

*****ATTACHMENTS*****

PARCEL NO. 318400
MAP NO. 26 186 012
ZONING CLASSIFICATION: UI

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: 11/15/16

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2012



Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$150 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Sheboygan Paper Box
ADDRESS: 716 Clara Ave., Sheboygan, WI E-MAIL: _____
PHONE: (920) 458-8373 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan Paper Box
ADDRESS OF PROPERTY AFFECTED: 716 Clara Avenue
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Manufacture of cardboard containers.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Expansion of existing factory, warehouse, and loading docks.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: We request a variance for a reduced street setback and to allow for truck maneuvering on S. 7th Street at the new loading docks.

Written Description – Conditional Use Application

Sheboygan Paper Box Company (SPBCo)
716 Clara Avenue
Sheboygan, WI 53081

Re: Building expansion of 27,976 sq. ft. to be joined to existing building

Zoning District
Urban/Industrial

Existing Land Use
Vacant field owned by SPBCo adjacent to existing building

Proposed Land Use
Building expansion to support the growth of SPBCo

Proposed Building Use
Logistical and manufacturing support for the production of paperboard folding cartons

Project Value
Approximately \$8,300,000 including structural and equipment costs

Reason for Site selection
SPBCo owns the site as well as the entire city block located between Georgia Avenue and Clara Avenue, S 8th Street and S 7th Street. The expansion site runs approximately 105' x 400' on the northern section of the property with Georgia Avenue being the northern border, S 8th Street the western border, S 7th Street the eastern border and the existing building the southern border.

Current Employment and Future Opportunity
SPBCo employs about 93 full-time employees, both blue and white-collar with a mix of entry level, semi-skilled and highly skilled positions. SPBCo expects to add about 30 FTE's by 2019.

Parking
SPBCo has ample off-street parking for all shifts – 70 stalls available

Summary of Project
Through an aggressive marketing program and the addition of recent, state-of-art printing equipment, SPBCo has experienced rapid growth and is unable to service customers in the manner to which has become expected. A service oriented company, SPBCo prides itself in delivering high quality products to its customers in a timely and/or JIT manner.

SPBCo's recent growth and continued prospects necessitated the company to order a 2nd high-speed, large format printing press to be placed in its current pressroom. The new press is to be received in May of 2017 and will be in full production by mid-summer. Support of that equipment demands more space for WIP and the warehousing of raw materials. Future pieces of support equipment will be required; the proposed expansion plans take that into consideration.

Additional logistical support is also required. SPBCo desires to improve its receiving area with 5 new state-of-the-art, saw-tooth receiving bays that will increase available truck capacity by 60% and decrease the time required to position, load and unload semi-trucks. Receiving of raw materials will continue off of 7th Street with trucks approaching from the south and backing into bays. As currently required:

- All engines and lights are to be shut down while in bays
- No over-night parking is allowed

Current semi-truck traffic during SPBCo's busiest quarter (documented) averages to 6 trucks per day. With expected gains in business this could increase to 7 to 9 trucks per day by 2019. However, with efficiently managed dock appointments and a 60% gain in bays, trucks waiting in queue on 7th Street (as is currently practiced) should be non-existent. No truck routes need to be changed or added.

Variance Requests

- Because of future space requirements for additional support and manufacturing equipment SPBCo is requesting a variance in building set-back to 4 ft. on the expanse of Georgia Avenue. This will be similar to the existing set-backs on Clara Avenue, S 8th Street and S 7th Street.
- SPBCo is requesting the elimination of the side-walk on the south side of Georgia Avenue to increase green space for landscaping purposes. This will help soften the look of the new building for neighbors positioned on the north side of Georgia Avenue looking south. As an added safety element, the elimination of the sidewalk will deflect foot traffic away from truck traffic at the SW corner of Georgia Avenue and S 7th Street.
- SPBCo is requesting trucks approaching from the south on 7th Street be allowed to back up on 7th Street to enter receiving bays. Bays are designed to be set at an efficient 30^o angle to facilitate quick and safe entry.

Building Design

The new addition has been designed to match architectural elements of the existing building giving a much improved look to the north side of the property. Landscaping elements will help soften and blend the expansion into its surrounding environment. Architectural elements such

as siding, color and masonry will be consistent with that of the existing building. The construction of an underground storm water retention zone became an issue due to the high water table in the area. This was solved by designing an above ground, encased 30,000 gallon holding tank surrounded (and covered) by a masonry wall consistent with other parts of the building. This encasement doubles as a design element helping to break up the longer dimension of the addition.

Noise contamination will not be an issue as appropriate insulation will be used and only light manufacturing will take place in the addition. Soft and directional outdoor lighting will provide security and enhance safety as requested by neighbors on Georgia Avenue.

Landscape Requirements

Landscape elements exceed those required by code. SPBCo's desire is to add green-space to Georgia Avenue. Trees and shrubs will be creatively used to break up the expanse of the building.

Neighborhood Meetings and Response

SPBCo communicated the scope of this project within their surrounding neighborhood by sending informational letters and renderings to over 60 individuals, property owners and businesses.

Neighbors most affected by the project had letters delivered in person by an executive of the company giving them the opportunity to discuss the project in person. The letters explained the project in written form with renderings and invited recipients to an informational 'open house' held on September 28, 2016 at the King Park Pavilion. To facilitate attendance, two meetings were held; one from 11:00 a.m. thru 2:00 p.m. and another from 5:00 p.m. thru 8:00 p.m.

Attendance was limited but purposeful. Those that attended came with pertinent and probing questions. Executives and managers of SPBCo made themselves available assuring individuals were given the time and audience required to answer all questions and address concerns. The main neighborhood concerns of SPBCo's original plan included:

- the changing of truck routes on to Georgia Avenue
- safety for the crossing at Longfellow School caused by re-directed semi traffic
- Reduction of on-street parking on Georgia Avenue
- the repositioning of loading docks to be entered from and exited on to Georgia Avenue

After careful consideration of neighborhood concerns and further study of engineering drawings, SPBCo decided to change the direction of the project. At the expense of losing 2000

square feet of usable space, it was decided for the betterment of all, truck traffic on Georgia Avenue should remain non-existent.

A second round of letters to all neighbors with an executive visit to those most affected followed and explained the re-design of the project. Included in the letter was a direct phone number with specific calling times for those that wanted to further discuss the project. The letter also encouraged those who may have further questions to attend this Planning Commission meeting. Upon special request, one neighbor was hosted by executives of the company, at the company for a personal Q&A session.

The current plan addresses the concerns from the September 28th meetings and reflect what SPBCo believes to be the greater desires of their neighbors.

Written Justification

Founded in 1923, SPBCo will celebrate 93 years of continuous business operations later this month. The company has been a vital part and supporting member of its neighborhood since moving to its current location in the late 1920's. Since its inception SPBCo has been a responsible corporate citizen as well as a good corporate neighbor.

Small businesses comparable to Sheboygan Paper Box Company are the engine that drive economic growth in America. In its infancy SPBCo weathered the Great Depression providing needed employment and opportunity for local citizens. During WWII the Company hired many females as well as those that could not serve over seas and helped support the war effort on the home front.

During the post-war boom SPBCo started to slowly expand and continued supporting women in the workforce. In addition to employing a high ratio of female production workers, SPBCo was one of few Sheboygan County companies to have a female executive in the 1960's. She retired as partial owner and as the number two executive of the Company. That tradition followed into the 1970's with two consecutive female Corporate Controllers. Today, with 2 female owners, 3 female Directors and 4 female front-line managers that tradition remains and is stronger than ever.

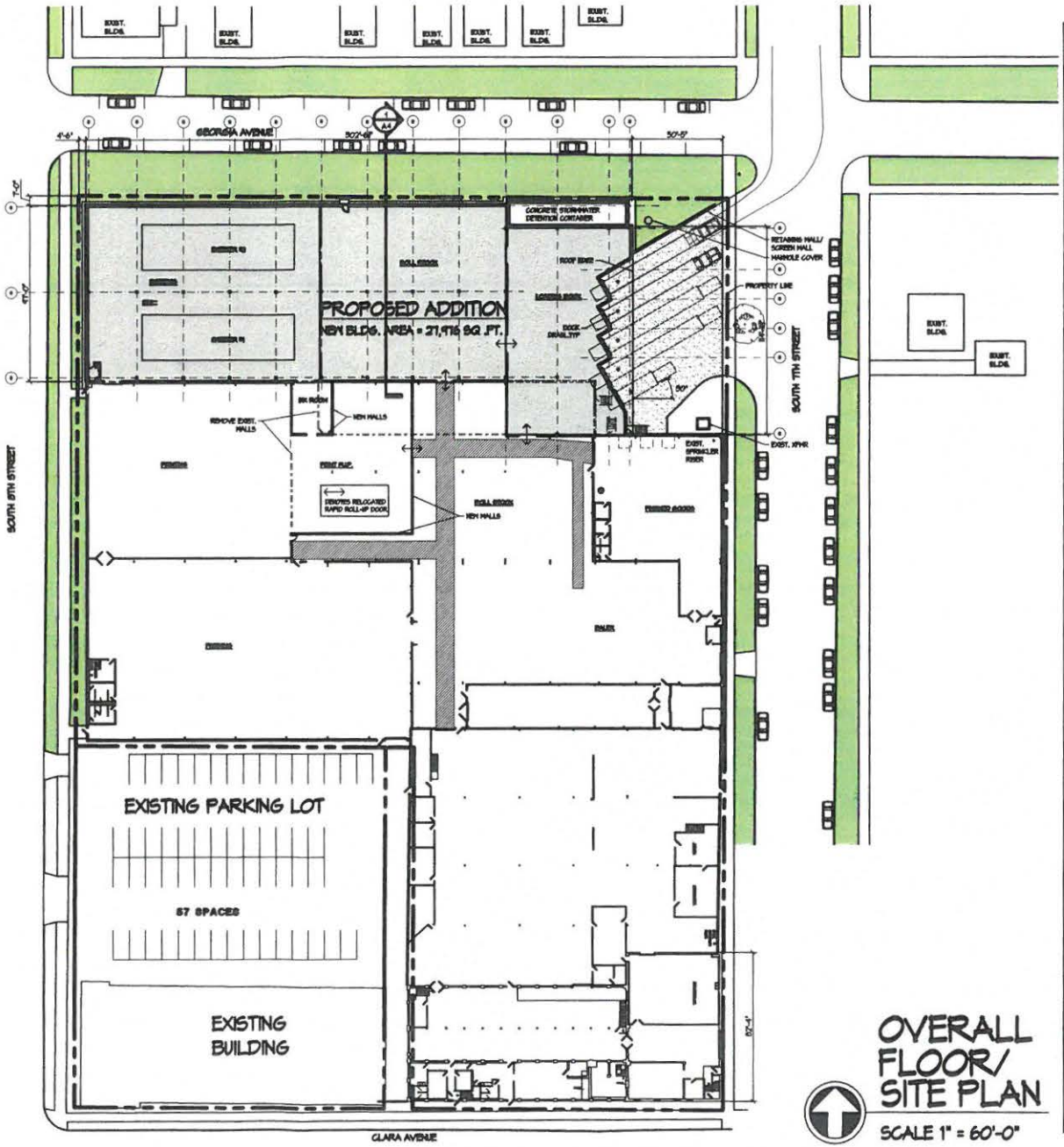
SPBCo partners with Local 800 as their representative Union for CBA issues and labor contracts. The two organizations have had a healthy relationship for over 50 years and continue to work together for the betterment of the Company, its employees and the community.

Over the decades, SPBCo has provided jobs and careers for thousands of citizens as well as millions of dollars of tax revenue for the City of Sheboygan. Over its 93 year history, the company has been the catalyst for hundreds of millions of dollars of economic activity; supporting local, state and Mid-west suppliers, service providers and contractors.

SPBCo enjoys a rich history of executives, managers and employees serving the community through active participation in service organizations, on local bank boards and fund drives.

SPBCo has been witness to the many ebbs and flows of their neighborhood; it is becoming revitalized once again. They wish to remain an active and helpful participant.

PARKING REQUIREMENTS
 LARGEST SHIFT 54 PEOPLE
 (INCL. PROJECTED HIRES)
 PROVIDED 70 TOTAL STALLS



OVERALL FLOOR/SITE PLAN
 SCALE 1" = 60'-0"

NO. REVISIONS	DATE
LJM Architects 813 Riverfront Drive Sheboygan, WI 53081 Phone (920) 458-4800 Fax (920) 458-1485	
PROPOSED ADDITION FOR: SHEBOYGAN PAPER BOX COMPANY 716 CLARA AVENUE SHEBOYGAN, WISCONSIN 53081	
SHEET TITLE	
DRAWN BY JA	
CHECKED BY EJ	
DATE 10-25-16	
PROJECT NO. 1663	
SHEET NO. C1	

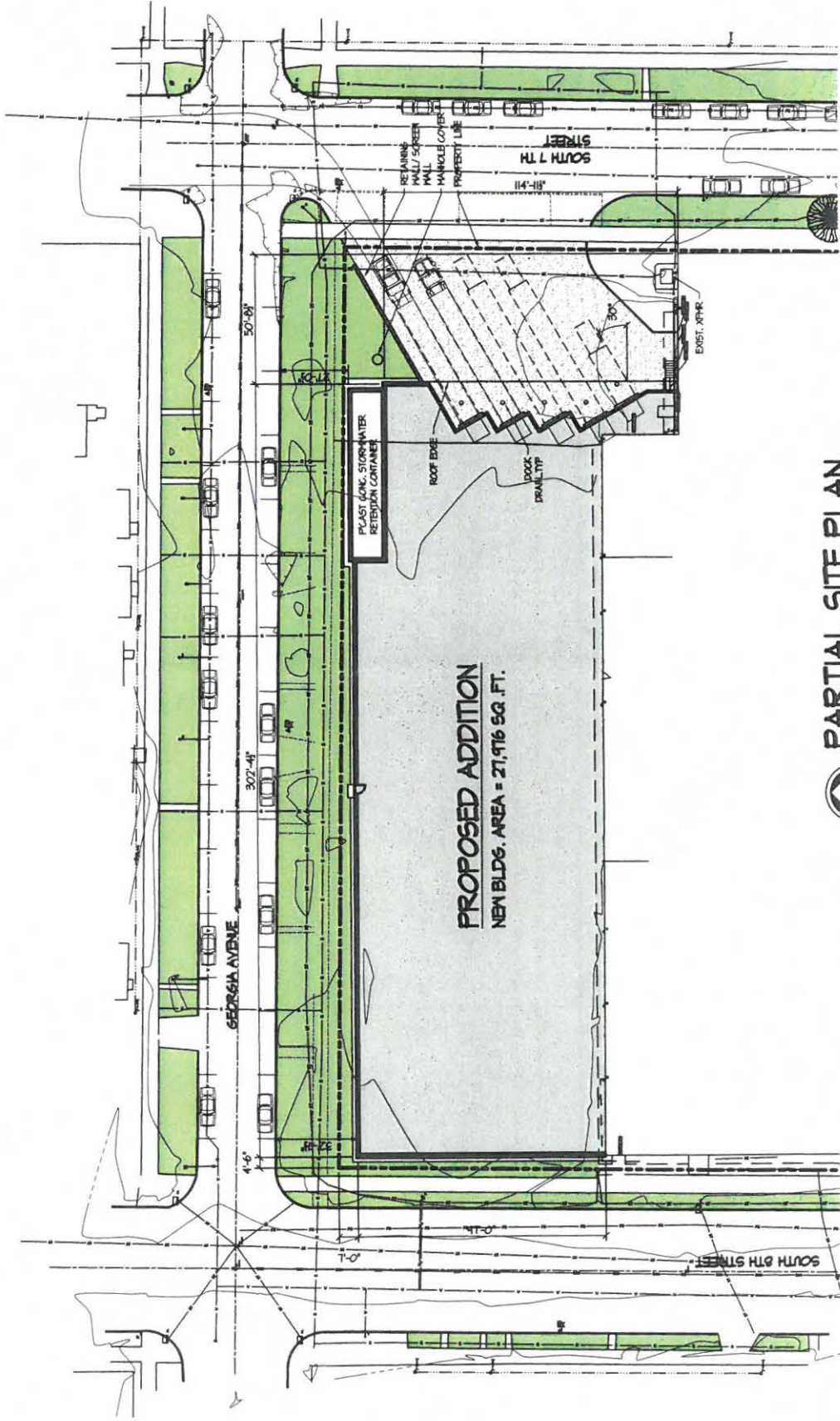
NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 458-4900 Fax (920) 458-1485

**PROPOSED ADDITION FOR,
 SHEBOYGAN PAPER BOX COMPANY
 716 CLARA AVENUE
 SHEBOYGAN, WISCONSIN 53081**

SHEET TITLE
 DRAWN BY
 CHECKED BY
 DATE
 PROJECT NO.
 SHEET NO.

C2

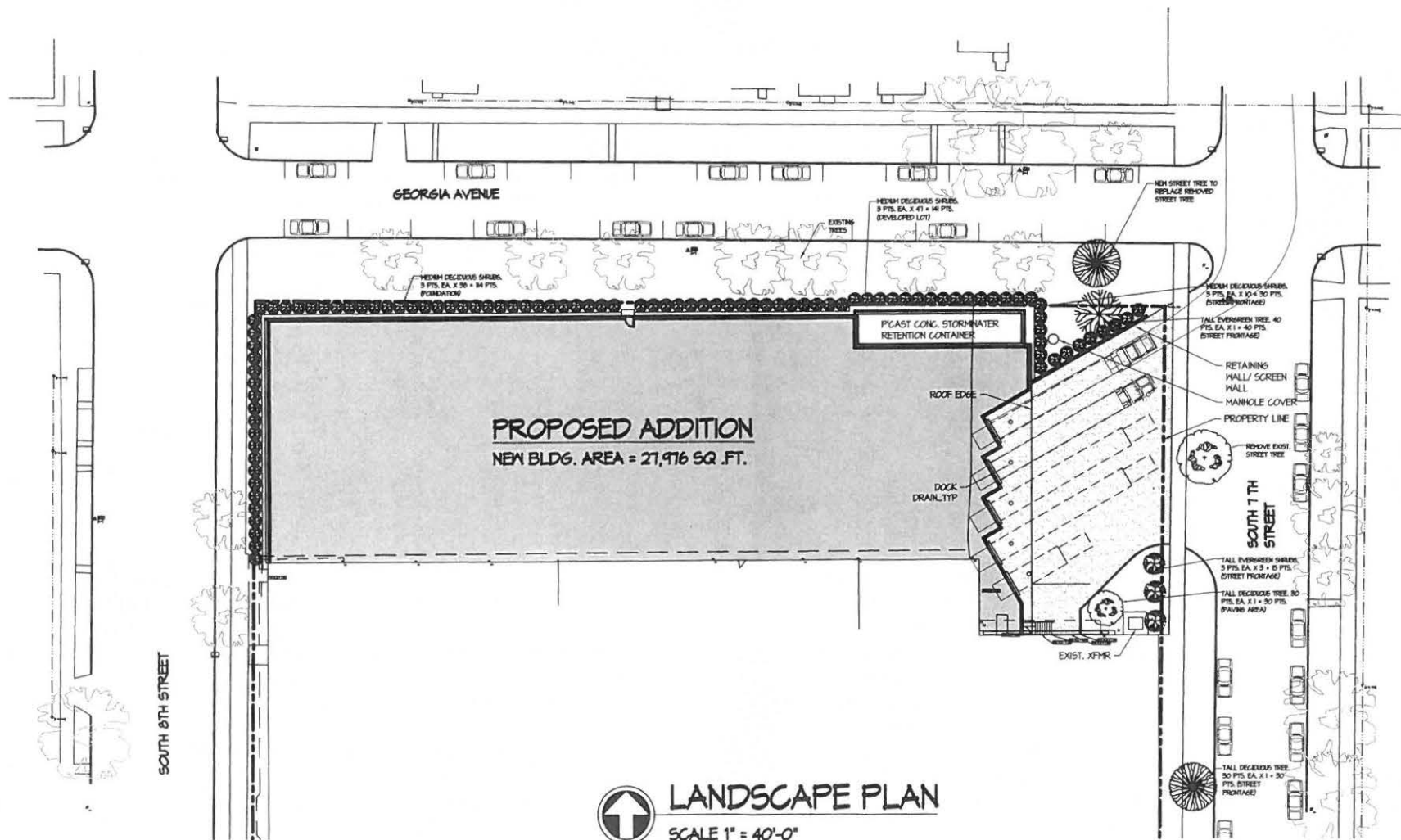


PARTIAL SITE PLAN
 SCALE 1" = 40'-0"

LANDSCAPE REQUIREMENTS

UI-URBAN INDUSTRIAL

CATEGORY	POINT PRORATION	REQ'D	PROVIDED
FOUNDATION (559 FEET)	$559 / 100 = 5.59 \times 20$	112	114
DEV. LOT (27,976 SQ. FEET)	$27,976 / 1,000 = 27.976 \times 5$	140	141
STREET FRONTAGE (523 FEET)	$523 / 100 = 5.23 \times 20$	105	115
PAVING AREA (6,090 SQ. FEET)	$6,090 / 10,000 = 0.609 \times 40$	25	30
TOTAL POINTS REQ'D		382	
POINTS PROVIDED			400



LANDSCAPE PLAN

SCALE 1" = 40'-0"

NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive Sheboygan, WI 53081
 Phone (920) 458-4800 Fax (920) 458-1485

PROPOSED ADDITION FOR:
SHEBOYGAN PAPER BOX COMPANY
 716 CLARA AVENUE
 SHEBOYGAN, WISCONSIN 53081

SHEET TITLE

DRAWN BY
JA

CHECKED BY
EJ

DATE
10-15-16

PROJECT NO.
1663

SHEET NO.

C3

NO.	REVISIONS	DATE

815 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 458-4800 Fax (920) 458-1485
LJM
 Architects

PROPOSED ADDITION FOR
 SHEBOYGAN PAPER BOX COMPANY
 716 CLARA AVENUE
 SHEBOYGAN, WISCONSIN 53081

SHEET TITLE

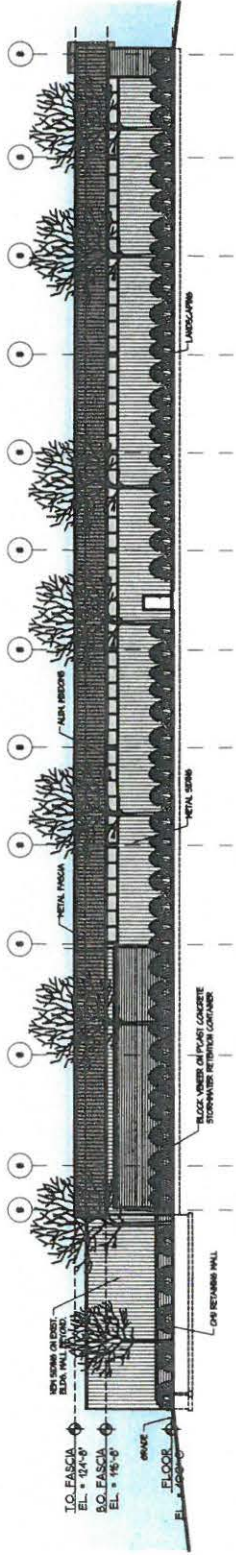
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JA

CHECKED BY
LJ

DATE
10-25-16

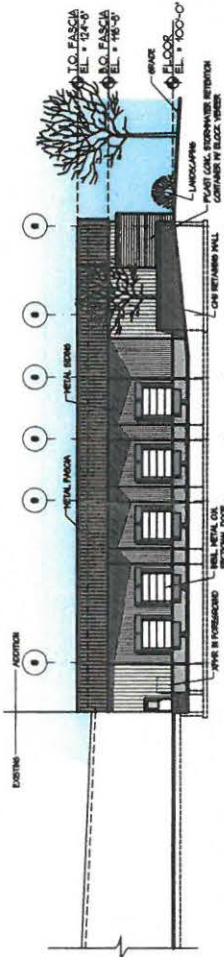
PROJECT NO.
1603

SHEET NO.
A3



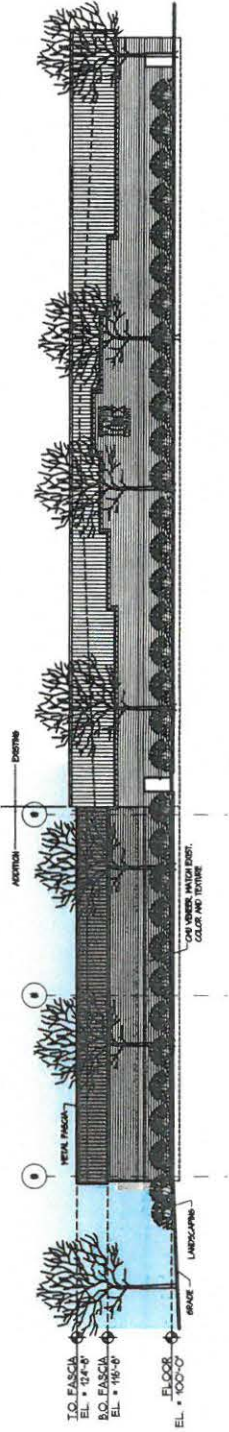
NORTH ELEVATION

SCALE 1/32" = 1'-0"



PARTIAL EAST ELEVATION

SCALE 1/32" = 1'-0"

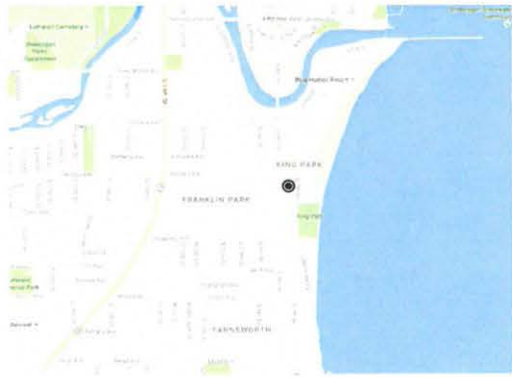


WEST ELEVATION

SCALE 1/32" = 1'-0"

BUILDING ADDITION 2016

SHEBOYGAN PAPER BOX



SITE LOCATION MAP



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EXISTING AND DEMOLITION PLAN	2
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CONSTRUCTION GRADING PLAN AND EROSION CONTROL PLAN	4
STORM SEWER PLAN	5

PROPERTY INFORMATION

PROPERTY ADDRESS: 716 CLARA AVENUE
SHEBOYGAN, WISCONSIN 53081

OWNER: SHEBOYGAN PAPER BOX
716 CLARA AVENUE
SHEBOYGAN, WISCONSIN 53081
ATTN: SCOTT MORRISSETT
PHONE: (920) 945-7075
EMAIL: smorris@spbcv.com

ARCHITECT: LJM ARCHITECTS
813 RIVERFRONT DRIVE
SHEBOYGAN, WISCONSIN 53081
ATTN: ERIK JENSEN
PHONE: (920) 458-4800
EMAIL: ejensen@ljamarchitects.com

CIVIL ENGINEER: WAGNER EXCAVATING, INC.
1437 PAPER AVENUE
SHEBOYGAN, WI 53081
ATTN: CRAIG A. BUSCH
PHONE: (920) 458-0662
EMAIL: CRUSCH@EXCEL.NET

ZONING: URBAN INDUSTRIAL DISTRICT (U)

SUBJECT	CODE	DESIGN
MAX HEIGHT	50'	1:50
STREET SETBACK	25' (VARIANCES REQUESTED)	8TH STREET: 4 FT MATCH EXISTING BLDG GEORGIA AVENUE: 4 64' (NOTE NORTH SIDE OF GEORGIA EXISTING AVERAGE SETBACK IS 2.4') 7TH STREET: 36.4'
REAR SETBACK	25'	NA
SIDE SETBACK	5'	NA
PAVED SURFACE	5'	DRIVE ENTRANCE
GRASS SURFACE RATIO %	10% MIN	PROPOSED 3% (VARIANCE REQUESTED)

AREAS:

PARCEL TOTAL	4.2 ACRES
LAND DISTURBANCE (APPROX)	36,200 SF (0.9 ACRES)
PRE-CONSTRUCTION	IMPERVIOUS TOTAL: 18,300 SF (0.4 ACRES) 42% PERVIOUS TOTAL: 22,900 SF (0.5 ACRES) 56%
POST-CONSTRUCTION	IMPERVIOUS TOTAL: 37,000 SF (0.85 ACRES) 94% PERVIOUS TOTAL: 2,200 SF (0.05 ACRES) 6%

PARKING:

SEE ARCHITECTURAL SUBMITTAL

DESIGN DATA:

	QUANTITY (CF) AT STORM INTERVAL					
	1 YEAR	2 YEAR	5 YEAR	10 YEAR	25 YEAR	50 YEAR 100 YEAR
PRE CONSTRUCTION	0.5	0.7	1.0	1.4	2.0	2.5 3.0
POST CONSTRUCTION	0.5	0.5	0.6	0.7	2.4	4.8 4.9

COMPARISON VALUES AT THE EXISTING 7TH AVENUE PUBLIC STORM SEWER SYSTEM

GENERAL NOTES

- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE ORDINANCES AND REQUIREMENTS OF THE CITY OF SHEBOYGAN, STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, AND THE STATE OF WISCONSIN DOT, DEPT. OF COMMERCE, AND DNR REQUIREMENTS.
- THE LOCATION AND SIZE OF THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE, AND WERE LOCATED BY FIELD SURVEY, DIGGERS-HITLINE MARKING, AND EXISTING UTILITY RECORDS. THE ENGINEER, DESIGNER, OR SURVEYOR DOES NOT GUARANTEE THEIR SIZE OR LOCATION. ALL EXISTING UTILITIES ON THIS SITE MAY NOT BE SHOWN ON THIS DRAWING. ALL CONTRACTORS, FOR THEIR WORK, MUST NOTIFY DIGGERS-HITLINE (800-242-4811) FOR MARKING THE LOCATION OF EXISTING UNDERGROUND UTILITIES 3 DAYS PRIOR TO BEGINNING WORK. CONTRACTORS SHALL ALSO REQUEST THE PROPERTY OWNER TO LOCATE THEIR PRIVATE UTILITIES.
- ALL CONTRACTORS ARE RESPONSIBLE TO EXAMINE THE SITE PRIOR TO BIDDING AND COMMENCING WORK, TO COMPARE SITE CONDITIONS AND DRAWINGS. ANY APPARENT DISCREPANCIES, ERRORS, OR OMISSIONS SHALL BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO STARTING OR CONTINUING WITH CONSTRUCTION.
- ALL CONTRACTORS ARE TO VERIFY UTILITY ELEVATIONS, PRIOR TO COMMENCING WITH THEIR WORK.
- ALL CONTRACTORS SHALL PROPERLY FENCE AND BARRICADE OPEN TRENCHES AND EXCAVATIONS.
- EACH CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY.
- EACH CONTRACTOR IS RESPONSIBLE FOR THEIR TRADES APPLICATIONS, PERMITS, FEES, AND APPROVALS.
- UTILITIES DAMAGED BY A CONTRACTOR SHALL BE REPAIRED TO THE UTILITY OWNER'S SATISFACTION AND AT THAT CONTRACTOR'S EXPENSE.
- REPAIR OF PAVEMENT, UTILITIES, CURB AND GUTTER, SIDEWALKS, TOPSOIL, SEEDING, FERTILIZING, AND MULCHING THAT ARE NOT SHOWN ON THE PLAN, BUT ARE REQUIRED FOR YOUR TRADE OF WORK, ARE CONSIDERED INCIDENTAL AND ARE THE RESPONSIBILITY OF THAT CONTRACTOR.
- ALL GRADES REPRESENT FINISH GRADE, UNLESS NOTED OTHERWISE.

No.	Revision	Date
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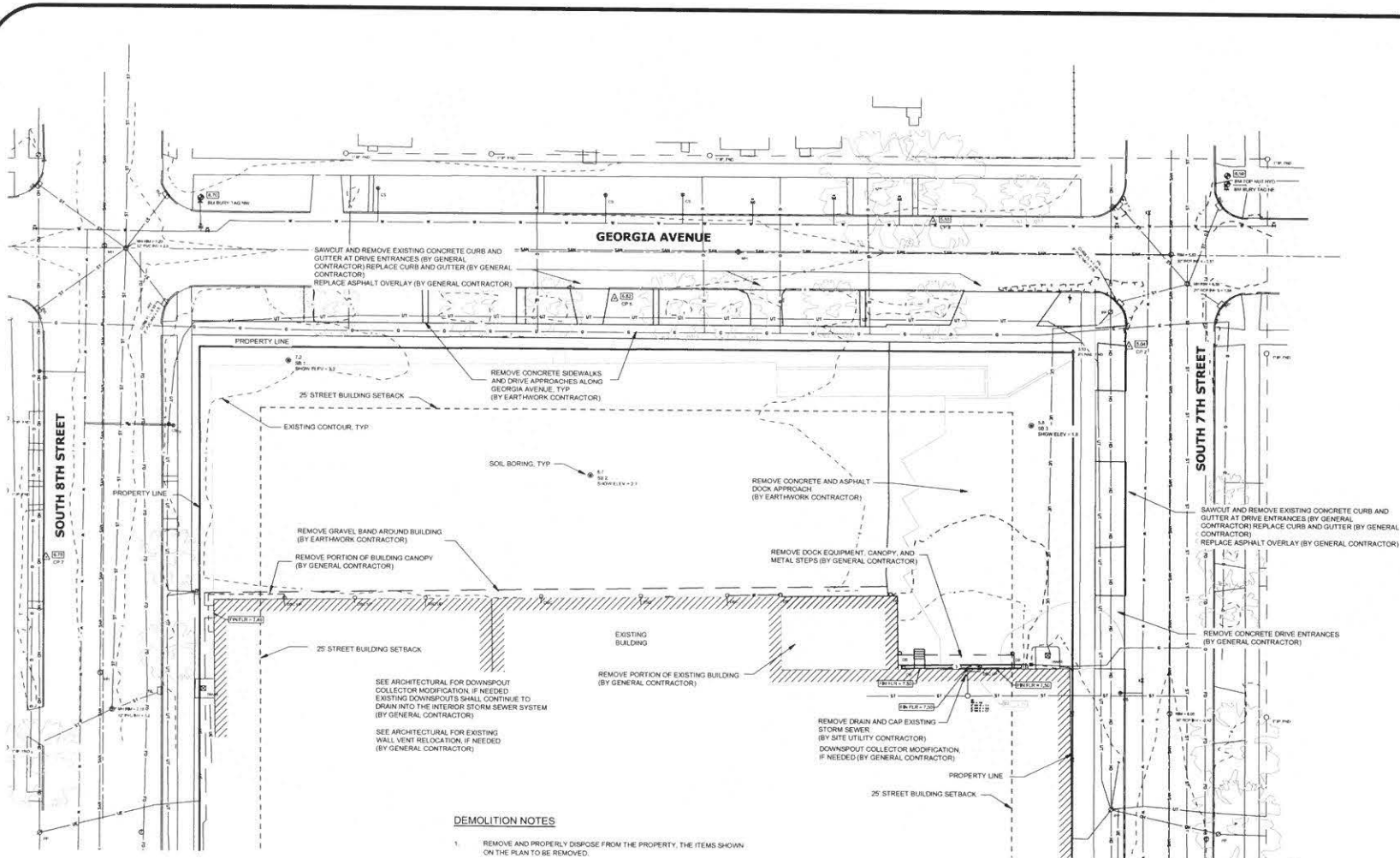
Building Addition 2016
Sheboygan Paper Box
716 Clara Avenue
Sheboygan, Wisconsin

DATE
10/28/16

1

PROJECT TITLE SHEET

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DEMOLITION NOTES

1. REMOVE AND PROPERLY DISPOSE FROM THE PROPERTY, THE ITEMS SHOWN ON THE PLAN TO BE REMOVED.
2. LIMITS OF EXCAVATION ARE APPROXIMATELY THE EXTENT OF THE PROPOSED CONTOURS SHOWN ON THE GRADING PLAN.
3. EXISTING UTILITY DISCONNECTIONS AND PROPOSED UTILITY INSTALLATION AND PERMITS, COORDINATED BY THE GENERAL CONTRACTOR.



GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 ft.
 FOR 24" X 36" PRINT

EXISTING AND DEMOLITION PLAN

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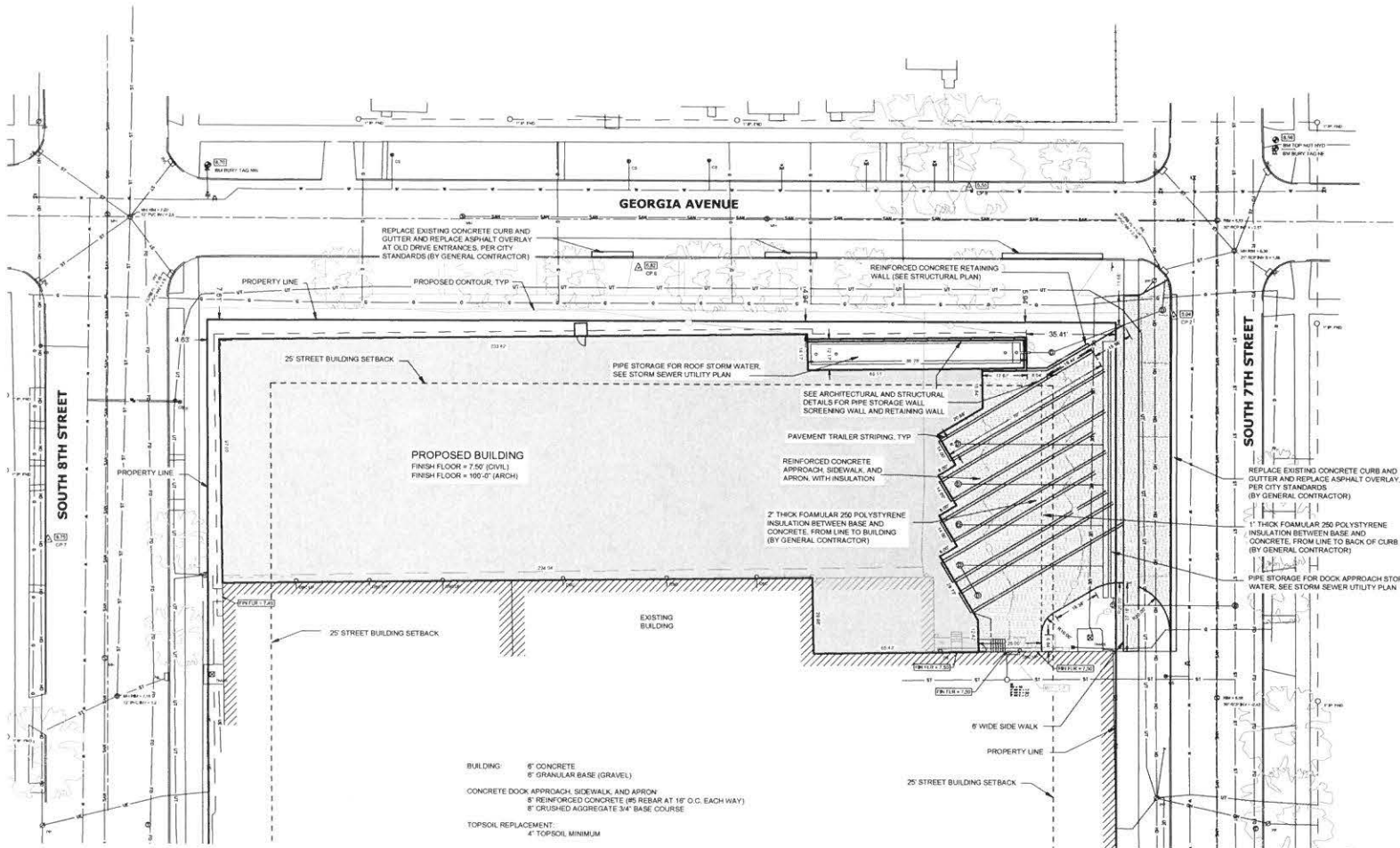
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Building Addition 2016
 Sheboygan Paper Box
 716 Clara Avenue
 Sheboygan, Wisconsin

DATE
 10/28/16

2



- BUILDING: 6" CONCRETE
6" GRANULAR BASE (GRAVEL)
- CONCRETE DOCK APPROACH, SIDEWALK, AND APRON:
8" REINFORCED CONCRETE (RE REBAR AT 16" O.C. EACH WAY)
8" CRUSHED AGGREGATE 3/4" BASE COURSE
- TOPSOIL REPLACEMENT:
4" TOPSOIL MINIMUM

PARKING SCHEDULE: SEE ARCHITECTURAL SUBMITTAL



GRAPHIC SCALE
0 10 20 40
1 inch = 20 ft.
FOR 24" x 36" PRINT

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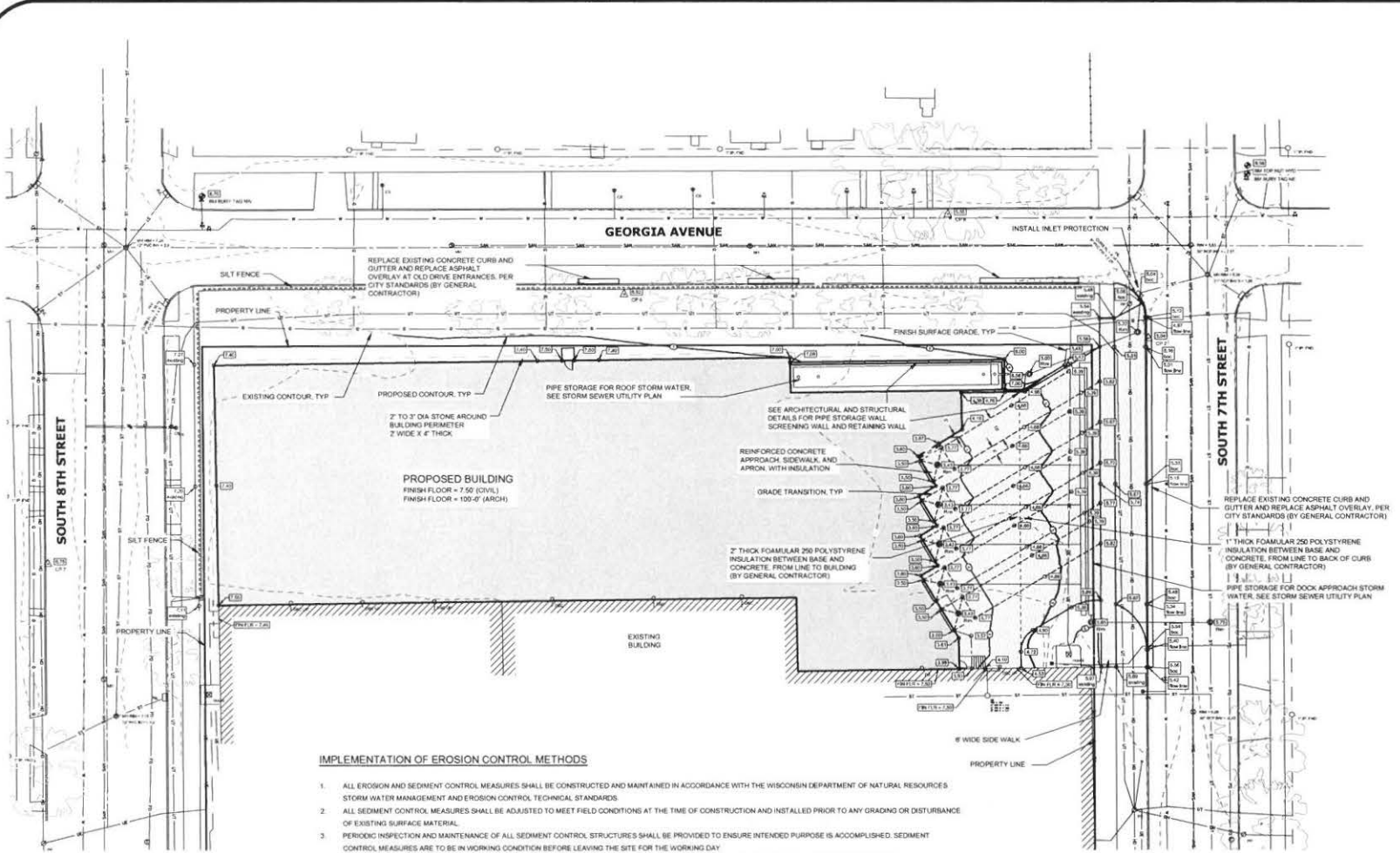
Building Addition 2016
Sheboygan Paper Box
716 Clara Avenue
Sheboygan, Wisconsin

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3

SITE PLAN

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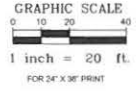
IMPLEMENTATION OF EROSION CONTROL METHODS

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES STORM WATER MANAGEMENT AND EROSION CONTROL TECHNICAL STANDARDS.
2. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.
3. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION BEFORE LEAVING THE SITE FOR THE WORKING DAY.
4. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED STRUCTURES SHALL BE REPAIRED.
5. EROSION CONTROL AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
6. FINAL STABILIZATION OF SOIL SHALL BEGIN WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND FINAL GRADE HAS BEEN ACHIEVED ON ANY PORTION OF THE SITE.
7. TEMPORARY STABILIZATION ACTIVITY SHALL BEGIN WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
8. SEDIMENT CONTROL MEASURES SHALL BE REMOVED ONLY AFTER VEGETATION COVER IS ESTABLISHED OR GRAVEL/PAVED SURFACES ARE COMPLETED.
9. STONE MATS SHALL BE INSTALLED AT ALL CONSTRUCTION SITE EXITS TO PREVENT TRACKING OF SOIL.
10. TRACKED SOIL FROM THE CONSTRUCTION SITE SHALL BE COLLECTED FROM PAVED ROADS.
11. ALL TRENCH WATER SHALL BE DISCHARGED INTO A SETTLING BASIN OR FILTERING DEVICE PRIOR TO RELEASE INTO THE STORM SEWER OR STREAM.
12. STORM SEWER COLLECTION BASINS SHALL BE PROTECTED FROM RUNOFF BY ENCLOSED THE COLLECTION BASINS WITH STRAW BALES, FILTER FABRIC FENCING, OR FILTER FABRIC.
13. OVERLAND FLOW SHALL BE PREVENTED FROM LEAVING THE CONSTRUCTION SITE BY INSTALLING STRAW BALES OR FILTER FABRIC FENCING PARALLEL TO THE CONTOURS LOCATED DOWNHILL FROM THE WORK SITE.
14. SEDIMENT CONTROL FOR PIPELINE CONSTRUCTION:
 - 14.1. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - 14.2. FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED BEFORE LEAVING THE CONSTRUCTION SITE FOR THAT WORKING DAY.

BUILDING: 8" CONCRETE
8" GRANULAR BASE (GRAVEL)

CONCRETE DOCK APPROACH, SIDEWALK, AND APRON:
8" REINFORCED CONCRETE (RE REBAR AT 18" O.C. EACH WAY)
8" CRUSHED AGGREGATE 3/4" BASE COURSE

TOPSOIL REPLACEMENT:
AT TOPSOIL MINIMUM



No.	Revision	Date
1		
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Wagner
EXCAVATING
SHEBOYGAN, WI 53081
3407 PINE AVENUE
TEL: (920) 646-6662
FAX: (920) 646-6666

Building Addition 2016
Sheboygan Paper Box
716 Clara Avenue
Sheboygan, Wisconsin

DATE
10/28/16

4

**CONSTRUCTION GRADING PLAN
AND EROSION CONTROL PLAN**

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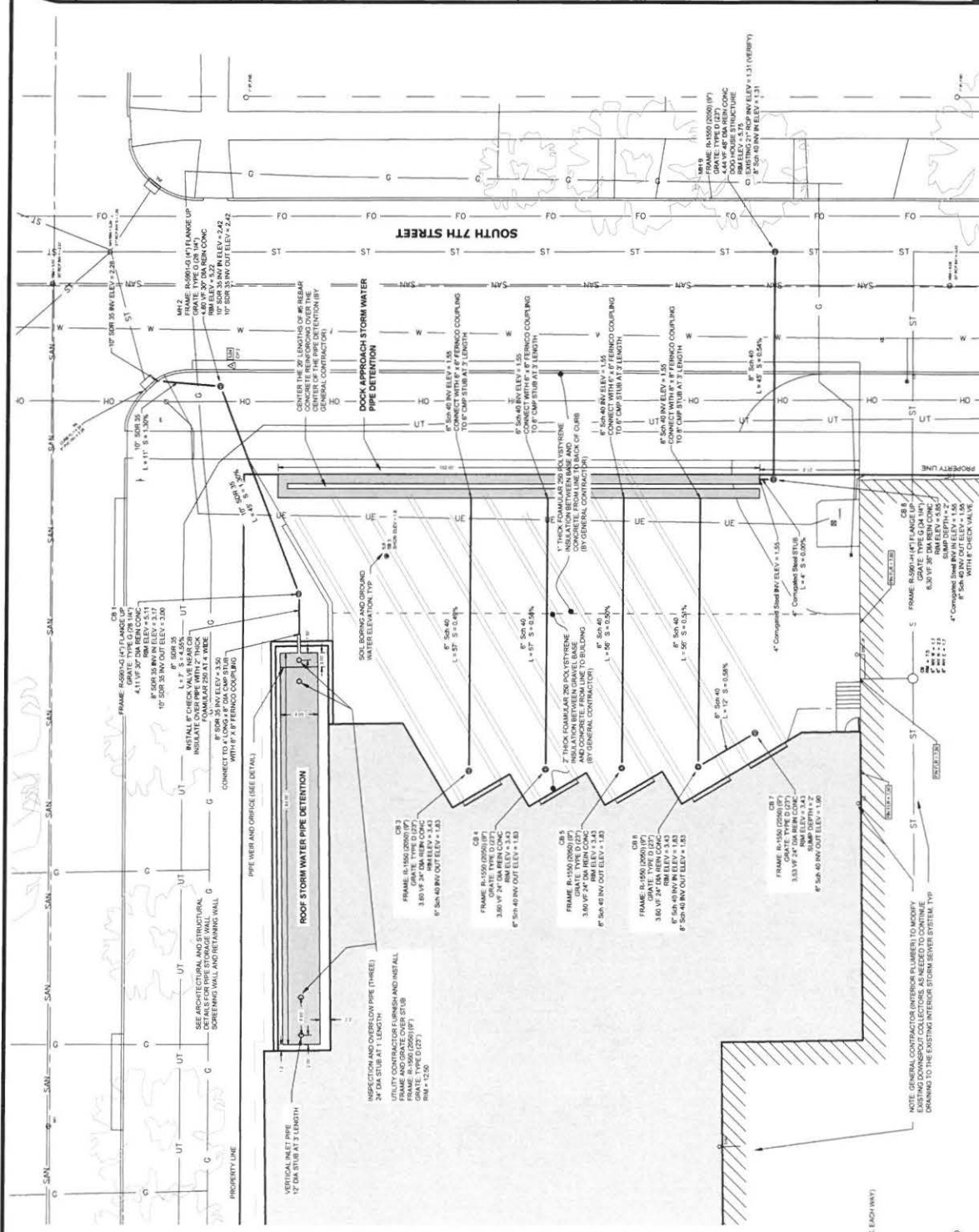


Building Addition 2016
 Sheboygan Paper Box
 716 Clara Avenue
 Sheboygan, Wisconsin

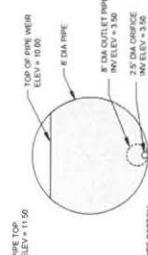
DATE
 10/28/16

5

STORM SEWER PLAN



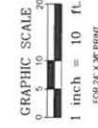
ROOF STORM WATER PIPE DETENTION
 8" DIAMETER ALUMINUM CORRUGATED STEEL PIPE
 LENGTH = 48' WITH TWO REINFORCED END CAPS
 8" THICK OF 3/4" STONE BEDDING
 TOP OF PIPE = 11.50
 TOP OF STONE BACKFILL = 12.50
 3/4" STONE BEDDING AND BACKFILL



PIPE WEIR AND ORIFICE DETAIL

DOCK APPROACH STORM WATER PIPE DETENTION
 (2) RUNS OF 24" DIAMETER ALUMINUM CORRUGATED STEEL PIPE
 LENGTH = 107' FOR EACH RUN, WITH ONE 24" DIA. HAUSER
 SUBGRADE ELEV. = 1.50
 NO CAPS
 BOTTOM OF PIPE = 1.50
 TOP OF PIPE = 3.50
 3/4" STONE BEDDING AND BACKFILL
 GRAVEL BACKFILL REMAINDER

LEGEND
 BUILDING
 CONCRETE DOCK APPROACH, SORMAWALL AND APRON
 TOPSOIL REPLACEMENT
 4" TOPSOIL BARRIERS
 4" CONCRETE
 6" CORNER JAR BASE (GRAVEL)
 6" REINFORCED CONCRETE (W/ REBAR AT 18" O.C. EACH WAY)
 6" CRUSHED AGGREGATE 3/4" BASE COURSE



THIS DRAWING IS THE PROPERTY OF WAGNER EXCAVATING & CONSTRUCTION, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF WAGNER EXCAVATING & CONSTRUCTION, INC. THE INTENT OF THE DESIGN IS FOR CONSTRUCTION AND/OR APPROVAL. IT IS THE OWNER'S RESPONSIBILITY FOR MAINTENANCE AND SAFETY OF THE CONSTRUCTED TRENCH.

Narrative for SPBCo

Sheboygan Paper Box Company (SPBCo) is an independent manufacturer of value-added folding cartons primarily for the food and paper products industries located throughout the Midwest. Founded in 1923 they have been at their present location since the late 1920s. It is the goal of SPBCo to expand their facilities to accommodate additional machinery and increase the overall efficiency in their operations. The Company currently owns the entire block between 7th and 8th Streets and Clara and Georgia Avenues. They wish to expand on their vacant land on the north side of their property.

This vacant parcel is the most favorable location for expansion as it can be tied into the Company's current manufacturing facility. Existing older houses were removed from this site in early 2007. Efficient plant work flow dictates that shipping/receiving, raw materials warehousing and sheeting machines be located at the northerly end of the facility.

The width of the building is based on sheeting machinery size and required operating aisles to safely and efficiently convert roll-stock raw materials into sheets that can be printed and converted. They are, therefore, requesting reduced building setbacks on South 8th Street and Georgia Avenue. The requested setback is approximately 4'-6", which matches the setback of the existing 1991 building. The requested Georgia Avenue setback varies from approximately 7'-0" at the northwest corner to approximately 5'-0" at the northeast corner.

On Georgia Avenue, SPBCo proposes that the setback area plus the street right-of-way area up to the south curb line be green space with generous plantings for a visual buffer from the street. They suggest that the sidewalk on this side be removed allowing for increased plantings and overall safety.

Storm water is required to be detained on the site. Ordinarily this could be accomplished with underground storage pipes; however, a high water table and very shallow storm sewers prevent them from doing so. The alternative is to construct an above ground detention structure. SPBCo proposes to place this structure near the northeast corner of the site, nested in a building recess. It will be a covered concrete tank with exposed vertical surfaces clad in split face concrete masonry matching that used at other portions of the building.

The five new loading docks will be placed in a 30° angle, saw-tooth configuration at the east end of the addition. They will replace three existing docks which face due north. The depth of the truck berths allow for the largest semi rigs (72'±) to be behind the sidewalk (property line) along South 7th Street. Trucks backing in from 7th Street will be required for this approach. SPBCo is therefore requesting a variance to permit this maneuver. Traffic impact on 7th Street will be minimal as current measured truck activity puts the average of shipping/receiving truck visits at 6 per day. These measurements were taken during SPBCo's busiest quarter. Further, the two additional berths will allow for trucks to park at a dock rather than having to wait in queue on 7th Street as they now must do.

SPBCo / Neighborhood Discussion Points

Updated from neighborhood meetings held on September 28th

How does this change our neighborhood?

- Green field on Georgia Avenue to be built upon with about a 30,000 sq. ft. addition to include warehousing, light manufacturing and an enlarged receiving area.
 - Much better looking building with landscaping
- Receiving of raw materials will take place on 7th Street with trucks approaching from the south and backing into 5 new saw-tooth bays. As we do now:
 - SPBCo will require all trucks shut down engines and head lights while in our bays
 - SPBCo will not allow overnight parking
 - Majority of our receiving will occur between 6:00 a.m. and 2:00 p.m.
 - Documented at 86% between June 1 and September 27 – our busiest time of year
 - We receive on average only 6 trucks per day
 - Documented between May 30 and September 27 – our busiest time of year
- Possible removal of sidewalk on the south side of Georgia Avenue.
 - Pedestrian safety
 - Creates a larger area for landscaping to break up building expanse
- Some landscaping and added green space on the southeast corner of Georgia Avenue and 7th Street.
- Less semi-truck waiting time because of 2 additional loading bays.

Additional considerations:

- Little to no manufacturing noise in new addition.
- Increased tax base for city coffers.
- Increased employment for our citizens.
 - We expect to hire up to 30 additional positions by 2019 – both entry level and skilled - blue and white collar.
- We believe public meetings to occur in late October or early November.

Our goal is for open communication and to be good neighbors. Please feel free to ask questions... if we don't have answers we will do our best to get back to you in a timely manner.



716 Clara Avenue
P.O. Box 326
Sheboygan, WI 53082-0326
Tel (920) 458-8373
Fax (920) 458-2901
www.spbox.com



September 21, 2016

Dear Neighbors:

Sheboygan Paper Box Company (SPBCo) is planning an expansion on to our Georgia Avenue property between 7th and 8th streets. This plan will improve the look of the neighborhood for the residents facing Georgia Avenue and will change the traffic pattern for receiving our raw materials. Our intent is to inform, listen to feedback, and answer questions you may have.

We will be hosting 2 neighborhood meetings at the King Park pavilion on Wednesday, September 28th between 11:00 a.m. and 1:00 p.m. and another between 5:00 p.m. and 7:00 p.m. Architectural drawings showing site elevations, design features and the full scope of the project will be available for viewing. Our architect, officers and managers of the Company will be present to take questions and explain more fully the process and timeframe involved. Food and refreshments will be available.

Changes affecting our neighborhood –

- The green field on Georgia Avenue to be built upon with about a 30,000 sq. ft. addition to include new manufacturing space and a new receiving area.
- Receiving of raw materials will continue to take place facing Georgia Avenue with semi-trucks entering Georgia Avenue from 7th street and then backing into a new saw-tooth loading dock system. As we do now:
 - SPBCo will require all semi-trucks shut down engines and lights while in our bays
 - SPBCo will not allow overnight parking
 - Majority of our receiving will occur between 6:00 a.m. and 2:00 p.m.
- Elimination of some parking on the south side of Georgia Avenue
- Possible removal of sidewalk on the south side of Georgia Avenue
 - Pedestrian safety
 - Creates a larger area for foliage and landscaping to break-up expanse of building
- Considerable landscaping and green space on the corner of Georgia Avenue and 7th Street.
- Improved traffic flow on 7th Street.
- Noiseless operation in new addition.

SPBCo is excited about our new expansion, but we also understand with change comes some concern. We want to be a good neighbor as well as a good corporate citizen. We look forward to explaining our expansion and addressing your questions. Please join us at one of our informational meetings!

Most sincerely,

Jack Liebl
Chairman/CEO

Thomas Liebl
President/COO

Christopher Bolin
Executive VP & General Mgr.

Scott Monnot
Plant Manager



716 Clara Avenue
P.O. Box 326
Sheboygan, WI 53082-0326
Tel (920) 458-8373
Fax (920) 458-2901
www.spbox.com



October 13, 2016

Dear Neighbors:

I would like to thank those of you that attended our informational meetings and gave us input on our planned expansion. Your ideas, concerns and comments combined with additional engineering data and suggestions from the City have led Sheboygan Paper Box Co (SPBCo) to re-evaluate our plans and take this project in a new direction.

Enclosed with this letter are new renderings of our proposed addition. The major difference from our recent design is all truck traffic and SPBCo's receiving docks will remain on 7th Street, similar to our present system. Trucks will continue to approach SPBCo from the south but will have the ability to quickly back into and exit from new receiving bays positioned at an efficient 30^o angle providing safe and proper sight lines. All truck traffic will remain on existing truck routes and truck traffic on Georgia Avenue will be nonexistent.

While we still have some things to work out with city engineers, we believe this design to be not only workable but also an improvement for the look of our neighborhood, traffic flow and safety. Within the next two weeks you will receive notice of the required architectural review and council meetings from the City. If you so choose, I encourage you to attend, comment and ask questions.

All of us at SPBCo remain committed to open communication and being a good corporate neighbor. Should you require further explanation I would be happy to discuss our expansion with you personally. I am generally available at my direct line listed below between 7:30 a.m. and 4:30 p.m., Monday thru Friday or via email.

Most sincerely,

Jack Liebl
Chairman/CEO
Direct line: 920.694.6224
jliebl@spbox.com

**SHEBOYGAN PAPER BOX
2016 BUILDING ADDITION**



BIRDS-EYE VIEW LOOKING SOUTHEAST



813 Riverfront Drive • Sheboygan, WI 53081 • Phone 920-458-4800 • Fax 920-458-1485

**SHEBOYGAN PAPER BOX
2016 BUILDING ADDITION**

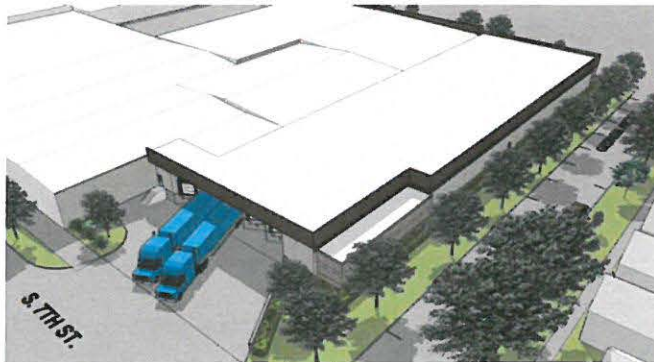


BIRDS-EYE VIEW LOOKING SOUTH



813 Riverfront Drive • Sheboygan, WI 53081 • Phone 920-458-4800 • Fax 920-458-1485

**SHEBOYGAN PAPER BOX
2016 BUILDING ADDITION**



BIRDS-EYE VIEW LOOKING SOUTHWEST



813 Riverfront Drive • Sheboygan, WI 53081 • Phone 920-458-4800 • Fax 920-458-1485



716 Clara Avenue
P.O. Box 326
Sheboygan, WI 53082-0326
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(800) 458-8373
Fax (920) 458-2901
www.spbox.com



Sheboygan Paper Box Company: a brief history

Centrally located on the western shores of Lake Michigan in Sheboygan, WI, Sheboygan Paper Box Company (SPBCo) is able to receive raw materials and serve its geographical markets of the Mid-West, Mid-East, and Central United States with relative ease. The community of Sheboygan and the surrounding area offer a diverse and culturally rich workforce with a strong work ethic. Sheboygan and Sheboygan County awards its residents with a pristine environment, ample prospects for education and employment, along with endless recreational and cultural opportunities.

Established with Articles of Organization on November 28, 1923 SPBCo has been a fixture of manufacturing and job creation in Sheboygan County for nearly a century. A commitment to providing innovative, quality solutions to customers' packaging needs has been the foundation of the company's success. Today that commitment continues under the guidance of the Liebl family and a team of talented professionals.

Founders Sytze Jasper, Wietse Gorter, and Cornelius Vander Puy sold the company in 1925 to Louis Olson and Raymond E. Porter. They operated SPBCo for nearly 20 years before selling the company to G. Britt McKinley and Matt Werner. Mr. McKinley filed Articles of Incorporation for SPBCo in 1945 and 5 years later sold the fledgling company to Woodrow A. Tupper and Robert H. Liebl. Together with Mrs. Joyce E. LeMahieu they represented the officers and Board of Directors of SPBCo in 1950. With an established management team in place, Mr. McKinley left the Company to pursue other interests.

The sudden death of Woodrow Tupper on October 31, 1963 resulted in Robert Liebl becoming majority stockholder and Chief Executive Officer. Mrs. LeMahieu, a minority stockholder, sold her shares back to the corporation in 1974 upon her retirement. Consequently, Robert Liebl became sole owner of SPBCo.

Robert Liebl served SPBCo with distinction as Chairman, President, and/or CEO from December 23, 1963 through his retirement on December 31, 1986. At this time the company was sold to his children Martha Kemp, Jack Liebl, Mary DeWeese, and Thomas Liebl. Victor Muehleis, who joined SPBCo

in 1967, became Chairman of the Board and retired from day-to-day duties on June 6 of 1991. He remains an active Board member to this day.

Formerly, the property of SPBCo at 716 Clara Avenue was owned by the Wisconsin Power & Light Company; the original building was utilized as their street car storage and repair shop. As the business of SPBCo grew the buildings were expanded appreciably with the acquisition of several adjacent properties. Eventually SPBCo's expansion led to ownership of the entire city block. In addition to the main manufacturing facilities, an off-site Distribution Center is located at 728 S. 11th St. with a finished goods warehouse located at 1137 Illinois Avenue.

SPBCo's Mission Statement is simple; ***Sheboygan Paper Box Company is committed to provide value-added packaging solutions and exceptional service.*** Over the years SPBCo has prospered in due deference to its mission and is widely respected in the community, the packaging industry and beyond for its conservative management philosophy, integrity, technology, and outstanding employer-employee relationships.

As its journey to 100 years continues SPBCo constantly evolves with the dynamic economic landscape of our country and the ever changing requirements of its customer base. For over 50 years SPBCo's main thrust was servicing 'main street America' with a complete line of basic gift packaging supported by a small in-house sales force and a diverse jobber-distributor network that extended throughout the United States.

In the 1970's with the emergence of Wal Mart, Target and numerous other 'big box stores' America's buying habits changed and the market SPBCo served for so many years started to dwindle. To survive SPBCo needed to diversify.

Today SPBCo manufactures very little gift packaging; its emphasis over the past few decades has been to serve the diverse manufacturing sector that is defined as 'industrial packaging'. Some of SPBCo's larger successes in those sectors included electronics, auto parts, publishing and toy manufacturing.

During the 80's and 90's the emergence of China, Mexico, Brazil and other economic powers took many of these manufacturing sectors out of the United States; again SPBCo needed to change to meet market demands and to guarantee its survival.

Today, SPBCo proudly manufactures for numerous customers in the ever growing food markets. Convenience, confectionary, frozen and dry goods are a few of the food sectors served. In addition, many new customers have been cultivated in the paper, paper products and consumer products industries so well represented throughout the mid-west.

Moving forward SPBCo expects these markets to remain strong and looks forward to an increased presence in other sectors such as health & beauty, and institutional health-care. Coupled with an even greater presence in the food related products industry; the future for SPBCo looks bright.

SPBCo's history is diverse, their work force strong and its management willing to take the necessary steps to remain a ruggedly independent force in the folding carton packaging industry.

SPBCo is presently served by the following officers and directors:

Officers

Jack R. Liebl; Chairman/CEO

Thomas A. Liebl; President/COO, Treasurer

Christopher T. Bolin; Executive Vice President/General Manager

Helen J. Liebl; Secretary

Directors:

Jack R. Liebl

Thomas A. Liebl

Martha L. Kemp

Mary A. DeWeese

Helen J. Liebl

Victor E. Muehleis

Attorney William TeWinkle – Board Advisor

Executive Management Team

Jack Liebl

Tom Liebl

Chris Bolin

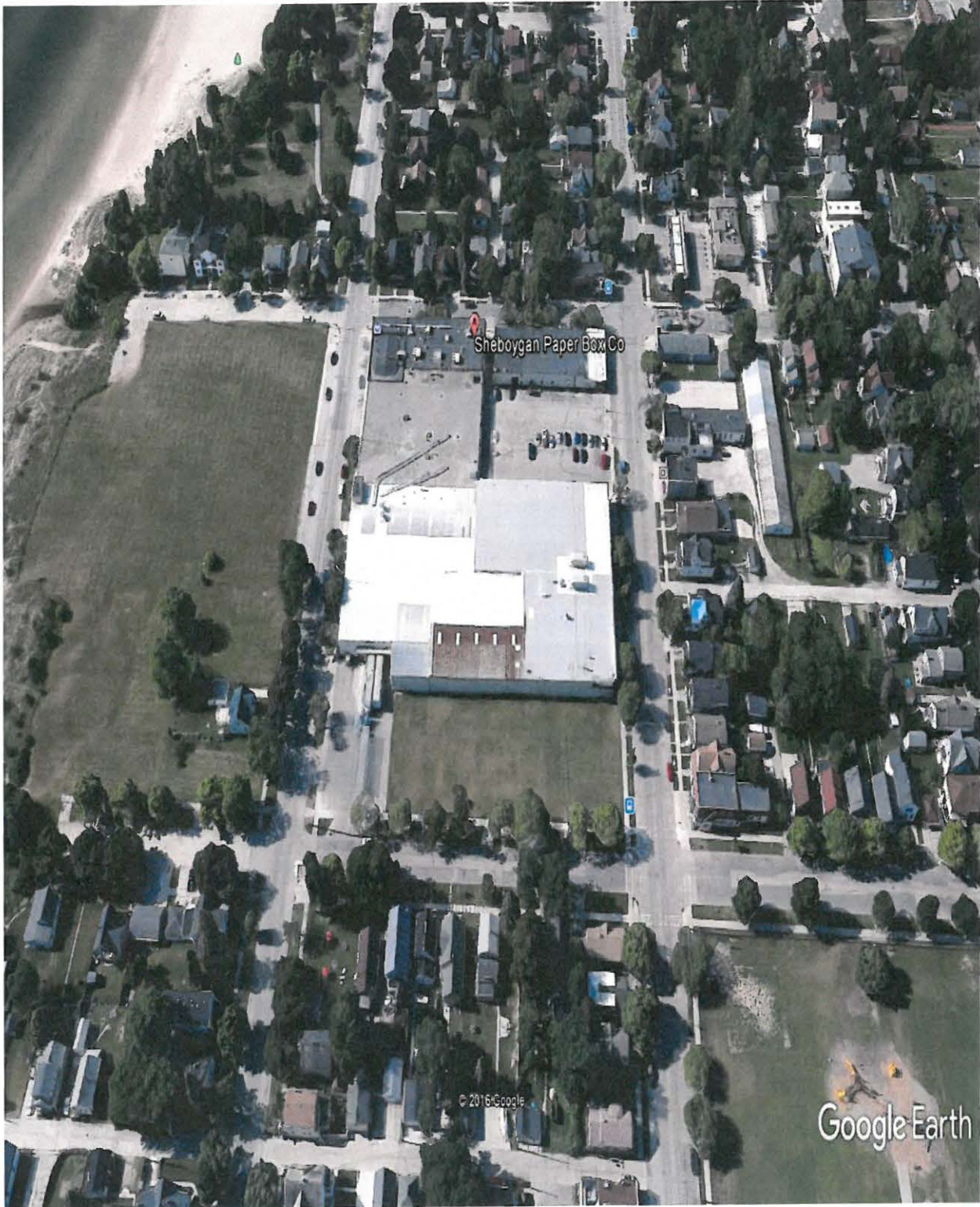
Bank: Wells Fargo; Sheboygan

D&B # 00-607-1518

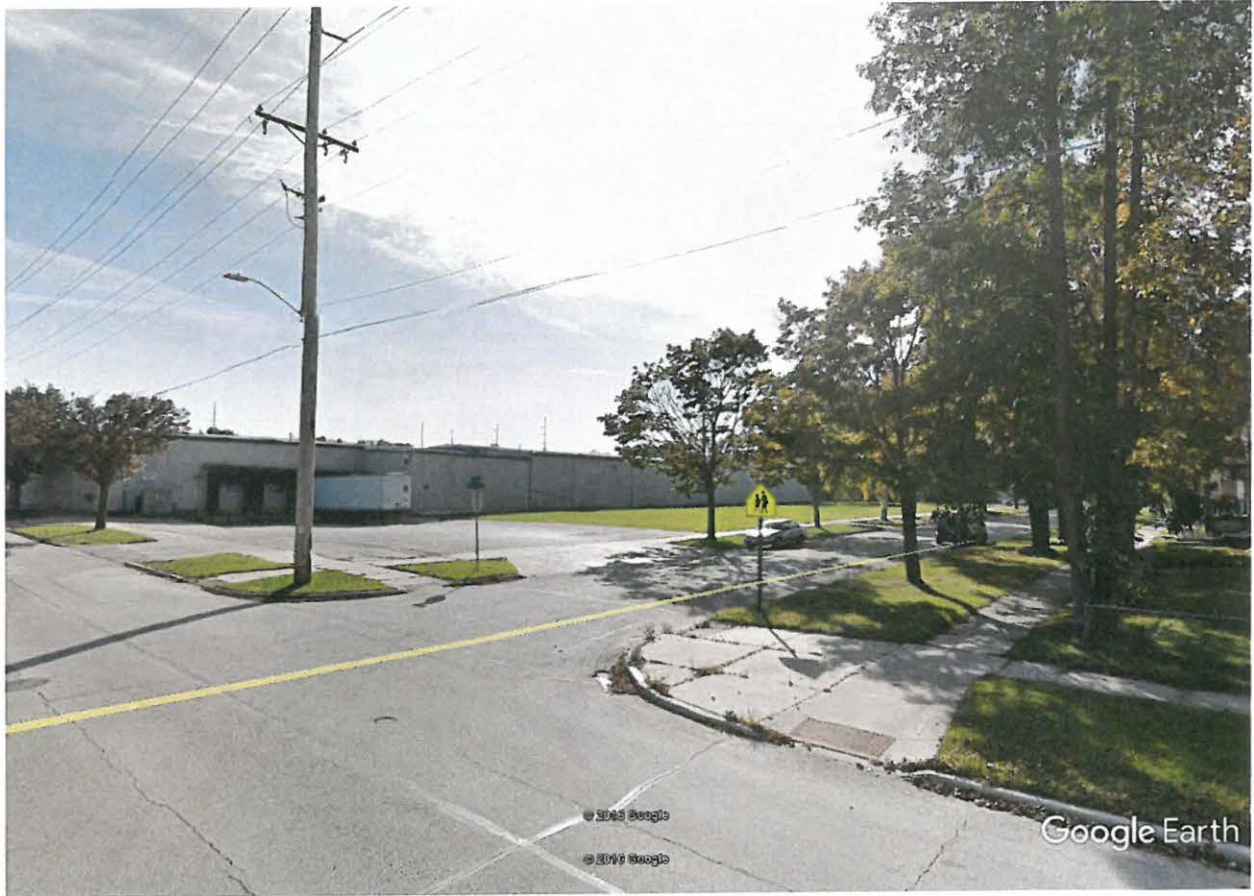
Union affiliation; IUE-CWA Local 800, AFL-CIO

www.spbox.com

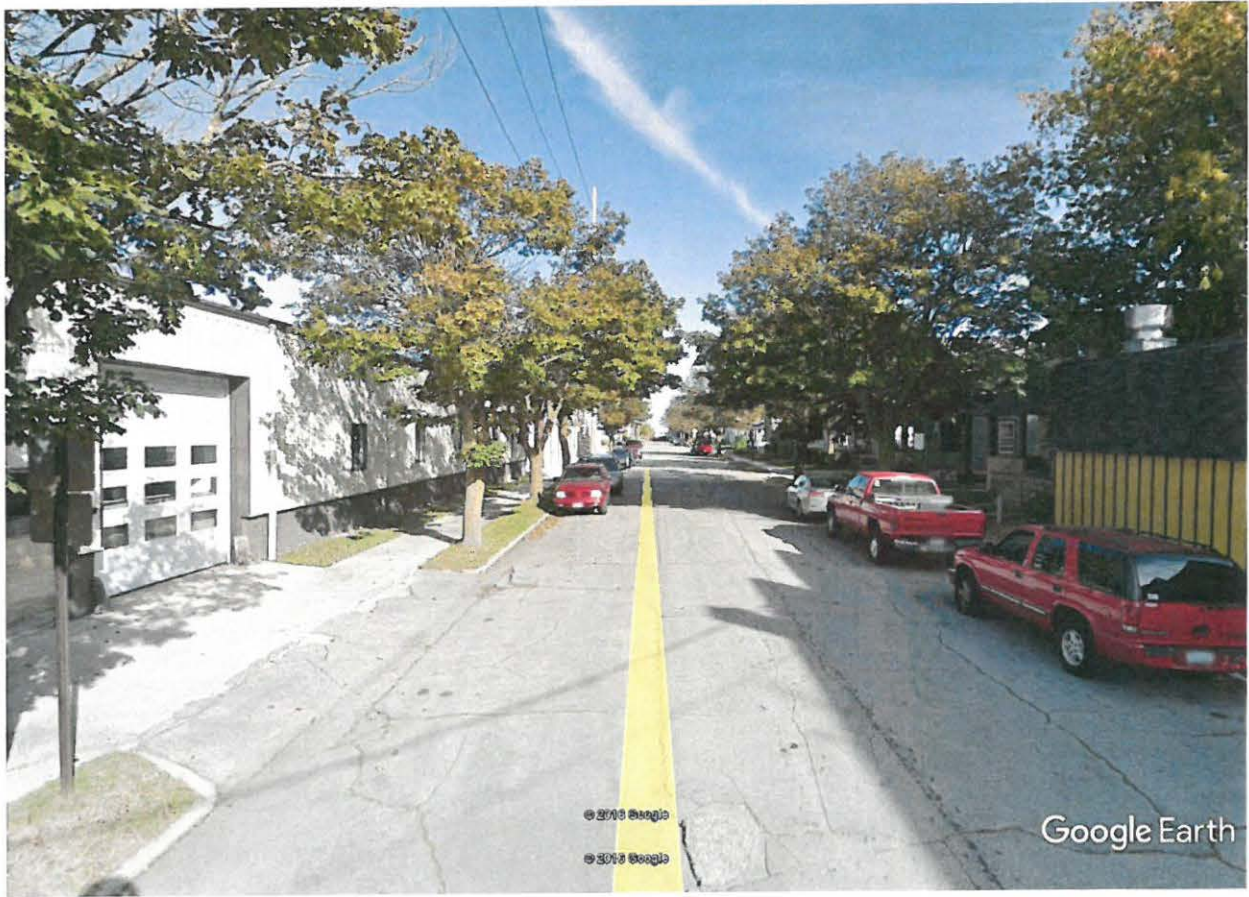
References upon request















PARCEL NO. 431754
MAP NO. _____
ZONING CLASSIFICATION: _____

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 11/15/16

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: D&L SIGNS, INC.
5307 Fuller Street
ADDRESS: Schofield WI 54476 E-MAIL: dlsigns@dwave.net
PHONE: (715) 359-8846 FAX NO. (715) 355-1599

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Burger King
ADDRESS OF PROPERTY AFFECTED: 2910 South Business Dr.
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: _____
Fast Food

DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: _____
Fast Food - New Construction

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: 4 wall signs, 1 monument sign with electronic message center

D&L Signs, Inc.

5307 Fuller Street

Weston, WI 54476

715-359-8846

October 27, 2016

City Of Sheboygan
Department of City Development

Attn: City Plan Commission
Subject: Application for Conditional Use Permit for signs at Burger King

To whom it my concern,

I am representing Cave Enterprises whom is the owner/operator of the new Burger King being constructed at 2910 South Business Drive in Sheboygan.

We are requesting a variance for proposed signage at this location. Attachment #1 is rendering showing the proposed signs. There would be quantity 4 signs on the building, three .6 foot diameter button style LED illuminated signs that extend 10" out from wall and quantity 1 set of "Home Of The Whopper" LED illuminated channel letter style sign that would be mounted to awning above the main entry of the store.

Materials utilized to manufacturer the signs are plastic and aluminum with decorated polycarbonate translucent faces per attached construction drawings.

We are requesting that the variance be approved to allow all signage so that the elements on the tower and entry awning are complimented per arcturicatural design in addition to allowing for adequate marketing of the business.

The monument sign is in keeping with your neighboring "high end" architecture with a solid brick base and columns accented with limestone cap base and caps on the towers. A full color electronic message will complement the sign allowing the business to advertise and provide public service messages. The main round sign on the monument will match the artwork of the button wall signs and will be 4' in diameter. Materials utilized for the monument sign will complement the main building structure.

The above signs if allowed at this location will assure that the restaurant will remain viable with a solid customer base.

Thank you for your consideration of this sign variance.



Kirk Reimann
President
D&L Signs, Inc.

Monument Sign

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 8' X WIDTH: _____ = TOTAL SQUARE FOOTAGE: 31.13

AMOUNT OF PUBLIC STREET FRONTAGE: 180.2

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: NA

SETBACK: 25'

METHOD OF ATTACHMENT: Steel 3"x3"

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: Metal, Plastic

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: _____

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Kirk Reisman
APPLICANT'S SIGNATURE

10-25-16
DATE

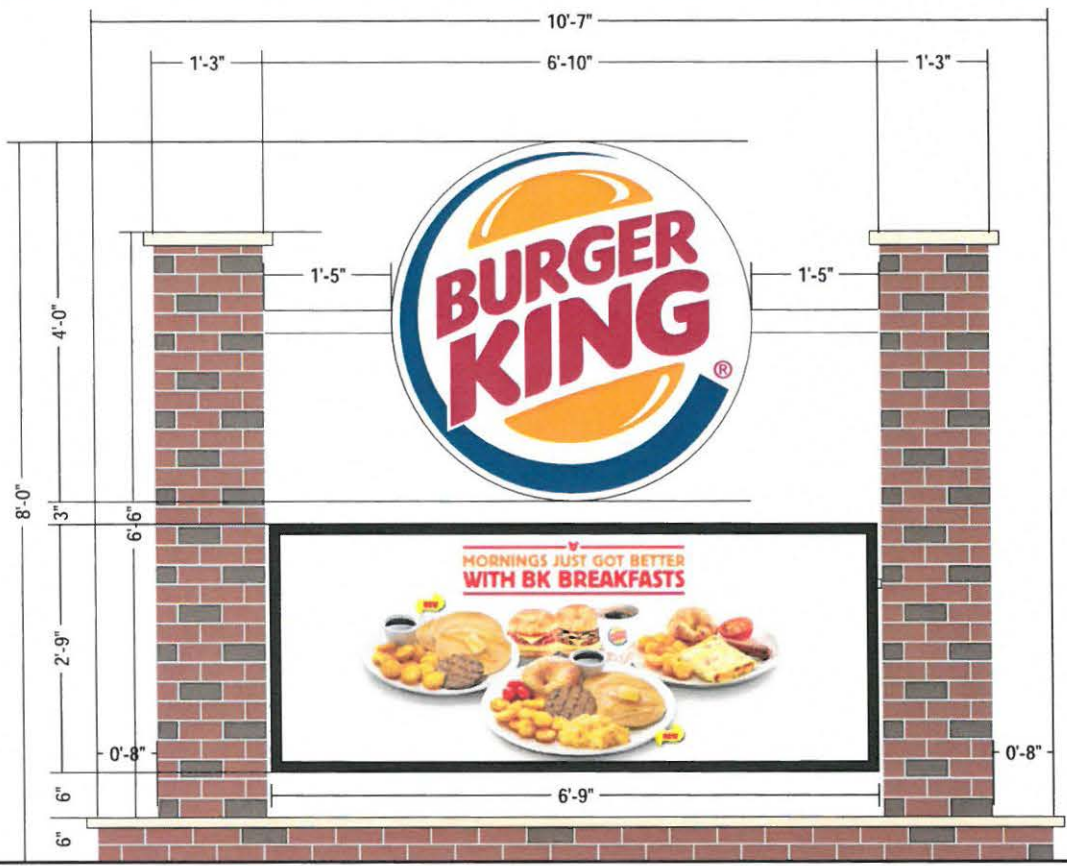
Kirk Reisman
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- For existing development, a site plan approved by the City Planner & Zoning Manager, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.

D&L SIGNS, INC.
5307 Fuller Street
Schofield WI 54476

CUSTOM MONUMENT SIGN



SIGN: TWO S/F INTERNALLY ILLUMINATED BUTTON LOGOS
 W/ ELECTRONIC MESSAGE CENTER BY OPTEC
 *BRICK BASE TO MATCH BUILDING BY GC

Color key for the sign:

- To match #3630-3410 Yellow
- To match #3630-8066 Blue
- To match #3630-2418 Red
- White

CUSTOMER APPROVAL

DATE

FILE LOCATION: H: MARKETING DESIGN / CDR / B / BURGER KING / SHEBOYGAN, WI.cdr



THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY ENTERA BRANDING. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY ENTERA BRANDING. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANY MANNER.

CLIENT:	BURGER KING
LOCATION:	SHEBOYGAN, WI
DRAWN BY:	JMH

SCALE:	3/4" = 1'-0"	REV.1	****
DATE:	11.02.16	REV.2	****
DWG. NO.:	SHEBOYGAN, WI	REV.3	****
		REV.4	****

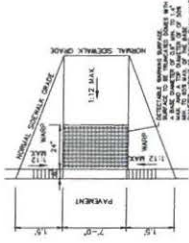
SITE INFORMATION:
LEGAL DESCRIPTION:
Lot 4 of the Wilson Avenue Square Subdivision Plan recorded in Document No. 1641743, in the Sheboygan County Register of Deeds office, all being a part of the Northwest 1/4 of the Section 16, Township 35 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin.
PROPERTY AREA: AREA = 31,397 S.F. (0.72 ACRES).
EXISTING ZONING: SUBURBAN COMMERCIAL (SC)
PROPOSED ZONING: SUBURBAN COMMERCIAL (SC)
PROPOSED USE: FAST FOOD RESTAURANT
AREA OF SITE DISTURBANCE: 30,409 S.F. (0.70 AC)
SETBACKS: BUILDING: FRONT = 25', REAR = 10', SIDE = 10', SIDE = 5'.
PAVEMENT: FRONT = 10', REAR = 5'.
PROPOSED BUILDING HEIGHT: 21' (MAX. HEIGHT 50' ALLOWED)
PARKING REQUIRED: 1 SPACE PER 3 PATRONS (21 SPACES REQ.)
PARKING PROVIDED: 23 SPACES (2 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 2; HANDICAP STALLS PROVIDED: 2
BUILDING OCCUPANCY CLASSIFICATION = A-2
CLASS OF BUILDING CONSTRUCTION = A-2
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 2.0%

EXISTING SITE DATA

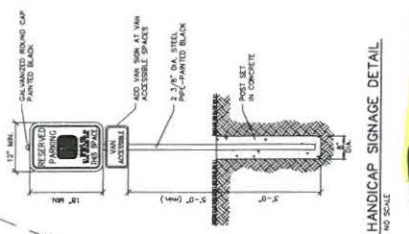
PROJECT SITE	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0.00	0.00
PAVEMENT (CLAP & CONC.)	0.00	0.00	0.00
LANDSCAPE / OPEN SPACE	0.00	0.00	0.00
TOTAL	0.00	0.00	0.00

PROPOSED SITE DATA

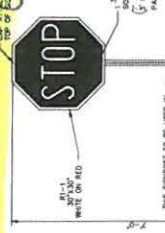
PROJECT SITE	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.72	31,397	100.00
PAVEMENT (CLAP & CONC.)	0.40	17,543	55.90
TOTAL IMPROVED	0.48	20,833	66.38
LANDSCAPE / OPEN SPACE	0.24	10,415	33.62
TOTAL	0.72	31,397	100.00



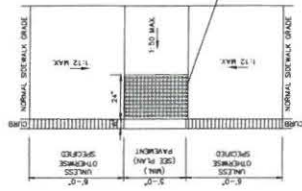
CURB RAMP DETAIL
NO SCALE



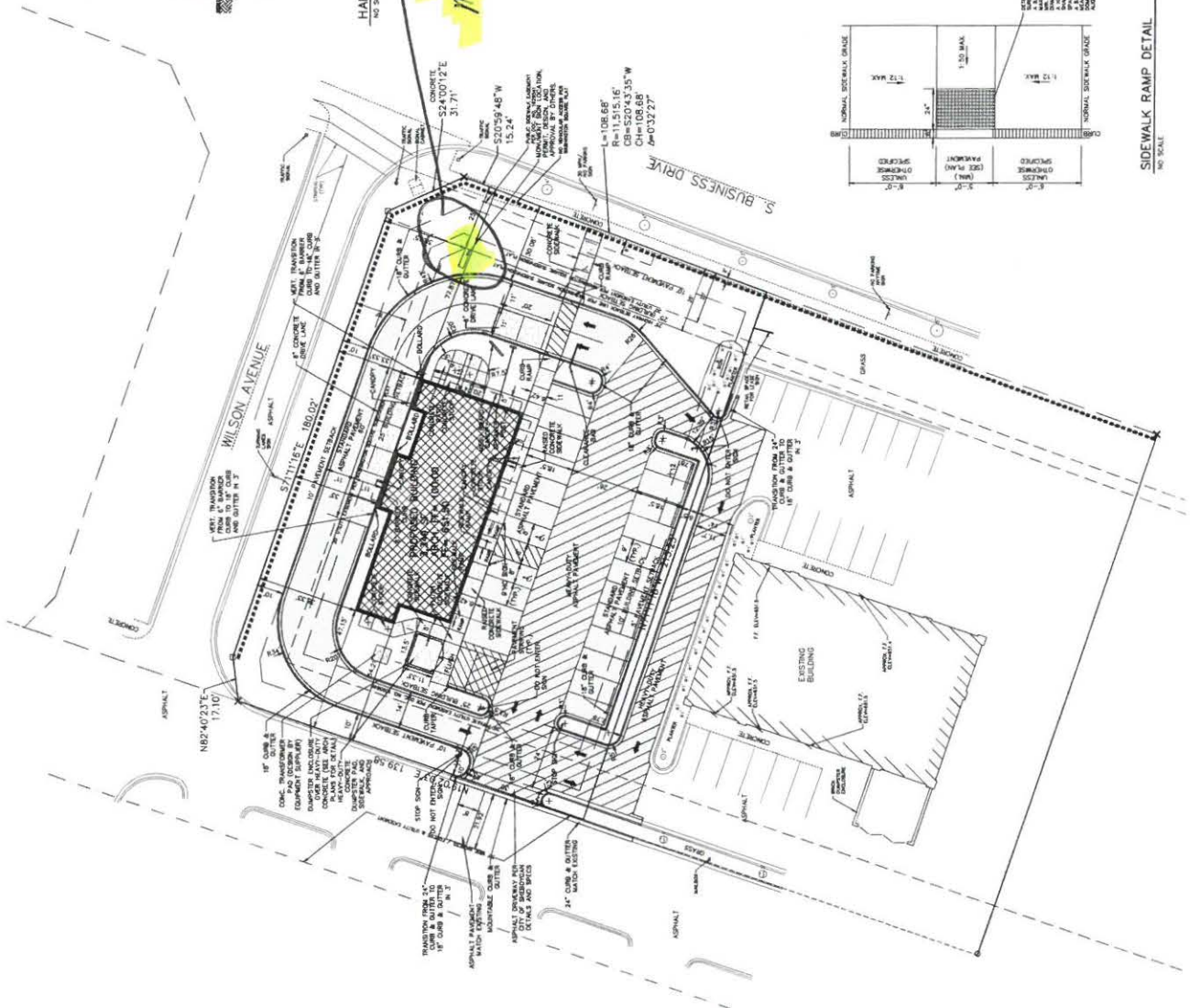
HANDICAP SIGNAGE DETAIL
NO SCALE



STOP SIGN DETAIL
NO SCALE

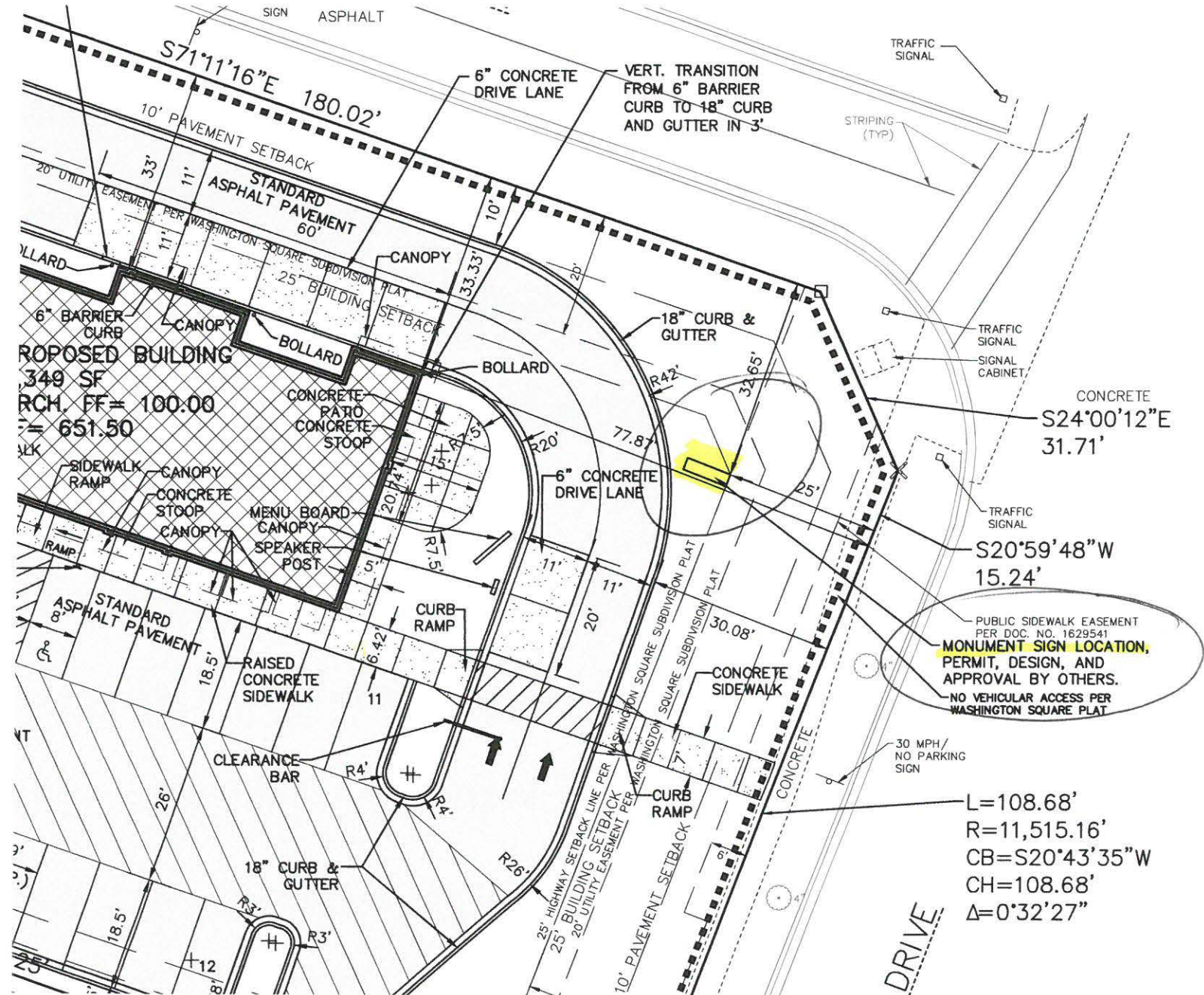


SIDEWALK RAMP DETAIL
NO SCALE



Proposed Monument Sign

Burger King Sheboygan



D&L SIGNS, INC.
 5307 Fuller Street
 Schofield WI 54476

"Home of the Whopper" channel letters

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 1'2" X WIDTH: 23'9" = TOTAL SQUARE FOOTAGE: 28

AMOUNT OF PUBLIC STREET FRONTAGE: 18.2

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: 49'

SETBACK: 33'

METHOD OF ATTACHMENT: Lag Bolts

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: Metal, Plastic

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: 167

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Kirk Reimann
APPLICANT'S SIGNATURE

10-25-16
DATE

Kirk Reimann
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

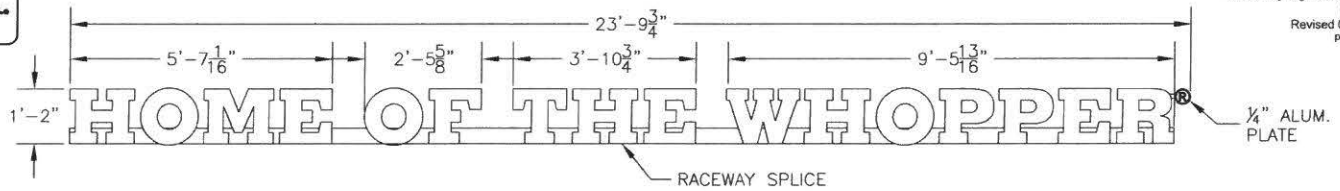
- a. For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- b. For existing development, a site plan approved by the City Planner & Zoning Manager, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.

D&L SIGNS, INC.
5307 Fuller Street
Schofield WI 54476

28 sq Ft.

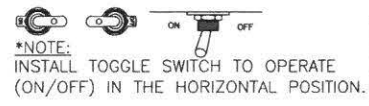
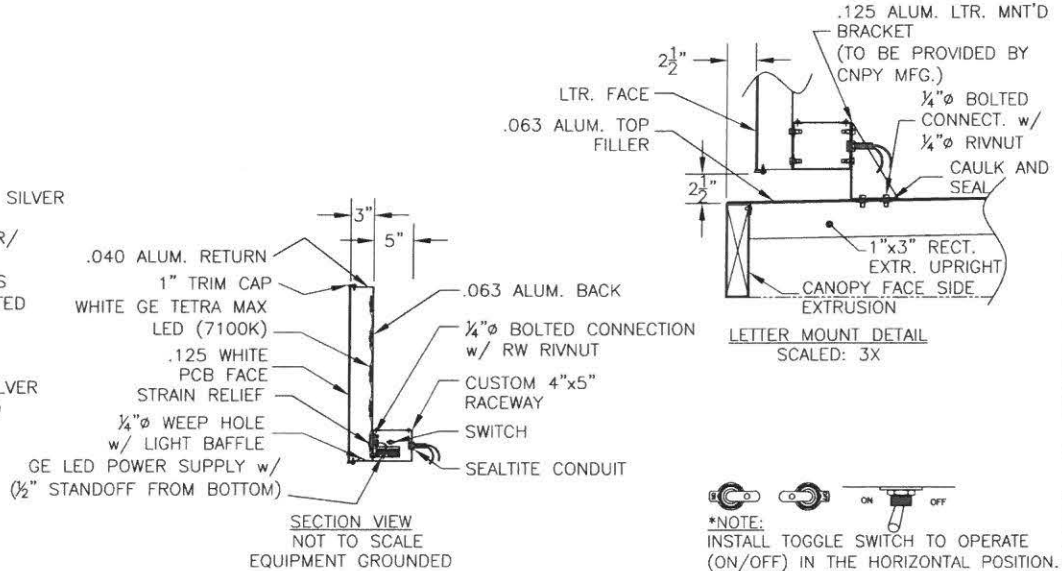


REV	DATE	DESCRIPTION	BY
		S-3 "Home of the Whopper" Silver Day/Night Channel Letter White LED Revised 02/07/2012 page 29 of 95	



COLOR NOTES:
 BACKS: .063 ALUM. PAINT BACKS BRUSHED ALUM. SILVER
 PAINT INSIDE LEP WHITE
 RETURNS: 3"x.040 PAINTED BRUSHED ALUM. SILVER/
 WHITE (STAPLE & CAULK)
 TRIM CAP: 1" SILVER JEWELITE TO MATCH RETURNS
 FACE: .125 7328 WHITE PCB w/ SILVER PERFORATED
 DAY/NIGHT VINYL TO BE APPLIED 1st SURFACE
 RTM: 1/4" ALUM. PAINTED BRUSH ALUM. w/ 2793
 RED VINYL COPY
 RACEWAY: .090 ALUM. PAINTED BRUSHED ALUM. SILVER
 ILLUMINATION: WHITE GE TETRA MAX LED'S (7100K)

ELECTRICAL NOTE - Actual # of circuits to be determined by a Licensed Electrical Contractor.
 TOTAL AMPS: 1.70
 # OF CKTS: 1 20 AMP (RECOMMENDED)
 VOLTS: 120
 ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161
 COMPLIANT AND CARRY (U.L.) LABELS.



Note: BURGER KING® or BURGER KING® Buns and Crescent Logo to use "BK" for all locations globally. All other marks will use "TK".
 BURGER KING® in the U.S. use the ® trademark symbol. The Burger King® trademark may not be registered in all countries. See "Legal Standards" for more information. For registration updates, please contact the legal department in Miami (305) 376-3000.

<p>© Copyrighted Document This Drawing/Design illustrated is the Copyrighted Property of Burger King. The production, copying, or use hereof is prohibited without written consent. Any infringement will be subject to legal action.</p>	<p>Project Information</p> BURGER KING Custom Exterior Signage Systems No Burger King Design Over RFP #1 Design - Date: 12/18/2011	<p>Client Review Status</p> Burger King requires that an <input checked="" type="checkbox"/> Approved drawing be obtained from the client prior to any production release or production release revision.	<input type="checkbox"/> Approved <input type="checkbox"/> Revise & Resubmit	Name _____ Title _____ Date _____	
	<p>© Copyrighted Document</p>			<input type="checkbox"/> Approved <input type="checkbox"/> Revise & Resubmit	Name _____ Title _____ Date _____
	<p>© Copyrighted Document</p>			<input type="checkbox"/> Approved <input type="checkbox"/> Revise & Resubmit	Name _____ Title _____ Date _____

D&L SIGNS, INC.
 5307 Fuller Street
 Schofield WI 53126

Round Sign #1

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 6 X WIDTH: 6 = TOTAL SQUARE FOOTAGE: 36

AMOUNT OF PUBLIC STREET FRONTAGE: 180.2

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: 49'

SETBACK: 33'

METHOD OF ATTACHMENT: Lag bolts

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: Metal Plastic

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: 167

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Kirk Reimann
APPLICANT'S SIGNATURE

10-25-16
DATE

Kirk Reimann
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- For existing development, a site plan approved by the City Planner & Zoning Manager, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.

D&L SIGNS, INC.
5307 Fuller Street
Schofield WI 54476

Round sign #2

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 6 X WIDTH: 6 = TOTAL SQUARE FOOTAGE: 36

AMOUNT OF PUBLIC STREET FRONTAGE: 180.2

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: 49'

SETBACK: 68

METHOD OF ATTACHMENT: Lag Bolts

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: Metal Plastic

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: 167

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Kirk Reimann
APPLICANT'S SIGNATURE

10-25-16
DATE

Kirk Reimann
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- a. For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- b. For existing development, a site plan approved by the City Planner & Zoning Manager, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.

D&L SIGNS, INC.
5307 Fuller Street
Schofield WI 54476

Round Sign #3

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 6 X WIDTH: 6 = TOTAL SQUARE FOOTAGE: 36

AMOUNT OF PUBLIC STREET FRONTAGE: 180.2

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: 21'

SETBACK: 69'

METHOD OF ATTACHMENT: Lay Belts

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: Metal Plastic

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: 167

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Kirk Reimann
APPLICANT'S SIGNATURE

10-25-16
DATE

Kirk Reimann
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- a. For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
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- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.

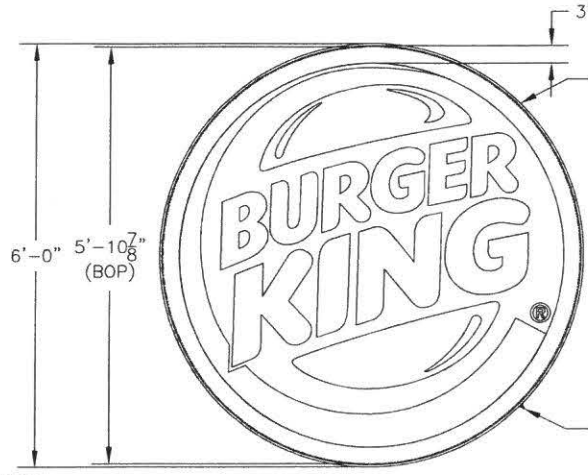
D&L SIGNS, INC.
5307 Fuller Street
Schofield WI 54476



REV	DATE	DESCRIPTION	BY

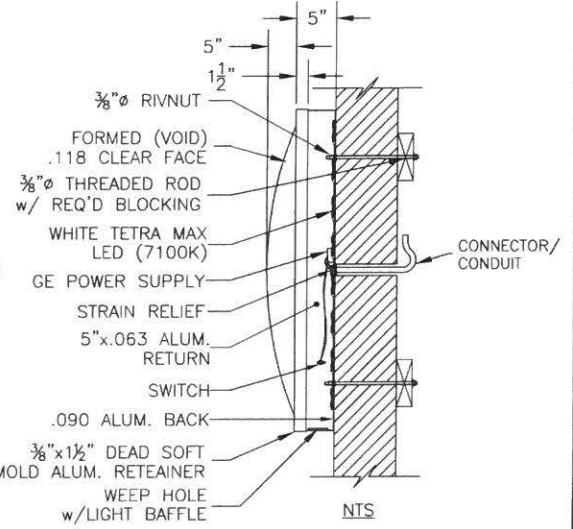
S-1.1L60
6' LED Illuminated
Single Face Wall Sign
Revised 02/07/2012
page 14 of 95

LOGO
28.3 SQUARE FEET



3/8" x 1 1/2" DEAD SOFT F-MOLD ALUM. RETAINER ATTACHED WITH (2) 3/8" POP-RIVETS LOCATED AT THE SEAM AT THE TOP OF THE CABINET AND GLUED EVERY OTHER FOOT WITH DEVCON PLASTIC WELDER 14320

SWITCH



NTS

COLOR NOTES:
BACKS: .090 ALUM. w/ WHITE FINISH
RETURNS/ RETAINER: 5"x.063 ALUM. (STAPLED & CAULKED)
PRE-FINISHED BK SILVER/ WHITE
FACE: FORMED (VOID) .118 CLEAR PCB
BUN LOGO: 3630-125 YELLOW
ACCENT RING: 3630-8703 BLUE
COPY/ RTM: 3630-33 RED
BKG'D/ BUN ACCENT: 3635-30 WHITE DIFFUSER
ILLUMINATION: GE TETRA MAX (7100K)
VINYL TO BE APPLIED 2nd SURFACE

ELECTRICAL NOTE-Actual # of circuits to be determined by a Licensed Electrical Contractor.
TOTAL AMPS: 1.70
OF CKTS: 1 20 AMP(RECOMMENDED)
VOLTS: 120
ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161
COMPLIANT AND CARRY (U.L.) LABELS.

Note: BURGER KING® or BURGER KING® Buns and Crescent Logo to use "®" for all locations globally. All other marks will use "TM".
BURGER KING® in the U.S. use the ® trademark symbol. The Burger King ® trademark may not be registered in all countries. See "Legal Standards" for more information. For registration updates, please contact the legal department in Miami (305) 378-3000.



*NOTE:
INSTALL TOGGLE SWITCH TO OPERATE (ON/OFF) IN THE HORIZONTAL POSITION.

<p>© Copyrighted Document This Drawing/Design illustrated is the Copyrighted Property of Burger King. The production, copying, or use hereof is prohibited without written consent. Any infringement will be subject to legal action.</p>	<p>Project Information</p> <p>BURGER KING Custom Exterior Signage Systems</p> <p>No. Burger King Design Dev RFP 01 Design Date: 12/18/2011</p>	<p>Client Review Status</p> <p>Burger King requires that an <input checked="" type="checkbox"/> Approved drawing be obtained from the client prior to any production release or production release revision.</p>	<p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Revise & Resubmit</p>	<p>Name _____</p> <p>Title _____</p> <p>Date _____</p>
	<p>_____</p>			<p>_____</p>
	<p>_____</p>			<p>_____</p>

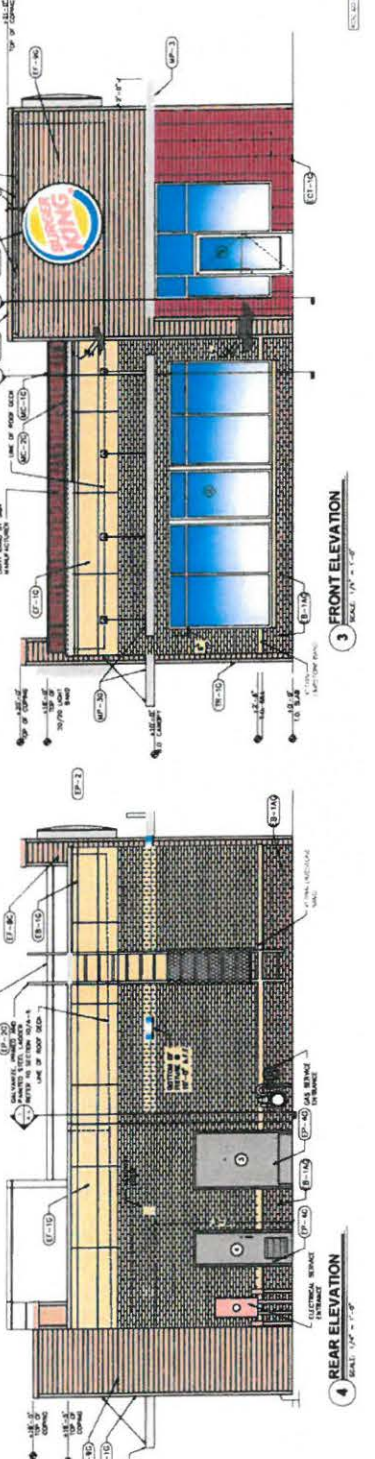
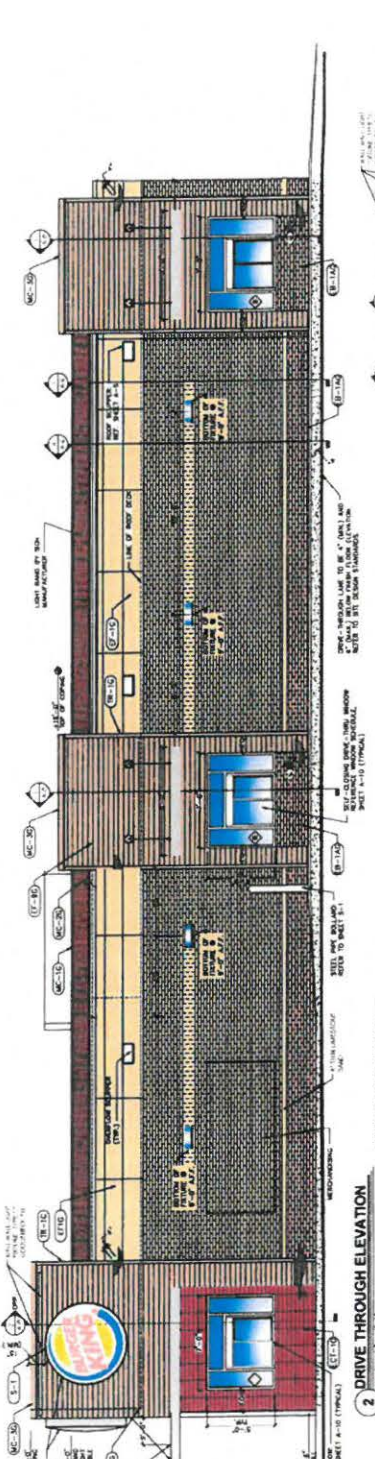
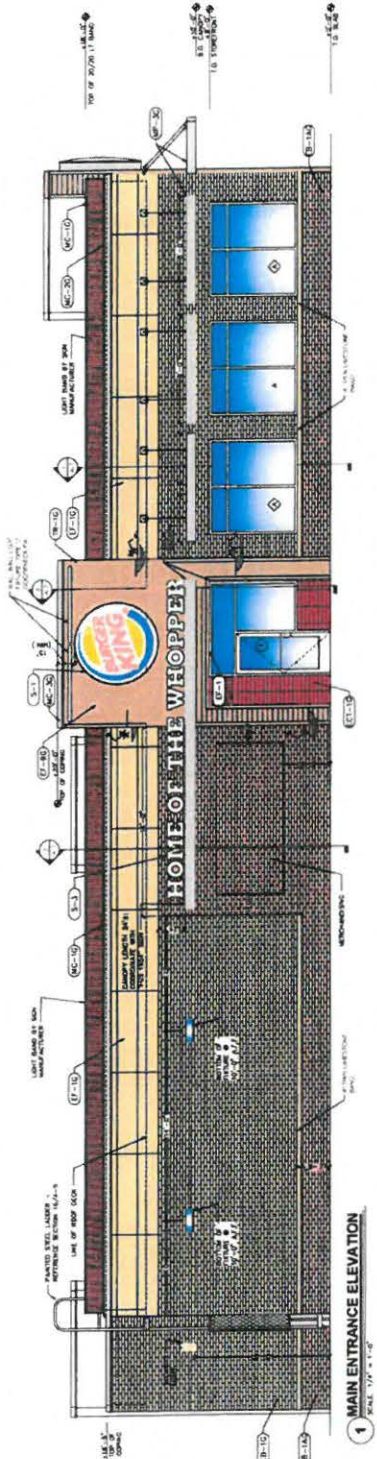
D&L SIGNS, INC.
5307 Fuller Street
Schofield WI 54476

DATE	DESIGNED BY	CHECKED BY



PROSI DESIGN, INC.
 1814 WEST 18TH STREET
 CHANDLER, ARIZONA 85224
 PHONE: 480-948-0000
 FAX: 480-948-0000
 E-MAIL: info@prosidesign.com

PROJECT #	NO. 2023-0000-0000
ARCHITECT NAME	PROSI DESIGN, INC.
CLIENT NAME	BUCKLE UP
PROJECT ADDRESS	1000 W. GILBERT AVENUE, SUITE 100, CHANDLER, AZ 85224



3 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

4 REAR ELEVATION
 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS ARE IN FEET AND INCHES
 UNLESS OTHERWISE SPECIFIED

CERTIFIED SURVEY MAP

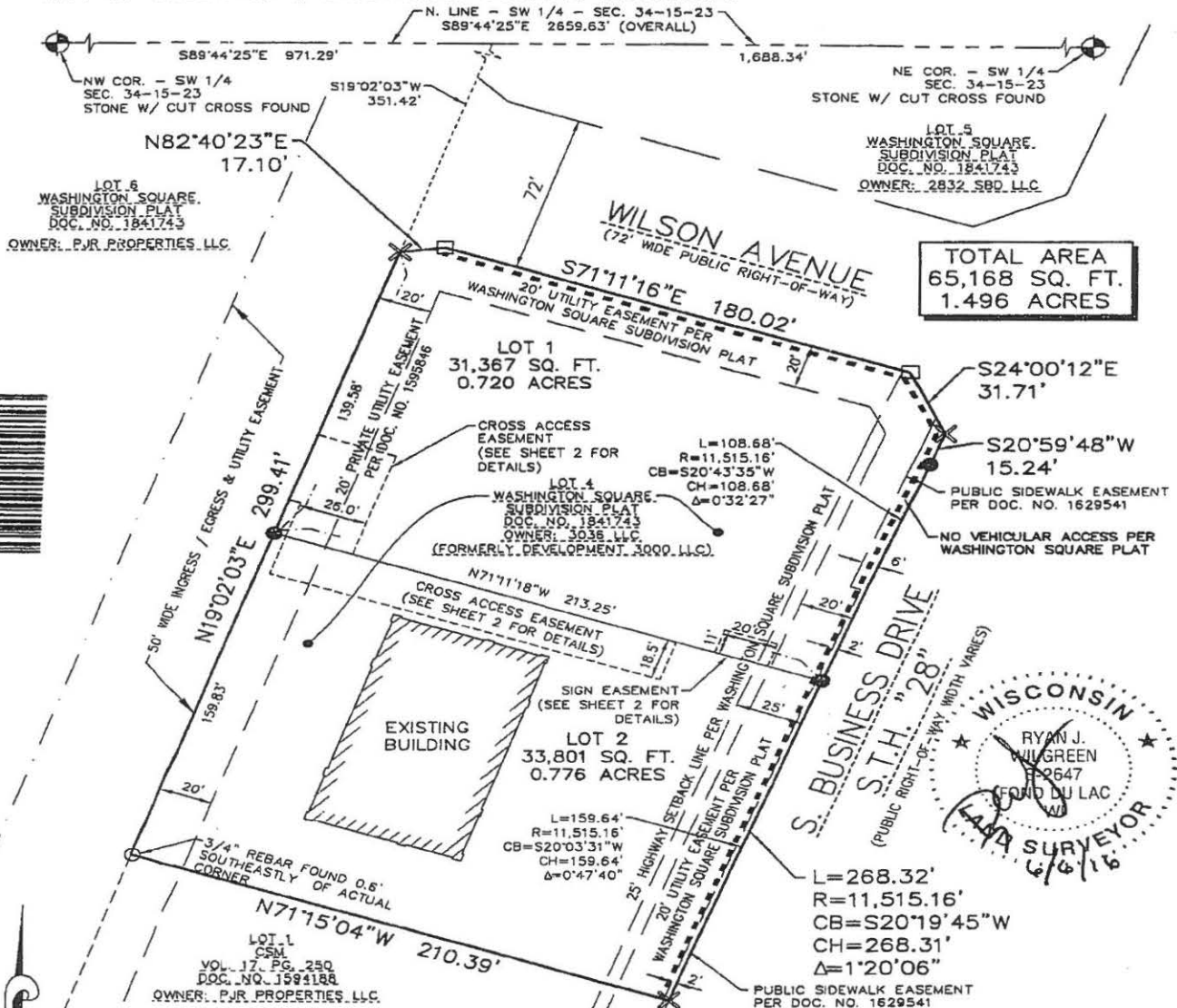
FOR

3036 LLC

(FORMERLY DEVELOPMENT 3000 LLC)

LOT 4 OF THE WASHINGTON SQUARE SUBDIVISION PLAT,
BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST
1/4, SECTION 34, TOWNSHIP 15 NORTH, RANGE 23 EAST,
CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

2023673
SHEBOYGAN COUNTY, WI
RECORDED ON
07/13/2016 10:35 AM
ELLEN R. SCHLEICHER
REGISTER OF DEEDS
RECORDING FEE: 30.00
EXEMPTION #
Cashier ID: 3
PAGES: 4



TOTAL AREA
65,168 SQ. FT.
1.496 ACRES



NOI 27 PAGE 202

- LEGEND**
- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
 - - 1-1/4" IRON REBAR FOUND
 - ⊗ - CUT "X" FOUND
 - ⊙ - SECTION CORNER MONUMENT FOUND
 - - NO ACCESS LINE

NORTH POINT REFERENCED TO THE WISCONSIN COORDINATE SYSTEM, SHEBOYGAN COUNTY. THE EAST LINE OF THE SOUTHEAST QUARTER, SECTION 33 HAS A RECORDED BEARING OF NORTH 00°-34'-17" EAST.



OWNER:
3036 LLC (formerly Development 3000 LLC)
2551 N WAHL AVE
MILWAUKEE, WI 53211-3825

SHEET 1 OF 4 SHEETS



EXCEL ENGINEERING INC. SURVEYING GROUP
PROJECT NO. 1606510

Always a Better Plan
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801



PROJECT INFORMATION
 PROJECT NUMBER: 106160

SHEBOYGAN BURGER KING

5 BUSINESS DRIVE • SHEBOYGAN WI, 53081

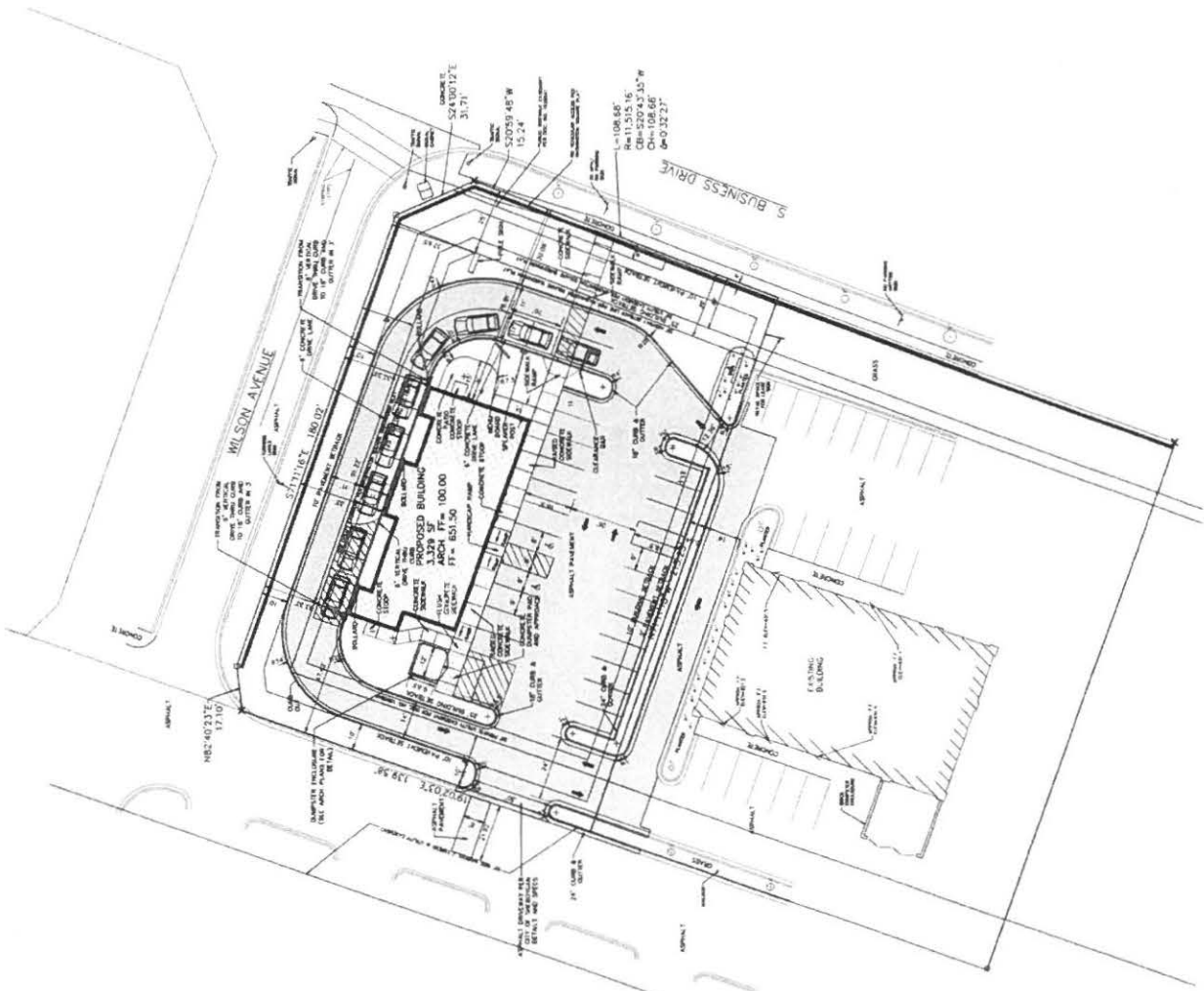
PRELIMINARY DATE:
 APRIL 13, 2018
 APRIL 13, 2018
 MAY 5, 2018

NOT FOR CONSTRUCTION

PROJECT INFORMATION
 SITE PLAN
 100' NORTH
C1.2

SITE INFORMATION
 PROPERTY AREA: AREA = 31,267 S.F. (0.72 ACRES)
 EXISTING ZONING: SUBURBAN COMMERCIAL (SC2)
 PROPOSED ZONING: SUBURBAN COMMERCIAL (SC2)
 PROPOSED USE: FAST FOOD RESTAURANT
 AREA OF SITE DRAINAGE: 30,409 S.F. (0.70 AC)
 SETBACKS:
 BUILDING: FRONT = 22', REAR = 10', SIDE = 10'
 PARKING: FRONT = 10', REAR = 5'
 PROPOSED BUILDING HEIGHT: 21' (MAX HEIGHT IS ALLOWED)
 PARKING REQUIRED: 1 SPACE PER 3 PATRONS (21 SPACES REQ)
 PARKING PROVIDED: 23 SPACES (2 H.C. ACCESSIBLE)
 HANDICAP STALLS REQUIRED: 2; HANDICAP STALLS PROVIDED: 2
 BUILDING OCCUPANCY CLASSIFICATION: A-2
 CLASS OF BUILDING CONSTRUCTION: III
 LANDSCAPE REQUIREMENTS:
 MINIMUM LOT COVERAGE - BUILDING ONLY: 30%
 MIN. LANDSCAPE SURFACE RATIO: 25%

EXISTING SITE DATA		PROPOSED SITE DATA	
AREA (AC)	RATIO	AREA (AC)	RATIO
PROJECT SITE	0.72	PROJECT SITE	0.72
BUILDING FLOOR AREA	0.00	BUILDING FLOOR AREA	0.00
PARKING FLOOR AREA	1.46	PARKING FLOOR AREA	1.46
TOTAL IMPERVIOUS	0.00	TOTAL IMPERVIOUS	0.00
LANDSCAPE / OPEN SPACE	0.00	LANDSCAPE / OPEN SPACE	0.00
	0.00%		0.00%





PARCEL NO.

108300

MAP NO.

23 336 009

ZONING CLASSIFICATION:

CC

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE:

11/15/16

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Sheb Co Retail LLC / South Pier LLC/ Dr. Toby Watson

ADDRESS: 2808 Kohler Memorial Drive, Suite 1, Sheboygan, WI 53081

E-MAIL: southpier@southpier.net

PHONE: 920-918-7377 FAX NO. () _____

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan Business Center

ADDRESS OF PROPERTY AFFECTED: 501 N. 8th St., 728 Pennsylvania Ave.

LEGAL DESCRIPTION: Org. Plat the 80' of Lots 7 & 8 Exc The E 10" of the S 60' of Lot 8, BLK 153 (59281108300 parcel #)

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Currently building is vacant, and has been for about 3 years. It was used as a multi-unit office building.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: The exact same usage as prior. Multi-tenant office building. Renting out private individual offices.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: none\

Sokolowski, Steve

From: South Pier Email account <southpier@southpier.net>
Sent: Wednesday, November 02, 2016 12:30 PM
To: Sokolowski, Steve
Subject: Re: 501 N 8th St

Thanks Steve,

1) On my way right now to drop off the \$250 fee.

2) The proposed use of the multi-tenant commercial facility will be hosting multiple office and retail tenants. It will be the same usage the Atty. Jason Dirkes had previously a few years ago, before it was empty. There is a common entrance from both sides of the building, and common hallways leading to individual offices and retail outlets. We currently have an accounting firm, a legal interpreter, a financial consultant, and a counseling agency all accepting of a lease agreement. All these tenants are going to be Month to Month tenants, as I have also been negotiating with an international manufacturing firm who wishes to come into the entire building, making it a retail showroom and office complex for their products. My proposed usage will bring no less than 30-50 new employees into the downtown area that were not there previously. The current tenants proposed are all from outside the downtown area. I also have an artist interested in making jewelry and custom crafted stones, whereby, he would be using one of the front N. 8th Street windows as his display showcase. Previously, attorney Dirkes used it in the same fashion, having yearly and monthly individual tenants occupy individual offices. Depending upon the number of offices, I expect the number of tenants to range from 6 to 20, and at this time there will be no residential tenants in the building, as we are waiting for the large commercial prospective tenant to make a decision over the next several months. Should this tenant pass, I will likely come back to City Development with plans to renovate the upper level of the building into residential apartments. I have already contacted an architect to begin this process; however, we are holding off on any future work until we see what this international company wants to do. There will be no additional improvements to the building, as it is already ready to be leased. We have already over the past year installed new heating/cooling units, repaired the roof, repaired all plumbing and electrical lines, and I just had the outside wood repaired and repainted. There had been and is a dumpster onsite directly behind the building, tucked between the building and large mature landscaping (green space). I already have parking on site for approximately 13 autos. There will be no interior or exterior changes made. There will be approximately 100 new customers coming into the office center each week, and the tenants will occupy the building 24 hours per day, 7 days a week, 365 days a year. I would customers will be coming in from 7am until 9pm seven days a week. There will be no tenants needing truck loading or unloading, but if they did need this, they would use the parking lot and or driveway to the rear of the building.

Thank you for the consideration.

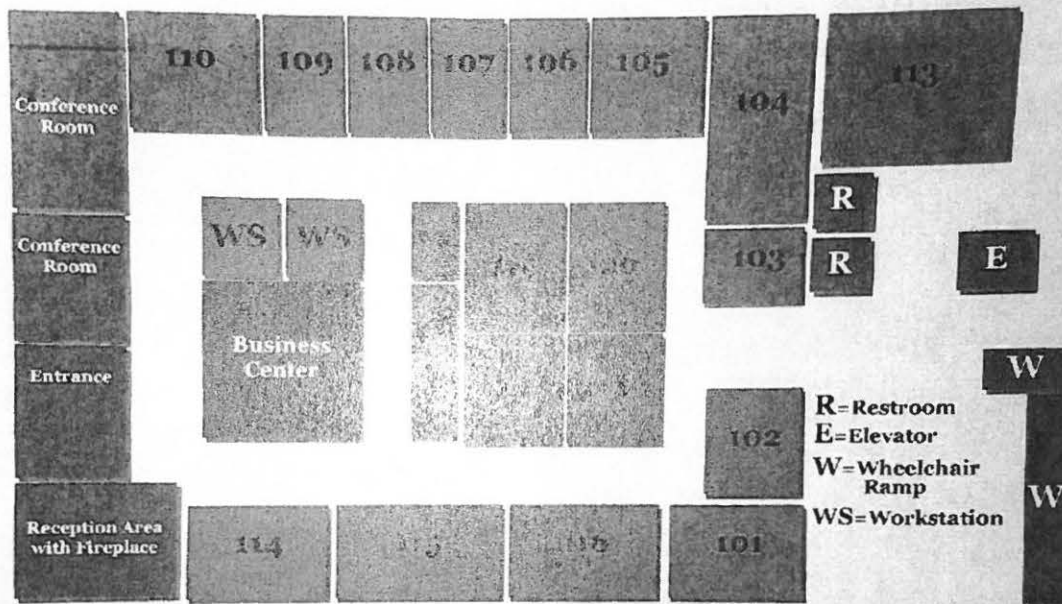
Dr. Toby T. Watson, President
2808 Kohler Memorial Dr, Suite 1
Sheboygan, WI 53081
www.DrTobyWatson.com
www.SouthPier.net
920-918-7377(c)

| ----- Original Message -----

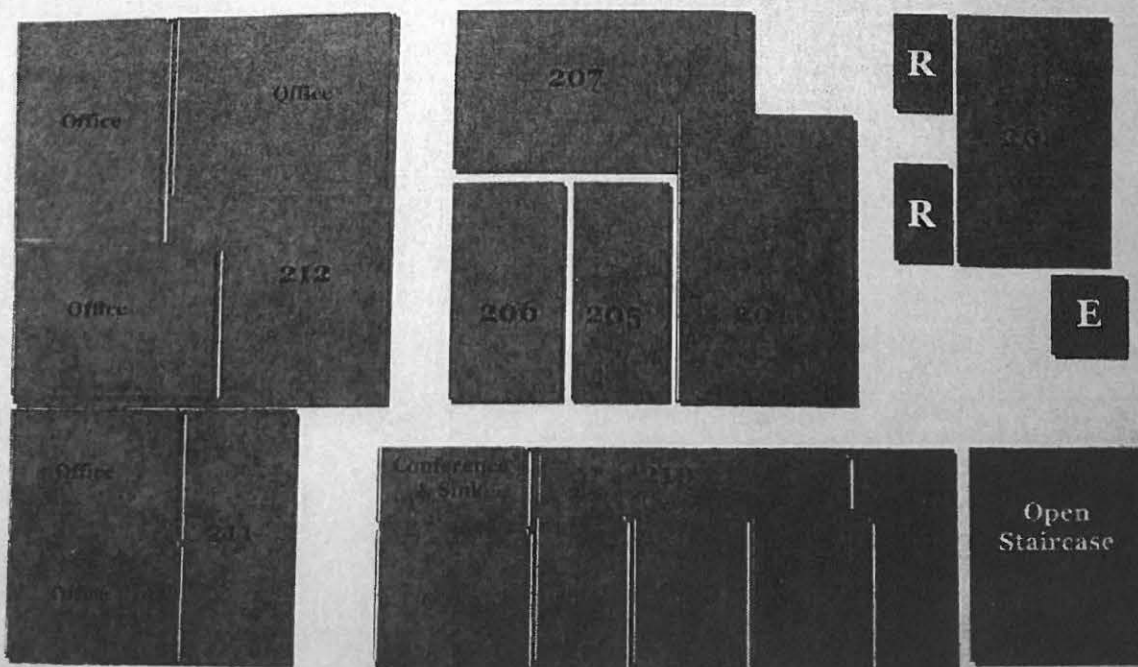
Welcome to The Sheboygan Office Centre!

www.SheboyganOfficeSpace.com

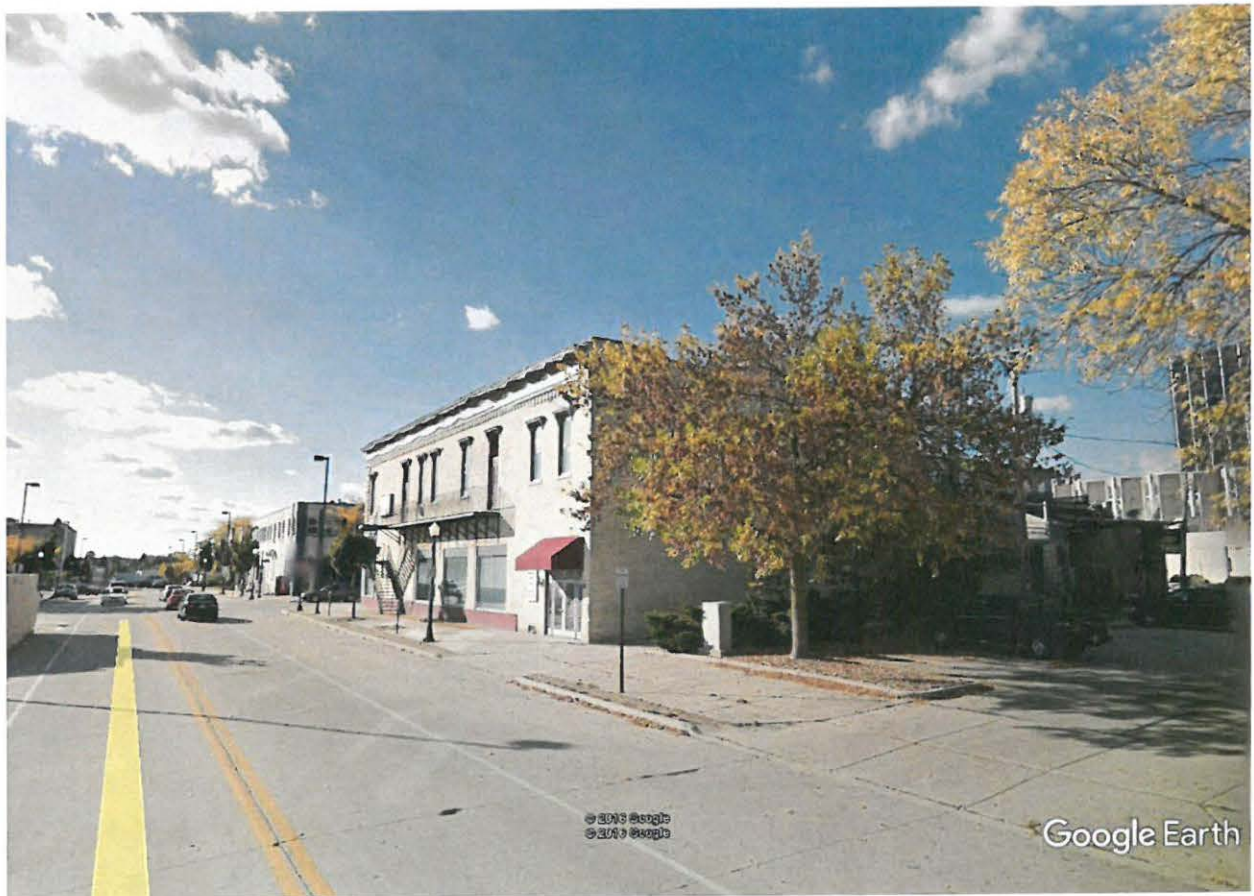
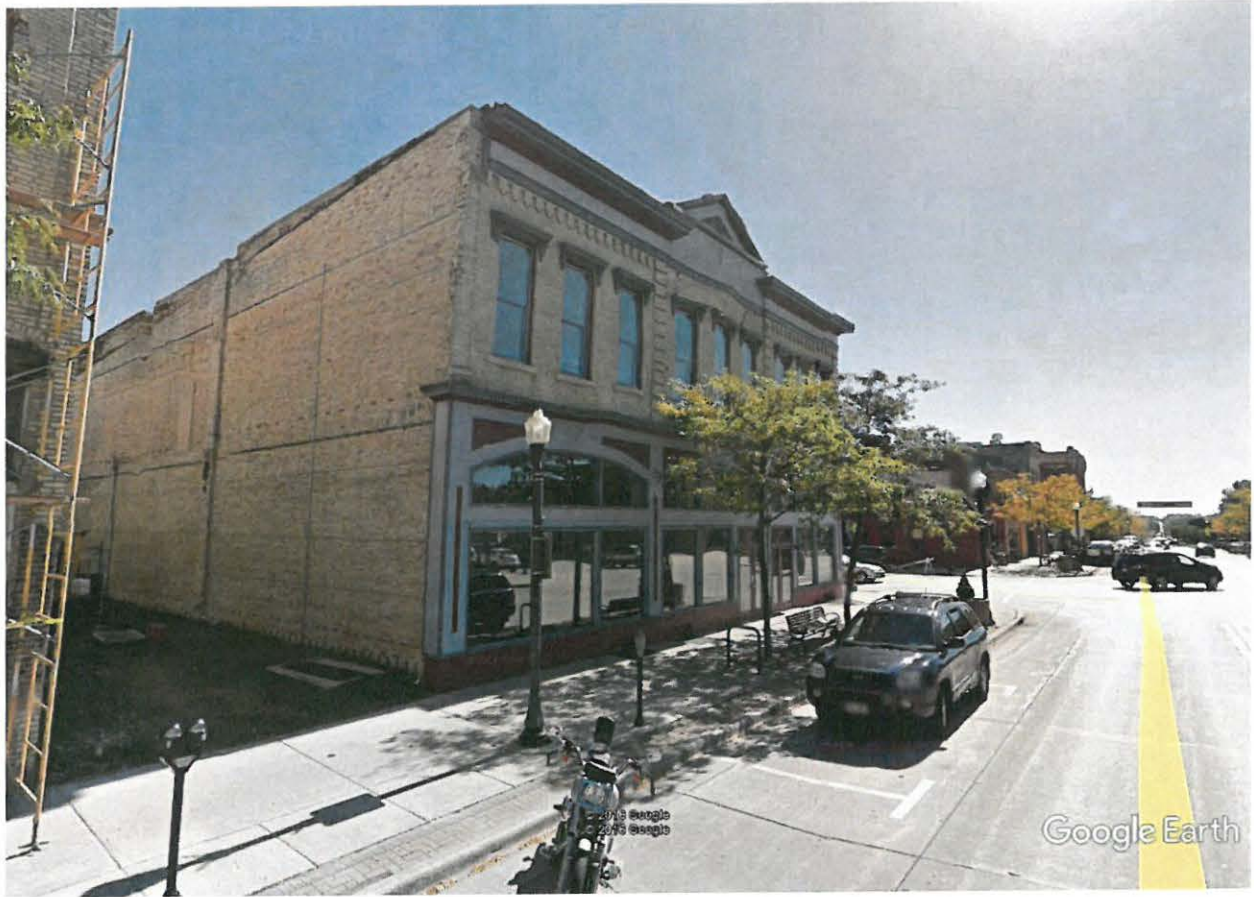
First Floor- 501 N. 8th Street, Sheboygan, Wisconsin



Second Floor- 728 Pennsylvania Ave., Sheboygan, Wisconsin







PARCEL NO. 322011
MAP NO. 23 454 018
ZONING CLASSIFICATION: PUD

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: 11/15/16

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT *rd*
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$150 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: LJM Architects, Erik Jensen
ADDRESS: 813 Riverfront Drive E-MAIL: _____
PHONE: (920) 458-4800 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: South Pier Parlor
ADDRESS OF PROPERTY AFFECTED: 434 South Pier Drive
LEGAL DESCRIPTION: Addition to existing building

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Ice cream parlor

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Same, no change in use.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: No variances requested.



South Pier Parlor
434 South Pier Drive
Sheboygan, WI 53081

Conditional Use Permit – Written Description

South Pier Parlor is an ice cream parlor located on a site on the South Pier Peninsula and is zoned as PUD-Planned Unit Development. There is Planned Unit Development and Preplanned Unit Development Zoning throughout the South Pier District. We are proposing a 302 square foot addition to the northwest side of the existing building. The addition will provide expanded kitchen and freezer space for the daily operations of the building. The addition is similar in size, massing, and appearance to other buildings in the area. No other additions are planned at this time.

The building is open seasonally during the warmer months of the year, from the second week of April to the beginning of October. Their hours typically are Thursday thru Sunday from early afternoon until late evening. They average 1 delivery truck per day either in the morning or afternoon. They currently have around 20 employees, which will not increase. There is an average 500 customers per day, but can vary from 50-3,000 people depending on the day.

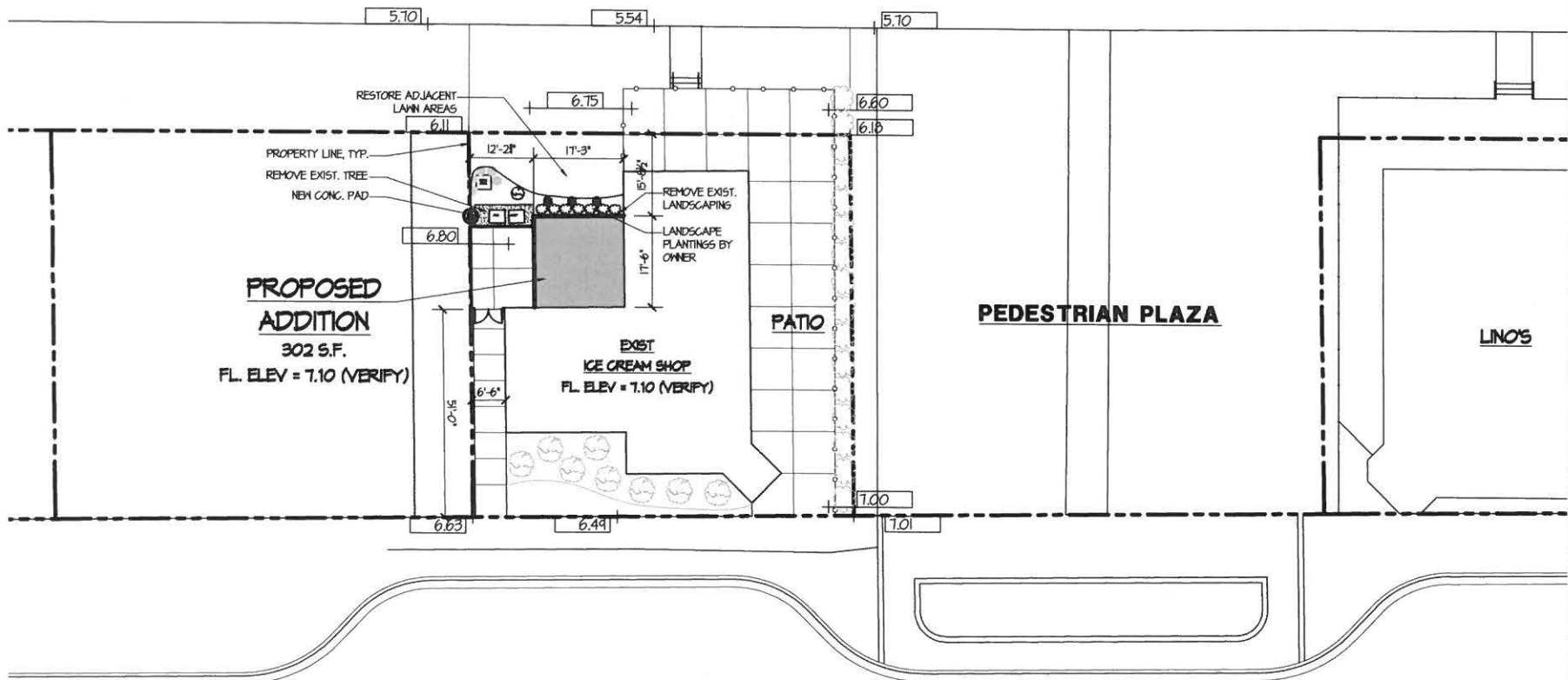
The proposed addition complies with all requirements of Sub-Chapter 15-7, as the current usage of the property isn't changing and will not generate an increase in the amount of water consumption or traffic generation to the site as it is an addition to the kitchen area of the building.

The proposed addition will be a wood framed building with painted wood siding and trim to match the existing building. It will have a membrane roof with prefinished gutters and downspouts. The existing dumpster enclosure fence will be removed and relocated further to the east with the doors on the south end of the enclosure.

We propose adding landscape plantings to the north side of the addition to replace the plants that will be removed and to visually screen the compressor and condenser.

SHEBOYGAN RIVER

PUBLIC PROMENADE



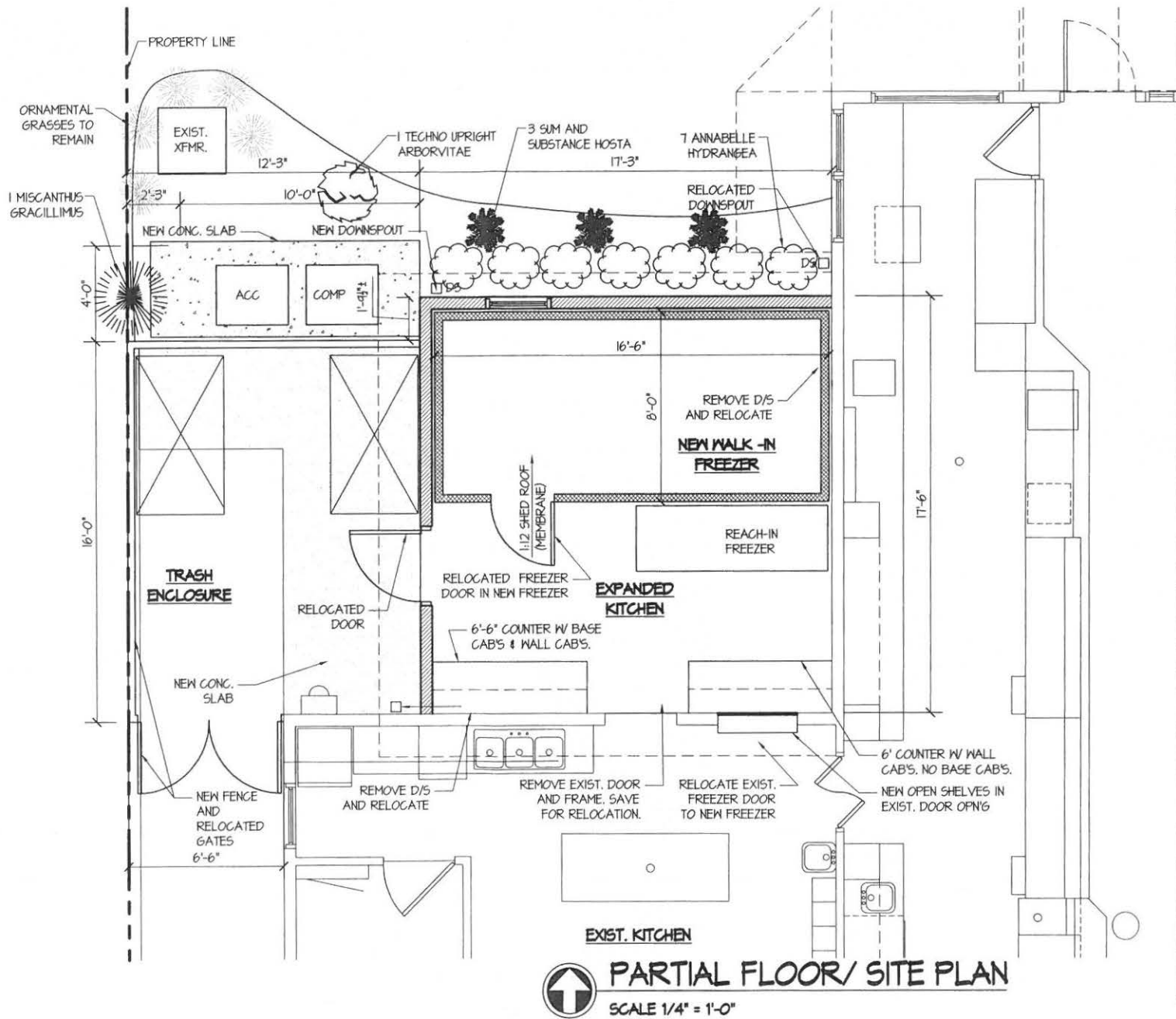
SITE PLAN
SCALE 1" = 20'-0"

NO.	REVISIONS	DATE

LJM Architects
813 Braintree Drive
Sheboygan, WI 53081
Phone (920) 468-4600 Fax (920) 468-1485

ADDITION FOR:
SOUTH PIER PARLOR
434 SOUTH PIER DRIVE
SHEBOYGAN, WI 53081

SHEET TITLE
DRAWN BY JA
CHECKED BY EJ
DATE 10-25-16
PROJECT NO. 1061
SHEET NO. C1



NO.	REVISIONS	DATE

LJM Architects
 613 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 438-4800 Fax (920) 438-1485

**ADDITION FOR:
 SOUTH PIER PARLOR
 434 SOUTH PIER DRIVE
 SHEBOYGAN, WI 53081**

SHEET TITLE

DRAWN BY
JA

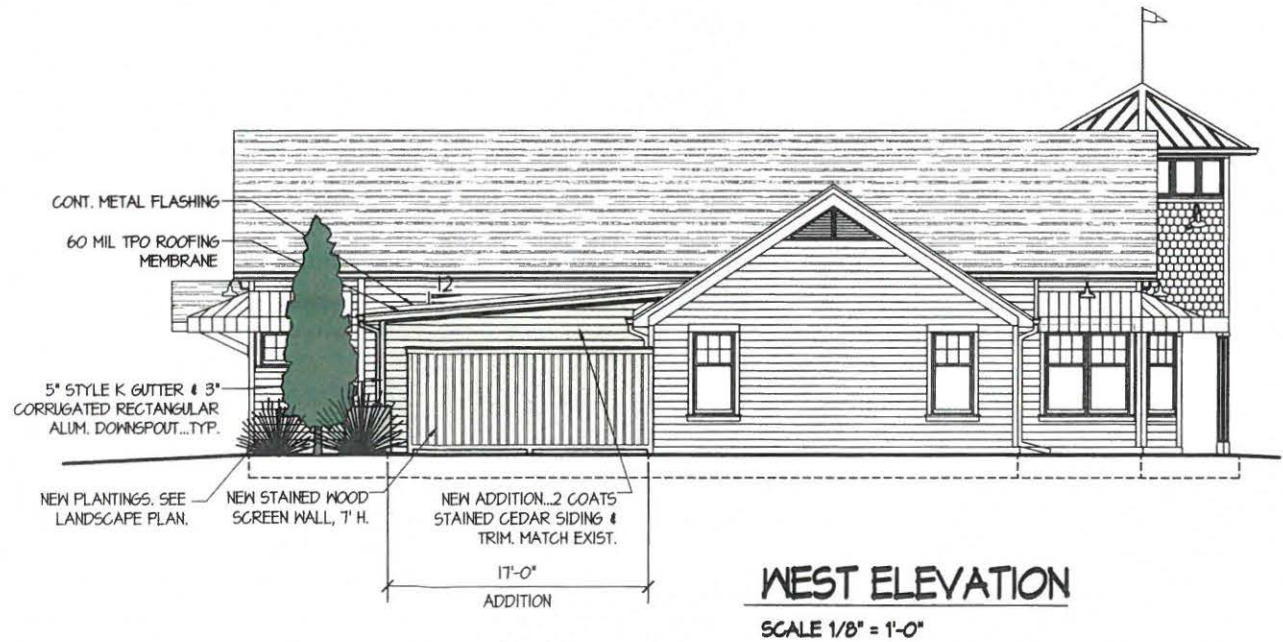
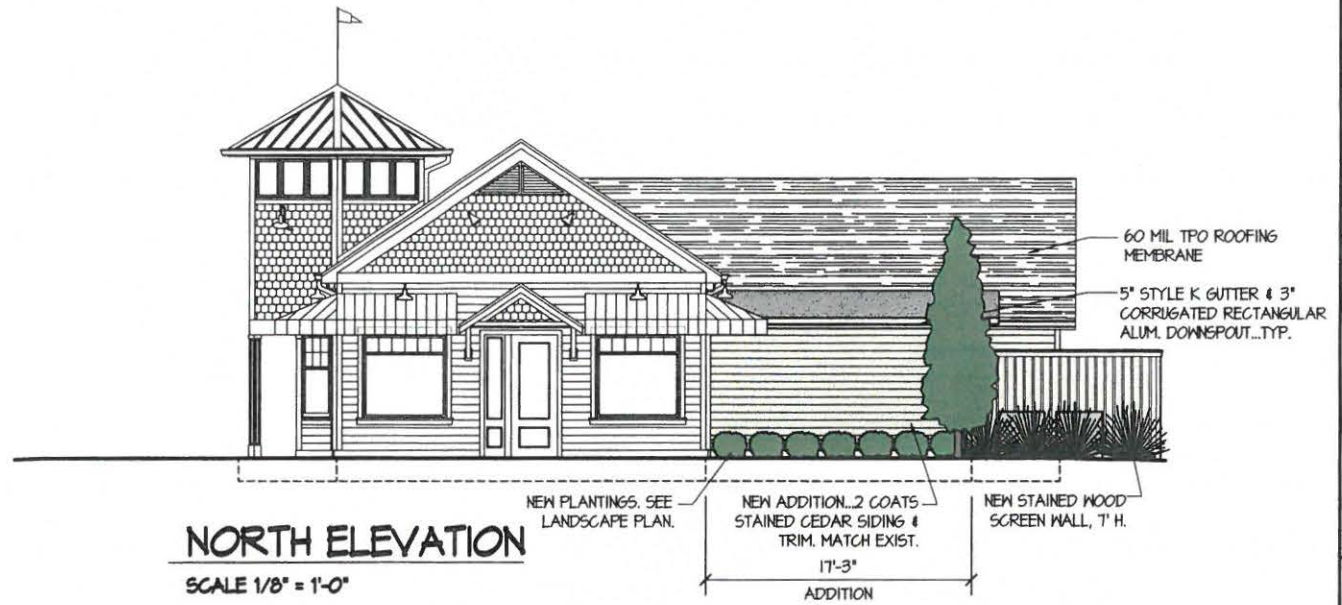
CHECKED BY
EJ

DATE
10-25-16

PROJECT NO.
1661

SHEET NO.

A1



NO.	REVISIONS	DATE

LJM Architects
813 Riverfront Drive
Phone (920) 458-4600

Sheboygan, WI 53081
Fax (920) 458-1486

ADDITION FOR:
SOUTH PIER PARLOR
434 SOUTH PIER DRIVE
SHEBOYGAN, WI 53081

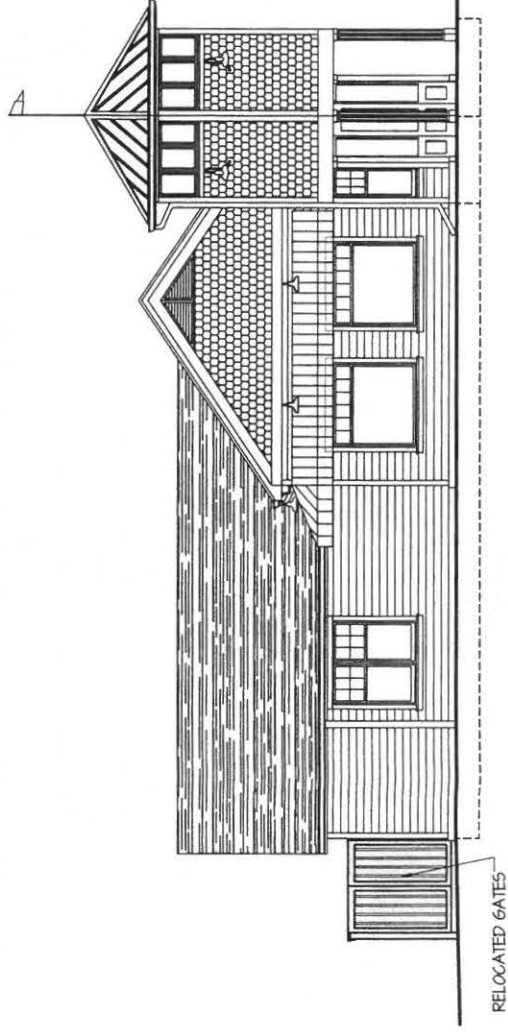
SHEET TITLE
DRAWN BY JA
CHECKED BY EJ
DATE 10-25-16
PROJECT NO. 1661
SHEET NO. A2

NO.	REVISIONS	DATE

813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 458-4800 Fax (920) 458-1485
LJM
 Architects

ADDITION FOR,
SOUTH PIER PARLOR
434 SOUTH PIER DRIVE
SHEBOYGAN, WI 53081

SHEET TITLE
DRAWN BY
 JA
CHECKED BY
 CJ
DATE
 10-25-16
PROJECT NO.
 10061
SHEET NO.
A 3



SOUTH ELEVATION
 SCALE 1/8" = 1'-0"

SOUTH PIER PARLOR 2016 BUILDING ADDITION



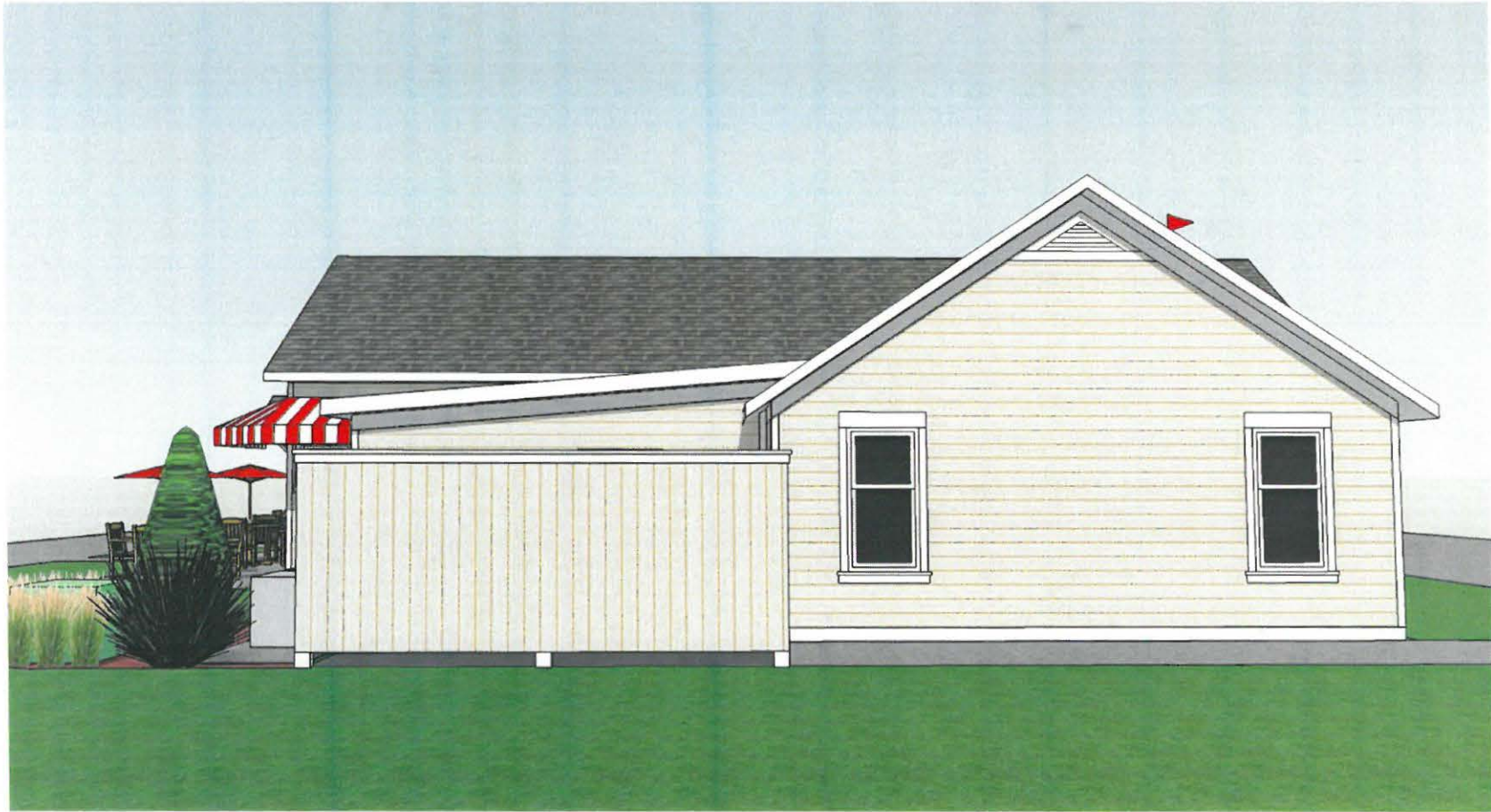
BIRDS-EYE VIEW LOOKING SOUTHEAST

SOUTH PIER PARLOR 2016 BUILDING ADDITION



REAR ELEVATION

SOUTH PIER PARLOR 2016 BUILDING ADDITION



WEST ELEVATION

SOUTH PIER PARLOR 2016 BUILDING ADDITION



STREET VIEW LOOKING NORTHEAST



