required landscaping must be located on the applicant private property.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and variances subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, storm drainage, hazardous materials, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire/police departments, etc.).
3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
4. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
5. Submittal and approval of a landscape plan prior to building permit issuance (applicant shall meet the landscape point requirements). Landscape plan shall include a legend that shows how the four (4) landscape criteria are being met. Landscaping shall be installed prior to issuance of an occupancy permit.
6. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
7. Outdoor storage of materials, products or equipment shall be prohibited.
8. Applicant shall maintain all of his vehicles, materials, equipment, etc. on his property or inside his building and not on S. 15th Street.
9. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
10. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent streets and/or properties.
11. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall be permitted to install individual letter signs – no cabinet or flat panel signs. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
12. All areas used for parking or maneuvering of vehicles shall be paved.
13. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.

14. Any new or modified ingress/egress driveway openings and any existing driveways to be closed shall be improved to standard City specifications.
15. Applicant will provide adequate public access along the street will take all appropriate actions to minimize the time period that these streets will be closed/affected.
16. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
17. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
18. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
19. Absolutely no portion of the building and/or site improvements shall cross the property lines including but not limited to buildings, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.).
20. If there are any amendments to the approved site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. 509910
MAP NO. _____
ZONING CLASSIFICATION: NR

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 8/14/18

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Klunck Masonry

ADDRESS: 2407 S. 18th Street E-MAIL: _____

PHONE: (920) 452-3899 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Klunck Masonry

ADDRESS OF PROPERTY AFFECTED: 1422 S. 15th Street

LEGAL DESCRIPTION: ORIGINAL PLAT THE E 74.00' OF THE S 54.32' OF THE N 246.32' OF LOTS 1 & 2 BLOCK 301

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE:
The building is currently a warehouse/ storage building for Klunck Masonry.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: **The building use will not change. It will continue to be a warehouse/ storage space for Klunck Masonry.**

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: **The current zoning is NR – Neighborhood Residential. We are requesting variances to the side and rear yard building setback requirements. The site is small and would be impossible to build on with the currently adopted zoning regulations. We are also requesting variances to the required points in the various landscape categories as well as a locational variance. The building and small site size limits the location and space where landscaping can be installed.**



July 30, 2018

Re: Klunck Masonry
1422 S. 15th Street
Sheboygan, WI 53081

Conditional Use Permit – Written Description

The site is located just north of Van Der Vaart Concrete Products on South 15th Street. It is zoned as NR – Neighborhood Residential. There is additional NR zoning to the north of the site and UI – Urban Industrial zoning to the south. We are proposing a 14' x 40' (560 s.f.) addition to the west side of the building.

The proposed addition will have metal siding (off -white to match the siding on the gable ends of the existing building) and a 2-1/4: 12 single slope metal roof (charcoal to match existing) will slope down to the east. There will be one 10' wide x 7' high sectional overhead door and a 3' wide x 7' high walk door on the east side of the addition. New gutters and downspouts will be added on the west side of the addition and will drain into and underground drain tile. The interior of the building will have a concrete floor and osb wall finish and will remain open to serve as a warehouse/ storage space for various concrete forms and tools for the Klunck Masonry business.

The overall look and feel of the existing neighborhood will not be affected by this proposed use because the building is existing, and the business use of the building will not change. There are also businesses to the north and south of the site.

Klunck Masonry currently has 6 employees and may have up to 10 employees in the future. The typical office hours of the business are from 7 am to 5 pm Monday thru Saturday, although this building does not have those hours. Workers will only stop at this site if they need to either pick up or drop off equipment. The building will not increase traffic on the street to any significant degree and will not have an impact on water or sanitary sewer usage.

The previously approved landscape plan called for planting six 18" densiformis yew plants split between the northeast and northwest sides of the building to meet the requirements for new the new paved area. The proposed addition will be placed in the area on the west side of the site where some of the yew plants were to be placed. The existing site is limited in size and there's not a lot of space to plant the required landscaping. Therefore, we propose planting one 75 point climax tree on the northeast part of the site in lieu of the yew plants in order to meet the landscaping point requirements for the new addition as well as the previously submitted paved area.

The proposed development complies with all requirements of Sub-Chapter 15-7. The usage of the property isn't changing and will continue to be used as a warehouse/ storage space with intermittent truck traffic.

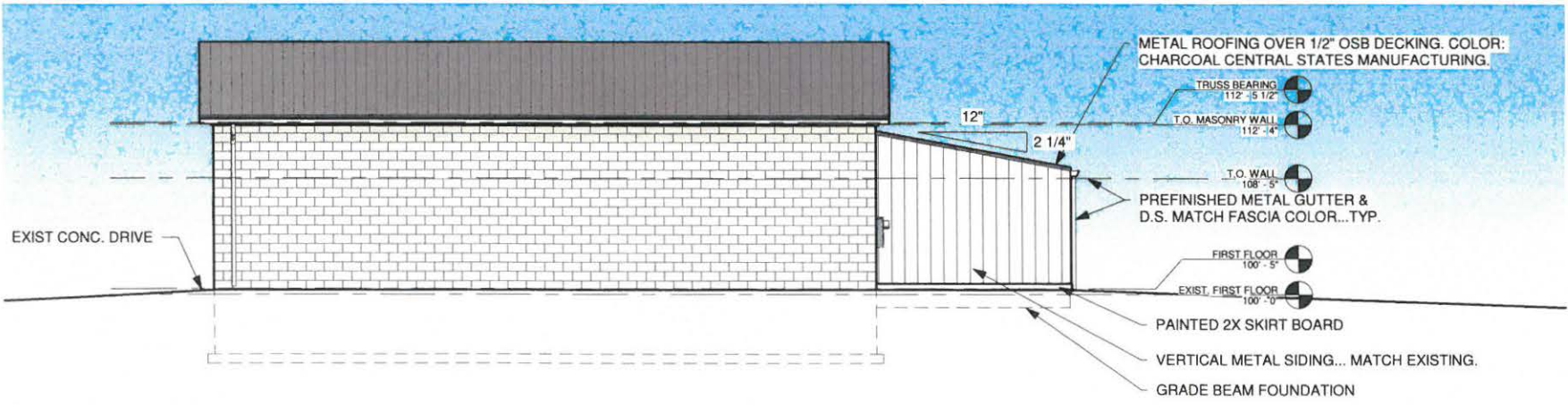
JIM KLUNCK

KLUNCK MASONRY,
1422 S. 15th STREET
SHEBOYGAN,
WI 53081

IF SEVERAL COPIES OF THESE DOCUMENTS ARE BEING PREPARED, THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF DISTINCTIVE DESIGN STUDIO / STUDIOS. PLEASE



EXTERIOR ELEVATION - SOUTH ELEVATION
1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH ELEVATION
1/8" = 1'-0"

REVISIONS

Date	Description
3-21-18	SD DOCS
7-5-18	STOR. PLATFORM
7-23-18	ADDITION

CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

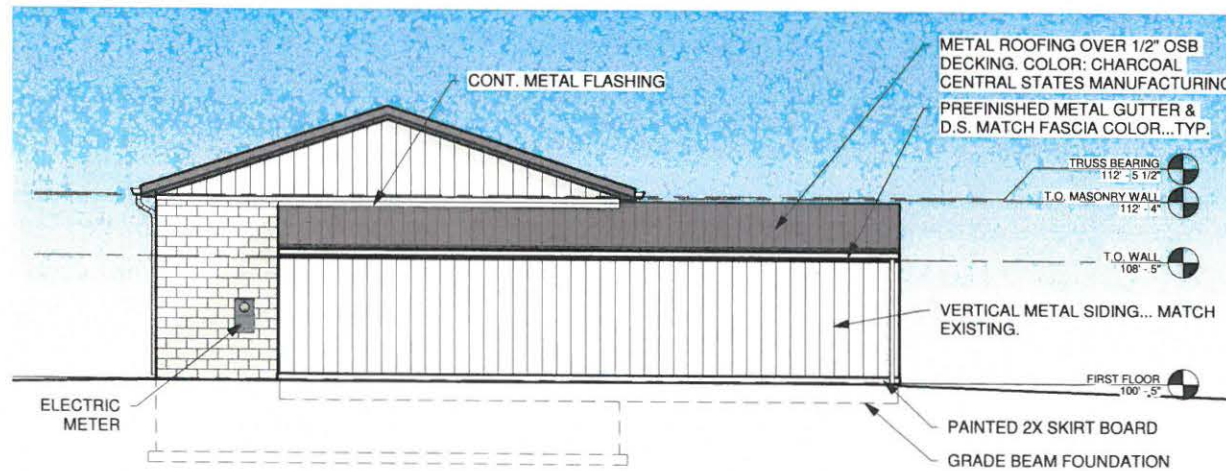
ISSUE DATE: 03/15/18
DRAWN BY: JRA
CHECKED BY: EAJ
PROJECT #: 18-012

A5.1

JIM KLUNCK
KLUNCK MASONRY
1422 S. 15th STREET
SHEBOYGAN,
WI 53081



② EXTERIOR ELEVATION - EAST ELEVATION
1/8" = 1'-0"



① EXTERIOR ELEVATION - WEST ELEVATION
1/8" = 1'-0"

REVISIONS

Date	Description
3-21-18	SD DOCS
7-5-18	STOR. PLATFORM
7-23-18	ADDITION

CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

ISSUE DATE: 03/15/18
DRAWN BY: JRA
CHECKED BY: EAJ
PROJECT #: 18-012

A5.0



CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Conditional Use and variance application by DeLeers Construction to construct Trinity Medical Complex on Superior Avenue just south of N. 35th Street (Parcel #215910). SC Zone.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 10, 2018

MEETING DATE: August 14, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Dr. Aloys Tauscheck is proposing to construct Trinity Medical Complex (Shoreline Skin Specialists Dermatology Clinic) on vacant, undeveloped parcel 215910 located on Superior Avenue. This property is located between Transpo-Mini Storage (3515 Superior Avenue) to the west and Harmony of Sheboygan (3319 Superior Avenue) to the east and Prevea Behavioral Care (3425 Superior Avenue) to the south. The applicant states:

- Shoreline Skin specializes in diseases of the skin, hair, and nails. Including cutaneous manifestations of systemic diseases. Dr. Tauscheck and his staff are experts in the diagnosis and treatment of many diseases, including psoriasis, skin cancers, lupus, and chronic dermatoses. They also treat simple skin conditions such as, acne, warts, and moles. Our staff also administers and monitors systemic treatment, such as Remicade (infliximab) in the infusion center. Our skilled nursing staff has been trained in the latest and innovative techniques in order to provide up to date medical care and management of chronic skin disorders.
- A CLIA approved laboratory is located on-site to facilitate prompt and efficient surgery procedures for the treatment of simple and complicated skin cancers. Dr. Tauscheck has been performing MOHS procedures for over 20 years and has vast surgical experience obtained during his greater than 20 years of emergency room practice.
- Operating hours are typically Monday through Friday from 8AM to 5:00PM.
- The clinic has approximately six (6) employees.

- The proposed one-story clinic building will be 3,045sf (52.5 x 58). The building design is a craftsman architectural style. Exterior materials will consist of cultured stone, LP Smartside lap siding, vinyl shakes with asphalt shingled roof.
- Applicant shows a future slab on the site plan at the southwest corner of the site. The intention is to build a storage building in the future
- Applicant believes that the proposed design and building materials are consistent with the other buildings along Superior Avenue.
- The applicant believes the proposal will add another vibrant businesses and attractive building to Superior Avenue.

Site improvements include:

- This building will be located within the setbacks allowed and will meet all parking and green space requirements.
- Will utilize the shared driveway to and from Superior Avenue.
- New asphalt drives, parking and concrete walks.
- New landscaping.
- New storm water bio retention basin in the front of the property.
- New dumpster enclosure to match building materials.
- Signage will consist of the primary building signage and monument signage identifying the operating business.

STAFF COMMENTS:

Several years ago this property was divided into three (3) lots that would utilize a shared driveway in order to maximize development on this lot. The Prevea Behavior Care facility located at 3425 Superior Avenue was the first project constructed in 2006. The Prevea facility is located at the south end of these properties and has no frontage along Superior Avenue (uses the shared driveway to access Superior Avenue).

There are two (2) additional properties that front Superior Avenue. Trinity Medical Complex will be located on the west side of the shared access drive. The property on the east side of the shared driveway is presently for sale (vacant and undeveloped property).

Applicant shows a future slab on the site plan at the southwest corner of the site. Based on its location (close to and very visible to the Prevea Behavior Care facility), this future shed/garage facility shall be designed to match the main Trinity Medical Complex building in terms of design, colors, materials, etc. The Plan Commission may want to have the applicant explain a timeline for such a structure to be constructed.

No formal sign package has been presented but it is staff understands that the applicant will likely be proposing wall and monument signage in the future. Applicant shall work with staff

with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.

Prevea Behavior Care facility's storm water pond is located on the south end of the Trinity Medical Complex property. The property owners shall work together with regards to all necessary shared agreements (access, storm water, utility, etc.).

The applicant is requesting the following variance:

- Applicant is proposing a sideyard paving setback of zero (0) feet - The minimum paving setback is 5 feet.

There is a zero (0) foot paving setback on the east side of the lot due to the 25 foot shared access easement that is utilized by all three lots to access their properties from Superior Ave.

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and variances subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, storm drainage, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall include a legend that shows how the four (4) landscape criteria are being met. Landscaping shall be installed prior to issuance of an occupancy permit.
4. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
5. Outdoor storage of materials, products or equipment shall be prohibited.
6. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
7. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent streets and/or properties.
8. Applicant shall obtain the necessary sign permits prior to installation.
9. Applicant shall be permitted to install individual letter signs – no cabinet or flat panel signs. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
10. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is 8 feet.

11. All areas used for parking or maneuvering of vehicles shall be paved.
12. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
13. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
14. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
15. Applicant will provide adequate public access along streets and interior roads and will take all appropriate actions to minimize the time period that these streets will be closed/affected.
16. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
17. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
18. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
19. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
20. Future shed/garage facility shall be designed to match the main Trinity Medical Complex building in terms of design, colors, materials, etc. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
21. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, parking, stormwater facilities, utilities, etc.
22. If there are any amendments to the approved site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. 215910
MAP NO. _____
ZONING CLASSIFICATION: SC

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 8/14/18

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: DELEERS CONSTRUCTION
ADDRESS: 1825 NIMITZ DRIVE E-MAIL: _____
DePERL, WI 54115
PHONE: (920) 347-5830 FAX NO. (920) 347-5861

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Trinity Medical Complex
Shoreline Skin Specialists
ADDRESS OF PROPERTY AFFECTED: Parcel # 59281215910
LEGAL DESCRIPTION: Sec 21 T15N R23E Lot 2 of CSM
REC IN VOL 24 P 133 AS DOC # 1881317 ROD
BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: _____
Vacant Lot
DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: New 2805 sq. ft.
Dermatology Clinic
BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: N/A

Aloys L. Tauscheck, MD, JD
1414 North Taylor Drive, Suite 144
Sheboygan, Wisconsin, 53081
Phone: (920) 457-3376
Fax: (920) 458-6510
Email: atderm@yahoo.com
Website: www.shorelineskin.com

Dr. Tauscheck practices clinical dermatology and dermatologic surgery at Shoreline Skin Specialists, S. C. , established June, 1990, in Sheboygan, Wisconsin. He has participated in research activities, authored several articles, and served as medical/legal consultant to various organizations nationally. Current practice activities and interests are psoriasis, biologics in psoriasis, MOHS surgery, contact allergic dermatitis patch testing, participation in clinical trials, discussion groups and speaking engagements.

Attorney Tauscheck has been a member of multiple medical and legal professional societies and organizations including Fellowship in the American College of Legal Medicine. Experience as a trial attorney litigating personal injury, products liability, and medical malpractice cases qualify him to practice before the Eastern and Western Federal District Courts and the Supreme Court of Wisconsin. Attorney Tauscheck continues to litigate selective legal cases as well as serve as a consultant to practicing attorneys and physicians.



Aloys L. Tauscheck, MD, JD

Shoreline Skin Specialists
1414 North Taylor Drive
Sheboygan, WI 53081
(920) 457-3376
Fax: (920) 458-6510

Primary Specialties: Dermatology, Legal
Medicine

Medical Education:

University of Wisconsin, Madison, Wisconsin

Internship:

St. Luke's Medical Center, Milwaukee
Wisconsin

Dermatology Residency:

University of Wisconsin Hospitals and
Clinics, Madison, Wisconsin
University of Wisconsin Law School
Madison, Wisconsin
Marshfield Clinic, 1981-1982, Marshfield,
Wisconsin

Board Certification: Dermatology

8

Written Description-Conditional Use Application

Trinity Medical Complex

Sheboygan, WI 53081

Existing Land Use

Single Tenant Building-

Shoreline Skin Specialists-Dermatology Clinic

Proposed Land Use

Reason for site selection

Vacant lot is owned by the developer, is in an area of medical buildings that our Dermatology clinic will compliment

Estimated Employees

6

Access

Access will be off of the center private drive

Drive-Up Window

None

Site Data

Total Site Area: 30254 sq.ft. (0.69 acres)

Building Footprint Area: 2908 sq.ft.

Pavement, Concrete & Misc.: 8102 sq.ft.

Total Impervious area: 11010 sq.ft.

Landscape Area Remaining: 22152 sq.ft.

Density and Intesity Requirements

Minimum Landscape Surface Ration 9(LSR): .25

-39

Minimum Lot Area (MLA): 4500 sq.ft. min with conditional use permit

- 30254 sq.ft. acatual

Maximum Building Size (MBS):

2906 sq.ft. actual

Setbacks

Building Front or Street Lot Line (Superior Ave.)- 40'

-61.12' actual

Building to Nonresidential Side Lot Line – 10' on west side/25' access easement on east side

-10' actual on west side

-25.44' actual on east side

Building to Nonresidential Rear Lot Line- 10'

-1080.29' actual

Minimum Paved Surface Setback: 25' from Front or Street Lot Line- 5'

-N/A

Minimum Paved Surface Setback: 5' from Side/Rear Lot Line

-5' actual on side lot lines

-47.07' on rear lot line

Maximum Building Height: 50'

-22' actual

Parking Requirements

Minimum Number of Off-Street Parking Spaces Required on the Lot:

Regular-1 per employee and 1 per room = 8 stalls

Handicap-1 per 25 stalls = 1 stalls

Total required = 9 stalls

Or

Regular-1 per 300 sq.ft. of floor area = 10 stalls

Handicap-1 per 25 stalls = 1 stalls

Total required = 11 stalls

Summary of Improvements

Improving the vacant lot with a new attractive building grading and landscaping.

Building Design

The building design is a craftsman architectural style. With LP smart side lap siding, vinyl shake shingles in the gables, with cultured stone accents on the walls facing Superior Ave. and the private drive. This building will complement the Prevea building at the end of the private drive.

Landscape Requirements

Landscape plan submittal complying with all standards per City of Sheboygan Zoning Ordinance Subchapter 15-6 to be provided at time of permitting

Performance Standards/Potential Nuisances

All performance standards shall comply per City of Sheboygan Zoning Ordinance Subchapter 15-7 to ensure this development will not become a nuisance to adjacent property owners.

Taking this vacant lot and improving it with the new proposed building , grading and landscaping with enhance the immediate are. This dermatology clinic will also compliment the other medical buildings in the area. The access to the parking lot off of the private street will not be a nuisance to the existing Prevea building at the end of the street with our access twords the middle of the drive and with on average only 30 clients per day utilizing our site.

Site Lighting

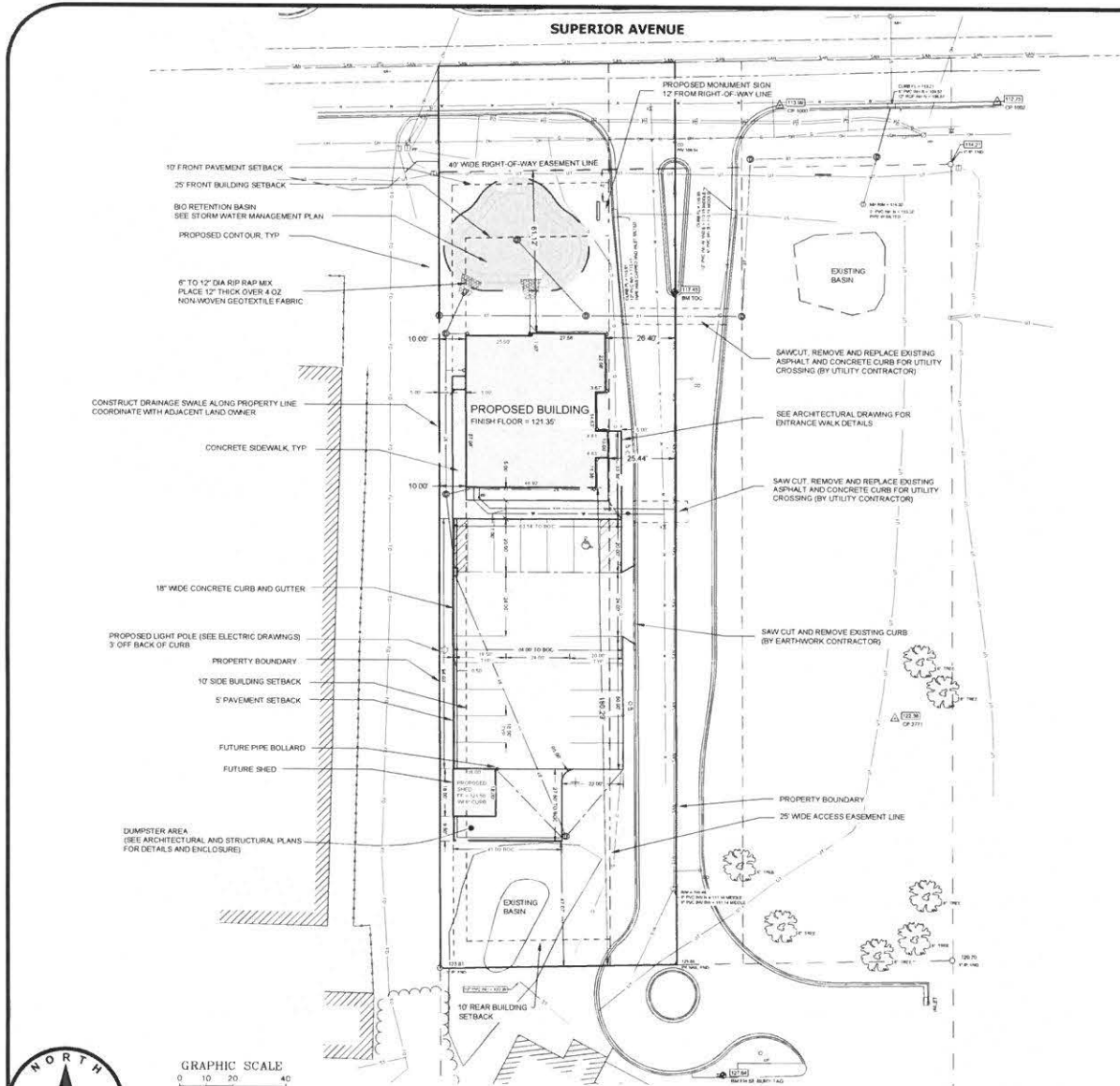
Site lighting to be provided via single pole mounted fixture in the parking lot and three building mounted light fixtures. Styles and heights to match the architectural style of the building

Signage Regulations

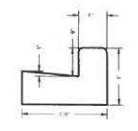
A formal signage submittal per City of Sheboygan Zoning Ordinance Subchapter 15-8 to be provided at a future date

Written Justification

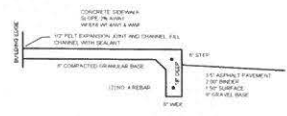
This Superior Ave. area is a mix of commercial businesses, medical, office and professional service uses. Our Dermatology clinic will enhance the area and compliment the surrounding businesses. It is our belief that this development is in following with the comprehensive master plan and will not provide a nuisance, but rather benefit the surrounding area.



- BUILDING: 4" CONCRETE (SEE ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY)
6" GRANULAR BASE (GRAVEL)
- GARAGE AND DUMPSTER APPROACH CONCRETE: 6" REINFORCED CONCRETE
6" CRUSHED AGGREGATE 3/4" BASE COURSE
- MEDIUM DUTY ASPHALT PAVEMENT
PARKING LOTS: 3.5" ASPHALT
9" CRUSHED AGGREGATE 3/4" BASE COURSE
- SIDEWALK CONCRETE: 4" CONCRETE
6" GRANULAR BASE (SAND OR GRAVEL)
- TOPSOIL REPLACEMENT: 6" TOPSOIL MINIMUM



18" CONCRETE CURB & GUTTER
SCALE: 1" = 1'



TYPICAL BUILDING SIDEWALK DETAIL AT PARKING STALLS



GRAPHIC SCALE
0 10 20 40
1 inch = 20 ft.
FOR 24" X 36" PRINT

NOTES
1. BUILDING DIMENSIONS REPRESENT THE OUTSIDE DIMENSION OF THE FOUNDATION WALL DISTANCES FROM THE FOUNDATION WALL ARE PERPENDICULAR TO THE PROPERTY LINE.

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No.	Revision	Date
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4		
3		
2		
1		

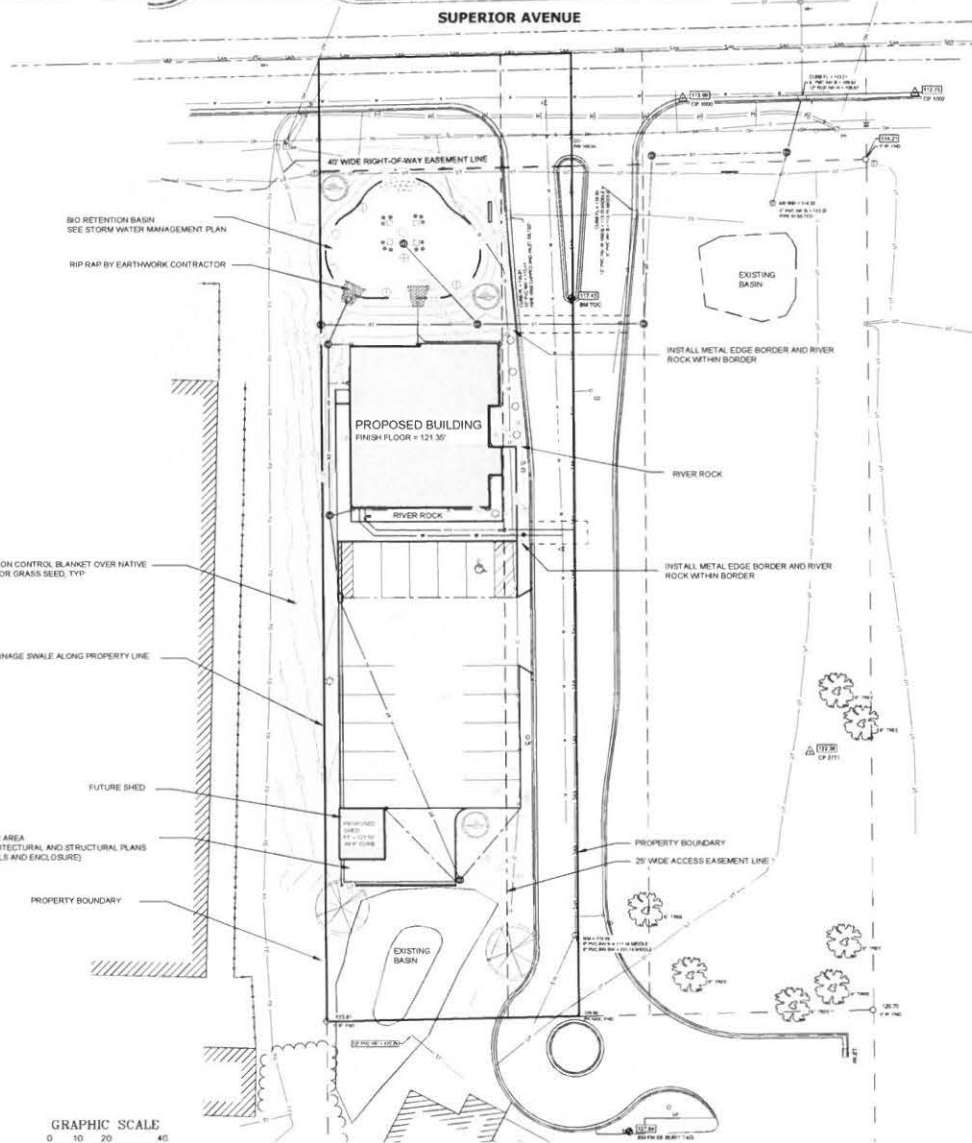


Shoreline Skin Specialists
Dr Al Tauscheck
LOT 2 Superior Avenue
Sheboygan, Wisconsin

DATE
7/31/18

3

SITE PLAN



GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 ft
 FOR 24" X 36" PRINT

LANDSCAPING POINTS

REQUIRED POINTS		
FOUNDATION	40 POINTS PER 100' OF FOUNDATION	222 80 POINTS REQUIRED
FLOOR AREA	10 POINTS PER 1,000 SF OF FLOOR AREA	2,044 SF 30 POINTS REQUIRED
STREET FRONTAGE (SUPERIOR AVENUE)	40 POINTS PER 100' OF STREET FRONTAGE	80 30 POINTS REQUIRED
PAVED AREA	80 POINTS PER 10,000 SF OF PAVED AREA	7,030 SF 56 POINTS REQUIRED
TOTAL POINTS REQUIRED		211 POINTS

PROPOSED POINTS

SYMBOL	ID	COMMON NAME	SIZE	QUANTITY	POINTS	TOTAL
		ACER SACCHARUM SUGAR MAPLE	2" CALIPER	2	75	150
		MALUS SP FLOWING CRABAPPLE	4" TALL	3	10	30
		CORNUS SP. PAGODA DOGWOOD	36" TALL	5	10	50
		ROSA SP. VIRGINIA ROSE	24" TALL	5	3	15
		ARONIA MELANOCARPA GLOSSY BLACK CHOKEBERRY	24" TALL	1	0	0
		PURPURASCENS FLAME GRASS	36" TALL	4	0	0
		MATTEUCCIA STRUTHOPTERS OSTRICH FERN	18" TALL	1	0	0
		RUDBECKIA HIRTHA BLACK-EYED SUSAN	18" TALL	16	0	0
		ECHINACEA PURPUREA PURPLE CONEFLOWERS	18" TALL	12	0	0
TOTAL POINTS PROPOSED						245 POINTS

LOCAL VARIANCE REQUESTED

LANDSCAPE NOTES:

- PLACE 4" THICK 1" TO 3" DIA RIVER ROCK BETWEEN THE EAST SIDE OF THE BUILDING, EXISTING CURB, AND METAL EDGING (SEE PLAN FOR LOCATION). ALSO PLACE BETWEEN THE SOUTH SIDE OF THE BUILDING AND SIDEWALK. INSTALL LANDSCAPE FABRIC AT BASE OF STONE. TOP OF ROCK SHALL BE FLUSH WITH TOP OF ADJACENT GRASS GRADE AND SLIGHTLY BELOW TOP OF CURB AND SIDEWALK. ROCK BASE TO SLOPE AWAY FROM BUILDING. RIVER ROCK AREA = 800 SQUARE FEET
- INSTALL 4" METAL LANDSCAPE EDGING AT THE EAST SIDE OF THE BUILDING NEAR ENTRANCE AS SHOWN. TOTAL LENGTH = 15 FEET
- INSTALL CURL EX EROSION CONTROL BLANKET PER STANDARDS, AND AT LOCATIONS SHOWN ON THE LANDSCAPE PLAN. TOTAL AREA = 820 SQUARE YARDS
- PREPARE ALREADY PLACED ROUGH TOPSOIL, FURNISH AND INSTALL PULVERIZED TOPSOIL AS NEEDED, PICK STONES, GRASS SEED (STANDARD LAWN MIX), STRAW MULCH OR HYDRIC SEED, AND EROSION MAT. TOTAL AREA (INCLUDES AREA UNDER EROSION MAT) = 1,100 SQUARE YARDS
- PLACE 3" THICK HARDWOOD MULCH AT TOP OF BIO-RETENTION BASIN (SEE STORM WATER MANAGEMENT PLAN). DO NOT USE EQUIPMENT WITHIN BASIN. USE WHEEL BARRELS TO PLACE MULCH AND PLANTINGS. TOTAL AREA = 200 SQUARE YARDS
- PLACE 6" THICK HARDWOOD MULCH AROUND BASE OF ALL TREES WITHIN GRASS AREA, 6" DIAMETER CIRCLE
- STAKE ALL TREES OF 1.5" (OR 3" TALL) AND LARGER, WITH THREE PIECE STAKE KIT
- SEE GRADING PLAN AND UTILITY PLANS FOR ADDITIONAL INFORMATION

Date	Revision
	5
	4
	3
	2
	1



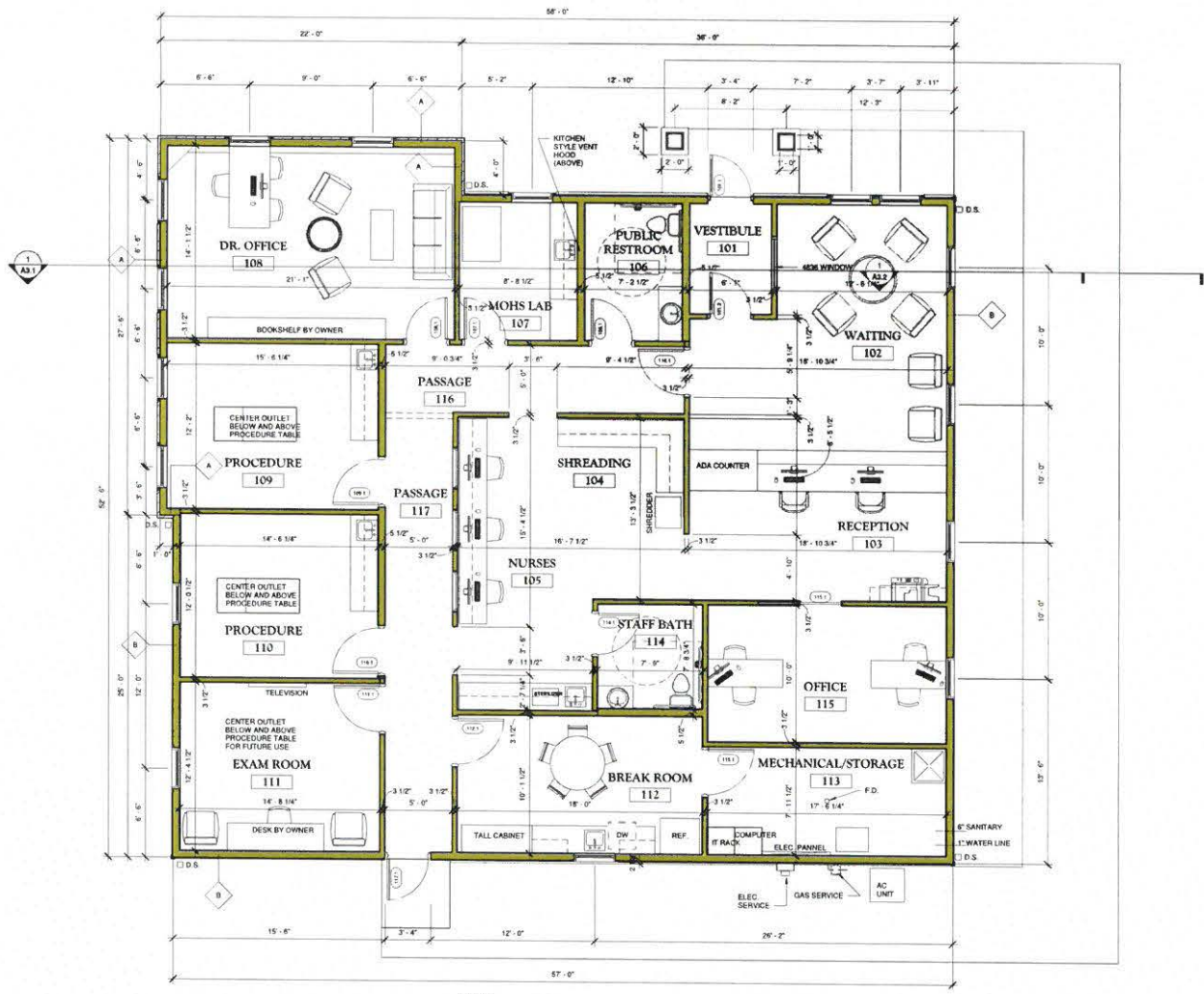
Shoreline Skin Specialists
 Dr Al Tauscheck
 LOT 2 Superior Avenue
 Sheboygan, Wisconsin

DATE
 7/31/18

7

LANDSCAPE PLAN

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WALL TYPE 2" BRICK VENEER 3/8" AIR GAP (2) LAYERS 15 LB. FELT 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS AT 16" O.C. R-23 BIBS INSULATION 5/8" GYPSUM WALL BOARD	
WALL TYPE VINYL SIDING 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS AT 16" O.C. R-23 BIBS INSULATION 5/8" GYPSUM WALL BOARD	

EXTERIOR WALL TYPES
10-211

FIRST FLOOR PLAN
10-211
300 S.G.P.T.

PRELIMINARY - NOT FOR CONSTRUCTION

TRINITY MEDICAL COMPLEX
DR. TAUSCHECK
Sheboygan, WI

DESIGNER:	DELEERS
CONTRACT NO.:	
DATE:	
PROJECT MANAGER:	AMY LARK
DESIGNED BY:	AMY LARK
DRAWN BY:	AMY LARK
CHECKED BY:	
DATE:	

DATE:	6.5.18
SHEET:	A1.1

DELEERS
CONSTRUCTION, INC.
1825 Nimtz Drive, Suite A | De Pere, WI 54105
P 920.347.5830 | deleers.com

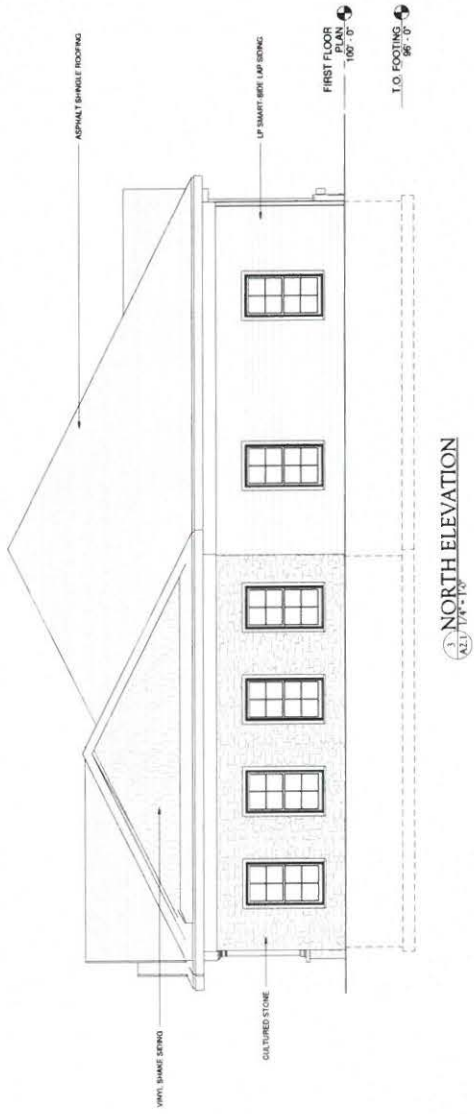
PRELIMINARY - NOT FOR CONSTRUCTION



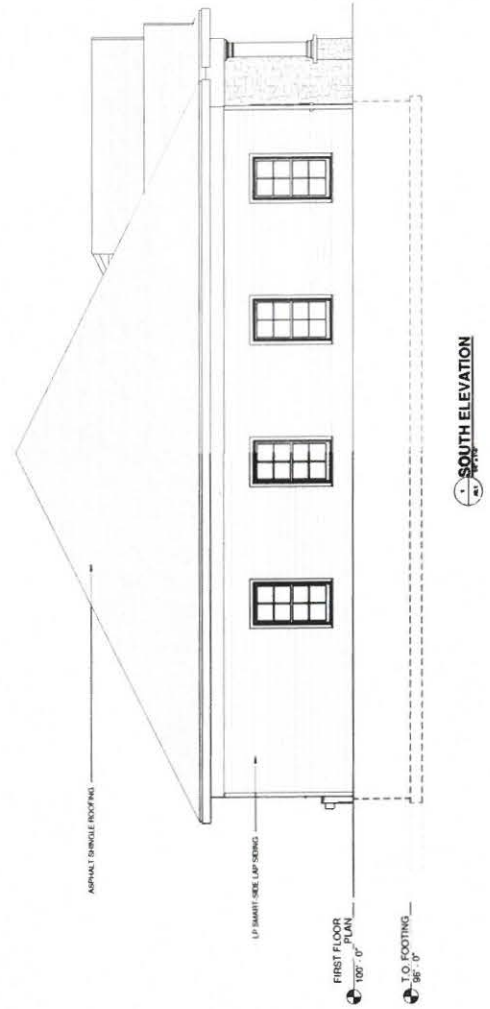
TRINITY MEDICAL COMPLEX
 DR. TAUSCHER
 Sheboygan, WI

DESIGN NO. _____
 CONTRACT NO. _____
 DATE _____
 PROJECT MANAGER _____
 DRAWN BY _____
 CHECKED BY _____

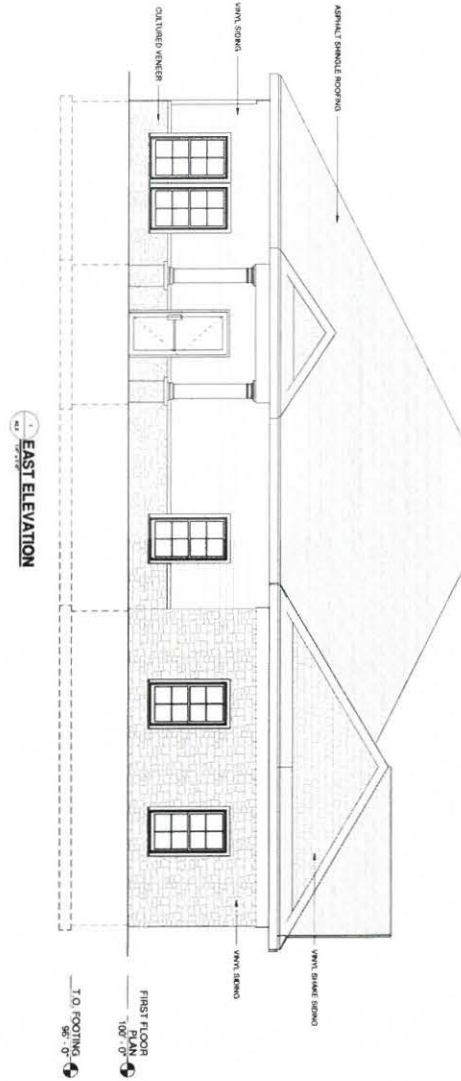
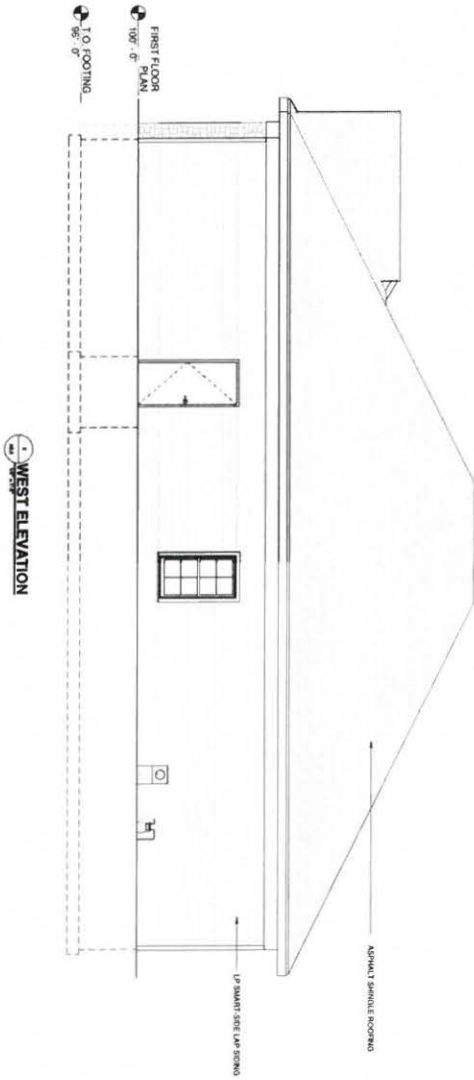
REVISIONS
 NO. DATE DESCRIPTION
 SHEET **A2.1**



NORTH ELEVATION



SOUTH ELEVATION



PRELIMINARY - NOT FOR CONSTRUCTION

A2.2	DATE	REVISIONS
	7.20.18	4.20.18

BUSINESS DEV ASSOC:	DESKA NO:
DESIGNER: Mike Cochran	CONTRACT NO:
DRAWN BY: Jeremy Lueck	"COPYRIGHT NOTICE"
PROJECT MANAGER:	

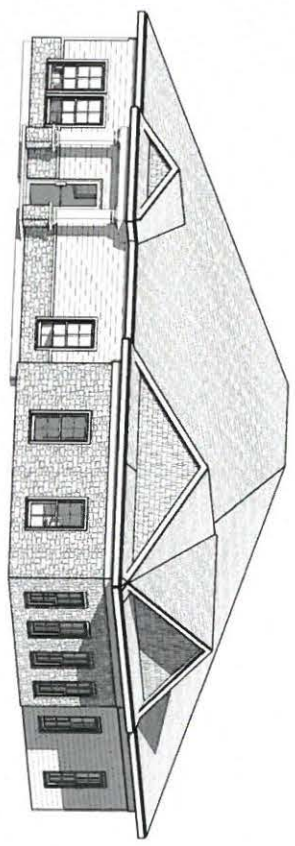
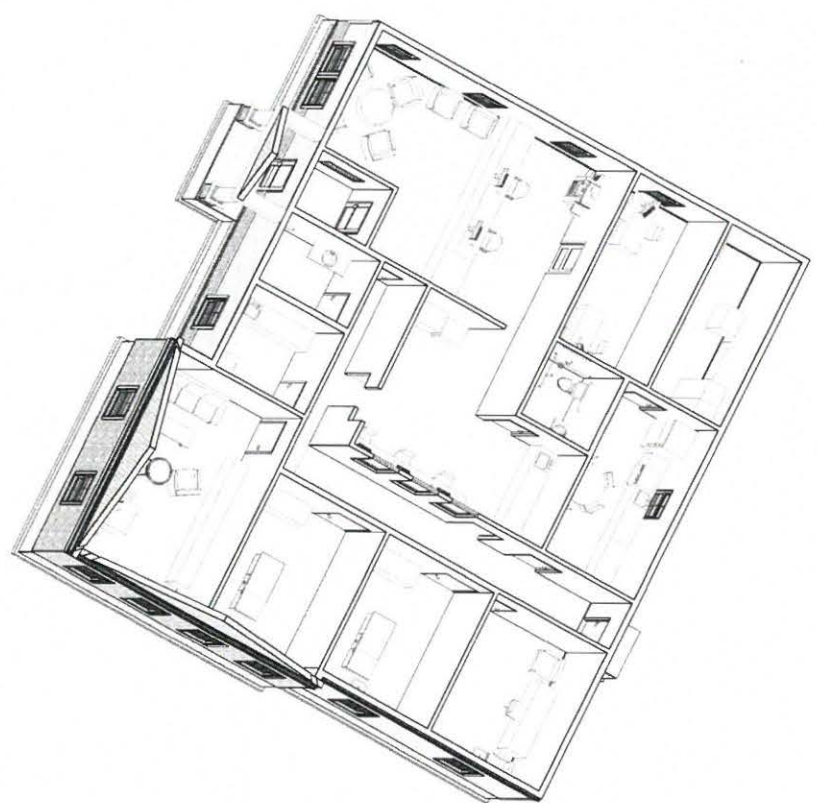
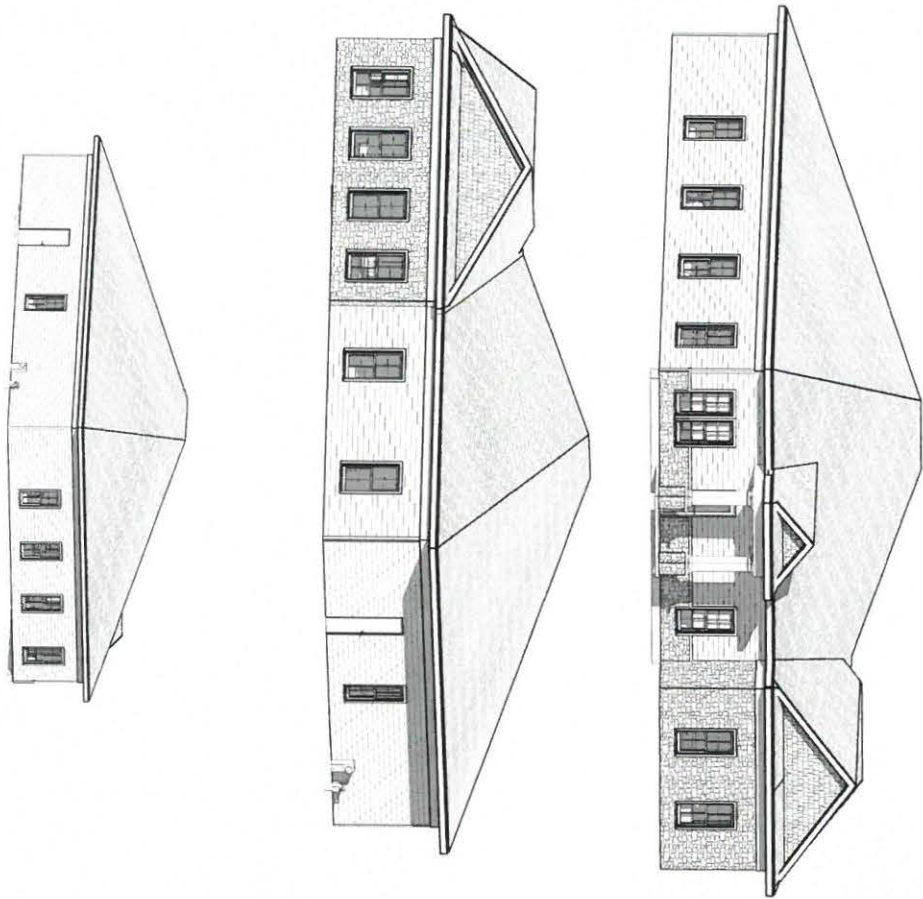
TRINITY MEDICAL COMPLEX
DR. TAUSCHECK

Sheboygan, WI

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A2.3

REVISIONS:
 4.28.18
 7.20.18

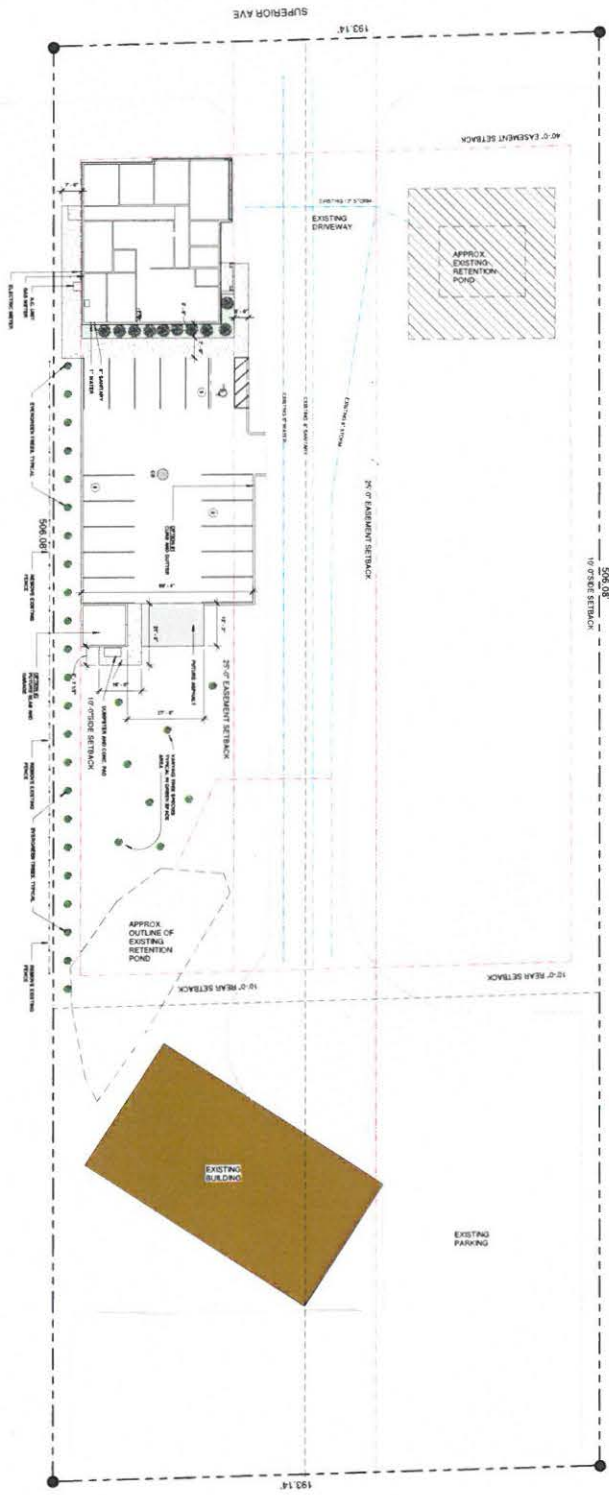
BUSINESS DEV. ASSOC.:
 DESIGNER: Mike Carlson
 DRAWN BY: Jeremy Lorch
 PROJECT MANAGER: Jeremy Lorch

DESIGN NO.:
 CONTRACT NO.:
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C1.0
 REVISIONS
 6.25.18
 7.26.18

BUSINESS DEV. ASSOC.: Mike Cushman
 DESIGNER: Jeremy Lorch
 DRAWN BY: Jeremy Lorch
 PROJECT MANAGER: _____

DESIGN NO.: _____
 CONTRACT NO.: _____

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BLOOM FAMILY DENTAL



COULIS CARDIOLOGY



PREVEA SHEBOYGAN HEALTH CENTER



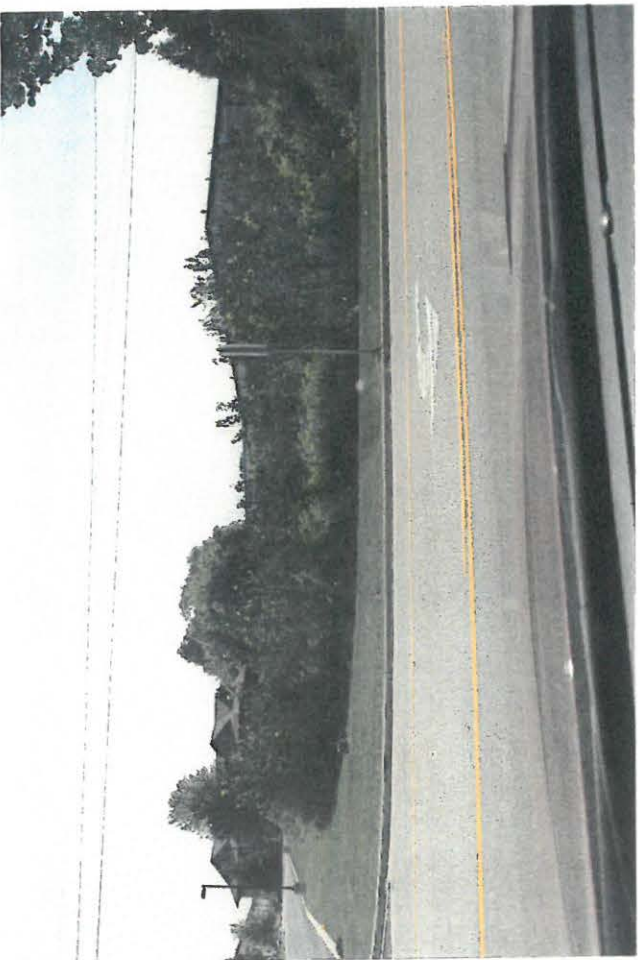
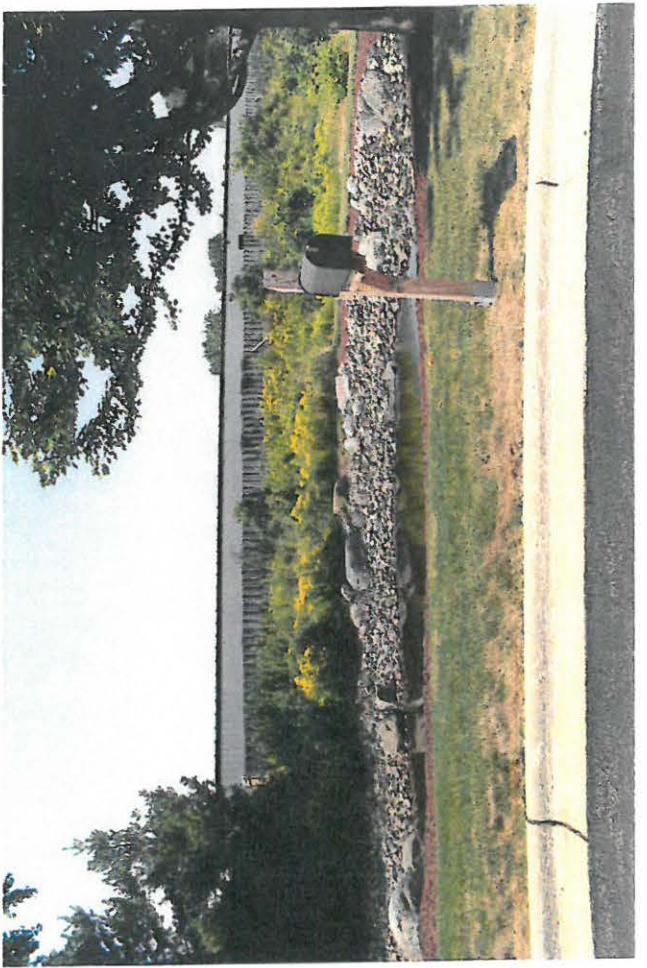
PREVEA SHEBOYGAN HEALTH CENTER

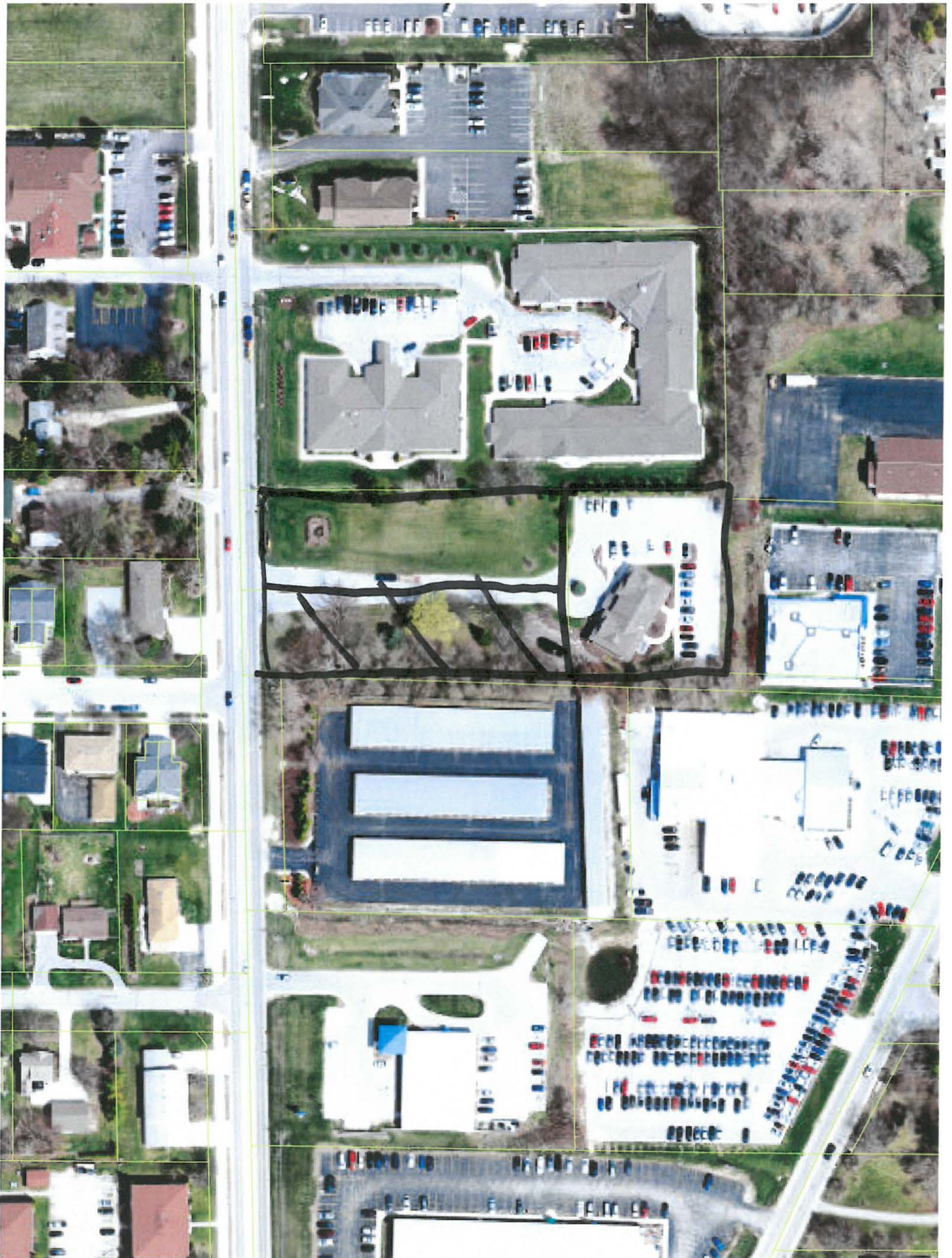


CHILD'S PLAY CHILDCARE



ENDODONTIC SPECIALISTS





CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Site Plan Application by HSHS St. Nicholas Hospital to modify sections of their existing parking lot and access drives at 3100 Superior Avenue. SO Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 10, 2018

MEETING DATE: August 14, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

HSHS St. Nicholas Hospital is proposing to modify sections of their existing parking lot and access drives at 3100 Superior Avenue. The applicant states the following:

- The project is being completed due to the movement of driveways as a part of the 2019 reconstruction of Superior Avenue from Taylor Drive to N. 29th Street by the Wisconsin Department of Transportation (WisDOT). Due to some of the driveways being removed and others being relocated, some changes to the parking lot and site drainage will also be required.
- As a part of the WisDOT project five (5) driveways will be closed to be replaced by two (2) driveways. A sixth driveway will be expanded at its current location. The changes to the driveways in terms of location and composition are completely a decision by WisDOT and the City of Sheboygan. St. Nicholas Hospital is simply modifying their parking lot to accommodate these changes.
- These changes will in no way affect the current use of the property, nor the structure in any way. Operations will continue in the same way as before the project was undertaken.

Site improvements along Superior Avenue include:

- Removal of the western most Superior Avenue driveway approach and addition of new drive lane closest to Taylor Drive (southwest corner of the St. Nick's property).

- Relocation of the Superior Avenue driveway approach on the east side of the parking lot to align with N. 31st Street.
- Due to the realigned driveway at N. 31st Street, the east side of the Superior Avenue parking lot and drive lane will also be reconfigured to continue to provide access to the emergency room and hospital entrance canopy.
- Removal of the existing driveway approach between N. 30th and N. 31st Street that leads to the parking lot on the east side of the hospital (by the heliport). That east parking lot will now access the driveway approach at N. 30th Street. What is the hospital's intention with this drive since it is no longer being used – is this going to be landscaped?

Site improvements along Taylor Drive include:

- Removal of two (2) Taylor Drive driveway approaches (south parking lot and north parking lot along Taylor Drive).
- Addition of a new ingress/egress driveway lane along Taylor Drive (just to the north of the existing norther driveway to be removed). A new full median cut will be located in this section of Taylor Drive that will permit full turning movements to both north bound and south bound traffic on Taylor Drive.
- Several new parking spaces will be constructed where the northern access drive is to be closed south of the new access drive to be constructed along Taylor Drive.

STAFF COMMENTS:

It does appear that some landscaping will be impacted by the new drive lane constructed at the southwest corner of the property. Applicant will work with and provide City staff a new landscape plan that addresses the new areas as well as the areas where landscaping is to be removed (replace the existing landscaping).

In general, the effort by the WisDOT project is to limit the number of driveways onto both Taylor Drive and Superior Avenue. The reduction in the number of driveways and the increased distance of these driveways from the busy Superior Avenue and Taylor Drive intersection should improve flows along these streets.

ACTION REQUESTED:

Staff recommends approval of the site plan subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a proposed landscape plan prior to building permit issuance.
4. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.

5. Outdoor storage of materials or equipment shall be prohibited.
6. All lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets. In no instance shall the amount of illumination attributable to exterior lighting, as measured at the property line, exceed 0.50 footcandles.
7. All areas used for parking/maneuvering of vehicles shall be paved.
8. All areas that are not required to be paved shall be grass and/or approved landscaping.
9. Applicant shall meet the minimum required paving setback of 10 feet for all new areas to be paved.
10. Any new ingress/egress driveway openings and any driveways to be closed or modified shall be improved to standard City specifications.
11. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
12. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications.
13. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
14. If there are any amendments to the approved conditional use permit and/or site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Site Plan Application and required attachments.

PARCEL NO. 631520
MAP NO. _____
ZONING CLASSIFICATION: SO

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 8/14/18

FILING FEE: \$100.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
SITE PLAN REVIEW APPLICATION
(Requirements Per Section 15.908)
Revised May, 2012

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Jeff Jacobs
ADDRESS: 3100 Superior Avenue Andrew Schultz
E-MAIL: marie.bemis@hshs.org andrew.schultz@Graef-USA.com
PHONE: (920) 451-7465 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: **HSHS St. Nicholas Hospital**
ADDRESS OF PROPERTY AFFECTED: 3100 Superior Avenue
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE:

Existing Parking Lot and Driveway Entrances to St. Nicholas Hospital

BRIEF DESCRIPTION OF **PROPOSED** OPERATION OR USE:

Parking Lot and Driveway Entrances to St. Nicholas Hospital

BRIEF DESCRIPTION OF TYPE OF STRUCTURE:

N/A

3. NAME AND ADDRESSES



collaborāte / formulāte / innovāte

City of Sheboygan Site Plan Narrative

St. Nicholas Hospital currently sits on the property that will be improved by this project. The project is being completed due to the movement of Driveways as a part of the reconstruction of Superior Street and Taylor Avenue by the Wisconsin Department of Transportation (WisDOT). As a part of the WisDOT project five driveways will be closed to be replaced by two driveways. A sixth driveway will be expanded at its current location. The changes in the driveways and their new locations and their composition is completely a decision by WisDOT and the City of Sheboygan. St. Nicholas Hospital is simply conforming their parking lot to accommodate these changes. A drawing containing the proposed changes over an existing aerial is included in the submittal package, as well as a full set of plans, to give a better idea of how the changes that are outlined below.

In general, the effort by the WisDOT project is to limit the number of driveways onto both Taylor Street and Superior Avenue. The driveways that remain will be realigned to match new median openings or align with city streets. Along Taylor Street the southern two driveways will be closed. A new driveway will be constructed 110 feet north of the second driveway north of Superior Avenue. This new driveway will line up with an expanded median opening along Taylor Avenue. This expanded opening will allow for southbound drivers to access the Hospital from Taylor Street which is not currently possible. Along each of the current driveways into the hospital campus will be affected. The first three driveways east of Taylor Street will be closed. A new driveway will be constructed across from 31st Street. This new driveway will serve as the main entrance to St. Nicholas Hospital. The final driveway along Superior Avenue will be reconstructed, expanded, and shifted to align with 30th Street. The reduction in the number of driveways and the increased distance of these driveways from the busy Superior Avenue and Taylor Street intersection should improve flows along these streets.

The movement and closure of the driveways will also necessitate additional changes within the parking lot to maintain the flow of the parking lot and to address drainage issues created by the movement of the driveways. These changes will in no way affect the current use of the property, nor the structure in any way and operations will continue in the same way as before the project was undertaken. The new driveway off of Taylor Street will eliminate several parking spaces. These spaces will be replaced at the old driveway location directly to the south. All of these spaces will be located approximately 30 feet from the right of way along Taylor Street to maintain required setbacks.

In the southwest corner of the lot an additional driving lane will be added to improve the overall flow of the lot. This will create a full driving lane on the outside of the lot throughout the main lot for the hospital. The main entrance for the hospital will be moved 60 feet to the west, and a new drive lane will be created so that drop-offs to the hospital can still utilize the existing canopy. This will eliminate most of one aisle of parking. Some of the parking will be replaced along the new drive lane. Overall the project will eliminate 26 stalls and add back 24 stalls. This is a net reduction of only 2 spaces in the entire lot. Additionally, the new main entrance will need to be placed over an existing drainage detention feature. This will be replaced at the location of the existing main entrance. All of the existing drainage will be maintained and due to an improved collection system less water will flow offsite via driveways directly into the city's storm sewer system. Instead more of the runoff will enter the detention features on site which will slowly release runoff into the city's storm sewer system. The most easterly driveway along Superior Avenue will be expanded and shifted slightly to align with 30th Street. This widened drive will continue up to the Medical Arts Building (MAB) where the existing drive lane curves sharply around the building. The new wider drive will correct this. The driveway that currently serves the ambulance bay will be eliminated so a new access road will be created from the drive lane to the MAB to service the ambulance bay. In addition to the roadway improvements a few other ancillary features will be added. Sidewalk will be placed along the east side of the new main entrance that will continue into the site to match in near the canopy for the main building entrance. Sidewalk will also be added along the west side of the drive lane to the MAB. Currently sidewalk ends prior to the parking for the MAB this will allow pedestrians facilities all the way to the MAB without walking through the parking lot. As a part of this project signage and light poles at the existing driveways will be relocated to accommodate new driveway locations.

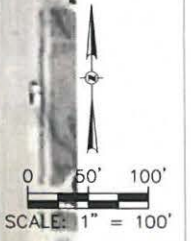
The new ambulance bay access route and a portion of the drive lane near the Medical Arts Building will be built in the Fall 2018 so that there is no interruption of access during construction. The rest of the improvements will be made in the Spring/Summer of 2019 as construction progresses on the WisDOT project.

Proposed design complies with all requirements of Sub-Chapter 15-7, but other areas of the parking lot that isn't being affected by the changes in the driveways has not been assessed for compliance. Although there may be future expansions at St. Nicholas Hospital in the future this project is in no way preparing for any expansion, and is only being undertaken to conform with the



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driveway closures and relocations that are being done as a part of the WisDOT project.



N TAYLOR DRIVE

SUPERIOR AVENUE

31ST STREET

30TH STREET

29TH STREET

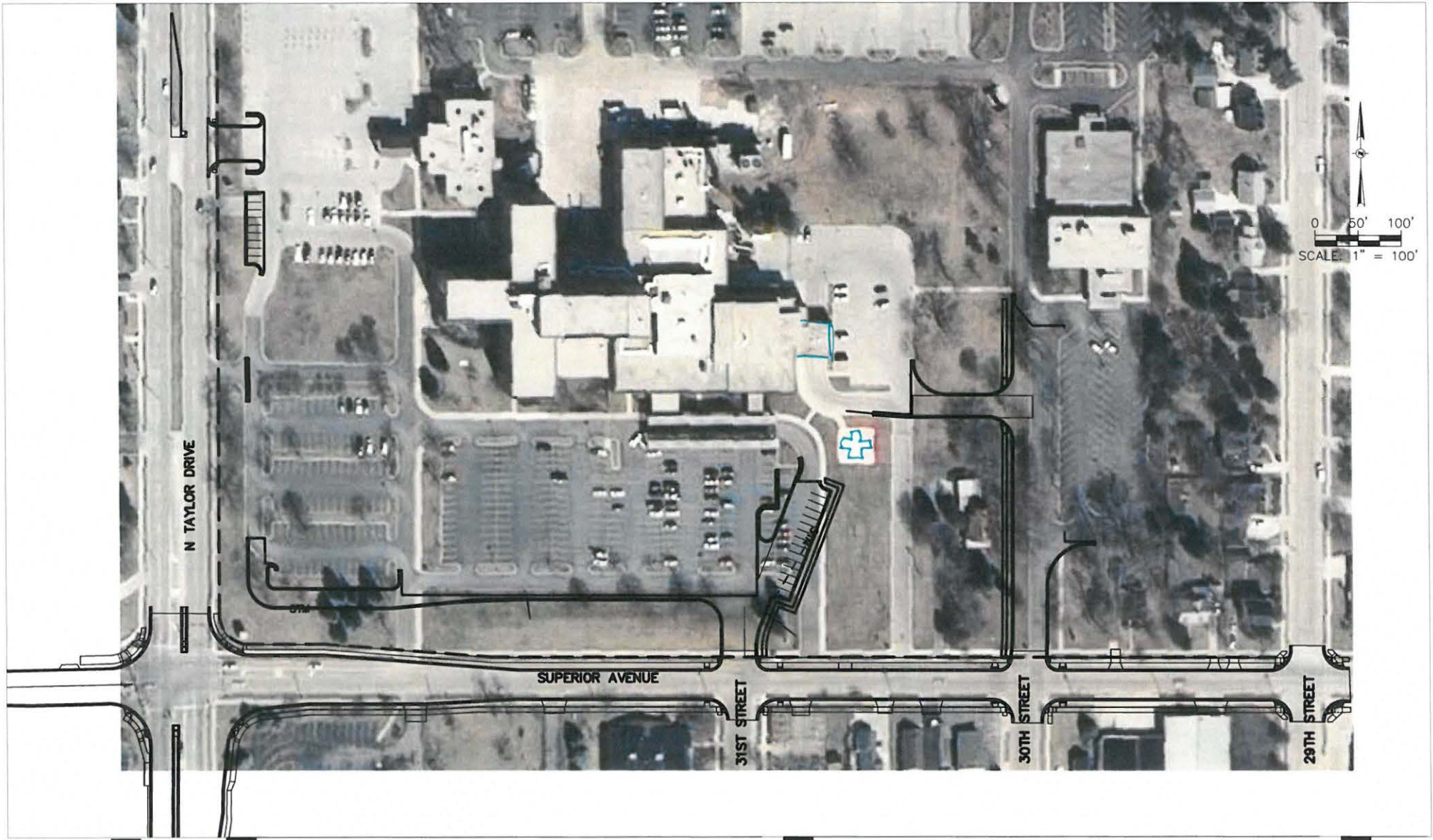


PROJECT NUMBER: 2017-2040
DATE: 7-30-2018
SCALE: 1"=100'
REFERENCE SHEET:

PROJECT TITLE: ST. NICHOLAS HOSPITAL
SHEET TITLE: EXISTING AERIAL

ADD, CB, RFI #

C100



GRAEF

PROJECT NUMBER: 2017-2040
DATE: 7-30-2018
SCALE: 1"=100'
REFERENCE SHEET:

PROJECT TITLE: ST. NICHOLAS HOSPITAL
SHEET TITLE: PROPOSED LAYOUT WITH EXISTING AERIAL

ADD, CB, RFI #

C100





CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Landscaping Discussion

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 10, 2018

MEETING DATE: August 14, 2018

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Recently, there has been some discussion about the installation of mulch vs. stone from a private property landscaping perspective for multi-family, commercial and industrial development.

There is an internal opinion that stone should be prohibited and that these private property owners should be required to install mulch in every scenario.

Such a prohibition would take an amendment to the City of Sheboygan Zoning Ordinance.

Prior to drafting such a proposed ordinance, staff wanted to obtain feedback from the Plan Commission on whether or not such an ordinance is worth considering.

STAFF COMMENTS:

City staff reached out to a couple of communities to see what they have experienced:

- City of Oshkosh Planning Director Darryn Burich stated that the City of Oshkosh tried prohibiting stone and using just mulch and it failed because the community did not follow the requirement (they continued to install stone). So Oshkosh went away from this requirement because City staff was always in enforcement mode. It appeared that the department staff were the only ones this mattered to. This was an issue completely created by the City because nobody else seemed to care. Mr. Burich mentioned that the City tries to require stone that has more earth tones versus the white rock.

- City of Fond du Lac Community Development Director Dyann Benson stated the City of Fond du Lac does not regulate stone versus mulch because in specific situations there is a need for stone to be placed.
- City Planner Paul Braun of Manitowoc stated that Manitowoc does not have a specific requirement for mulch and/or stone and let the property owners make this determination.

Some construction comments:

- Some recent developments have installed stone around the first two (2) feet of the perimeter of the building for drainage purposes especially when there are no gutters. The stone helps to drain and remove the water away from the building.
- Some developments use stone and rip-rap because it is a superior option to reduce potential erosion from occurring on the property near buildings, storm water facilities etc.
- Many use stone because it is long lasting, durable and low maintenance.

City staff has not run into any issues with regards to the use of mulch vs. stone. Also, there has not been any sort of community criticism, objection, and/or outcry regarding the use of stone. Staff believes that the private property owner should have the ability to install the landscaping that they believe functions best for their business from both an appearance and maintenance perspective.

ACTION REQUESTED:

Staff is requesting direction from the Plan Commission how to proceed with this matter.