


*****ATTACHMENTS*****

PARCEL NO. 606700
MAP NO. 15 453 010
ZONING CLASSIFICATION: NR

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: 6/9/15

FILING FEE: \$250.00 (Pavable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT 
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$150 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Quasius Construction Inc.
ADDRESS: 1716 North 16th Street E-MAIL: rhaen@quasius.com
PHONE: (920) 457-5585 FAX NO. (920) 457-1045

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Quasius Construction Inc.
ADDRESS OF PROPERTY AFFECTED: 1716 North 16th Street
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____
General Contractor Office / Equipment Storage Building

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: No Change

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: Variance regarding maximum height of proposed screen fencing at south and west property lines.

Our current facility is a non-conforming use but allowed based on the amount of time it has been here. This location for a general contractor operation is likely not what the City of Sheboygan comprehensive master plan would welcome. The structures on the south portion of this site have been created and utilized for construction materials and equipment storage. Over a period of time the space has become under-utilized and their condition has deteriorated. As a result of the 13,482 sq. ft. of storage building that currently exists, approximately 10,504 sq. ft. is scheduled to be demolished. The open area created will be made available to the neighboring Evangelical Free Church for off street parking during our non-business hours.

In an effort to keep our property safe and screened for the neighbors we are proposing to construct wood board on board fencing to replace the building walls at the south and west property lines. Both sides have concrete or masonry retaining walls above or below the existing floor line. These walls will remain with the proposed fencing to be built on top of them. The fence at the west would be built to match the height of the current building wall. The fence to the south, along Cambridge Avenue, would be 3'-6" lower than the current building wall.

The reduced building storage area will create a reduction in construction related traffic and activities. The church utilization for parking will be Wednesday evenings and Sunday mornings. The proposed fence screen should result in a positive impact to the neighborhood.



SAEMANN AVE

CAMBRIDGE AVE

N 10TH ST

N 10TH ST

SAEMANN AVE

CAMBRIDGE AVE

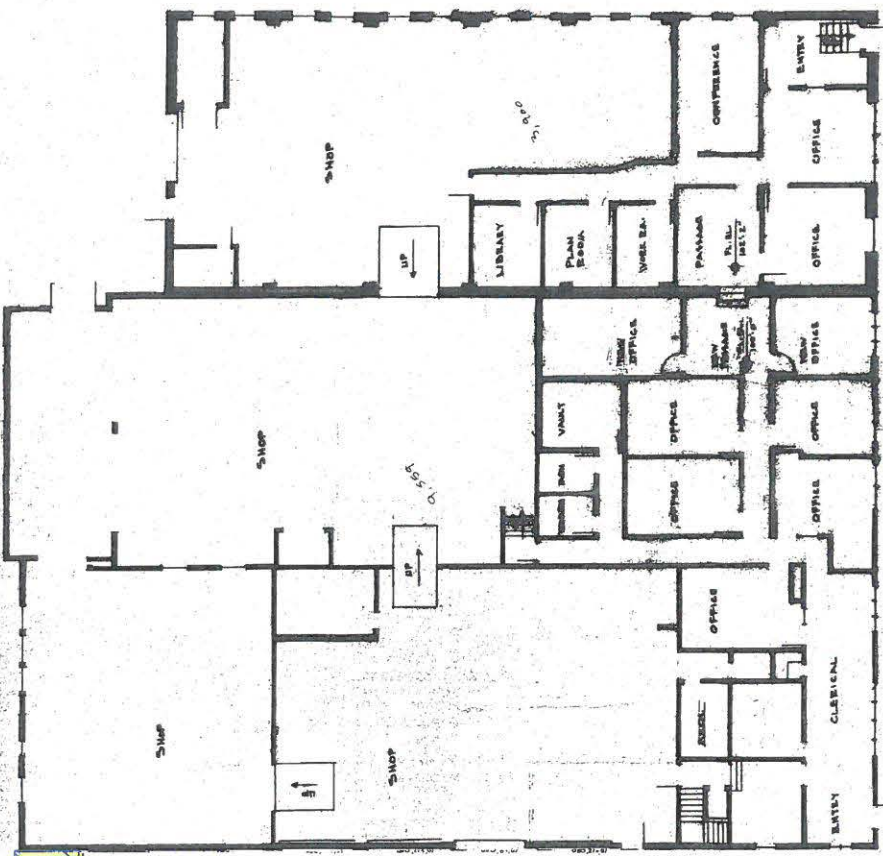
N 12TH ST

N 12TH ST

12/15/10 8:00 AM

CAMBRIDGE AVE.

NORTH 16 ST.



FLOOR PLAN SCALE 1/8" = 1'-0"

INTERIOR REMODELING 2011
 QUASIUS CONSTRUCTION INC.
 SHREVEPORT, LA 70577

DATE	BY



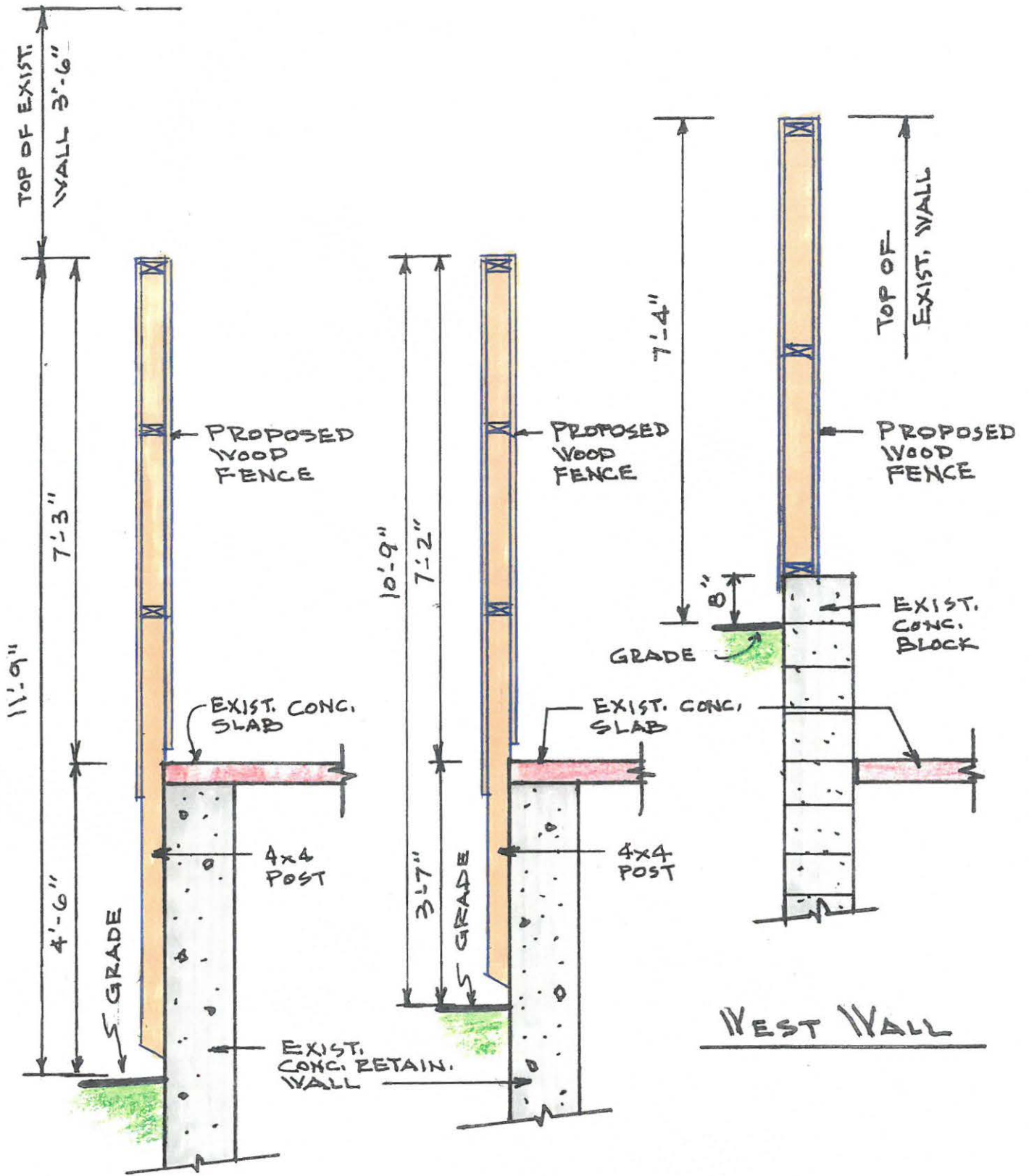












SOUTH WALL

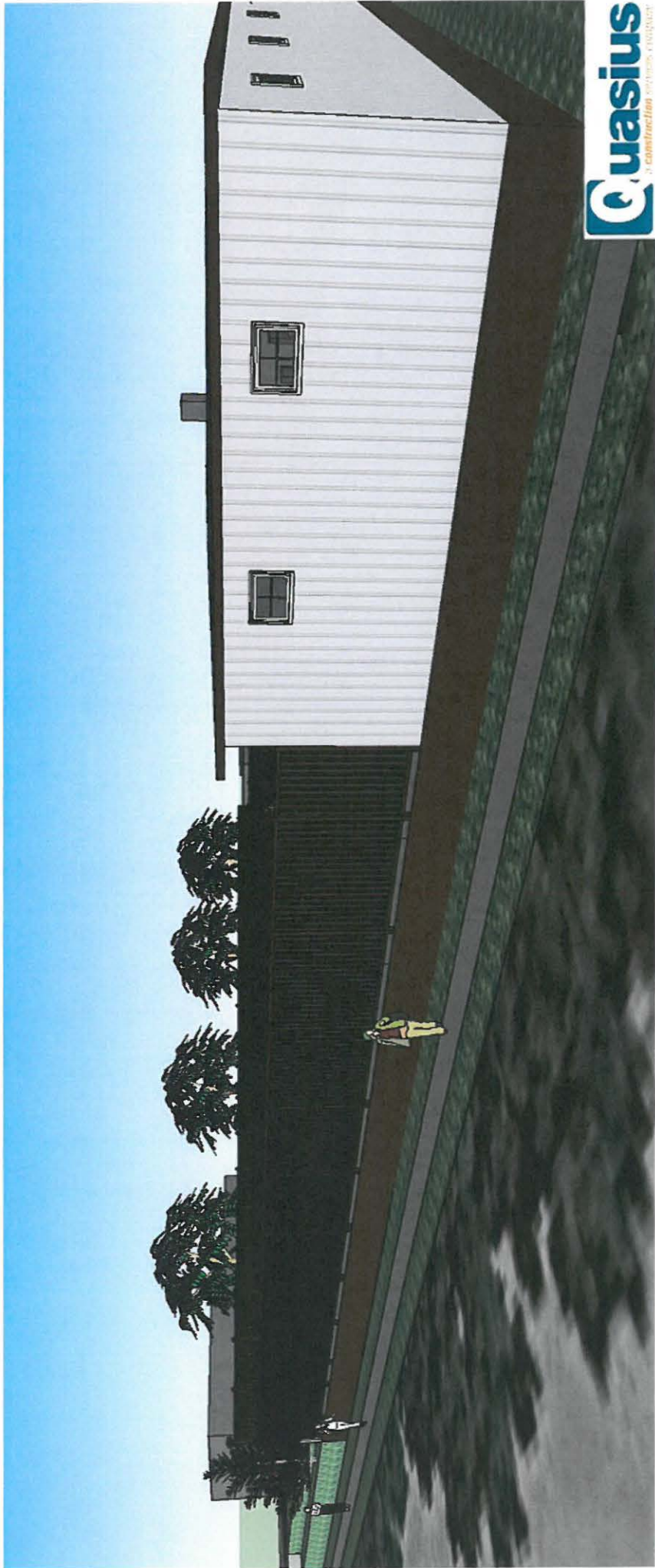
EAST END

SOUTH WALL

AT LOADING DOCK

WEST WALL

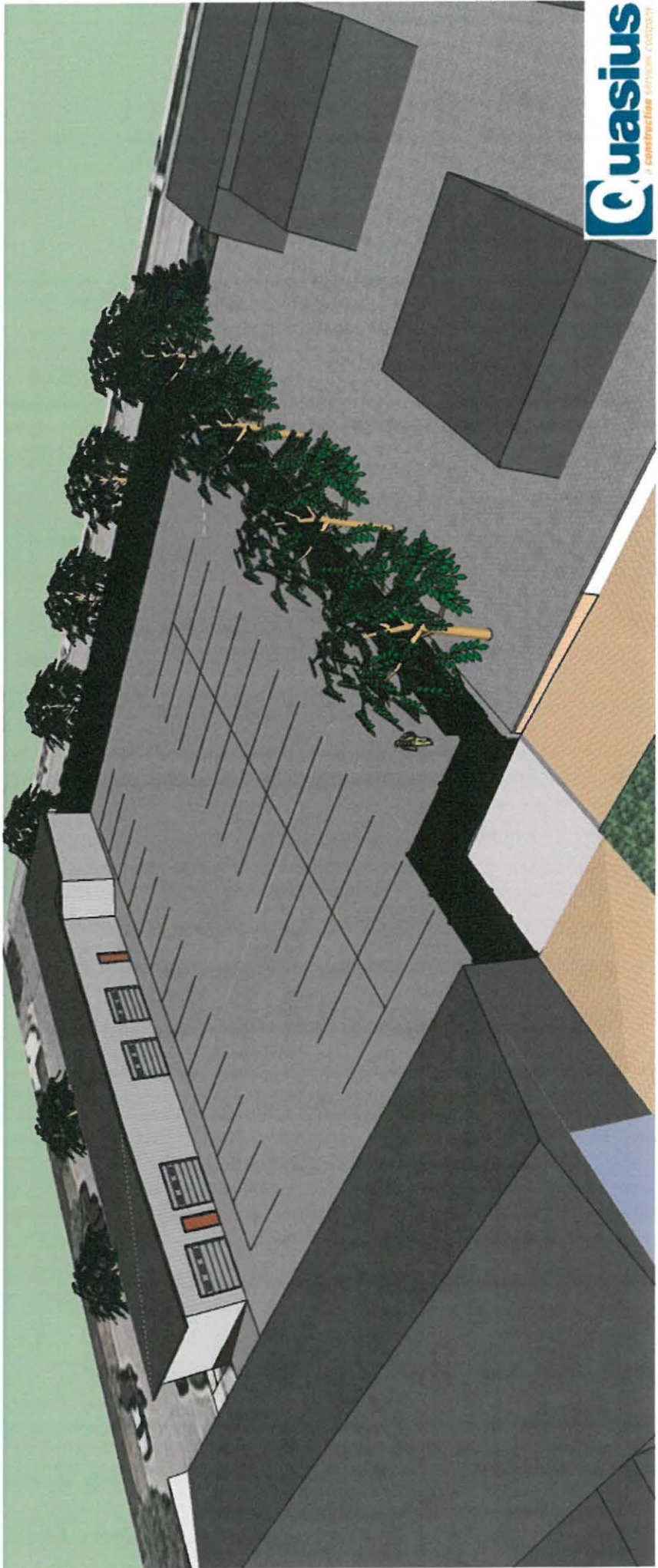
SCALE 1/2" = 1'-0"







Quasius
A Construction Services Company





Terms of Use

int. 9/18/2012/25





1191
KING OF THE HILL
1191



PARCEL NO. 109510
MAP NO. 23382001
ZONING CLASSIFICATION: CC

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: 6/9/15

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT
Requirements Per Section 15.905
Revised May 2012

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1. APPLICANT INFORMATION

APPLICANT: Lance Drews (Pier 17)

ADDRESS: 539 Riverfront Drive E-MAIL: _____

PHONE: (920) 627-3561 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Pier 17

ADDRESS OF PROPERTY AFFECTED: 539 Riverfront Drive

LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Bar/ Restaurant
with indoor/ outdoor seating.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Same with addition of a 300 s.f. outdoor shelter for a bar and entertainment stage.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: None



Pier 17
539 Riverfront Drive
Sheboygan, Wisconsin

Tiki Bar

The proposed shelter structure (Tiki Bar) at Pier 17 will be used for a small outdoor bar and a performance area for live entertainers. The structure includes a wall on the west side which will serve as a wind blocker for the deck. This wall will also control access to the deck area, limiting entry from within the building and from the boardwalk steps. The deck areas will be used seasonally and as weather permits. Seating capacity for the entire deck area is approximately 75.

NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 458-4800
 Fax (920) 458-1485

PIER 17
TIKI BAR
639 RIVERFRONT DRIVE
SHEBOYGAN, WISCONSIN 53081

SHEET TITLE
PIER 17
TIKI BAR
639 RIVERFRONT DRIVE
SHEBOYGAN, WISCONSIN 53081

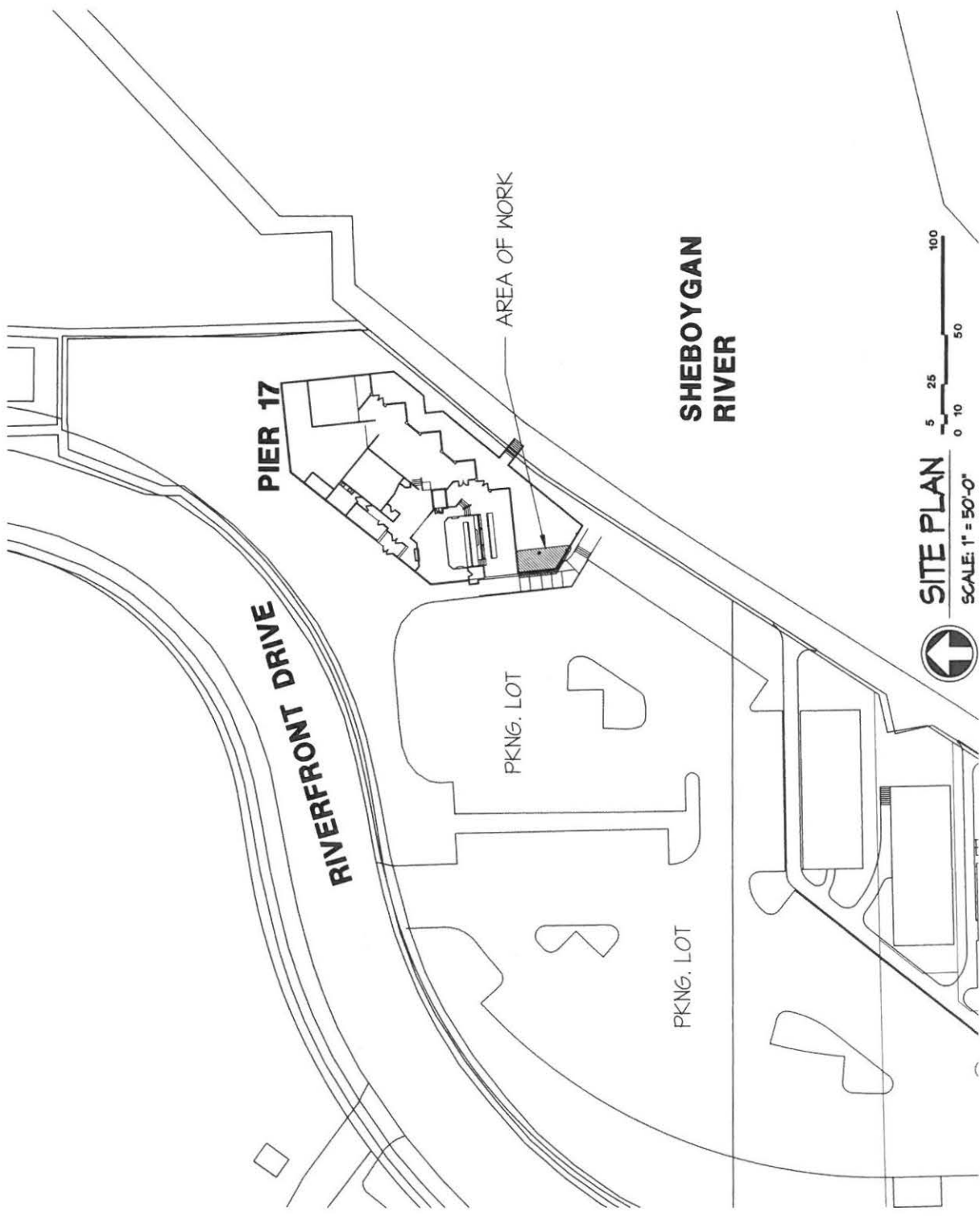
DRAWN BY
 JA

CHECKED BY
 CJ

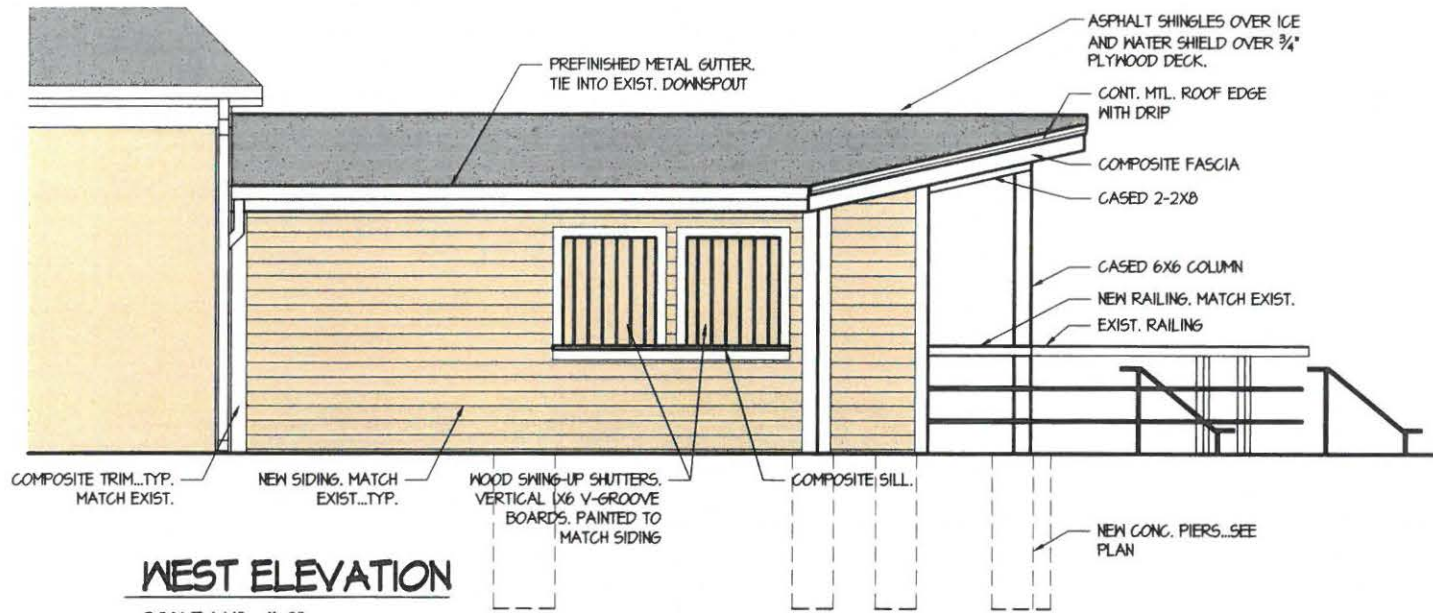
DATE
 05-26-15

PROJECT NO.
 1516

SHEET NO.
C1

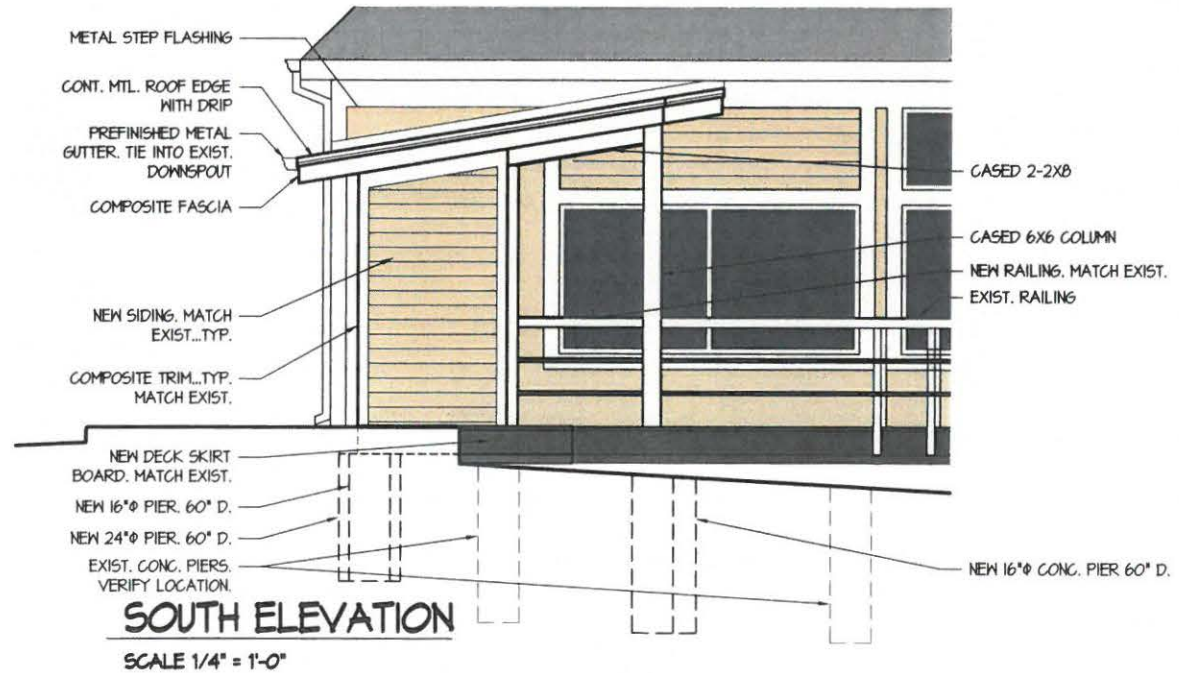


SITE PLAN
 SCALE: 1" = 50'-0"
 0 10 25 50 100



WEST ELEVATION

SCALE 1/4" = 1'-0"



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive Sheboygan, WI 53081
 Phone (900) 458-4800 Fax (900) 458-1485

**PIER 17
 TIKI BAR
 839 RIVERFRONT DRIVE
 SHEBOYGAN, WISCONSIN 53081**

SHEET TITLE

DRAWN BY
JA

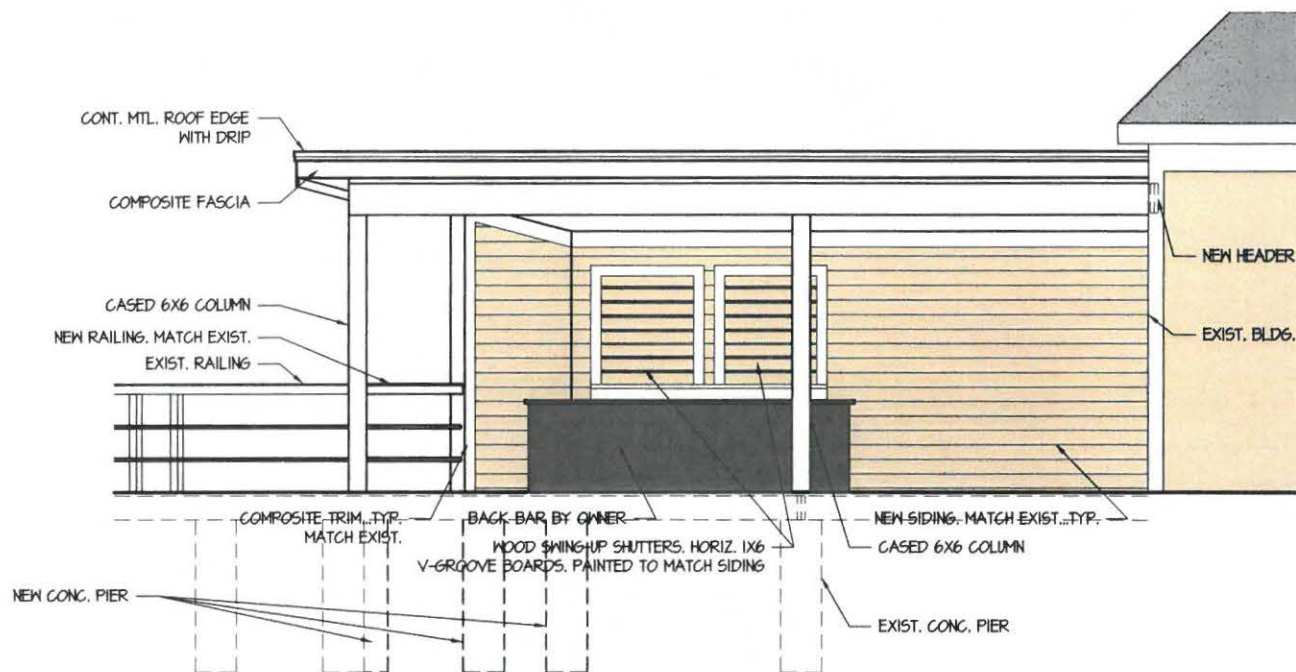
CHECKED BY
EJ

DATE
05-26-15

PROJECT NO.
1518

SHEET NO.

A2



EAST ELEVATION

SCALE 1/4" = 1'-0"

DESIGN STRESSES

SOIL PARAMETERS	
ALLOWABLE SOIL BEARING PRESSURE	3,000 PSF
SPREAD AND STRIP FOOTINGS: _____ 3,000 PSF	
CAST IN PLACE CONCRETE (28 DAY COMPRESSIVE STRENGTH)	
FOOTINGS (6 1/2% AIR ENTRAINMENT)	$f_c = 3,000$ PSI
CONCRETE REINFORCEMENT	
FIELD BENT BARS	$F_y = 40,000$ PSI
ALL OTHER	$F_y = 60,000$ PSI
WOOD EXTERIOR USE, PRESSURE TREATED	
SOUTHERN PINE No. 1	
$F_b = 1,850$ PSI $F_{v } = 100$ PSI $F_{c } = 1850$ PSI $F_{c\perp} = 565$ PSI	$E = 1,700,000$ PSI
TIMBERS (5x5 AND LARGER): SOUTHERN PINE No.2	
$F_b = 850$ PSI $F_{v } = 100$ PSI $F_{c } = 525$ PSI $F_{c\perp} = 375$ PSI	$E = 1,200,000$ PSI

DESIGN LOADS

BUILDING DESIGN CATEGORY/SEISMIC USE GROUP	_____ I
IMPORTANCE FACTORS:	
SEISMIC	IE _____ 1.00
SNOW	IS _____ 1.00
WIND	IW _____ 1.00
ROOF LOAD DESIGN DATA:	
GROUND SNOW LOAD (P_g)	_____ 35 PSF
THERMAL FACTOR (C_t)	_____ 1.20
EXPOSURE FACTOR (C_e)	_____ 1.00
FLAT ROOF SNOW LOAD (P_f)	_____ 29.4 PSF
UNBALANCED ROOF SNOW LOAD	
WINDWARD ROOF SNOW LOAD	_____ 0 PSF
LEEWARD ROOF SNOW LOAD	_____ 35 PSF
WIND LOAD DATA:	
BASIC WIND SPEED	_____ 90 MPH
WIND EXPOSURE CATEGORY	_____ B

NO.	REVISIONS	DATE

LJM Architects
 813 Riverfront Drive
 Sheboygan, WI 53081
 Phone (920) 456-4900 Fax (920) 456-1486

PIER 17
 TK1 BAR
 830 RIVERFRONT DRIVE
 SHEBOYGAN, WISCONSIN 53081

SHEET TITLE

DRAWN BY
 JA

CHECKED BY
 EJ

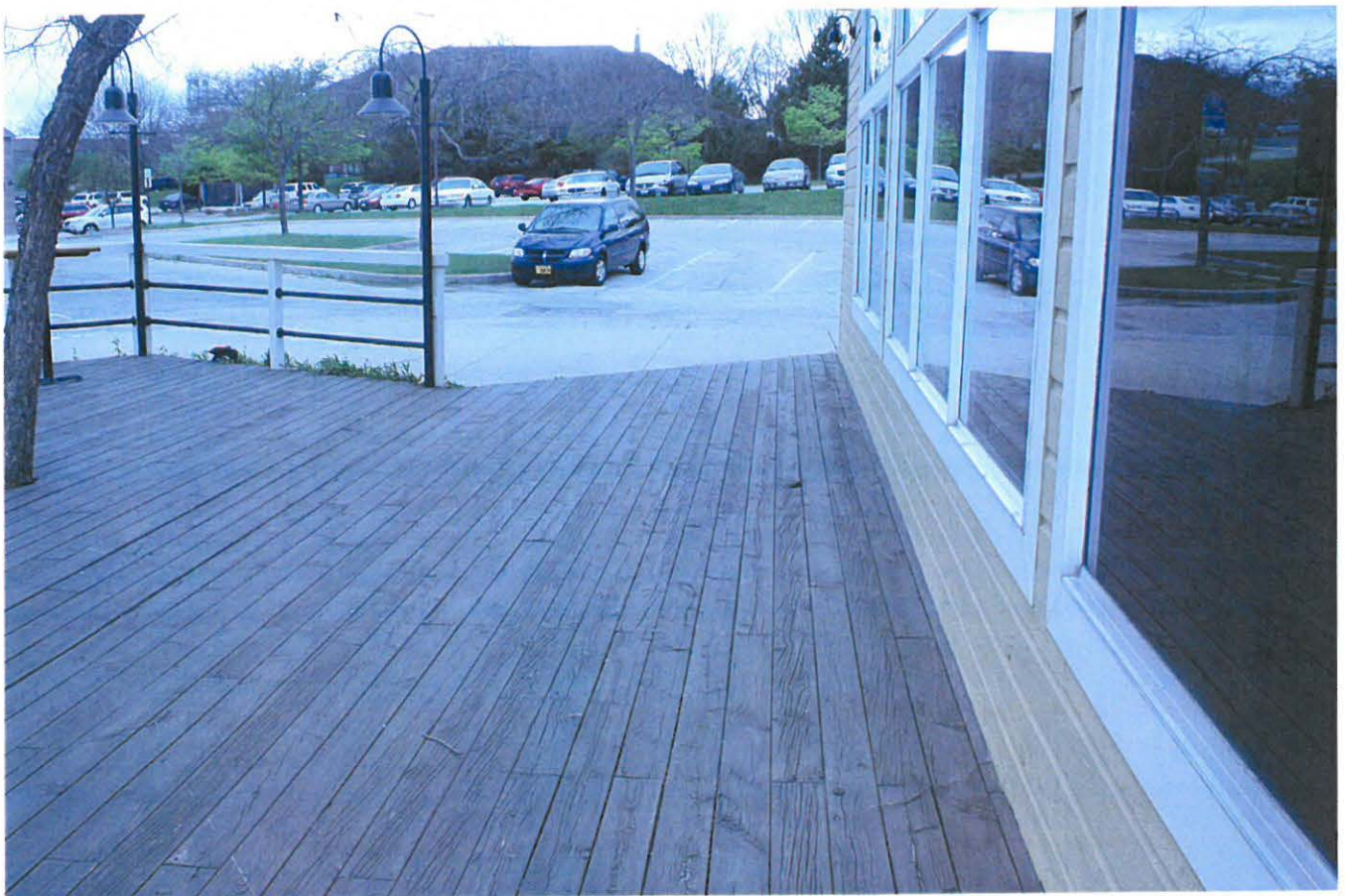
DATE
 05-26-16

PROJECT NO.
 1518

SHEET NO.

A3







PARCEL NO. 428470
MAP NO. 34 226 004
ZONING CLASSIFICATION: NC

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 5/26/15

FILING FEE: \$250.00 (Payable to City of Sheboygan)

7126 N. Lake Dr
Fox Point WI 53217

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Boost Mobile (Adham Awadalla)
ADDRESS: 1403 Union Ave E-MAIL: adham1935@yahoo.com
PHONE: (414) 779 4678 FAX NO. (262) 637-6000

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Boost Mobile
ADDRESS OF PROPERTY AFFECTED: 1403 Union Ave Sheboygan WI.
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: Retail wireless provider

DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Retail wireless provider

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: A Third wall Sign.
Square Footage permitted

OFFICE USE ONLY

PARCEL NO.: _____

MAP NO.: _____

ZONING CLASSIFICATION: _____

OFFICE USE ONLY

REVIEW DATE: _____

APPROVAL: _____

Steve Sokolowski, City Planner

CITY OF SHEBOYGAN DEPARTMENT OF CITY DEVELOPMENT

828 Center Avenue Suite 104, Sheboygan, WI 53081
Phone: (920) 459-3377 Fax: (920) 459-7302
E-Mail: development@ci.sheboygan.wi.us

SIGN PERMIT APPLICATION

(November, 2009)

Completed application and all required attachments are to be filed with the Department of City Development, 828 Center Avenue, Suite 104 for review by the City Planner.

1. APPLICANT INFORMATION

APPLICANT: Boost Mobile (Adham Awadalla)

ADDRESS: 1403 union Ave

E-MAIL ADDRESS: adham1935@yahoo.com

PHONE: (414) 779-4678 FAX NO: (262) 637-6000

2. OWNER INFORMATION

OWNER OF SITE: George Young

ADDRESS: 1403 union Ave

PHONE: () FAX NO: ()

3. DESCRIPTION OF THE PROPOSED SIGN AND USE OF THE SUBJECT SITE

NAME OF PROPOSED/EXISTING BUSINESS: Boost Mobile

ADDRESS OF PROPERTY AFFECTED: 1403 union Ave

USE OF PROPERTY: Retail wireless

TYPE OF SIGN: wall sign

DESCRIPTION OF PROPOSED SIGN: Aluminum composite panel

May 5th 2015

Boost Mobile

1403 union ave

Sheboygan WI 53081

To whom it may concern,

We have requested a variance for a new aluminum panel sign to be placed on top of the retail store entrance to identify the store and make it visible to traffic. The reason we need a new sign is that the existing channel letters sign is placed too high on the building not on the store entrance. We had a request to the sign company to remove the channel letters sign and mount it on the store entrance to identify the store. The sign company responded that removing the channel letters sign will damage the sign and scar the building. We ended up ordering the panel sign to place on top of the store entrance.

Thanks for your consideration,

Adham Awadalla

Member

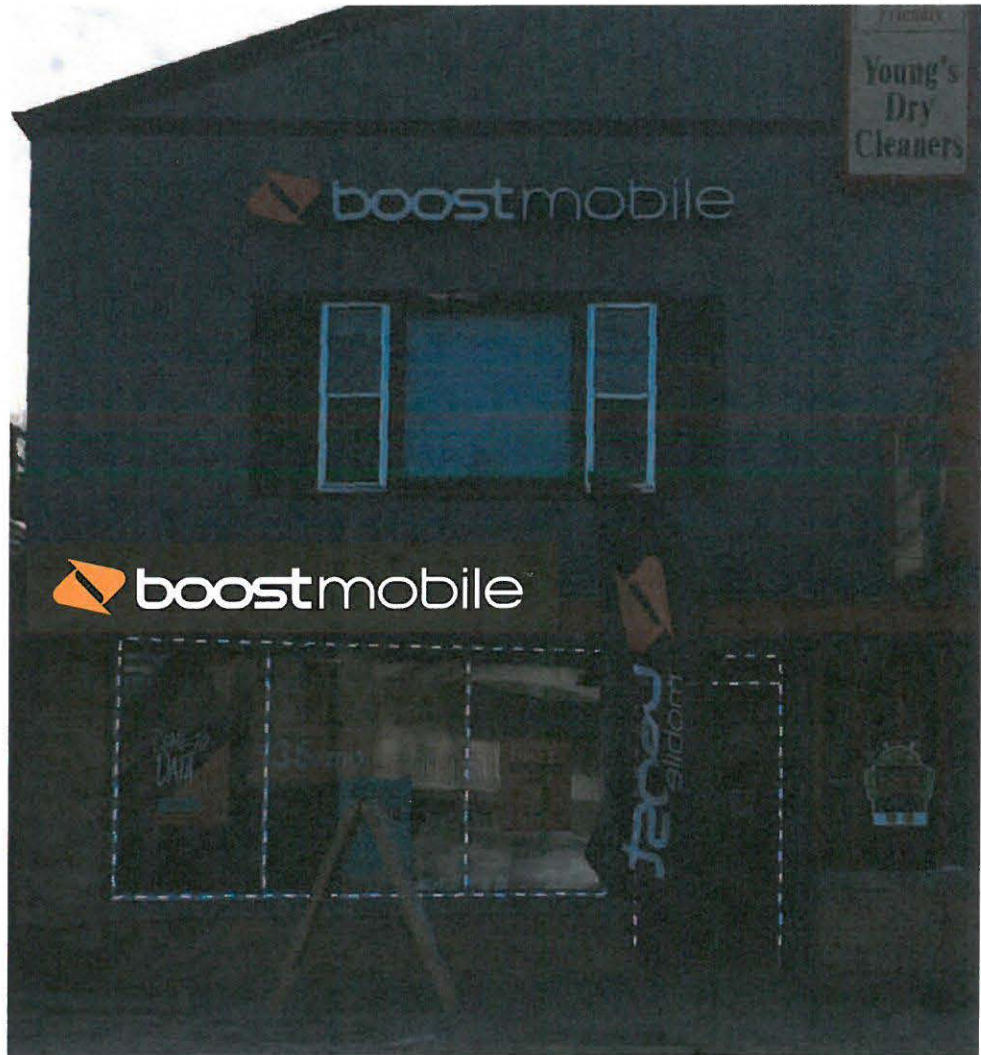
414-779-4678

Adham1935@yahoo.com

Approx 2' x 12' ACM

Sheboygan, WI

Before



and our website:
www.huskisigns.com

Emailed: 2-11-15



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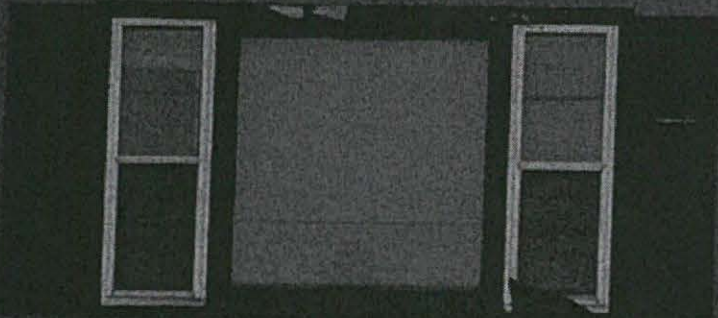
1115 Indy Court
Evansville IN
47725
Phone: 800-909-HUSK
812-473-2000
Fax: 812-867-0848

Project Name:	Sheboygan, WI	Sales Person: Victoria
Location:		Designer/Graphic Artist: <i>Lisa</i>
Accepted by:		Date of Drawing: 2-11-15
Accepted Date:		Revisions: #0

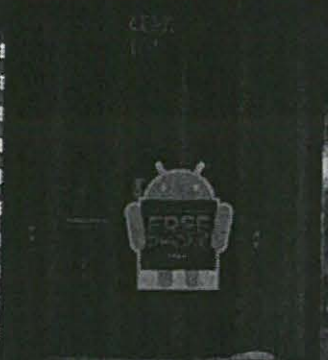
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Friendly
Young's
Dry
Cleaners

 boostmobile




mobile
renew
elidom



ALUMINUM PRODUCTS

PRE-PAINTED

PRE-ANODIZED

MILL FINISH

PREPAINTED SIGN BLANKS

CHANNEL LETTER COIL

ALUMINUM COMPOSITE PANELS

ADDITIONAL ALUMET PRODUCTS

NEW PRODUCTS

COPPER PRODUCTS

COPPER ROOFING

LEAD COATED

COPPER SHEET

COPPER BAR & ROD

ADDITIONAL UNIMET PRODUCTS

COPPER SHEET AND

COMPBOND ALUMINUM COMPOSITE PANELS

Aluminum Composite Material (ACM) Sign Panels are composed of a thermoplastic core of low density polyethylene, bonded to two sheets of aluminum using a sophisticated bonding process involving chemical adhesives and high temperatures. The painted surface of the aluminum sheet is coated with a wax free high performance polyester coating. The painted surface is protected with a strippable masking to prevent scratching.

[Click Here to Download a PDF of the Color Chart](#)

[Click Here to Download a PDF of the Literature Sheet](#)

ACM SIGN PANEL FEATURES

- Light Weight
- Rigid and Durable
- Accepts Vinyl Graphics
- Excellent Outdoor Weatherability
- Stock Sizes - 48" x 96"; 48" x 120"; 48" x 144"; 60" x 96"; 60" x 120" & 60" x 144"
- Custom Colors & Finishes
- High Strength
- Easily Fabricated
- Weather Resistant
- Accepts Screen and Digital Printing
- Available in 3MM & 6MM Thickness
- Corporate Identity Colors
- 5 Year Warranty

Alumet Aluminum Composite Panels are now a UL compliant sign accessory component.

AVAILABLE PANEL COLORS

GAUGE WIDTH	3MM 4X8	3MM 4X10	3MM 4X12	3MM 5X8	3MM 5X10	3MM 5X12	6MM 4X8	6MM 4X10
Ultra White 2 Sides	•	•	•	•	•	•	•	•
Ultra White/White	•							
Ultra White/Mill	•	•						
White 2 Sides	•	•					•	
White/Mill	•							
Dark Bronze 2 Sides	•							
Gloss Black 2 Sides	•	•					•	



PARCEL NO. 2028601202870
MAP NO. 22-237-0104015
ZONING CLASSIFICATION: CC

Office Use Only
APPLICATION/FILE NO. _____
REVIEW DATE: 5/26/15

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT *pl*
Requirements Per Section 15.905
Revised May 2012

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1. APPLICANT INFORMATION

APPLICANT: RICK MINSTER
ADDRESS: 1409 MICHIGAN AVE E-MAIL: autodoctors@att.net
PHONE: () 920 452 6641 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Ricks Auto Doctors
ADDRESS OF PROPERTY AFFECTED: 1401 Michigan Ave *+1409 Michigan Ave*
LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____
Parking lot and storage building

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: _____
Use will remain the same. New building and parking are just improving existing infrastructure

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: _____



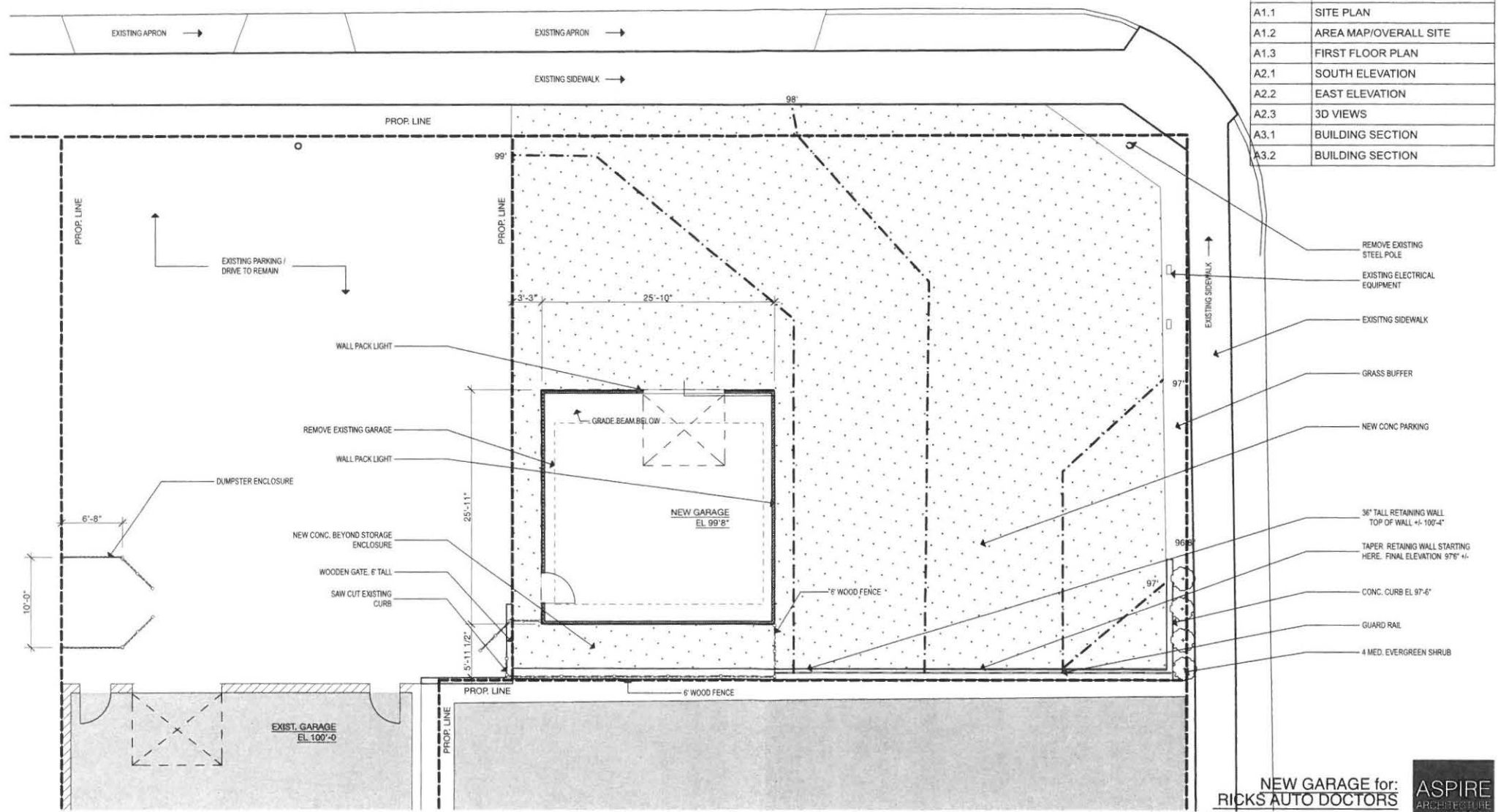
Subject: Ricks Auto Doctors

There is an existing 24 ft x 20 ft garage that is used for vehicle storage and equipment storage. It is currently in need of repair. We are proposing to raze that building and install a new 26 ft x 26 ft building in its place. This building will have a roof and mansard similar to the main auto body building. It will also have metal panel siding that will match the existing building.

Additionally, our scope of work includes creating two enclosed storage/dumpster areas which will be located behind new wooden privacy fences. One will be 10 ft x 6 ft 8 in and the other will be 5 ft x 26 ft.

The existing gravel drive will be replaced with new concrete pavement in its existing location. This will also have a retaining wall built against the south property line. This will be approx 3 ft tall at the farthest west and taper to approx one foot tall at the east. This will also have a metal guard rail installed on it. We are not proposing any new signage at this time. We will provide two exterior lights mounted on the building for occasional night lighting as needed. Existing hours will be the same, 7-6 Monday -Saturday, with occasional work being done in the evening while office is closed.

SHEET INDEX	
ID	Name
A1.1	SITE PLAN
A1.2	AREA MAP/OVERALL SITE
A1.3	FIRST FLOOR PLAN
A2.1	SOUTH ELEVATION
A2.2	EAST ELEVATION
A2.3	3D VIEWS
A3.1	BUILDING SECTION
A3.2	BUILDING SECTION



2 Site Plan
SCALE: 1" = 10'

NEW GARAGE for:
RICKS AUTO DOCTORS
1409 MICHIGAN AVE SHEBOYGAN WI 53081

ASPIRE
ARCHITECTURE
& DESIGN

ASPIRE ARCHITECTURE & DESIGN, LLC
1416 N. 5th St. Sheboygan, WI. 53081
920-457-4884
scott@aspirearchitects.com
www.aspirearchitects.com

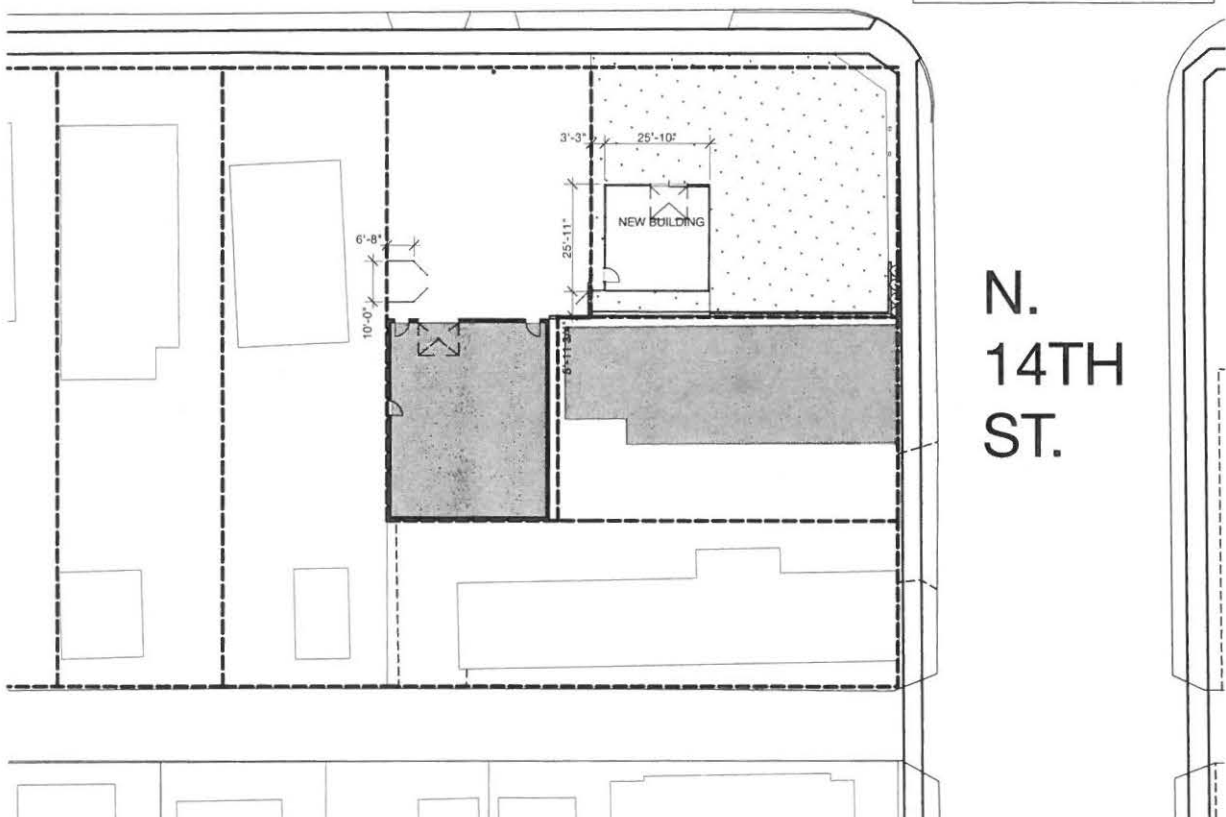
5.10.15
07-012
A1.1

Users\smmaha\Library\Mobile Documents\com-apple-CloudDocs\Aspire-Cad\07-012 Ricks Auto Doctors\GARAGE 07-012.pln
CAD FILE: 04-24-2014

MICHIGAN AVE

LANDSCAPE REQUIREMENT

CENTRAL COMMERCIAL
 PAVED AREA 3,785.47 SF
 =20 PTS PER 10,000 SF
 TOTAL POINTS REQUIRED = 20



N. 14TH ST.



2 AREA MAP

SCALE: 1" = 200'

BUILDING DATA

ZONING	CENTRAL COMMERCIAL	
REQUIRED SETBACK FRONT		0
PROVIDED SETBACK FRONT		20'
REQUIRED SETBACK SIDE		0
PROVIDED SETBACK SIDE		36"
REQUIRED SETBACK BACK		0
PROVIDED SETBACK BACK		N/A
BUILDING TYPE	VB UNSPRINKLERED	
BUILDING USE	S	
ALLOWABLE AREA	9000	
ALLOWABLE PROVIDED AREA	0	
1ST FLOOR EXISTING	6,764	1ST FLOOR ADDITION
2ND FLOOR EXISTING		2ND FLOOR ADDITION
TOTAL EXISTING	6,764	TOTAL ADDITION
TOTAL BUILDING SIZE NEW		674

1 Overall Site Plan

SCALE: 1" = 30'

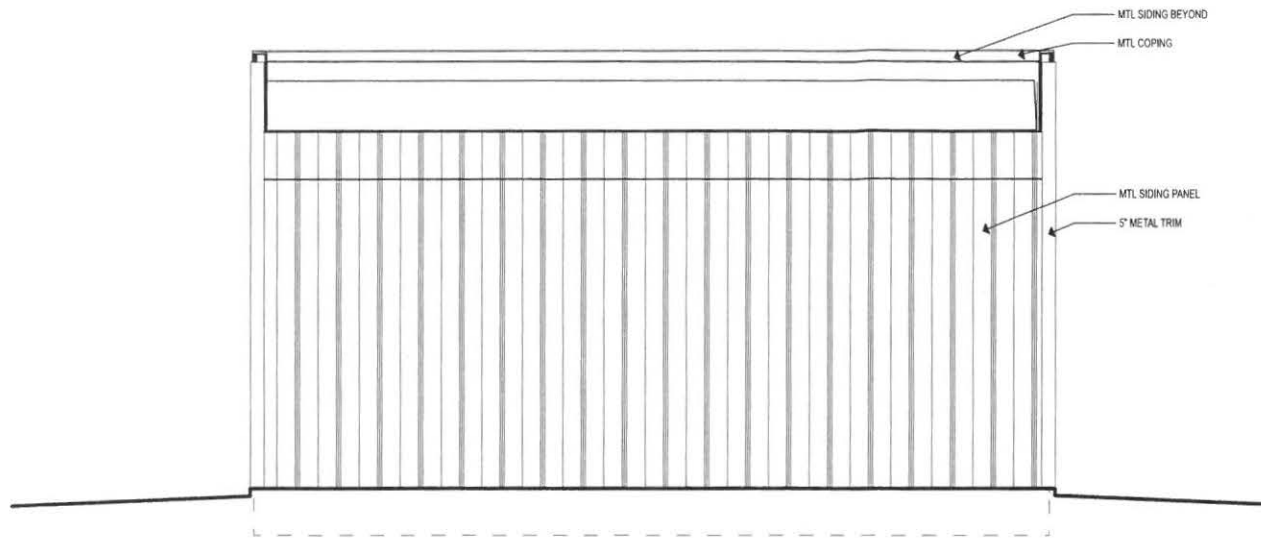
**NEW GARAGE for:
 RICKS AUTO DOCTORS**
 1409 MICHIGAN AVE SHEBOYGAN WI 53081



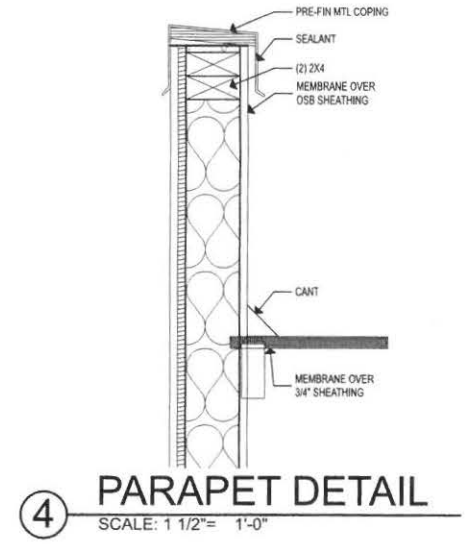
ASPIRE ARCHITECTURE & DESIGN, LLC
 1416 N. 5th St. Sheboygan, WI. 53081
 920-457-4884
 scott@aspirearchitects.com
 www.aspirearchitects.com

5.10.15
 07-012
A1.2

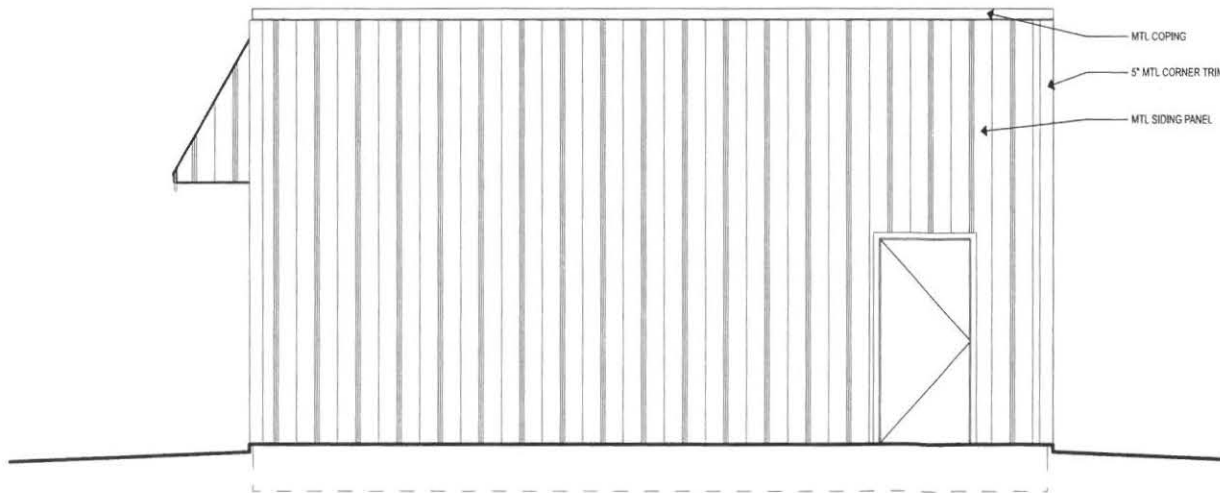
/Users/smmatula/Library/Mobile Documents/com~apple~CloudDocs/Aspire-Cad/07-012 Ricks Auto Doctors/GARAGE 07-012.pln
 07-012-A1.2.dwg



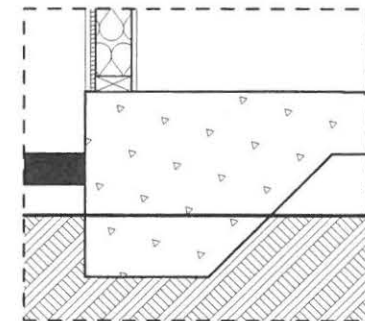
① South Elevation
SCALE: 1/4" = 1'-0"



④ PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"



② West Elevation
SCALE: 1/4" = 1'-0"



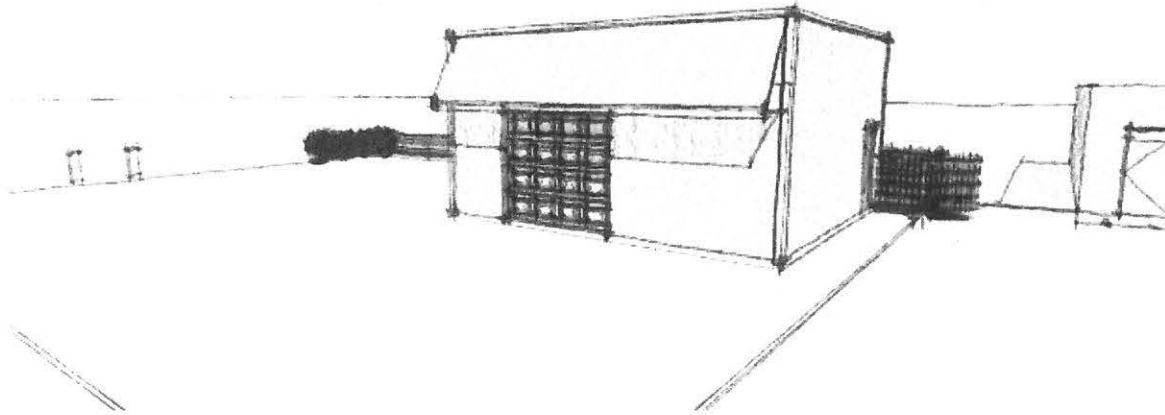
③ DETAIL
SCALE: 1" = 1'-0"

NEW GARAGE for:
RICKS AUTO DOCTORS
1409 MICHIGAN AVE SHEBOYGAN WI 53081

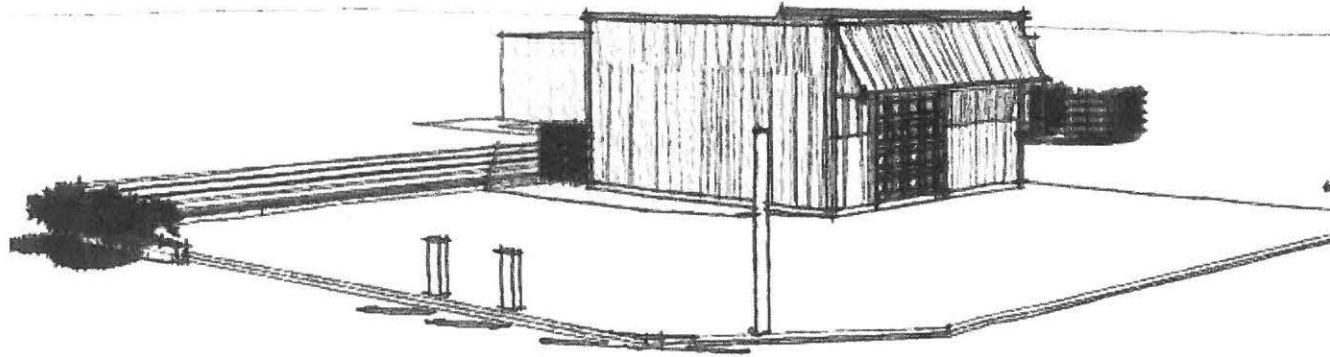
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920-457-4884
scott@aspirearchitects.com
www.aspirearchitects.com



5.10.15
07-012
A2.2



② VIEW FROM EXISTING DRIVE



① EXTERIOR VIEW FROM CORNER

NEW GARAGE for:
RICKS AUTO DOCTORS
1409 MICHIGAN AVE SHEBOYGAN WI 53081

ASPIRE ARCHITECTURE & DESIGN, LLC
1416 N. 5th St. Sheboygan, WI. 53081
920-457-4884
scott@aspirearchitects.com
www.aspirearchitects.com



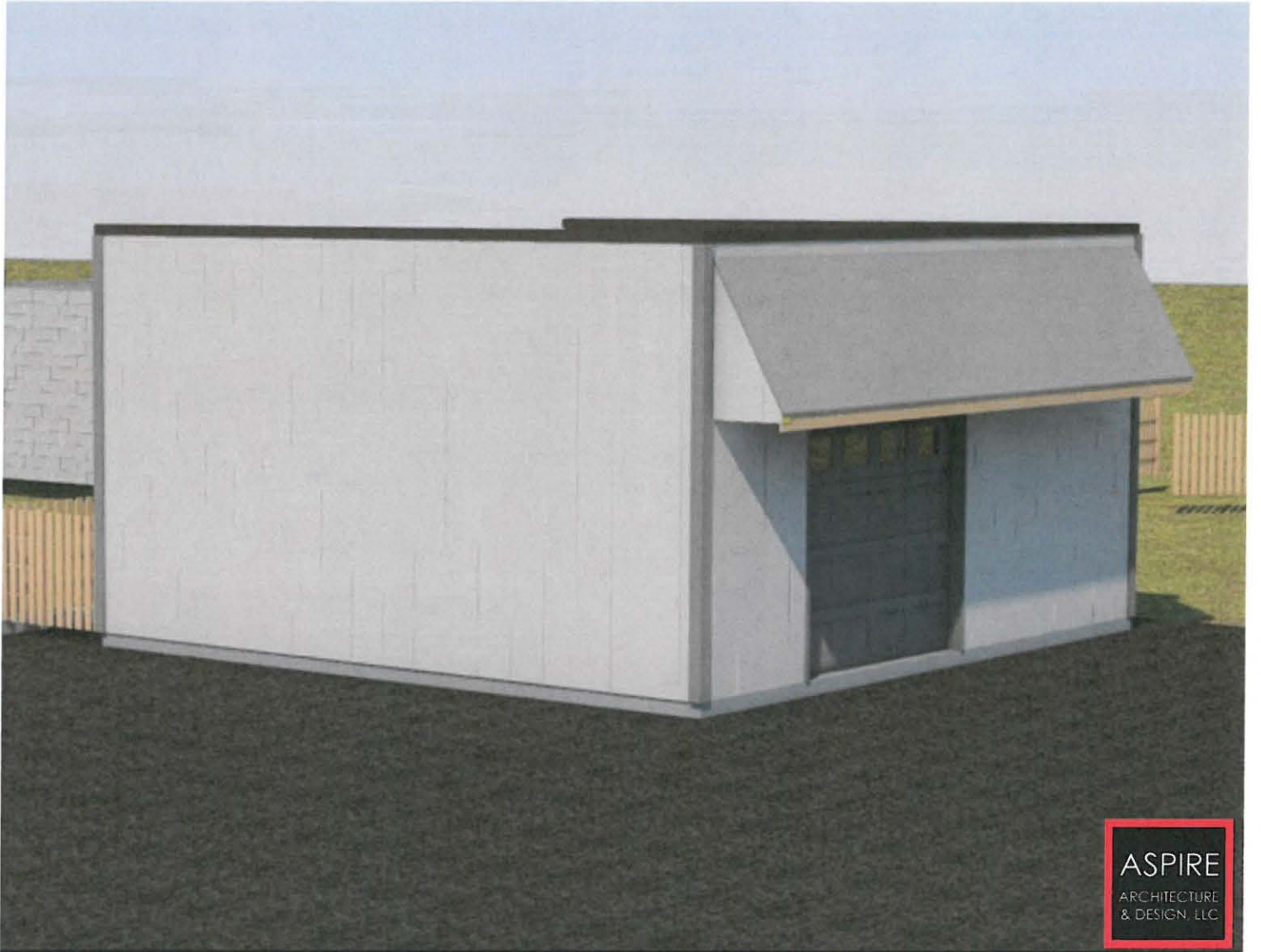
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NEW GARAGE

RICKS AUTO DOCTORS



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NEW GARAGE

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VIEW FROM STREET

RICKS AUTO DOCTORS

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EXISTING BUILDING

RICKS AUTO DOCTORS



EXISTING PARKING LOT

RICKS AUTO DOCTORS





GARAGE TO BE RAZED

RICKS AUTO DOCTORS



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