

*****ATTACHMENTS*****

PARCEL NO. 600990
MAP NO. 15479004
ZONING CLASSIFICATION: UC

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: 8/26/14

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT
Requirements Per Section 15.905
Revised May 2012

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Gabriel Anzures
ADDRESS: 1648 Calumet Dr E-MAIL: anzures1427@hotmail.com
PHONE: (920) 918 4702 FAX NO. (920) 451-7791

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Paco
ADDRESS OF PROPERTY AFFECTED: 1648 Calumet Dr (parking area)
LEGAL DESCRIPTION: business is a used car dealership, parking area is big, putting a mobile taco truck parked on site
BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Use parking lot to park a taco truck

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: _____

An explanation of the existing use and all business activities taking place onsite.

- An explanation of the proposed mobile food stand use (why it is needed, where will mobile stand be parked, what type of food does the stand sell, does the stand have all necessary permits, etc.).

Response: Mobile food truck will provide mexican fast food, it will be parked on the parking lot of Pacha Auto Sales LLC, located at 1648 Calumet Drive. The stand sells tacos, burritos, quesadillas and other mexican fast food. The stand has the Health Dept permit and is working on obtaining the permit from the city to move the truck around within the county.

- What are the stands hours of operation (days and hours of operation)?

Response: Hours Monday – Saturday 1pm – 9pm

- How long will the mobile food stand be operating from the site - Day and month stand will begin operating from site? Day and month stand will be removed and stop operating from site?

Response: This stand will operate year round, will be going around the county once city permit is obtained

- Do you plan on doing this in 2015 and beyond?

Response: I do plan on doing this for several years, all depends how business picks up

- Number of parking spaces required for the existing use. Mobile food stand may not reduce the minimum number of required parking spaces for the existing use.

Response: Car dealer lot can hold up to 80 cars, the dealer only has maximum 20 cars for sale, therefore lot is very large and a lot of space is being unused.

- How will you insure that the mobile food stand use will not become a nuisance to adjoining businesses (i.e. vehicles, equipment, lighting, noise, garbage, utilization of common parking spaces, etc.)?

Response: Food stand will not become a nuisance because operating hours are reasonable. There are other restaurants located in the area and also operate until late hours.

- Please explain how the location of the mobile food stand will not impact pedestrian and/or traffic safety.

Response: The food stand will not impact any safety issues, because people will either pull in to the dealer lot to look at cars or they will get food.

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City Map



1678 Calumet Dr, Sheboygan, Wisconsin
Address is approximate

Google

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History & Info

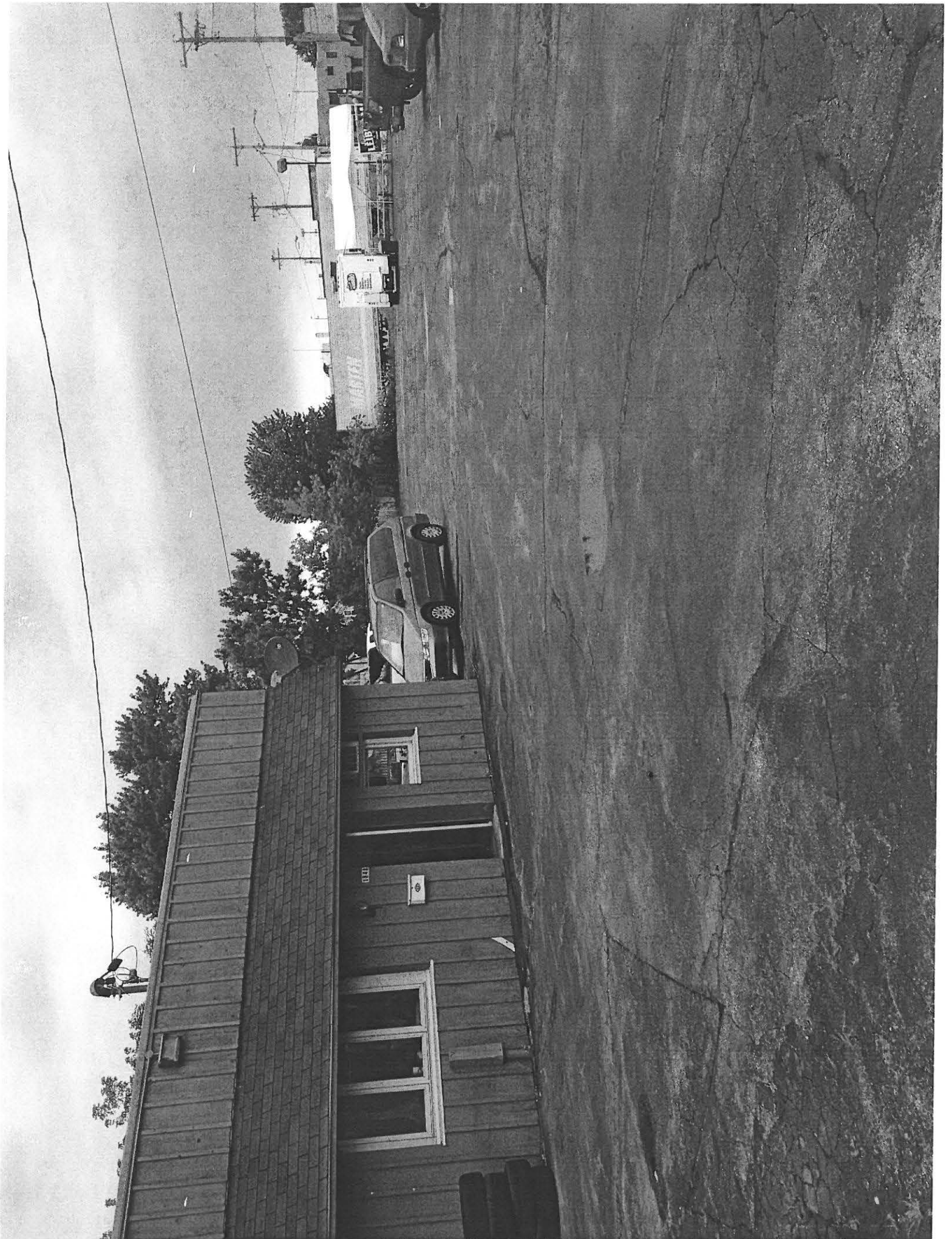
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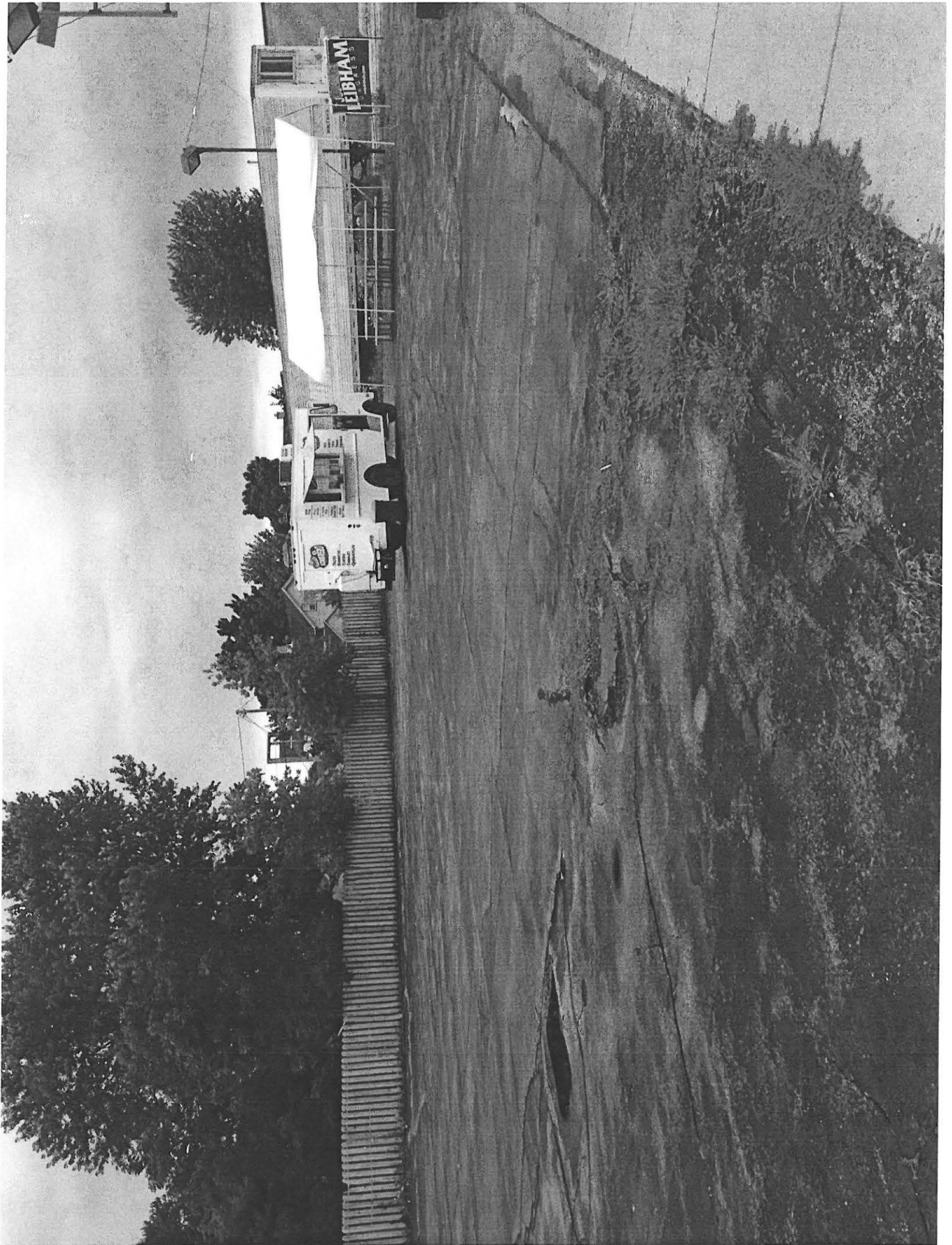
City Map



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SHEBOYGAN COUNTY DEPARTMENT OF HEALTH AND HUMAN SERVICES

License, Permit or Registration

The person, firm, or corporation whose name appears on this certificate has complied with the provisions of the Wisconsin statutes and is here by authorized to engage in the activity as indicated below.

ACTIVITY	EXPIRATION DATE	I.D. NUMBER
Mobile Restaurant - Moderate Complexity	30-Jun-2015	SROE-GLNR8R
LICENSEE MAILING ADDRESS	NOT TRANSFERABLE	BUSINESS / ESTABLISHMENT ADDRESS
ANZURES, LESLEY 3015 WHISPERING WINDS DR SHEBOYGAN WI 53081		EL SOMBRERO MOBILE 1648 CALUMET DR SHEBOYGAN WI 53081

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

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CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2012

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1. APPLICANT INFORMATION

APPLICANT: Eppstein Uhen Architects, Inc. Attention: Troy Jacoby

ADDRESS: 333 East Chicago Street, Milwaukee, WI 53202 E-MAIL: troyj@eua.com

PHONE: (414) 298-2208 FAX NO. (414) 271-7794

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Acuity

ADDRESS OF PROPERTY AFFECTED: 2800 South Taylor Drive, Sheboygan, WI

LEGAL DESCRIPTION: 2800 South Taylor Drive, Sheboygan, WI

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____

Acuity is an insurance company headquartered in Sheboygan. The existing operation is devoted exclusively to the handling of information and administrative services. They seldom if ever provide services directly to customers on a walk - in or appointment basis.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: _____

There will be no changes in the proposed operation. The expansion is in response to personnel growth rather than a different mode of operation.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: _____

See Attachment A.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? See Attachment B.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____
The building addition and planning continues the existing environment, increases parking; but all surface parking will be replaced by structured parking.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____
See Attachment C.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____
Yes

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Acuity - Sheri Murphy Vice President

ADDRESS: 2800 South Taylor Drive, Sheboygan, WI E-MAIL: sheri.murphy@acuity.com

ARCHITECT: Eppstein Uhen Architects, Inc. - Troy Jacoby

ADDRESS: 333 East Chicago St, Milwaukee, WI 53202 E-MAIL: troyj@eua.com

CONTRACTOR: Mortenson Construction

17975 W Sarah Lane, - Kurt Theune
ADDRESS: Brookfield, WI 53045 E-MAIL: kurt.theune@mortenson.com

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

APPLICANT'S SIGNATURE

DATE

PRINT ABOVE NAME

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
 - All lands for which the conditional use is proposed.
 - All other lands within 100 feet of the boundaries of the subject property.
 - The current zoning of the subject property and its environs (200 feet),
3. A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development or if the proposed conditional use is a cluster development (per Section 15.206(1)(b) or a group development (per Section 15.208). A proposed preliminary plat or conceptual plat may be substituted for the final site plan, provided that the preliminary plat contains all information required on a site plan.
 - Submit TWO (2) copies of the site plan.
 - If possible, provide a digital copy (computer CAD format) of plan(s) in addition to regular paper copies. The format should be as follows:
 - AutoDesk: R.12, R. 13, R.14*.DWG
 - Other software formats: *.DXF
 - The site plan shall be at a scale of not less than 1" = 100', including a graphic scale and north arrow.
 - Submit ONE (1) 11" X 17" reduction of the site plan.
 - Property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
 - Existing and proposed easement lines and dimensions with an explanation of ownership and purpose.
 - Required building setback lines.
 - Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls.
 - The location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys.
 - The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance.
 - The location of all loading and service areas, and the dimensions of such areas.
 - The location of all outdoor storage areas and the design of all screening devices.
 - The location, type, height, size and lighting of all signage.
 - The location, height, design/type, illumination power and orientation of all exterior lighting, including compliance with Section 15.707.
 - The location of existing and proposed drainage facilities.

Office Use Only

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____ DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, City Plan Commission or
Representative Dept. of City Development

DATE: _____

NOTES

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire within one (1) year from date of approval unless substantial work has commenced.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any permits for any purpose that is prohibited by the City Zoning Ordinance or any other State or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

Check sidewalk grades from City Engineering Department with finished site grade.

**CITY OF SHEBOYGAN
APPLICATION FOR CONDITIONAL USE PERMIT
NARRATIVE**

Office Building Additions

Acuity Insurance is proposing an addition to the existing Acuity facility. The addition will be a replication of the existing facility in terms of scale, massing, material and detailing. The addition will be a two-story office with a full basement. The footprint of the addition will be +/- 39,000 square feet.

Parking Structures

The North Parking structure is to provide 640 stalls, in lieu of the 840 previously requested. An additional 20 parking stalls are also planned in the basement level of this new addition. The North Parking structure has four levels of parking with one level below grade; the footprint will be +/- 63,000 square feet. The height of the structures matches the scale and massing of the existing two story office building.

Exterior Building Materials

The office portion will be clad in the same buff colored stone or precast concrete (at the Loading Dock area) to match the existing facility. Punched wood windows will match the existing windows. Flat roof will be a fully adhered membrane system. Gabled roof will be slate tile or synthetic slate tile to match existing appearance. The parking structures will be clad in a buff colored architectural precast to match the stone of the office building.

Community Impact

The building addition will reinforce the City of Sheboygan's goals in the ability for the City to have one of its largest employers and community leaders continue to grow in its current setting. This expansion of a high quality, first-rate business and campus at this highly visible location projects an image of quality at a major gateway to the community.

**CITY OF SHEBOYGAN
APPLICATION FOR CONDITIONAL USE PERMIT
ATTACHMENT A**

1. Section 15.206(4)(a)(4) – Commercial Land Use Parking Regulations:

Plans currently provide for new structured parking to be constructed as the proposed addition is built, while maintaining surface parking during construction. The addition is planned in such a way that while the entire addition will be built at one time, the addition contains future growth; it will be occupied in phases over 5+ years to accommodate future projected growth. The parking shown planned now matches the occupant load of the addition at the time of completion rather than the gross area of the building. As the occupant load increases, parking currently designated as future will be installed to keep pace with occupant loads. Ultimately, when the building is full, first parking plus future parking will be in conformance to regulations. The following calculations are based on the campus as a whole:

LL = 188,075 SF (unoccupied)

LL = 27,045 SF (Occupied)

1st = 288,756 SF

2nd = 242,166 SF

Mezz = 33,551 SF

Total = 779,593 SF / 300sf = 2598 Parking Stalls

Total planned square footage = 591,518 SF / 300sf = **1971 Parking Stalls Required**

Existing parking spaces: 917 Surface Stalls

New Structured Stalls: +/-1300 Stalls (includes 20 underground at addition).

2. Section 15.105(3)(b)- Suburban Office (SO) District Maximum Building Height 35 Feet:

The proposed corporate expansion mimics the existing facility in terms of scale, massing, materials, and building height. The existing gable roofs exceed 35 feet in height; therefore we would like the Plan Commission to grant permission to exceed 35 feet in height.

Height of the office building additions

Top of Coping = 30'-7"

Peak of Side Galleria's = 53'-0"

Height of the parking structures

Top of Coping = 30'-7"

Top of Glass Entry = 36'-10"

3. Section 15.605- Landscaping Requirements for Developed Lots: This section requires that certain lots developed after the effective date of this Chapter contain a minimum amount of landscaping. Due to the timing, project complexity, and overall scope of the development we will be implementing a phased approach to the landscape submittals. The submittals will each focus on specific areas of development as they are released for construction but will be considered with respect to the design of the entire developed lot. Therefore we request that the Plan Commission review the incremental submittals considering the project in its entirety. It is our intent to fulfill the city's landscape point requirements at the conclusion of the project.
4. Section 15.607(1)(4) – Landscape Requirements for Paved Areas: This chapter requires a minimum amount of landscape within 10 feet of paved area. Based on the area of pavement a minimum of 30% of all points shall be devoted to climax and/or tall trees and a minimum of 40% of all points shall be devoted to shrubs. Based on the idea of blending in with campus's existing landscape aesthesis (open spaces intermingled with screening techniques) we would like the Plan Commission to grant us some latitude on this requirement.

**CITY OF SHEBOYGAN
APPLICATION FOR CONDITIONAL USE PERMIT
ATTACHMENT B**

The building addition will greatly reinforce the City of Sheboygan's goals in the ability for the city to have one of its largest employers and community leaders continue to grown in its current setting. This expansion of a high quality, first rate business and campus at this highly visible location projects an image of quality at a major gateway to the community.

**CITY OF SHEBOYGAN
APPLICATION FOR CONDITIONAL USE PERMIT
ATTACHMENT C**

With an addition to the current building site, the land use is maintained. The landscaped campus is already established and the open space is more attractive than surrounding retail and industrial use.

PARCEL NO. 59281431085

MAP NO. _____

ZONING CLASSIFICATION: SUBURBAN OFFICE

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
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1. APPLICANT INFORMATION

APPLICANT: Acuity Mutual Insurance

ADDRESS: 2800 South Taylor Drive E-MAIL: paul.miller@acuity.com

PHONE: (920)458-9131 FAX NO. (920)458-1618

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS:

Acuity Mutual Insurance

ADDRESS OF PROPERTY AFFECTED:

2516 South Taylor Drive

LEGAL DESCRIPTION: Parcel Number 59281431085

SEC 33 T15N R23E PRT OF THE W1/2 OF SEC 33 DESC AS: COM AT THE NW COR OF SEC 33, TH N-87-DEG-52'- 24"E 518.52' ALG THE N LINE OF SEC 33 TO THE ELY R/W LINE OF I-43, TH S-04-DEG- 24'-46"W 329.78' ALG SD ELY R/W LINE TO POINT OF BEG, TH N-87-DEG-55'-28

"E 845.91' TO THE E LINE OF THE W1/2 OF THE W1/2 OF SEC 33, TH S-01- DEG-18'-21"E 1136.29' ALG SD E LINE, TH N-87-DEG-52'-39"E 100.91' TO THE WLY LINE OF S TAYLOR DR, TH SWLY 566.07' ALG SD WLY LINE BEING THE ARC OF A CURVE TO THE LEFT HAVING A RADIU

S SELY OF 2292.69', THE CHORD OF WHICH BEARS S-19-DEG-10'-27.3"W 564.63' TO A POINT OF TANGENCY, TH S-12-DEG-06'- 04"W 649.23' ALG SD WLY LINE, TH S-10-DEG-38'-02"W 1187.03' ALG SD WLY LINE, TH W 690.66' TO THE ELY R/W LINE OF I-43, TH N-00-DEG- 00'-

22"E 92.71' ALG SD ELY LINE, TH N-04-DEG-24'-49"E 2302.97', TH N-12-DEG-56'-23"E 101.5', TH N-04-DEG- 24'-13"E 400.38', TH N-04- DEG-08'-03"W 100.73', TH N- 04-DEG-24'-46"E 450.46' TO POINT OF BEG AND THE END OF SD COURSES ALG THE ELY R/W LINE OF I-

43

OFFICE USE ONLY

PARCEL NO.: 59281431085

MAP NO.: _____

ZONING CLASSIFICATION: SUBURBAN OFFICE

OFFICE USE ONLY

REVIEW DATE: _____

APPROVAL: _____

Steve Sokolowski, City Planner

**CITY OF SHEBOYGAN
DEPARTMENT OF CITY DEVELOPMENT**

828 Center Avenue Suite 104, Sheboygan, WI 53081
Phone: (920) 459-3377 Fax: (920) 459-7302
E-Mail: development@ci.sheboygan.wi.us

SIGN PERMIT APPLICATION

(November, 2009)

Completed application and all required attachments are to be filed with the Department of City Development, 828 Center Avenue, Suite 104 for review by the City Planner.

1. APPLICANT INFORMATION

APPLICANT: ACUITY MUTUAL INSURANCE

ADDRESS: 2800 South Taylor Drive

E-MAIL ADDRESS: paul.miller@acuity.com

PHONE: (920) 458-9131 FAX NO: (920) 458-1618

2. OWNER INFORMATION

OWNER OF SITE: ACUITY MUTUAL INSURANCE

ADDRESS: 2800 South Taylor Drive

PHONE: (920) 458-9131 FAX NO: (920) 458-9131

3. DESCRIPTION OF THE PROPOSED SIGN AND USE OF THE SUBJECT SITE

NAME OF PROPOSED/EXISTING BUSINESS: ACUITY MUTUAL INSURANCE

ADDRESS OF PROPERTY AFFECTED: 2516 South Taylor Drive

USE OF PROPERTY: Corporate office

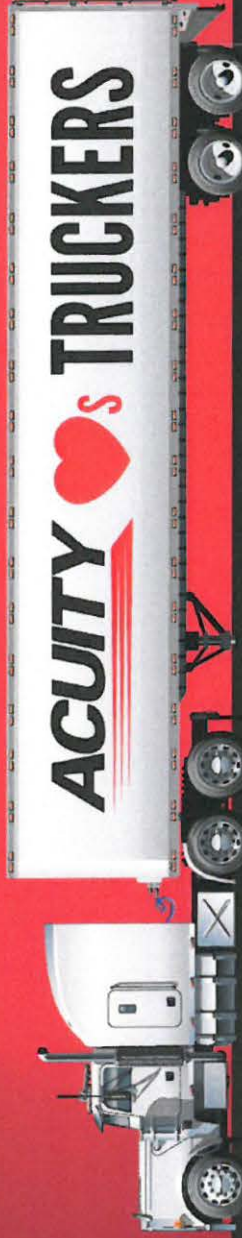
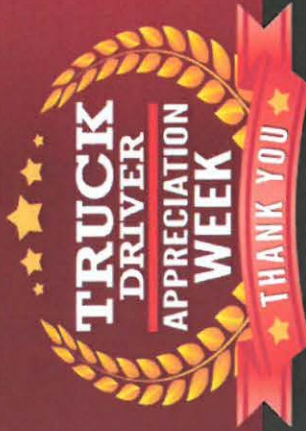
TYPE OF SIGN: Temporary vinyl cover

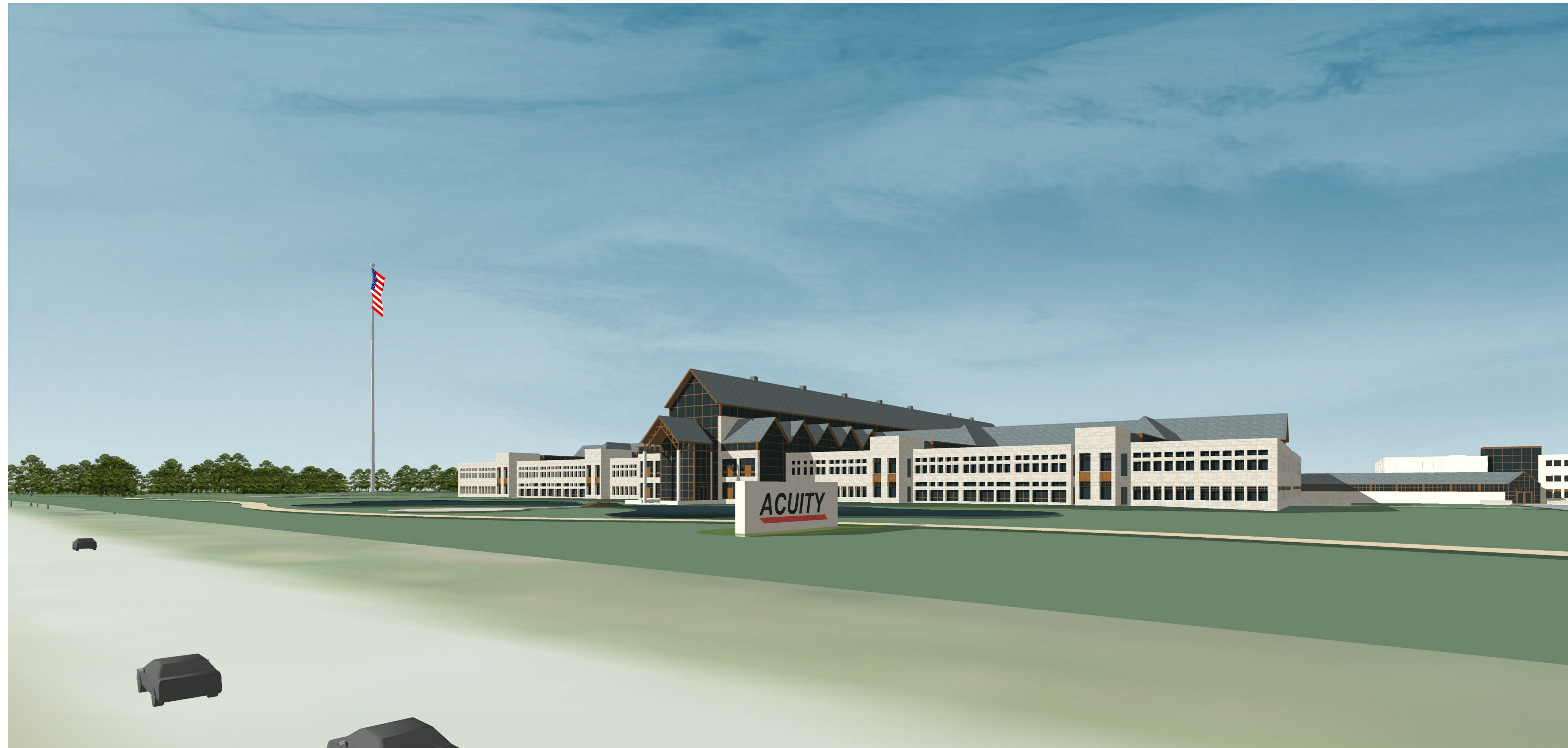
DESCRIPTION OF PROPOSED SIGN: This is a temporary vinyl cover over an existing sign. The sign shows our appreciation for truck drivers and all the work they do to bring us what we need and keep our highways safe

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 14.3' X WIDTH: 45' feet = TOTAL SQUARE FOOTAGE: 643.5 Sq ft

WITHOUT TRUCKS, AMERICA STOPS





Acuity Expansion

2800 South Taylor Drive

Sheboygan, WI

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A102	Second Floor Plan
A103	Mezzanine Level
EP001	North Central Site - Photometrics
E600	Lighting Schedules

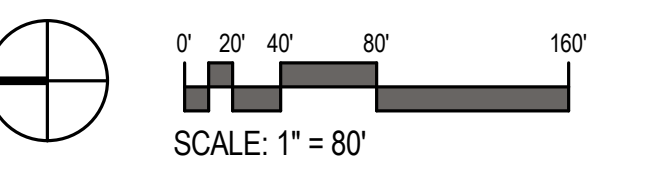
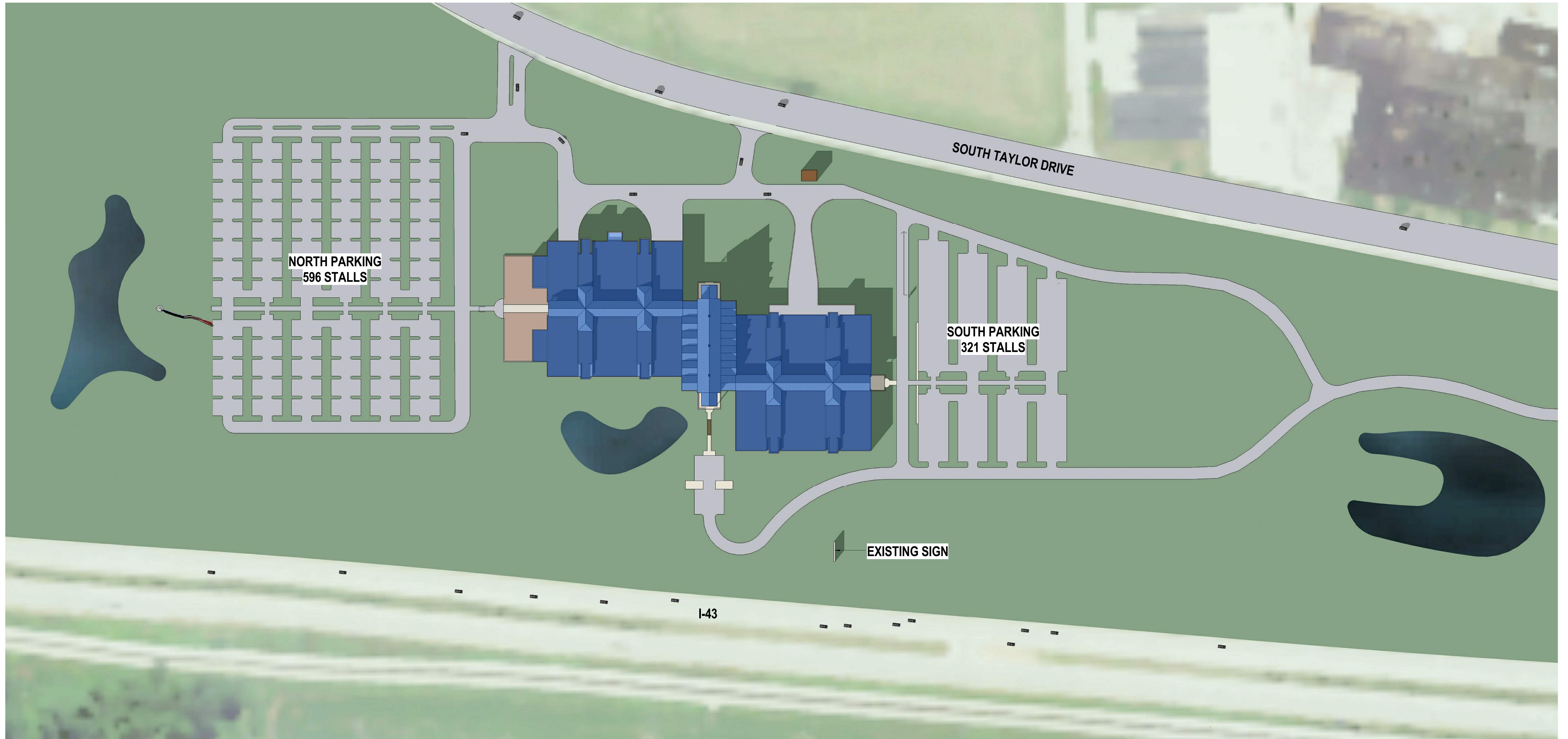


epstein uhen : architects

Conditional Use Permit

REV. 08-18-2014

PROJECT NUMBER: 2-12452



Master Plan - Existing Conditions



eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

KEY PLAN

ISSUANCE AND REVISIONS

Conditional Use Permit

#	DATE	DESCRIPTION

PROJECT INFORMATION

ACUITY
2800 South Taylor Drive
Sheboygan, WI

PROJECT NUMBER: 2-12452
PROJECT MANAGER: CD

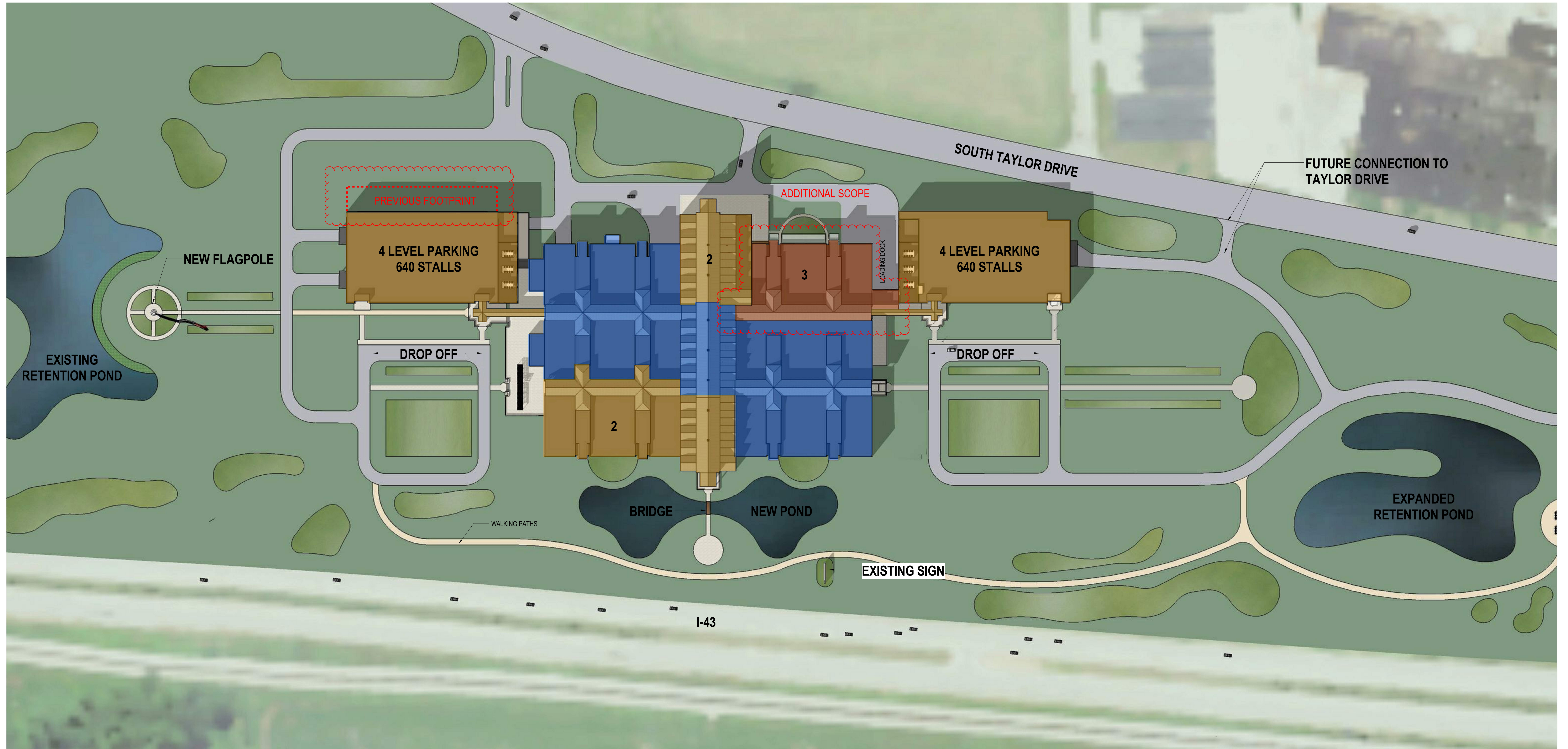
SHEET INFORMATION

DATE: 07/18/2014 Issue Date: 08/11/2014

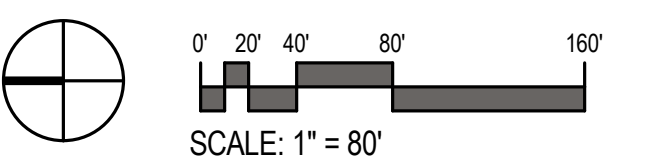
SHEET NAME: Master Plan - Existing Site

SHEET NUMBER: **AS100**

© Eppstein Uhen Architects, Inc.



PHASE 2+3: 1300 PARKING STALLS



Master Plan - Phase 2+3 (Proposed Phase of Work)



eppstein uhen : architects

milwaukee 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
 Madison, Wisconsin 53703
 tel 608 442 5350 fax 608 442 6680

KEY PLAN

ISSUANCE AND REVISIONS

Conditional Use Permit

#	DATE	DESCRIPTION
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PROJECT INFORMATION

ACUITY
 2800 South Taylor Drive
 Sheboygan, WI

PROJECT NUMBER: 2-12452
 PROJECT MANAGER: CD

SHEET INFORMATION

DATE: 07/18/2014 Issue Date: 08/11/2014

SHEET NAME: Master Plan - Phase 2+3

SHEET NUMBER: **AS101**

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Aerial Rendering - Phase 2



Aerial Rendering - Phase 3 (Proposed Phase of Work)

Aerial Renderings - Southeast



eppstein uhen : architects

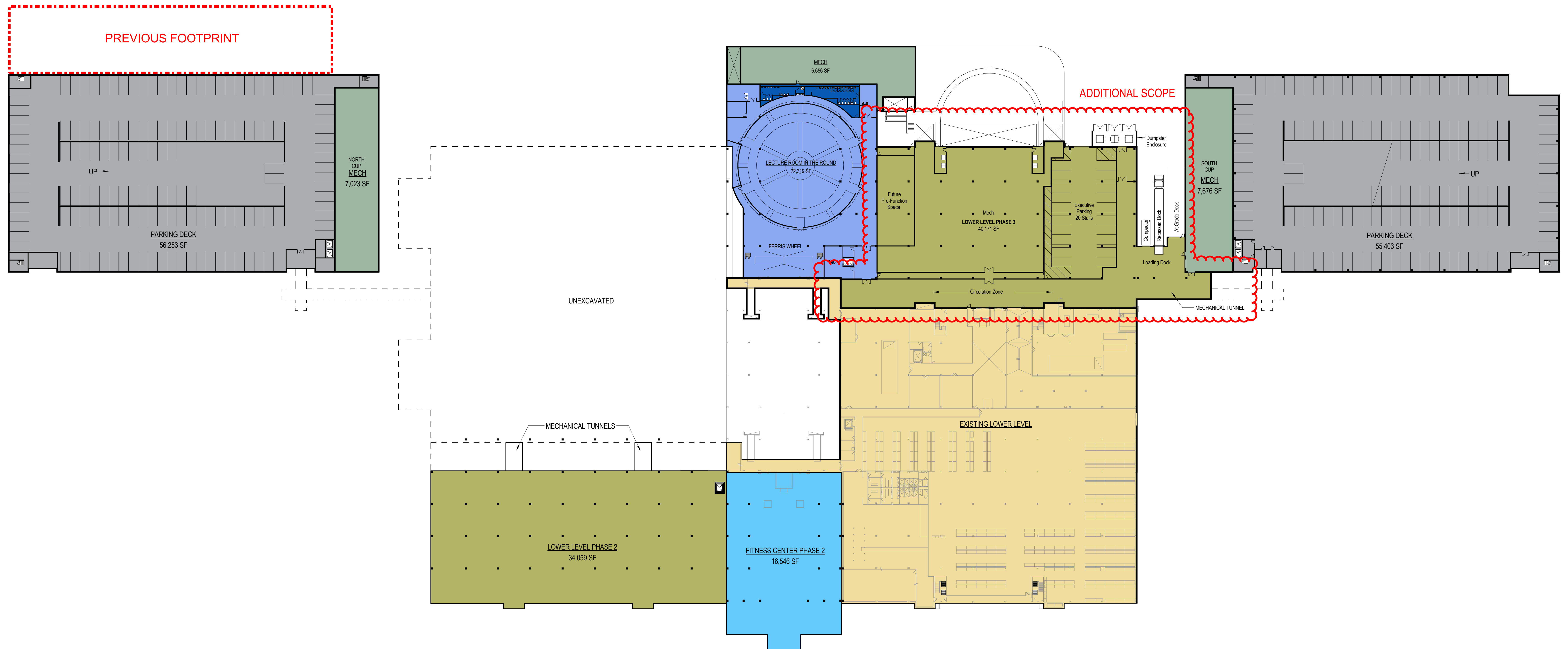
milwaukee	333 East Chicago Street Milwaukee, Wisconsin 53202 tel 414 271 5350 fax 414 271 7794
madison	222 West Washington Ave, Suite 650 Madison, Wisconsin 53703 tel 608 442 5350 fax 608 442 6680

KEY PLAN	

ISSUANCE AND REVISIONS	
Conditional Use Permit	
#	DATE

PROJECT INFORMATION	
ACUITY	
2800 South Taylor Drive Sheboygan, WI	
PROJECT NUMBER:	2-12452
PROJECT MANAGER:	CD

SHEET INFORMATION	
DATE:	07/18/2014
Issue Date:	08/11/2014
SHEET NAME:	Master Plan - Phase 2+3
SHEET NUMBER:	AS102



Lower Level Plan



eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

KEY PLAN

ISSUANCE AND REVISIONS

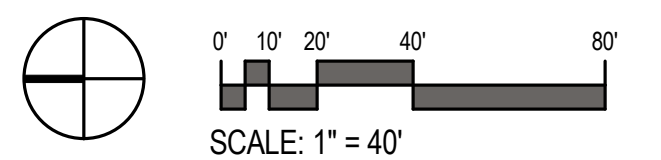
Conditional Use Permit

#	DATE	DESCRIPTION

PROJECT INFORMATION

ACUITY
2800 South Taylor Drive
Sheboygan, WI

PROJECT NUMBER: 2-12452
PROJECT MANAGER: CD



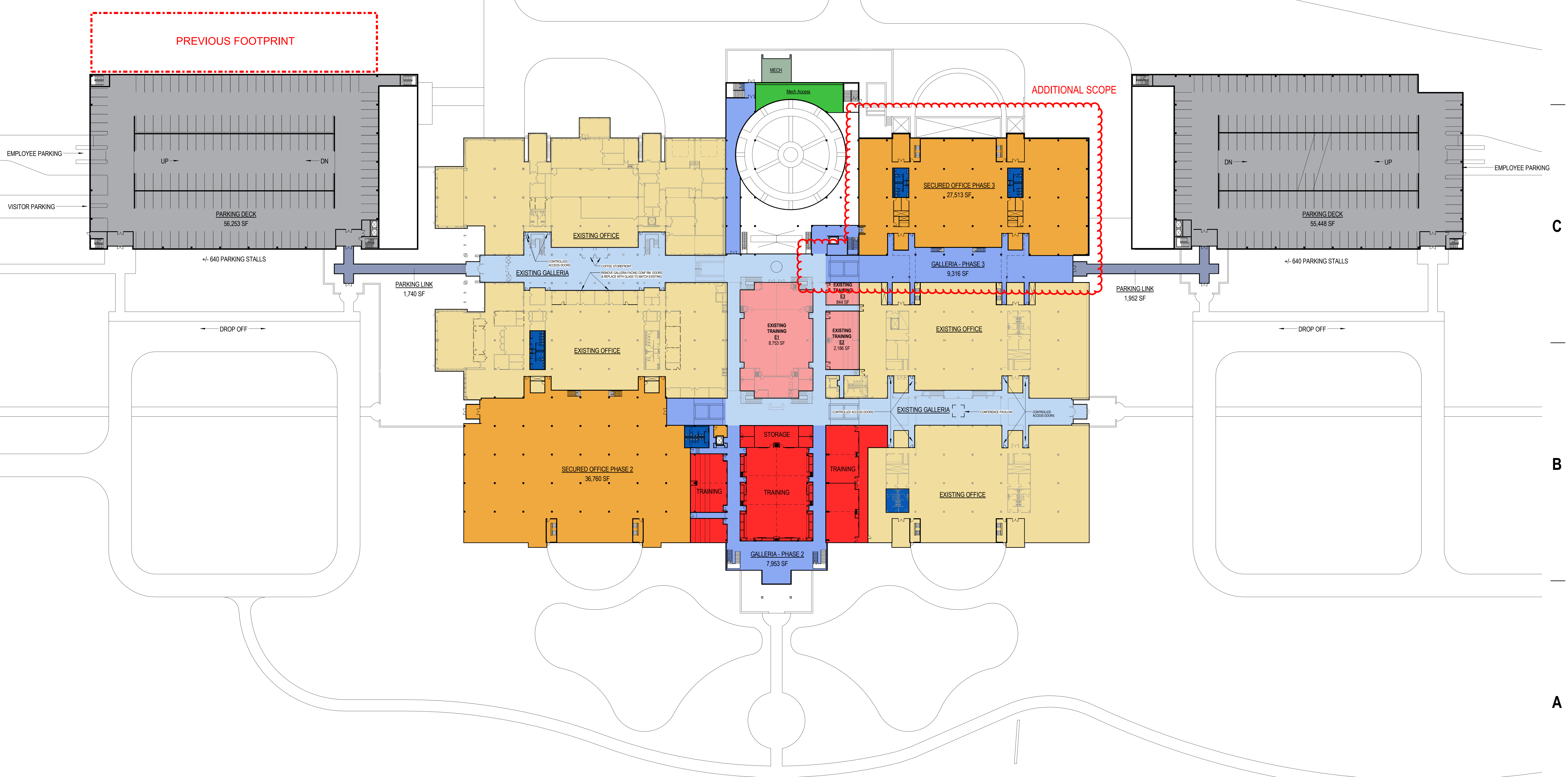
SHEET INFORMATION

DATE: 07/18/2014 Issue Date: 08/11/2014

SHEET NAME: Lower Level Plan
SHEET NUMBER: **A100**

1 2 3 4 5 6 7 8

D
C
B
A



First Floor Plan



eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

KEY PLAN

ISSUANCE AND REVISIONS

Conditional Use Permit

#	DATE	DESCRIPTION

PROJECT INFORMATION

ACUITY
2800 South Taylor Drive
Sheboygan, WI

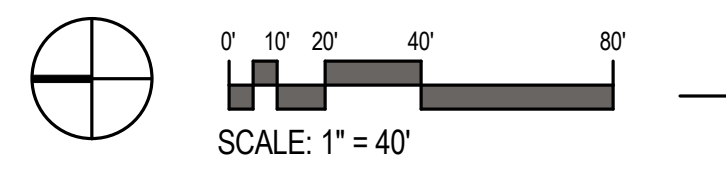
PROJECT NUMBER: 2-12452
PROJECT MANAGER: CD

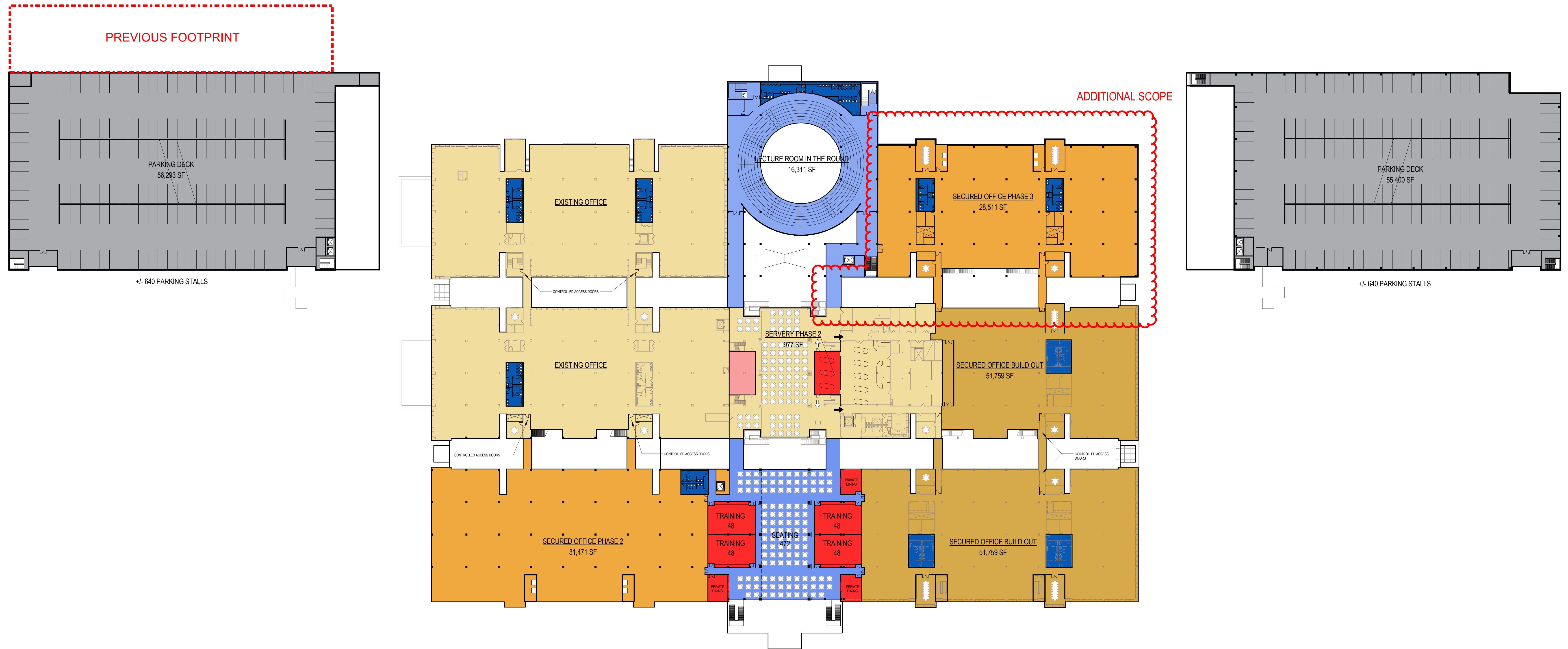
SHEET INFORMATION

DATE: 07/18/2014 Issue Date: 08/11/2014

SHEET NAME: First Floor Plan
SHEET NUMBER: **A101**

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Second Floor Plan



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Madison, Wisconsin 53703
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KEY PLAN

ISSUANCE AND REVISIONS

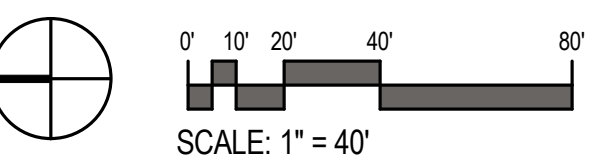
Conditional Use Permit

#	DATE	DESCRIPTION

PROJECT INFORMATION

ACUITY
2800 South Taylor Drive
Sheboygan, WI

PROJECT NUMBER: 2-12452
PROJECT MANAGER: CD



SHEET INFORMATION

DATE: 07/18/2014

Issue Date: 08/11/2014

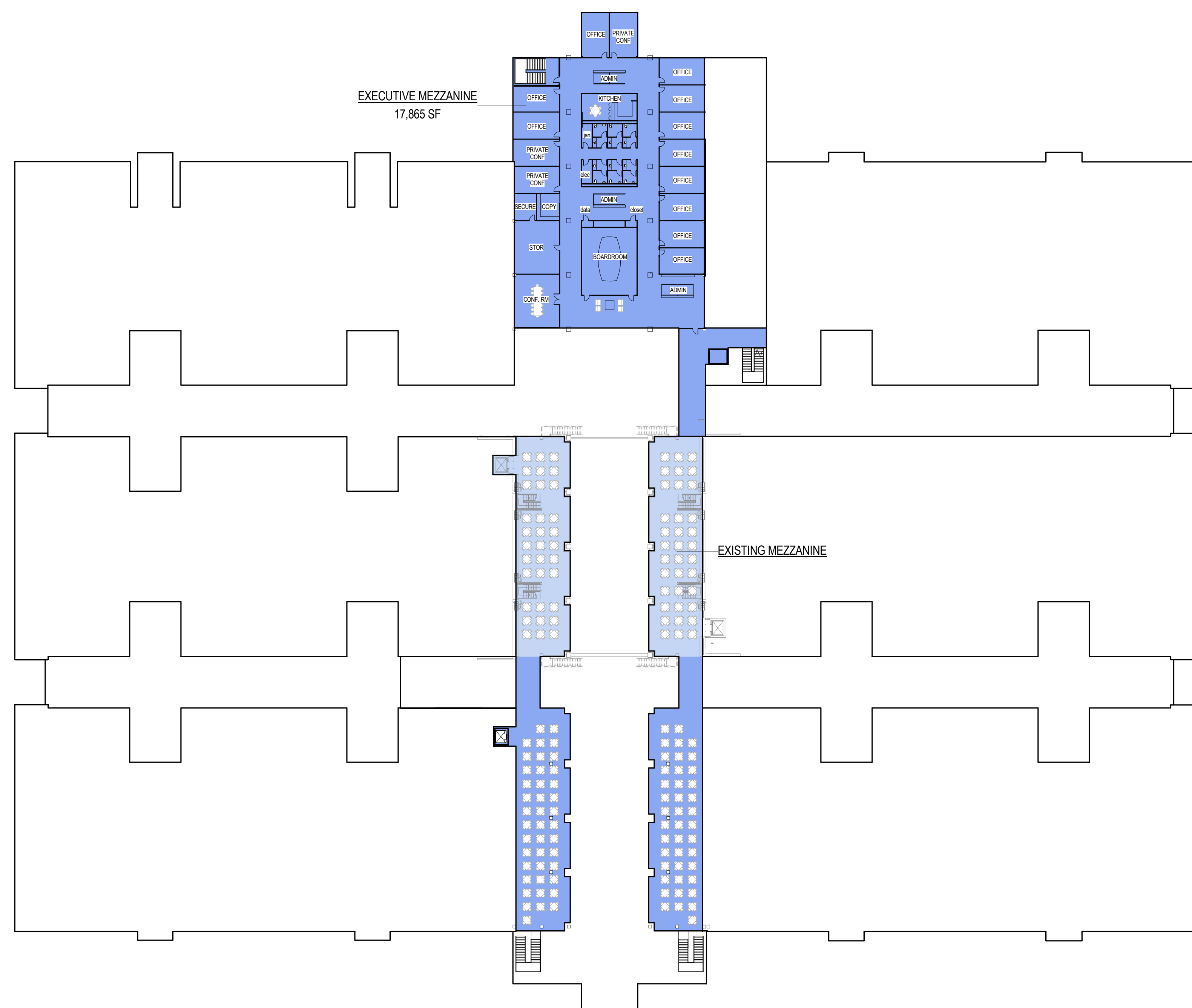
SHEET NAME:

Second Floor Plan

SHEET NUMBER:

A102

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Mezzanine Plan



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KEY PLAN

ISSUANCE AND REVISIONS

Conditional Use Permit

#	DATE	DESCRIPTION

PROJECT INFORMATION

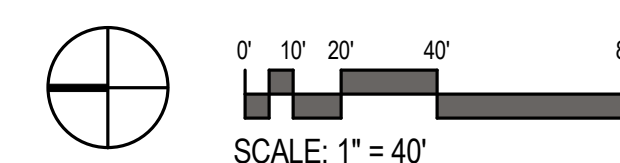
ACUITY
 2800 South Taylor Drive
 Sheboygan, WI

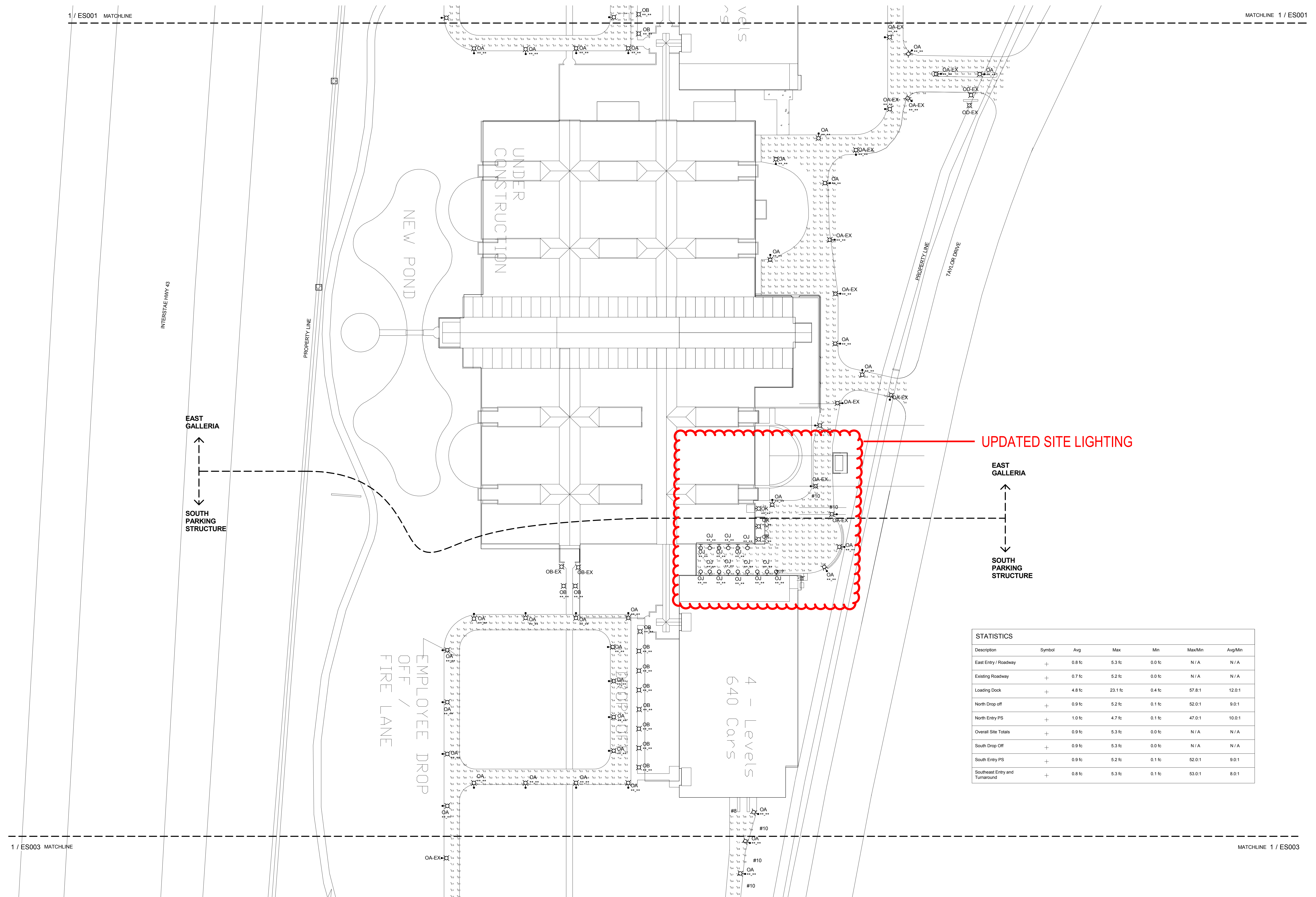
PROJECT NUMBER: 2-12452
 PROJECT MANAGER: CD

SHEET INFORMATION

DATE: 07/18/2014 Issue Date: 08/11/2014

SHEET NAME: Mezzanine Plan
 SHEET NUMBER: **A103**





STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East Entry / Roadway	+	0.8 ft	5.3 ft	0.0 ft	N/A	N/A
Existing Roadway	+	0.7 ft	5.2 ft	0.0 ft	N/A	N/A
Loading Dock	+	4.8 ft	23.1 ft	0.4 ft	57.8:1	12.0:1
North Drop off	+	0.9 ft	5.2 ft	0.1 ft	52.0:1	9.0:1
North Entry PS	+	1.0 ft	4.7 ft	0.1 ft	47.0:1	10.0:1
Overall Site Totals	+	0.9 ft	5.3 ft	0.0 ft	N/A	N/A
South Drop Off	+	0.9 ft	5.3 ft	0.0 ft	N/A	N/A
South Entry PS	+	0.9 ft	5.2 ft	0.1 ft	52.0:1	9.0:1
Southeast Entry and Turnaround	+	0.8 ft	5.3 ft	0.1 ft	53.0:1	8.0:1

ISSUANCE AND REVISIONS

CONSTRUCTION DOCUMENTS - SOUTH PARKING GARAGE

DATE	DESCRIPTION
06.13.2014	CB07-PS
08.14.2014	CB08

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFORMATION

ACUITY CORPORATE HEADQUARTERS EXPANSION

2800 South Taylor Drive
Sheboygan, WI 53082

PROJECT NUMBER: 212452-04
PROJECT MANAGER: CD

SHEET INFORMATION

DATE: 02.28.2014

SHEET NAME: NORTH CENTRAL SITE - PHOTOMETRICS

SHEET NUMBER: EP001



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PD RING & DUCHATEAU
10101 Innovation Drive - Suite 200, Milwaukee, WI 53226
Phone: 414.778.1700 / Fax: 414.778.2300 / r-d@ringdu.com
THIS BAR IS 1" LONG.
IF IT MEASURES ANYTHING OTHER THAN 1"
ADJUST SCALE ACCORDINGLY.
R&D Project No.: 213102

LIGHT FIXTURE SCHEDULE

Table with columns: ID, DESCRIPTION, TYPE, NO., DESCRIPTION, WATTS, K, CRI, TYPE, NO., INPUT WATTS, VOLT, MOUNT, CEILING TYPE, FIXTURE DEPTH, FIXTURE SPECIFICATION AND ACCEPTABLE MANUFACTURERS, OPTIONS, SEE NOTE.

NOTE: SEE SPECIFICATION SECTIONS 26 50 00 AND 26 02 37 FOR ADDITIONAL INFORMATION REGARDING LIGHTING FIXTURE AND INSTALLATION REQUIREMENTS. PROVIDE OPTIONS AND ACCESSORIES REFERENCED BY THE COLUMN TITLED "OPTIONS". MANUFACTURERS AS ACCEPTABLE SHALL MEET ALL REQUIREMENTS AND FEATURES INDICATED.

ABBREVIATIONS table with columns: DESCRIPTION, SYMBOL, VALUE, DESCRIPTION, VALUE, DESCRIPTION, VALUE, DESCRIPTION, VALUE, DESCRIPTION, VALUE.

OPTIONS table with columns: ID, DESCRIPTION, VALUE, ID, DESCRIPTION, VALUE, ID, DESCRIPTION, VALUE.

GENERAL NOTES:

- 1. VERIFY CEILING T-BAR WIDTH (I.E. 9/16", 15/16", 1.5") WITH THE ARCHITECT/INTERIORS SPECIFICATION PRIOR TO ORDERING LAY-IN FIXTURES.
2. ...

LIGHT FIXTURE SCHEDULE NOTES:

- 1. EC SHALL REUSE EXISTING FIXTURES REMOVED DURING DEMOLITION. FIXTURES SHALL BE CLEANED AND RELAMPED WITH A NEW 150W METAL HALIDE ED-28 AND PROVIDE A NEW ELECTROIC BALLAST PER THE MANUFACTURERS RECOMMENDATIONS.
2. FIXTURE LOCATION IS EXISTING TO REMAIN. FIXTURES SHALL BE REMOVED, CLEANED AND RELAMPED WITH A NEW 150W METAL HALIDE ED-28 AND PROVIDE A NEW ELECTROIC BALLAST PER THE MANUFACTURERS RECOMMENDATIONS.
3. REFER TO BASE DETAIL 2/E500 FOR MORE INFORMATION.
4. REFER TO BASE DETAIL 1/E500 FOR MORE INFORMATION.

WST LED Architectural Wall Sconce product page including specifications, introduction, and ordering information.

94 Line 946 Recessed Square Aisle Lights product page including job information and statistics table.

Philips Gardco 946 Recessed Square Aisle Lights product page including product description, specifications, and ordering information.

Albertslund Maxi Post product page including product specification and product description.

Albertslund Bollard product page including product specification and product description.

Emergency Battery Operation section with diagrams and notes.

Philips Gardco contact information and notes.

Albertslund Maxi Post product table and notes.

Albertslund Bollard product table and notes.