

**\*\*\*ATTACHMENTS\*\*\***

PARCEL NO. 621480  
MAP NO. 15 182 002  
ZONING CLASSIFICATION: UC

Office Use Only  
APPLICATION/FILE NO. \_\_\_\_\_  
REVIEW DATE: 9/23/14

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN**  
**APPLICATION FOR**  
**CONDITIONAL USE PERMIT** *pd*  
Requirements Per Section 15.905  
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

**1. APPLICANT INFORMATION**

APPLICANT: Trend Styles Salon, c/o Pao Yang  
ADDRESS: 2627 Calumet Dr., Sheboygan, WI E-MAIL: trendstylesalon@att.net  
PHONE: ( 920 ) 208-7777 FAX NO. ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Trend Styles Salon  
ADDRESS OF PROPERTY AFFECTED: 2258 Calumet Dr., Sheboygan, WI  
LEGAL DESCRIPTION: LOTS 19, 20, and 22 of Kohl's Subdivision  
BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Retail

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Remodel into 1 retail and 2 office suites

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: Number of parking stalls and configuration of parking lot

**3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? The proposed conditional use is in harmony with the purposes, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Master Plan.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? No, the conditional will not result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property, or rights-of-way.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? The proposed retail and office uses will maintain the desired consistency of land uses and is allowed by right within the existing Urban Commercial setting within which the property is located.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes, the proposed conditional use is located in an area that is adequately served by utilities or services provided by public agencies.

**4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)**

**OWNER OF SITE:** Pao Yang

**ADDRESS:** 2627 Calumet Dr., Sheboygan, WI **E-MAIL:** trendstylessalon@att.net

**ARCHITECT:** Legacy Architecture, Inc., c/o Jennifer L. Lehrke

**ADDRESS:** 529 Ontario Avenue, Sheboygan, WI **E-MAIL:** jlehrke@legacy-architecture.com

**CONTRACTOR:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_ **E-MAIL:** \_\_\_\_\_

**5. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

*Jennifer L. Lehrke*  
**APPLICANT'S SIGNATURE**

September 9, 2014  
**DATE**

Jennifer L. Lehrke  
**PRINT ABOVE NAME**



**LEGACY**  
architecture

529 Ontario Avenue  
Sheboygan, Wisconsin 53081  
(920) 783-6303  
www.legacy-architecture.com

September 9, 2014

Steve Sokolowski  
City of Sheboygan Department of City Development  
828 Center Avenue  
Sheboygan, Wisconsin 53081

Re: Application for Conditional Use Permit  
Trend Styles Salon, 2258 Calumet Drive

Dear Steve:

Below is the written description for the Application for Conditional Use Permit for Trend Styles Salon, 2258 Calumet Drive.

**Existing/Previous Use**

The building was previously used as a party supply store with 2 apartments above.

**Proposed Use**

The first floor of the building will be subdivided for three tenants: a hair & nail salon and two professional office spaces. The 2 second floor apartments will remain.

**Improvements**

The interior of the building will have a few new walls constructed as well as new toilet room(s) to accommodate the subdivision. At this time, there are no plans to improve the second floor apartments or the exterior of the building.

**Location Selection**

This location was selected because the salon currently operates just a few blocks to the north.

**Proposed Days/Hours of Operation**

Trend Styles Salon's hours of operation are Monday-Friday from 9:00am-7:00pm and Saturday from 9:00am-6:00pm. It is assumed that the professional office spaces will operate under a normal business hours of operation Monday-Friday from 8:00am-5:00pm.

**Parking**

The City of Sheboygan Zoning Ordinance requires 1 parking stall per 300 square feet of floor area. At 4,322 square feet, 14 parking stalls are required. In addition, there is 1 parking stall required for each of the bedrooms in the second floor apartment. With 5 bedrooms, 5 additional parking stalls are required, bringing the total to 19 required, plus 1 ADA parking stall. 15 parking stalls will be provided plus 1 ADA parking stall.

**Nuisance Issues**

We do not believe that the proposed improvements will create any further nuisance to adjoining property owners. Potential vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, and hazardous materials are not anticipated for this operation. Waste materials will be kept inside, and there will not be a dumpster on-site. We believe the proposed development complies with all requirements of Sub-Chapter 15-7.

**Architectural Renovations**

At this time, there are no plans to improve the exterior of the building.

Please let me know if there are any further questions.

Sincerely,

Legacy Architecture, Inc.

*Jennifer L. Lehrke*

Jennifer L. Lehrke, AIA, LEED AP, NCARB  
President, Principal Architect & Historic Preservation Consultant

DRAWING INDEX	
SHEET	DESCRIPTION
A0.01	PROJECT INFORMATION, DRAWING INDEX, SITE LOCATION
A0.02	SITE PLAN
A2.01	FIRST FLOOR PLAN
A4.01	ENLARGED TOILET ROOM PLAN & DETAILS
-	-
-	-
-	-
-	-
-	-
-	-
-	-

ABBREVIATIONS		NOTE: CLARIFY WITH ARCHITECT ALL ABBREVIATIONS NOT LISTED	
A.C.T.	ACoustical CEILING TILE	F.E.	FIRE EXTINGUISHER
A.F.F.	ABOVE FINISH FLOOR	F.E.C.	FIRE EXTINGUISHER CABINET
ALUM.	ALUMINUM	FIN.	FINISH
APPROX.	APPROXIMATE	FLR.	FLOOR
ARCH.	ARCHITECT	FLUOR.	FLUORESCENT
BLDG.	BUILDING	FOUN.	FOUNDATION
BLDG.	BLOCKING	FT.	FOOT or FEET
BOT.	BOTTOM	FTG.	FOOTING
BTWN.	BETWEEN	GA.	GAUGE
B.W.	BOTHWAYS	GALV.	GALVANIZED
CL.	CENTERLINE	G.C.	GENERAL CONTRACTOR
CLD.	CEILING	GFR. BD.	GYPSUM BOARD
CL.R.	CLEAR	H.S.	HOSE SIB
C.M.U.	CONCRETE MASONRY UNIT	HOWR.	HARDWARE
COL.	COLUMN	H.M.	HOLLOW METAL
CONC.	CONCRETE	H.V.A.C.	HEATING, VENTILATION & AIR
CONT.	CONTINUOUS	COND.	CONDITIONING
C.T.	CERAMIC TILE	I.D.	INSIDE DIAMETER
D.F.	DRINKING FOUNTAIN	INSUL.	INSULATION
DIAM.	DIAMETER	INT.	INTERIOR
DIAG.	DIAGONAL	JAN.	JANITOR
DN.	DOWN	MAX.	MAXIMUM
DS.	DOWNSPOUT	MECH.	MECHANICAL
DWG.	DRAWING	MN.	MINIMUM
EA.	EACH	MISC.	MISCELLANEOUS
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	M.O.	MASONRY OPENING
ELEV.	ELEVATION	MTL.	METAL
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT
ELEV.	ELEVATION	NO.	NUMBER
EQ.	EQUAL	NOM.	NOMINAL
EQUIP.	EQUIPMENT	N.T.S.	NOT TO SCALE
EW.	EACH WAY	W.P.	WITH
EXIST.	EXISTING	W.C.	WATER CLOSET
EXT.	EXTERIOR	WO.	WOOD
F.A.	FIRE ALARM	W/O.	WITHOUT
F.D.	FLOOR DRAIN	WID.	WIDTH
F.D.C.	FIRE DEPARTMENT CONNECTION	O.S.B.	ORIENTED STRAND BOARD

LEGEND	
MATERIAL DESIGNATIONS	ARCHITECTURAL SYMBOLS
CONCRETE	CERAMIC TILE
STONE	GLAZING
BRICK	SHINGLES
EARTH	WOOD BLOCKING
GRAVEL	FINISHED WOOD
CONCRETE	PLYWOOD or O.S.B.
CONCRETE BLOCK	GYPSUM BOARD
BRICK	RIGID INSULATION
METAL	SPRAY FOAM INSULATION
WOOD or METAL STUDS	LOOSE FILL or BATT INSULATION
	<b>LAYOUT DESIGNATION</b>
	SECTION
	DETAIL
	<b>ELEVATION</b>
	NORTH DESIGNATION
	REVISION
	<b>ROOF SLOPE INDICATION</b>
	COLUMN GRID
	CENTER LINE
	WALL TYPE
	WINDOW TYPE
	DOOR NUMBER
	ROOM NUMBER
	ELEVATION TAG
	SPOT ELEVATION
	EXISTING CONTOUR LINE
	NEW CONTOUR LINE

**NOTES**

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS & CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
- INFORMATION PERTAINING TO EXISTING PROJECT CONDITIONS, SUCH AS PRESENT LOCATIONS OF ARCHITECTURAL AND STRUCTURAL BUILDING COMPONENTS, MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ROUGH-INS, AND OTHER MISCELLANEOUS CONSTRUCTION, APPEARS IN THE DRAWINGS WHILE SUCH INFORMATION HAS BEEN BASED ON AVAILABLE RECORDS AND COLLECTED WITH REASONABLE CARE. THE ARCHITECT AND OWNER DO NOT ASSUME ANY EXPRESSED OR IMPLIED GUARANTEE THAT CONDITIONS SO INDICATED ARE SHOWN ENTIRELY COMPLETE, CORRECT, AND REPRESENTATIVE OF THOSE ACTUALLY EXISTING. ALL CONTRACTORS SHALL THEMSELVES AS TO ALL EXISTING JOB CONDITIONS PRIOR TO CONSTRUCTION AND VERIFY ALL DIMENSIONS AT THE SITE. THE EXACT LOCATION OF ALL UTILITIES MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY CONSTRUCTION.

# COMMERCIAL REMODEL FOR: TREND STYLES SALON 2258 CALUMET DRIVE SHEBOYGAN, WISCONSIN 53083



1  
A0.01

**SITE LOCATION**

SCALE 1" = 60'-0"



**SITE DESCRIPTION**

PARCEL NO. 82081H2148; 82081H2147S; AND 82081H21500 (BEING) LOTS 18, 20, AND 22 OF KOHL'S SUBDIVISION, CITY OF SHEBOYGAN, WISCONSIN.

NO.	REVISIONS	DATE

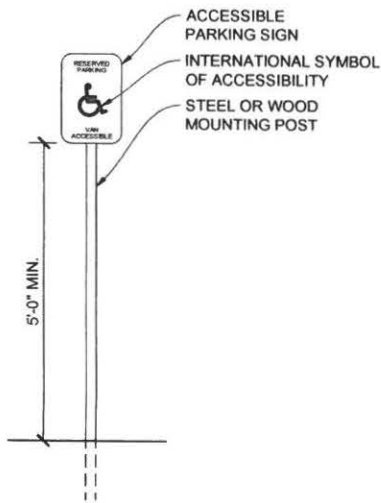
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224 Chicago Avenue  
Sheboygan, WI 53081  
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www.legacy-architecture.com



**COMMERCIAL REMODEL FOR:  
TREND STYLES SALON  
2258 CALUMET DRIVE  
SHEBOYGAN, WISCONSIN 53083**

<b>PROJECT NUMBER</b>	14.037
<b>DRAWN BY</b>	B. SHORT
<b>CHECKED BY</b>	J. LEHRKE
<b>DATE</b>	09/09/14
<b>SHEET TITLE</b>	DRAWING INDEX
<b>PROJECT INFO</b>	SITE LOCATION
<b>SHEET NUMBER</b>	A0.01

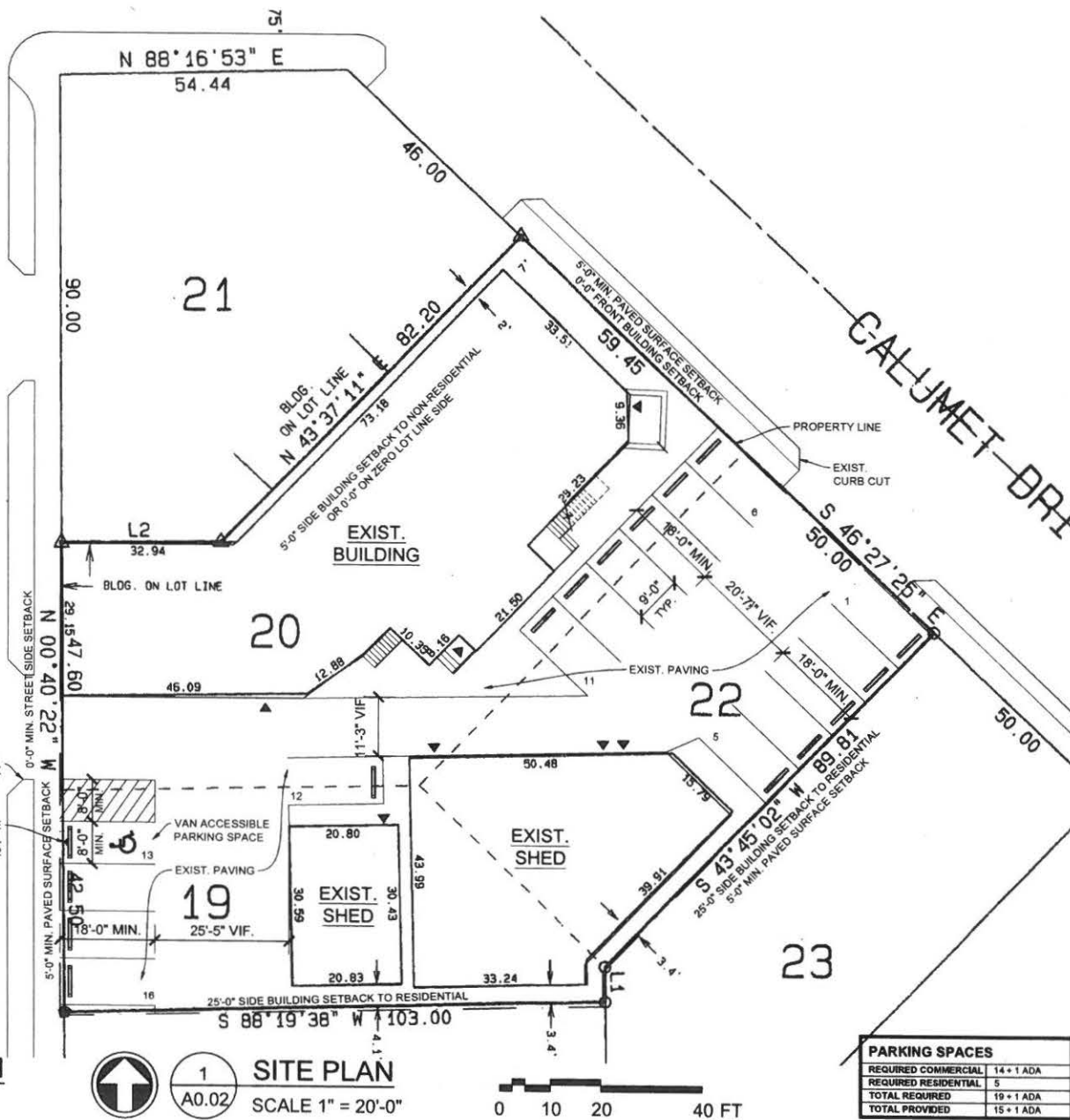
PRELIMINARY - NOT FOR CONSTRUCTION



NOTE: VAN ACCESSIBLE PARKING SPACE SHALL BE 96" MIN. IN WIDTH WITH AN ADJACENT ACCESS AISLE 96" MIN. IN WIDTH. SPACE SHALL BE MARKED TO DEFINE WIDTH MEASURED FROM THE CENTER LINE OF THE MARKINGS. ACCESS AISLES SHALL BE MARKED TO DISCOURAGE PARKING WITHIN THEM. VAN PARKING SPACES THAT ARE ANGLED SHALL HAVE ACCESS AISLE LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE. ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY SIGNS WHICH INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE."

2 ACCESSIBLE PARKING SIGN  
A0.02 SCALE 1/2" = 1'-0"

KOHLES COURT



1 SITE PLAN  
A0.02 SCALE 1" = 20'-0"

PARKING SPACES	
REQUIRED COMMERCIAL	14 + 1 ADA
REQUIRED RESIDENTIAL	5
TOTAL REQUIRED	19 + 1 ADA
TOTAL PROVIDED	15 + 1 ADA

PRELIMINARY - NOT FOR CONSTRUCTION

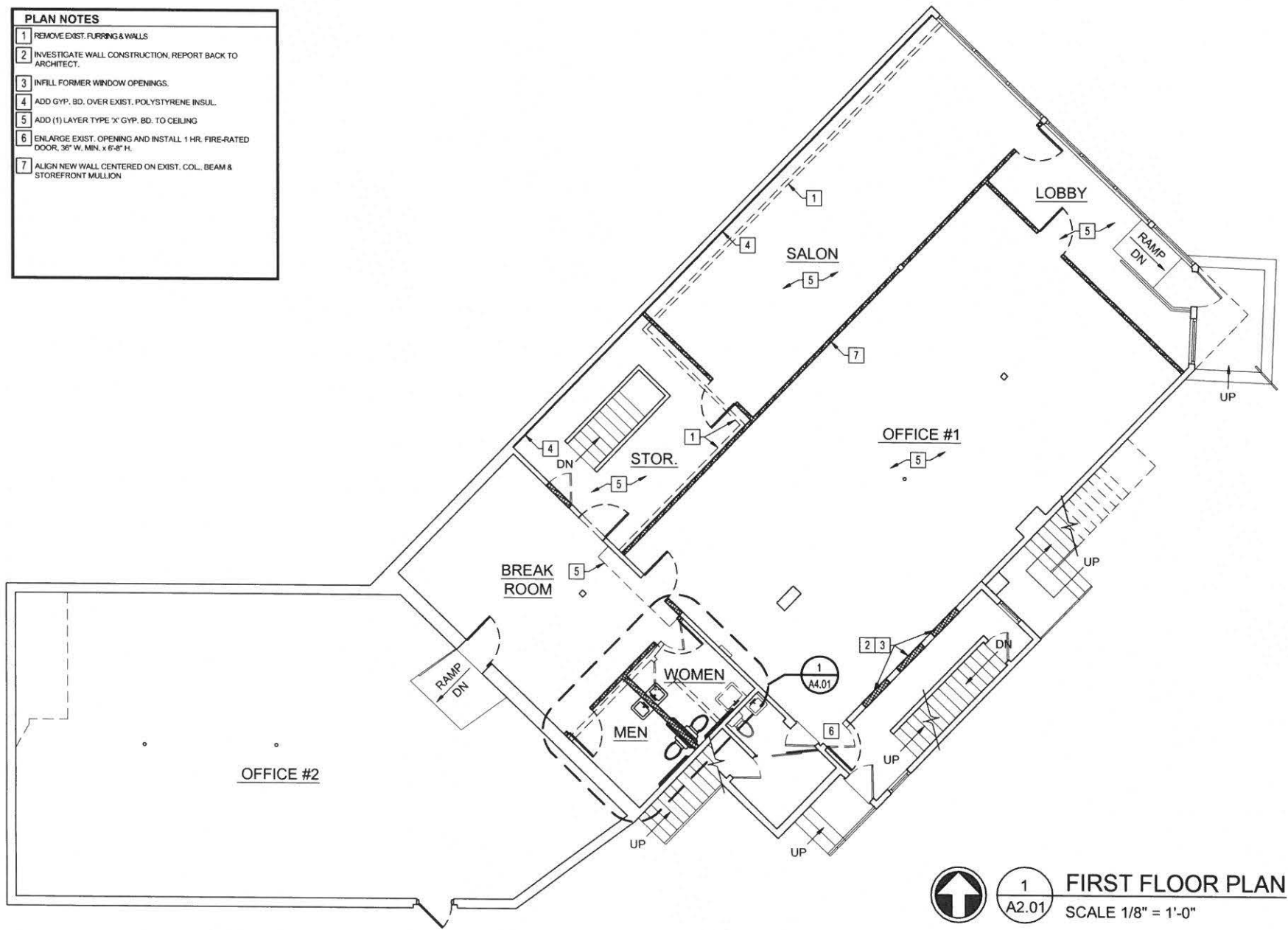
NO.	REVISIONS	DATE

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COMMERCIAL REMODEL FOR:  
TREND STYLES SALON  
2258 CALUMET DRIVE  
SHEBOYGAN, WISCONSIN 53083

PROJECT NUMBER	14.037
DRAWN BY	B. SHORT
CHECKED BY	J. LEHRKE
DATE	09/09/14
SHEET TITLE	SITE PLAN
SHEET NUMBER	A0.01

PLAN NOTES	
1	REMOVE EXIST. FURRING & WALLS
2	INVESTIGATE WALL CONSTRUCTION, REPORT BACK TO ARCHITECT.
3	INFILL FORMER WINDOW OPENINGS.
4	ADD GYP. BD. OVER EXIST. POLYSTYRENE INSUL.
5	ADD (1) LAYER TYPE 'X' GYP. BD. TO CEILING
6	ENLARGE EXIST. OPENING AND INSTALL 1 HR. FIRE-RATED DOOR, 36" W. MIN. x 6'-8" H.
7	ALIGN NEW WALL CENTERED ON EXIST. COL. BEAM & STOREFRONT MULLION.




1 **FIRST FLOOR PLAN**  
 SCALE 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

NO.	REVISIONS	DATE



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Sheboygan, Wisconsin 53081  
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**COMMERCIAL REMODEL FOR:**  
**TREND STYLES SALON**  
 2258 CALUMET DRIVE  
 SHEBOYGAN, WISCONSIN 53083

PROJECT NUMBER 14.037
DRAWN BY B. SHORT
CHECKED BY J. LEHRKE
DATE 09/09/14
SHEET TITLE FLOOR PLANS
SHEET NUMBER <b>A2.01</b>

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### City Map



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### City Map



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PARCEL NO. 111380  
MAP NO. 23 413 001  
ZONING CLASSIFICATION: SO

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: 9/23/14

FILING FEE: \$100.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN**  
**SITE PLAN REVIEW APPLICATION**  
(Requirements Per Section 15.908)  
Revised May, 2012

*pd*

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted. Application filing fee is non-refundable.

**1. APPLICANT INFORMATION**

APPLICANT: Sheboygan County (Attn Jim TeBeest)  
ADDRESS: 525 n. Ceth street  
E-MAIL: jim.tebeest@sheboygancounty.com  
PHONE: (920) 946-6822 FAX NO.: ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Law Enforcement Center  
ADDRESS OF PROPERTY AFFECTED: 525 n. Ceth street.  
LEGAL DESCRIPTION: \_\_\_\_\_

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: \_\_\_\_\_  
Sheriff Operations

BRIEF DESCRIPTION OF **PROPOSED** OPERATION OR USE: \_\_\_\_\_  
No Change

BRIEF DESCRIPTION OF TYPE OF STRUCTURE: Window replacement  
Generator Enclosure, interior remodeling

**Sheboygan County**  
**Sheriff's Department Dispatch Center**  
Venture Project No. 140103.00

September 12, 2014

## **Application for Site Plan review – additional information**

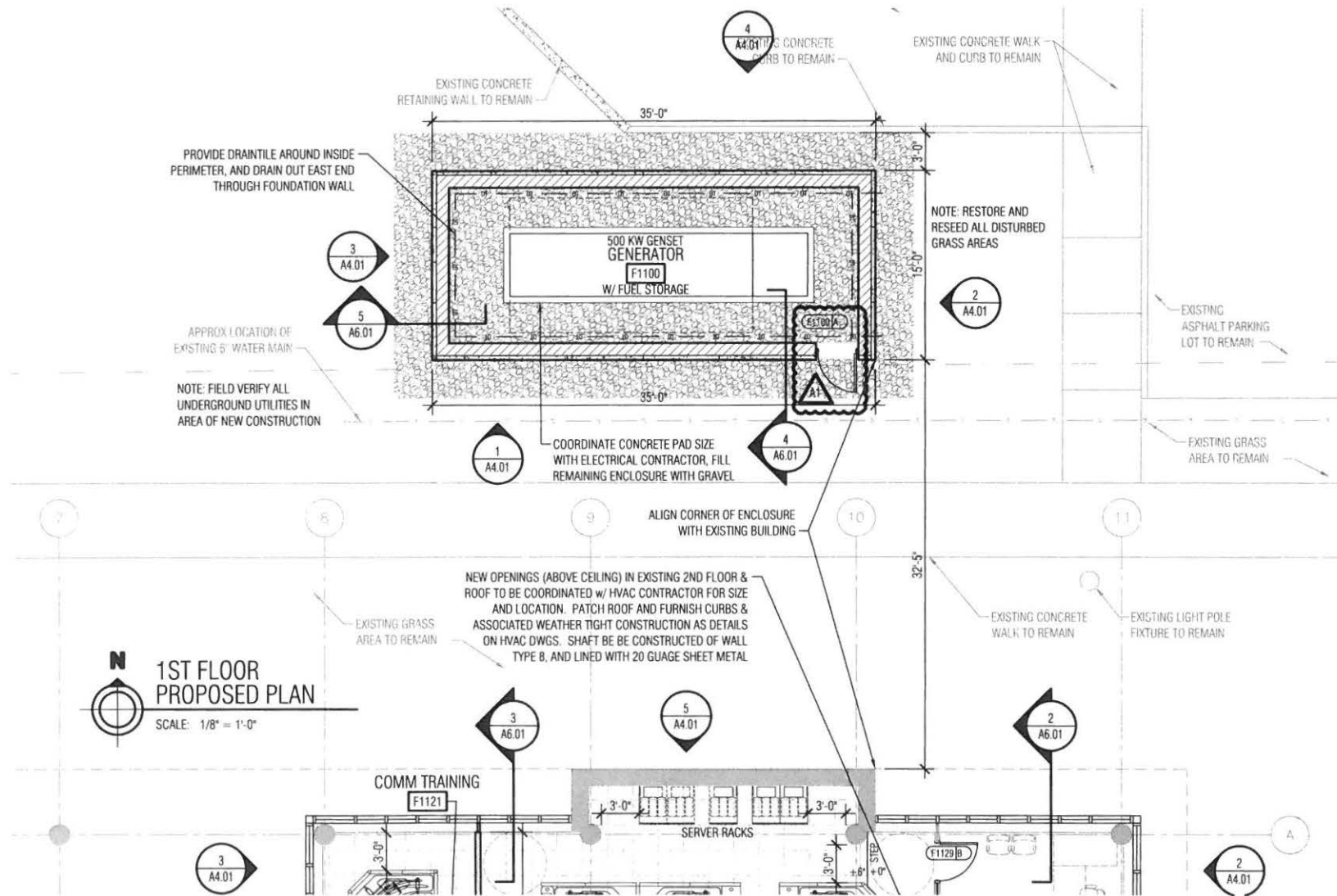
### **INTENDED USE DESCRIPTION**

1. **Generator Need**
  - The project includes remodeling of the present Law Enforcement Center for dispatching. Since dispatching requires communication in normal and emergency conditions, an emergency generator of appropriate capacity is required to allow uninterrupted electrical service in support of these operations. The present generator does not have adequate capacity and as a result of the additional load, larger equipment is required. The existing space within in the building will not accommodate this larger equipment and as a result the generator is proposed to be located outside and surrounded by a masonry and architectural precast screen wall.
2. **Enclosure Height**
  - The generator sits on a reinforced concrete foundation to support the weight and to dampen sound. The generator sits on the pad and its overall height is concealed by a wall constructed of concrete masonry and architectural precast concrete (APC). The APC and overall wall height is 12'-0" on the east and the overall height diminishes to the west as grade rises to approximately 9'-0"
3. **Window Replacement**
  - Windows are being replaced within the existing facility to harden the building envelope and ensure survivability of the 911 center in accord with the NFPA guidelines for such facilities. NFPA is the common definer of these standards. The existing 911 center is located inside the building with no access to natural light. As it is internalized, there are no windows hardened in accord with the standard. The center is being relocated to allow expansion, a phased solution, and to provide an improved environment for the persons who work in that space. With this location, the windows will be replaced with bullet resistive glass to conform to NFPA standards and as is common in the design of buildings such as this. The mullion and glass colorization will be to match the present window system but with enhanced protection for those who will operate in the center.
4. **Why Remodel?**
  - The project requires additional space for equipment and personnel. Training adjacent to this space is also provided. The additional area necessary for the effort is found in the present facility by relocating several offices. This also allows better project sequencing as the radio componentry can be replaced without extended periods of "darkness" or off-line operations. In this sequence the new equipment will be fully operational and personnel adequately trained and familiarized so they can move into the new space and the old space can subsequently be retired.
5. **Sign Definition**
  - A building sign is currently located in the proposed generator location. To allow construction of the required generator, the present sign will be demolished. The replacement strategy is to place new aluminum letters on the generator enclosure. The letter area is 3' x 10'. The letters are not illuminated by flood or internal lamps. They are simple raised letter applied to the enclosure wall. They will be a contemporary font and colorization will match the existing Medium Bronze finish.

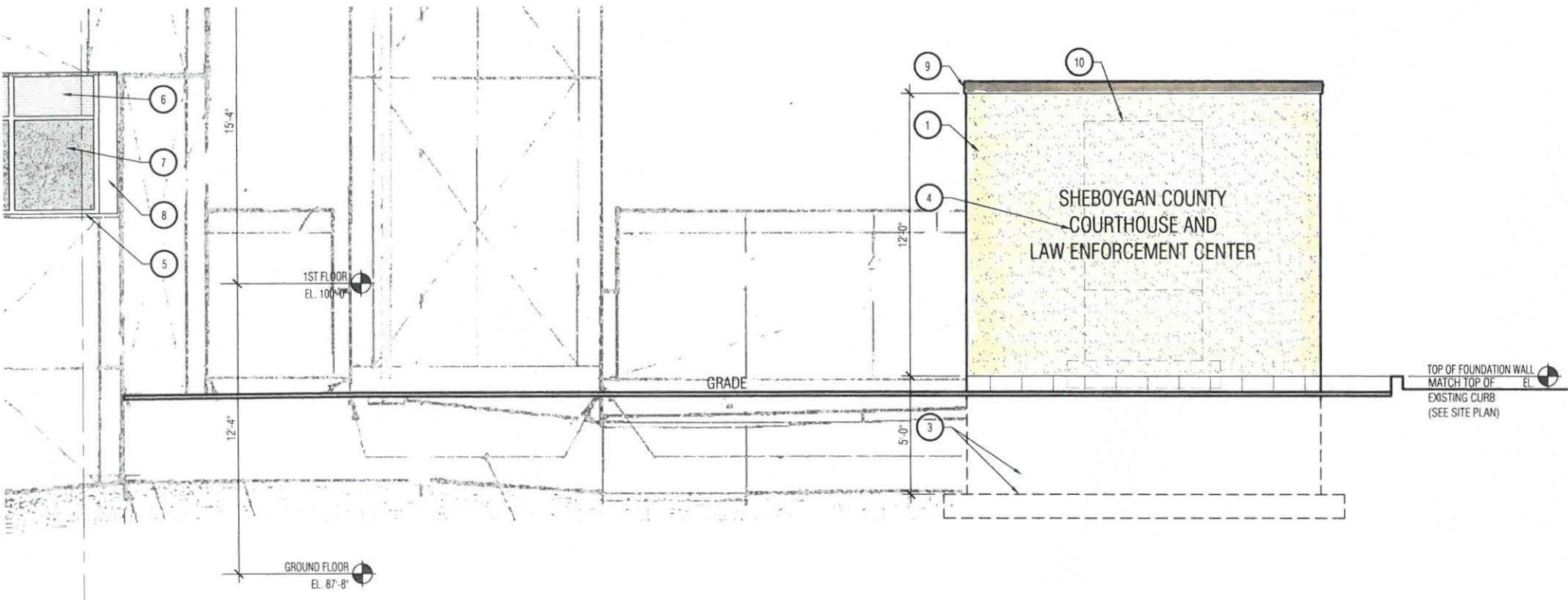
6. Landscaping

- Landscape materials are proposed around the base of the generator enclosure. The materials have been selected to ensure the walls meet the ground in a pleasant manner and soften the scale of the enclosure. Care has also been given to drainage of the spaces and that weeds are controlled to make this maintainable and visually appealing. Refer to the plant schedule for specific plant varieties.









2 EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



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**Courthouse  
Law Enforcement Center** ↕



PARCEL NO. 32170  
MAP NO. 02 201 001  
ZONING CLASSIFICATION: UI

Office Use Only  
DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

FILING FEE: \$100.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN**  
**SITE PLAN REVIEW APPLICATION**  
(Requirements Per Section 15.908)  
Revised May, 2012

**1. APPLICANT INFORMATION**

APPLICANT: Wisconsin Power & Light  
ADDRESS: 3739 Lake Shore Drive Sheboygan, WI 52081  
E-MAIL: johnmooney@alliantenergy.com  
PHONE: (920 ) 2072878 FAX NO.: ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Alliant Edgewater Plant  
ADDRESS OF PROPERTY AFFECTED: 3739 Lake Shore Dr. Sheboygan, WI 52081  
LEGAL DESCRIPTION: Alliant Energy Power Plant - Edgewater  
BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Power Plant Coal Dumper Building  
BRIEF DESCRIPTION OF **PROPOSED** OPERATION OR USE: Power Plant Coal Dumper Building – Extend Air Lock to mitigate coal dust in building  
BRIEF DESCRIPTION OF TYPE OF STRUCTURE: Power Plant Coal Dumper Building – Extend Air Lock to mitigate coal dust in building

**3. NAME AND ADDRESSES**

OWNER OF SITE: Wisconsin Power & Light  
ADDRESS: 3739 Lake Shore Drive Sheboygan, WI 52081  
E-MAIL: johnmooney@alliantenergy.com FAX NO.: ( )  
ARCHITECT: CDG  
ADDRESS: One Campbell Plaza St Louis Missouri 63139

PARCEL NO. \_\_\_\_\_  
MAP NO. \_\_\_\_\_  
ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

DATE SUBMITTED: \_\_\_\_\_  
REVIEW DATE: \_\_\_\_\_

FILING FEE: **\$100.00** (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN**  
**SITE PLAN REVIEW APPLICATION**  
(Requirements Per Section 15.908)  
Revised May, 2012

**5. APPLICATION SUBMITTAL REQUIREMENTS**

A. A written description of the intended use describing in reasonable detail the:

- Current land use present on the subject property.
  - **POWER PLANT – Coal dumping building – South Airlock Structure**
- Proposed land use for the subject property.
  - **POWER PLANT – Coal Dumping building - The Pre-Engineered Metal Building at Alliant Energy Edgewater Station in Sheboygan, Wisconsin is part of the Rotary Dumper Dust Mitigation Project.**
    - **The building will be called the South Airlock Structure and function to limit wind entry into the adjoining Rotary Dumper Building.**
  - **Size of existing building –**
    - **Car Thaw 25'x370'=9,250 sf**
    - **Car Dumper 84'x62'=5208 sf**
    - **Dust Collector 100'x44.5'=4,450 sf**
    - **TOTAL = 18,908 sf**
  - **Size of proposed addition (total of sf of building after addition)**
    - **18,908 sf + 1600 SF = 20,508 sf**
  - **Purpose of new structure, why is it needed, what is the benefit.**
    - **The Pre-Engineered Metal Building addition at Alliant Energy Edgewater Station in Sheboygan, Wisconsin is part of the Rotary Dumper Dust Mitigation Project. The building will be called the South Airlock Structure and function to limit wind entry into the adjoining Rotary Dumper Building to reduce coal dust.**
    - **Construction materials and colors – addition will match the existing building in terms of colors and materials (color elevation showing proposed addition).**
      - **Addition metal wall panel will match existing metal wall panel surfaces.**
  - An explanation of the existing use and all business activities to take place onsite.
    - **This is the existing power plant operations for Alliant Energy.**
    - **The Air Lock addition is being done to reduce coal dust caused by the wind**
  - An explanation of the proposed additions/uses and all business activities that will take place onsite.

lines

- **This is an unoccupied structure.**
- Any other information for the Plan Commission to understand the proposal.
  - **SEE ABOVE. No other information is available.**
- Projected number of residents, employees and /or daily customers.
  - **250**
- Proposed number of dwelling units, floor area and impervious surface area.
  - **1600 sf**
- Operation considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer and traffic generation. –
  - **24 hours per day, 7 days a week, 365 days per year. No impact on water usage or sanitary sewer. No additional traffic. Added structure is intended to reduce wind into the coal dumping are to mitigate coal dust. The Airlock will also reduce noise from the dumping operation**
- Operational considerations relating to potential nuisance creation pertaining to compliance with the performance standards addressed in Sub-Chapter 15-7 (Sections 15.701 - 15.721) of the Zoning Ordinance including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage and hazardous materials.
  - **This airlock structure will reduce noise and reduce the amount of coal dust when dumping.**
  - **There are no hazards related to this air lock structure.**
  - **There is no street access for this addition.**
  - **There is no addition traffic or parking or loading required.**
  - **There is no storage required**
  - **The existing two light fixtures will be moved by the owner to accommodate the airlock**
  - **This will reduce air pollution.**
  - **There is no waste or other items related to this structure.**
- Exterior building and fencing materials (Section 15.718 and 15.720)
  - **Metal wall panel to match existing finishes on the existing structure.**
  - **No fencing will be installed.**
- If no nuisances will be created (compliance with the provisions of Sub-Chapter 15-7), then include the statement, "The proposed development complies with all requirements of Sub-Chapter 15-7" –
  - **The proposed development complies with all requirements of Sub-Chapter 15-7"**
- Possible future expansion and related implications for points above.
  - **No future expansion beyond this is intended.**

- **There are no storage areas or screening required.**
- The location, type, height, size and lighting of all signage on the subject property.
  - **There is no signage required**
- The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property - including compliance with Section 15.707.
  - **There is existing lighting at the current overhead door**
  - **That lighting will be moved to the new door opening.**
- The location and type of any green space areas.
  - **Due to the railroad tracks and gravel required there are not any green spaced.**
- The location of existing and proposed drainage facilities.
  - **There is one storm drain that remains and is being used for the drainage**
  - **The drainage plan does not change**
- C. Submit TWO (2) copies of a detailed landscape plan of the subject property (Section 15.601).
  - **NO LANDSCAPING WILL BE REQUIRED.**
  - **Area around the structure is gravel due to railroad tracks.**
- See landscape plan requirements and format.
  - D. Submit TWO (2) copies of a grading and erosion control plan.
    - **Erosion Control will be installed at perimeter.**
- Same scale as the main plan (or equal to 1" = 100').
- Plan reduction at 11" X 17".
- Showing existing and proposed grades including retention walls and related devices and erosion control measures.
  - **There are no retention walls**
- Submit TWO (2) copies of the elevation drawings of proposed buildings or remodeling of existing buildings.
- Showing finished exterior treatment.
  - **METAL WALL PANEL TO MATCH EXISTING BUILDING.**
- Labels depicting exterior materials, texture, color and overall appearance.
  - **METAL WALL PANEL TO MATCH EXISTING BUILDING.**
- Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.



ALLIANT ENERGY

# EDGEWATER STATION SHEBOYGAN, WISCONSIN

## ROTARY DUMPER DUST MITIGATION

### DRAWING INDEX

DRAWING NUMBER	TASK OR DRAWING DESCRIPTION	REVISION	REVISION DATE
T-001	COVER SHEET - DRAWING INDEX	2	05/28/14
KP-001	KEY PLAN - EXISTING/NEW STRUCTURES	1	05/28/14
GA-100	GENERAL ARRANGEMENT - PLAN	2	05/28/14
GA-101	GENERAL ARRANGEMENT - ELEVATION	2	05/28/14
GA-102	GENERAL ARRANGEMENT - ELEVATION	1	10/18/13
S-100	FOUNDATION - PLAN	1	10/18/13
S-101	FOUNDATION - SECTIONS & DETAILS	1	10/18/13
S-102	RAIL EXIT SLAB - PLAN & SECTIONS	1	10/18/13
S-103	STRUCTURAL DETAILS	0	10/18/13
S-200	DESIGN CRITERIA - WORK REQUIREMENTS	1	10/18/13
A-100	RAILCAR EXIT DOOR-CURTAIN - ELEVATION AND DETAILS	2	05/28/14
A-101	AIRLOCK STRUCTURE WIND CONTROL CURTAINS - ELEVATION, SECTION & DETAILS	1	10/18/13
A-102	CAR THAW SHED WIND CURTAIN - ELEVATION, SECTIONS & DETAILS	0	10/18/13
A-103	ARCHITECTURE - SIDING/FLASHING DETAILS	1	10/18/13
M-100	WASHDOWN DRAINAGE PIPING - PLAN	2	05/28/14

**\*\*PRELIMINARY\*\*  
NOT FOR CONSTRUCTION  
2014-05-28**

REV.	DATE	DESCRIPTION	APPROVED
2	05/28/14	REISSUED/REVISED>CONSTRUCTION BIDS	MFR
1	10/18/13	REISSUED/REVISED>CONSTRUCTION BIDS	MFR
0	09/19/13	ISSUED > CONSTRUCTION BIDS	MFR



DRAWN BY	WLE
CHECKED BY	MFR
SCALE	NONE
DATE	09/19/2013

ROTARY CAR DUMPER AIRLOCK STRUCTURE  
COVER SHEET  
DRAWING LIST  
ROTARY DUMPER DUST MITIGATION

PROJECT NO.	13045
DRAWING NO.	T-001



**GENERAL NOTES:**

1. SCOPE OF WORK/DESIGN - AIRLOCK STRUCTURE FOUNDATION, CONCRETE FLOOR, CONCRETE WALLS, CONCRETE ROOF, REBAR CONCRETE, ANCHOR BOLTS, WOODWORK, DRAIN SYSTEMS, ETC. ALL MATERIALS, WORK AND EQUIPMENT AS REQUIRED TO COMPLETE THE SPECIFIED WORK.
2. SOLE OF WORK/DESIGN - AIRLOCK STRUCTURE, FORMWORK, CONCRETE, REBAR, ANCHOR BOLTS, WOODWORK, DRAIN SYSTEMS, ETC. ALL MATERIALS, WORK AND EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.
3. SCOPE OF WORK/DESIGN - TRACKING CONTRACTOR REMOVE EXISTING RAIL AS REQUIRED FOR EXCAVATION/FOUNDATION WORK. EXISTING RAIL AS REQUIRED TO COMPLETE THE WORK. EXISTING RAIL AS REQUIRED TO COMPLETE THE WORK.
4. LOCATION REQUIREMENTS, PLACE/OBJECT/PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF DRAWING S-200.
5. EXISTING CONDITIONS, WORKING CONDITIONS ARE NOTED ON THE DRAWINGS. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF ANY UNEXPECTED CONDITIONS/ENCUMBRANCES ARE ENCOUNTERED.
6. ALL CONSTRUCTION SHALL BE TO ORIGINAL CONDITION AND OBTAIN APPROVAL FROM THE OWNER REPRESENTATIVE PRIOR TO SITE DEMOLITION.

**KEYED NOTES:**

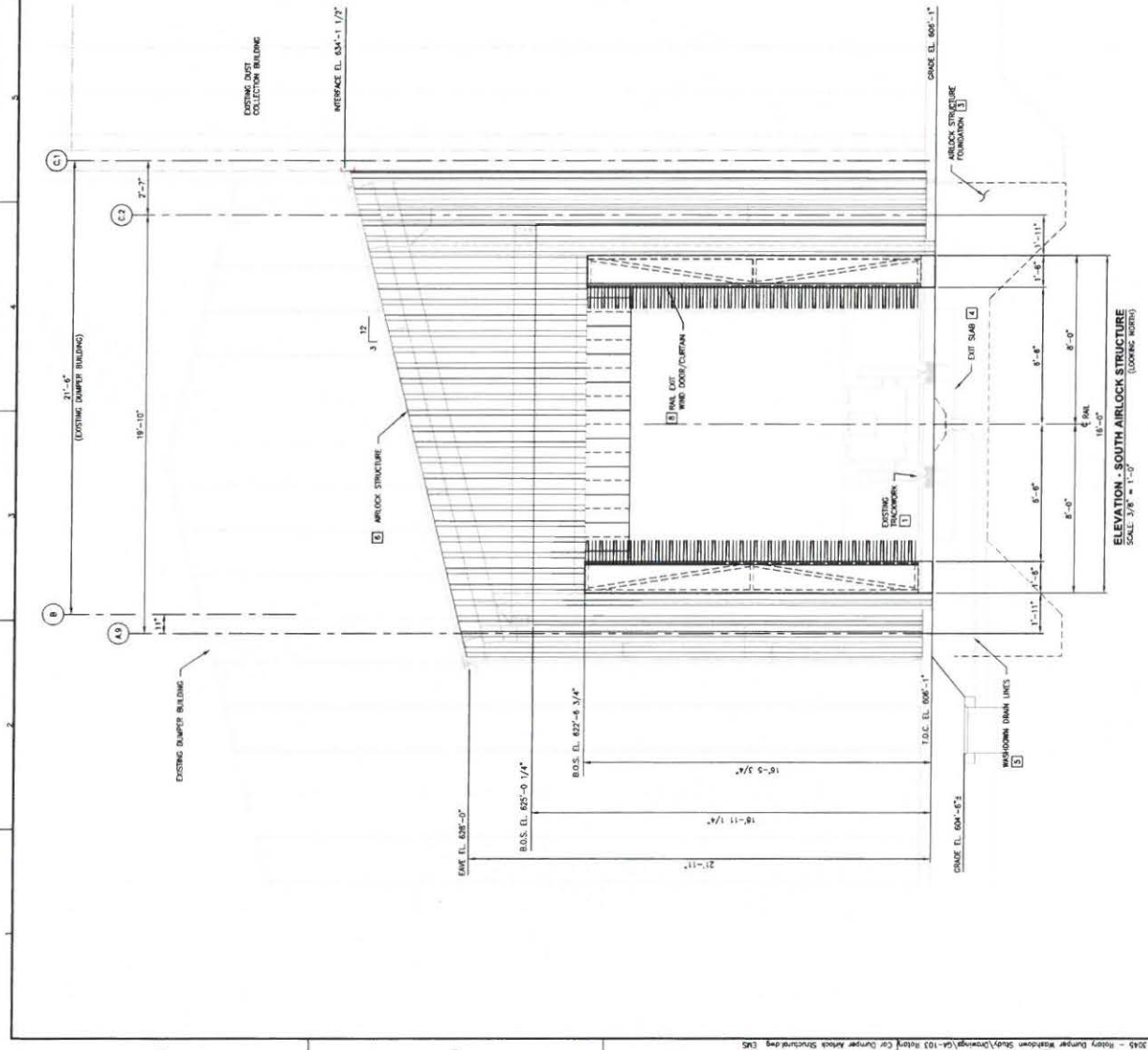
- 1 EXISTING TRACKS/RAIL REMOVE EXISTING RAIL AS REQUIRED FOR EXCAVATION/FOUNDATION WORK. EXISTING RAIL FOLLOWING COMPLETION OF FOUNDATION WORK. REFER TO DRAWING S-101.
- 2 NOT USED THIS DRAWING
- 3 AIRLOCK STRUCTURE FOUNDATION. REFER TO DRAWINGS S-100 THROUGH S-102 FOR FOUNDATION DETAILS. DRAWING M-100 FOR WOODWORK FINISHING.
- 4 RAIL SLAB REFER TO DRAWING S-102 FOR RAIL EXIT SLAB DETAILS.
- 5 WOODWORK REFER TO DRAWING M-100 FOR WOODWORK FINISHING INSTALLATION/NOTATIONS.
- 6 AIRLOCK STRUCTURE REFER TO DRAWINGS GA-100 THROUGH GA-102 AND A-100 THROUGH A-102 FOR DESIGN REQUIREMENTS. REFER TO DRAWING S-13419 FOR PRE-CAST/CAST METAL WALLING REQUIREMENTS.
- 7 WIND CONTROL CURTAINS REFER TO DRAWING A-101 AND A-102 FOR WIND CONTROL CURTAINS.
- 8 RAIL FOR WIND BOARDS. REFER TO DRAWING A-100 FOR RAIL FOR WIND BOARDS/WIND CURTAIN.
- 9 NOT USED THIS DRAWING

**LEGEND:**

NEW  
 EXISTING

**\*\*PRELIMINARY\*\*  
 NOT FOR CONSTRUCTION**  
 2013-10-21

NO.	DATE	DESCRIPTION
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0	09/19/13	ISSUED > CONSTRUCTION BIDS
		MFR
		MFR

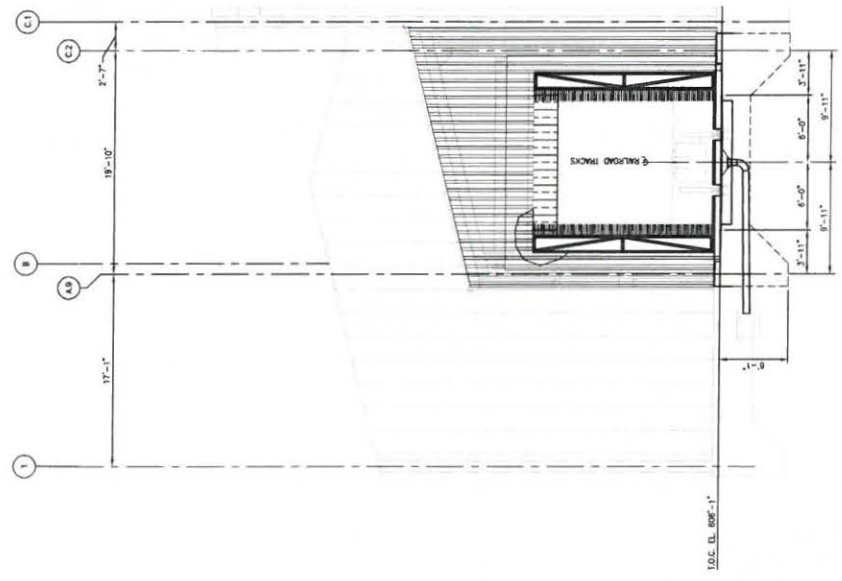


ELEVATION - SOUTH AIRLOCK STRUCTURE  
 (LOOKING NORTH)  
 SCALE 3/8" = 1'-0"

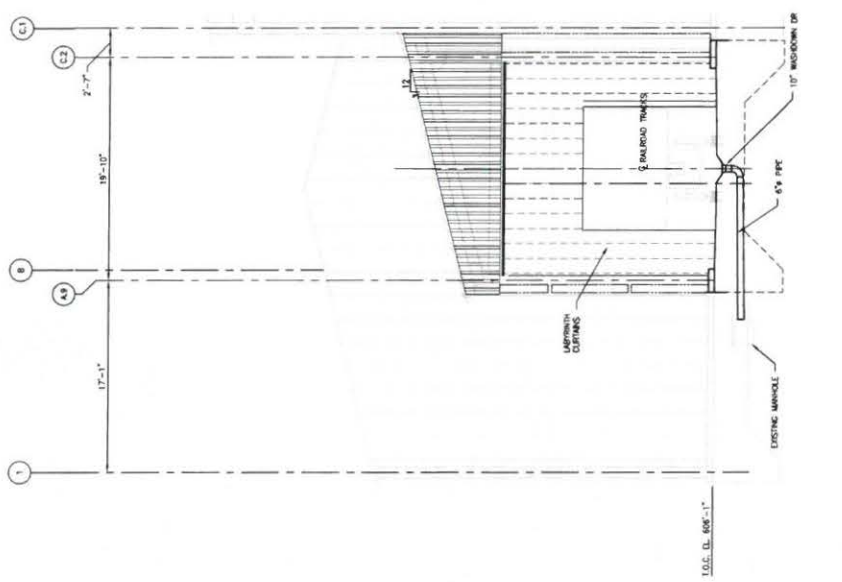
**GENERAL NOTES:**  
 1. X

**KEYED NOTES:**  
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**\*\*PRELIMINARY\*\*  
 WORK-IN-PROGRESS  
 2013-09-13**



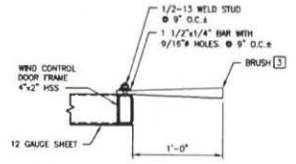
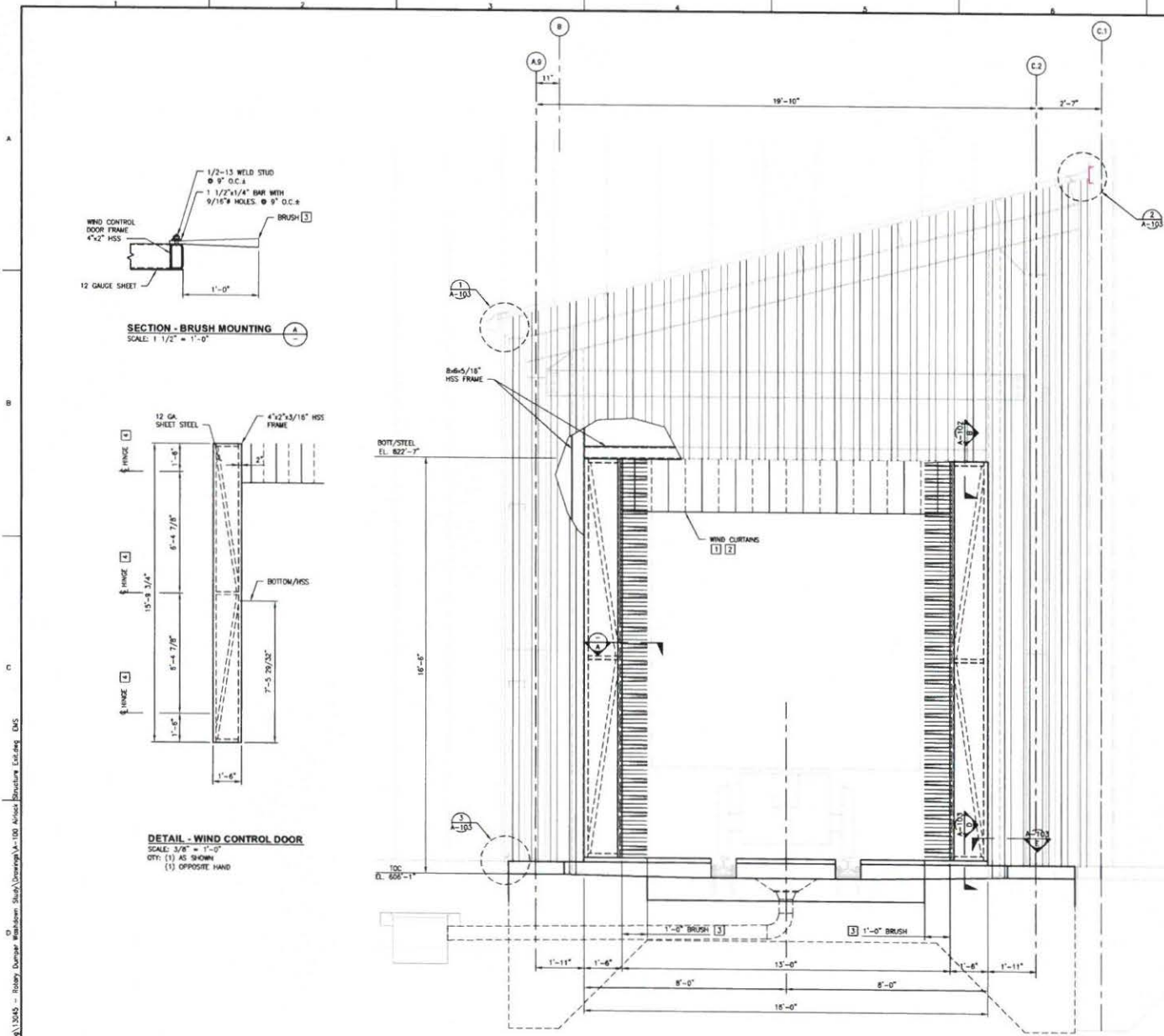
**ELEVATION - AIRLOCK STRUCTURE**  
 SCALE: 3/16" = 1'-0"  
 (LOOKING NORTH)



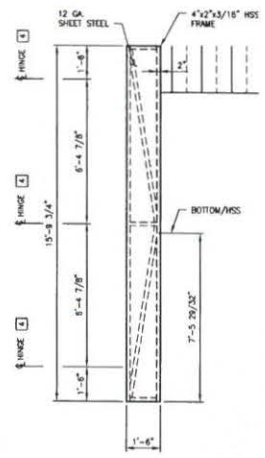
**SECTION - WIND CURTAINS AIRLOCK STRUCTURE**  
 SCALE: 3/16" = 1'-0"

REV.	DATE	DESCRIPTION	BY	CHKD.
A	08/13/13	ISSUE > WORK IN PROGRESS	MFR	

T:\working\13045 - Rotary Dumper Washdown Study\Drawings\A-100 Railcar Structure Exit.dwg, A-100 RAILCAR EXIT DOOR CURTAIN, 5/28/2014 10:17:25 AM hardin, PDF XChange for Acrobat Project Landscape Tabloid ANSI B.1.2



SECTION - BRUSH MOUNTING  
SCALE: 1 1/2" = 1'-0"



DETAIL - WIND CONTROL DOOR  
SCALE: 3/8" = 1'-0"  
CITY: (1) AS SHOWN  
(1) OPPOSITE HAND

ELEVATION - AIRLOCK STRUCTURE EXIT DOORS  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES:**

- SCOPE OF WORK/SUPPLY - AIRLOCK STRUCTURE FOUNDATION INCLUDES: PERFORM ALL DEMOLITION AND EXCAVATION/BACKFILL, FORMER AND PLACE/PAVING, FURNISH ALL SUBBASE MATERIALS, FORMWORK, REBAR, CONCRETE, ANCHOR BOLTS, WASHDOWN DRAIN PIPING AND MISCELLANEOUS MATERIALS/SUPPLIES AS INDICATED IN THE DESIGN DRAWINGS/DOCUMENTS. FURNISH ALL EQUIPMENT/CONSTRUCTION AIDS AS REQUIRED TO COMPLETE THE SPECIFIED WORK.
- SECTION REQUIREMENTS, PLACE/ERECT/PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF DRAWING S-200.

**KEYED NOTES:**

- WIND CURTAIN: WIND CURTAIN MATERIAL TO BE 16" WIDE STRIP ANTI-STATIC COMPOUND 1/16" THICKNESS WITH FULL OVERLAP. MOUNTING BRACKET TO BE GALVANIZED WITH 1/4"x1" THICK STUDS @ 2" CENTERS. WIND CURTAIN SUPPLIER - LOADING DOCK SUPPLY, LLC. MR. BEN BUDDICKEL, 800-741-1226.
- WIND CURTAIN MOUNTING BRACKET-FABRICATOR NOTE: PLUS WELD CURTAIN BRACKET TO TUBE MEMBER USING BRACKET MOUNTING HOLES.
- STRIP BRUSHES: BRUSHES TO BE 040 OR NATURAL POLYPROPYLENE, 12" LENGTH (PRECISION BRUSH CO., SOLON, OHIO, PHONE: 800-252-4747 OR EQUAL).
- HINGES: FURNISH (3) THREE DOUBLE ACTING HEAVY DUTY STEEL HINGES PER DOOR, SIMILAR TO EXISTING EXIT DOOR OR SHEER-PIN HINGERS.
- SHOP FINISH: SHOP FINISH DOORS TO MATCH SPRING COLOR USING BUILDING SUPPLIER STANDARD COATING SYSTEM.

**\*\*PRELIMINARY\*\***  
**NOT FOR CONSTRUCTION**  
2014-05-28

REV.	DATE	DESCRIPTION	APPROVED
2	05/28/14	REISSUED/REVISED>CONSTRUCTION BIDS	MFR
1	10/18/13	REISSUED/REVISED>CONSTRUCTION BIDS	MFR
0	09/19/13	ISSUED > CONSTRUCTION BIDS	MFR

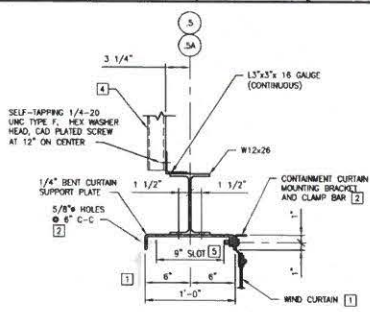
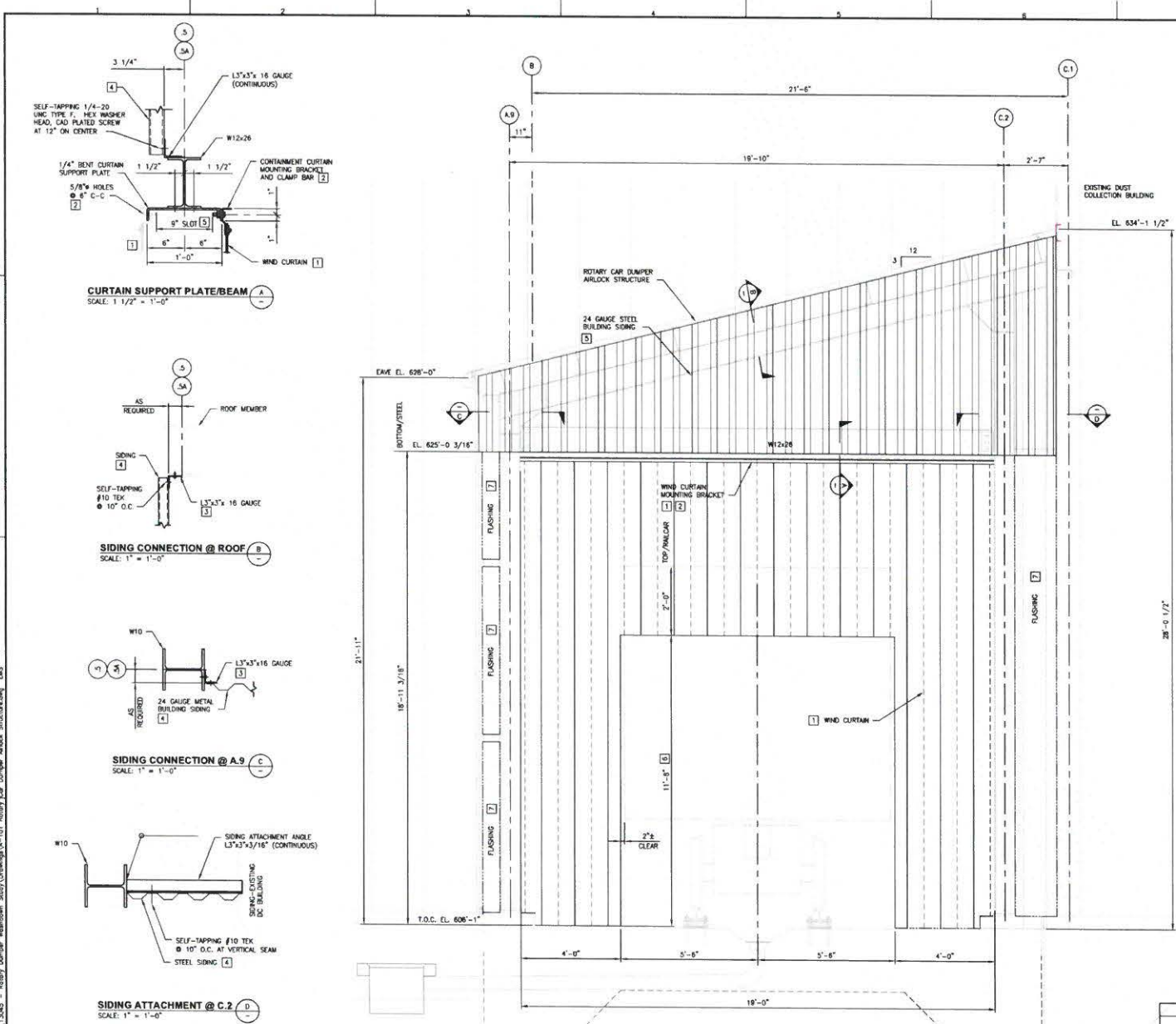


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CHECKED BY  
MFR  
SCALE  
AS NOTED  
DATE  
09/17/2013

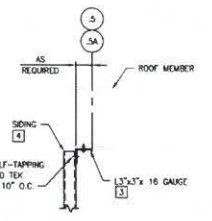
ROTARY CAR DUMPER AIRLOCK STRUCTURE  
RAILCAR EXIT DOOR-CURTAIN  
ELEVATION AND DETAILS  
ROTARY DUMPER DUST MITIGATION

PROJECT NO.  
**13045**  
DRAWING NO.  
**A-100**

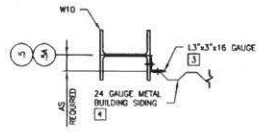
T:\working\13045 - Rotary Dumper Washdown Study\Drawings\A-101 Airlock Structure Wind Control Curtains.dwg, A-101 Airlock Structure Wind Control Curtains.dwg, A-101 Rotary Car Dumper Airlock Structure.dwg, A-101 Rotary Car Dumper Airlock Structure.dwg, DMS



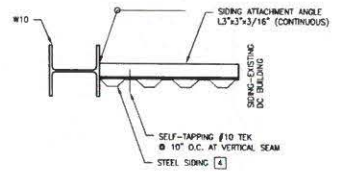
**CURTAIN SUPPORT PLATE/BEAM**  
SCALE: 1 1/2" = 1'-0"



**SIDING CONNECTION @ ROOF**  
SCALE: 1" = 1'-0"



**SIDING CONNECTION @ A.9**  
SCALE: 1" = 1'-0"



**SIDING ATTACHMENT @ C.2**  
SCALE: 1" = 1'-0"

**AIRLOCK (SOUTH) WIND CURTAIN @ COLUMN LINE 5 AND 5A**  
SCALE: 1/2" = 1'-0" (LOOKING NORTH)

- GENERAL NOTES:**
- SCOPE OF WORK/SUPPLY - AIRLOCK STRUCTURE: PERFORM ENGINEERING AS REQUIRED; FABRICATE/FURNISH/ERECT THE AIRLOCK STRUCTURE, WIND CONTROL CURTAINS/DOORS AND ANCHORAGES AS INDICATED IN THE DESIGN DOCUMENTS. FURNISH ALL EQUIPMENT/CONSTRUCTION AIDS AS REQUIRED TO COMPLETE THE SPECIFIED WORK. REFER TO SPECIFICATION 133419 FOR PRE-ENGINEERED METAL BUILDING REQUIREMENTS.
  - ERECTION REQUIREMENTS: PLACE/ERECT/PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF DRAWING S-200.

- KEYED NOTES:**
- WIND CURTAINS: WIND CURTAIN MATERIAL TO BE 18" WIDE STRIP ANTI-STATIC COMPOUND 2" THICKNESS WITH FULL OVERLAP. MOUNTING BRACKET TO BE GALVANIZED WITH 1/4"x1" THRD. STUDS @ 2' CENTERS. WIND CURTAIN SUPPLIER - LOADING DOCK SUPPLY, LLC, W. BEN BUECHEL, 860-741-1258.
  - WIND CURTAIN MOUNTING BRACKET-FABRICATOR NOTE: HOLE PATTERN FOR MOUNTING BRACKET ORIGINATES 2" FROM LEFT END AND THEN 6" O.C. ASSEMBLY USING 3/8" GRADE 5 BOLTS WITH IW, LW & NUT.
  - SIDING ATTACHMENT ANGLE: ATTACH SIDING ATTACHMENT ANGLE TO EXISTING FRAMING MEMBERS USING 1/4" SELF TAPPING BOLTS AT 6" O.C.
  - METAL SIDING: METAL SIDING TO BE 24 GA. STEEL, KYNAR FINISHED BOTH SIDES, WITH WHITE SILICONIZED POLYESTER PAINT.
  - CURTAIN ADJUSTMENT SLIDE - FURNISH 5/8"x9" SLOT IN CURTAIN SUPPORT PLATE STARTING 6" FROM EACH END AND 2'-0" C-C BETWEEN.
  - CURTAIN LENGTH - FURNISH CURTAINS AT NOMINAL LENGTH, FIELD TRIM TO FINAL DIMENSION.
  - CLOSURE FLASHING - FABRICATE, FURNISH AND INSTALL 20 GAUGE CLOSURE FLASHING IN AREAS INDICATED BETWEEN COLLARS AND SIDING.

**\*\*PRELIMINARY\*\***  
**NOT FOR CONSTRUCTION**  
2013-10-18

REV.	DATE	DESCRIPTION	APPROVED
1	10/18/13	REISSUED/REVISED>CONSTRUCTION BIDS	MFR
0	09/19/13	ISSUED > CONSTRUCTION BIDS	MFR



DRAWN BY  
**WLE**  
CHECKED BY  
**MFR**  
SCALE  
**AS NOTED**  
DATE  
**09/04/2013**

**ROTARY CAR DUMPER AIRLOCK STRUCTURE**  
**AIRLOCK STRUCTURE WIND CONTROL CURTAINS**  
**ELEVATION, SECTION & DETAILS**  
**ROTARY DUMPER DUST MITIGATION**

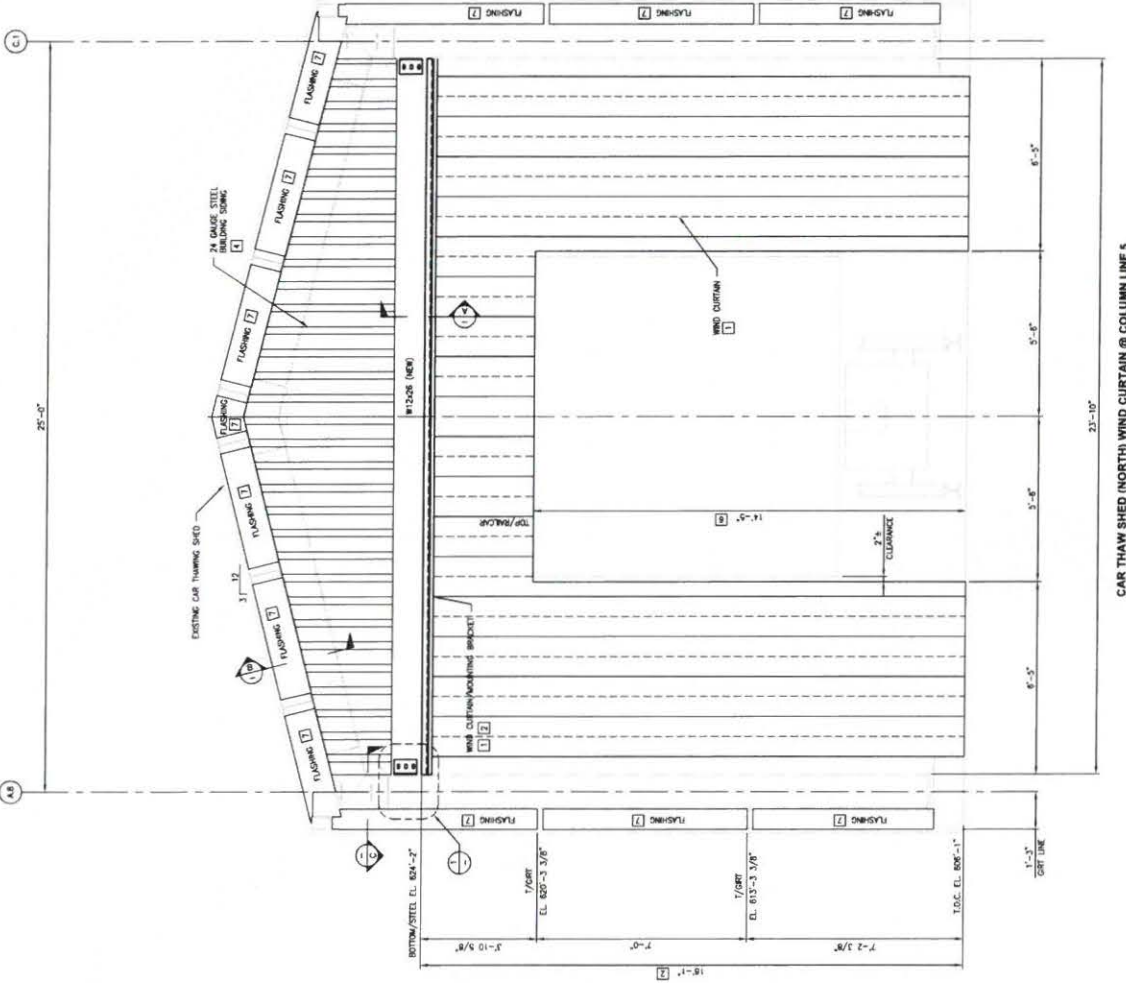
PROJECT NO.  
**13045**  
DRAWING NO.  
**A-101**

**GENERAL NOTES:**

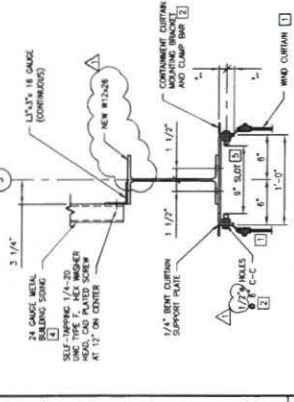
- SCALE OF WORKSHEETS - AIRLOCK STRUCTURE, PERFORM WORK AS SHOWN ON THIS SHEET. ALL DIMENSIONS AND WORK SHOWN IN THE DESIGN DOCUMENTS, THROUGH ALL STRUCTURE, AND CURTAIN, FOODS AND ACCESSORIES AS SHOWN. ALL DIMENSIONS AND WORK SHOWN IN THIS SHEET ARE TO BE CONSIDERED AS PART OF THE DESIGN. ALL DIMENSIONS AND WORK SHOWN IN THIS SHEET ARE TO BE CONSIDERED AS PART OF THE DESIGN. ALL DIMENSIONS AND WORK SHOWN IN THIS SHEET ARE TO BE CONSIDERED AS PART OF THE DESIGN.
- SECTION DIMENSIONS, FINISHES, MATERIALS AND WORK SHALL BE ACCORDANCE WITH THE REQUIREMENTS OF DRAWING S-100.

**KEYED NOTES:**

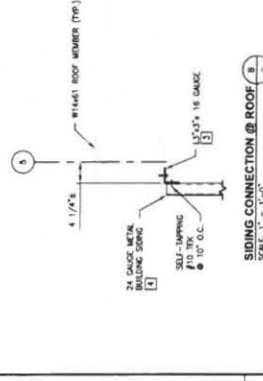
- WIND CURTAIN MATERIAL TO BE 8" WIDE STRIP WITH 1/4" GALVANIZED METAL FINISH. STRIP TO BE ATTACHED TO CURTAIN FRAME USING 1/4" SELF TAPPING SCREWS. STRIP TO BE ATTACHED TO CURTAIN FRAME USING 1/4" SELF TAPPING SCREWS. STRIP TO BE ATTACHED TO CURTAIN FRAME USING 1/4" SELF TAPPING SCREWS.
- 24 GAUGE METAL BALUNING SCREWS TO BE USED TO ATTACH CURTAIN TO CURTAIN FRAME. SCREWS TO BE ATTACHED TO CURTAIN FRAME USING 1/4" SELF TAPPING SCREWS. SCREWS TO BE ATTACHED TO CURTAIN FRAME USING 1/4" SELF TAPPING SCREWS.
- SCREWS ATTACHMENT ANGLE, ATTACH SCREW ATTACHMENT ANGLE TO BE 45 DEGREE. SCREWS ATTACHMENT ANGLE, ATTACH SCREW ATTACHMENT ANGLE TO BE 45 DEGREE. SCREWS ATTACHMENT ANGLE, ATTACH SCREW ATTACHMENT ANGLE TO BE 45 DEGREE.
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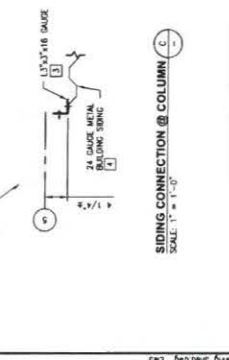
**CAR THAW SHED (NORTH) WIND CURTAIN @ COLUMN LINE 5**  
 SCALE: 1/2" = 1'-0"



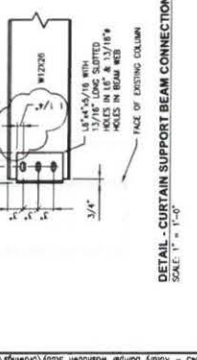
**DETAIL - CURTAIN SUPPORT PLATE/BEAM**  
 SCALE: 1/2" = 1'-0"



**DETAIL - CURTAIN CONNECTION @ ROOF**  
 SCALE: 1/2" = 1'-0"



**DETAIL - SIDING CONNECTION @ COLUMN**  
 SCALE: 1/2" = 1'-0"



**DETAIL - CURTAIN SUPPORT BEAM CONNECTION**  
 SCALE: 1/2" = 1'-0"

REV.	DATE	DESCRIPTION
1	01/07/14	ISSUED > CONSTRUCTION
0	10/18/13	ISSUED > CONSTRUCTION BIDS

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

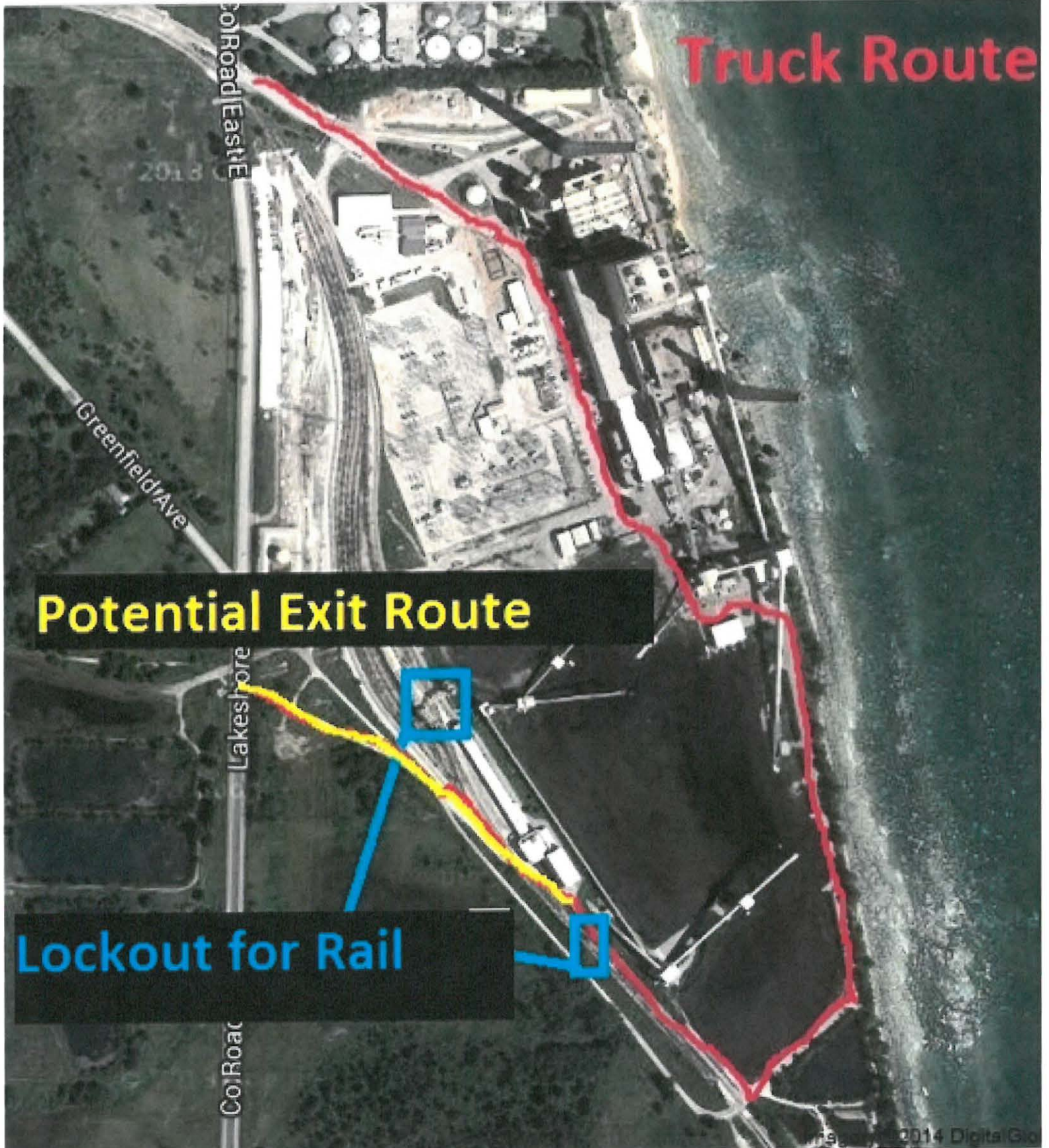
NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

**Truck Route**

**Potential Exit Route**

**Lockout for Rail**





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