


*****ATTACHMENTS*****

PARCEL NO. 107200
MAP NO. 23 186 001
ZONING CLASSIFICATION: CC

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 5/10/16

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT 
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$150 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Rob Hurrie
ADDRESS: 821 N. 8th Street E-MAIL: oink@eatblackpig.com
PHONE: (920) 457-6565 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: The Black Pig
ADDRESS OF PROPERTY AFFECTED: 821 N. 8th Street
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Bar/Restaurant

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: 3rd Floor Dining Room with Mezzanine
Bar Area

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: Change occupancy from lower floors assembly/upper floors
corporate office to entire building assembly

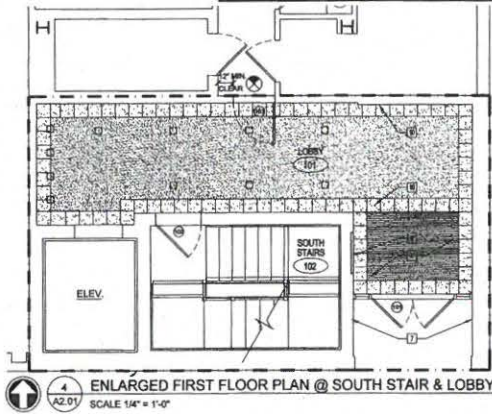


Conditional Use Permit Documentation

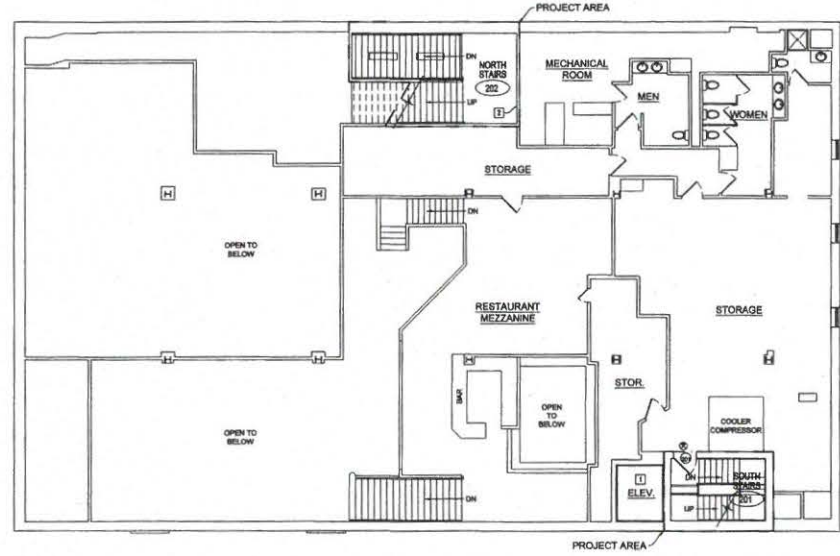
1. **Explanation of existing use:** The space in question at this point is completely empty and has not been in use since roughly 2008. The space has been completely torn down to the "bare bones" by the previous building owner Paul Gottsacker and Tom Schaeffer. The space has been in this condition since roughly 2012/2013
2. **Explanation of proposed space:** We are proposing the top 2 floors of the building to be an extension of our business by making a banquet hall. The business will be in direct correlation with Black Pig restaurant, by having an actual catering/banquet space that we can operate separate from the restaurant. We will be creating a space that will have a multi functional use. It will have the capacity to hold private wedding receptions, rehearsal dinners, corporate parties, anniversary parties, holiday parties etc. We will also be able to offer our own events, such as Thanksgiving, Easter and Mother's day. As it stands we have also been in contact with a multitude of our vendors to create our own unique events through out the year. The space will be available year round for breakfast, lunch, and dinner. We will also make the space available potentially for non food service events. The proposed space will be located on what is the current 3rd and 4th floor of the building (see architectural drawings) The space will have its own separate entrance and exits, from what the Black Pig uses now. We will have a capacity of offering a sit down dinner for 325 people, as well as a capacity of holding 400 people for appetizer/ cocktail parties.
3. **Square footage of space:** We are looking at a total square footage of roughly 10,000 square feet.
4. **Purposes of clients and guests when visiting the facility:** Will all be the same as are indicated in number 2 above.
5. **Management of proposed site:** The site will be under direct supervision of Rob & Katy Hurrie as part of there overall businesses.
6. **Job Creation:** It is expected that as the awareness and usage of the new space increases we will be hiring additional staff of all levels to fulfill the needs. We have already begun hiring staff members that have joined Black Pig in anticipation of the expected growth in late summer and early Fall. At this point it has only been kitchen staff hired on. At a minimum we are looking to create 8 FTE jobs with the new banquet space.

7. **Frequency of usage:** As it stands now, we have interest in the space for this year with no advertising. We have wedding receptions looking to book for 2016, as well as a corporate business anniversary party. There are other clients waiting to hear final approval for the space before committing to us for parties this fall. We have also had interest from clients for 2017. We anticipate that the first full year of business will average 3-4 groups a month, and growing with each successive year.
8. **Days and hours of operation:** The space will be available Monday – Sunday 7am – midnight.
9. **Parking availability:** We are fortunate to have the lot available to us directly behind our building to the East. In addition to the lot there is a multitude of off street parking available as well.
10. **Insurance of respectful business operations:** We will extend our already respectful business operations as Black Pig and carry forward the same strategy of running a reputable business in the downtown as we have for the last 17 years. All proposed business, will take place inside the building, including entertainment such as live bands or DJ for wedding/corporate events.
11. **Description of proposed building and site improvements:** We are looking to have the windows located on 8th street on the 3rd and 4th floors repainted. At this point we do not have any signage to propose.
12. **Description of proposed interior renovations:** We are looking to renovate the 3rd floor and a portion of the 4th floor which will be a mezzanine overlooking the 3rd floor. We are looking to create a rustic/ industrial feel, by leaving all structural beams exposed and repainted along with the newly exposed cream city brick. On both floors we will be sandblasting all exposed cream city brick, which was previously covered in plaster. All floor coverings will be carpet with exception to the public restrooms and the kitchen, which will be tile. We will be creating a separate kitchen from the one located in the Black Pig restaurant. The kitchen will be fully equipped to handle all food service for the proposed banquet space. It will have a range, convection oven, walk in cooler, warming boxes, dish machine, ice machine etc. The bathrooms, which are located on the 3rd floor, will have all the existing fixtures and flooring removed. We will replace them with all new tile floors, fixtures and partitions. There will be all new HVAC run into the space to meet all code requirements for heating and air conditioning of the space with all mechanicals located on the roof. We will also be putting in all new lighting in all areas of which will meet all codes for lighting and egress lighting needs. The elevator will be remodeled to provide a more modern look and feel from what is currently in use now. We will also be re-doing the existing entrance, which is located on the South East corner of the building. We will replace the doors, and do a general makeover over the lobby area with a new ceiling, paint and lighting. The main stairwell which will act as the main passage for guests to get to the banquet space will also be re-done with new paint appropriate lighting / egress lighting. The entire building will have a new sprinkler system installed through out.

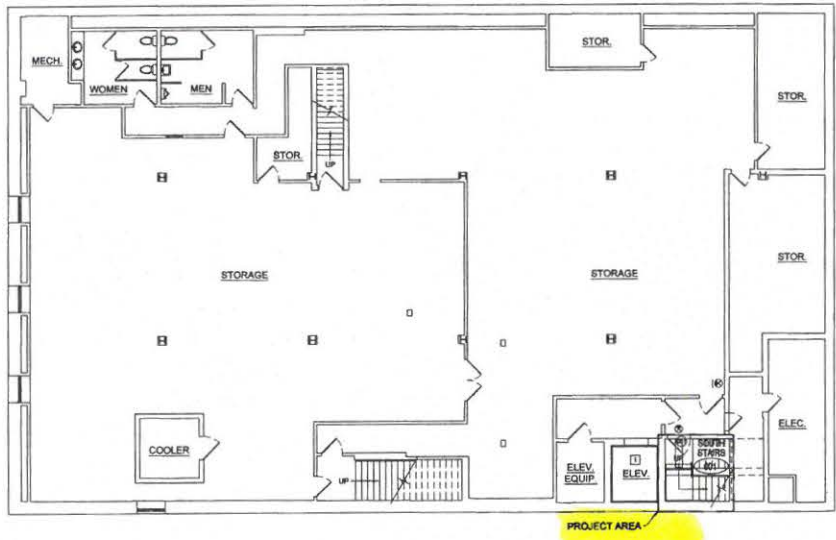
- PLAN NOTES**
- 1) REFRESH INTERIOR OF ELEVATOR CAB
 - 2) PATCH & REPAIR HOLES IN PLASTER OR GYP. BD.
 - 3) NEW GYP. BD.
 - 4) "FIRE EXIT ONLY" SIGN
 - 5) REPAIR WALL
 - 6) INVESTIGATE PIPE & REPORT TO ARCHITECT
 - 7) REPAIR STUCCO
 - 8) EXIST. WALK-OFF MAT
 - 9) REMOVE EXIST. RECESSED SIGN & DRYWALL FLUSH
 - 10) EXIST. TILE BORDER
 - 11) REMOVE 3 EXIST. PLASTIC SIGNS



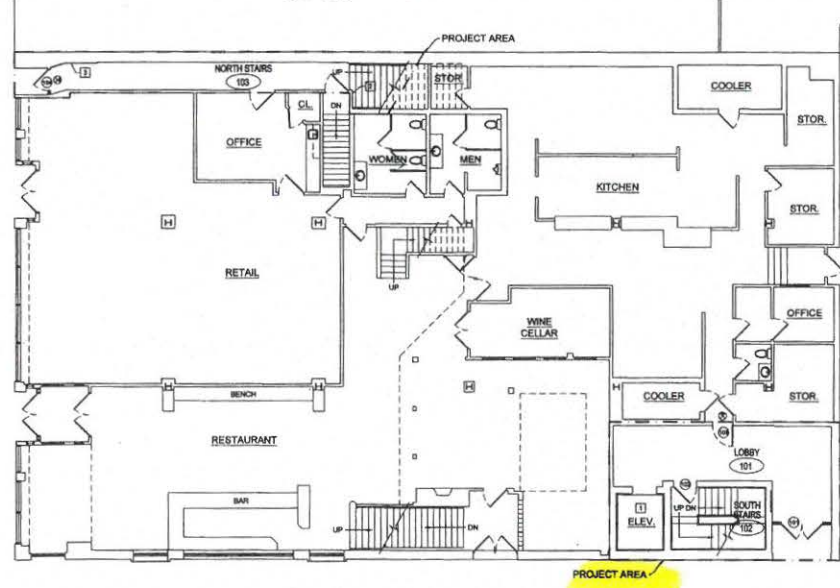
4 ENLARGED FIRST FLOOR PLAN @ SOUTH STAIR & LOBBY
SCALE 1/4" = 1'-0"



3 SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



1 BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"



2 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

NO.	REVISIONS	DATE
LEGACY ARCHITECTS, LLC 305 EBR Avenue, Suite 1000 Sheboygan, WI 53081 (920) 782-0000 www.legacyarchitects.com		
Cusius <small>Construction Services, Inc.</small> 1714 North US Hwy 107 - Sheboygan, WI 53081-1717		
PRELIMINARY - NOT FOR CONSTRUCTION		
BANQUET HALL FOR: BLACK PIG ELKHART LAKE, LLC 821-823 N. 8TH STREET SHEBOYGAN, WI 53081		
PROJECT NUMBER	15.030	
DRAWN BY	B. SHORT	
CHECKED BY	J. LEHRKE	
DATE	10/16/15	
SHEET TITLE	FLOOR PLANS	
SHEET NUMBER	A2.01	

WINDOW SCHEDULE				
NO.	SIZE	TYPE	CASING	REMARKS
1	4'-0" x 7'-6"	W1	C2	R1
2	4'-0" x 7'-6"	W1	C2	-
3	4'-0" x 7'-6"	W1	C2	-
4	4'-0" x 7'-6"	W1	C2	-
5	4'-0" x 7'-6"	W1	C2	R1
6	4'-0" x 7'-6"	W1	C2	-
7	4'-0" x 7'-6"	W1	C2	-
8	4'-0" x 7'-6"	W1	C2	-
9	4'-0" x 7'-6"	W1	C2	-
10	4'-0" x 7'-6"	W1	C2	-
11	3'-0" x 6'-3"	W2	C2	-
12	3'-0" x 6'-3"	W2	C2	-
13	3'-0" x 6'-3"	W2	C2	-
14	3'-0" x 6'-3"	W2	C2	-
15	3'-0" x 6'-3"	W2	C2	-
16	3'-0" x 6'-3"	W2	C2	-

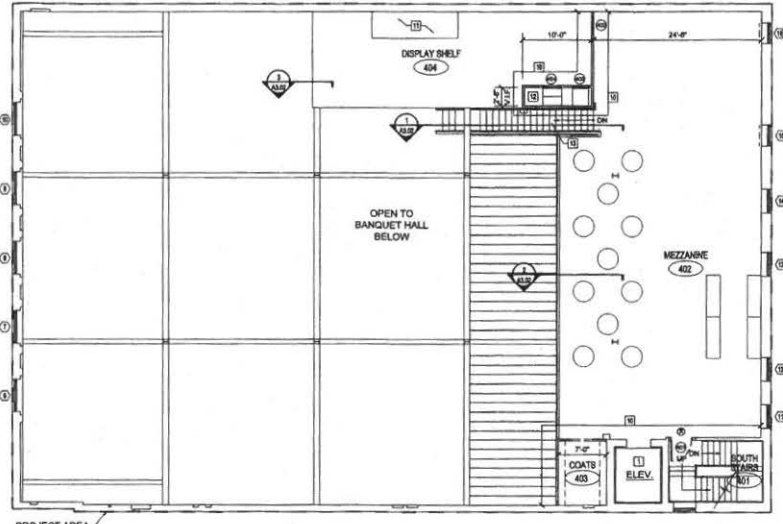
KEY	
TYPE	
W1	EXIST. WD. DOUBLE HUNG
W2	EXIST. ALLUM. FIXED
CASING	
C1	EXIST. TO REMAIN
C2	NEW WD.
REMARKS	
R1	REPAIR BOTTOM RAIL OF BOTTOM SASH

ROOM FINISH SCHEDULE											
NO.	ROOM	FLOOR	BASE	WALLS				CEILING	REMARKS	KEY	
				ALL	NORTH	EAST	SOUTH				WEST
BASEMENT											
001	SOUTH STAIR	F1	-	W2	-	-	-	-	C2	-	R1,3
FIRST FLOOR											
101	LOBBY	F3	B1	W2	-	-	-	-	C3	-	R2,3
102	SOUTH STAIR	F2	-	W2	-	-	-	-	C2	-	R1,3
103	NORTH STAIR	F5	B2	-	W1, W4	W2	W2	W2	C2	-	R3
SECOND FLOOR											
201	SOUTH STAIR	F1	-	W2	-	-	-	-	C2	-	R1,3
202	NORTH STAIR	F5	B2	-	W1, W4	W2	W2	W2	C2	-	R3
THIRD FLOOR											
301	SOUTH STAIR	F1	-	W2	-	-	-	-	C2	-	R1,3
302	LOBBY	F4	B2	-	W5	W5	W5	-	C5	11'-8"	-
303	COATS	F4	B2	-	W3	W2	W1	W3	C5	11'-6"	-
304	BANQUET HALL	F4	B2	-	W1, W5	W5	W1, W5	W1	C8	24'-6"	-
306	KITCHEN	F7	B3	W3	-	-	-	-	C4	9'-0"	R5
307	HALL	F4	B2	W5	-	-	-	-	C5	11'-6"	-
308	WOMEN'S TOILET	F6	B3	W3	-	-	-	-	C4	9'-0"	-
309	MEN'S TOILET	F6	B3	W3	-	-	-	-	C4	9'-0"	-
310	MECHANICAL	F8	B1	W2	-	-	-	-	C1	-	-
310	NORTH STAIR	F5	B2	W2	-	-	-	-	C1	8'-0"	R3
MEZZANINE (FOURTH FLOOR)											
401	SOUTH STAIR	F1	-	W2	-	-	-	-	C2	-	R1,3,4
402	MEZZANINE	F4	B2	-	W1	W1	W5	-	C5	12'-0"	-
403	COATS	F4	B2	-	W3	W2	W1	W3	C5	12'-0"	-
404	DISPLAY SHELF	F4	B2	-	W1	W5	W5	-	C8	12'-0"	-

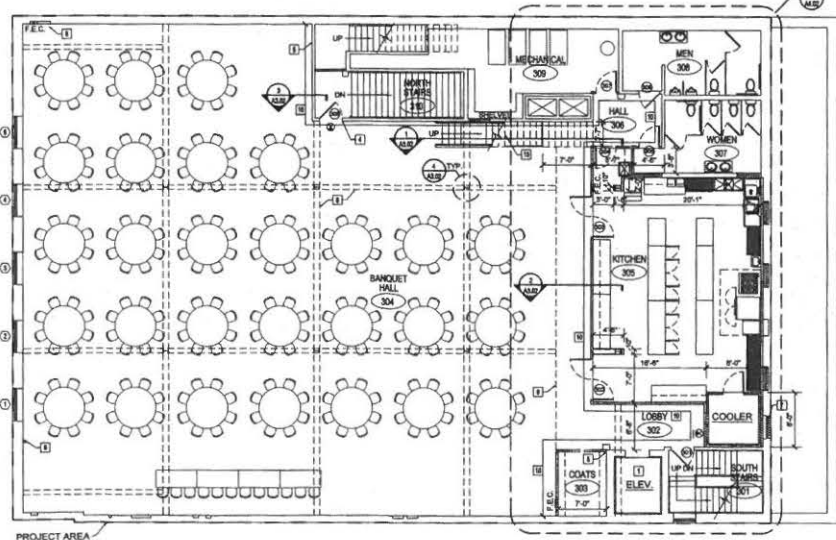
DOOR SCHEDULE										
NO.	SIZE	TYPE	FRAME	FINISH			HARDWARE	REMARKS	KEY	REMARKS
				PUSH SIDE	PULL SIDE	FRAME				
001	3'-4" x 6'-8"	D1	F1	FN1	FN3	FN3	H1	R1,2	D1	EXIST. WD.
101	(2) 3'-0" x 7'-0"	D2	F1	FN1	FN1	FN1	H1	-	D2	EXIST. H.M.
102	3'-4" x 6'-8"	D1	F1	FN2	FN3	FN3	H2	R2	D3	NEW WD.
103	3'-0" x 6'-8"	D3	F3	FN2	FN2	FN3	H3	R2	D4	NEW WD. ACCESS PANEL
104	3'-0" x 7'-0"	D2	F1	FN1	FN1	FN1	H1	-	D5	DUAL ACTING
201	3'-4" x 6'-8"	D3	F2	FN2	FN3	FN3	H2	R2	D6	NEW H.M. ACCESS PANEL
301	3'-4" x 6'-8"	D1	F1	FN2	FN2	FN3	H2	R2		
302	(2) 3'-0" x 6'-8"	D5	F3	FN4	FN4	FN4	H8	-		
303	(2) 3'-0" x 6'-8"	D6	F3	FN4	FN4	FN4	H8	-		
304	3'-0" x 6'-8"	D3	F2	FN2	FN3	FN3	H8	-		
305	3'-0" x 6'-8"	D3	F2	FN2	FN2	FN3	H8	-		
306	3'-0" x 6'-8"	D1	F1	FN2	FN2	FN3	H3	R3		
307	3'-0" x 6'-8"	D3	F2	FN2	FN2	FN3	H4	-		
308	3'-4" x 6'-8"	D1	F1	FN2	FN2	FN3	H2	R2		
401	3'-4" x 6'-8"	D3	F2	FN2	FN2	FN3	H7	R2		
402	2'-6" x 5'-0"	D4	F3	-	FN4	FN4	-	-		
403	2'-6" x 2'-6"	D6	F2	-	FN4	FN4	-	R2		
404	2'-6" x 2'-6"	D6	F2	-	FN4	FN4	-	R2		

KEY	
TYPE	
D1	EXIST. WD.
D2	EXIST. H.M.
D3	NEW WD.
D4	NEW WD. ACCESS PANEL
D5	DUAL ACTING
D6	NEW H.M. ACCESS PANEL
FRAME	
F1	EXIST. TO REMAIN
F2	NEW H.M.
F3	NEW WD.
FINISH	
FN1	EXIST. TO REMAIN
FN2	SAND & STAIN
FN3	PAINT TRIM COLOR
FN4	PAINT WALL COLOR
HARDWARE	
H1	EXIST. TO REMAIN
H2	EXIST. CLOSER, NEW PANIC DEVICE & KICK PLATE
H3	EXIST. CLOSER, NEW PUSH, PULL & KICK PLATE
H4	NEW LEVER HANDLE
H5	NEW LEVER HANDLE & CLOSER
H6	NEW CLOSER, PUSH, PULL, KICK PLATE
H7	NEW PANIC DEVICE AND CLOSER
H8	SELF CLOSING, PUSH, KICKPLATE
REMARKS	
R1	ADJUST OR REPAIR DOOR THAT IT SHUTS PROPERLY
R2	2-HR RATED
R3	REPAIR VENT

PLAN NOTES	
1	REFINISH INTERIOR OF ELEVATOR CAR
2	PATCH & REPAIR HOLES IN PLASTER OR GYP. BD.
3	NEW GYP. BD.
4	FIRE EXIT ONLY SIGN
5	REPAIR HALL
6	INVESTIGATE PIPE & REPORT TO ARCHITECT
7	BRICK INFILL TO MATCH EXISTING
8	LINE OF EXIST. BEAM ABOVE. TYP.
9	LINE OF MEZZANINE ABOVE
10	CLAD WALL WITH SALVAGED WD. DECKING
11	EXIST. STAIR TO REMAIN. INFILL FLOOR OPENING WITH SALVAGED JOISTS & MD. DECKING. PROVIDE NEW SUBFLOOR FLUSH WITH EXIST.
12	2-HR SHAFT ENCLOSURE
13	STAIR TO BE 3'-6" BETWEEN C CHANNEL STRINGERS



1 FOURTH FLOOR PLAN
A2.02 SCALE 1/8" = 1'-0"



1 THIRD FLOOR PLAN
A2.02 SCALE 1/8" = 1'-0"

DATE

NO. REVISIONS

LEGACY
S.L.C.C. B.L.E. & C.L.L.E. L.L.C.
Sheboygan, Wisconsin 53081
www.legacy-architect.com

0202 047 0000
www.cuasius.com

cuasius
278 North 1st Street, 4th Floor, Sheboygan, WI 53081

BANQUET HALL FOR:
BLACK PIG ELKHART LAKE, LLC
821-823 N. 8TH STREET
SHEBOYGAN, WI 53081

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NUMBER
15.030

DRAWN BY
B. SHORT

CHECKED BY
J. LEHRKE

DATE
10/16/15

SHEET TITLE
FLOOR PLANS
SCHEDULES

SHEET NUMBER
A2.02

NO.	REVISIONS	DATE

LEGACY
 Architecture
 605 Erie Avenue, Suite 101
 Sheboygan, Wisconsin 53081
 (920) 755-8523
 www.legacy-architecture.com

Cusatus
 CONSULTING ENGINEERS AND ARCHITECTS
 2002 43rd Street
 Sheboygan, WI 53081
 (920) 755-8523

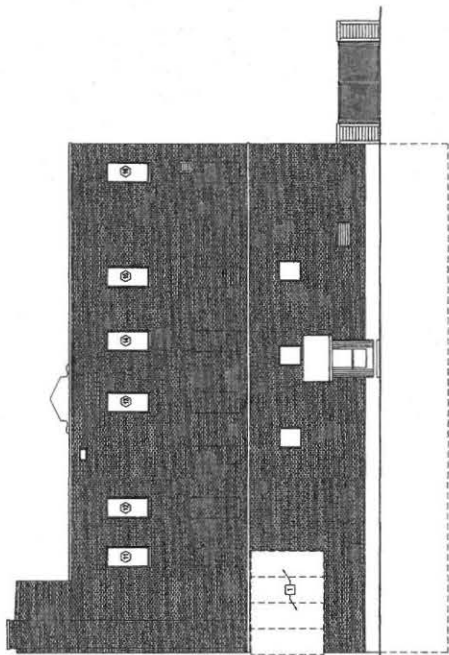
**BANQUET HALL FOR:
 BLACK PIG ELKHART LAKE, LLC**
 821-823 N. 8TH STREET
 SHEBOYGAN, WI 53081

PROJECT NUMBER
 15-0303
 DRAWN BY
 B. SACKETT
 CHECKED BY
 J. LEHRKE
 DATE
 10/18/15
 SHEET TITLE
 ELEVATIONS

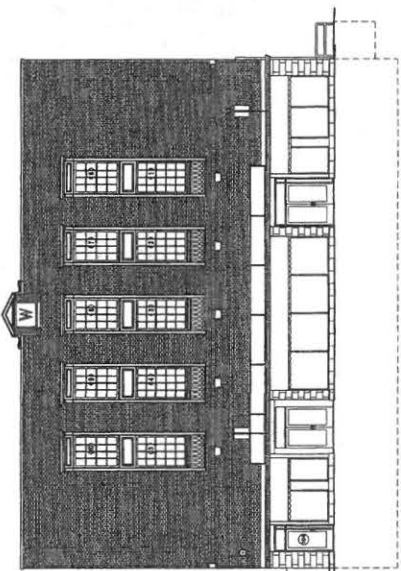
SHEET NUMBER
A3.01

PRELIMINARY - NOT FOR CONSTRUCTION

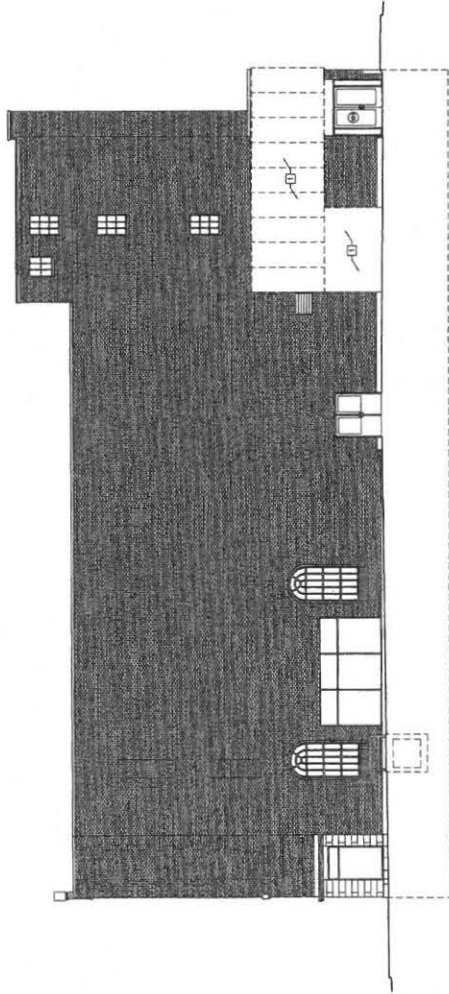
ELEVATION NOTES
 1 REMOVE PANEL, REPORT BACK TO ARCHITECT
 2 HULL BRICK TO MATCH EXISTING



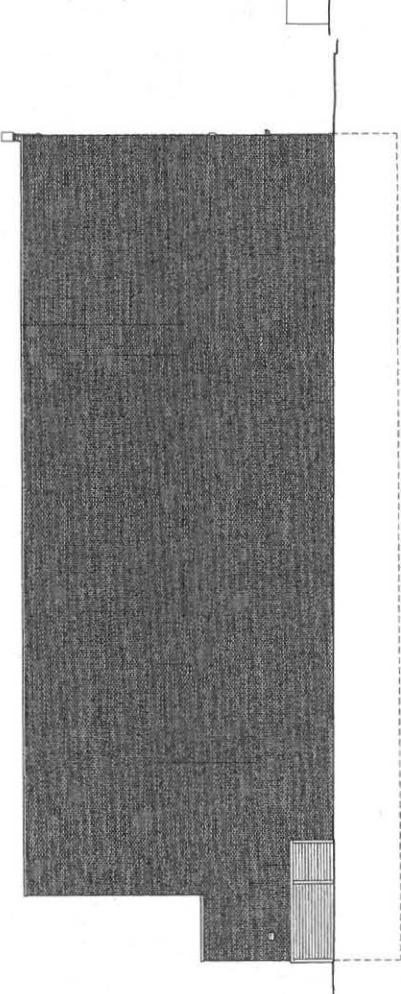
3 EAST ELEVATION
 A3.01 SCALE 1/8" = 1'-0"



1 WEST ELEVATION
 A3.01 SCALE 1/8" = 1'-0"

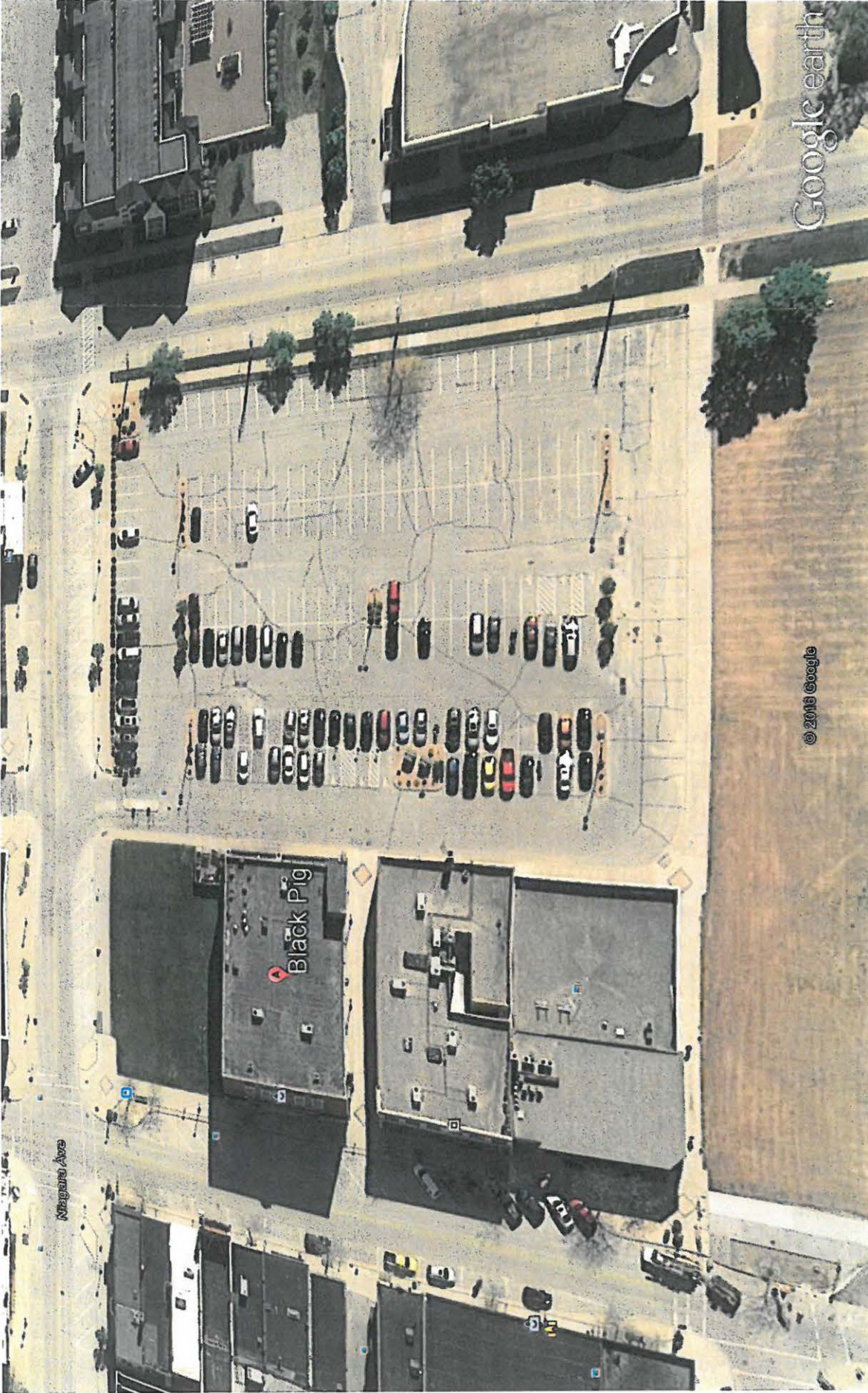


4 SOUTH ELEVATION
 A3.01 SCALE 1/8" = 1'-0"



2 NORTH ELEVATION
 A3.01 SCALE 1/8" = 1'-0"





Niagara Ave

Black Pig

Google earth

© 2016 Google

feet
meters

Google earth

100 400

SITE PLAN



PARCEL NO. 105970
MAP NO. 23 184 002
ZONING CLASSIFICATION: UR

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 5/10/16

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2012

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1. APPLICANT INFORMATION

APPLICANT: THE FOUNDERS CLUB LLC
ADDRESS: 2104 UNION AVE E-MAIL: sschmitt@jschmitt.cc
PHONE: (920) 946-0991 FAX NO. (920) 457-9474

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: THE FOUNDERS CLUB
ADDRESS OF PROPERTY AFFECTED: 930 N 6TH STREET
LEGAL DESCRIPTION: Parcel # 59281105970 - ORIGINAL PLAT
LOT OF 0.5M REC IN VOL 22 P92 AS REC 1792732 ROP 1.62AC
BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: Nursing
Home

DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: DORM STYLE HOUSING

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: None

The Founders Club

- An explanation of the previous use(s). Previous use was the Sheboygan Senior Community Nursery Home. 6 story building were apartments with similar occupancy as we have now. 4 story building was nursing home without shower and baths in the units with similar occupancy.
- An explanation of the proposed use and activities to take place onsite –apartments, clubhouse, common areas, greenspace, landscaping, parking, ingress/egress, etc. The 107,575 sf facility will be used as an Intern/ Co-op student housing facility (6 story bldg.- 149 beds and the 4 story bldg. will be used for higher education student housing, LTC, Lakeland College, UW Sheboygan) We will have onsite kitchens on each floor, first floor dining facility, game room, theatre, TV lounges per floor, laundry and a workout room.
- Why was this site selected? The building was available to purchase and provided us with the ability to adaptive re-use of the facility into much needed dorm style housing space very quickly. It will greatly enhance the downtown with the activity that young people bring. Many restaurants, churches, shopping, entertainment facilities are in walking distance and have already reached out to us to inform are students of those businesses. Interns are also required to put in volunteering hours while here and the downtown location provides them with access via walking, biking or public transportation to those facilities.
- Estimated Value of project? \$300,000 purchase price and \$3.7 million dollar renovation costs. \$4 million dollar total.
- How many apartment units per building and total? How many 1, 2 and/or 3 bedroom units? 6 story- 69 units, 4 story 64 units (See attachment for breakdown)
- Who are you seeking to attract? Sheboygan County Hospitality Industry and Industry that hire interns and co-op students along with the higher education organizations in Sheboygan County. Phase 1 – 6 story building with 149 beds is already fully leased to Kohler Company, Kohler Hospitality and Blue Harbor Resort & Spa. We have a waiting list from the following companies wishing to join us, JMKAC, Vollrath, Nematik, Osthoff Resort, Sheboygan Press, Sargento, Pine Hills Country Club, Sheboygan A's, UW Sheboygan, LTC and Lakeland College to name a few. Projected rents? Rents for single units in the 4 story building will be \$450.00/ month and double/ triple units in the 4 & 6 story building rent for \$330.00/ month per bed.
- Description of proposed building and all new site improvements (square footage of proposed building(s), storm drainage, landscaping, site lighting, parking, sidewalks, access, dumpster enclosure, retaining walls, etc.). Building is 107,575 sf with existing utility connections, storm drainage, parking, dumpster enclosure, landscaping, site lighting to remain. Wifi will be added along with secured entrance, common area public phones for local calls, second floor outdoor deck patios for cooking out.
- An explanation of the proposed architectural style and materials and how it is compatible with the development in and around the area. Exterior of building is a brown brick veneer with epoxy panels at windows and precast canopies at the Ontario Avenue and 6th Street Entrances. Building Architecture has fit into the area for over 47 years very nicely. A written description of the proposed general design, arrangement, texture, material and

color of the buildings/structures. Exterior of building will be cleaned and joints re-caulked. An explanation of any interior and/or exterior renovations. New finishes in both the 6 story and 4 story building to include wood planked vinyl in units and kitchen area, carpeting in corridors. Hand railing has been removed, new acoustical ceiling and soffits added, Showers will be added to the 4 story units and new interior finishes added. Fire Protection has been added to the 6 story building, new boilers for hot water baseboard and domestic hot water added.

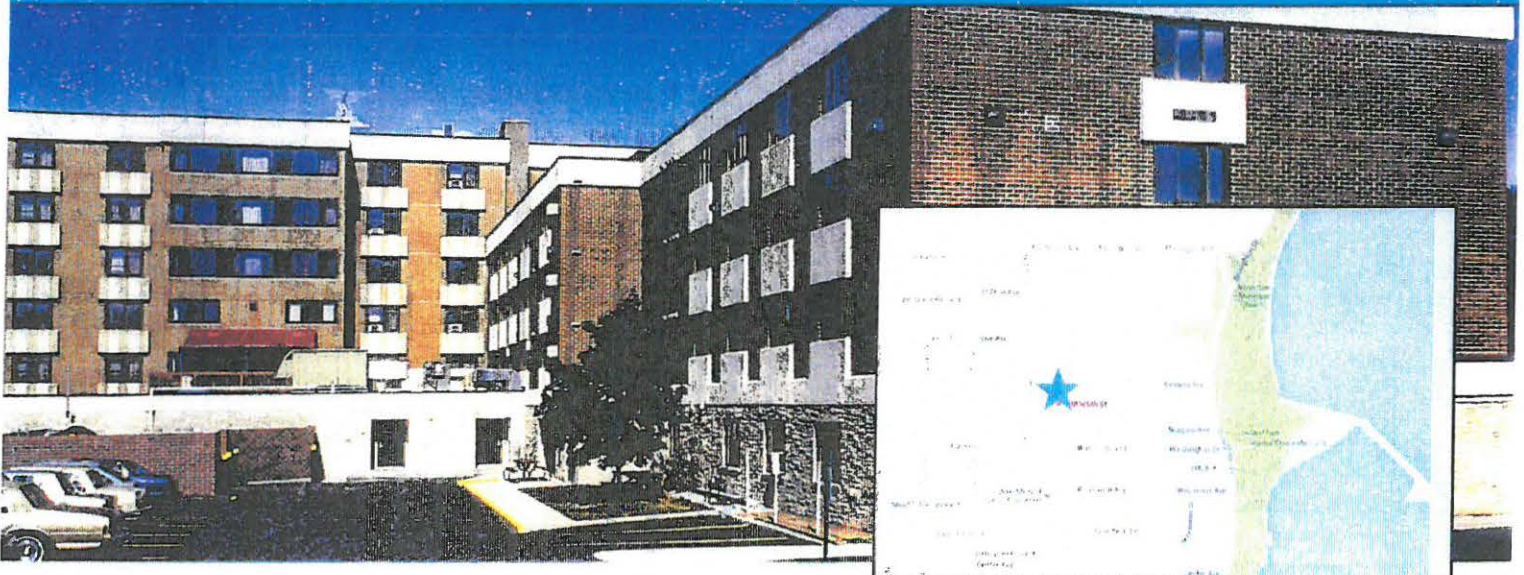
- How many employees will you have and how will apartments and grounds be managed? Kohler Hospitality will have a full time onsite manager to manage the 6 story building as they will be occupying over 75% of the building, Sheboygan Senior Community will be providing maintenance, cleaning, lawn and snow removal services and food service in the existing cafeteria (anticipating about 6-10 people in the people daily providing services). We anticipate the higher education users of the 4 story building will manage the 4 floors with the student RA position concept.
- How will site be accessed and where are the proposed access points? Two access points in the 6 story building, 6th Street Entrance and Ontario Avenue Entrance. Two access points in the 4 story building, south entrance and parking lot entrance. Staff will use secured entrances from the parking lot. Interior and exterior will have 60 security cameras monitoring the building. Daily shuttles will be picking up interns on Ontario Avenue to transport them to their work locations and returning them back at night. Intern students in the 6 story building will not have vehicles as a majority of them are here from overseas, (Jamaica, China, Argentina to name a few countries)
- What are proposed traffic impacts to adjoining streets in the neighborhood based on the new apartment complex. Very little compared to the previous use.
- How will site be serviced with streets and utilities? With current streets and utilities.
- How will you insure that the proposal will not become a nuisance to adjoining property owners (i.e. outdoor storage of materials, vehicles, equipment, lighting, noise, architectural style, etc.)? Students arriving have been screened by their employers. The facility will have 60 security cameras and secured entry to building via a assigned personal key fob that each student will have.
- Are you proposing any fencing and landscaping? No fencing and landscaping will be freshened up.
- Number of parking spaces you have and the number of parking spaces required. Currently we have 73 parking stalls in the lot with as needed additional parking provided by the corporate leasing organizations offsite. Are there enough parking spaces for the number of units - multi-family development 2 spaces are required for each unit with 2 or more bedrooms, 1 ½ spaces for each unit with one bedroom or less. This project is unique as that a majority of the students come in without transportation as they are coming in from other countries.
- Any other information that will be useful for the Plan Commission to understand your proposed business. This project we will feel will set the stage for bringing life back to the downtown with year round use of the building with students coming in to work for many of our fine Sheboygan County companies. So far the demand has exceeded what we have for available rooms and we are trying to expedite the 4 story Phase 2 building to provide much needed additional housing that we hope to have available starting at the end of June.

COMING SOON!

SHEBOYGAN DORM-STYLE HOUSING

CORPORATE INTERNS / CO-OP & COLLEGE STUDENTS

930 N. 6TH ST, SHEBOYGAN, WI



VARIOUS FULLY-FURNISHED DORM STYLE ROOM OPTIONS:

- ▶ (24) - Single occupant room with full bath
- ▶ (96) - Double occupant room with full bath
- ▶ (12) - Triple room occupant with full bath
- ▶ (1) - Six Double occupant room suite with four full baths
- ▶ Furnished with XL Captain Bed Unit with Base Storage and Headboard, Nightstand and a 5-Drawer Dresser per occupant (Bedding by others).

[CLICK HERE TO VIEW FLOOR PLANS](#)

PHASE ONE: 6-story Building, 149 Beds, Available May 15, 2016

PHASE TWO: 4-story Building, 115 Beds, Available Sept 1, 2016

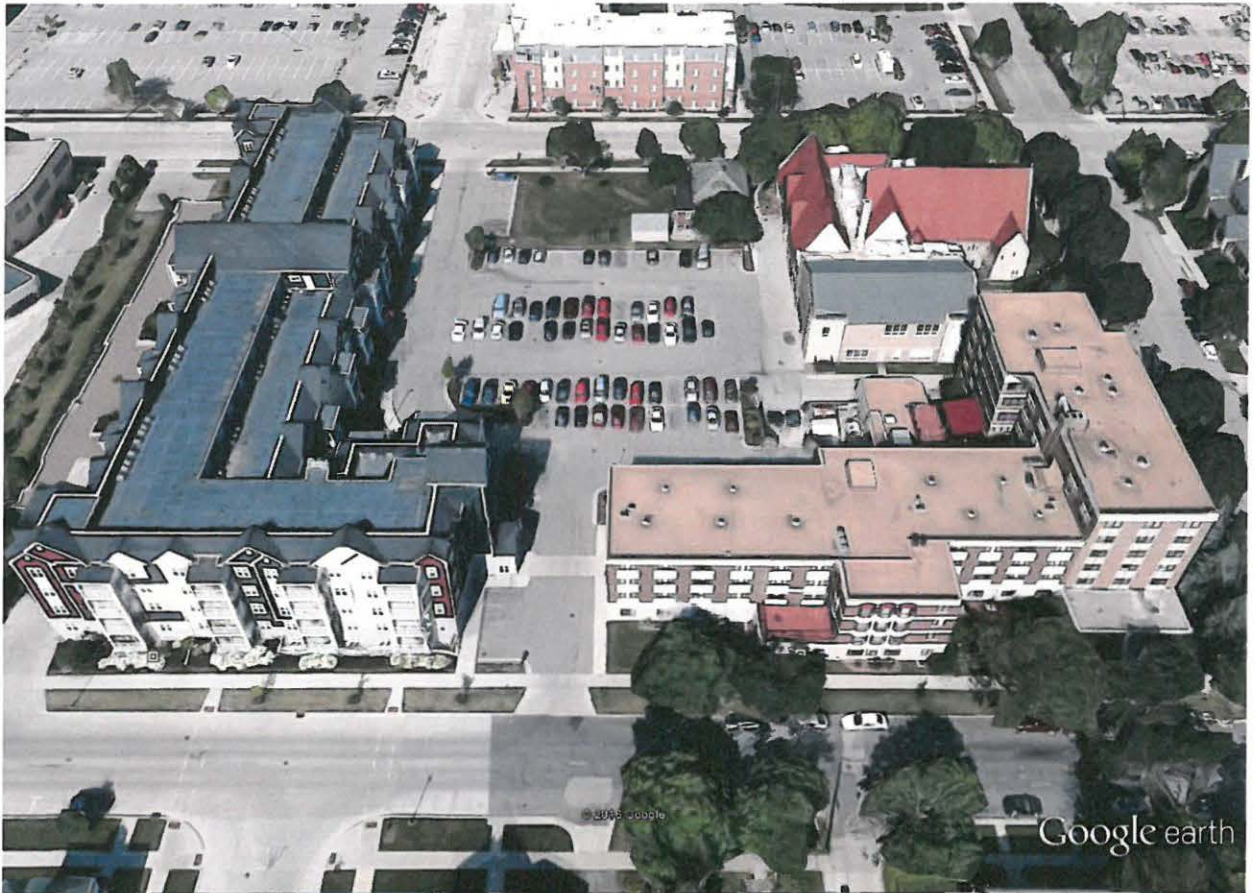
Questions or to arrange a tour contacts:

Steven J. Schmitt
2104 Union Avenue
Sheboygan, WI 53081
(920) 946-0991
sschmitt@jschmitt.cc

Reed J. Schmitt
2104 Union Avenue
Sheboygan, WI 53081
(920) 946-0993
rschmitt@jschmitt.cc

PROPOSED BUILDING AMENITIES

- 24/7 Security Fob Access
- Camera Surveillance - Interior/Exterior
- Building Fully Sprinkled
- Fire Alarm System
- Secured Storage
- Mailboxes
- Wi-Fi
- Community Kitchens (on each floor)
- Community TV Lounges (on each floor)
- Public Restrooms on each floor
- Fitness Center with Shower/Locker Room Area (Lower Level)
- 12 - seat Theater (Lower Level)
- Rec Room (Lower Level)
- Laundry Facility (Coin operated washers & dryers)
- Cafeteria (Food Service provided by Sheboygan Senior Community)
- Outdoor Deck/Natural Gas Grills
- Off-street Parking
- View of Lake Michigan
- Downtown location (3 blocks from Lake Michigan)

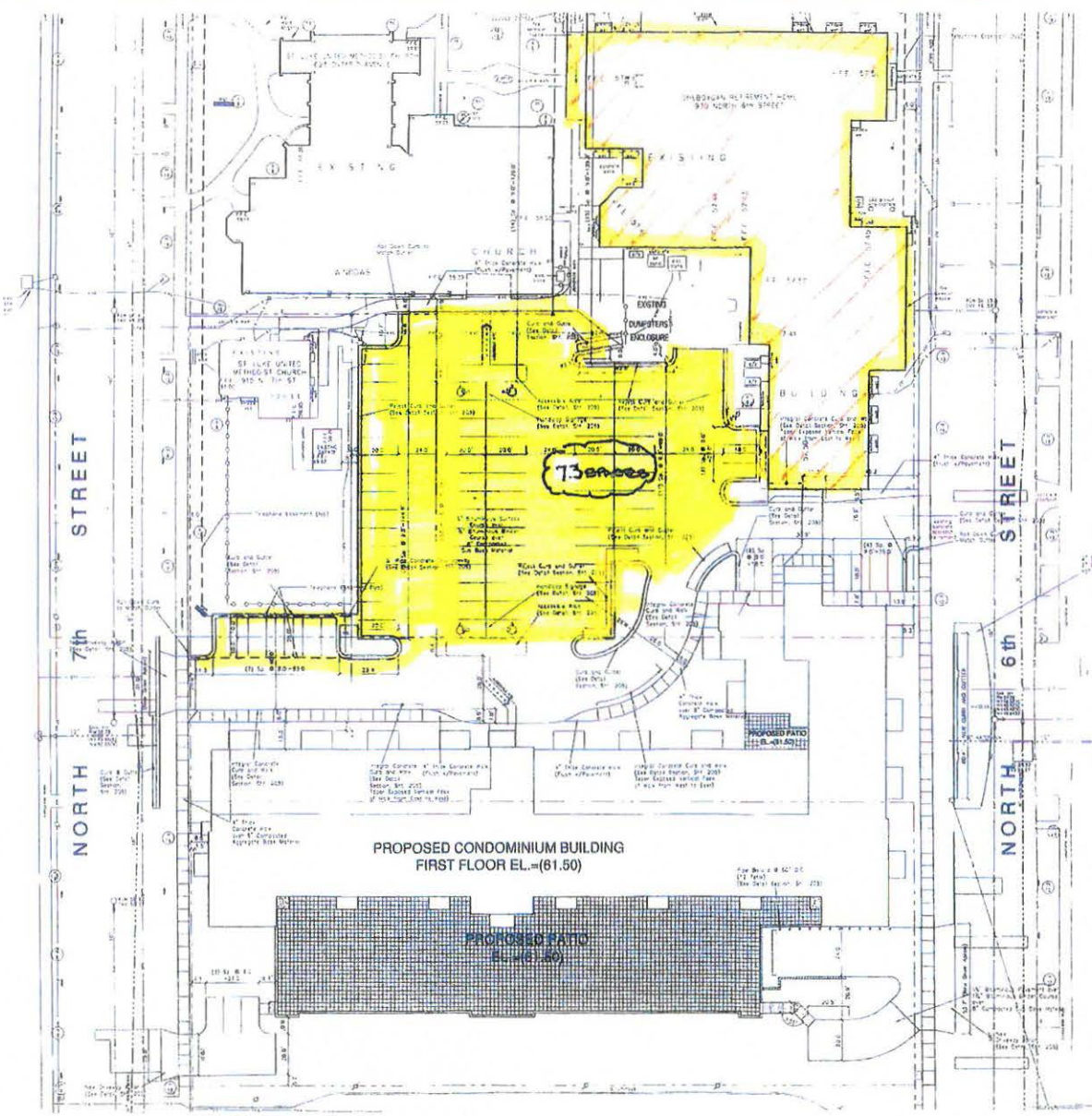






NOTE:
 THE LOCATION OF UNDERGROUND UTILITIES OR FACILITIES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING ALL UTILITIES LOCATIONS FROM TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR NOTIFYING ALL AFFECTED UTILITIES DURING CONSTRUCTION TO SATISFACTION OF UTILITY OWNERS.

PARKING SUMMARY
 EXISTING PARKING LOT = 87 STALLS
 NEW PARKING LOT = 91 STALLS
 LOWER LEVEL GARAGE = 80 STALLS



PARTIAL SITE STAKING AND PARKING LOT PLAN
 SCALE 1"=20'

MARCH 7, 2006
 SHEBOYGAN SENIOR COMMUNITY
LANDMARK SQUARE
 SHEBOYGAN, WISCONSIN

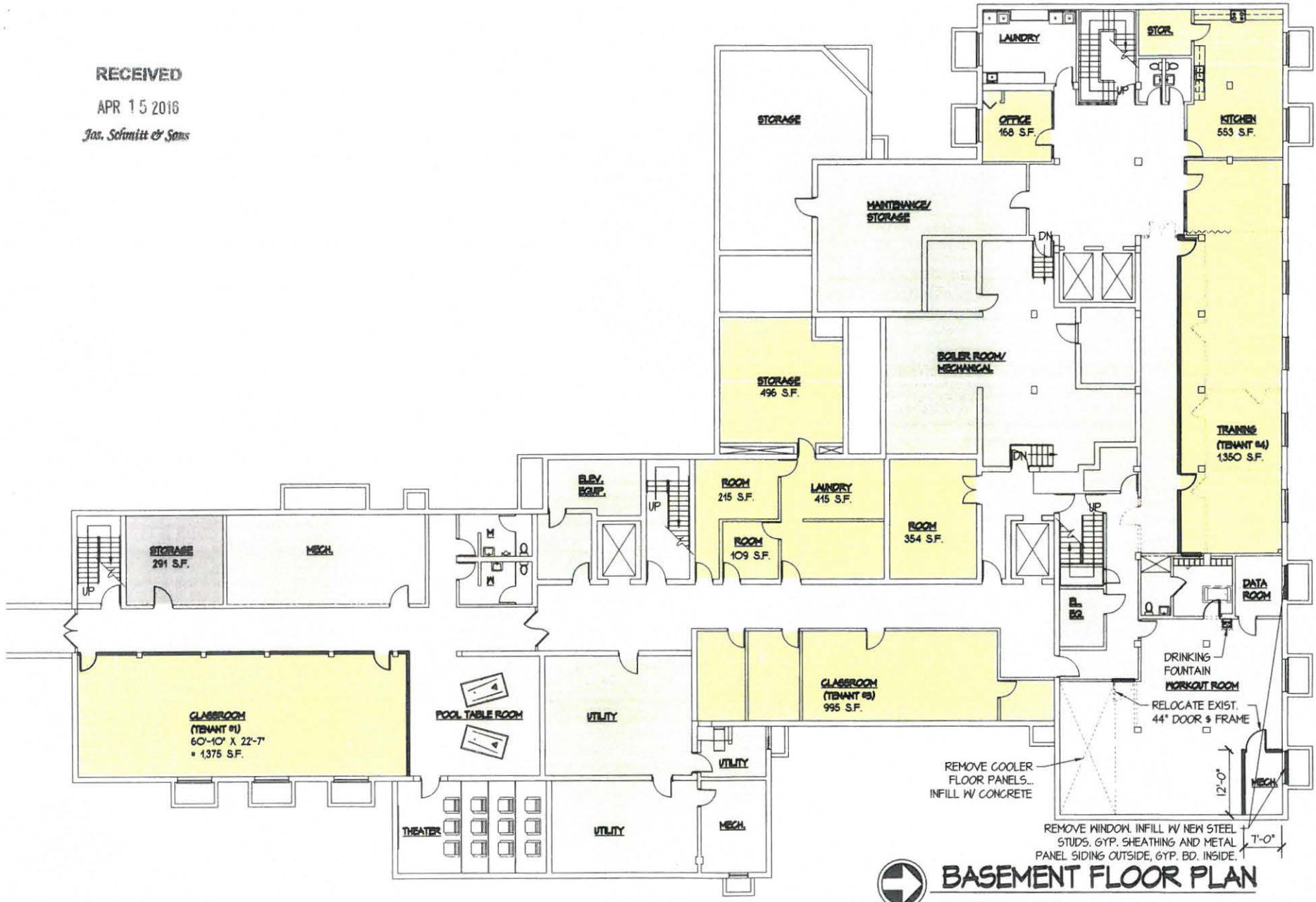
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204

PROJECT NO. 2005-33

RECEIVED

APR 15 2016

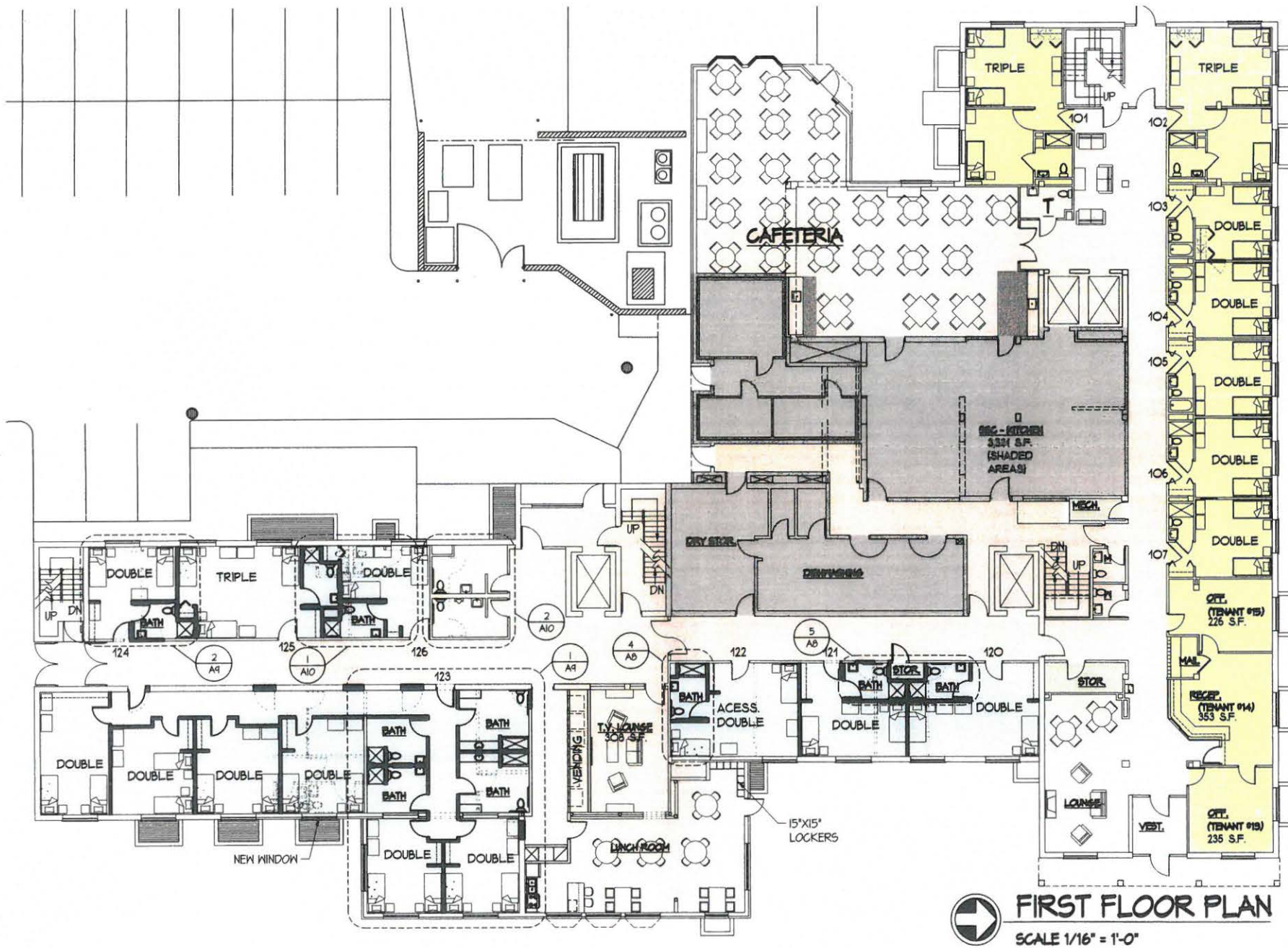
Jas. Schmitt & Sons



BASEMENT FLOOR PLAN

SCALE 1/16" = 1'-0"

NO. REVISIONS		DATE
LJM Architects 813 Riverfront Drive Sheboygan, WI 53081 Phone (920) 468-4800 Fax (920) 468-1485		
6TH AND ONTARIO, APARTMENT HOUSING DEVELOPMENT 930 NORTH 6TH STREET SHEBOYGAN, WISCONSIN 53081		
SHEET TITLE		
DRAWN BY JA		
CHECKED BY EJ		
DATE 03-31-16		
PROJECT NO. 1441		
SHEET NO. B1		



FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"

NO.	REVISIONS	DATE

LJM Architects
813 Riverfront Drive
Sheboygan, WI 53081
Phone (920) 458-4800 Fax (920) 458-1485

**6TH AND ONTARIO,
APARTMENT HOUSING DEVELOPMENT**
930 NORTH 6TH STREET
SHEBOYGAN, WISCONSIN 53081

SHEET TITLE

DRAWN BY
JA

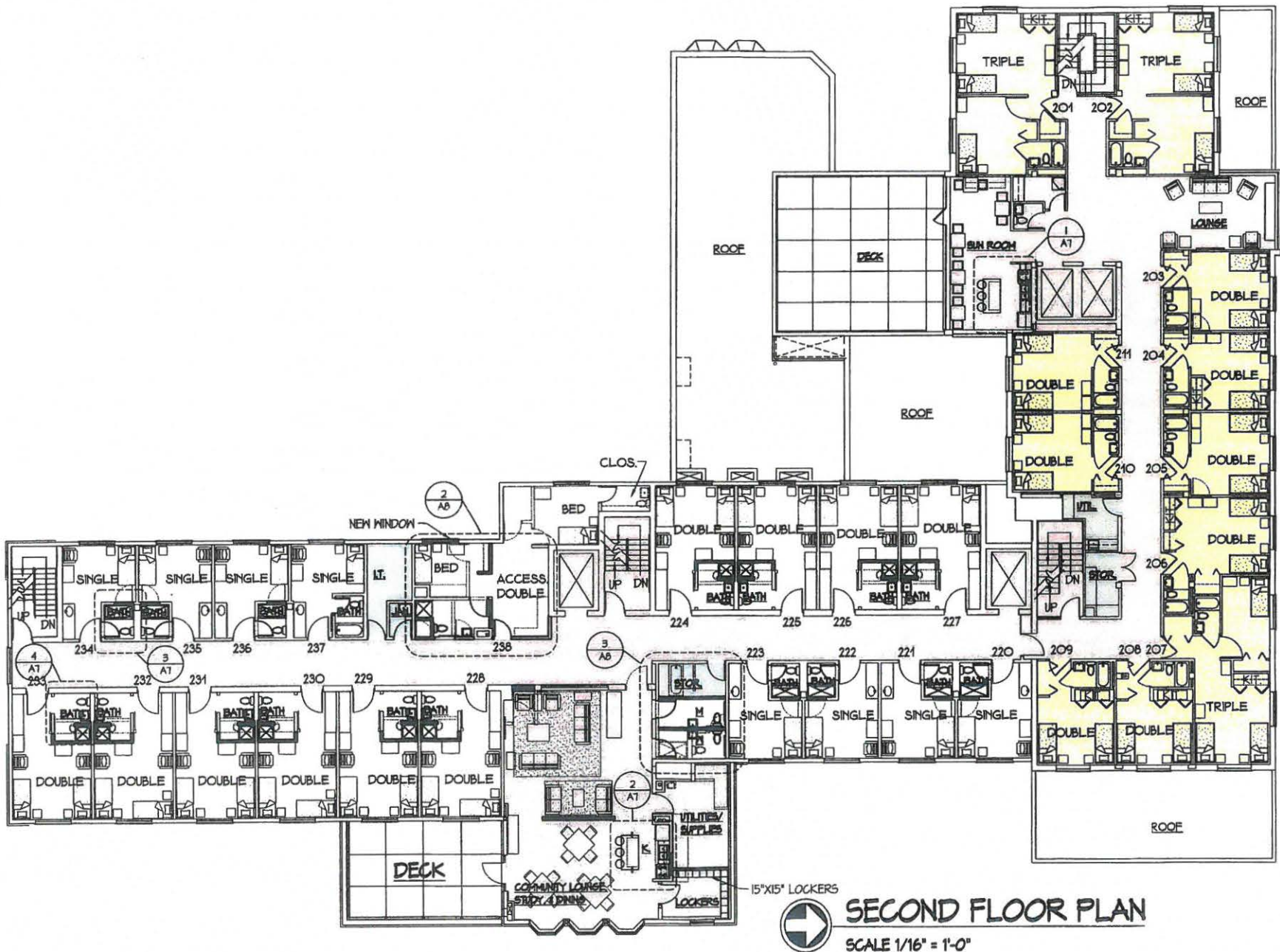
CHECKED BY
BJ

DATE
03-31-16

PROJECT NO.
1441

SHEET NO.

A1



SECOND FLOOR PLAN

SCALE 1/16" = 1'-0"

NO.	REVISIONS	DATE


LJM Architects
 815 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 488-4800 Fax (920) 458-1486

**6TH AND ONTARIO,
 APARTMENT HOUSING DEVELOPMENT**
 930 NORTH 6TH STREET
 SHEBOYGAN, WISCONSIN 53081

SHEET TITLE

DRAWN BY
JA

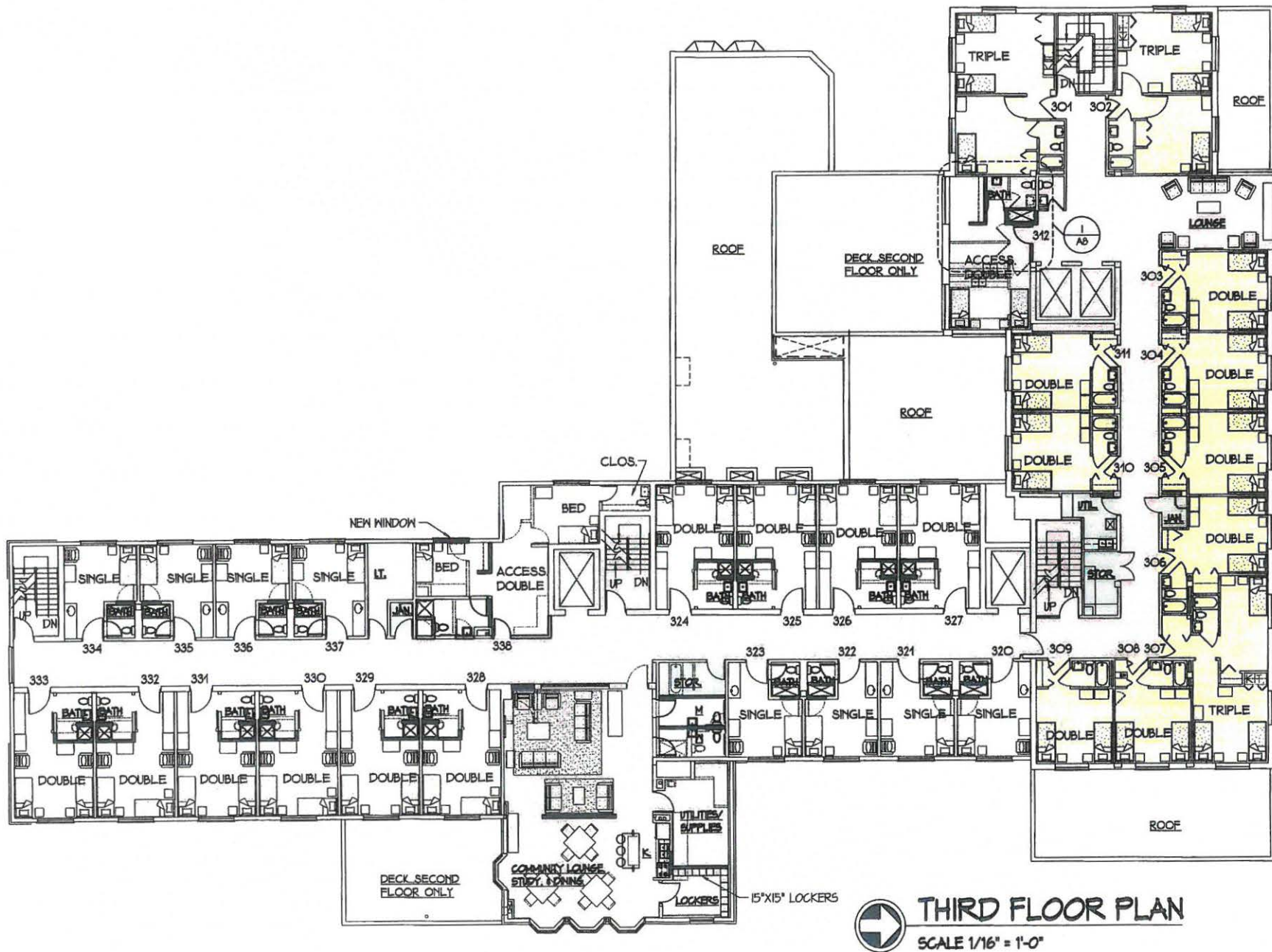
CHECKED BY
EJ

DATE
04-13-16

PROJECT NO.
1441

SHEET NO.

A2



THIRD FLOOR PLAN

SCALE 1/16" = 1'-0"

NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 469-4900 Fax (920) 469-1486

**6TH AND ONTARIO,
 APARTMENT HOUSING DEVELOPMENT**
 930 NORTH 6TH STREET
 SHEBOYGAN, WISCONSIN 53081

SHEET TITLE

DRAWN BY
JA

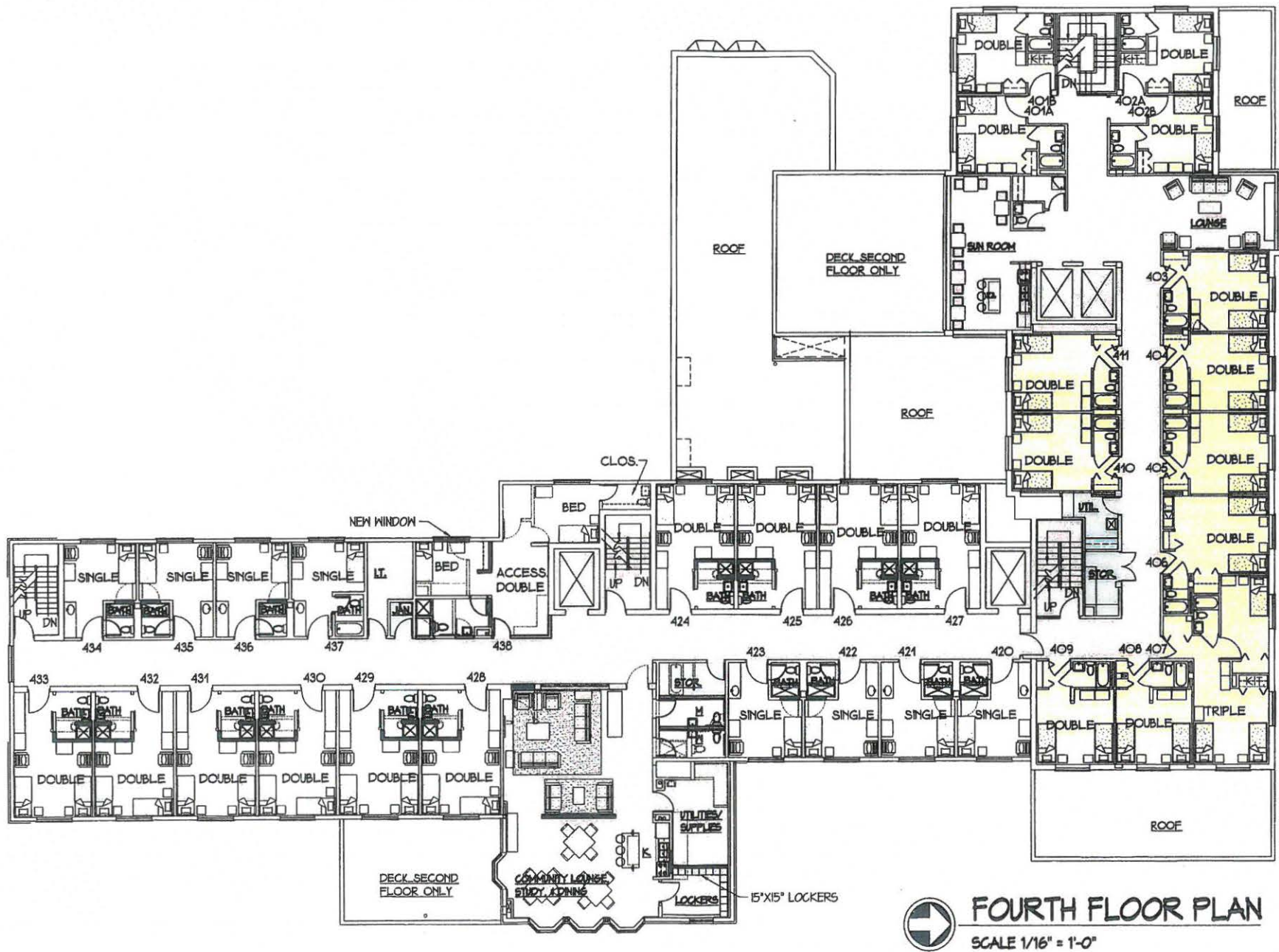
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EJ

DATE
4-13-16

PROJECT NO.
1441

SHEET NO.

A3



FOURTH FLOOR PLAN
SCALE 1/16" = 1'-0"

NO.	REVISIONS	DATE

LJM Architects
813 Riverfront Drive
Sheboygan, WI 53081
Phone (920) 468-0900 Fax (920) 468-1486

**6TH AND ONTARIO,
APARTMENT HOUSING DEVELOPMENT
930 NORTH 6TH STREET
SHEBOYGAN, WISCONSIN 53081**

SHEET TITLE

DRAWN BY
JA

CHECKED BY
EJ

DATE
04-03-16

PROJECT NO.
1441

SHEET NO.

A4

NO.	REVISIONS	DATE

613 Riverfront Drive
 Phone (920) 458-4800
 Shboygan, WI 53081
 Fax (920) 458-1485
LJM Architects

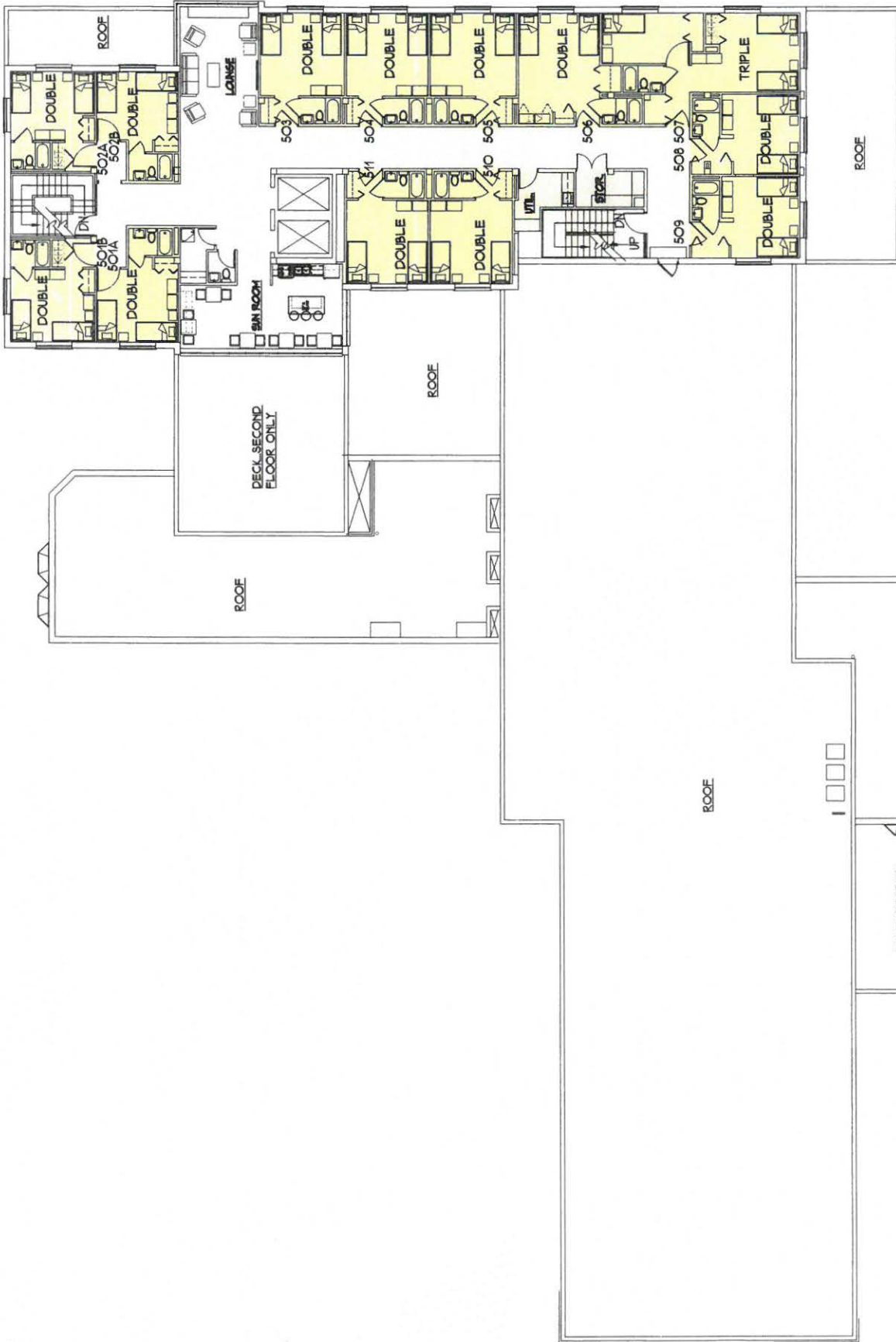
**6TH AND ONTARIO,
 APARTMENT HOUSING DEVELOPMENT**
 930 NORTH 6TH STREET
 SHEBOYGAN, WISCONSIN 53081

SHEET TITLE
 DRAWN BY
 JA

CHECKED BY
 EJ

DATE
 07-24-06
PROJECT NO.
 1441
SHEET NO.

A5



FIFTH FLOOR PLAN
 SCALE 1/16" = 1'-0"



NO.	REVISIONS	DATE

813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 458-4500
 Fax (920) 458-1485
LJM Architects

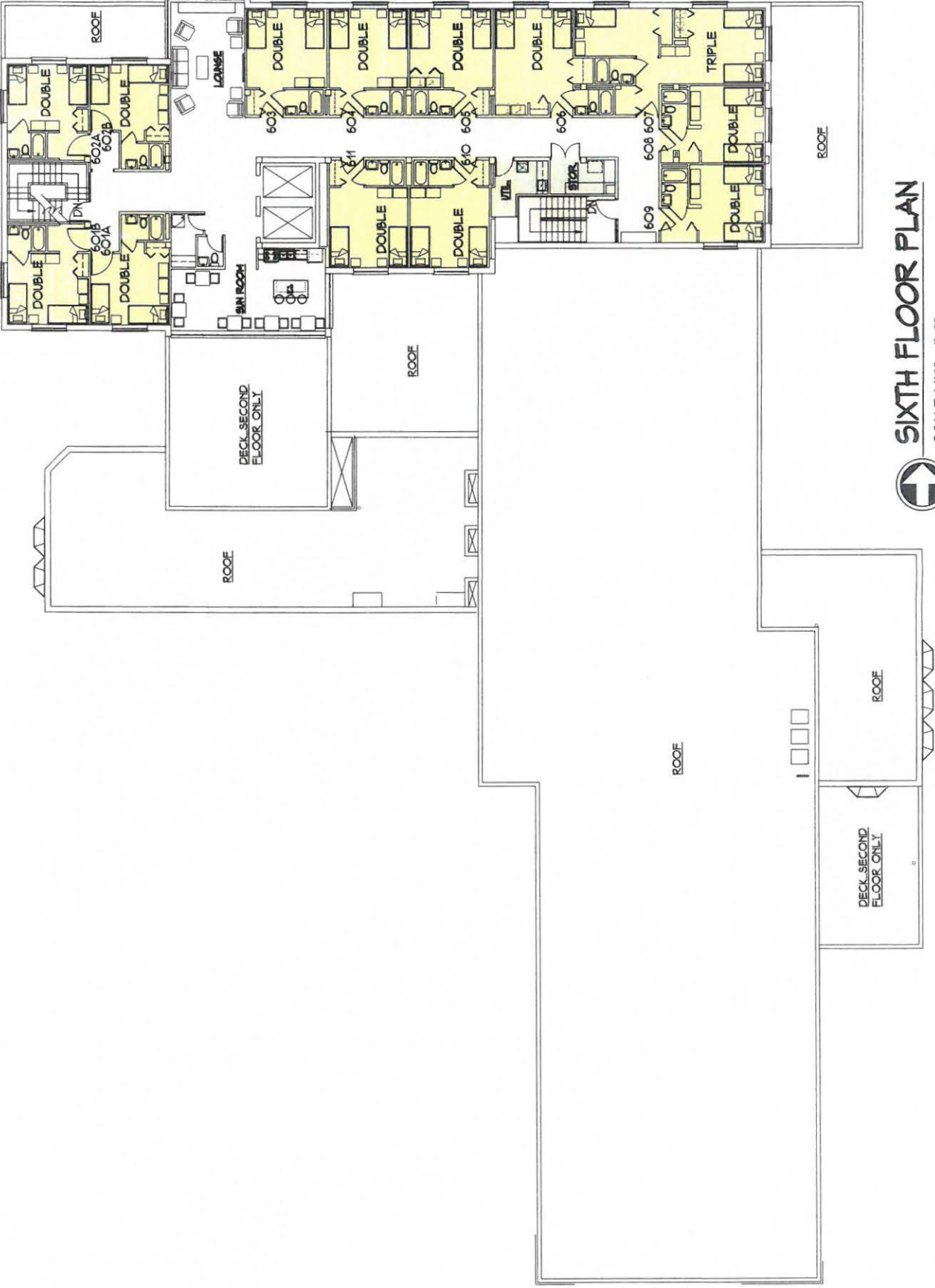
**6TH AND ONTARIO,
 APARTMENT HOUSING DEVELOPMENT**
 930 NORTH 6TH STREET
 SHEBOYGAN, WISCONSIN 53081

SHEET TITLE
 DRAWN BY
 JA

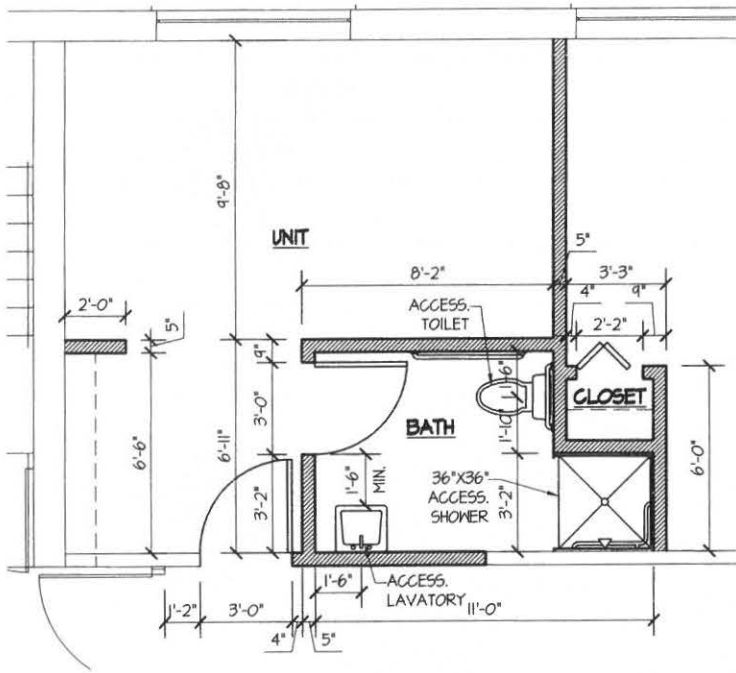
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 CJ

DATE
 07-31-16
 PROJECT NO.
 1441

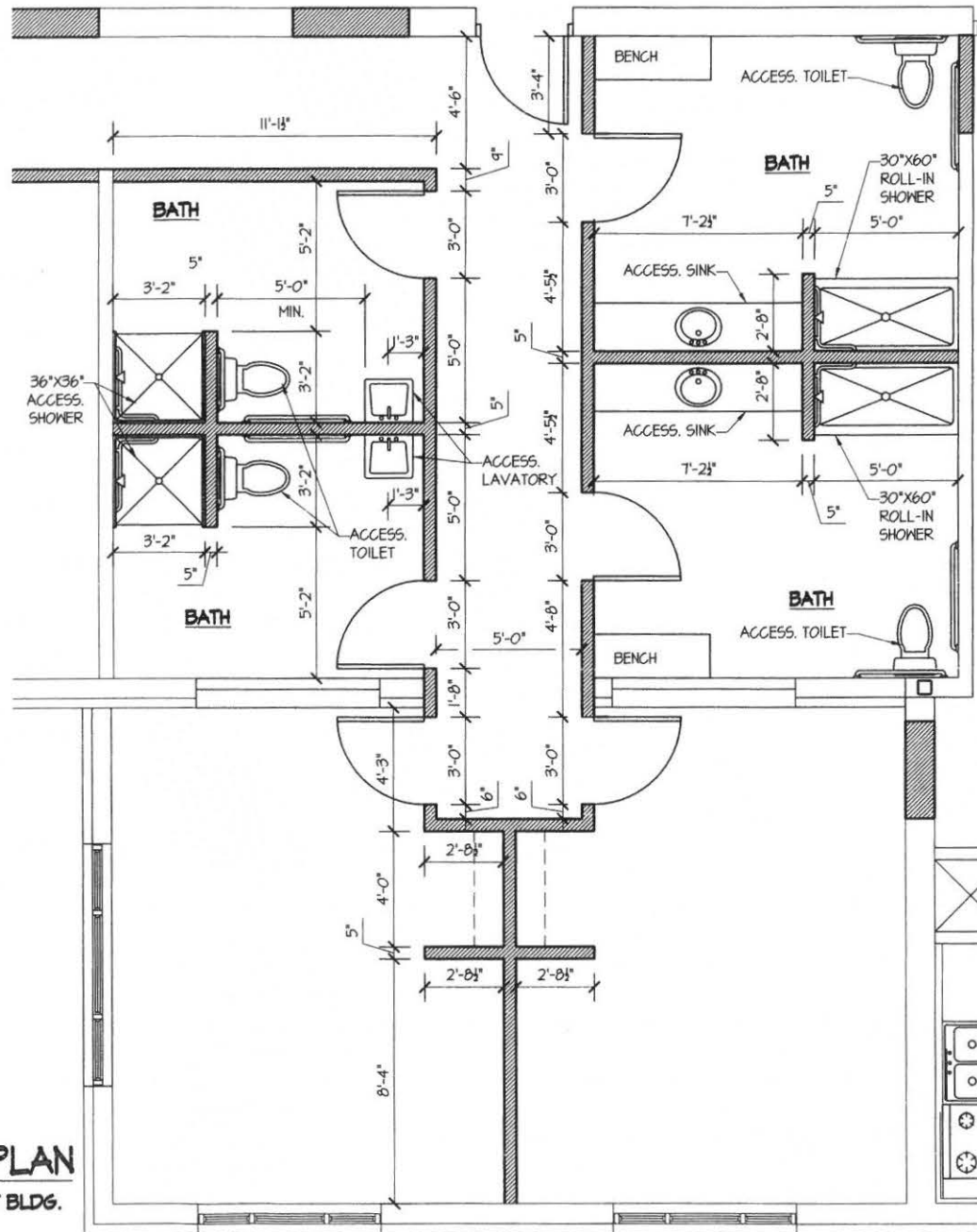
SHEET NO.
A 6



SIXTH FLOOR PLAN
 SCALE 1/16" = 1'-0"



2
A9 **ENLARGED FLOOR PLAN**
SCALE 1/4" = 1'-0" (1ST FLOOR) 4 STORY BLDG.



1
A9 **ENLARGED FLOOR PLAN**
SCALE 1/4" = 1'-0" (1ST FLOOR) 4 STORY BLDG.

NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 458-4800 Fax (920) 458-1485

**6TH AND ONTARIO,
 APARTMENT HOUSING DEVELOPMENT
 930 NORTH 6TH STREET
 SHEBOYGAN, WISCONSIN 53081**

SHEET TITLE
DRAWN BY JA
CHECKED BY EJ
DATE 03-31-16
PROJECT NO. 1441
SHEET NO. A9

TOILET ROOM GENERAL NOTES:

BLOCKING SHALL BE PROVIDED FOR THE FUTURE INSTALLATION OF GRAB BARS. WHEN GRAB BARS ARE PROVIDED, SEE GRAB BAR NOTES FOR LOCATION AND SIZE REQUIREMENTS.

MIRRORS:

MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. A.F.F.

COAT HOOKS:

COAT HOOKS PROVIDED WITHIN TOILET ROOMS SHALL BE MOUNTED AT 48" MAX. A.F.F.

WATER CLOSETS:

THE CENTERLINE OF WATER CLOSETS SHALL BE 16" MIN. TO 18" MAX. FROM SIDE WALLS OR PARTITIONS. THE TOP OF WATER CLOSET SEATS SHALL BE 17" MIN. TO 19" MAX. A.F.F. SEATS SHALL NOT RETURN AUTOMATICALLY TO A LIFTED POSITION. FLUSH TRIP LEVER MUST BE LOCATED ON OPEN SIDE OF TANK.

WATER CLOSET GRAB BARS:

SIDE WALL GRAB BARS SHALL BE 42" LONG MIN. 12" MAX. FROM THE REAR WALL AND EXTENDING 54" MIN. FROM THE REAR WALL. THE REAR WALL GRAB BAR SHALL BE 24" LONG MIN., CENTERED ON THE WATER CLOSET. WHERE SPACE PERMITS, THE BAR SHALL BE 36" LONG MIN., WITH THE ADDITIONAL LENGTH PROVIDED ON THE TRANSFER SIDE OF THE WATER CLOSET. VERTICAL GRAB BAR SHOULD BE 18" TALL. BOTTOM OF GRAB BAR SHOULD BE 39"-41" A.F.F. CENTER OF GRAB BAR SHOULD BE 39"-41" FROM BACK WALL. GRAB BARS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1/4" MIN. AND 2" MAX. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1/2". GRAB BARS SHALL BE MOUNTED 33" MIN. AND 36" MAX A.F.F.

TOILET PAPER DISPENSERS:

TOILET PAPER DISPENSERS SHALL BE 7" MIN. AND 9" MAX. IN FRONT OF THE WATER CLOSET. THE OUTLET OF THE DISPENSER SHALL BE 15" MIN. AND 48" MAX. A.F.F. THERE SHALL BE A CLEARANCE OF 1/2" MIN. BELOW AND 12" MIN. ABOVE THE GRAB BAR.

LAVATORIES AND SINKS:

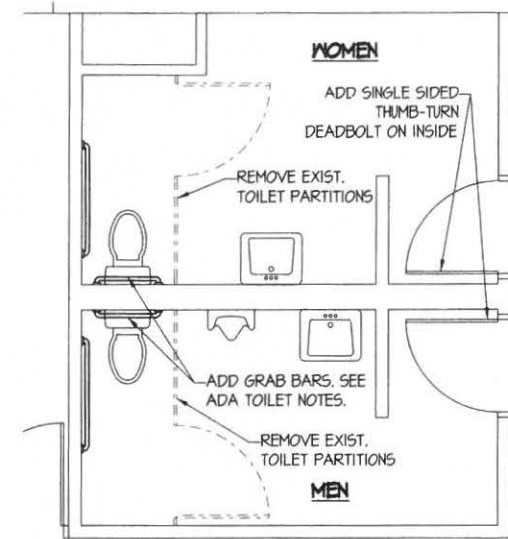
THE FRONT OF LAVATORIES AND SINKS SHALL BE 34" MAX. A.F.F., MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE. KNEE CLEARANCE SHALL BE 27" MIN. A.F.F. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE CLEARANCES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.

SHOWER COMPARTMENTS:

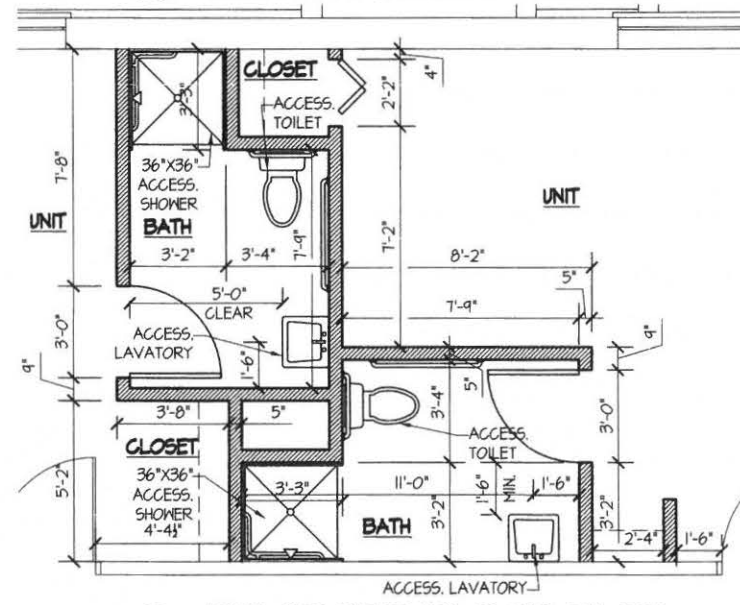
TRANSFER-TYPE SHOWER COMPARTMENTS SHALL HAVE A CLEAR INSIDE DIMENSION OF 36" IN WIDTH AND 36" IN DEPTH, MEASURED AT THE CENTER POINT OF OPPOSING SIDES. AN ENTRY 36" MINIMUM IN WIDTH SHALL BE PROVIDED. A CLEARANCE OF 48" MINIMUM IN LENGTH MEASURED PERPENDICULAR FROM THE CONTROL WALL, AND 26" MINIMUM IN DEPTH SHALL BE PROVIDED ADJACENT TO THE OPEN FACE OF THE COMPARTMENT.

SHOWER COMPARTMENT GRAB BARS:

HORIZONTAL GRAB BARS SHALL BE PROVIDED ACROSS THE CONTROL WALL AND ON THE BACK WALL TO A POINT 18" FROM THE CONTROL WALL. A VERTICAL GRAB BAR 18" MINIMUM IN LENGTH SHALL BE PROVIDED ON THE CONTROL END WALL 3" MINIMUM TO 6" MAXIMUM ABOVE THE HORIZONTAL GRAB BAR, AND 4" MAXIMUM FROM THE FRONT EDGE OF THE SHOWER. GRAB BARS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1/4" MIN. AND 2" MAX. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1/2". GRAB BARS SHALL BE MOUNTED 33" MIN. AND 36" MAX A.F.F. GRAB BARS SHALL BE PERMITTED TO BE SEPARATE BARS, A SINGLE PIECE BAR, OR A COMBINATION THEREOF. A FOLDING SEAT SHALL BE PROVIDED IN TRANSFER-TYPE SHOWER COMPARTMENTS AND SHALL BE ON THE WALL ADJACENT THE CONTROLS. THE HEIGHT OF THE SEAT SHALL BE 17" MINIMUM AND 19" MAXIMUM ABOVE THE BATHROOM FLOOR, MEASURED TO THE TOP OF THE SEAT. THE SEAT SHALL EXTEND ALONG THE SEAT WALL TO A POINT WITHIN 3" OF THE COMPARTMENT ENTRY.



2
A10 ENLARGED FLOOR PLAN
SCALE 1/4" = 1'-0" (1ST FLOOR) 4 STORY BLDG.



1
A10 ENLARGED FLOOR PLAN
SCALE 1/4" = 1'-0" (1ST FLOOR) 4 STORY BLDG.

NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 458-4800 Fax (920) 458-1485

**6TH AND ONTARIO,
 APARTMENT HOUSING DEVELOPMENT
 930 NORTH 6TH STREET
 SHEBOYGAN, WISCONSIN 53081**

SHEET TITLE
DRAWN BY JA
CHECKED BY EJ
DATE 03-31-16
PROJECT NO. 1441
SHEET NO. A10

PARCEL NO. 59281110032
MAP NO. C.S.M. Vol. 25 pp. 55 & 56
ZONING CLASSIFICATION: CC PUD OVERLAY

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 5/10/16

SEAS PUD

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT *RL*
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Leslie Kohler—Chairman, Sailing Education Association of Sheboygan [SEAS]

ADDRESS: P.O. Box 1317, Sheboygan, Wisconsin 53082-1317

E-MAIL: lkohler@windway.com

PHONE: (920) 457-8600 FAX NO.: _____

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: _____
SEAS Boat Works And SEAS Boat Storage.

ADDRESS OF PROPERTY AFFECTED: 824 South Eighth Street

LEGAL DESCRIPTION: Original plat - lot 2 CSM v25 p55-56 #1926888 being all of blks 212, lots 1-8 of blk 213 & prt lot 4 blk 233 & portions of vac N Water St, vac Maryland Ave & the vac alley in blk 212

BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: _____
Vacant – Former WP&L / Alliant Energy Office Building

DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: _____
SEAS Office, Education, and Community Center, and Indoor Boat Maintenance and Indoor Boat Storage.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: _____

#1. Request a Variance to Section 15.105 (f) 2. Allowable Land Uses: Indoor Storage of power and sail boats to be permitted as a PUD Land Use.

#2. Request a Variance to Section 15.105 (f) 4.k. Maximum Building Height: Revise from 20-feet to "not more than 60-feet" per the Eighth Street Design Standards.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? _____

Variance Request #1: Indoor Storage.

Boat storage is integral to the function of SEAS. On-site storage removes the need and inefficiency of off-site storage. Also eases the extra traffic burden of moving boats around the city.

Variance Request #2: Maximum Building Height.

60-foot maximum building height allows for more monumental construction better suited to this Downtown and Transitional Waterfront Area of the Master Plan and corresponds with the 8th Street Design Standards.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? No.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

SEAS Boat Works is a very suitable transitional building between the Downtown and Waterfront Districts. It is in character with existing Riverfront and Lakefront buildings and is an additional attraction to draw people to Downtown businesses. This institution enhances quality of life for the City.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Sailing Education Association Of Sheboygan [SEAS]

SEAS

Promoting Community Boating & Benefiting Sheboygan's Waterfront

In an effort to make the best use of Sheboygan's waterfront resources and the long tradition of boating within our community, Sailing Education Association of Sheboygan (SEAS) fosters sailing, sail boat racing, the broader boating community, and the lakefront as a resource for community development. Don't let the "Sailing" in our name confuse you, we are primarily focused on education and helping to make Sheboygan's waterfront a world class destination. Our goal is to make these wonderful resources available to a wider range of social demographics. Our mission is to expand and maximize the philanthropic dollars available for this endeavor.

Our hope is to make boating available to a wider range of people by reducing or eliminating the economic barriers to participation by encouraging the groups that are primarily involved in sailing and boating education, Sheboygan Youth Sailing Club (SYSC), Sea Scouts- Ship 50, and Sail Sheboygan, to pool their resources thus maximizing their use while reducing their redundancy and expenses. This enables them to maintain a competitive fleet while keeping maintenance costs under control. We also have a strong commitment to helping members of the adaptive community out on the water. We hosted the 2014 Blind Match Racing World Championships and will again in September 2016. We have gone to San Francisco and Fort Myers, FL to hold blind match racing clinics and have three more scheduled for this year in Boston, Newport, RI and here in Sheboygan in September. We are working with RCS, Tower Academy, and the Lions to create opportunities to get persons with challenges out on the water. We are investigating a partnership with the Wisconsin Chapter for ALS, whose attention we came to through our efforts to get Steve Heronemus, a 10 year sufferer of ALS, back out sailing. Check out YouTube-"The Hero in Heronemus" to find out more.

SEAS is also interested in being an integral part of the development and promotion of Sheboygan's waterfront as both a cultural and economic resource. As part of our effort to help make Sheboygan's waterfront a world class destination and resource SEAS, the Sheboygan County Chamber of Commerce, and the City of Sheboygan are working with the National Oceanic and Atmospheric Administration (NOAA), the Wisconsin Historical Society and other local communities along the lakefront to establish a NOAA National Marine Sanctuary for the preservation of the many shipwrecks along Wisconsin's coast of Lake Michigan. We hope to see each community building differing attractions that make its locale interesting to both locals and tourists. The group would like to develop a Science and Technology Exploratorium centered on South Pier, with emphasis on Science, Technology, Engineering, and Math (STEM) education, as well as the progression of sailing technology and the technologies of our local industries. We would also like to bring alive Sheboygan's long history of shipping, boat building and its integral role to the growth of our city.

SEAS is all about education. It's our middle name after all. Various boating related subjects are offered yearly from first aid to weather. We are pleased to sponsor speakers on a variety of topics such as the Christmas Tree Ship, the Edmund Fitzgerald, Dennis Hale, the lone survivor of the sinking of the Daniel J Morrell, and Adirondack Guide Boats.

SEAS is a 501(c)3 corporation, please visit our website seasheboygan.org

Sailing Education Association of Sheboygan (SEAS) Boat Works

26 April 2016

PUD: Precise Implementation Plan (PIP)

Page 1 of 4

Sailing Education Association of Sheboygan
P.O. Box 1317
Sheboygan, Wisconsin 53082-1317
Phone: [920] 457-8600

Project: **SEAS Boat Works**
824 South 8th Street
Sheboygan, Wisconsin 53081
HAI Number: 101615

SEAS PUD Precise Implementation Plan (PIP)

The Sailing Education Association of Sheboygan (SEAS) intends to raze the early 1960's vintage former WP&L office building located at 824 S. 8th Street and in its place, construct two contemporary buildings of architectural style appropriate for this Waterfront Transitional and river riparian location. SEAS's mission is to establish Sheboygan's waterfront and boating programs as best in class offerings and facilities, while enhancing our county's already stellar attractions.

Introduction

In 2009 SEAS constructed sail boat davit launching, event dockage, and "dry sail" operations in Sheboygan's Inner Harbor. The proposed 8th Street facility will comprise SEAS's public educational and management base, as well as provide off-season indoor storage and maintenance for the organization's fleet of sailing and power support boats. These activities are presently inefficiently scattered amongst several leased and borrowed spaces throughout the city.

A municipal boat ramp is located off the southeast corner of the subject property, which wraps around the west side of the boat ramp so that the SEAS's parcel has about 190' feet of frontage on the north bank of the Sheboygan River. WP&L/Alliant's electrical power substation is the abutting property to the west and New Jersey Avenue on top of the hill bounds the property to the north. The Topographic Property Survey (24" x 36" sheet) in the Appendix provides additional detailed information.



SEAS Location Map

A legal description of SEAS's parcel and a map showing all other properties within 200' of it are included in the Appendix, as is a listing of the nearby tax parcel mailing addresses.

Purpose of a PUD Overlay

This location for SEAS' home base is intrinsically consistent for land use within the City of Sheboygan's Master Plan, which designates this area as Waterfront Transitional. SEAS primary activities (offices and indoor maintenance service of boats in this case) at this 8th Street site will be land uses permitted by right on this 2.34-acre parcel that is zoned Central Commercial (CC). Indoor institutional (which includes education) activities of the organization are allowable as a Conditional Use for this zoning. Continuation of an adequate amount of the existing on-site parking is a permissible Accessory Special Use.

Indoor (boat) storage is a "land use flexibility" that can be allowed under the Planned Unit Development (PUD) ordinance. Without this allowance, this CC zoned property will not be of sufficient use to SEAS to warrant

redevelopment. The only other variation from standard zoning ordinance that is requested is for the building heights to exceed 20 feet, which is allowable under Conditional Use and will comply with the height requirement within the *8th Street Design Standards*: New buildings for this area are required to have a height of at least 30 feet, but not more than 60 feet. The proposed building heights will be in the range of 40 to 45 feet. A detailed tabulation of applicable zoning standards is included in the Appendix.

General Description

The new primary building will be recessed about 61' back from the sidewalk along 8th Street to provide an aesthetic drop-off drive in front. It will be set back 41' to 55' from the sidewalk along Riverfront Drive to accommodate a patio area for events that extend outdoors. Primary signage will be on the front (east) face of the primary building. Additional identification on the south face toward Riverfront Drive will be visible from across the river, as will similar information on the north side of the building that will be visible from south-bound 8th Street traffic. The boat storage building will be tucked into the hillside in the northwest corner of the property.

a. Project Theme and Images

The primary building, SEAS Boat Works, will have prominent visibility from 8th Street and its intersection with Riverfront Drive located just north of the 8th Street Bridge. The architectural style is based on historic turn-of-the-nineteenth-century wood framed boat works, boat shanty, and light-industrial buildings. This style features low-sloped roofs, horizontal lap siding, and double-hung muntin windows. Added enhancements for this interpretation are the clerestory high-space spine transecting the building and the glass wall, which opens up public spaces to views of the Sheboygan River to the south. The building mass is effectively broken up by shifting the exterior wall planes and varying the roof heights. Refer to the architectural example in the Appendix that shows some characteristic style elements, though not doing justice to the features and form of SEAS Boat Works Building and SEAS Boat Storage Building depicted later in this document.

At present, SEAS is proposing constructing the Project in three segments to better correlate with their anticipated fund raising capabilities. Phase 1 is the SEAS Boat Works Office Building of 9,787 square feet. Phase 2 is the SEAS Boat Works Work Bays Addition of 6,461 square feet. The SEAS Boat Storage Building is 12,480 square feet.

SEAS Boat Works Building will be built first, with anticipated construction starting this summer and occupancy next spring. Ultimately the Boat Works Building size—entire building or just Phase 1—will be dependent upon the review process and fund availability. The Phase 2 Boat Works Addition and the Boat Storage Building are scheduled to be constructed within 5 years.

Exterior Materials and Colors shall be more subdued in nature: Light-gray horizontal cement-board lap siding; light-gray cement-board corner trim and frieze boards; white aluminum clad window sashes with muntins and white cement-board casings; white aluminum glass entry doors and storefront glazing; white aluminum folding glass wall; medium-brown finished natural-looking simulated woodgrain premium-quality garage doors and service doors; blue standing seam metal roofs with blue fascia, trim, and flashings; and white cement board soffits with white heavy timber brackets. Metal wall panel, gray to match the siding, will be used as a temporary exterior covering for the west wall of the SEAS Boat Works Office Building during Phase 1 construction.

Sailing Education Association of Sheboygan (SEAS) Boat Works

26 April 2016

PUD: Precise Implementation Plan (PIP)

Page 3 of 4

b. Specific Land Uses

Building uses on this CC zoned parcel will consist of office (Permitted Use), indoor maintenance service (Permitted Use), indoor institutional (Special Use), and indoor storage (Conditional Use under PUD). Continuation of on-site parking is an Accessory Special Use.

c. Floor Area Ratio and Impervious Surface Area Ratio

Building footprints will not exceed 16,248 square feet for the SEAS Boat Works Building and 12,480 square feet for the SEAS Boat Storage Building, which sum to 28.2% of the parcel area of 101,902 square feet. At this proposed size, total impervious area of buildings plus pavements will be increased from the present of 85.0% to approximately 86.3%. The Landscape Area Ratio (LSR) will correspondingly decrease from 15.0% to approximately 13.8%. CC Zoning has no minimum requirements for any of these ratios.

d. Natural Treatments

The only "natural" area on the site is the parcel's northern hillside, the eastern portion (adjacent to 8th Street) of which will remain landscaped. This area will be augmented with additional "natural" landscaped areas around the building perimeters facing the street and within the parking lot islands. Landscaping shall include a mix of trees, shrubs, turf, and ornamental grasses.

e. Relation to Nearby Properties and Streets

The subject parcel is bounded by Riverfront Drive and the Sheboygan River on the south, 8th Street on the east, New Jersey Avenue to the north, and the WP&L/Alliant electrical power substation to the west.

f. Statement of Rationale as to Why PUD Zoning is Proposed.

Site use will be intrinsically consistent with the Comprehensive Master Plan and designation of this area as Waterfront Transitional. Without the PUD Overlay, the CC Zoning Ordinance would be too restrictive for SEAS to make use of this property.

g. List of Non-Compliant and Compliant Zoning Standards

Compilation of applicable zoning standards are included in the Appendix. The primary aspect of requested variation from standard zoning ordinance is to allow "indoor storage" as a Conditional Use, which is a "land use flexibility" that is specifically allowable under PUD Ordinance.

The only other aspect of variation from standard ordinance that is requested is to allow building heights exceeding the CC limit of 20 feet, which will then comply with that aspect of the *8th Street Design Standards* mandated for this area which requires heights between 30 and 60 feet. The proposed buildings will range in height from 40 to 45 feet. This is a flexibility in Bulk Requirements that is specifically allowable as a Conditional Use under PUD Ordinance.

No exemptions from any ordinance are needed or requested. The requested variations from standard zoning ordinances are specifically allowable under the PUD ordinance.

Proposed Landscaping of the Property is in excess of the CC Zoning Ordinance. While not required, it is more consistent with the adjacent Waterfront Districts and aids the transition to Downtown areas.

The variations from standard underlying zoning (CC) requirements as described in this PIP are all consistent with the zoning uses and specific requirements of local ordinances and the Comprehensive Master Plan. This facility will be a major aesthetic improvement at a key intersection in the heart of the City of Sheboygan and its river waterfront. The SEAS mission provides a valuable community service in supporting sailing education which enhances the City's role and posture as a premiere national sailing destination.

[Appendix](#)

City of Sheboygan Engineering Department – Proposed Zoning Map

Legal Description

Tax Parcel Map with 200' Buffer

Tax Parcel Mailing Addresses

Land Use Map

Concept Plan (11" x 17")

Architectural Example

Applicable Zoning Ordinance

Floor Plan

Building Images

Building Elevations

Landscape Plan

Lighting Site Plans

Topographic Property Survey (24" x 36")

Site & Utility Plan Sheet 1 of 2 (24" x 36")

Phase 1 (Interim) Site & Utility Plan Sheet 2 of 2(24" x 36")



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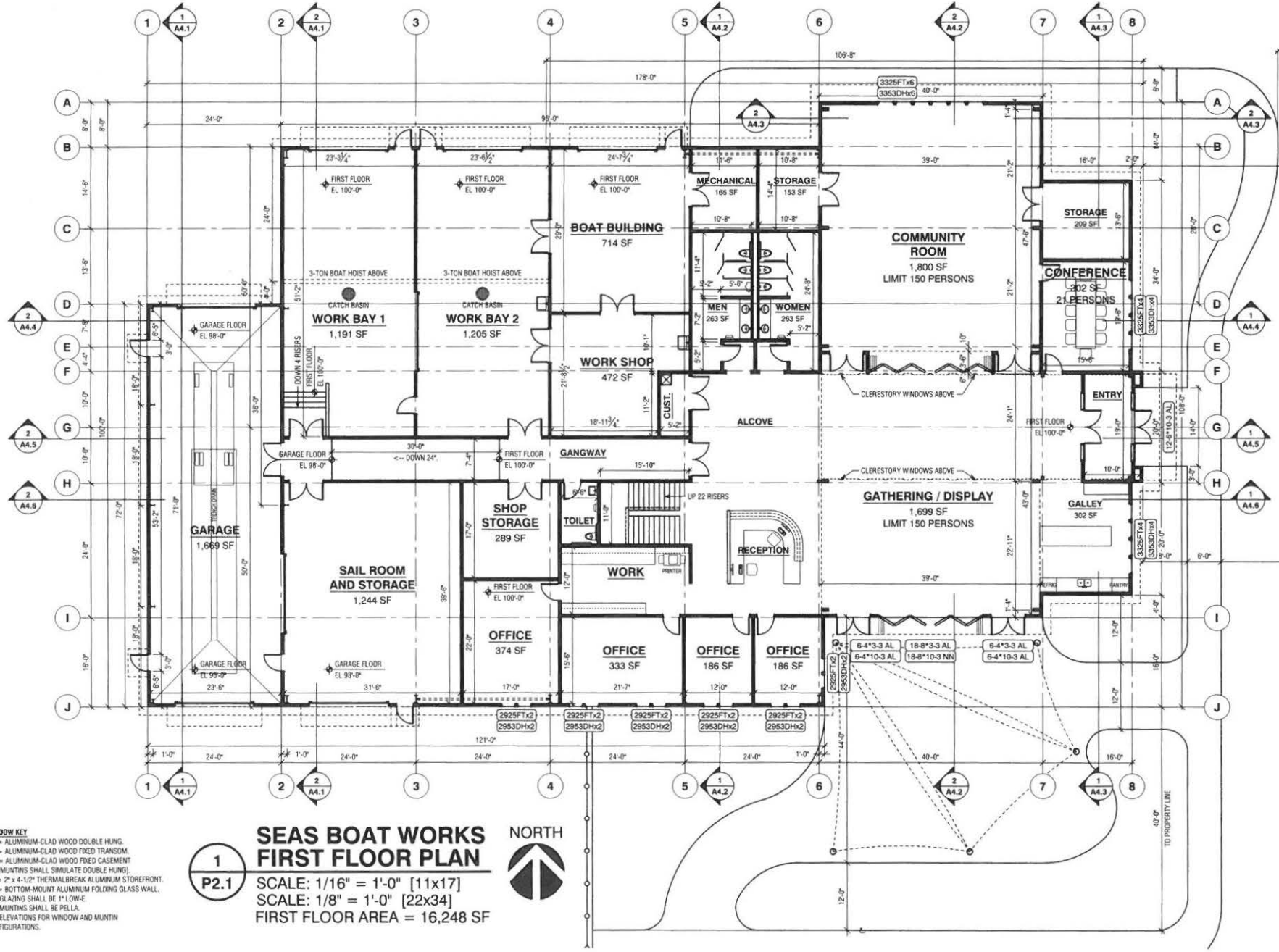


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WINDOW KEY
 DH = ALUMINUM-CLAD WOOD DOUBLE HUNG
 FT = ALUMINUM-CLAD WOOD FIXED TRANSOM
 FC = ALUMINUM-CLAD WOOD FIXED CASEMENT
 (MUNTINS SHALL SIMULATE DOUBLE HUNG)
 AL = 2" x 4-1/2" THERMALBREAK ALUMINUM STOREFRONT
 NN = BOTTOM-MOUNT ALUMINUM FOLDING GLASS WALL
 ALL GLAZING SHALL BE 1" LOW-E
 ALL MUNTINS SHALL BE PELLA
 SEE ELEVATIONS FOR WINDOW AND MUNTIN CONFIGURATIONS



**SEAS BOAT WORKS
 FIRST FLOOR PLAN**
 SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]
 FIRST FLOOR AREA = 16,248 SF

1
P2.1

NORTH

HAMEISTER ARCHITECTS
 INCORPORATED
 823 SOUTH TAYLOR DRIVE
 SHEBOYGAN, WISCONSIN 53081
 PHONE (800) 457-5800 FAX (800) 457-5000

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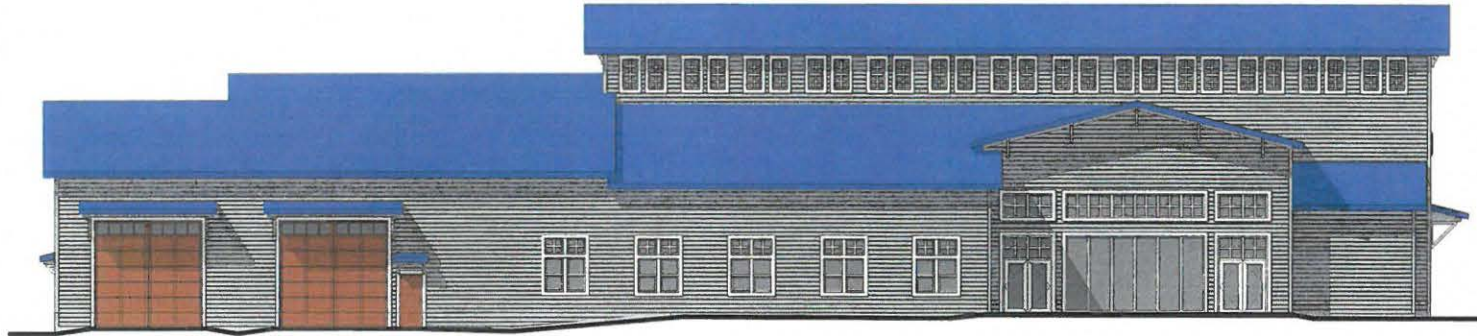
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DESIGNED BY	CHECKED BY	ROB
PROJECT NUMBER		101615
SHEET DESCRIPTION		BOAT WORKS 1ST FLOOR
SHEET NUMBER		P2.1
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1
A1.1 **BOAT WORKS EAST ELEVATION
COMPLETE PROJECT**
SCALE: 1/16" = 1'-0" [11x17]
SCALE: 1/8" = 1'-0" [22x34]



2
A1.1 **BOAT WORKS SOUTH ELEVATION
COMPLETE PROJECT**
SCALE: 1/16" = 1'-0" [11x17]
SCALE: 1/8" = 1'-0" [22x34]

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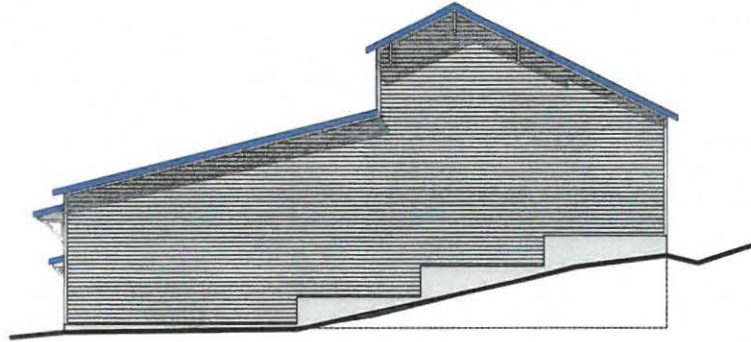
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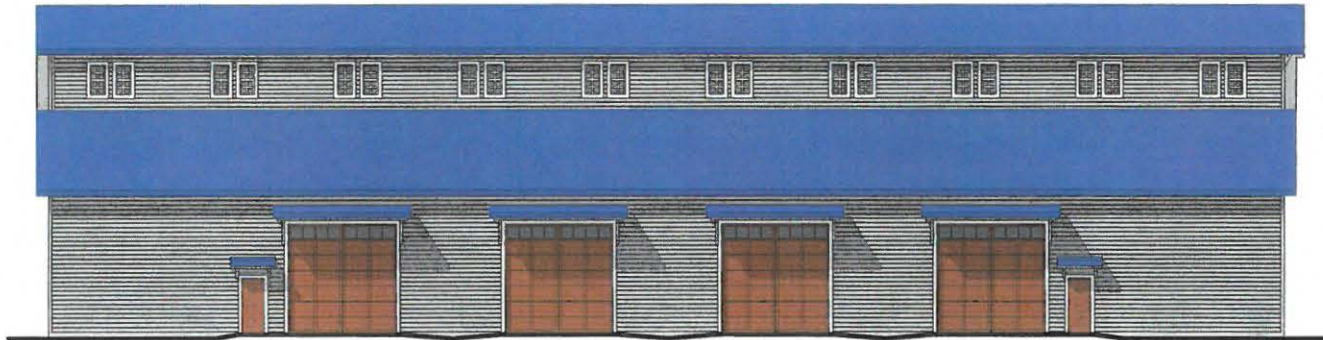
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SHEET NUMBER	A1.1

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1 **BOAT STORAGE EAST ELEVATION**
A2.1 SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]



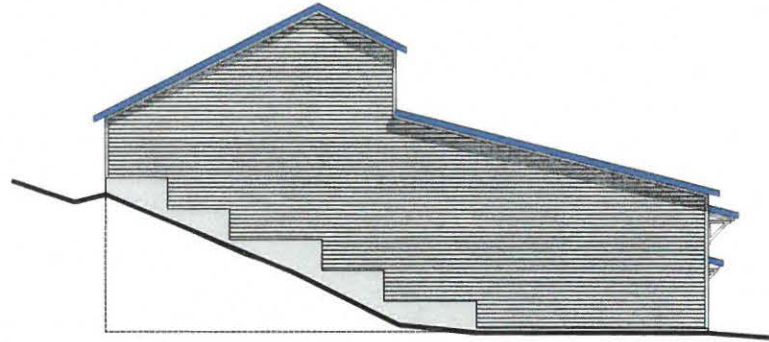
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A2.1 SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]

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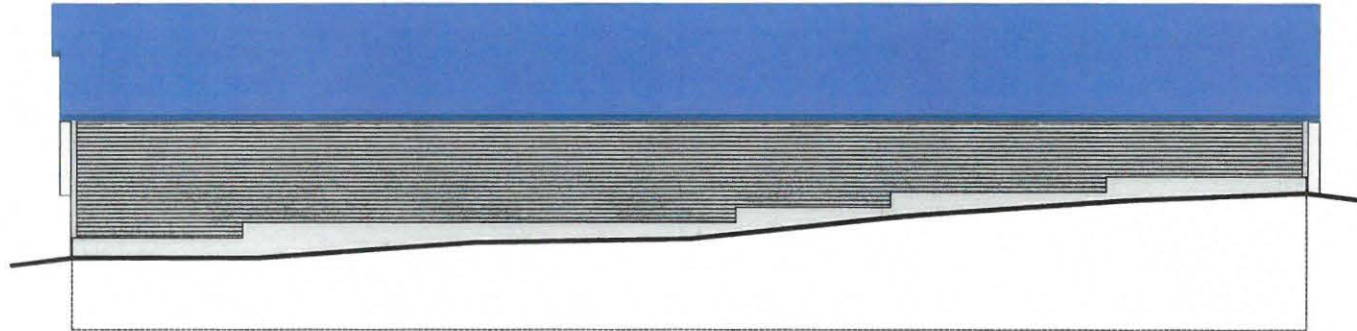
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1 **BOAT STORAGE WEST ELEVATION**
 SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]



2 **BOAT STORAGE NORTH ELEVATION**
 SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]

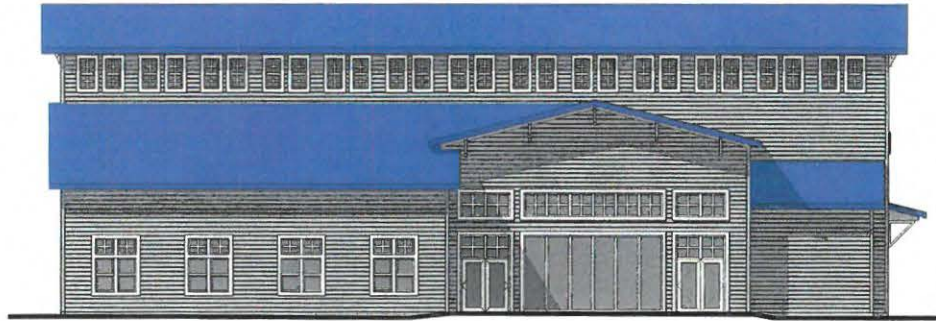
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BOAT WORKS EAST ELEVATION PHASE 1

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 A3.1

SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]



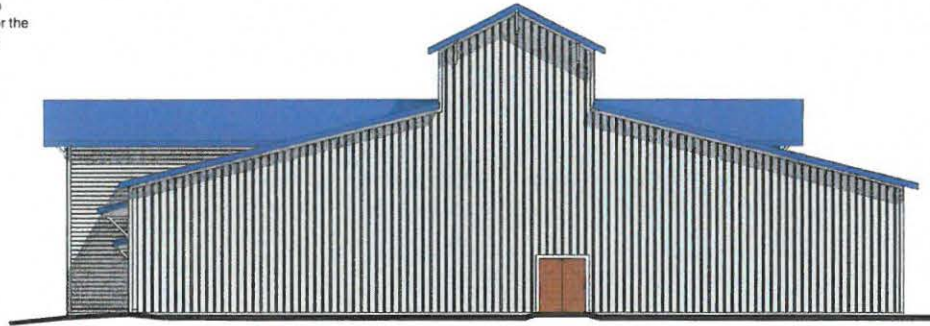
BOAT WORKS SOUTH ELEVATION PHASE 1

2
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 SCALE: 1/8" = 1'-0" [22x34]

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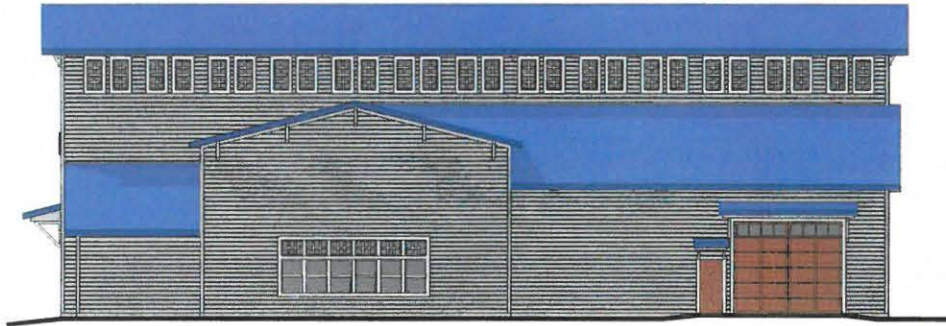
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A3.2

BOAT WORKS WEST ELEVATION PHASE 1

SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]



2
A3.2

BOAT WORKS NORTH ELEVATION PHASE 1

SCALE: 1/16" = 1'-0" [11x17]
 SCALE: 1/8" = 1'-0" [22x34]

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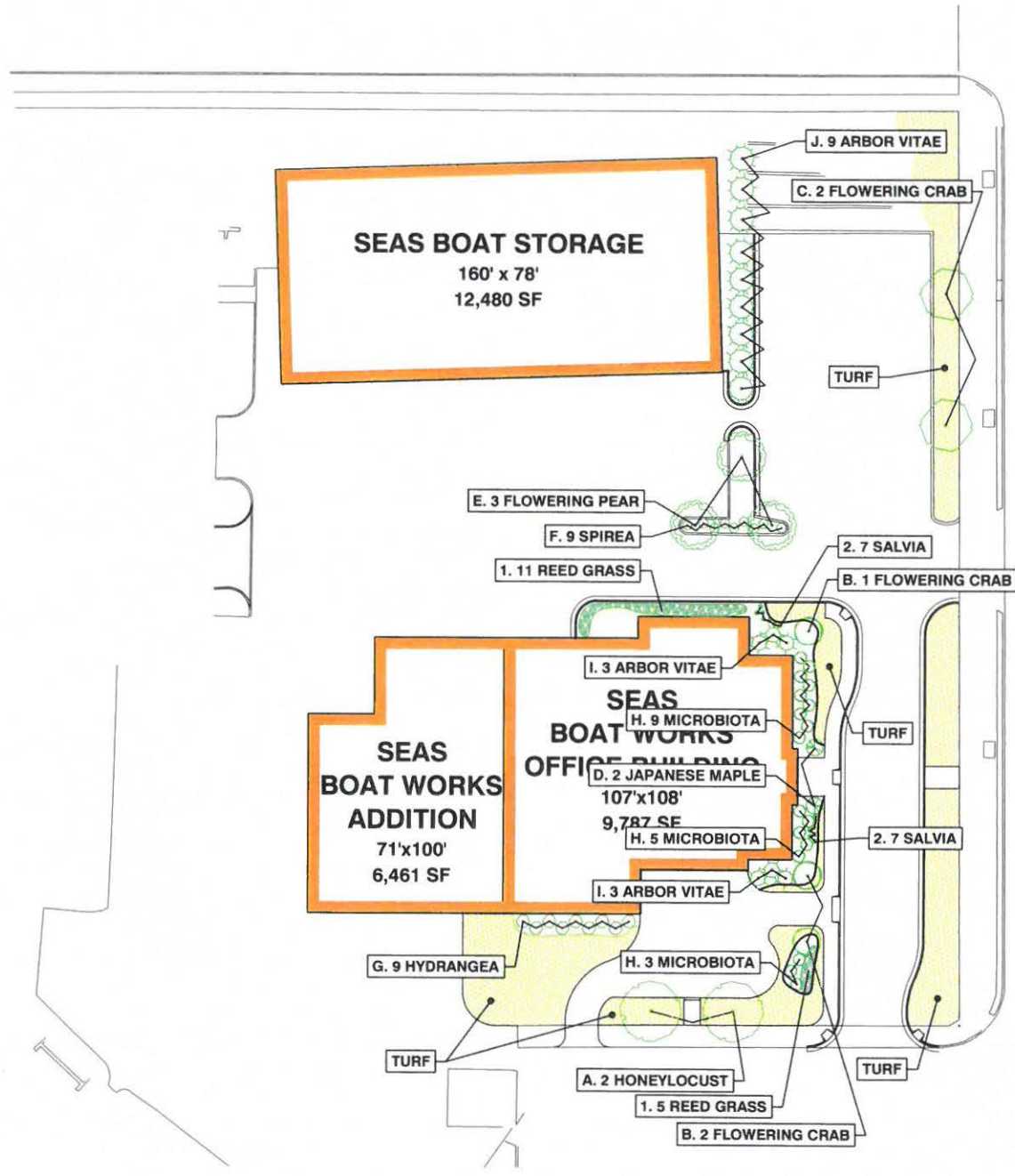
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**PHASE 1 & PHASE 2
 LANDSCAPE PLAN**

SCALE: 1" = 40'-0" [11x17]
 SCALE: 1" = 20'-0" [22x34]

NORTH

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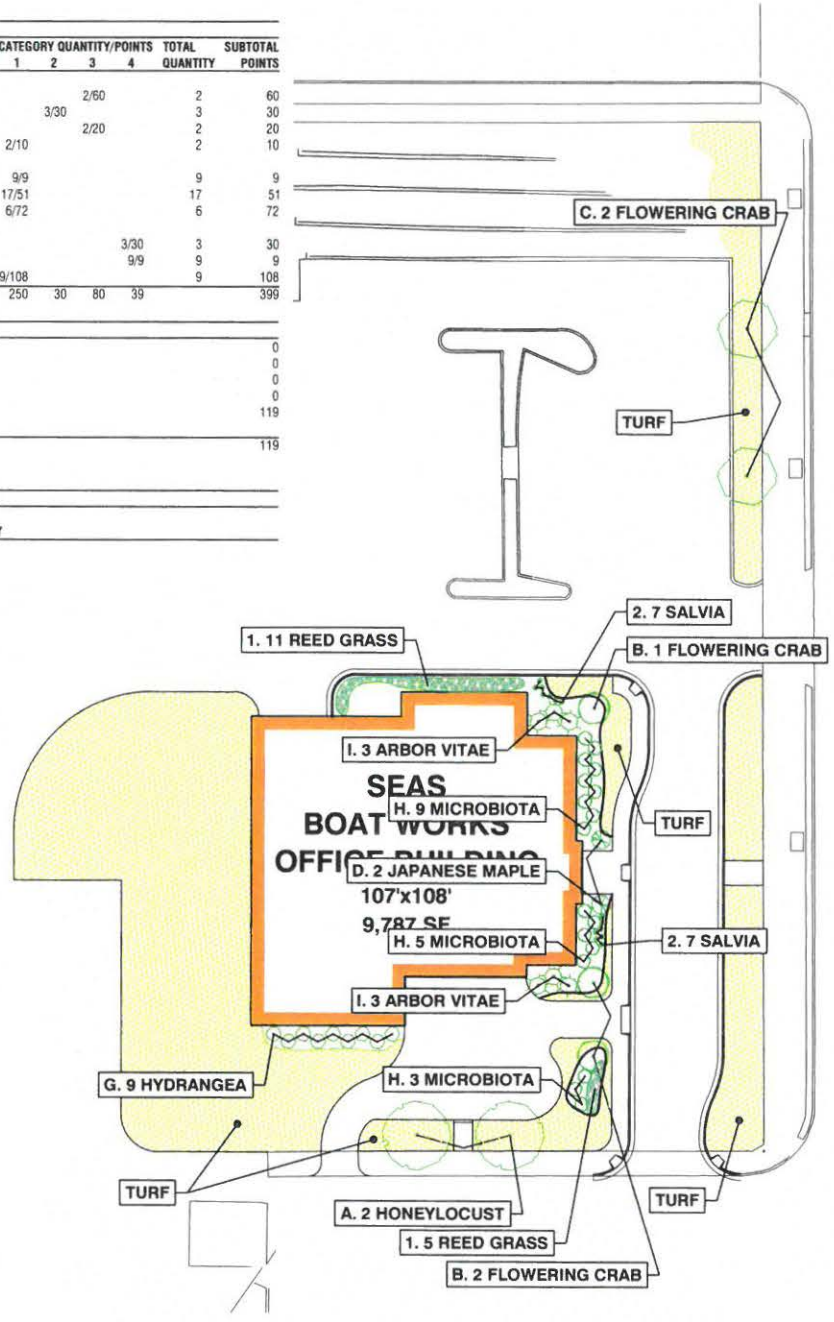
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SEAS BOAT WORKS LANDSCAPE PLANT SCHEDULE															
MARK	BOTANICAL NAME	COMMON NAME	FLOWER	FRUIT	FALL COLOR	INSTALL SIZE	ROOT CONDITION	MATURE SIZE HEIGHT	POINT VALUE	CATEGORY	QUANTITY/POINTS	TOTAL QUANTITY	SUBTOTAL POINTS		
PHASE 1															
A	GLEDITSIA TRIANCANTHOS 'SKYLINE'	THORNLESS HONEYLOCUST				3"	BALL&BURLAP		30		2/60	2	60		
B	MALUS 'LANCELOT'	LANCELOT FLOWERING CRAB	WHITE	GOLD		2"	BALL&BURLAP		10	3/30		3	30		
C	MALUS 'INDIAN SUMMER'	INDIAN SUMMER FLOWERING CRAB	WHITE	RED		2"	BALL&BURLAP		10		2/20	2	20		
D	ACER PALMATUM VAR. DISSECTUM	CUT LEAF JAPANESE MAPLE				4"	BALL&BURLAP		5	2/10		2	10		
G	HYDRANGEA 'ANNABELLE'	ANNABELLE HYDRANGEA				18"	CONTAINER		1	9/9		9	9		
H	MICROBIOTA DECUSSATA	RUSSIAN CYPRUS				18"	CONTAINER		3	17/51		17	51		
I	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE			GREEN	5'	BALL&BURLAP	20' 4-6'	12	6/72		6	72		
PHASE 2															
E	PYRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND SELECT FLOWERING PEAR			YELLOW	2"	BALL&BURLAP	25' 10'	10		3/30	3	30		
F	SPIRAEA BETULIFOLIA 'TOR'	TOR BIRCHLEAF SPIRAEA			YELLOW	24"	CONTAINER	24' 36"	1		9/9	9	9		
J	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE			GREEN	5'	BALL&BURLAP	20' 4-6'	12	9/108		9	108		
TOTAL LANDSCAPE POINTS											250	30	80	39	399

SEAS BOAT WORKS SITE LANDSCAPE POINT REQUIREMENTS -- ZONING: CENTRAL COMMERCIAL		
1. BOAT WORKS BUILDING FOUNDATION: 572 LF PERIMETER x 0 POINTS PER 100 LF =		0
2. BOAT STORAGE BUILDING FOUNDATION: 476 LF PERIMETER x 0 POINTS PER 100 LF =		0
3. DEVELOPED LOTS: 28,728 SF FLOOR AREA x 0 POINTS PER 1,000 SF =		0
4. STREET FRONTAGE: 472 LF STREET FRONTAGE x 0 POINTS PER 100 LF =		0
5. PAVED AREAS: 59,136 SF PAVED AREA (INCLUDING GRAVEL AT FENCE ALONG THE RIVER) x 20 POINTS PER 10,000 SF [ALTERNATE: 67 SPACES x 20 POINTS PER 20 SPACES = 67]		119
TOTAL REQUIRED LANDSCAPE POINTS		119

SEAS BOAT WORKS PERENNIAL PLANT SCHEDULE									
MARK	BOTANICAL NAME	COMMON NAME	BLOOM COLOR	TIME	FALL COLOR	INSTALL SIZE	ROOT CONDITION	SPACING	TOTAL QUANTITY
1	CALAMAGROSTIC 'KARL FOESTER'	KARL FOESTER REED GRASS	TAN	A,S,O		GALLON	CONTAINER	24"	14
2	SALVIA 'MAY NIGHTS'	MAY NIGHTS SALVIA	BLUE	J,J,A,S		GALLON	CONTAINER	18"	16

1
L1.2
PHASE 1 LANDSCAPE PLAN
 SCALE: 1" = 40'-0" [11x17]
 SCALE: 1" = 20'-0" [22x34]



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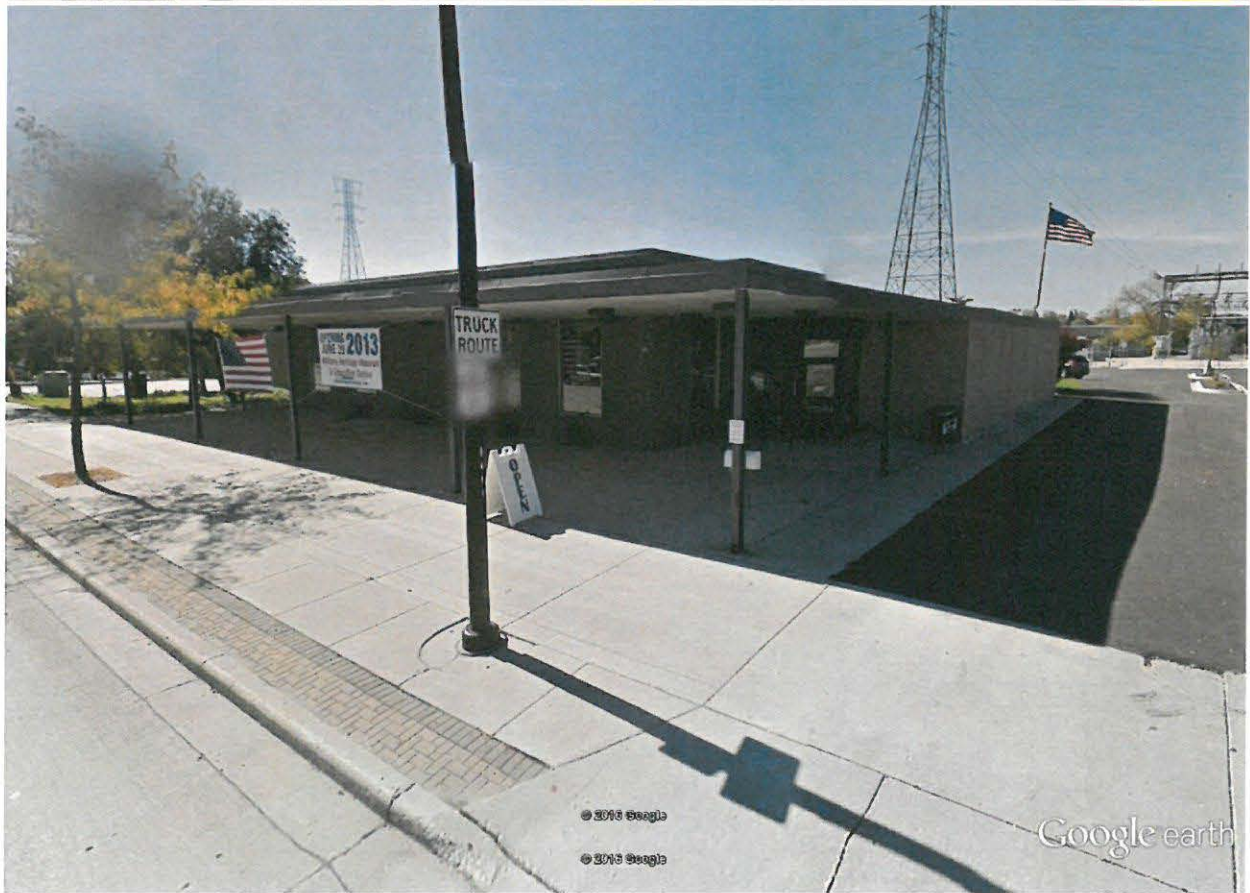
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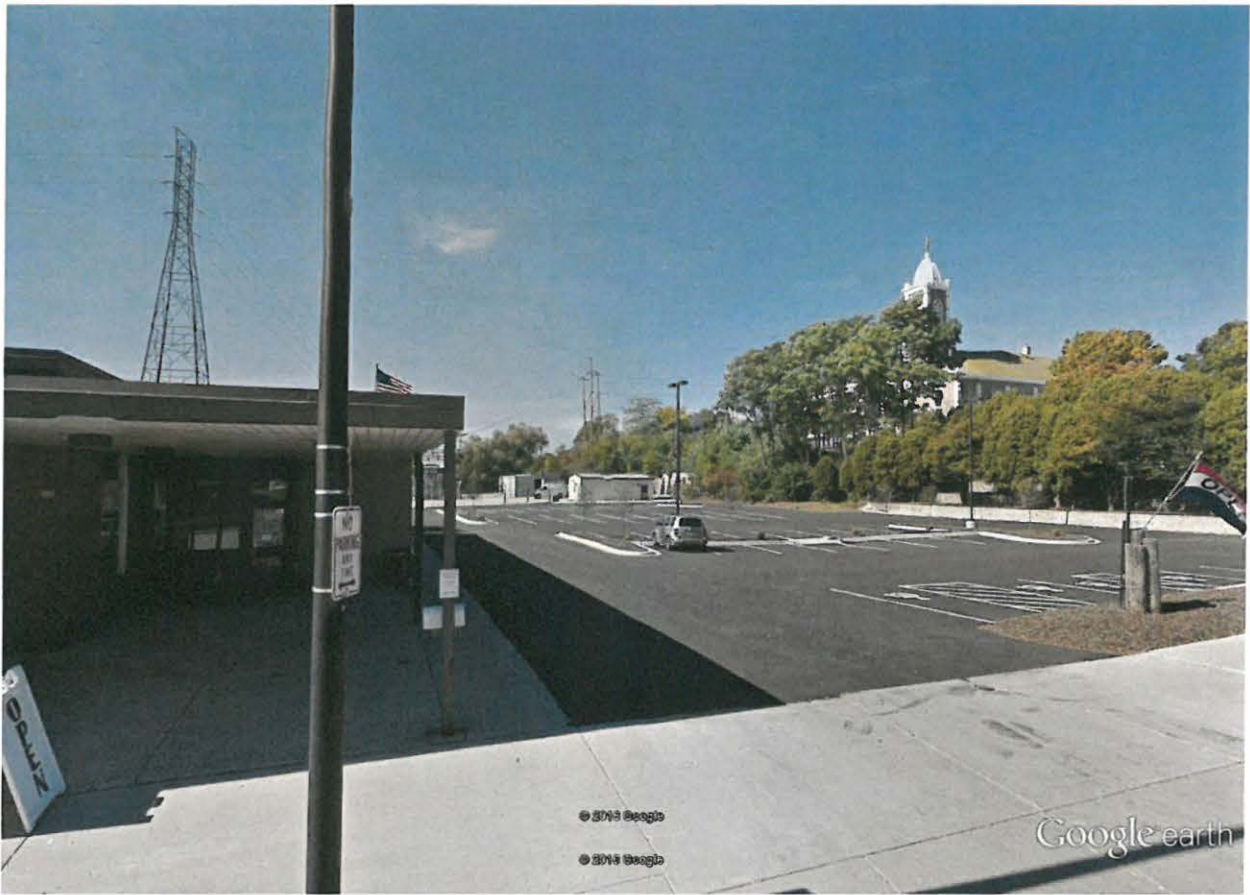
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SHEET NUMBER	
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PARCEL NO. 607431
MAP NO. _____
ZONING CLASSIFICATION: UC

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 5/10/16

FILING FEE: \$100.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
SITE PLAN REVIEW APPLICATION
(Requirements Per Section 15.908)
Revised May, 2012

pd

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Abacus Architects, Inc. – Joseph Bronoski

ADDRESS: 1135A Michigan Ave. Sheboygan, WI 53081

E-MAIL: jbronoski@abacusarchitects.net

PHONE: (920) 452-4444 FAX NO.: None

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Lakeshore Community Health Care.

ADDRESS OF PROPERTY AFFECTED: 1721 Saemann Avenue

LEGAL DESCRIPTION: See Certified Survey Map, (attached)

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: N/A

BRIEF DESCRIPTION OF **PROPOSED** OPERATION OR USE: Personal or Professional Services

BRIEF DESCRIPTION OF TYPE OF STRUCTURE: Single story, masonry



April 19, 2016

Site Plan Narrative

Lakeshore Community Healthcare
1721 Saemann Avenue
Sheboygan, Wisconsin
Tax parcel # 607432

Abacus Project No. 2015-76

CURRENT ZONING: (UC)-Urban Commercial

EXISTING SITE CONDITION

The parcel is defined as Lot 1 of Certified Survey Map recorded in Volume 26 of Certified Survey Maps on Pages 293-294 as document number 2000050, Sheboygan County Register of Deeds, Sheboygan County, Wisconsin.

The current site is located on 1.34 acres, bounded by Saemann Avenue to the north, North 17th Street to the east, Cambridge Avenue to the south and the Union Pacific railroad to the west. The Certified Survey Map was created to combine former Lots 13 and 14 along with all of lots 2 through 5 and lots 12 through 16 into one single parcel (see Certified Survey Map, attached). At the time the Certified Survey Map was created, Lot 13 and Lot 14 included a single family residence as well as a vacated Church building. The vacated Church building has since been demolished and the site stabilized. The existing single family residence does remain.

The current Certified Survey Map (1.34 acre parcel) includes an existing 20,700 square foot single story building (formerly 1714 Cambridge Avenue), a single family residence with a detached garage (formerly 1712 North 17th Street). The existing facility includes a paved parking lot with designated striping for **(48) vehicles** that is accessed from Saemann Avenue to the north and the existing alley from North 17th Street. There are currently four separate driveway aprons from Saemann Avenue.

Existing impervious area

- 20,700 square foot building (former 1714 Cambridge Avenue)
- 900 square foot single family residence (former 1712 North 17th Street)
- 500 square foot detached garage
- 2,500 square foot vacated Church building (demolished, summer, 2015)
- 19,665 square foot asphalt paved parking lot

PRE-DEVELOPED TOTAL

44,265 square feet

The parking lot includes a storm sewer system which is piped directly to the storm sewer main in North 17th Street. The onsite storm sewer system collects the drainage from the entire paved parking lot as well as $\frac{3}{4}$ of the existing 20,700 square foot building. The remaining 5,100 square feet of building roof drains to grade at the east end of the building.

As part of the Certified Survey Map and subsequent Conditional Use permit, the site was rezoned to Urban Commercial. As part of the initial development (Phase One) during the summer, 2015, the owner constructed a new secured vestibule addition to the north east corner of the existing building along with interior remodeling of the north half of the existing building. The remainder of the existing building was left undeveloped. No site work was included in Phase One.



SITE PLAN REQUEST/PROPOSED SITE CONDITIONS (Phase Two)

As part of the proposed Phase Two development, the owner is proposing a second vestibule addition to the north face of the existing building as well as completing the interior remodeling of the buildings south half.

Proposed impervious area

- 20,700 square foot building (former 1714 Cambridge Avenue)
- 255 square foot vestibule addition
- 900 square foot single family residence (former 1712 North 17th Street)
- 500 square foot detached garage
- 5,900 square foot parking lot for (20) vehicles
- 16,733 square foot reconstructed asphalt paved parking lot

POST DEVELOPED TOTAL

44,988 square feet (+723 square feet of additional impervious area)

EMPLOYEE COUNT / HOURS OF OPERATION

Based upon the proposed complete build-out, the facility will include (15) new dental operation rooms, (12) new general examination rooms and (3) new behavioral health rooms. This will be in addition to (12) existing private offices included in the Phase One build-out. The total anticipated employee counts at any given time will fluxuate. Therefore, we're unable to provide a true employee count in relationship to the total parking lot count. However, the employee occupant load should not exceed the total of (39) examination rooms and offices. The owner has defined the hours of operation as Monday-Thursday, 7am to 7pm, Friday, 7am to 5pm and Saturday 8am to 2 pm. The facility will not be opened on Sundays.

SITE PLAN

The proposed site redevelopment consists of constructing the new paved parking lot located at the southeast corner of the parcel. The proposed new parking lot will require a new driveway apron onto North 17th Street as defined (see Site Plan, attached). The existing paved parking lot will be reconstructed to provide better circulation within the lot as well as to incorporate internal parking lot green space. The reconfigured parking lot has been designed to eliminate two of the four existing driveway aprons from Saemann Avenue (see Site Demolition Plan, attached). With the proposed parking lot and reconfiguration of the existing parking lot, the overall parking counts is **(50) total spaces, which will include (3) handicap accessible spaces.**

The current site includes a dumpster enclosure at the north end of the existing building which will remain. The enclosure will continue to be accessed from Saemann Avenue, unchanged from the current configuration.

The owner has requested that we provide a bus shelter on Saemann Avenue with direct access to the entrances to the facility. We are working with Metro Transit to finalize the bus stop location; however, we're anticipating the stop to be located directly west of the proposed westerly driveway apron on Saemann Avenue.

Landscaping will be provided to comply with the requirements of the City of Sheboygan Landscape Ordinance (Section 15.105, (3.), (d.), 4, c., 1.) - 4.) as well as all requirements of Subchapter 15-6: Landscaping and Buffer yard Regulations.



GRADING PLAN

The existing paved parking lot has been re-graded to maintain the existing drainage toward the current storm inlets within the parking lot. The new paved parking lot at the south east corner of the site will be graded to drain to a new curb inlet along the south edge of the proposed lot. The inlet will then be piped directly to the storm sewer main in North 17th Street (see Site Utility Plan, attached).

AUTOMATIC SPRINKLER SYSTEM/FIRE DEPARTMENT ACCESS

Due to the proposed construction classification, the owner will be providing an independent sprinkler system throughout the entire building envelope. With the installation of an approved automatic sprinkler system a fire department access aisle has been provided/maintained such that any portion of the facility or any portion of an exterior wall of the first floor of the building is not located more than 450 feet from a point of accessibility' pursuant to NFPA, Chapter 18, Section 18.2.3.2.2.1. The proposed fire department access lanes are within two-hundred feet (horizontal) of the furthest point of the building. Therefore, no additional fire department access points would be required.

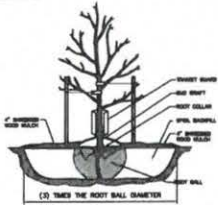
SITE LIGHTING

Our electrical designer has developed a proposed site lighting plan for review (see electrical sheets E001 through E003, attached).



CALL DIGGERS' HOTLINE
1-800-242-8511

TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG.
WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE
BEFORE YOU EXCAVATE.



TYPICAL TREE PLANTING SECTION

1. THE TREE SHALL BE PLANTED WITH THE ROOT BALL, OCCUPYING THE MAJOR PORTION OF THE HOLE TO REMAIN AS SHOWN IN A SLIGHT TILT TO THE RIGHT OR LEFT AS NECESSARY TO CORRECT THE TILT OF THE TRUNK. THE ROOT BALL SHALL BE PLANTED WITH THE TRUNK VERTICAL AND THE ROOT BALL CENTERED IN THE HOLE. THE ROOT BALL SHALL BE PLANTED WITH THE TRUNK VERTICAL AND THE ROOT BALL CENTERED IN THE HOLE. THE ROOT BALL SHALL BE PLANTED WITH THE TRUNK VERTICAL AND THE ROOT BALL CENTERED IN THE HOLE.

LANDSCAPE POINTS REQUIRED FOR 'UC' URBAN COMMERCIAL ZONING

BUILDING FOUNDATION = 33 LINEAL FEET
PER SECTION 15.604 AND TABLE 15.604 BUILDING FOUNDATION LANDSCAPE REQUIREMENTS
20 POINTS PER 100 LINEAL FEET

DEVELOPED LOTS = 254 SQUARE FOOT BUILDING FOOTPRINT
PER SECTION 15.605 AND TABLE 15.605 DEVELOPED LOT LANDSCAPE REQUIREMENTS
5 POINTS PER 1,000 SQUARE FEET OF GROSS FLOOR AREA

STREET FRONTAGE = 585 LINEAL FEET (SAEMANN AVE. AND NORTH 17TH, CAMBRIDGE AVE.)
PER SECTION 15.606 AND TABLE 15.606 STREET FRONTAGE LANDSCAPE REQUIREMENTS
20 POINTS PER 100 LINEAL FEET

PAVEMENT AREA = 22,284 SQUARE FEET
PER SECTION 15.607 AND TABLE 15.607 PAVED AREA LANDSCAPE REQUIREMENTS
40 POINTS PER 10,000 SQUARE FEET

CONCRETE AREA = 1,382 SQUARE FEET
PER SECTION 15.607 AND TABLE 15.607 PAVED AREA LANDSCAPE REQUIREMENTS
40 POINTS PER 10,000 SQUARE FEET

BUILDING FOUNDATION

7 POINTS (MIN.) REQUIRED (2) RED TWIGGED DOGWOOD = (5) PTS. PER - 10 POINTS TOTAL
(10) POINTS PROVIDED

DEVELOPED LOTS

1 POINTS (MIN.) REQUIRED (1) JAPANESE BARBERY = (1) PTS. PER - 1 POINTS TOTAL
(1) POINTS PROVIDED

STREET FRONTAGE

117 POINTS (MIN.) REQUIRED (4) AUTUMN BRILLIANCE SERVICEBERRY = (12) PTS. PER - 48 POINTS TOTAL
(1) SUGAR MAPLE = (75) PTS. PER - 75 POINTS TOTAL

50% MIN. CLIMAX/TALL TREES

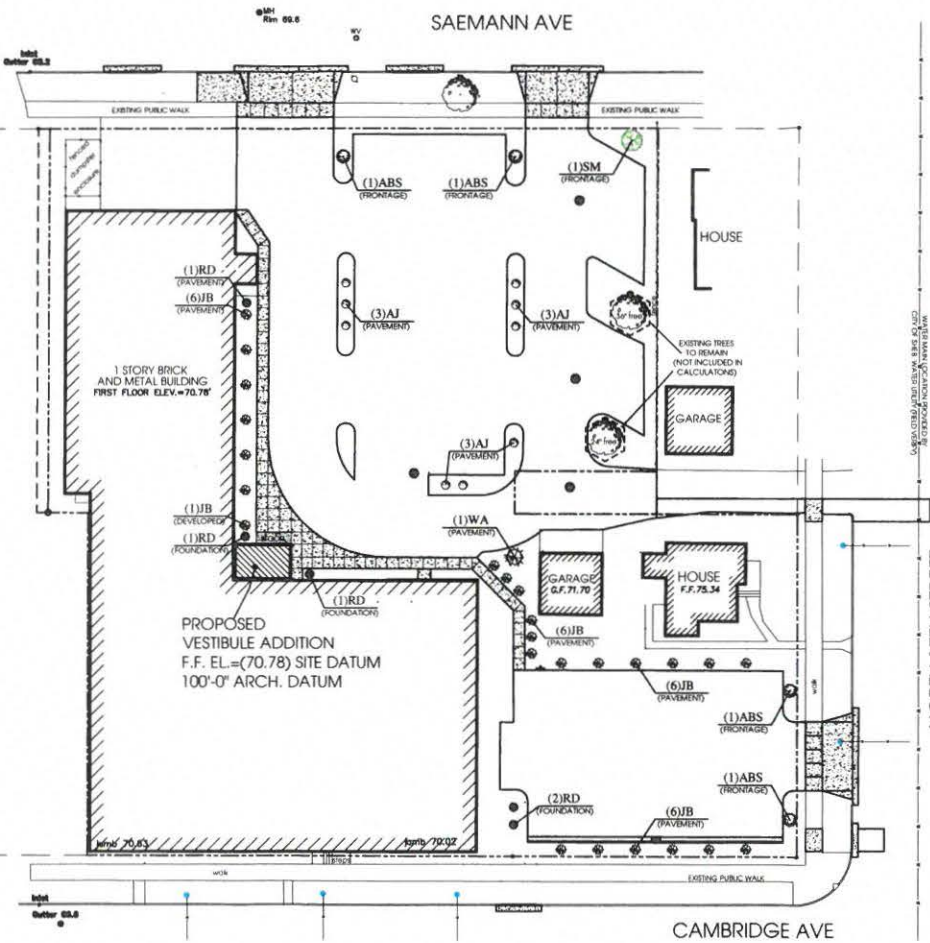
30% MIN. SMALL TREES
(123) POINTS PROVIDED

PAVEMENT/CONCRETE AREA

95 POINTS (MIN.) REQUIRED

30% MIN. CLIMAX/TALL TREES (1) WHITE ASH = (30) PTS. PER - 30 POINTS TOTAL (29 PTS. MIN. REQUIRED)
(3) ANDORRA JUNIPER = (3) PTS. PER - 27 POINTS TOTAL
(3) RED TWIGGED DOGWOOD = (3) PTS. PER - 15 POINTS TOTAL (34 PTS. MIN. REQUIRED)
(24) JAPANESE BARBERY = (24) PTS. PER - 24 POINTS TOTAL

SYMBOL	MARK	QTY.	BOTANICAL NAME	COMMON NAME	POINTS PROVIDED	PLANTED SIZE
	SM	1	ACER SACCHARUM	SUGAR MAPLE	0 POINTS FOR FRON. 0 PTS. 0 POINTS FOR DEVELOPED LOT 75 POINTS FOR STREET FRON. (1 TREE) 0 POINTS FOR PAVED AREA.	2" DIA.
	ABS	4	AMELANCHER GRANDIFLORA	AUTUMN BRILLIANCE SERVICEBERRY	0 POINTS FOR FRON. 0 PTS. 0 POINTS FOR DEVELOPED LOT 0 PTS. 48 POINTS FOR STREET FRON. (4 TREES) 0 POINTS FOR PAVED AREA. 0 PTS.	30" TALL
	WIA	1	FRAXINUS SP.	WHITE ASH	0 POINTS FOR FRON. 0 PTS. 0 POINTS FOR DEVELOPED LOT 0 PTS. 0 POINTS FOR STREET FRON. 0 PTS. 30 POINTS FOR PAVED AREA. 0 TREES.	30" TALL
	AJ	9	JUNIPERUS HORIZONTALIS PLUMARIA	ANDORRA JUNIPER	0 POINTS FOR FRON. 0 PTS. 0 POINTS FOR DEVELOPED LOT 0 PTS. 0 POINTS FOR STREET FRON. 0 PTS. 27 POINTS FOR PAVED AREA. 0 (3 TREES)	12" x 15"
	RD	5	CORNUS BAILEY	RED TWIGGED DOGWOOD	0 POINTS FOR FRON. 0 PTS. 0 POINTS FOR DEVELOPED LOT 0 PTS. 0 POINTS FOR STREET FRON. 0 PTS. 15 POINTS FOR PAVED AREA. 0 (3 TREES)	30" x 30"
	JB	25	BETULA THUNBERGII	JAPANESE BARBERY	0 POINTS FOR FRON. 0 PTS. 1 POINTS FOR DEVELOPED LOT (1 SHRUB) 0 POINTS FOR STREET FRON. 0 PTS. 24 POINTS FOR PAVED AREA. 0 (24 SHRUBS)	11" x 24"



- GENERAL LANDSCAPE NOTES**
- ALL LANDSCAPE PLANTINGS, INCLUDING BUT NOT LIMITED TO PLANTING REGS, TREES AND SHRUBS AS DEFINED, TO BE INSTALLED NO LATER THAN SEPTEMBER 1, 2016.
 - ALL SEEDING AND MULCH WITHIN ALL TURF AREAS TO BE INSTALLED NO LATER THAN 4 SEPTEMBER 1, 2016.
 - CALL DIGGERS' HOTLINE PRIOR TO DIGGING.
 - ALL BUILDING DIMENSIONS, GRADES AND ELEVATIONS TO BE VERIFIED IN THE FIELD.
 - PLANT ALL TREES, SHRUBS AND EVERGREENS ACCORDING TO THE HEIGHT OF THE ROOT BALL OR POT.
 - ALL PERENNIAL BEDS TO RECEIVE 3" COMPOST.
 - ALL TREES IN THE LAWN AREAS TO RECEIVE A MULCH CIRCLE (NO LANDSCAPE EDGING) AND WATER SAUCER.
 - LANDSCAPE CONTRACTOR TO PROVIDE TWO LAYERS OF WEED BARRIER WITHIN PLANTING AREAS AS DEFINED.

LANDSCAPE PLAN

1"=20'



REVISIONS:

NOTICE TO OWNER: ARCHITECTS SHALL REVIEW ALL PERMITS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR WORK.

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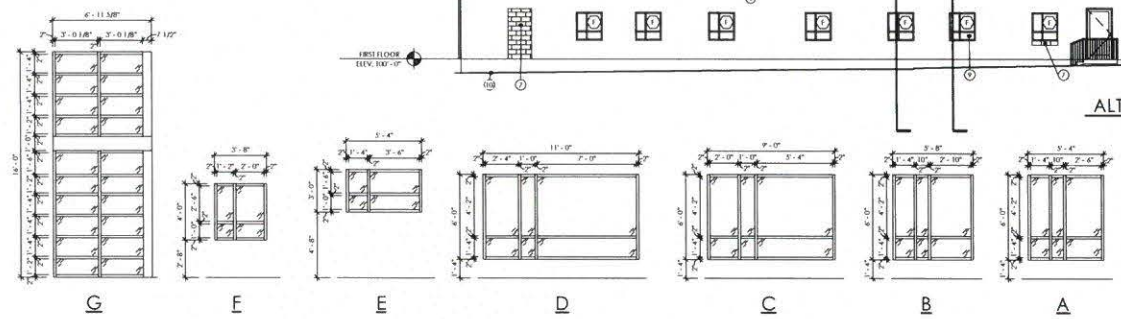
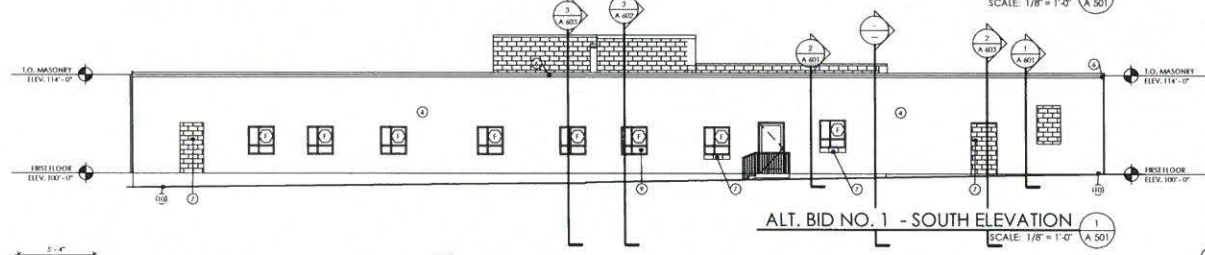
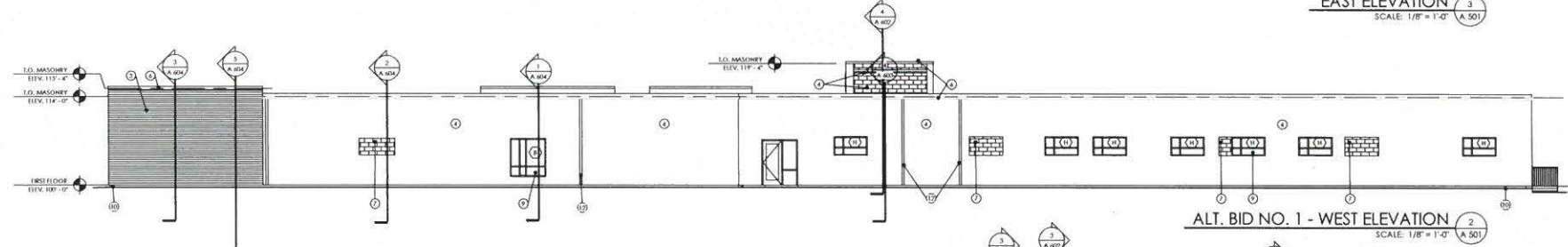
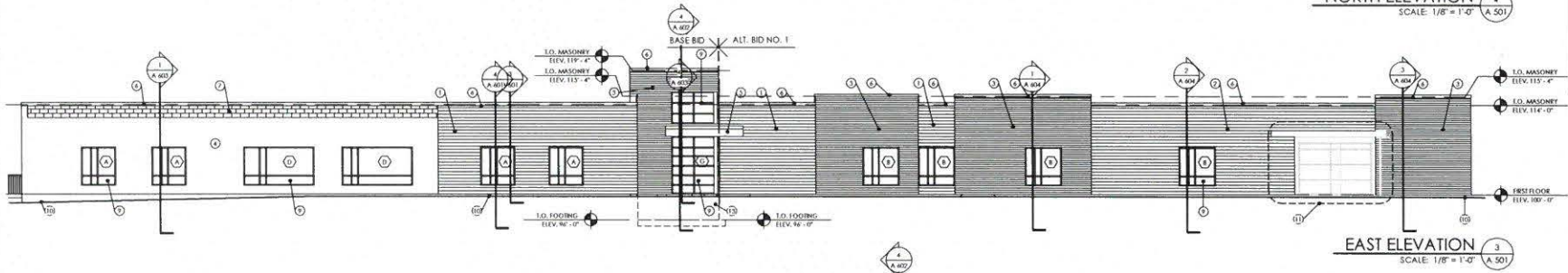
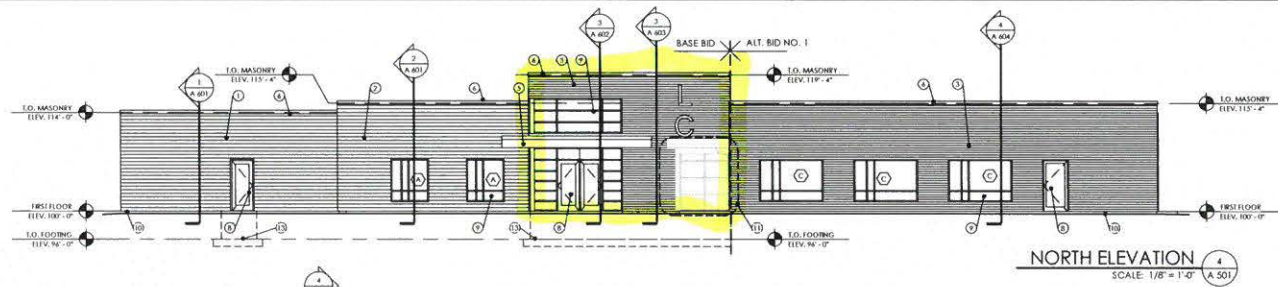
APRIL 08, 2016
ADDITION AND REMODEL
LAKESHORE COMMUNITY HEALTH CARE
1714 CAMBRIDGE AVE. SHEBOYGAN, WI. 53081
ABACUS ARCHITECTS INC., 1135A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 P: 920-462-4644 F: 920-662-9798

DRAWN BY: J.E.G.
CHECKED BY: JAB

A
204

PROJ. NO. 2015-76

ELEVATION KEY NOTES	
NO.	DESCRIPTION
1	6" ALUMINUM SIDING - FINISH #1
2	6" ALUMINUM SIDING - FINISH #2
3	4" ALUMINUM SIDING - FINISH #3
4	EXISTING CMU - NEW PAINT FINISH E-7
5	OVERHEAD CANOPY
6	PRE-FINISHED METAL COPING
7	NEW 1/2" CMU TO MATCH EXISTING - PAINT FINISH E-7
8	ALUMINUM ENTRANCE
9	ALUMINUM STOREFRONT WINDOW
10	EXISTING GRADE
11	EXISTING CONSTRUCTION TO REMAIN
12	EXISTING DOWNSPOUTS
13	POURED CONCRETE FOUNDATION AND FOOTING



REVISIONS:

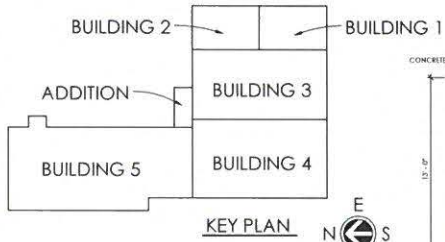


DESIGNED BY: JAM
CHECKED BY: JAM
SCALE: 1/8" = 1'-0"
© 2016 ABACUS ARCHITECTS INC.

ISSUE DATE: 4/28/2016
ADDITION & REMODEL
LAKESHORE COMMUNITY HEALTHCARE
1721 SAEMANN AVE. SHEBOYGAN, WI 53081
ABACUS ARCHITECTS INC., 1135A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 P. 920-452-4444

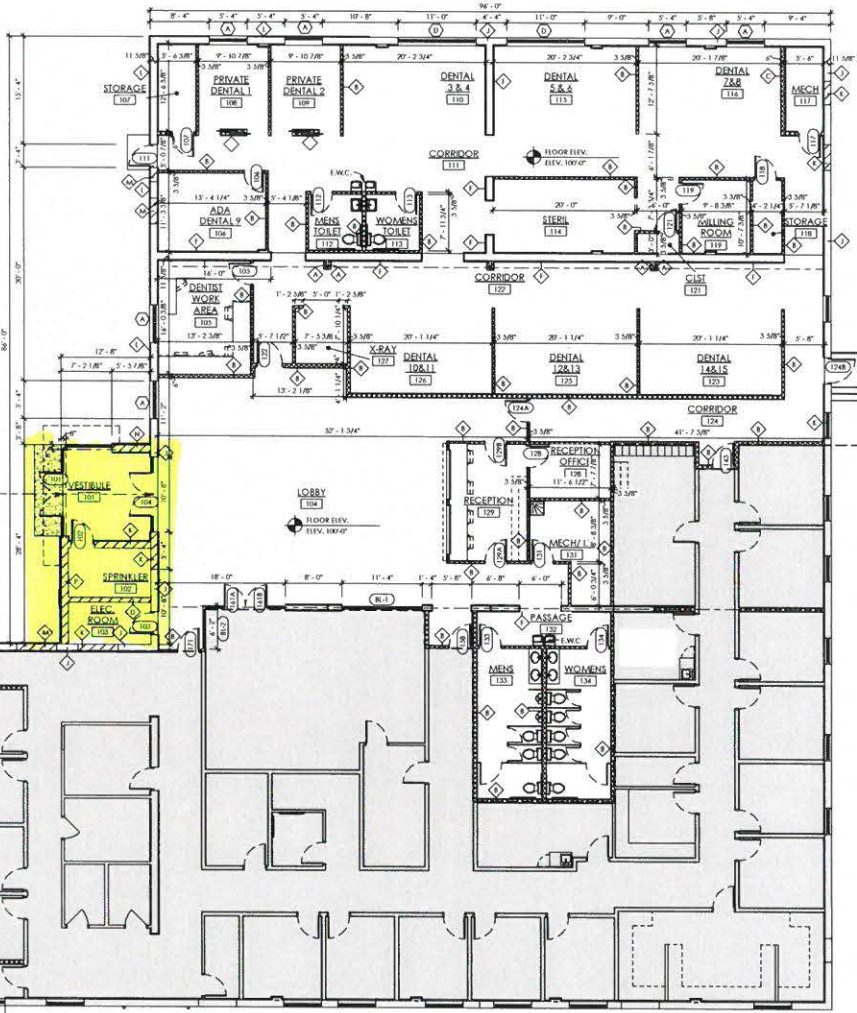
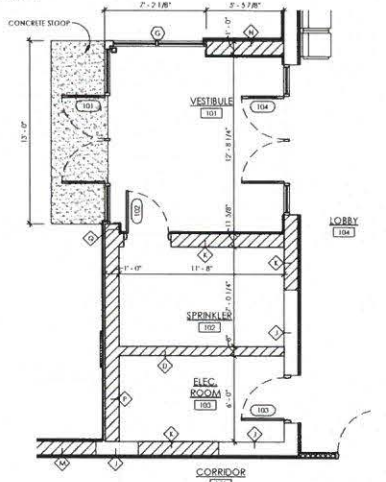
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PROJ. NO. 2015-76

PRELIMINARY - NOT FOR CONSTRUCTION



GENERAL NOTE

ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DETAILS OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.



FLOOR PLAN - BASE BID
SCALE: 1/8" = 1'-0"



REVISIONS:

ISSUED TO OWNER
NEEDS STATE BY REV. ALL DIMENSIONS AND SPECIFICATIONS TO BE USED TO DETERMINE THE IMPACT OF CHANGES TO AS OF WORK AT SHOP ONLY WORK

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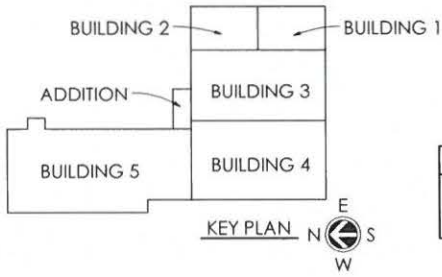
ISSUE DATE: 4/28/2016
ADDITION & REMODEL
LAKESHORE COMMUNITY HEALTHCARE
1721 SAEMANN AVE. SHEBOYGAN, WI 53081
ABACUS ARCHITECTS, INC. - 1135A MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 P. 920-452-4444

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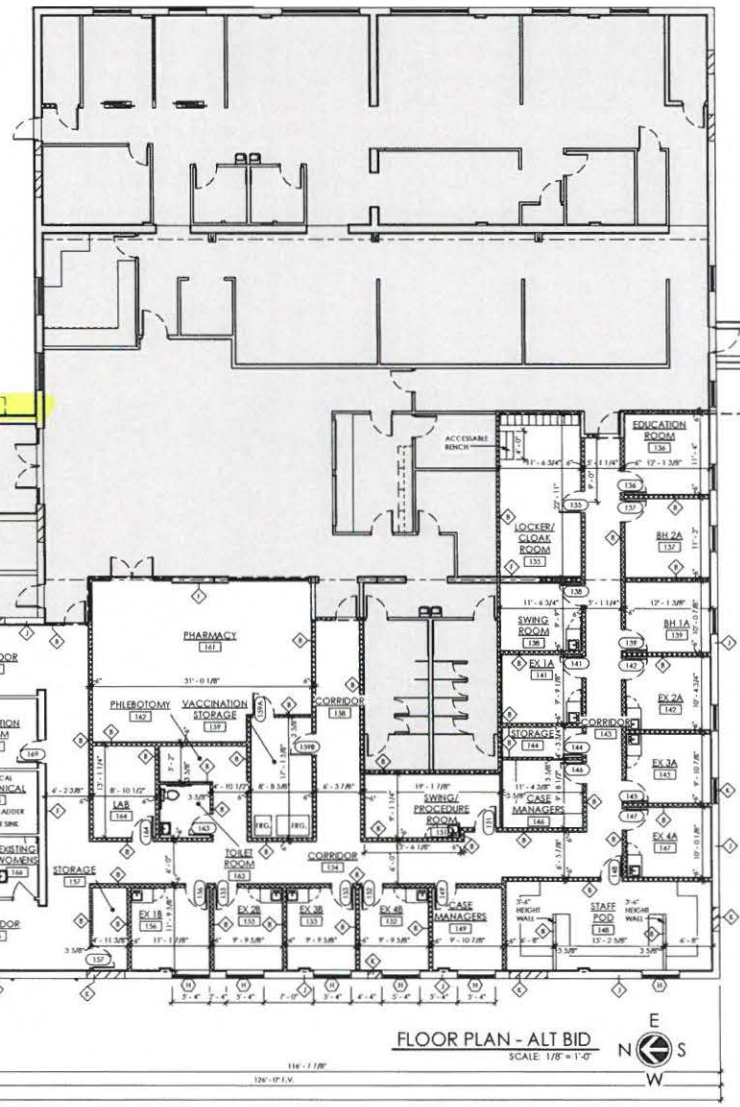
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PROJ. NO. 2015-76

PRELIMINARY - NOT FOR CONSTRUCTION



GENERAL NOTE
 ALL FLOOR FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONSIDERATION OF THESE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.



FLOOR PLAN - ALT BID
 SCALE: 1/8" = 1'-0"
 N
 E
 S
 W



REVISIONS:

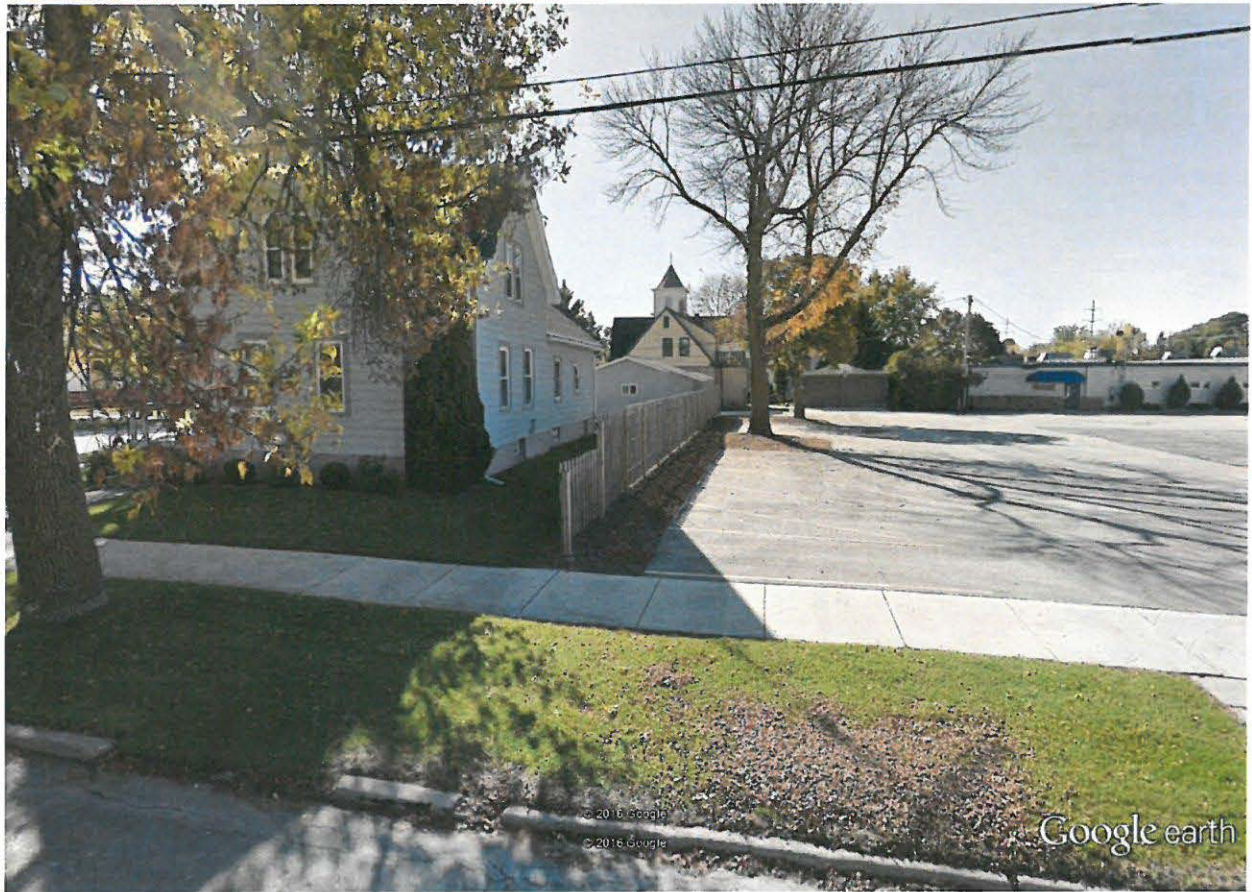
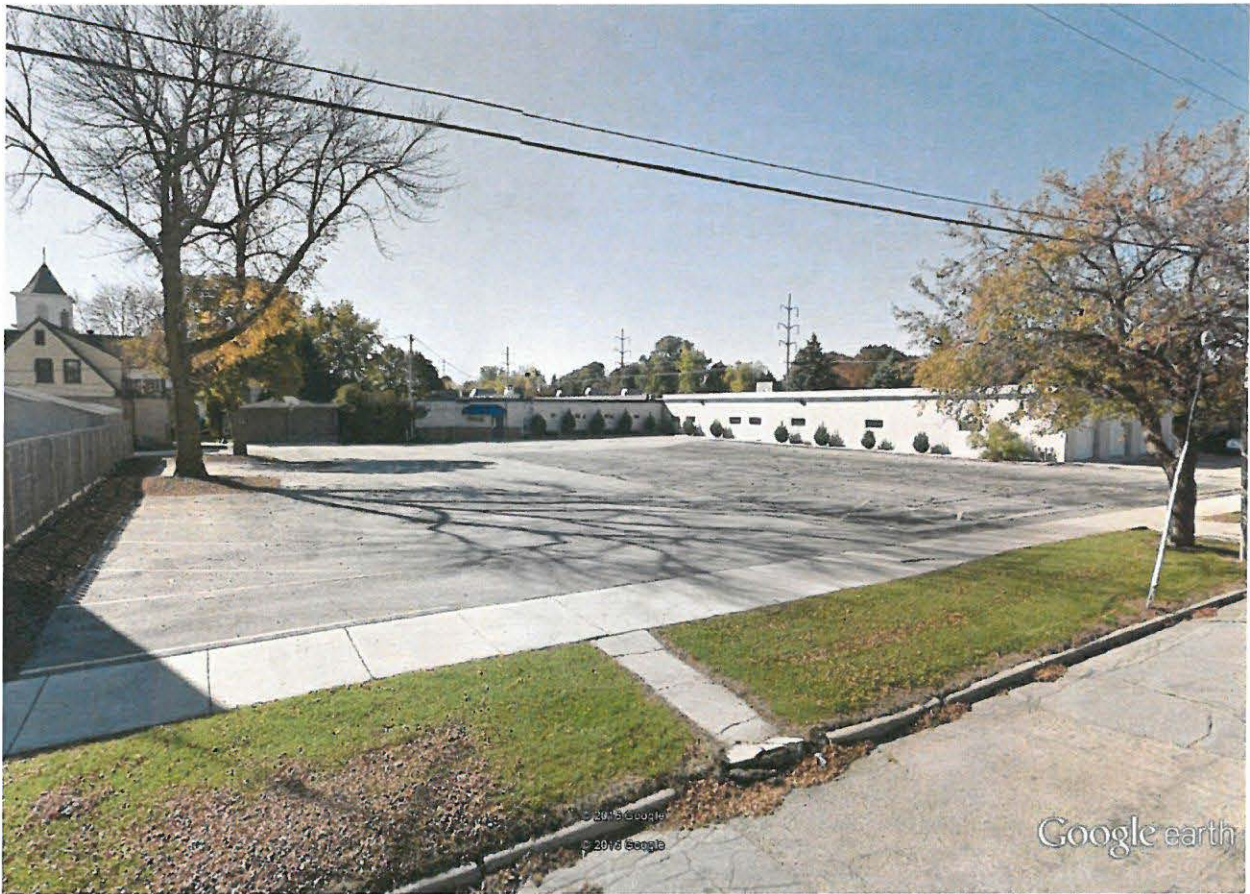
ISSUE TO BE OPENED BY THE ARCHITECTS AND SPECIFICATIONS TO DETERMINE THE EFFECT OF OTHER REVISIONS OF WORK OR OTHER CHANGES.
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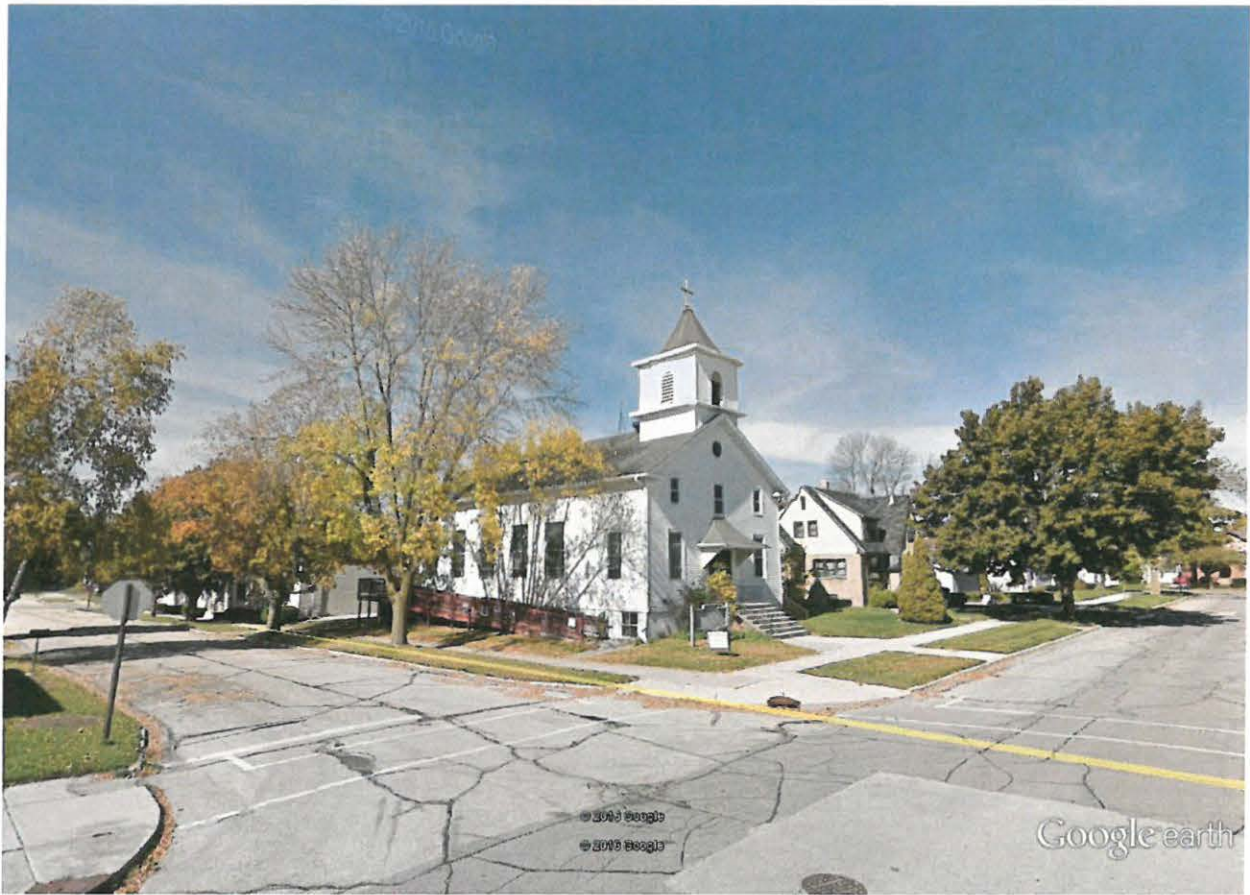
ISSUE DATE: 4/28/2016
 ADDITION & REMODEL
LAKESHORE COMMUNITY HEALTHCARE
 1721 SAEMANN AVE. SHEBOYGAN, WI 53081
 ABACUS ARCHITECTS INC., 11334 MICHIGAN AVENUE, SHEBOYGAN, WISCONSIN 53081 P. 920-452-4444

DRAWN BY: JAM
 CHECKED BY: Checker
A
304
 PROJ. NO. 2015-76

PRELIMINARY - NOT FOR CONSTRUCTION







PARCEL NO. 513391
MAP NO. 27405351
ZONING CLASSIFICATION: UI

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 5/10/10

FILING FEE: \$100.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
SITE PLAN REVIEW APPLICATION
(Requirements Per Section 15.908)
Revised May, 2012

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: VINTON CONSTRUCTION COMPANY
ADDRESS: 2705 NORTH RAPIDS ROAD MANITOWOC, WI 54221
E-MAIL: DShiley@VINTONWIS.COM
PHONE: (920) 682-0375 FAX NO.: (920) 682-2838

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: VANDEVAERT CONCRETE PRODUCTS
ADDRESS OF PROPERTY AFFECTED: 1436 S. 15TH ST SHEBOYGAN, WI
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: CURRENTLY USED TO SELL CONCRETE PRODUCTS

BRIEF DESCRIPTION OF PROPOSED OPERATION OR USE: PLAN TO USE A PORTION OF THE PROPERTY TO RECYCLE CONCRETE FROM DOT PROJECT STA 28 IN SHEBOYGAN

BRIEF DESCRIPTION OF TYPE OF STRUCTURE: PORTABLE CEILING UNIT

5. Application Submittal Requirements

A. A written description of the intended use describing in reasonable detail the:

- Current land use present on the subject property: Vandervaart property on 1436 S 15th St is currently used to store and sell concrete products under the Vandervaart Concrete Products name.
- Proposed land use for the subject property: In the southeast portion of the property, there is currently unused land. Richard Lohr has granted us permission to store and crush recycled concrete on this portion of his land.
- Projected number of residents, employees, and/or daily customers. We only plan to process and truck material in and out of here. This material is not available for public consumption. There is a two man crew to run the crusher and there will be more than a dozen trucks a day with material in and out.
- Proposed number of dwelling units, floor area, and impervious surface area: N/A
- Operation considerations relating to hours of operation, projected normal peak water usage, sanitary sewer and traffic generation: This facility will operate on and off when material is needed for the project. The crusher will not be onsite more than two weeks for the entire duration of the project which is currently underway and is expected to complete in early November. 7:00 AM to 4:00 PM, Monday through Friday are typical operating hours. Since this is a commercial business with truck traffic very similar to ours, there will be little difference in the traffic impact.
- Operational considerations relating to potential nuisance creation pertaining to compliance with performance standards addressed in sub-chapter 15-7 (sections 15.701-15.721) of zoning ordinance including: street access, traffic visibility, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare, heat, fire, explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials. I would refer this section to attached material, Notice of Intent and SWPPP.
- Exterior building and fencing materials: N/A
- The proposed development complies with all requirements of Sub-Chapter 15-7



VINTON CONSTRUCTION COMPANY...Road Contractors
An Equal Opportunity Employer
P.O. Box 1987
2705 N. Rapids Road
Manitowoc, WI 54221-1987
Office (920) 682-0375
Fax (920) 682-2838

May 5, 2016

Mr. Steven Sokolowski

Planning Commission Meeting

Vinton Construction Company would like to begin removing and recycling concrete from the STH 28 project on or about May 16th 2016. Project completion is anticipated in October, but the concrete recycling should be completed in early September, provided all goes well on the project. This letter is to help explain the operations that would take place on the Vandervaart property located at 1436 S 15th Street in Sheboygan. The main reasons we are recycling concrete are that it is cost effective (tax dollars) and environmentally friendly (less natural stone used)

- Recycling saves on the amount of natural aggregate reserves by recycling the existing pavement into the needed base aggregate material.
- The recycling operations uses considerably less trucking of material which saves on labor costs, reduced fuel consumption, and takes truck off major highways resulting in greater public safety.
- Recycling the concrete into aggregate keeps the old concrete out of the landfills
- Vinton Construction uses a portable recycling unit that has all necessary DNR permitting for operation in the State of Wisconsin. The unit's emission tests are all within the DNR and EPA emission standards. The unit has an internal water spray bar for dust suppression. Attached photo's will show zero dust coming from the unit during operation.
- The portable recycling unit falls well within the requirements of OSHA standards for employees working in close proximity of the unit. OSHA's threshold for noise levels is 85 dBa for extended periods of time. This unit falls well below those limits in less than 50' from the unit at 80 dBa. Attached chart will show more detail for noise levels.
- Vandervaart property is also equipped with natural suppression area's with mounds on the West end of the property and an existing building on the East side.

Daniel Shiley
Area Supervisor
Vinton Construction Company



VINTON CONSTRUCTION COMPANY...Road Contractors
An Equal Opportunity Employer
P.O. Box 1987
2705 N. Rapids Road
Manitowoc, WI 54221-1987
Office (920) 682-0375
Fax (920) 682-2838

January 5, 2016

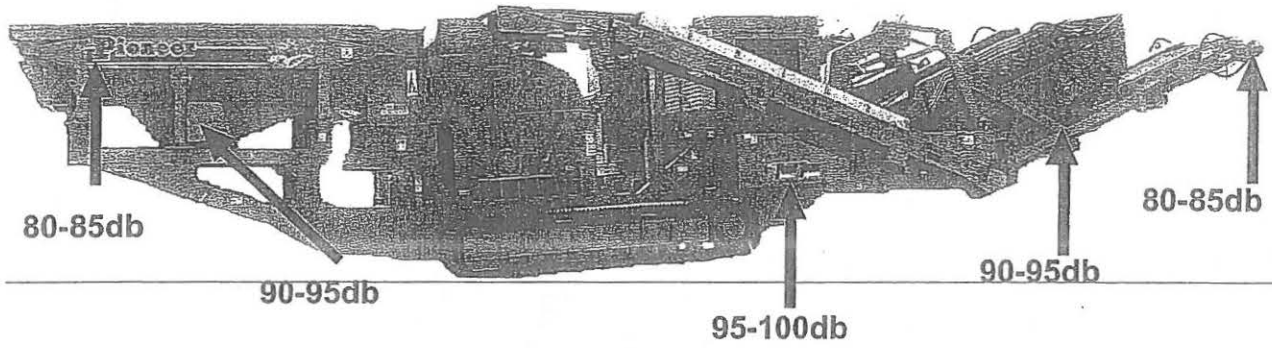
To whom it may concern,

In order to remain in compliance with DNR standards, Vinton Construction Company is required to perform regular testing and reporting of our crushing equipment. Annually we are required to certify compliance of our Air Operation Permit by reporting diesel fuel consumed and average volume of product by each crushing machine. The Air Operation Permit is renewed every five years by the Department of Natural Resources following an opacity test by a third party laboratory. Testing performed following U.S. EPA Method 9 showed Opacity results of 1.8% at the top of the crusher, the set Opacity Limit is 15%. Opacity Limits at the conveyer are 10%, Vinton's results show 0%.

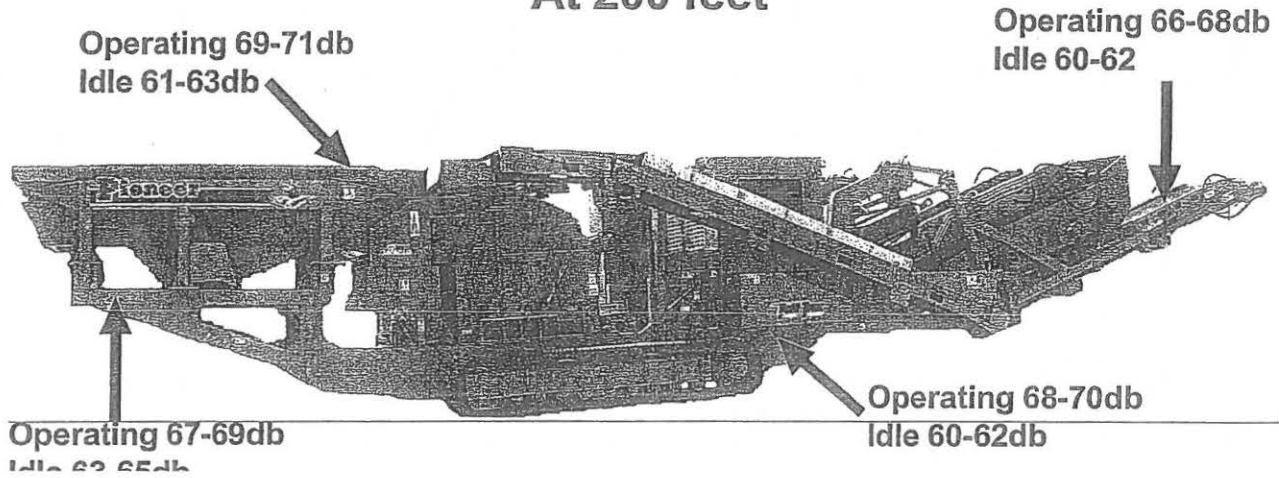
In addition to DNR compliance, each machine is powered by an engine that has been tested and meets EPA exhaust emission standards.

Vinton Construction Company has operated all of our crushing operations within the city limits of municipalities such as Milwaukee, Green Bay, Appleton and Oshkosh.

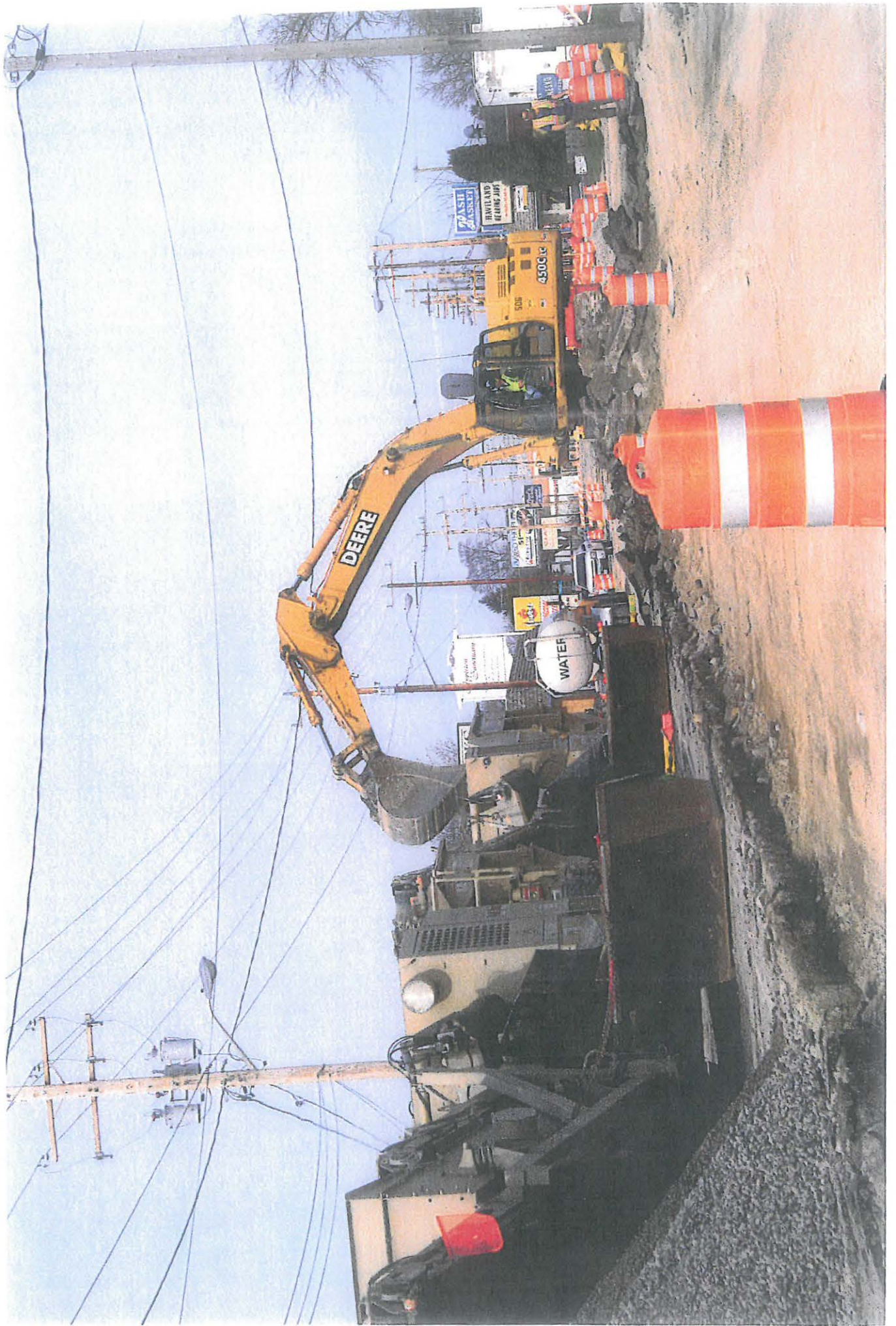
Noise Levels 3 feet from machine/5 feet from ground



At 200 feet







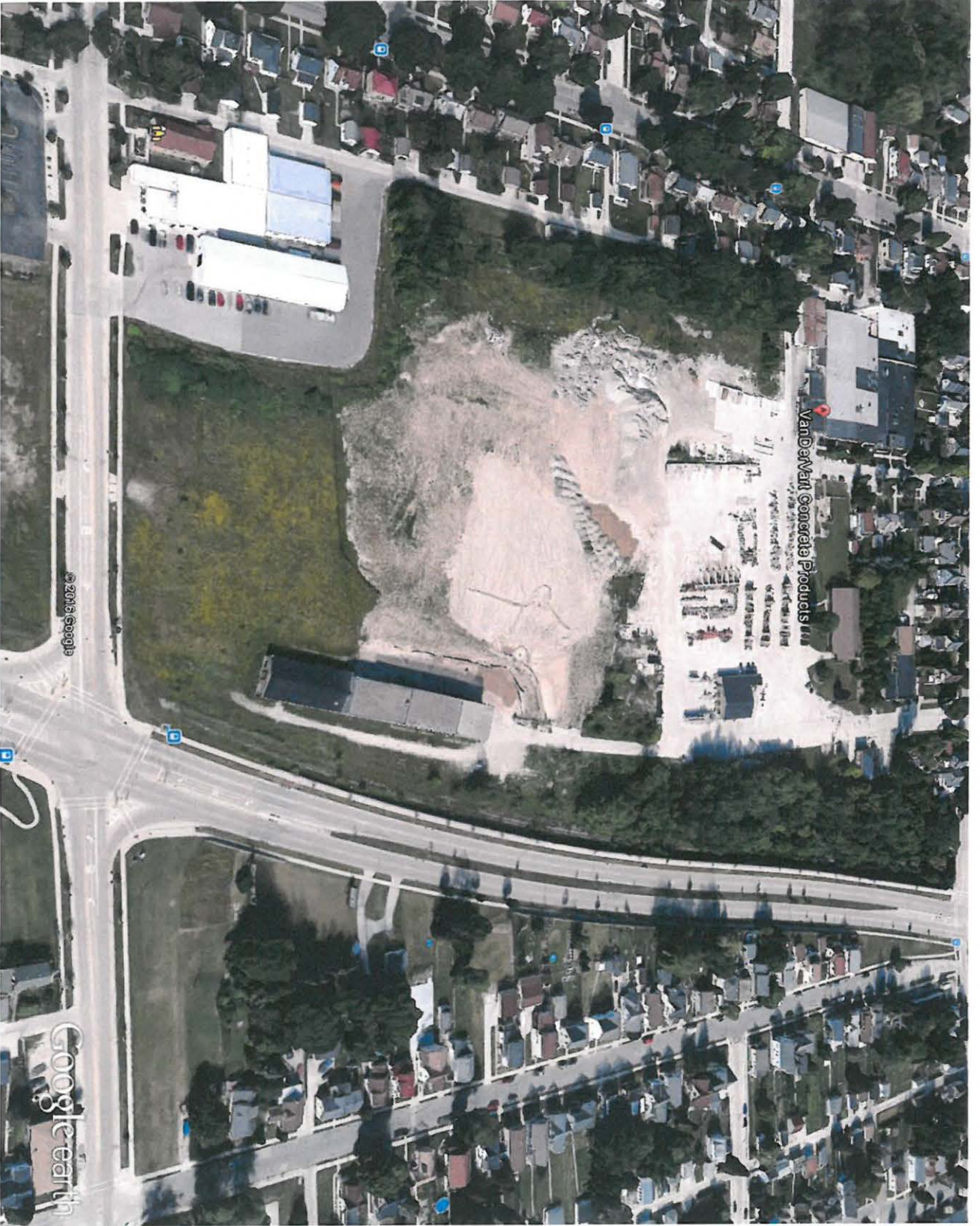
FOX VALLEY SCHOOL OF MASSAGE
993-8660
www.fvsm.org

NKIND CLINIC
731-4354

TRI COUNTY
Driving School Inc.
734-7330







Vandermere Concrete Products LLC

© 2016 Google

Google earth

B3 For VAN DER VAERT Site

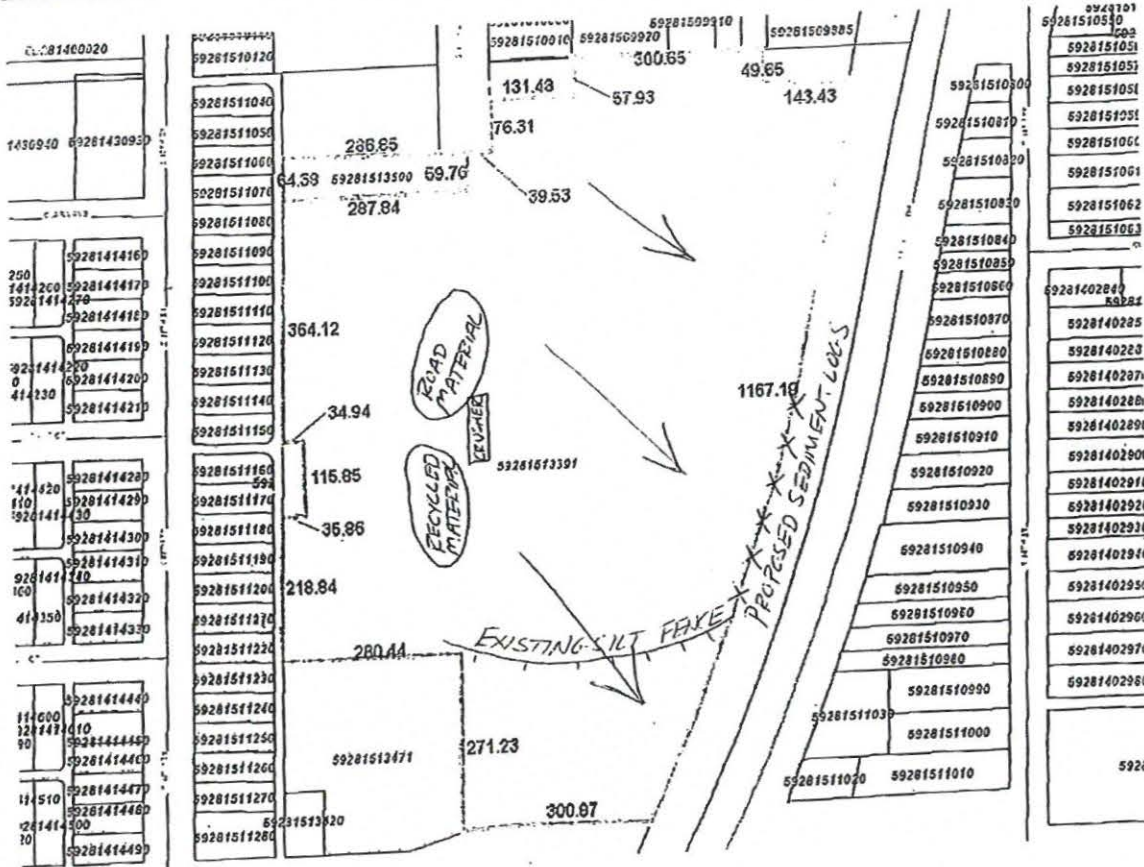
ENCLOSURE # 3
BMPS

LOHR PROPERTIES - SHEBOYGAN, ILL.

May 1, 2014



PLAT MAP



Richard Lohr

Owner
Lohr Properties - Sheboygan, LLC.

LOHR PROPERTIES - SHEBOYGAN, LLC.
P.O. BOX 490 SHEBOYGAN, WI 53081-0490
PHONE: 920-459-2400