

### PLAT LOCATION MAP

SECTION 8, T15N, R23E  
SHEBOYGAN COUNTY  
SCALE 1"=1500'

# PRELIMINARY PLAT MAYWOOD ESTATES

LOCATED IN THE EAST  $\frac{1}{2}$  OF THE NE  $\frac{1}{4}$  OF THE SE  $\frac{1}{4}$   
SECTION 8, T15N, R23E,  
TOWN OF SHEBOYGAN  
SHEBOYGAN COUNTY, WISCONSIN

CURRENT ZONING: R-2 ONE AND TWO FAMILY RESIDENCE DISTRICT

TOTAL PLAT AREA: 572663 SF (13.146 AC.)

CURVE TABLE								
CURVE NUMBER	LOT	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	CENTRAL ANGLE	TANGENT IN	TANGENT OUT
C1		85.43	170	84.53	N14° 43' 52.2"E	28° 47' 34"	N29° 07' 39.2"E	N0° 20' 05.1"E
C2		118.60	236	117.35	S14° 43' 52.2"W	28° 47' 34"	S29° 07' 39.2"W	S0° 20' 05.1"W
C3		102.23	195	101.06	S14° 06' 31.0"W	30° 02' 16"	S29° 07' 39.2"W	S0° 54' 37.3"E
C3	14	7.72	195	7.72	N27° 59' 37.3"E	2° 16' 04"	N29° 07' 39.2"E	N26° 51' 35.4"E
C3	13	94.51	195	93.59	N12° 58' 29.1"E	27° 46' 13"	N26° 51' 35.4"E	N0° 54' 37.3"W
C4		136.83	261	135.27	N14° 06' 31.0"E	30° 02' 16"	N29° 07' 39.2"E	N0° 54' 37.3"W
C4	4	72.15	261	71.92	S7° 00' 23.0"W	15° 50' 45"	S14° 55' 45.5"W	S0° 54' 59.3"E
C4	3	64.68	261	64.51	S22° 01' 42.3"W	14° 11' 54"	S29° 07' 39.2"W	S14° 55' 45.5"W

### NOTES

RESIDENTIAL LOTS SHOWN VARY IN SIZE FROM 0.54 TO 0.77 ACRES MEETING MINIMUM TOWN AND STATE REQUIREMENTS.

BUILDING SETBACKS WILL MEET THE MINIMUM REQUIREMENTS OF R-2 ZONING WHICH IS 50' REAR YARD, 10' SIDE YARD, AND 30' STREET.

COUNTY SHORELAND SETBACK IS SHOWN ON THE PLAT.

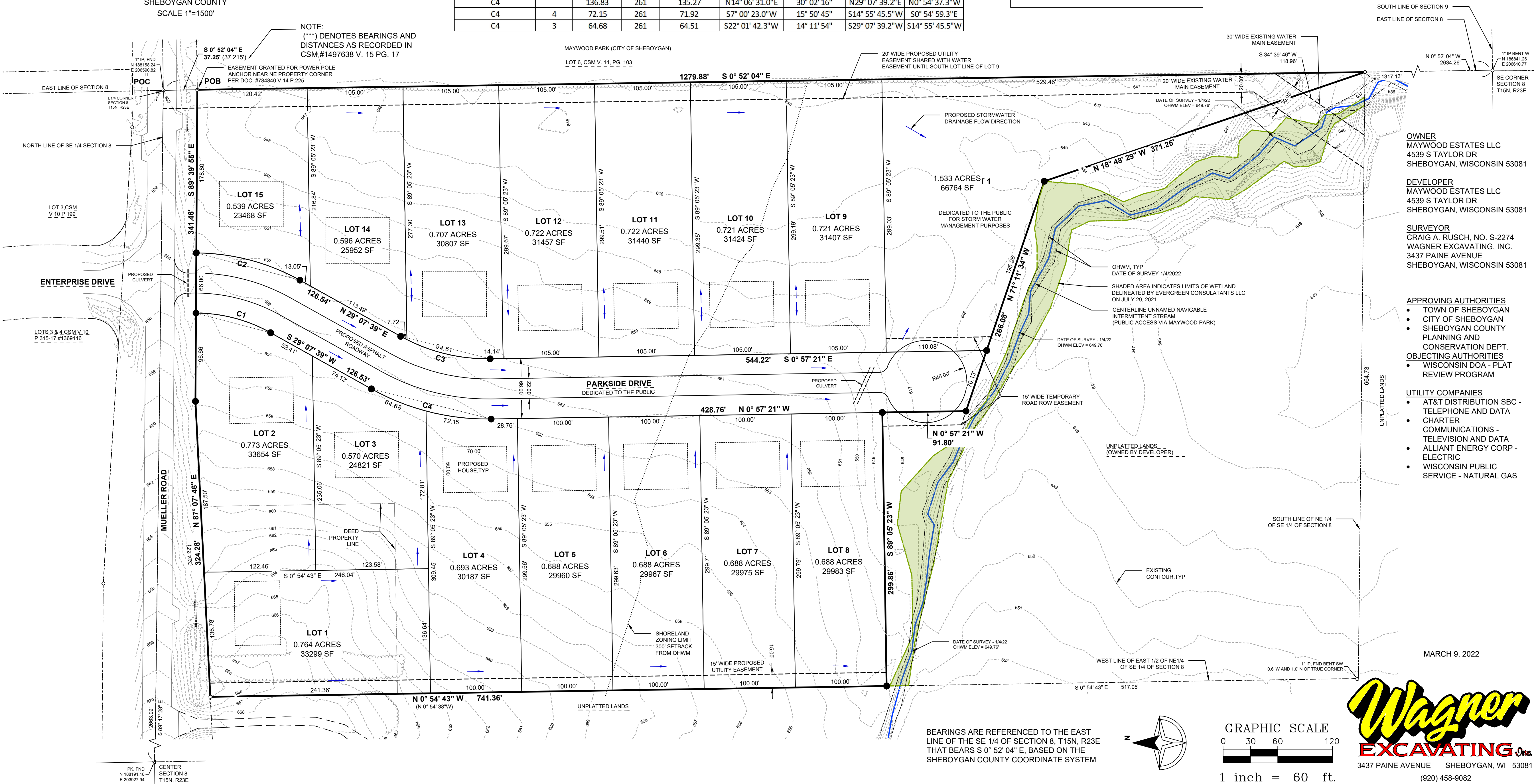
LOTS 6-10 WILL REQUIRE A PERMIT FOR SHORELAND ZONING FROM THE SHEBOYGAN COUNTY PLANNING AND CONSERVATION DEPARTMENT PRIOR TO STARTING ANY GRADING WORK OR HOME CONSTRUCTION.

ALL DRIVEWAY CULVERTS WILL BE SIZED TO TOWN OF SHEBOYGAN STANDARDS UNLESS APPROVED OTHERWISE BY TOWN ENGINEER.

1" IRON PIPES TO BE PLACED ALONG PROPOSED MEANDER LINE AND ALL REMAINING UNMARKED LOT CORNERS UPON COMPLETION OF CONSTRUCTION AND GRADING WORK.

### SURVEY LEGEND

- 0.75" OR 1" O.D. IRON PIPE FOUND
  - △ PK NAIL FOUND
  - 2.375" O.D. X 24" IRON PIPE, 3.65 LBS/LF, SET
- ALL OTHER LOT AND OUTLOT CORNERS  
1.315" O.D. X 24" IRON PIPE, 1.68 LBS/LF, SET





**CITY OF SHEBOYGAN**

**REQUEST FOR CITY PLAN COMMISSION CONSIDERATION**

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**ITEM DESCRIPTION:** Preliminary Plat Approval for Maywood Estates in the Town of Sheboygan. Extra-Territorial Plat Review

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 11, 2022

**MEETING DATE:** March 15 15, 2022

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**FISCAL SUMMARY:**

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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**STATUTORY REFERENCE:**

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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**BACKGROUND / ANALYSIS:**

Ross Werner of Werner Homes has submitted the preliminary plat for Maywood Estates located in the Town of Sheboygan. The applicant states:

- This is a 15 lot subdivision with lots varying in size from .53 to .76 acres.
- Maywood Estates is located off of Mueller Road, east of I-43.

**STAFF COMMENTS:**

The City has extra-territorial platting for subdivisions within three (3) miles of City limits.


**ACTION REQUESTED:**

Staff recommends approval of the preliminary plat.

**ATTACHMENTS:**

Maywood Estates Preliminary Plat



  
Gen. Ord. No. 39 - 21 - 22. By Alderperson Perrella. February 21, 2022.

AN ORDINANCE granting Harbor Café, LLC, its successors and assigns, the privilege of encroaching upon described portions of 340/342 South Pier Drive in the City of Sheboygan for the purpose of adding an outside seating deck.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Subject to the terms and conditions contained herein, Harbor Café, LLC, its successors and assigns, is hereby granted the privilege of encroaching upon portions of 340/342 South Pier Drive, City of Sheboygan, Sheboygan County, Wisconsin, as follows:

340/342 S. Pier Drive Sheboygan, WI 53081

Part of Lot 1 (Dedicated Promenade) of South Pier Subdivision, located in the Southeast Fraction of the Southeast  $\frac{1}{4}$  of Section 23, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin described as follows:

Commencing at the Northwest Corner of Lot 5 of said Subdivision; thence N78°37'27"E 217.27 feet along the North line of said Lot 5 to the POINT OF BEGINNING of this description; thence N11°32'59"E 20.15 feet to the North line of said Lot 5; thence S78°37'27"W 40.30 feet along said North line to the point of beginning. This described portion contains 809 square feet or 0.019 acres.

for the purpose of adding an outdoor seating deck in accordance with the sketch attached hereto and made a part hereof.

Section 2. The privilege as granted above is granted only on the condition that by the acceptance of the privilege, the said Harbor Center, LLC, its successors and assigns:

a. Shall become primarily responsible and liable for all and any damage to persons or property caused by and arising from the grant and exercise of such privilege.

b. Shall remove the encroachment allowed herein within ten (10) days after notice so to remove given by the State of Wisconsin or the City of Sheboygan; in the event of the failure so to remove, the said Harbor Center, LLC, its successors and assigns: shall pay the costs of removal by the State of Wisconsin or the City of Sheboygan, waiving all claim or claims for damages resulting from such removal, whether the removal is done by the said

*City Plan*



Harbor Café, LLC, its successors and assigns, or by the State of Wisconsin or by the City of Sheboygan.

c. Shall pay such compensation to the City of Sheboygan for the grant of this privilege as may be determined by a board consisting of the Mayor, the Director of Public Works and the City Attorney; the compensation shall be paid into the General Fund.

d. Shall make such construction and/or alterations and maintain the same subject to the approval of the City Building Inspector and Director of Public Works, and shall waive the right to contest in any manner the validity of this ordinance or the amount of compensation charged.

Section 3. The provisions of §66.045(1)(2) of the Wisconsin Statutes are incorporated herein by reference to all intents and purposes as if set out fully.

Section 4. The City Clerk is authorized and directed to record a certified copy of this ordinance in the office of the Register of Deeds for Sheboygan County, Wisconsin, the costs thereof to be charged to the General Fund.

Section 5. This ordinance shall take effect and be in full force from and after its passage and publication and upon payment of the consideration to be determined hereunder, provided, however, that in the event of failure to exercise the privilege herein granted and the payment of such consideration within six (6) months from the effective date hereof, then and in that event such privilege shall be rendered null and void.

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Dated \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, City Clerk

Approved \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, Mayor



**II**  
R. O. No. 128 - 21 - 22. By CITY CLERK. February 21, 2022.

Submitting a communication from Harbor Café, LLC requesting an encroachment on a portion of 340/342 South Pier Drive to build an outdoor seating deck.

*CityPlan*  
\_\_\_\_\_  
CITY CLERK



Harbor Café, LLC  
342 South Pier Drive  
Sheboygan, WI 53081

November 23, 2021

Mayor Ryan Sorenson  
City of Sheboygan Common Council  
City Hall  
828 Center Avenue, Suite 300  
Sheboygan, WI 53081

Dear Mayor Sorenson and the City of Sheboygan Common Council,

Thank you for approving the conditional use of my property located at 342 South Pier Drive for the establishment and operation of Harbor Café, LLC, an independent coffeehouse café.

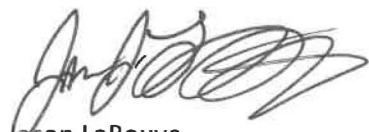
I am writing to request your consideration for an encroachment to build an outdoor seating deck. I believe one reason Sheboygan is such a special place is the beautiful atmosphere along Lake Michigan and the Sheboygan River surrounding the South Pier District. I'm grateful to have the opportunity to open an establishment in the heart of this environment and would love to share it with all patrons and passersby. In order to fully appreciate the location, I would like to ask the Mayor's Office and the Common Council for permission and approval to build an outdoor seating deck on the north side of the 342 South Pier Drive property along the Sheboygan River.

This deck would give guests of Harbor Café scenic views and full appreciation of many significant landmarks in Sheboygan, including the Sheboygan River, the North Pier Lighthouse, the Harbor Centre Marina, the US Coast Guard Station, the Courthouse, and a unique panoramic view of the entire Downtown Sheboygan skyline, to name a few.

The deck is being designed and would be constructed by Quasius Construction. Attached you will find supporting documents of a rendering and vision of our plans.

Thank you for your time and consideration.

Sincerely,



Jason LaBouve

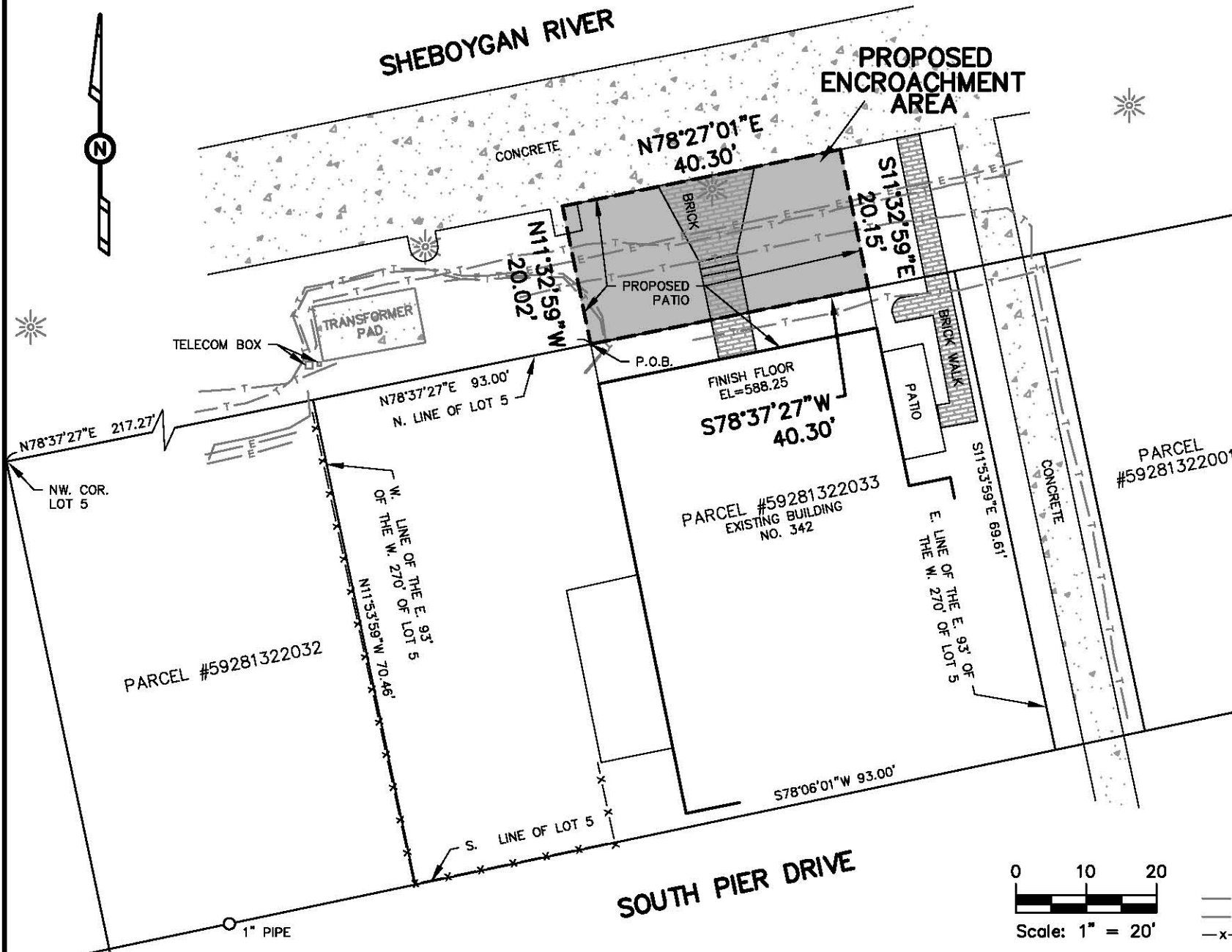
**Harbor Café, LLC**  
920-912-8787  
jason@labouve.net



# ENCROACHMENT EXHIBIT

FOR: Quasius Construction

East 93' of the West 270' of Lot 5, South Pier Subdivision, Part of the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin.



## Legal Description of Encroachment Area

Part of Lot 5 of South Pier Subdivision, located in the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin described as follows:

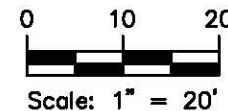
Commencing at the Northwest Corner of Lot 5 of said Subdivision; thence N78°37'27\"E 217.27 feet along the North line of said Lot 5 to the POINT OF BEGINNING of this description; thence N11°32'59\"W 20.02 feet; thence N78°27'01\"E 40.30 feet; thence S11°32'59\"E 20.15 feet to the North line of said Lot 5; thence S78°37'27\"W 40.30 feet along said North line to the point of beginning. This described portion contains 809 square feet or 0.019 acres.

## NOTES:

1. UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS HOTLINE AND SHOULD NOT BE INTERPRETED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.
2. PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.
3. BEARINGS ARE BASED ON SHEBOYGAN COUNTY COORDINATE SYSTEM.
4. ELEVATIONS ARE NAVD88(GEOID12B).

## LEGEND

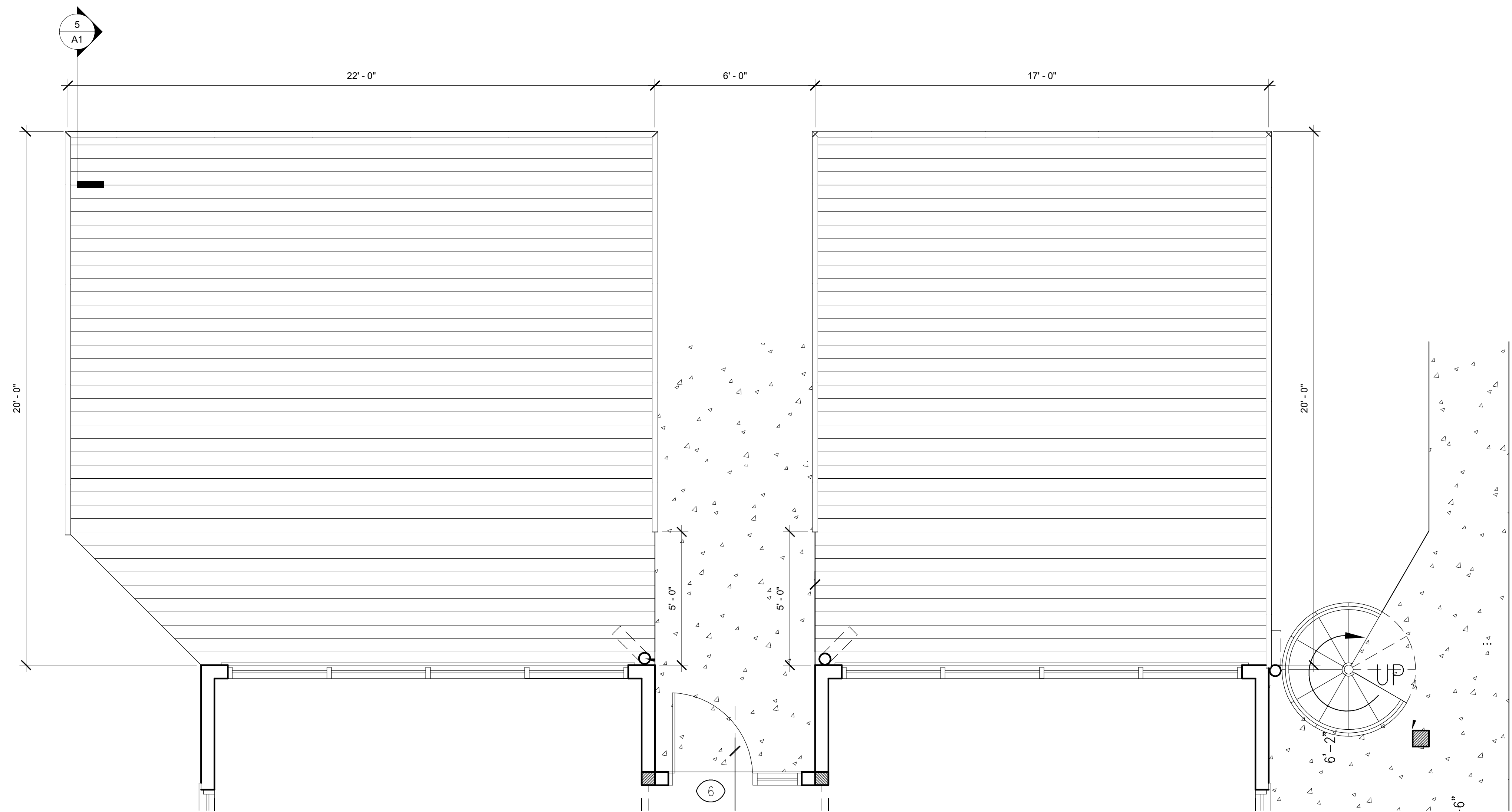
- ⊙ = County Monument
- = Iron Stake Found
- = Iron Stake Set
- ☼ = Light Pole
- E— = Electric Line
- T— = Telecom Line
- x—x— = Fence



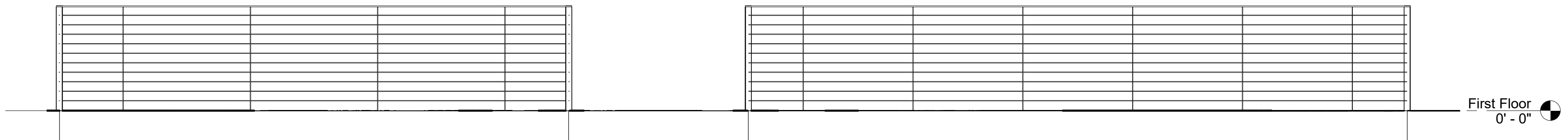
941 Center Avenue, Suite 1  
Oostburg, WI 53070  
920-547-0599

**CEDAR CREEK SURVEYING, LLC**  
[www.cedarcreeksurveying.com](http://www.cedarcreeksurveying.com)

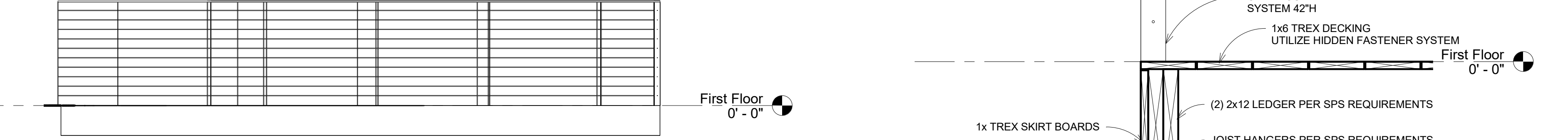




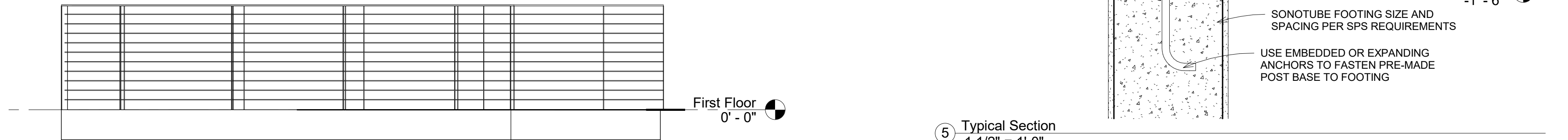
1 First Floor  
3/8" = 1'-0"



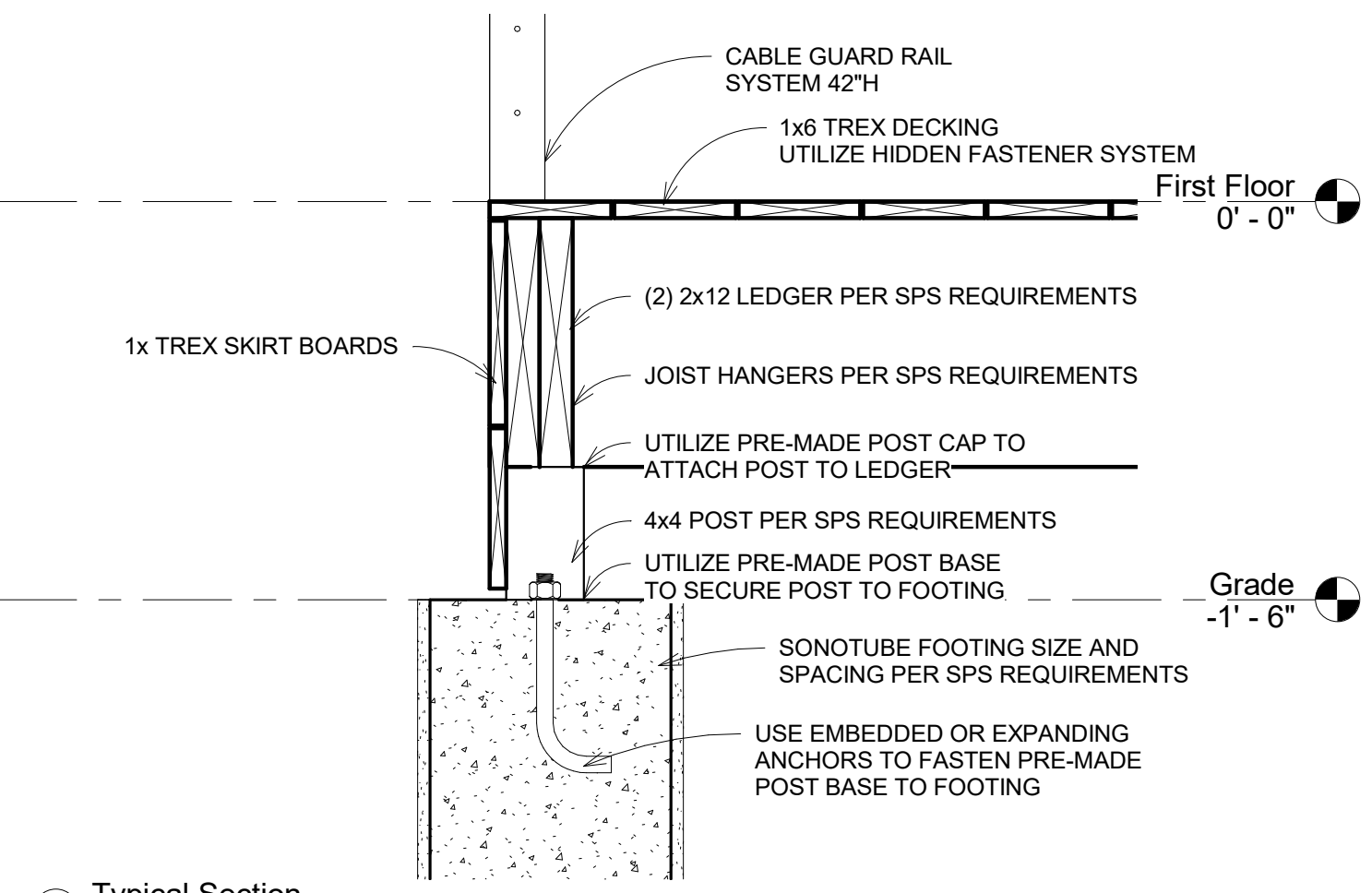
2 North  
3/8" = 1'-0"



3 East  
3/8" = 1'-0"



4 West  
3/8" = 1'-0"



5 Typical Section  
1 1/2" = 1'-0"

- GENERAL NOTES:**
1. DECK IS TO BE CONSTRUCTED IN ACCORDANCE WITH STATE OF WISCONSIN SAFETETY AND PROFESSIONAL SERVICES CODES DETAILING DECK CONSTRUCTION REQUIREMENTS
  2. LANDSCAPING ELEMENTS IN ACCORDANCE WITH CITY OF SHEBOYGAN ORDINANCE
  3. EXISTING CEMENT WALK TO REMAIN
  4. ENCROACHMENT ON PUBLIC R.O.W. IS DETAILED ON THE SUBMITTED SURVEY DOCUMENTS



Notes & Revisions

## Harbor Cafe Exterior Improvements

### Misc. Views

Project number  
Date  
Drawn by  
Checked by

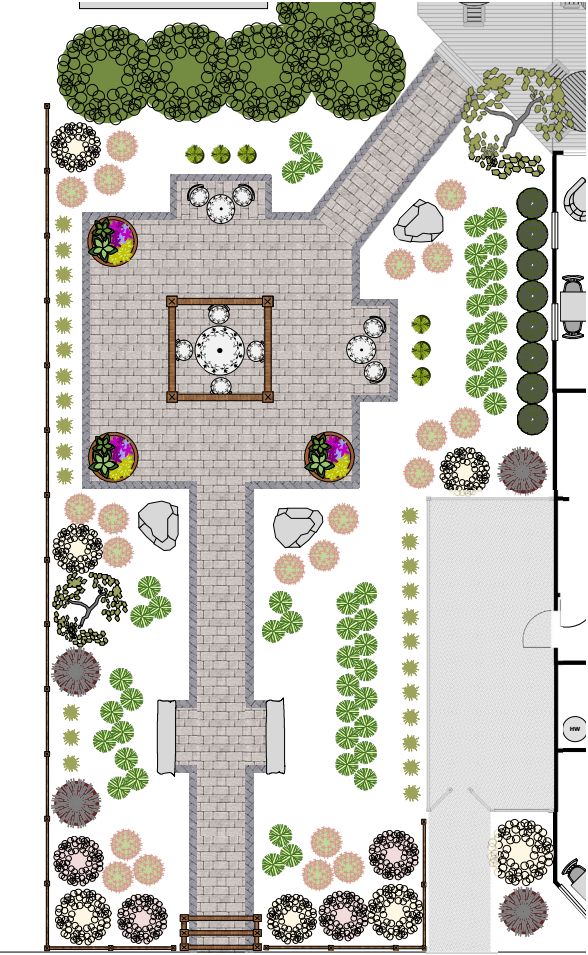
SDL  
SDL

# A1

Scale As indicated



**EXISTING PHOTOS + WEST BUILDING PLAN**





























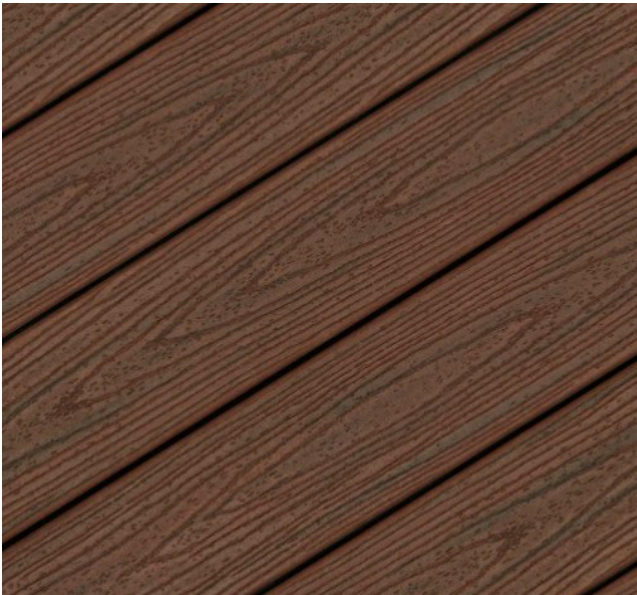




LIGHTING & FINISH  
SPECIFICATIONS + STYLE INSPIRATION



**DECK FLOOR**  
Spiced Rum . 5.5” Width  
*Trex Brand - Enhance Collection*  
Composite Wood



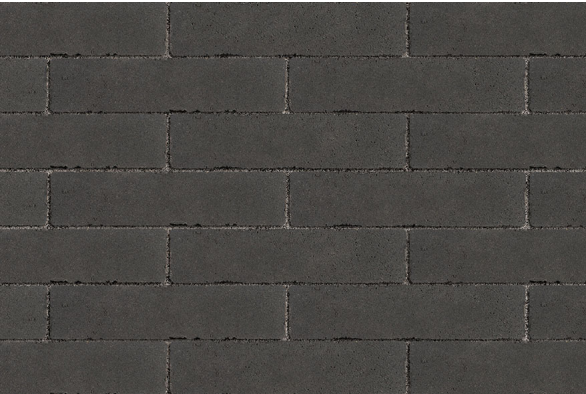
**DECK SKIRTING**  
White Horizontal Paneling



**EXTERIOR WALL SCONCE**  
Gooseneck Barn Light Warehouse  
Outdoor Wall Sconce - HL-A Arm  
17” Dia Shade x 11”H, White Enamel  
Lumens.com (qty x 4 total)



**RAILING STYLE INSPIRATION**  
Stainless Steel Cable Rail System +  
Red Wood or Composite Railing



**West Building Patio Pavers**  
Canvas: Cocoa Brown  
Board: Dark Charcoal  
Unilock Brand



FURNITURE  
SPECIFICATIONS



**LOUNGE CHAIR**  
Modern Adirondack Chair  
in Slate Gray, 29.25 "W x 32.13"D x 34.68"H  
Polywood.com \$249. each (qty x 12 total)



**FIRE TABLE**  
Adara 49"w 31"d 15"h Outdoor Fire Table  
in Graphite Metal Finsh  
Room & Board, \$2,899. ea (qty x 2)  
\*Avaible in propane or natural gas style



**DINING TABLE**  
Malibu 36" Metal Square Dining Table, Black  
36" x 36" x 30"H, \$699 ea (qty x 3)  
Pottery Barn SKU# 3193011



**DINING TABLE UMBRELLA**  
Round Market Umbrella 6' Dia  
Heather Gray Sunbrella Fabric  
\$429. ea (qty x 3)  
Pottery Barn SKU# 9496877



**BISTRO TABLE**  
Santa Ana Teak & Metal Round Bistro Table  
30" dia, 30" h, \$699 ea (qty x 3)  
Pottery Barn SKU# 3193011



**DINING & BISTRO TABLE CHAIRS**  
Durango Side Chair, Set of 4, White  
Pottery Barn SKU# 5582605  
(qty x 5 sets of 4)



**SIDE TABLES**  
Heaton Natural Teak Wood  
Outdoor Side Table 18" W x 18" D x 18"H  
The Home Depot SKU#1006787081  
(qty x 7 total)



Show search results for 340...



92532304



± -87.706 43.749 Degrees







## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** R.O. 128-21-22 and G.O. 39-21-22 by Alderperson Perrella granting Harbor Cafe, LLC, its successors and assigns, the privilege of encroaching upon described portions of 340/342 South Pier Drive in the City of Sheboygan for the purpose of adding an outside seating deck.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 11, 2022

**MEETING DATE:** March 15, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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#### STATUTORY REFERENCE:

Wisconsin Statutes:	N/A
Municipal Code:	N/A

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#### BACKGROUND / ANALYSIS:

Harbor Café, LLC is requesting an encroachment to install/construct an outdoor patio/deck at Harbor Café located at 340 s. Pier Drive. The applicant states:

- Harbor Café is requesting an encroachment to build an outdoor seating deck. The owner believes one reason Sheboygan is such a special place is the beautiful atmosphere along Lake Michigan and the Sheboygan River surrounding the South Pier District. I'm grateful to have the opportunity to open an establishment in the heart of this environment and would love to share it with all patrons and passersby. In order to fully appreciate the location, I would like to ask the Mayor's Office and the Common Council for permission and approval to build an outdoor seating deck on the north side of the 340/342 South Pier Drive property along the Sheboygan River.
- This deck would give guests of Harbor Café scenic views and full appreciation of many significant landmarks in Sheboygan, including the Sheboygan River, the North Pier Lighthouse, the Harbor Centre Marina, the US Coast Guard Station, the Courthouse, and a unique panoramic view of the entire Downtown Sheboygan skyline.
- The deck is being designed and constructed by Quasius Construction who will build the new deck on the north side of the existing building to add additional outdoor seating capacity for the newly constructed café. We will be using high end materials for the deck and improving the landscaping design/plantings with regard to the layout of the new deck.



- The exterior of the building utilizes cedar siding, a standing seam metal roof and aluminum clad wood windows. The proposed design of the deck is intended to closely match and coordinate with the existing materials that are utilized on the building.

#### **STAFF COMMENTS:**

In September of 2021, the Plan Commission approved a conditional use permit so owner Jason LaBouve could open the Harbor Café. Harbor Cafe will be a family-friendly atmosphere for patrons of all ages and will not serve alcohol. The menu will be simple and not require any fryers or grills. Beverages will include: water, flavored sparkling waters, coffees, espressos, teas and smoothies. Food will include: soups, salads, wraps, mini deli-style sandwiches, charcuterie boards (featuring local cheeses and sausages), bakery, and specialty deserts. The menu will source ingredients locally wherever possible.

Similar encroachments have been granted permitting owners to utilize the Sheboygan Riverfront Promenade for outdoor deck/patio purposes to take advantage of the amazing views of the Sheboygan River and Lake Michigan for these S. Pier Shanty structures.

In addition to the deck, it appears Harbor Café is also proposing a nice new outdoor patio and landscaping in the area to the west of the shanty facility. In their conditional use permit application, the applicant stated the following about improving this area:

*The space at 340 South Pier Drive was once occupied by Restoration Gardens and they continue to do an amazing job managing the landscaping. There is a beautiful garden area directly to the west of the building and in the future, I envision the possibility of using this space to create a seasonally themed garden for people to walk through and enjoy, which would include patriotic themes for the summer, tasteful harvest/Halloween theme for the fall, and a sophisticated Christmas theme for the winter.*

These projects will certainly enhance the aesthetics of the business and the S. Pier District.

If the encroachment is approved, Harbor Café, LLC will need to pay the required encroachment fee prior to building permit issuance for the new deck.

#### **ACTION REQUESTED:**

Staff does not object to the encroachments as proposed.

#### **ATTACHMENTS:**

R.O. 128-21-22 and G.O. 39-21-22



PARCEL NO. \_\_\_\_\_

MAP NO. \_\_\_\_\_

ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

APPLICATION/FILE NO. \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

**FILING FEE: \$250.00** (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN  
APPLICATION FOR  
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905  
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

**1. APPLICANT INFORMATION**

APPLICANT: Cardinal Capital Management

ADDRESS: 901 S 70th St, West Allis, WI 53214 E-MAIL: jreichl@cardinalcapital.us

PHONE: ( 414 ) 727-9902 FAX NO. ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Sheboygan Press Apartments

ADDRESS OF PROPERTY AFFECTED: 632 Center Avenue, Sheboygan, Wisconsin

LEGAL DESCRIPTION: See Attached

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: \_\_\_\_\_

The building is currently vacant.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: \_\_\_\_\_

The proposed use is multi-family residential.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: \_\_\_\_\_

The request for this property is to develop multi-family housing in the Central Commercial District zoning.



### 3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? CC Zoning indicates it is for a "wide range of office, retail, and

lodging land uses." Apartments are included in 15.105(3)(f)2c Land Uses Permitted as Conditional Uses.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? \_\_\_\_\_

No undue adverse impacts on nearby properties will result from the development.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? \_\_\_\_\_

Apartments are included in 15.105(3)(f)2c Land Uses Permitted as Conditional Uses for CC zoning.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes

### 4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

**OWNER OF SITE:** CCM-Press Owner LLC

**ADDRESS:** 901 S 70th St, West Allis, WI 53214 **E-MAIL:** jreichl@cardinalcapital.us

**ARCHITECT:** Korb + Associates Architects

**ADDRESS:** 648 N. Plankinton Ave, #240 **E-MAIL:** akopyt@kaa-arch.com  
Milwaukee, WI 53203

**CONTRACTOR:** Not determined yet.

**ADDRESS:** \_\_\_\_\_ **E-MAIL:** \_\_\_\_\_

### 5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
**APPLICANT'S SIGNATURE**

2/21/22  
**DATE**

Erich Schwenker  
**PRINT ABOVE NAME**





2/22/2022

## **CONDITIONAL USE - PROJECT NARRATIVE**

Sheboygan Press Building Renovation  
Sheboygan, WI

### PROJECT NAME AND ADDRESS:

Sheboygan Press Apartments  
632 Center Avenue, Sheboygan. Wisconsin 53081

### PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

ALTA Survey included with this submittal  
PARCEL 1 ID: 59281-110580  
PARCEL 2 ID: 59281-110670  
PARCEL 3 ID: 59281-110570

### ZONING CLASSIFICATION/ZONING:

CC-Central Commercial

### EXISTING SITE CONDITIONS/ LAND USE:

The project site consists of the vacant historic Sheboygan Press building and some surface parking areas.

### PROPOSED LAND USE

The vacant building will be converted into 29 market rate apartments. This is aligned with the City of Sheboygan's comprehensive vision to have more housing in the downtown area. The apartment counts are as follows: 1 studio, 14 one-bedroom apartments, and 14 two-bedroom apartments. Three of the two-bedroom apartments will be lofted units.

### ARCHITECTURE MODIFICATIONS

The project will be submitted for Historic Tax Credits and any modifications to the building will follow the Secretary of the Interiors Standards for Rehabilitation. The primary architecture of the building will remain as constructed and there will be no additions put onto the building. The majority of the existing windows will be replaced with insulated glazing units to match the original window design. Where modifications to the building took place, outside the determined period of significance, the building will be renovated to either match the original construction or match other existing historic features.

### PARKING

Sheboygan Press Apartments will be served by 2 surface lots adjacent to the building, 1 surface lot across the alleyway to the north, and 1 surface parking lot across Center Ave to the south. There is also ample street parking around the buildings for use by tenants and visitors. Per the City of Sheboygan Zoning Ordinance, CC zoning does not have a parking requirement. However, multi-family housing in other zoning requires 2 spaces for each unit with 2 or more bedrooms, 1 ½ spaces for each unit with one bedroom or less. Using these requirements, the new apartments would require 51 parking spaces. 45 off street spaces will be available to the tenants of Sheboygan Press Apartments. The developers have determined that this is sufficient parking for the project.

### SITE UTILITIES

All existing site utilities will remain and there will be no additional site features added.

- There are two access drives from the alley on the north side of the property.
- The site is graded to direct storm water runoff away from the building.
- Roof drainage is connected directly to the city storm sewer using an existing lateral.
- Building water service is connected to the public water main.
- Building sanitary connects into the public sanitary sewer.





#### SITE SELECTION

The historic Sheboygan Press building is an asset to the downtown. The attractive building is close to downtown amenities and adding more market rate housing within walking distance of the 8<sup>th</sup> Street corridor will be an economic benefit to the local businesses.

#### LANDSCAPE REQUIREMENTS

The building mostly build up to the property line with limited opportunity for landscaping. Where possible, the project will comply with the requirements of Section 15.6 of the City of Sheboygan Zoning Ordinance.

#### PERFORMANCE STANDARDS/POTENTIAL NUISANCES

This project is contained within an existing building and the project will follow all performance standards set out in the City of Sheboygan Zoning Ordinance.

#### SITE LIGHTING

Site lighting will be submitted separately.

#### DENSITY

Site Area Parcel 1 = 0.72 Acres or 31,328 SF

Site Area Parcel 2 = 0.21 Acres or 9,014 SF

Site Area Parcel 3 = 0.14 Acres or 5,992 SF

Total Site Area = 1.07 Acres or 46,334 SF

Maximum Gross Density (MGD) per table 15.304: Up to 40.00 du/acre

Total Dwelling Units Permitted =  $1.04 * 40 = 42$

Total Dwelling Units Proposed = 29

#### VARIANCE REQUESTED:

##### Minimum Lot Area

Total Site Area = 1.07 Acres or 46,334 SF

Minimum Lot Area (MLA) per table 15.304: 2,500 SF per unit

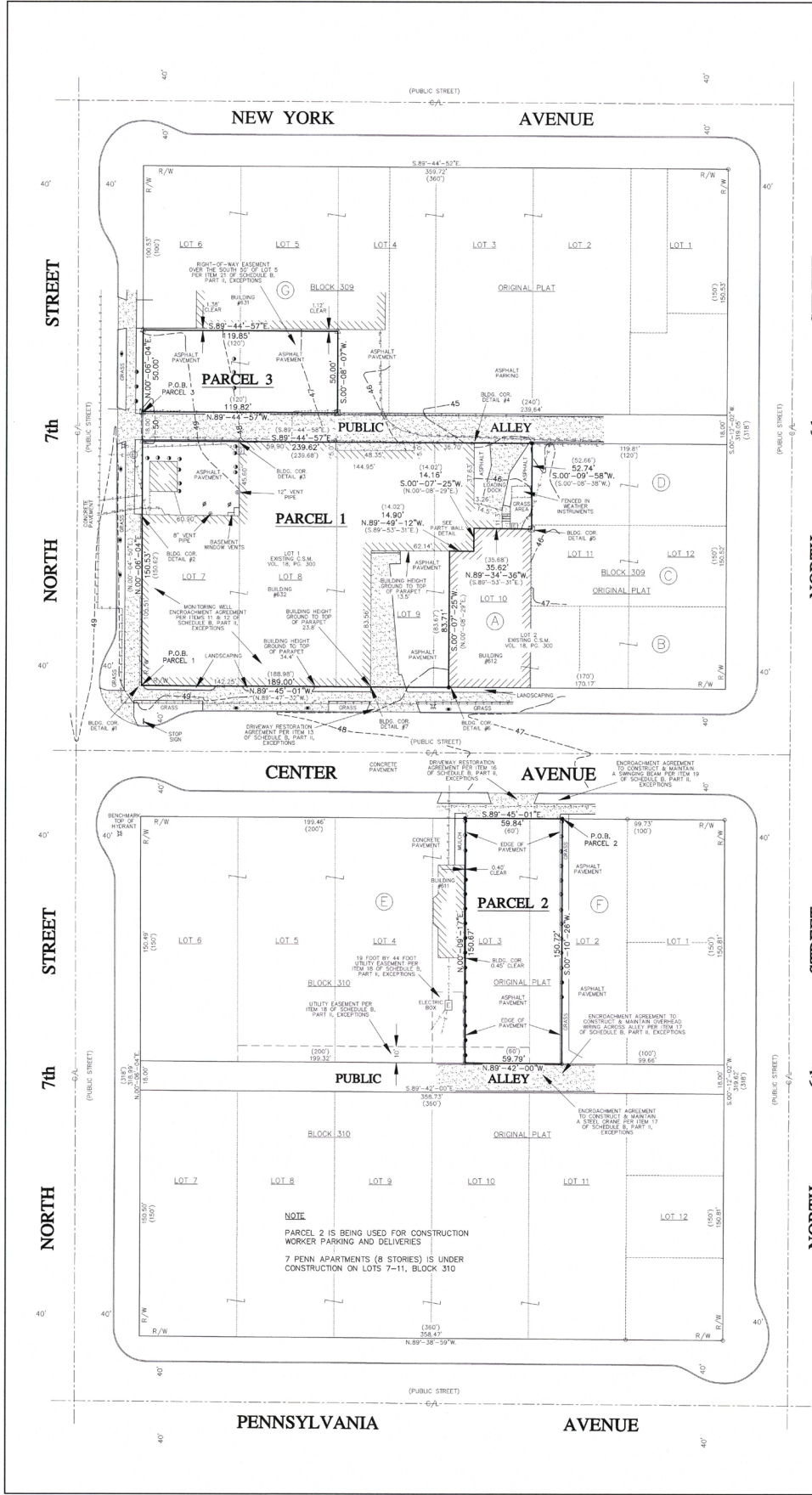
Total Required SF of Site = 2,500 SF x 29 units = 72,500 SF

Total Required Acres of Site = 72,500 SF / 43,560 SF = 1.66 Acres

Proposed Minimum Lot Area (MLA) = 43,560 / 29 = 1,502 SF

Variance is requested to permit a minimum lot area of 1,502 SF per unit. The building size will not increase as a result of the additional units. The apartments will be occupying a vacant building.





RECORD LEGAL DESCRIPTIONS.

PARCEL 1:

LOT ONE (1) OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 18 OF CERTIFIED SURVEY MAPS, PAGE 300/301, AS DOCUMENT NO. 1644782, BEING PART OF LOTS 7 TO 10 AND THE SOUTH 40 FEET OF THE WEST 45 FEET OF LOT 11, BLOCK 309 OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

METES & BOUND DESCRIPTION:

BEING PART OF THE SOUTHWEST 1/4 OF SECTION 23, TOWN 15 NORTH, RANGE 23 EAST, IN THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.  
BEGINNING AT THE SOUTHWEST CORNER OF LOT 7 OF BLOCK 309 OF THE ORIGINAL PLAT OF SHEBOYGAN; THENCE N.00°-06'-04"E. ALONG THE EAST RIGHT OF WAY LINE OF NORTH 7TH STREET 150.93 FEET TO THE SOUTH LINE OF AN 18 FOOT WIDE PUBLIC ALLEY, BEING THE NORTHWEST CORNER OF LOT 7; THENCE S.89°-44'-57"E. ALONG THE SOUTH LINE OF SAID ALLEY 239.62 FEET TO THE NORTHEAST CORNER OF LOT 10; THENCE S.00°-09'-58"W. ALONG THE EAST LINE OF LOT 10 A DISTANCE OF 52.74 FEET TO THE EAST EXTENSION OF THE NORTH FACE OF A BUILDING; THENCE N.89°-34'-36"W. ALONG THE NORTH FACE OF SAID BUILDING 35.62 FEET TO AN INTERIOR WALL INSIDE SAID BUILDING; THENCE S.00°-07'-25"W. ALONG SAID INTERIOR WALL 14.16 FEET TO ANOTHER INTERIOR WALL; THENCE N.89°-49'-12"W. ALONG SAID INTERIOR WALL 14.90 FEET TO THE WEST FACE OF A BUILDING; THENCE S.00°-07'-25"W. ALONG THE WEST FACE OF SAID BUILDING 83.71 FEET TO THE NORTH RIGHT OF WAY LINE OF CENTER AVENUE; THENCE N.89°-45'-01"W. ALONG SAID NORTH RIGHT OF WAY 188.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 31,328 SQ. FT. OR 0.72 ACRES.

FOR INFORMATIONAL USE ONLY:

TAX KEY #59281-110580

PROPERTY ADDRESS: 632 CENTER AVENUE, SHEBOYGAN, WI

PARCEL 2:

THE WEST TWENTY (20) FEET OF LOT TWO (2) AND THE EAST FORTY (40) FEET OF LOT THREE (3), IN BLOCK THREE HUNDRED TEN (310) OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

METES & BOUND DESCRIPTION:

BEING PART OF THE SOUTHWEST 1/4 OF SECTION 23, TOWN 15 NORTH, RANGE 23 EAST, IN THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.  
BEGINNING AT THE SOUTHWEST CORNER OF LOT 7 OF BLOCK 310 OF THE ORIGINAL PLAT OF SHEBOYGAN; THENCE N.89°-45'-01"W. ALONG THE SOUTH RIGHT OF WAY LINE OF CENTER AVENUE 99.73 FEET TO THE POINT OF BEGINNING; THENCE S.00°-10'-26"W. ALONG THE EAST LINE OF THE WEST 20 FEET OF LOT 2 A DISTANCE OF 150.72 FEET TO THE NORTH LINE OF AN 18 FOOT WIDE PUBLIC ALLEY; THENCE N.89°-42'-00"W. ALONG THE NORTH LINE OF SAID ALLEY 59.79 FEET; THENCE N.00°-09'-17"E. ALONG THE WEST LINE OF THE EAST 40 FEET OF LOT 3 A DISTANCE OF 150.67 FEET TO THE SOUTH RIGHT OF WAY LINE OF CENTER AVENUE; THENCE S.89°-45'-01"E. ALONG SAID SOUTH RIGHT OF WAY 58.84 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 9014 SQ. FT. OR 0.21 ACRES.

TAX KEY #59281-110670

PARCEL 3:

THE SOUTH FIFTY (50) FEET OF LOTS FIVE (5) AND SIX (6) IN BLOCK THREE HUNDRED NINE (309) OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

METES & BOUND DESCRIPTION:

BEING PART OF THE SOUTHWEST 1/4 OF SECTION 23, TOWN 15 NORTH, RANGE 23 EAST, IN THE CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.  
BEGINNING AT THE SOUTHWEST CORNER OF LOT 7 OF BLOCK 309 OF THE ORIGINAL PLAT OF SHEBOYGAN; THENCE N.00°-06'-04"E. ALONG THE EAST RIGHT OF WAY LINE OF NORTH 7TH STREET 150.93 FEET TO THE NORTH LINE OF AN 18 FOOT WIDE PUBLIC ALLEY; BEING THE SOUTHWEST CORNER OF LOT 8, AND BEING THE POINT OF BEGINNING; THENCE CONTINUING N.00°-06'-04"E. ALONG SAID EAST RIGHT OF WAY LINE OF NORTH 7TH STREET 150.93 FEET TO THE NORTH LINE OF LOT 5 A DISTANCE OF 50.00 FEET TO THE NORTH LINE OF AN 18 FOOT WIDE PUBLIC ALLEY; THENCE S.00°-08'-07"W. ALONG THE EAST LINE OF LOT 5 A DISTANCE OF 50.00 FEET TO THE NORTH LINE OF LOT 11; THENCE N.89°-44'-57"E. ALONG SAID NORTH RIGHT OF WAY LINE 119.82 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 5992 SQ. FT. OR 0.14 ACRES.

TAX KEY #59281-110570

Note 1: The property hereon described is the same as the pertinent property as described in First American Title Insurance Company, File No. NCS-843253-DC72, Effective Date: January 24, 2019.

Note 2: Survey closure meets 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys as adopted by American Land Title Association and National Society of Professional Surveyors.

Note 3: The underground utilities shown have been located from field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

SURVEYOR CERTIFICATION

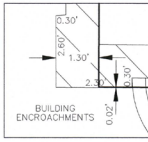
To: 632 Center LLC, First American Title Insurance Company, and Gannett Satellite Information Network, LLC.  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(c), 6(d), 7(c), 7(d)(1), 7(c), 8, 9, 10(a), 10(b) and 11 of Table A thereof. The fieldwork was completed on May 24, 2019.

Dated this 20th day of June 2019.

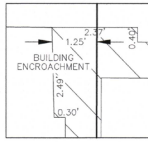
Anthony P. Lulloff  
Anthony P. Lulloff, Professional Land Surveyor S-1655, State of Wisconsin, WI

SCHEDULE B. II. ITEMS

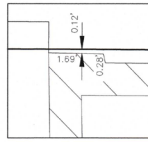
- Encroachment Agreement, dated November 4, 1994 between the City of Sheboygan and Press Publishing Company and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin on November 10, 1994, in Volume 1368 of Records, on Pages 786/88, as Document No. 1415635. (West side of Parcel 1)
- Encroachment Agreement, dated November 4, 1994, between the City of Sheboygan and Press Publishing Company and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin, on November 10, 1994, in Volume 1368 of Records, on Pages 784/785, as Document No. 1415634. (South side of Parcel 1)
- Driveway Restoration Agreement dated May 29, 1985 between Press Publishing Company and the City of Sheboygan and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin, on June 3, 1985, in Volume 983 of Records, on Pages 452/453, as Document No. 1115656. (Wide driveway for Parcel 1)
- Resolution recorded June 15, 2007, as Document No. 1829180. (Historic preservation of building on Parcel 1)
- Reservations for easements, building setback lines and other matters shown on the Certified Survey Map recorded in Volume 18 of Certified Survey Maps, Page 300/301, as Document No. 1644782. (Parcel 1)
- Driveway Restoration Agreement, dated September 4, 1980, by and between Security First National Bank of Sheboygan and the City of Sheboygan, and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin, on September 8, 1980 in Volume 886 of Records, at Page 717, as Document No. 1058042. (Driveway for Parcel 2)
- Encroachment Agreement, dated June 20, 1949, by and between Sheboygan Glass Company and the City of Sheboygan, and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin, on October 2, 1950 in Volume 327 of Records, at Page 124, as Document No. 550404. (Parcel 2)
- Encroachment Agreement, dated March 6, 1981, between Security First National Bank and Wisconsin Power and Light and Wisconsin Telephone Company, and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin, on March 9, 1981, in Volume 886 of Records, at Page 911, as Document No. 1064758. (Parcel 2)
- Encroachment Agreement, dated June 20, 1949, by and between Sheboygan Glass Company and the City of Sheboygan, and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin, on June 30, 1949, in Volume 319 of Records, at Page 261, as Document No. 526504. (Parcel 2)
- Encroachment Agreement, dated February 7, 1949, by and between Sheboygan Glass Company and the City of Sheboygan, and recorded in the Office of the Register of Deeds for Sheboygan County, Wisconsin, on March 16, 1949 in Volume 316 of Records, at Page 641, as Document No. 520966. (Parcel 2)
- Right-of-Way Easement dated January 14, 1946, between Anna Wilke and Wisconsin Telephone Company, and recorded in the Office of the Register Deeds for Sheboygan County, Wisconsin, on January 18, 1946 in Volume W of Records, at Page 93, as Document No. 468498. (Parcel 3)



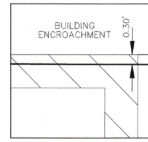
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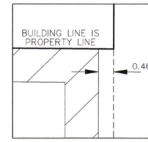
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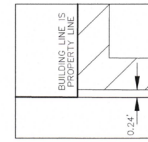
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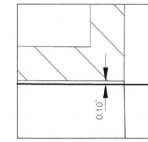
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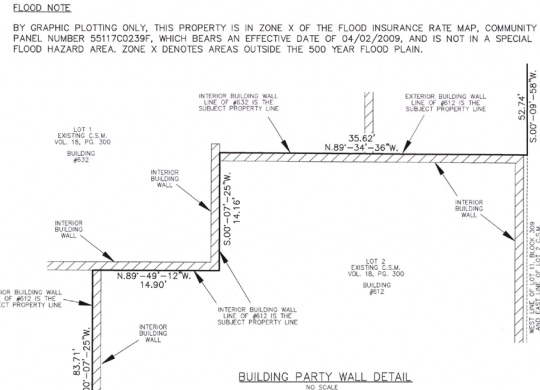
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BLDG\_COR\_DETAIL\_#6



BLDG\_COR\_DETAIL\_#7



FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 251702239F, WHICH BEARS AN EFFECTIVE DATE OF 04/02/2009, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. ZONE X DENOTES AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN.

NOTES

- BEARINGS ARE REFERENCED TO THE EAST RIGHT OF WAY LINE NORTH 7TH STREET FOR BLOCKS 309 & 310, ORIGINAL PLAT OF SHEBOYGAN, ASSIGNED N.00°-06'-04"E. PER THE SHEBOYGAN COUNTY COORDINATE SYSTEM.
- ELEVATIONS ARE REFERENCED TO THE CITY OF SHEBOYGAN DATUM. BENCHMARK IS TOP OF HYDRANT AT THE SOUTHEAST CORNER OF CENTER AVENUE AND N. 7th STREET. CITY DATUM = 51.59', NAVD83 = 632.41'
- NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
- NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- NO PARKING TRIPLES FOUND ON PARCELS 1, 2, & 3.

AREA

Parcel 1: 31,328 SQ. FT. (0.72 ACRES)

Parcel 2: 9014 SQ. FT. (0.21 ACRES)

Parcel 3: 5992 SQ. FT. (0.14 ACRES)

PARKING

66 TOTAL SPACES

12 STANDARD SPACES (PARCEL 1)

34 STANDARD SPACES (PARCEL 2)

20 STANDARD SPACES (PARCEL 3)

0 HANDICAP SPACES

ADJOINING PROPERTIES:

- A) GREAT MARRIAGES FOR SHEBOYGAN COUNTY INC, 612 CENTER AVE, SHEBOYGAN, WI 53081-4621
- B) ALJOCO, 602 N 6TH ST, SHEBOYGAN, WI 53081-4613
- C) KOP ENTERPRISES LLC, 608 N 6TH ST, SHEBOYGAN, WI 53081-4613
- D) KIRCHNER, BARBARA J, 4022 KRUSCHKE AVE (PROPERTY: 614 N 6TH ST), SHEBOYGAN, WI 53081- 3067
- E) FIRST WIS NATL BANK, 2800 E LAKE ST (PROPERTY: 611 CENTER AVE), MINNEAPOLIS, MN 55406-1930
- F) ALJOCO, 602 N 6TH ST, SHEBOYGAN, WI 53081-4613
- G) AMERITECH, 1 BELL CTR (PROPERTY: 631 NEW YORK AVE), SAINT LOUIS, MO 63101-3004

SITE RESTRICTIONS

THIS PROPERTY IS ZONED CC, CENTRAL COMMERCIAL DISTRICT PER CHAD PELISHEK AT THE DEPARTMENT OF CITY PLANNING & DEVELOPMENT PHONE: 920-459-3377 OR EMAIL: Chad.Pelishek@sheboyganwi.gov . THE FOLLOWING RESTRICTIONS ARE PER NO. 4 IN THE ZONING ORDINANCE FOR CC ZONING.

4. Regulations Applicable to Nonresidential Uses

- A. Nonresidential Density and Intensity Requirements: (per Table 15.305)  
Minimum Landscape Surface Ratio (LSR): .00 Minimum Lot Area (MLA): no Maximum Building Size (MBS): no
- B. Nonresidential Bulk Requirements: (per Table 15.403)
  - a: Minimum Lot Area: no
  - b: Minimum Lot Width: 0 feet Minimum Setbacks: 91
  - c: Building to Front or Street Side Lot Line: 0 feet
  - d: Building to Residential Side Lot Line: 0 feet
  - e: Building to Residential Rear Lot Line: 20 feet
  - f: Building to Nonresidential Side Lot Line: 0 feet
  - g: Building to Nonresidential Rear Lot Line: 10 feet
  - h: Peripheral Setback: See 15.610(4)(b) along zoning district boundary
  - i: Minimum Paved Surface Setback: 0 feet
  - j: Minimum Building Separation: 0 feet
  - k: Maximum Building Height: 20 feet (Can exceed 20 feet w/conditional use permit)
  - l: Minimum Number of Off-Street Parking Spaces Required on the Lot:  
See parking lot requirements per specific land use in Section 15.206
- C. Nonresidential Landscaping Requirements (Nonresidential and Multi-family):
  - 1) 0 landscaping points per 100 linear feet of building foundation
  - 2) 0 landscaping points per 1,000 square feet of grass floor area
  - 3) 0 landscaping points per 100 linear feet of street frontage
  - 4) 20 landscaping points per 10,000 square feet paved area/20 stalls

Anthony P. Lulloff, P.E., S.P.  
Professional Land Surveyor  
17625 Matzneck Road  
Kiel, WI 53042  
aplulloff@gmail.com  
920.884.2151

1	PRELIM
2	
3	
4	
5	
6	

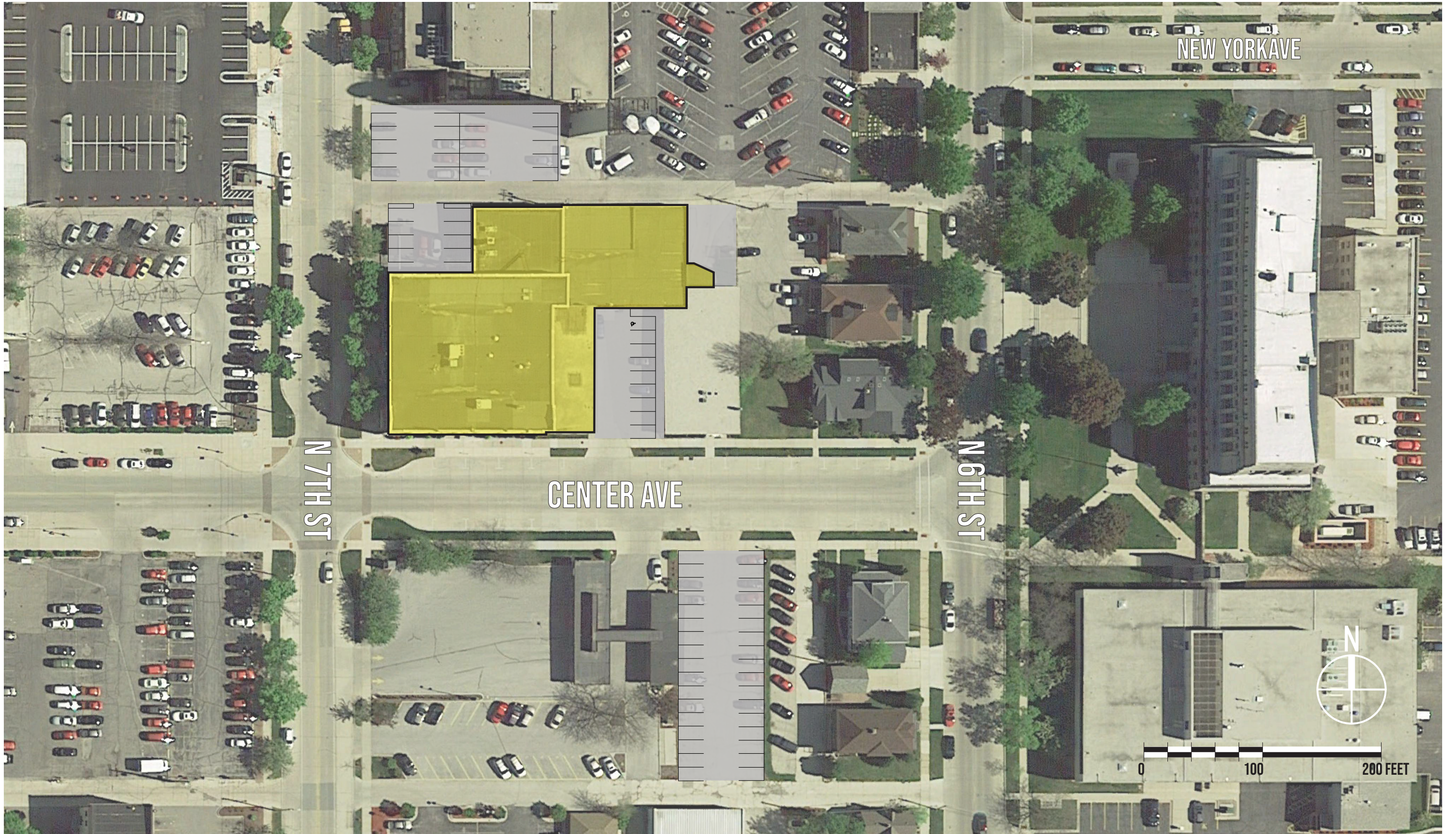
DRAWING FILE: GRACE CAPITAL  
PROJECT NUMBER: 2105056  
DRAWN BY: KCM CHECKED BY: APL  
DATE: 02/22/2022  
SHEET 1 OF 1 MAP NO. 62-28-61

ALTA / NSPS LAND TITLE SURVEY  
OF  
GANNETT SATELLITE INFORMATION NETWORK, INC. PROPERTY  
f/k/a GANNETT MIDWEST PUBLISHING, INC.  
632 CENTER AVENUE, SHEBOYGAN, WISCONSIN.  
PREPARED FOR  
GRACE CAPITAL GROUP, INC.  
125 WINDSOR DRIVE, SUITE 124, OAK BROOK, IL 60523

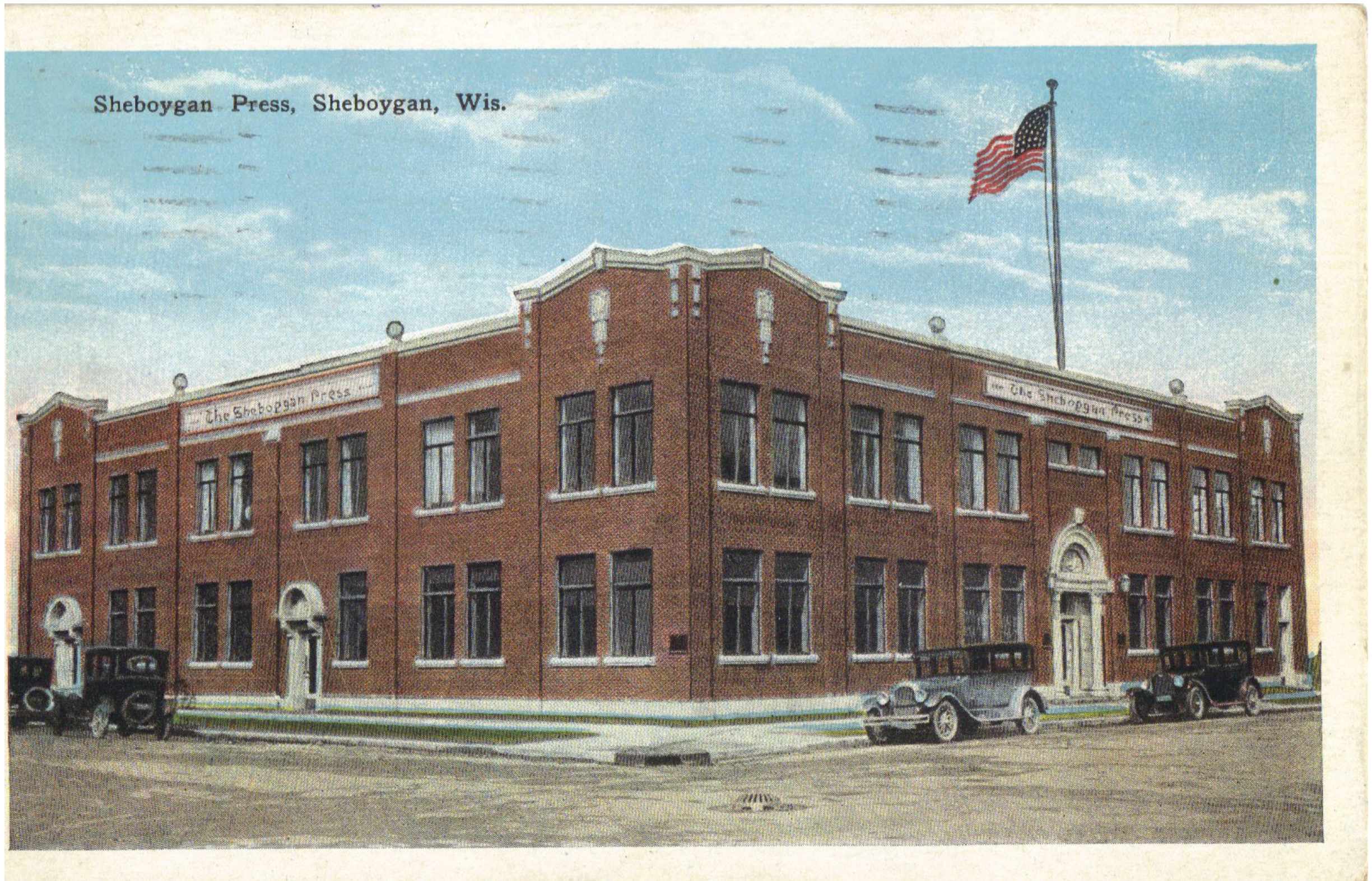
LEGEND

- = 3/4" x 18" Rebar Set
- o = 1" Iron Pipe Found
- ( ) = Recorded As Data
- ▲ = Guard Post Found
- = Parking Meter
- = Utility Pipe
- ⊠ = Electric Meter
- ⊙ = Electric Manhole
- ⊕ = Water Hydrant
- ⊗ = Gas Meter
- △ = R.R. Spike Set
- = Gas Main
- = Buried Telephone
- = Buried Electric
- = Buried Fiber Optic
- = Chain Link Fence
- = Contour Lines
- = Concrete Pavement
- ⊠ = X Chiselled in Concrete





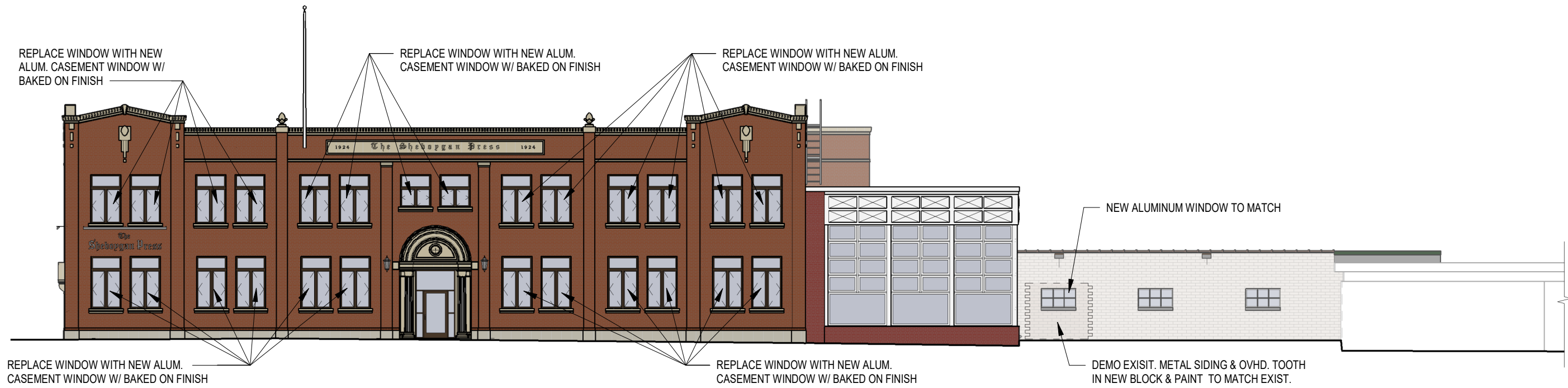






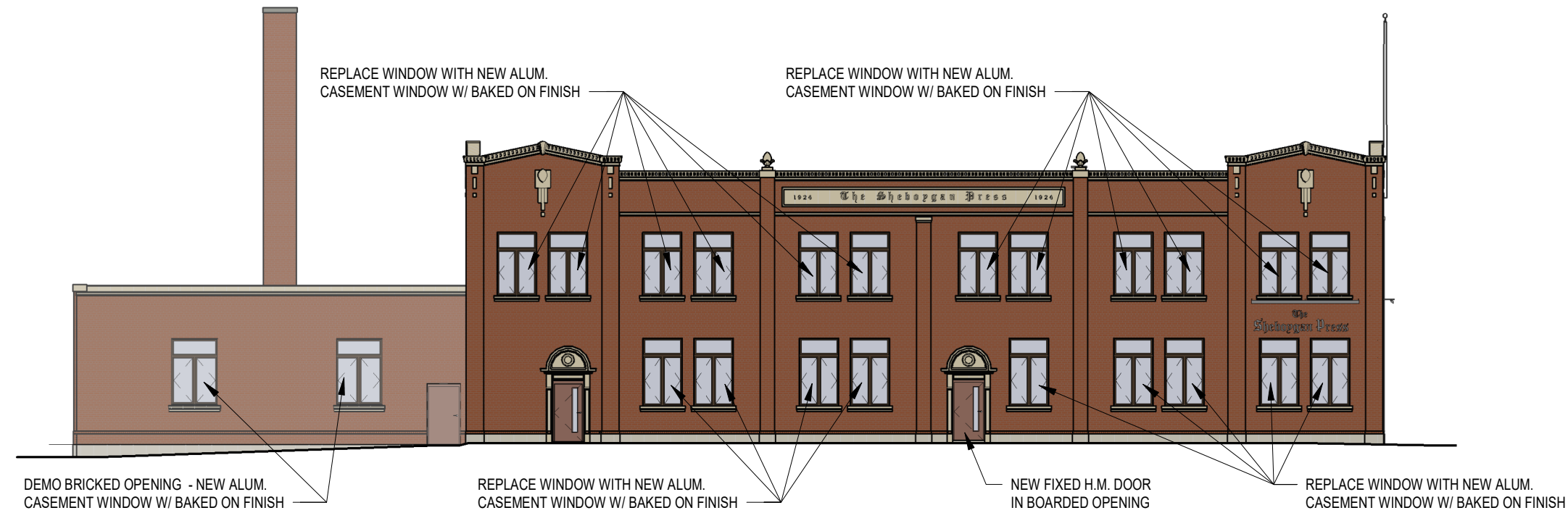






## 2 SOUTH ELEVATION - Colored

A200 1/16" = 1'-0"



## 1 WEST ELEVATION - Colored

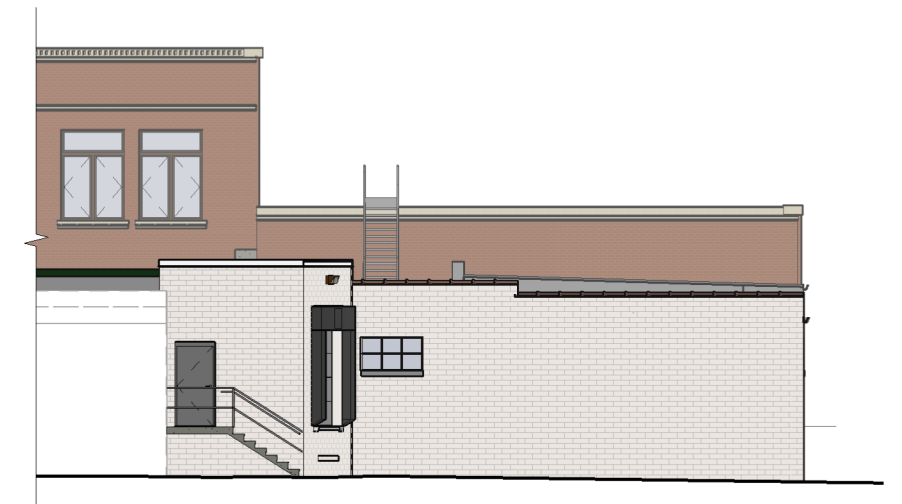
A200 1/16" = 1'-0"





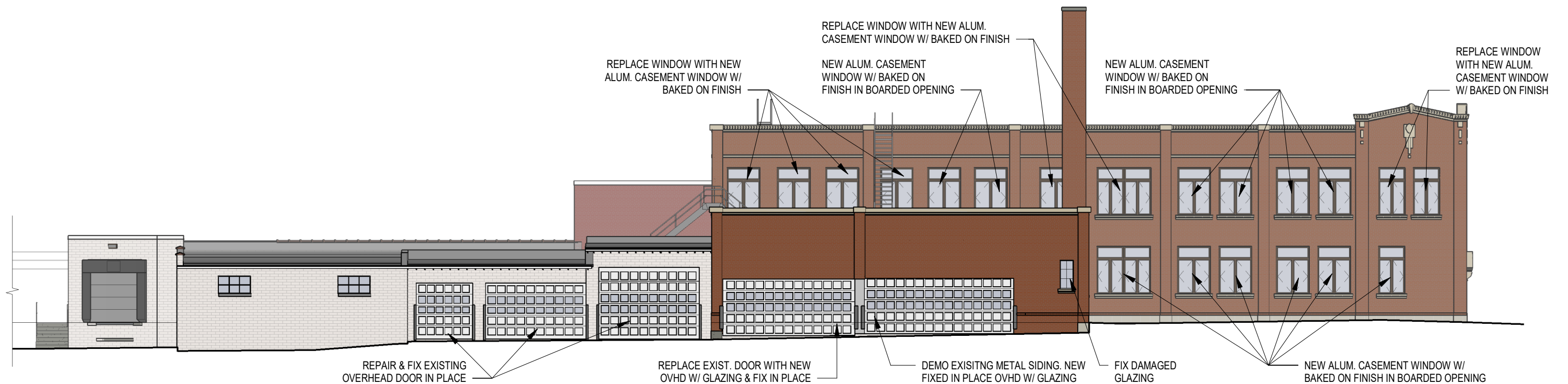
**3** EAST ELEVATION - Colored

A201 1/16" = 1'-0"



**2** EAST ELEVATION (REAR) - Colored

A201 1/16" = 1'-0"



**1** NORTH ELEVATION - Colored

A201 1/16" = 1'-0"













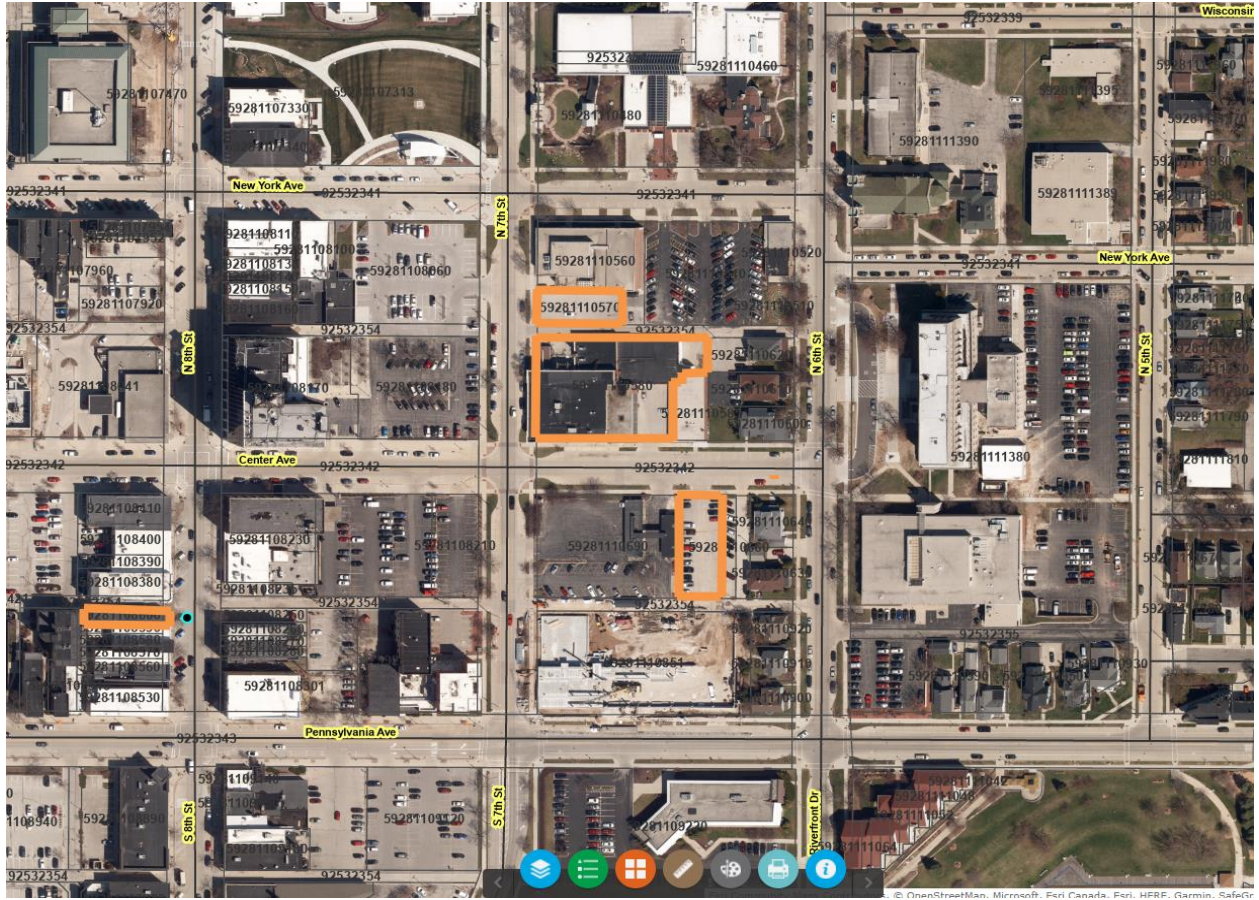






































## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Application for Conditional Use Permit with exceptions by Cardinal Capital Management to convert the former Sheboygan Press building into a new apartment building at 632 Center Avenue. CC zone

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 11, 2022

**MEETING DATE:** March 15, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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#### BACKGROUND / ANALYSIS:

Cardinal Capital Investment is proposing to repurpose the former Sheboygan Press building into a 29-unit Apartment complex. The applicant states the following about the proposed project:

- The Sheboygan Press closed in the summer of 2019 and is presently vacant.
- Cardinal Capital Investment is proposing to renovate the historic Sheboygan Press building into 29 apartments. There will be one (1) studio, 14 one-bedroom units and 14 two-bedroom. Three (3) of the two-bedroom apartments will be lofted units.
- The building has been confirmed to meet eligibility requirements and an application will be filed to place the building on the National Register of Historic Places. Historic tax credits along with conventional debt will finance the renovation of the building.
- The proposed adaptive reuse of this building is consistent with the character of the surrounding neighborhood. The 29 apartment homes will be contained entirely within the building and there will be no new building square footage added to the parcel. It proposes an appropriate density given all units will be contained within the building.
- The primary architecture of the building will remain as constructed and there will be no additions put onto the building. The majority of the existing windows will be replaced with insulated glazing units to match the original window design. Where modifications to the building took place, outside the determined period of significance, the building will be renovated to either match the original construction or match other existing historic features.



- Sheboygan Press Apartments will be served by two (2) surface lots adjacent to the building, one (1) surface lot across the alleyway to the north, and one (1) surface parking lot across Center Avenue to the south east of the US Bank Drive Thru facility located at 611 Center Avenue. There is also ample street parking around the buildings for use by tenants and visitors. Per the City of Sheboygan Zoning Ordinance, CC zoning does not have a parking requirement. However, multi-family housing in other zoning requires 2 spaces for each unit with 2 or more bedrooms, 1 ½ spaces for each unit with one bedroom or less. Using these requirements, the new apartments would require 51 parking spaces. 45 off street spaces will be available to the tenants of Sheboygan Press Apartments. The developers have determined that this is sufficient parking for the project.
- All existing site utilities will remain and there will be no additional site features or landscaping added.
- The historic Sheboygan Press building is an asset to the downtown. The attractive building is close to downtown amenities and adding more market rate housing within walking distance of the 8th Street corridor will be an economic benefit to the local businesses.
- The new multi-family apartment will be an attractive addition to the area that will provide positive benefits for the neighborhood and the City of Sheboygan for years to come.

#### **STAFF COMMENTS:**

The applicant indicates that they have purchased parcel # 59281110670 (the parking lot parcel east of the US Bank Drive Thru facility at 611 Center Avenue). The Plan Commission should be aware that Cardinal Capital Management will be using this parking lot for both the 7Penn Apartments as well as the Sheboygan Press Apartments. Appears this existing parking lot can provide approximately 34 at grade parking spaces.

The applicant believes that 37 onsite parking spaces (17 on their property and 20 on their property north of the alley) plus this off-site parking lot are enough for 29 apartments.

The Plan Commission may want to have the applicant address:

- What structures are all to be demolished?
- Where is the dumpster enclosure located and how is it designed (materials, colors, etc.)?
- Will you be doing any additional site improvements and/or landscaping?
- How does the shared parking lot work with regards to tenants and guest of the Sheboygan Press and 7Penn (off-site parking lot east of US Bank drive thru facility)?

The applicant is requesting the following variances:

- To have a minimum lot area of 1,081sf per unit (.72 acres) – For converted structures, minimum lot area is 2,500sf per unit or 1.7 acres.

$$2,500\text{sf} \times 29 \text{ units} = 72,500\text{sf} \qquad 72,500\text{sf} / 43,560\text{sf (an acre)} = 1.7 \text{ acres}$$

$$.72 \text{ acres} \times 43,560 = 31,363\text{sf} \qquad 31,363\text{sf} / 29 = 1,081\text{sf per unit}$$



## **ACTION REQUESTED:**

Staff recommends approval of the conditional use and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall receive a certificate of appropriateness from the City Historic Preservation committee prior to building permit issuance.
3. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties and/or streets.
6. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
7. Any unused mechanical boxes, equipment, etc. shall be removed from the site.
8. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
9. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
10. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is 8 feet.
11. Applicant shall be permitted to install individual letter signs only – no cabinet or flat panel signs are permitted.
12. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
13. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
14. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
15. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
16. Applicant is responsible to work with all private and public utilities in order to provide the necessary easements and/or relocate utilities as necessary.
17. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees etc.).
18. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to water and sewer.
19. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.



20. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve any proposed exterior renovations.
21. If there are any amendments to the approved conditional use/site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

**ATTACHMENTS:**

Conditional Use and required attachments



PARCEL NO. \_\_\_\_\_

MAP NO. \_\_\_\_\_

ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

APPLICATION/FILE NO. \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

**FILING FEE: \$250.00** (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN  
APPLICATION FOR  
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905  
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

**1. APPLICANT INFORMATION**

APPLICANT: Cardinal Capital Management

ADDRESS: 901 S 70th St, West Allis, WI 53214 E-MAIL: jreichl@cardinalcapital.us

PHONE: ( 414 ) 727-9902 FAX NO. ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: 7Penn Apartments

ADDRESS OF PROPERTY AFFECTED: 622 Pennsylvania Avenue, Sheboygan, Wisconsin

LEGAL DESCRIPTION: See Attached

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: \_\_\_\_\_

The building is currently a mixed-use development with apartments and a ground floor retail space.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: \_\_\_\_\_

The proposed modification is to convert the retail space to apartments.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: \_\_\_\_\_

The request for this property is to develop multi-family housing in the Central Commercial District zoning.



### 3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? CC Zoning indicates it is for a "wide range of office, retail, and

lodging land uses." Apartments are included in 15.105(3)(f)2c Land Uses Permitted as Conditional Uses.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? \_\_\_\_\_

The property is already used for multi-family residential. This modification will activate a currently unused ground floor space. No undue adverse impacts on nearby properties will result from the development.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? \_\_\_\_\_

Apartments are included in 15.105(3)(f)2c Land Uses Permitted as Conditional Uses for CC zoning.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes

### 4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: CCM-Sheboygan 7Penn LLC

ADDRESS: 901 S 70th St, West Allis, WI 53214 E-MAIL: jreichl@cardinalcapital.us

ARCHITECT: Korb + Associates Architects

ADDRESS: 648 N. Plankinton Ave, #240 E-MAIL: akopyt@kaa-arch.com  
Milwaukee, WI 53203

CONTRACTOR: Not determined yet.

ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

### 5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
APPLICANT'S SIGNATURE

2/21/22  
DATE

Erich Schwenker  
PRINT ABOVE NAME





2/22/2022

## CONDITIONAL USE - PROJECT NARRATIVE

ZPenn Apartments Renovation  
Sheboygan, WI

### PROJECT NAME AND ADDRESS:

7Penn Apartments  
622 Pennsylvania Avenue Sheboygan. Wisconsin 53081

### PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

SM is included with this submittal  
PARCEL ID: 59281110851

### ZONING CLASSIFICATION/ZONING:

CC-Central Commercial

### EXISTING SITE CONDITIONS/ LAND USE:

7Penn Apartments, a 66-unit mixed used building with parking and outdoor amenities.

### PROPOSED LAND USE

The existing building was approved as supporting the City of Sheboygan's comprehensive vision. The existing building is a 5-story mixed-use building with apartments and ground floor commercial space within Sheboygan's City Center. The 8,000sf of commercial space on the first floor has remained vacant since the construction of the building. In line with the desire for more housing in the downtown area, the building owners are proposing to construct ten additional market rate apartments within the space. The apartment counts are as follows: 6 studios, 2 one-bedroom + den apartments, and 2 two-bedroom apartments. The total apartment count for the building will be 76 apartments. The ten apartments will follow the same style and level of finish as the existing apartments in the building.

### ARCHITECTURE MODIFICATIONS

The primary architecture of the building will remain as constructed. With the addition of the dwelling units on the first floor, the existing windows on the south and east facades will be replaced with operable units. The original window style will remain and the bottom window will include an operable hopper style window. There will be two windows added to the north side of the building. These windows will allow natural light into the new unit at the northeast corner of the first floor. These windows will be of the same style and size as some of the existing windows on the building. The intent is for the windows to look as if they are part of the original construction.

### PARKING

7Penn Apartments is currently served by 57 underground parking spaces, 35 surface parking spaces, and 10 offsite parking spaces for a total of 102 spaces. This total number of spaces was approved for the original 66-unit development. Per the City of Sheboygan zoning code CC zoning does not have a parking requirement. However, multi-family housing in other zoning requires 2 spaces for each unit with 2 or more bedrooms, 1 ½ spaces for each unit with one bedroom or less. Using these requirements, the new apartments would require 16 parking spaces. Additional surface parking will be developed by the owner on a parcel across alleyway to the north of the existing building site.

### SITE UTILITIES

All existing site utilities will remain and there will be no additional site features added.

- There are two access drives from the alley on the north side of the property.
- The site is graded to direct storm water runoff away from the building.
- Roof drainage is connected directly to the city storm sewer using an existing lateral.
- Building water service is connected to the public water main in Pennsylvania Ave.
- Building sanitary connects into the public sanitary sewer.





#### SITE SELECTION

The attempt at placing commercial space off the main 8<sup>th</sup> street commercial corridor has not been successful. The demand for housing is proven and adding more market rate housing within walking distance of the 8<sup>th</sup> Street corridor will be an economic benefit to the local businesses.

#### LANDSCAPE REQUIREMENTS

There will be no landscape modifications as part of this project.

#### PERFORMANCE STANDARDS/POTENTIAL NUISANCES

This project is contained within an existing building already providing market rate housing and the project will follow all performance standards set out in the City of Sheboygan Zoning Ordinance.

#### SITE LIGHTING:

The existing site lighting will remain. There are no modifications planned as part of this project.

#### VARIANCES REQUESTED:

##### Density

Site Area = 1.03 Acres

Maximum Gross Density (MGD) per table 15.304: Up to 40.00 du/acre

Total Dwelling Units Permitted = 41

Total Dwelling Units Proposed = 76

Variance is requested to permit 76 units on 1.03 acres. The success of the development has demonstrated that this location can support the additional housing density.

##### Minimum Lot Area

Site Area = 1.03 Acres or 44,866.8 sf

Minimum Lot Area (MLA) per table 15.304: 2,500 SF per unit

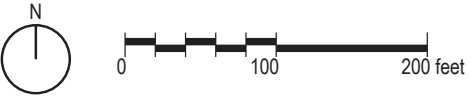
Total Required SF of Site = 2,500 SF x 76 units = 190,000 SF

Total Required Acres of Site = 190,000 SF / 43,560 SF = 4.36 Acres

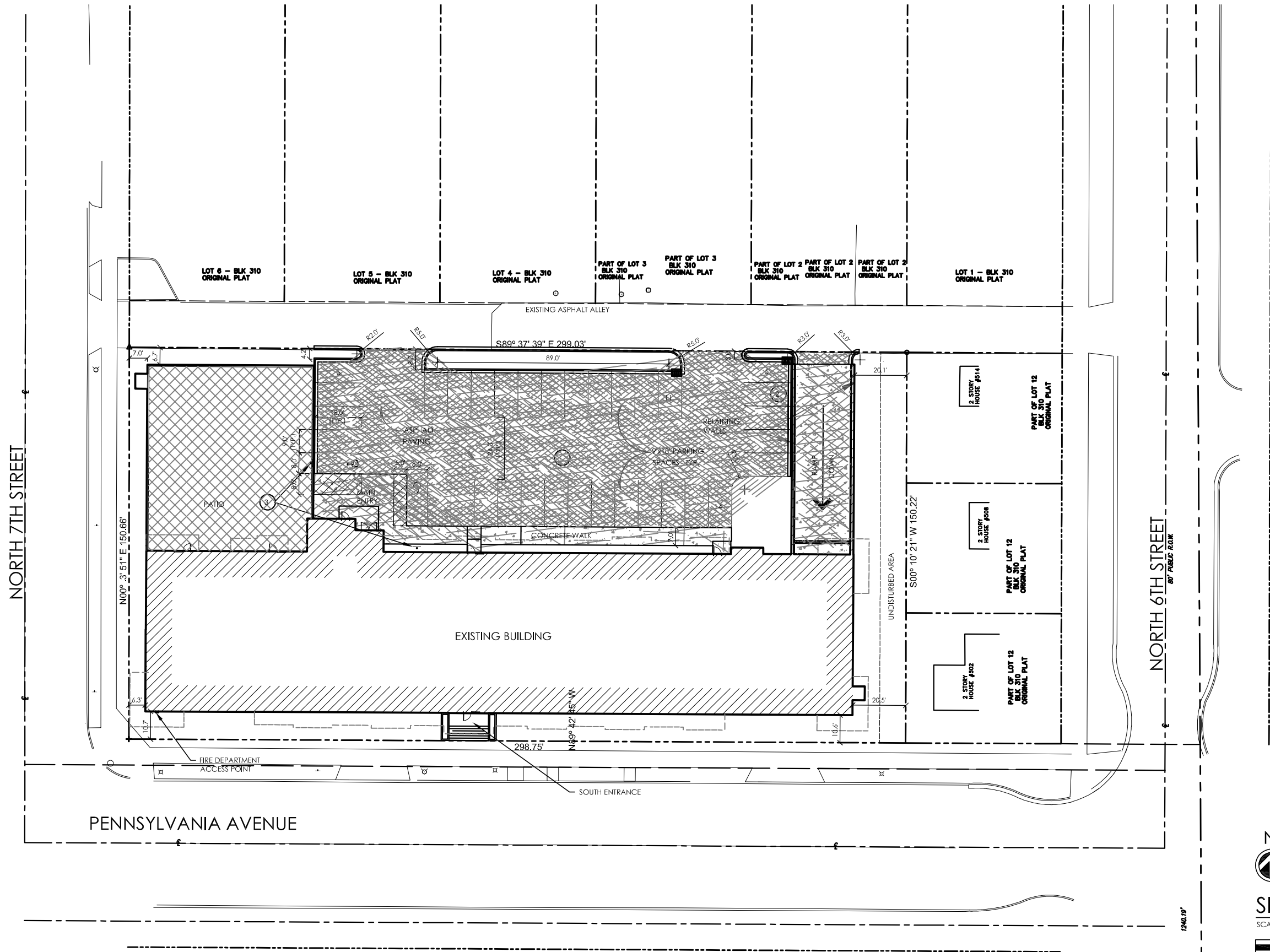
Proposed Minimum Lot Area (MLA) = 43,560 / 76 = 573.2 SF

Variance is requested to permit a minimum lot area of 573.2 SF per unit. The building size will not increase as a result of the additional units. The apartment will be occupying a vacant commercial space on the ground floor.







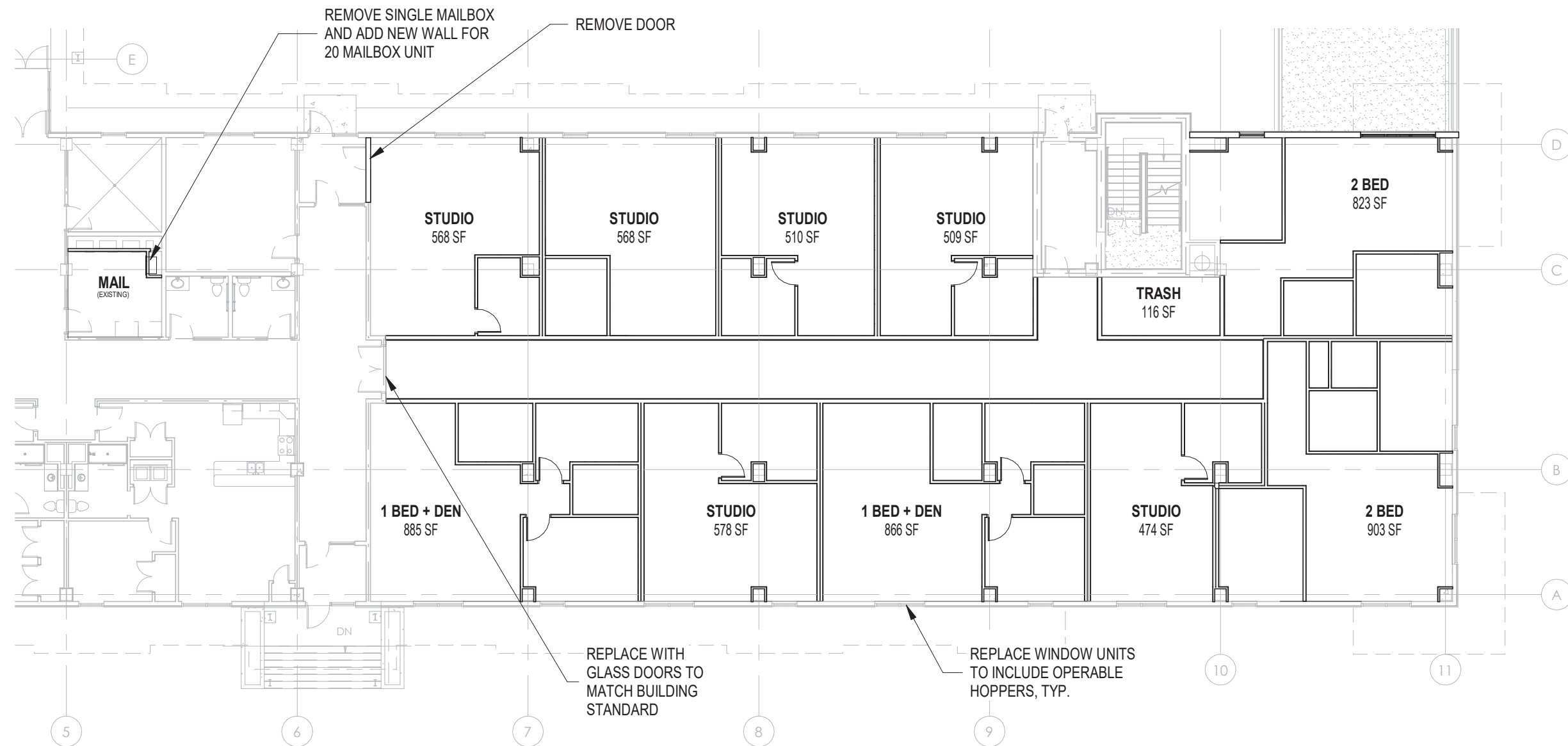


**SITE PLAN**

SCALE: 1"=20'



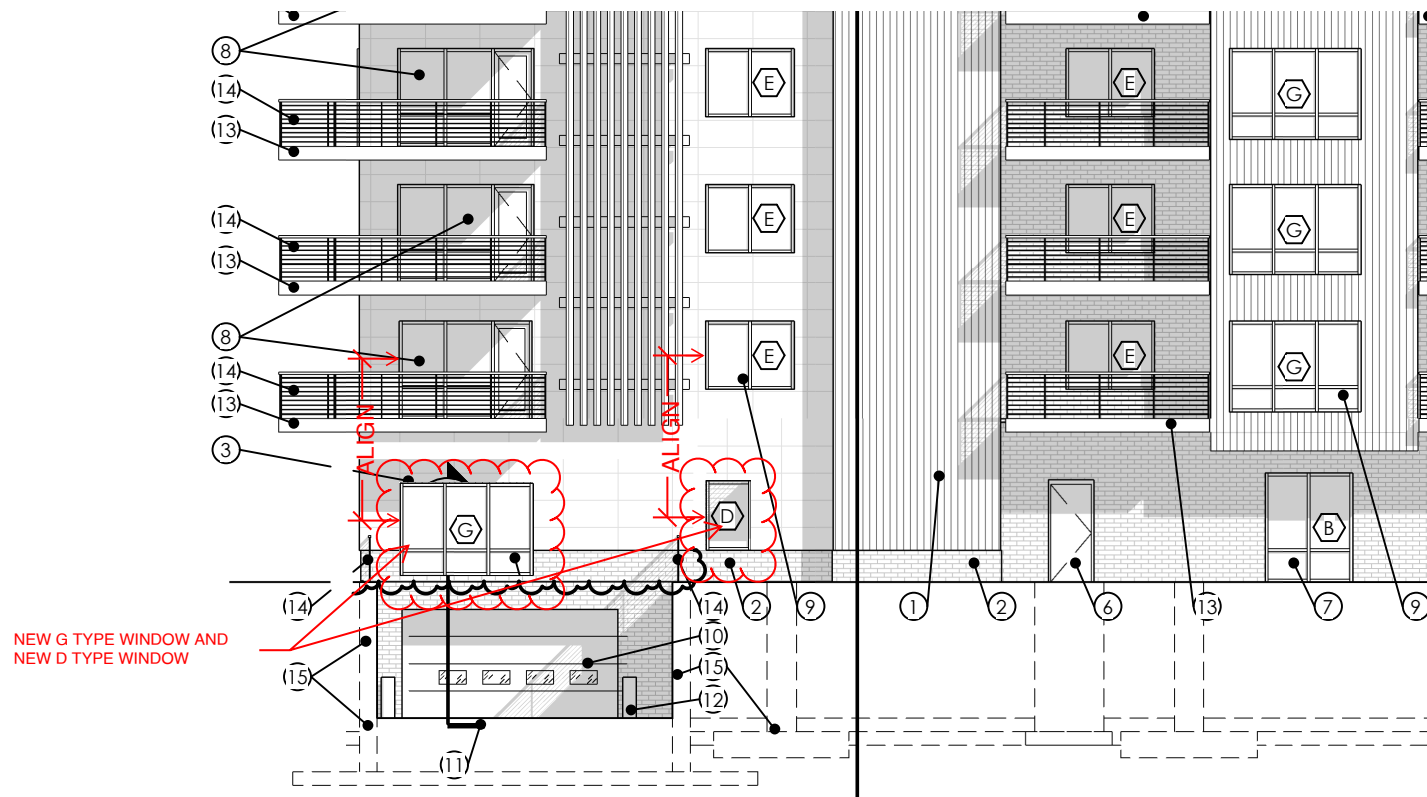




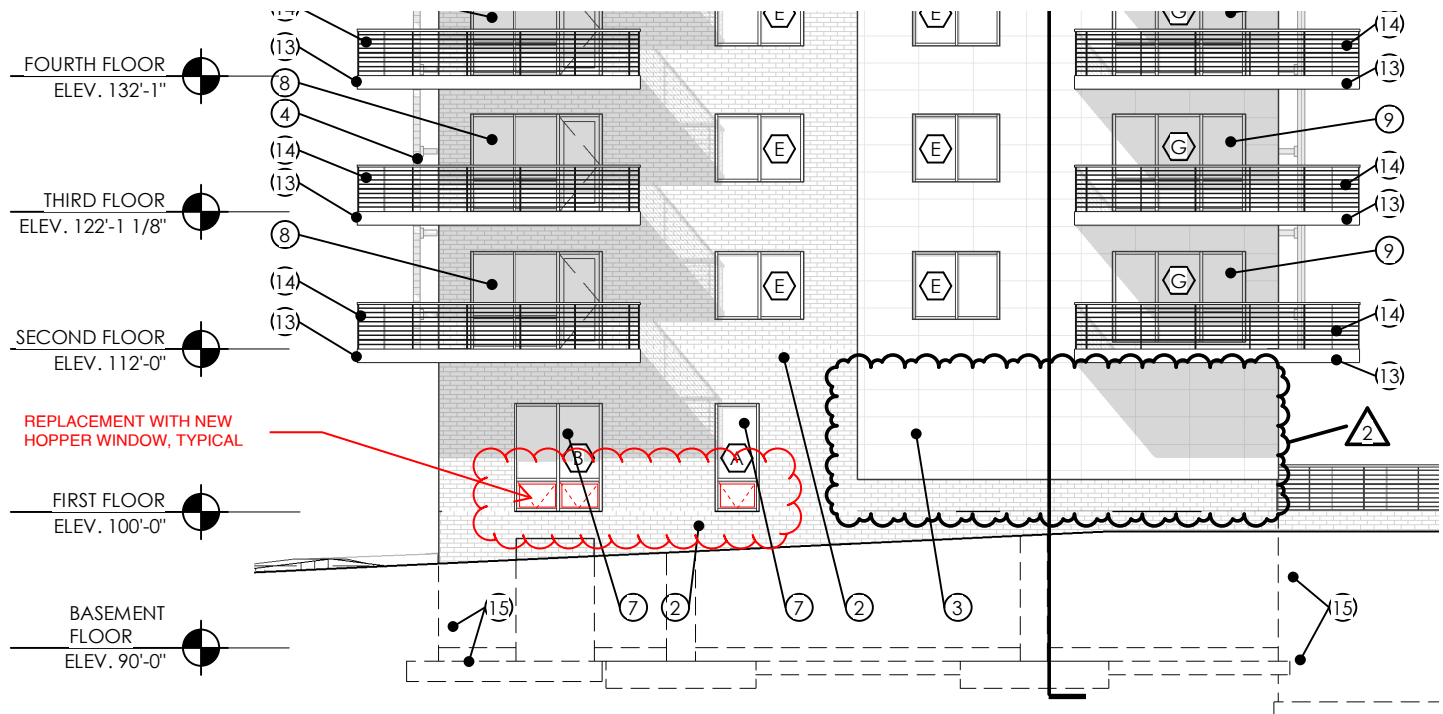
**1 FIRST FLOOR PLAN**

100 1/16" = 1'-0"



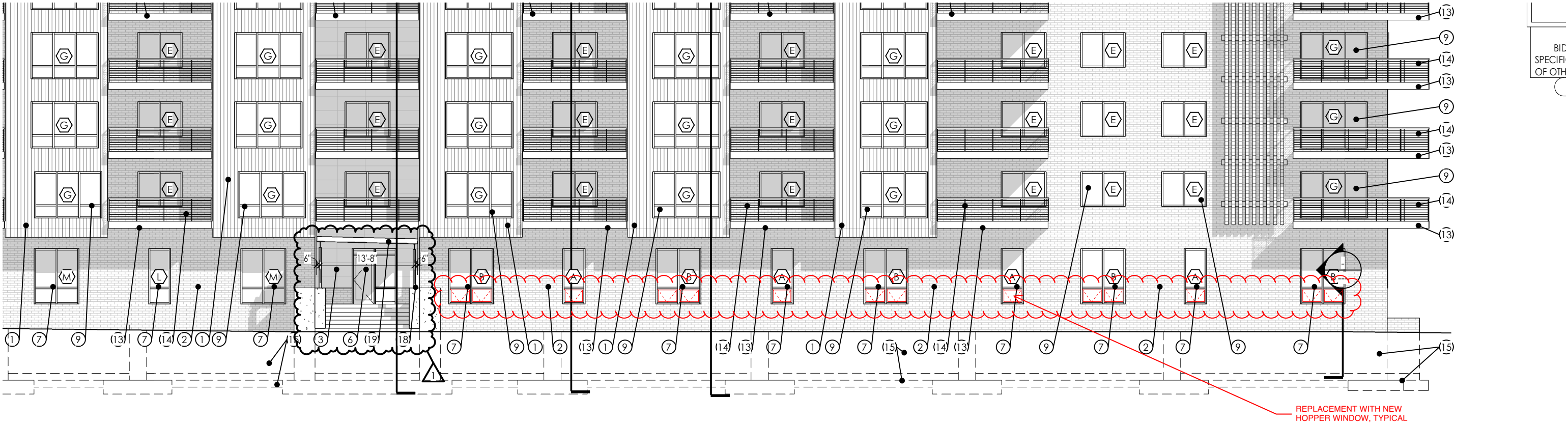
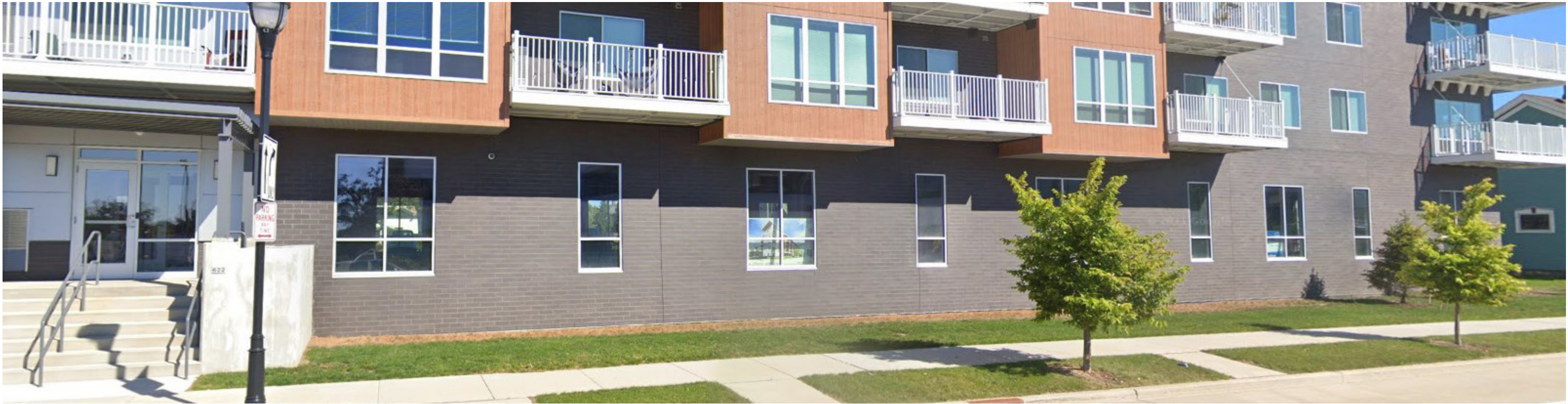


PARTIAL NORTH ELEVATION



PARTIAL EAST ELEVATION



















## CITY OF SHEBOYGAN

### REQUEST FOR PLANNING COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Application for Conditional Use Permit with exceptions by Cardinal Capital Management to convert 1st floor commercial space into 10 additional dwelling units at the 7Penn Apartments located at 622 Pennsylvania Avenue. CC Zone

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 11, 2022

**MEETING DATE:** March 15, 2022

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#### **FISCAL SUMMARY:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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#### **STATUTORY REFERENCE:**

Wisconsin Statutes: N/A  
Municipal Code: N/A

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#### **BACKGROUND / ANALYSIS:**

In October of 2018, the Plan Commission approved a conditional use permit from CCM-Sheboygan 7Penn, LLC to construct the 7Penn Apartments at 622 Pennsylvania Avenue. 7Penn is a 5-story mixed use apartment and commercial building that includes 66 market-rate multifamily apartments, approximately 8,000sf of 1<sup>st</sup> floor commercial space and at grade and underground parking.

The applicant indicates they have had a difficult time attracting a tenant to lease the 1<sup>st</sup> floor commercial space (the space has been vacant since the applicant obtained occupancy for the building). The attempt at placing commercial space off the main 8th street commercial corridor has not been successful. The demand for housing is proven and adding more market rate housing within walking distance of the 8th Street corridor will be an economic benefit to the local businesses. Therefore, Cardinal Capital Management is requesting to remodel this 8,000sf of 1<sup>st</sup> floor commercial space into additional dwelling units. The applicant states:

- The first floor presently contains approximately 8,000 S.F. of commercial space in addition to two (2) apartment units and common area for the residential tenants.
- In line with the desire for more housing in the downtown area, the building owners are proposing to construct 10 additional market rate apartments within this space. The apartments will follow the same style and level of finish as the existing apartments in the building.



- The 10 new apartments proposed are six (6) studios, two (2) one-bedroom + den apartments, and two (2) two-bedroom apartments. The total apartment count for the building will now be 76 apartments and the unit mix will now be:
  - 10 studios (Studio = approximately 530sf)
  - 48 one-bedroom units (1-bedroom = approximately 740-820sf)
  - 18 two-bedroom units (2-bedroom = approximately 970-1,170sf)
- The primary architecture of the building will remain as constructed. With the addition of the dwelling units on the first floor, the existing windows on the south and east facades will be replaced with operable units. The original window style will remain and the bottom window will include an operable hopper style window. There will be two (2) windows added to the north side of the building. These windows will allow natural light into the new unit at the northeast corner of the first floor. These windows will be of the same style and size as some of the existing windows on the building. The intent is for the windows to look as if they are part of the original construction.
- 7Penn Apartments is currently served by 57 underground parking spaces, 35 surface parking spaces, and 10 offsite parking spaces for a total of 102 spaces. This total number of spaces was approved for the original 66-unit development. The Central Commercial (CC) Zone does not have a parking requirement. However, multi-family housing in other zones requires 2 spaces for each unit with 2 or more bedrooms, 1 ½ spaces for each unit with one bedroom or less. Using these requirements, the new apartments would require 16 parking spaces, whereas, the 8,000sf of commercial space would have required 27 parking spaces (1 per 300sf).
- Additional surface parking will be developed by the owner on a parcel across alleyway to the north of the existing building site (lot east of the US Bank Drive Thru facility).
- All existing site utilities will remain and there will be no additional site features or landscaping added.
- Demand remains high for additional market rate multifamily apartment housing. The proposal continues to fit in aesthetically with downtown Sheboygan and the project supports the plan to add more multi-family housing units in downtown Sheboygan.

### **STAFF COMMENTS:**

Parking was a potential concern with this development. However, staff has not heard any issues regarding parking since the 7Penn apartment building has opened.

The applicant indicates that they have purchased parcel # 59281110670 (the parking lot parcel east of the US Bank Drive Thru facility at 611 Center Avenue). The Plan Commission should be aware that Cardinal Capital Management will be using this parking lot for both the 7Penn Apartments as well as the Sheboygan Press Apartments. Appears this existing parking lot can provide approximately 34 at grade parking spaces. The applicant believes



that 92 onsite parking spaces (57 underground parking spaces, 35 surface parking spaces), plus this off-site parking lot are enough for 76 apartments.

It appears that there will be no other site improvements as part of this project.

The applicant is requesting the following land use variances:

- To have 76 units on 1.03 acres – For apartment structures, a maximum 40 units per acre (2,500sf lot area per unit).
- To have a minimum lot area of 573sf per unit (1 acre) – For apartment structures, minimum lot area is 2,500sf per unit or 4.4 acres.

$$2,500\text{sf} \times 76 \text{ units} = 190,000\text{sf} \qquad 190,000\text{sf} / 43,560 \text{ (an acre)} = 4.4 \text{ acres}$$

$$1 \text{ acre} \times 43,560 \text{ (an acre)} = 43,560\text{sf} \qquad 43,560\text{sf} / 76 = 573\text{sf per unit.}$$

### **ACTION REQUESTED:**

Staff recommends approval of the conditional use and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. If storing dumpsters outside, the dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Dumpster enclosure shall be completed prior to issuance of an occupancy permit.
3. Outdoor storage of materials, products or equipment shall be prohibited.
4. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
5. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light
6. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
7. Applicant shall install individual letter signs – no cabinet or flat panel signs.
8. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is 8 feet. Sign shall be located outside of the 15 foot vision triangle.
9. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.).



10. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
11. Applicant is responsible for working with all private and public utilities in order to adequately service this apartment complex development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
12. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
13. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
14. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

**ATTACHMENTS:**

Conditional Use Permit Application and required attachments.



PARCEL NO. \_\_\_\_\_

MAP NO. \_\_\_\_\_

ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

APPLICATION/FILE NO. \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

**FILING FEE: \$250.00** (Payable to City of Sheboygan)

## **CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT**

Requirements Per Section 15.905  
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

### **1. APPLICANT INFORMATION**

APPLICANT: Mau & Associates, LLP, Attn: Tom Snyder, P.E.

ADDRESS: 400 Security Blvd, Green Bay, 54313 E-MAIL: tsnyder@mau-associates.com

PHONE: ( 920 ) 434-9670 FAX NO. ( )

### **2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Scooter's Coffee

ADDRESS OF PROPERTY AFFECTED: 2732 S. Business Drive

LEGAL DESCRIPTION: \_\_\_\_\_

LOT 3 CSM REC IN VOL 7 P 116 #1113747 - PRT S1/2 S1/2 NW1/4, SEC 34

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: \_\_\_\_\_

Vacant Lot

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: \_\_\_\_\_

See attached narrative

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: \_\_\_\_\_

See attached narrative



### 3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? \_\_\_\_\_

See attached narrative

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? \_\_\_\_\_

See attached narrative

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? \_\_\_\_\_

See attached narrative

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. \_\_\_\_\_

See attached narrative

### 4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

**OWNER OF SITE:** JHA Investments, LLC, Attn: Tim Frey

**ADDRESS:** 708 Erie Avenue, STE 201, Sheboygan, WI 53081 **E-MAIL:** timfrey@vistacare.org

**ARCHITECT:** Bayland Buildings, Attn: Dave O'Brien

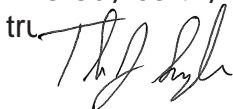
**ADDRESS:** 3323 Bay Ridge Court, Green Bay, WI 54155 **E-MAIL:** dobrien@baylandbuildings.com

**CONTRACTOR:** Bayland Buildings, Attn: Tom Ambrosius

**ADDRESS:** 3323 Bay Ridge Court, Green Bay, WI 54155 **E-MAIL:** tomambrosius@baylandbuildings.com

### 5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true to the best of my knowledge and belief.



**APPLICANT'S SIGNATURE**

Tom Snyder

**PRINT ABOVE NAME**

2/24/22

**DATE**



City of Sheboygan Application for Conditional Use Permit  
Description of Subject Site/Proposed Project  
Site Narrative

Name of Proposed Business: Scooter's Coffee  
Address of Property Affected: 2732 S Business Drive

Legal Description: Lot 3 CSM recorded in Vol 7 Page 116, #1113747, part of the S1/2  
S1/2 NW ¼, Sec 34.  
Parcel No. 59281431722  
Parcel Size 1.533 acres

Brief Description of Existing Site is a vacant, former commercial car wash operation. Presently the site has two drive entrances, a paved surface lot and vegetation in the rear of the property.

Detailed Proposed Operations Create a Scooter's drive-through coffee shop operation.  
General Description New build design will update the property. A 664 square foot building to be constructed to house operations for the coffee store. The existing pavement and front of lot will be transformed with a new building, single drive entrance, and parking lot which will be more suitable for an operation the size of Scooter's. Ample landscaping will accompany the new storefront.

Documents included for review  
Site Plans  
Building Elevations  
Sign Plans  
Geotechnical Report



## Zoning Requirements/Classification

SC- Suburban Commercial District  
Land Uses Permitted as Conditional Uses  
In Vehicle Sales or Service (15.206(4) (g))

### **Daily Operations:**

Store will follow similar operational hours comparable to similar drive through restaurant operations. Projected hours to run 7 days a week, with an opening time of around 5-6 am and a closing time near 7pm. Store will generally have 2 to 4 employees on site given the time of day. The store will be drive through only. Customers will order and pick up from vehicles. Scooter's Coffee serves a variety of hot and cold drinks such as coffee, smoothies, and teas. Food will also be offered, focusing on breakfast items and baked goods.

### **Site Design:**

Scooter's Coffee will be constructed as a blank slate east of the existing trees on the western part of the parcel. Patrons will enter from a single driveway entrance for both ingress and egress. A driveway will encircle the 664 square foot building in the center of the property. Between the driveway and property lines, landscaping will be planted and maintained in accordance with city standards.

Customers with vehicles will enter from South Business Drive and queue in one of two drive through lanes. Magnetic detector loops will identify if a customer is at the menu boards for service. From there, customers will pay for and receive goods at the building itself. Customers will exit back through the single driveway.

Employees will park at one of the 8 parking stalls on site. One of the stalls is van handicapped accessible. This meets minimum parking standards for the site. At its peak, the site would likely see a max of five employees at a given time. Refuse will be maintained in a dumpster area kept in the rear of the property. Refuse to be collected through a private contractor.

Signage on site will include a monument sign at the northeast corner of the property, two illuminated directional signs near the driveway, a height clearance sign and menu boards.

Lighting is noted on building plans and will affixed to the building itself. No individual lighting bollards will be present on site. As noted, signage will be illuminated and give off light.

The 664 square foot building is centered in the property, and will have signage on both the front of building and along the sides near front of property. The building is a modern design for a drive through building. Building materials include hardy plank and hardy panels. Hardy board, awnings, and wall mounted lighting fixtures give a more distinct presence to the front of building. Ordering and pickup is placed to the rear and side of building. Car queueing is focused to the rear and side of building, with a single out drive lane in front of the building. The front of building is heavily landscaped both along the right of way and in front of the store. A single entrance is located in the rear of the store. The door color is the same as the hardy plank as to not create confusion to customers for an in store entrance. This entrance is employees only.



## Site Selection

Reinvestment along S Business Drive has made a parcel like this more desirable for reinvestment. The size of the lot works well to allow for development of a businesses like Scooter's with limited deviation from SC code. Scooter's Coffee believes this development will continue redevelopment along S Business which meets consumer demands for convenient coffee options.

The estimated value of the overall project will be about \$600,000. Scooter's projects about 300 customers per day, 2100 per week.

## Justification of the proposed conditional use

Written justification for the propose conditional use, including reasons why the applicant believes the proposed conditional use is appropriate:

*How is the proposed conditional use (independent of location) in harmony with the purposes, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Plan?*

Site has been identified as a location for reinvestment along S Business Drive. Investment with new property surfacing and landscaping as well as the new coffee shop building will fit in well with other similar in vehicle sales businesses which have used comprehensive plan guidelines which creates a development emphasizing better development design, landscaping and scale.

*Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights of way?*

The SC form character of Business Drive fits well with in vehicle sales. The improvements to the site will allow for better control of ingress/egress of the site with a single driveway onto Business Drive. The site is large enough to allow for a substantial queue of cars utilizing drive through services. Attention to landscaping detail and placement of the building/driving lanes continues the recent improvements for in vehicle sales restaurants along the corridor.

*How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within the property is located?*

The drive through coffee shop fits in well with both long established and newer businesses along the South Business corridor. The design and fit of Scooter's Coffee will have a site design which utilizes updated design code which has been practiced well by other drive thrus nearby. It will also replace a brownfield which would not meet current design standards.

*Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies?*

Yes.



## **Variance Request/Variance Description**

### Sign

15.806. Maximum permitted height for a sign is 30 feet for a pylon sign. As part of the conditional use permitting for a drive-through, new development is reviewed to be in line with new practices for signage. Newer developments along S Business average around 8 feet for sign height. Scooter's Coffee requests a total 10 foot tall sign. This sign height fits in line with most Scooter's Coffee developments throughout the Midwest. Most of these stores are located in suburban commercial corridors.

The sign itself is very similar to typical new monument signs. The monument sign has a typical three foot tall base. On top of the base is a 1.67' tall (6.5 square foot) rectangular, permanent message board that reads "Coffee Drive-Through". A five foot tall logo is a top a permanent message board noting the focal point of the operation. The circular nature of the brand logo creates a mere 28.55 square feet of surface, however it creates more height than a rectangular logo.

While the height of the sign is slightly higher compared to other monument signs along Business Drive, the overall sign size is very comparable, if not smaller than most new monument signs.

The Maximum Permitted Number of On-Building Signs for SC is 4. We are requesting a variance to allow a total of 7 On-Building Signs. On the southerly side and northerly sides of the building there will be a wall sign near the top of the building that reads "Scooter's Coffee Drive-Thru". On the easterly and westerly sides of the building there will be a Scooter's Logo. On the southerly side of the building, at eye level, there will be three snap frame panels.

### Landscaping

15.604 (2) Landscaping meets code points throughout the project.

Requesting ability to move landscaping as needed, with the approval of Janet M. Duellman, Community Development Planner. For example, during construction it may be determined the Autumn Blaze Freeman Maple is too close to the street, and may need to be moved outside of the 10-ft from right-of-way requirement.

Also, pertaining to the building foundational code, two of the applied densiforms yew plants located in the front of the building are located just outside of the 10 foot foundational buffer. One of the two lines up its center base some 11.5 feet off the foundation and the furthest easterly yew lines up some 13 feet off the foundation. Both are apart of the established foundational plant grouping. Both will have a canopy which extends to within 10 feet of the foundation as the plant matures. Property has limitations to foundational planting due to the drive through nature of the business creating a drive lane around the edge of the building. Development team is also looking to avoid putting plants directly against inside curbed curve of the exiting drive through traffic as to ensure better potential for plants to flourish into the coming years.



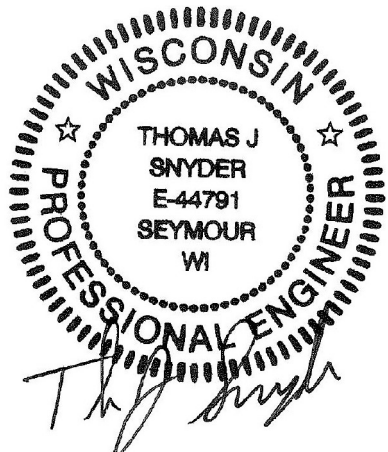
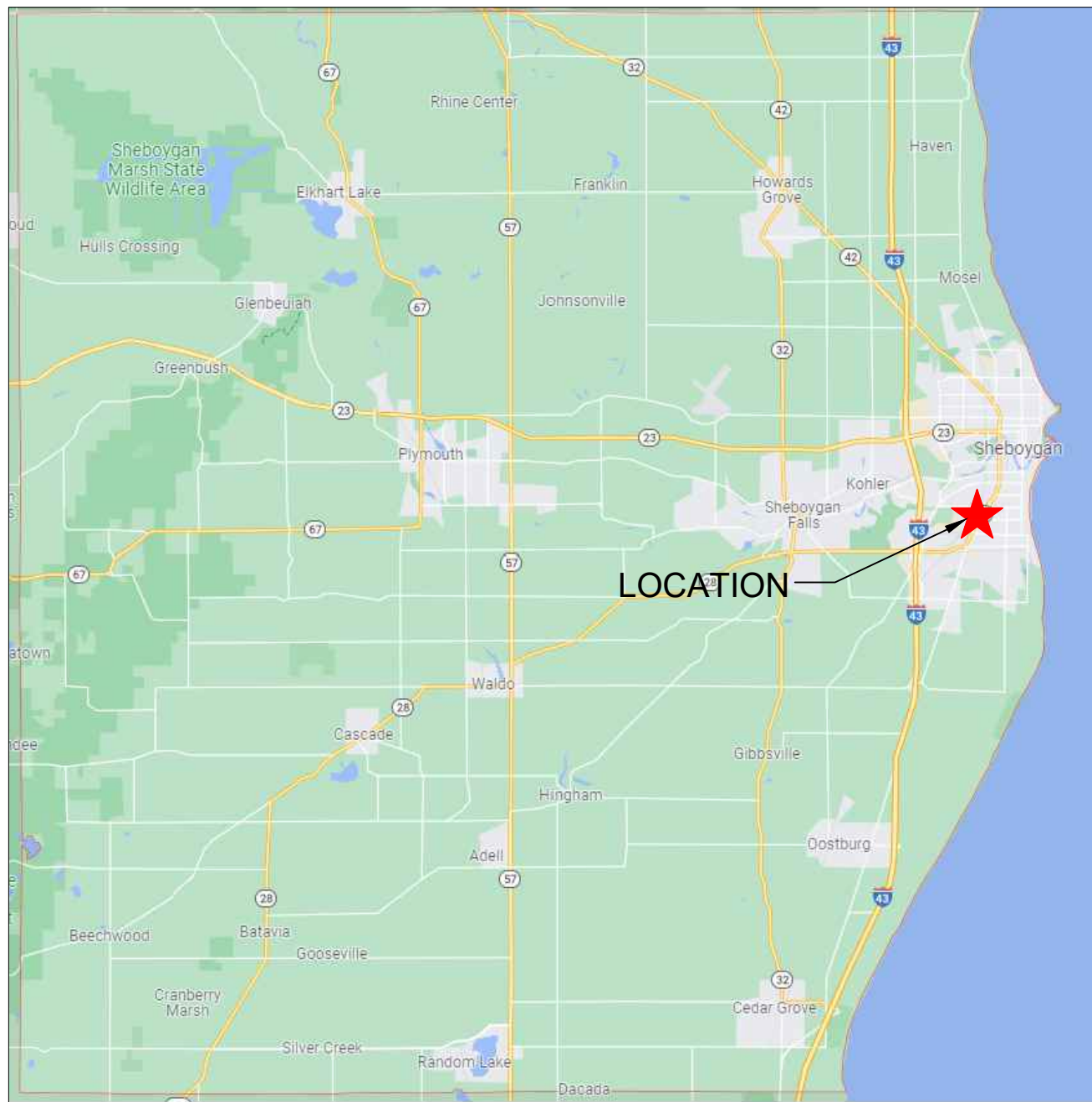
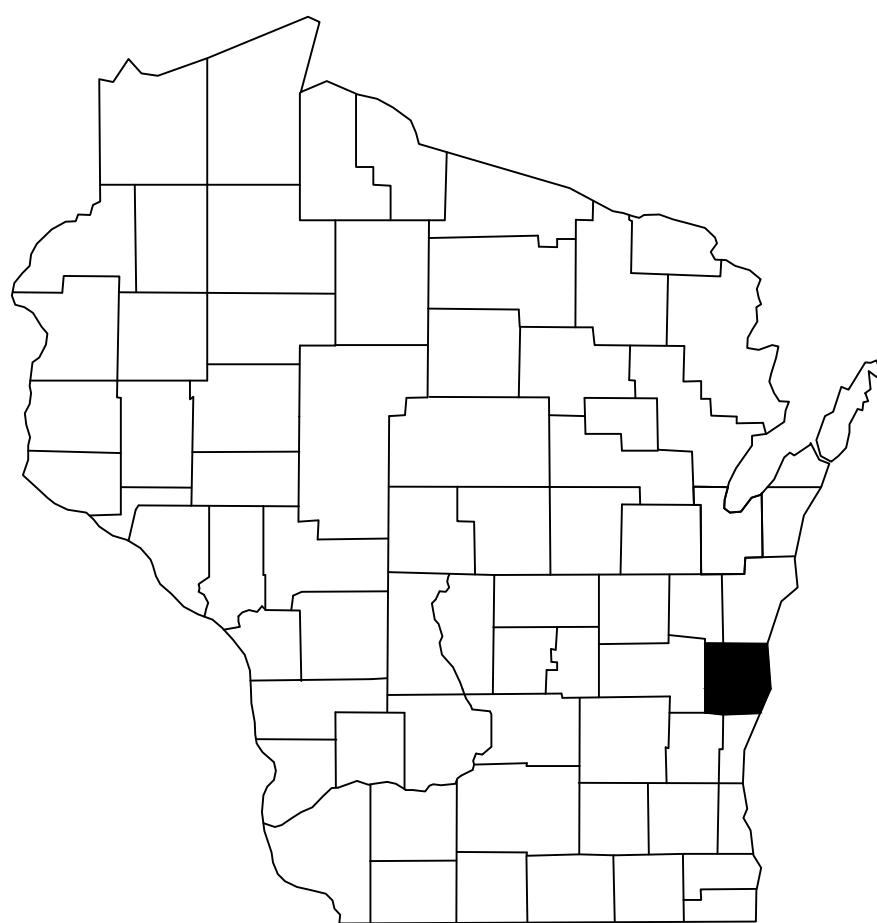
Requesting ability to achieve street frontage landscape requirements using deciduous shrub thunberg spirea to aid City of Sheboygan's Crime Prevention Through Environmental Design (CPTED) goals.



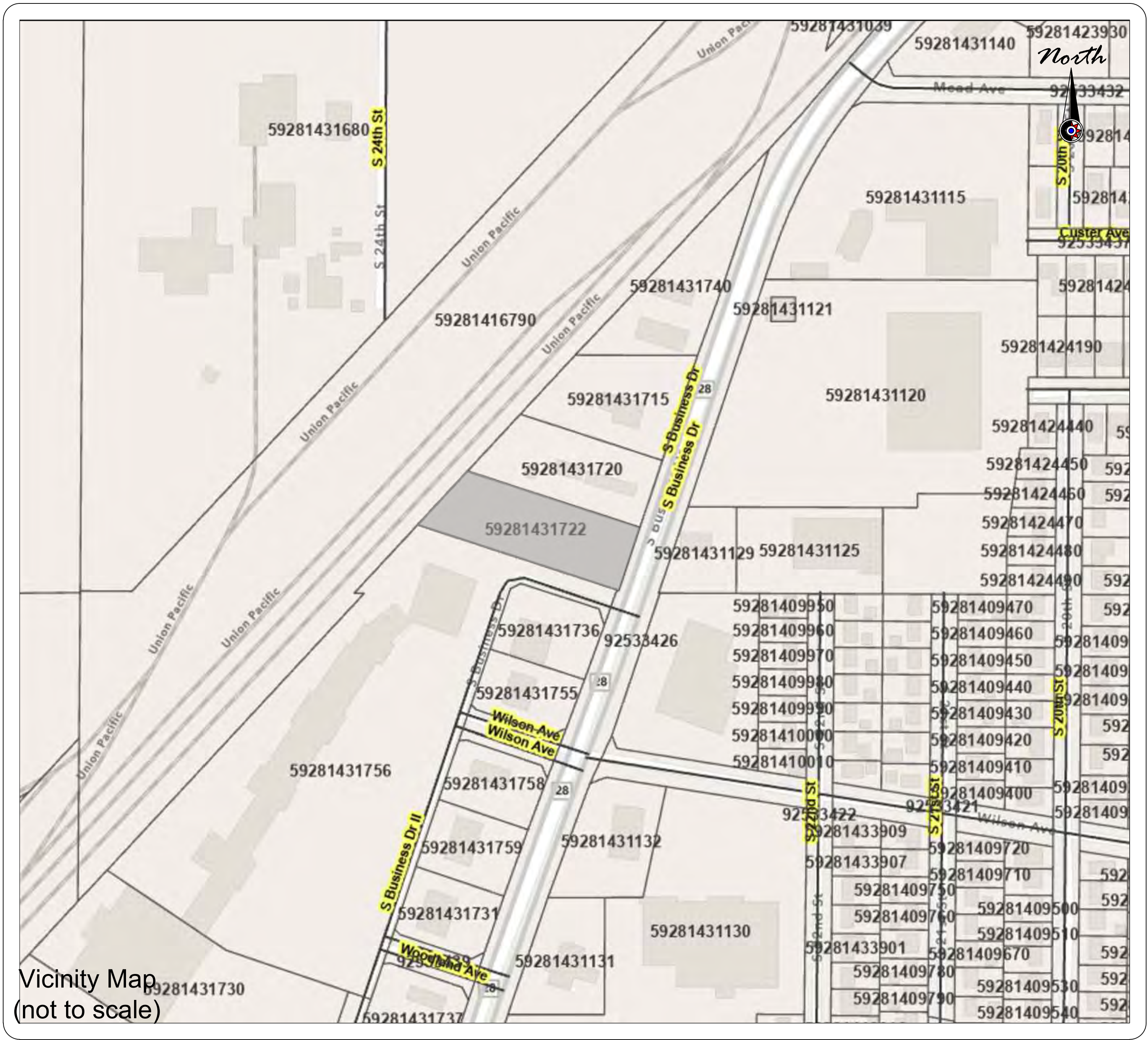
# SCOOTER'S COFFEE AT 2732 S. BUSINESS

## CITY OF SHEBOYGAN

## SHEBOYGAN COUNTY



02/24/22



Vicinity Map  
(not to scale)

**Mau & Associates**  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Fax: 920-434-9672

### PROJECT INFORMATION

OWNER(S):	JHA INVESTMENTS, LLC
PROJECT NAME:	SCOOTER'S COFFEE AT 2732 S. BUSINESS DRIVE
PROJECT DESCRIPTION:	SCOOTER'S DRIVE-THROUGH COFFEE
PROJECT LOCATION:	2732 S. BUSINESS DRIVE
PARCEL NUMBER(S):	59281431722

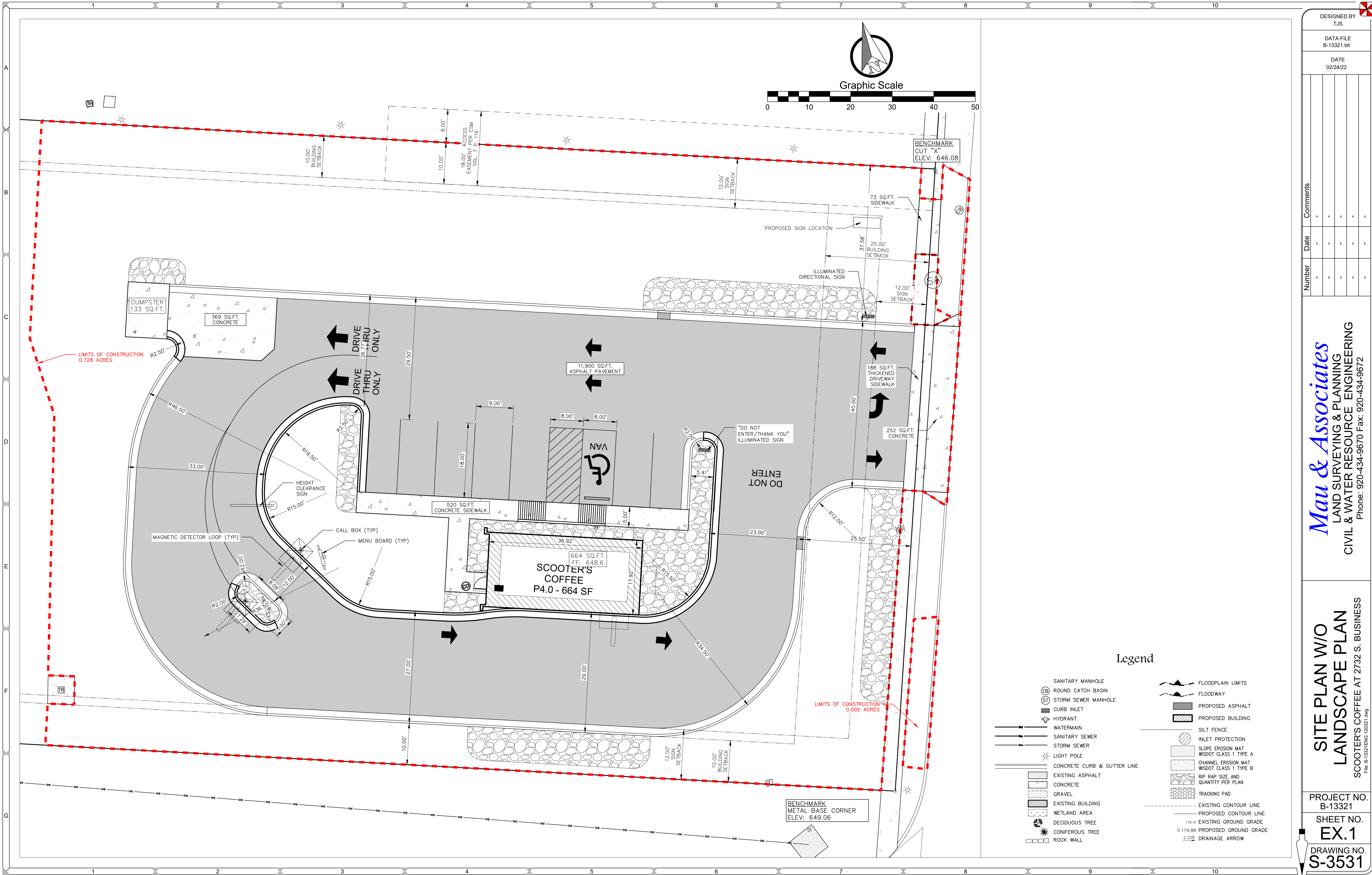
### CONTACT INFORMATION

OWNER(S):	JHA INVESTMETNS, LLC 708 ERIE AVE, STE 201 SHEBOYGAN, WI 53081
ENGINEER:	MAU & ASSOCIATES, LLP CONTACT: TOM SNYDER, P.E. 400 SECURITY BLVD. GREEN BAY, WI 54313 PH.: 920-434-9670

SHEET INDEX:
C1.0 TITLE SHEET
C2.0 NOTES
C3.0 EXISTING CONDITIONS & DEMO PLAN
C4.0 SITE & LANDSCAPE PLAN
C5.0 EROSION CONTROL PLAN
C6.0 GRADING PLAN
C7.0 UTILITY PLAN
C8.0 DETAILS
C8.1 DETAILS

DATE:	02/24/22
PROJECT NO.	B-13321
SHEET NO.	C1.0
DRAWING NO.	S-3531





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TJS

DATA FILE  
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DATE  
02/24/22

Number	Date	Comments
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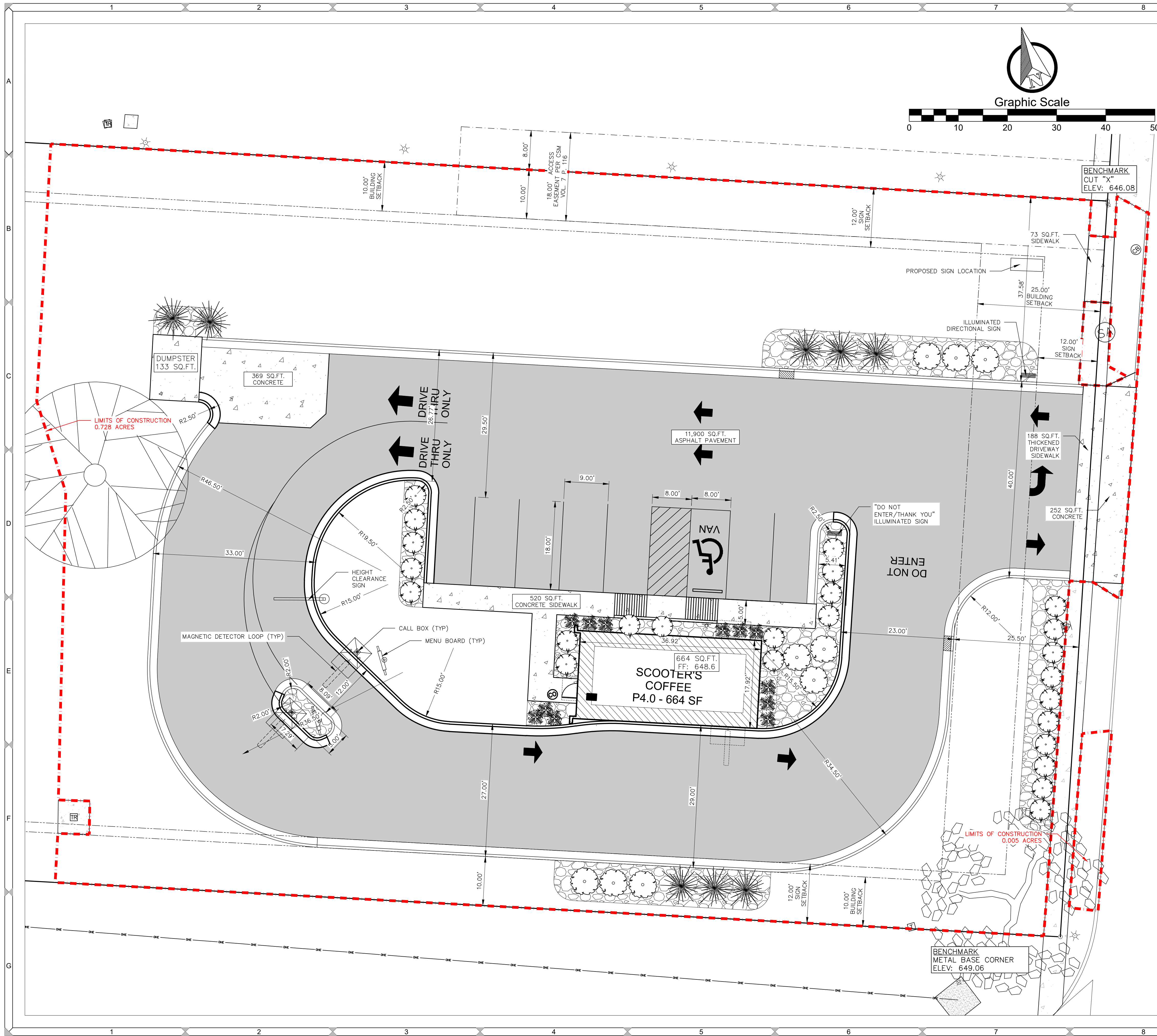
**SITE PLAN W/O  
LANDSCAPE PLAN**  
SCOOTER'S COFFEE AT 2732 S. BUSINESS  
File: B-13321.ENG 120321.dwg

PROJECT NO.  
B-13321

SHEET NO.  
**EX.1**

DRAWING NO.  
**S-3531**





- LANDSCAPING NOTES:**
1. ZONED AS SUBURBAN COMMERCIAL (SC)
  2. BUILDING FOUNDATION LANDSCAPE REQUIREMENTS
    - 2.1. TABLE 15.604 MINIMUM OF 40 LANDSCAPE POINTS PER 100 LF OF BUILDING
    - 2.2. 108 LF OF BUILDING FOUNDATION = 43.2 LANDSCAPE POINTS
    - 2.3. 3 DENSIFORMIS YEW + 6 THUNBERG SPIREA + 12 BRONX FORSYTHIA= 45 POINTS
  3. DEVELOPED LOT LANDSCAPE REQUIREMENTS
    - 3.1. TABLE 15.605, MINIMUM OF 10 POINTS PER 1,000 SQ.FT OF GROSS FLOOR AREA
    - 3.2. 664 SQ.FT. OF FLOOR AREA = 6.7 LANDSCAPE POINTS
    - 3.3. 2 BLUE POINT JUNIPERS (NEAR DUMPSTER) = 10 POINTS
  4. STREET FRONTAGE LANDSCAPING REQUIREMENTS
    - 4.1. TABLE 15.606, MINIMUM OF 40 POINTS PER 100 LINEAR FEET OF STREET FRONTAGE
    - 4.2. 150 LF OF STREET FRONTAGE = 60 LANDSCAPE POINTS
    - 4.3. 1 AUTUMN BLAZE FREEMAN MAPLE + 10 THUNBERG SPIREA = 60 POINTS
  5. PAVED AREA LANDSCAPING REQUIREMENTS
    - 5.1. TABLE 15.607 MINIMUM OF 80 POINTS PER 10,000 SQ.FT. OF PAVED AREA
    - 5.2. 14,500 SQ.FT. OF PAVEMENT = 116 LANDSCAPE POINTS
    - 5.3. 1 KENTUCKY COFFEE + 6 BLUE POINT JUNIPERS + 6 DENSIFORMIS YEWS + 9 THUNBERG SPIREA = 117 POINTS

PLANTING SCHEDULE			
SYMBOL	COMMON NAME	QUANTITY	SIZE
TREES			
	AUTUMN BLAZE FREEMAN MAPLE	1	2"-2 1/2" B&B
	KENTUCKY COFFEE (MALE)	1	1 1/2" B&B
SHRUBS			
	BLUE POINT JUNIPER	8	5'-6" B&B
	THUNBERG SPIREA	21	18"-24" POTTED
	DENSIFORMIS YEW	9	18"-24" POTTED
	BRONX FORSYTHIA	12	1 GALLON

**SITE STATISTICS**

**BEFORE CONSTRUCTION**  
SITE AREA - 1.533 Acres  
PAVEMENT 0.636 Acres (41.9%)  
BUILDINGS 0.000 Acres (0.0%)  
PERVIOUS 0.897 Acres (58.1%)

**AFTER CONSTRUCTION**  
SITE AREA - 1.533 Acres  
PAVEMENT 0.334 Acres (21.8%)  
BUILDINGS 0.015 Acres (1.0%)  
PERVIOUS 1.184 Acres (77.2%)

- NOTES:**
1. ALL UNUSED DRIVEWAY OPENINGS WILL BE CLOSED PER CITY OF SHEBOYGAN REQUIREMENTS
  2. THE BUILDING CLASS OF CONSTRUCTION AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 6 IS VB.
  3. THE OCCUPANCY TYPE AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 3 IS B.
  4. REPLACE AND RESTORE THE PAVEMENT OVER ANY OPENING MADE BY APPLICANT AS NEAR AS CAN BE TO THE STATE AND CONDITION IN WHICH IT WAS FOUND.
  5. BUILDING WILL NOT HAVE A FIRE PROTECTION SYSTEM.

**Legend**

	SANITARY MANHOLE		FLOODPLAIN LIMITS
	ROUND CATCH BASIN		FLOODWAY
	STORM SEWER MANHOLE		PROPOSED ASPHALT
	CURB INLET		PROPOSED BUILDING
	HYDRANT		SILT FENCE
	WATERMAIN		INLET PROTECTION
	SANITARY SEWER		SLOPE EROSION MAT
	STORM SEWER		WSDOT CLASS 1 TYPE A
	LIGHT POLE		CHANNEL EROSION MAT
	CONCRETE CURB & GUTTER LINE		WSDOT CLASS 1 TYPE B
	EXISTING ASPHALT		RIP RAP SIZE AND QUANTITY PER PLAN
	CONCRETE		TRACKING PAD
	GRAVEL		EXISTING CONTOUR LINE
	EXISTING BUILDING		PROPOSED CONTOUR LINE
	WETLAND AREA		176.41 EXISTING GROUND GRADE
	DECIDUOUS TREE		2.33% PROPOSED GROUND GRADE
	CONIFEROUS TREE		2.33% DRAINAGE ARROW
	ROCK WALL		

DESIGNED BY  
TJS

DATA FILE  
B-13321.btl

DATE  
02/24/22

Comments

Date

Number

**Mau & Associates**  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Fax: 920-434-9672

**SITE & LANDSCAPE PLAN**

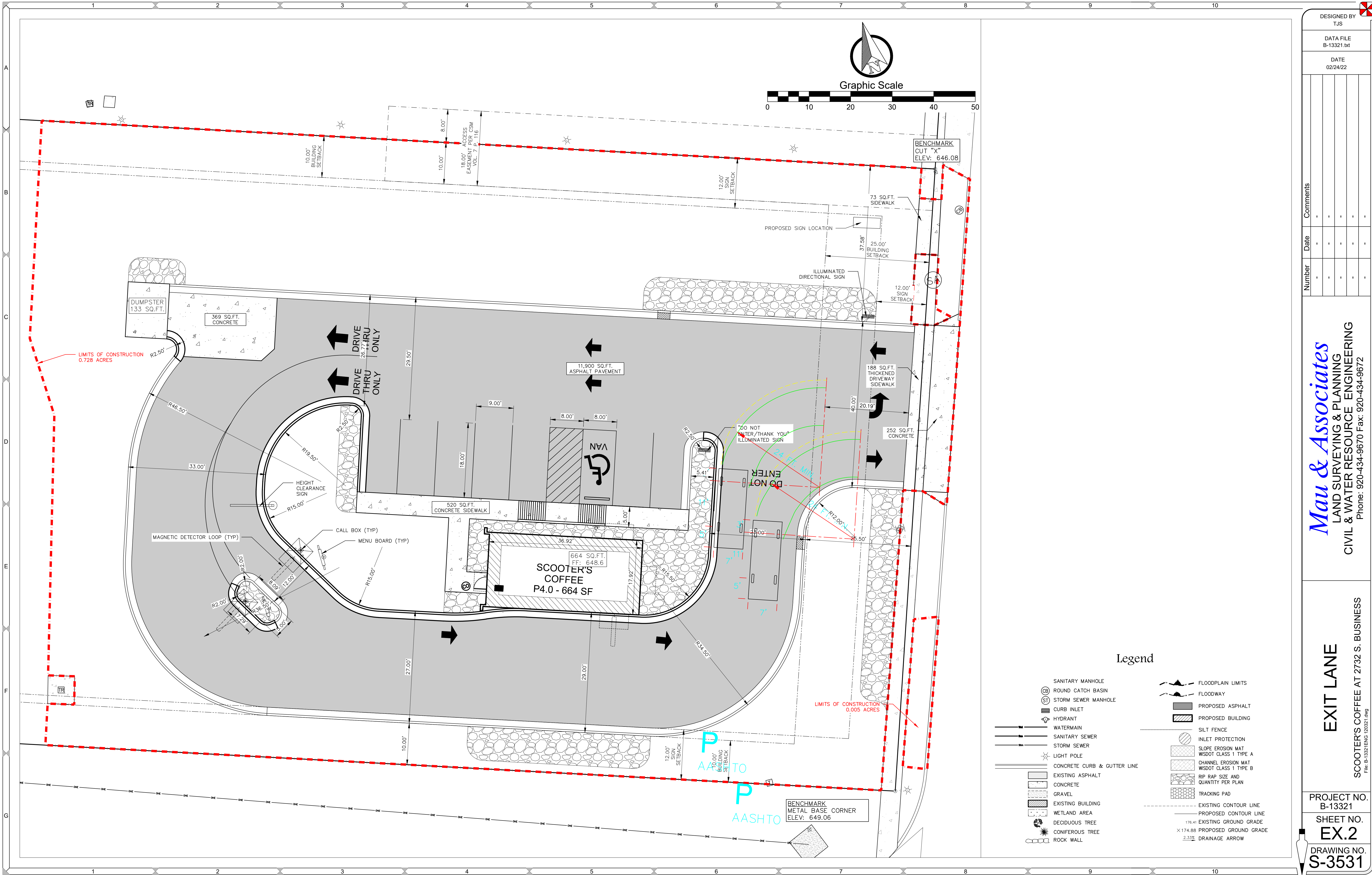
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PROJECT NO.  
B-13321

SHEET NO.  
**C4.0**

DRAWING NO.  
**S-3531**





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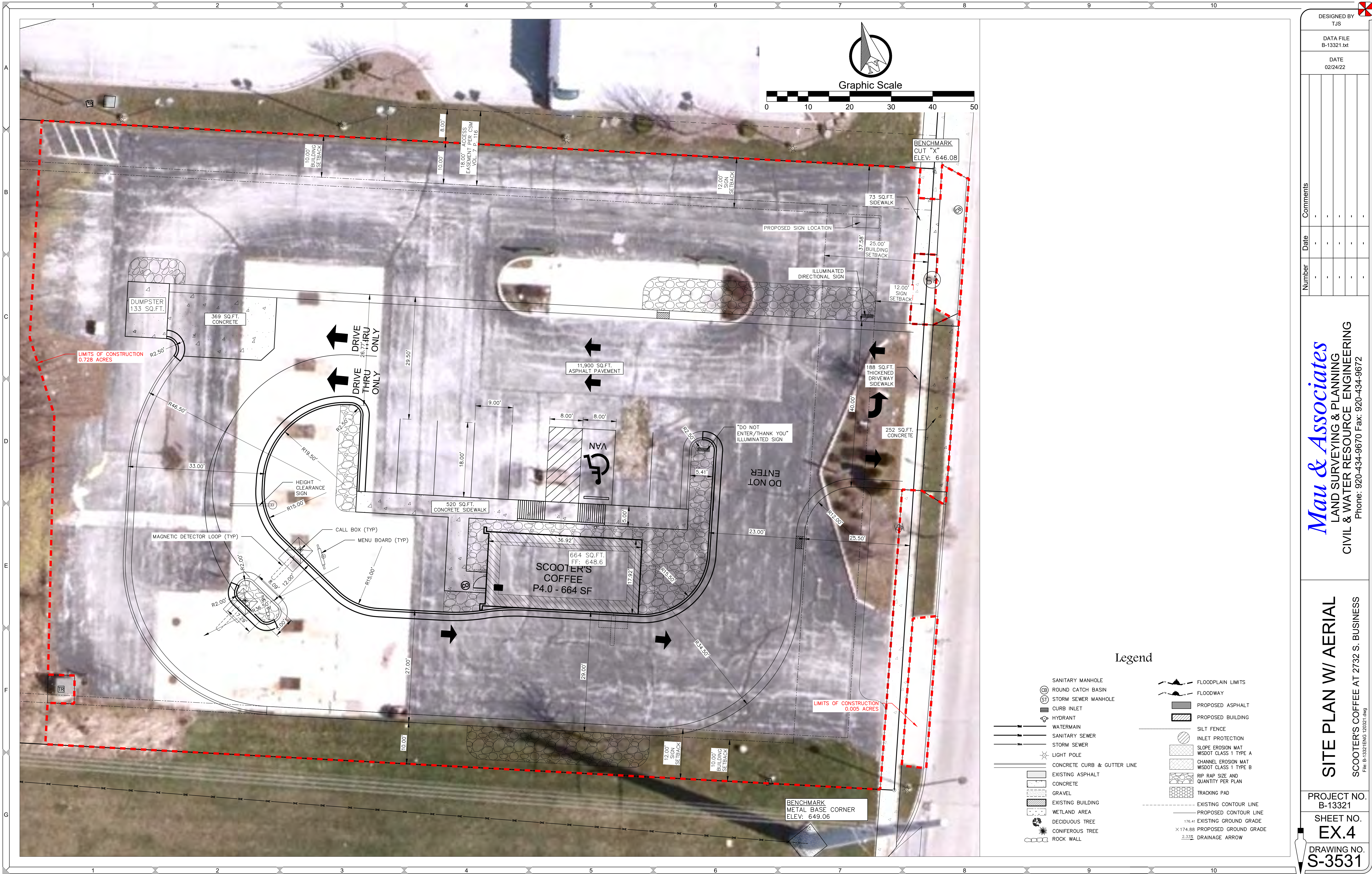
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PROJECT NO.  
B-13321

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**EX.2**

DRAWING NO.  
**S-3531**





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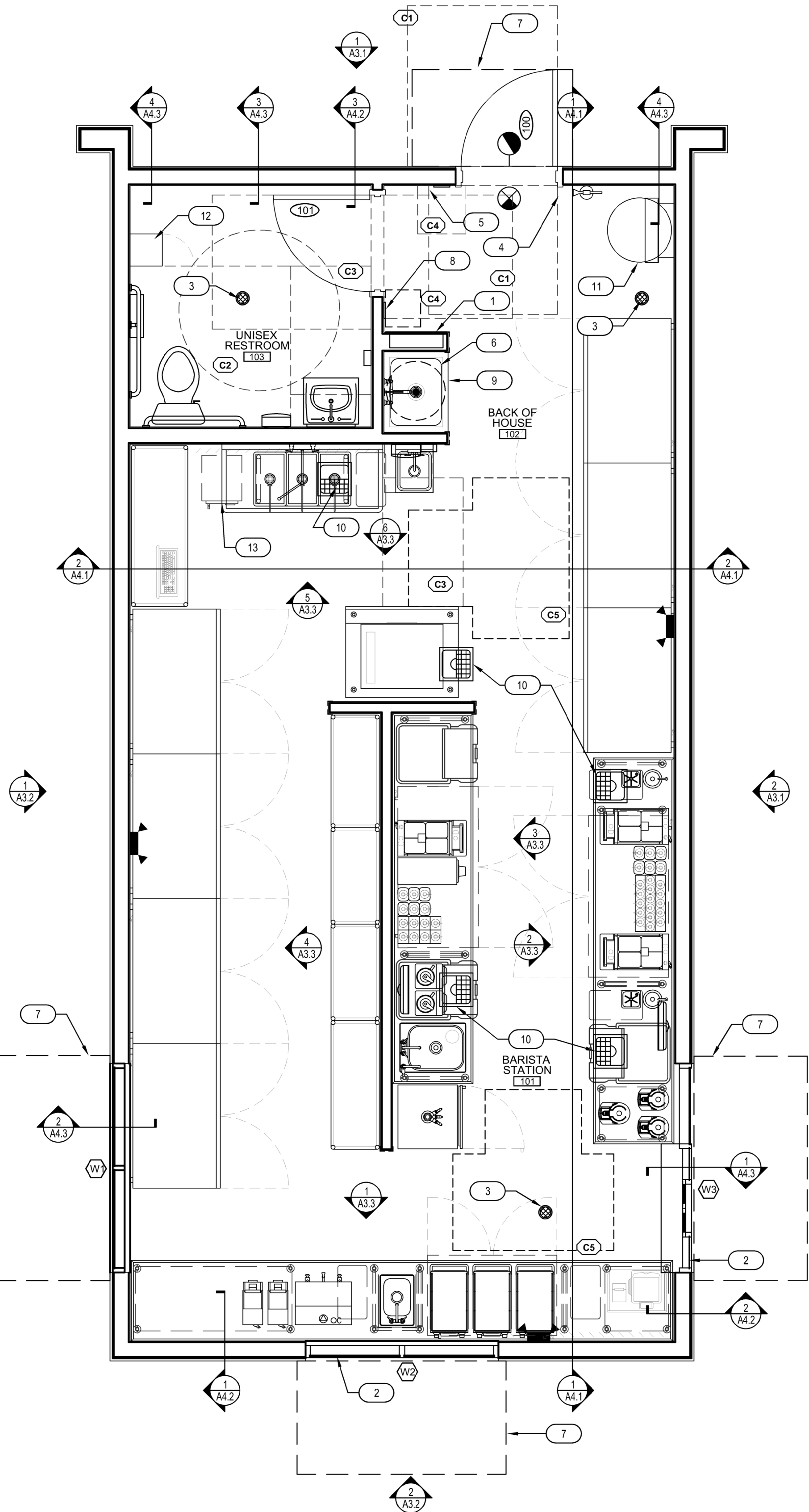
**SITE PLAN W/ AERIAL**  
SCOOTER'S COFFEE AT 2732 S. BUSINESS  
File: B-13321ENG 120321.dwg

PROJECT NO.  
B-13321

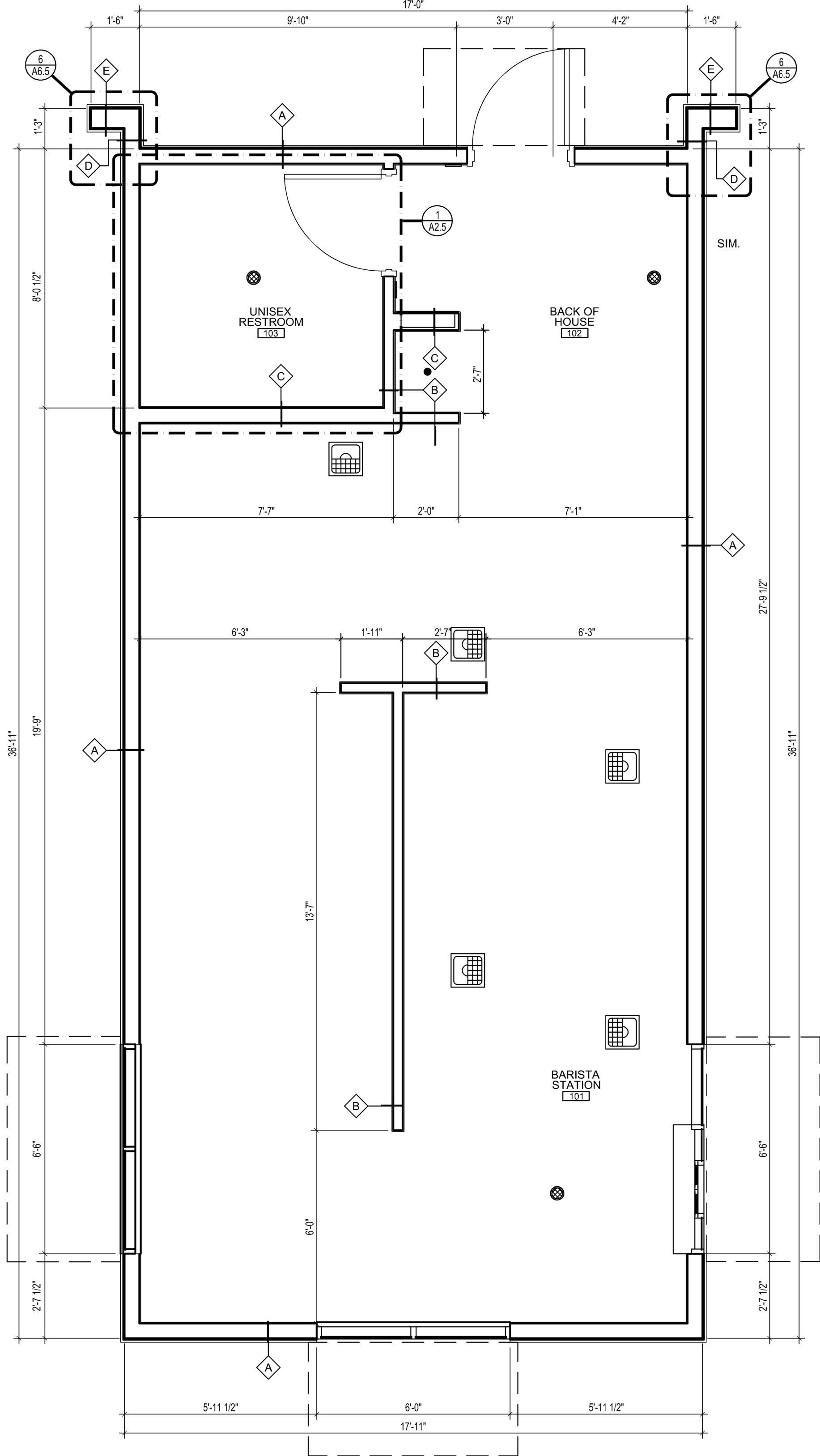
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**EX.4**

DRAWING NO.  
**S-3531**





2 FLOOR PLAN  
SCALE: 3/8" = 1'-0"



1 DIMENSION PLAN  
SCALE: 3/8" = 1'-0"



## GENERAL NOTES

- PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILINGS AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND ANY ITEMS WHICH MAY REQUIRE ACCESS NOT OTHERWISE PROVIDED.
- GENERAL CONTRACTOR WILL FURNISH AND INSTALL 5LB MULTIPURPOSE DRY CHEMICAL (2A/10BC) RATED FIRE EXTINGUISHERS WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE, AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
- SEE ROOM FINISH SCHEDULE FOR ALL ROOM FINISHES, SHEET A2.2.
- SEE KITCHEN DRAWINGS FOR EQUIPMENT INFORMATION, SHEET K1.0.
- EXTEND WALLS TO BOTTOM OF GRID AND ADD 'ZIP' STRIP.
- GENERAL CONTRACTOR TO CAULK AND SEAL ALL EXPANSION AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE - SEE JOINT SEALERS SPECIFICATIONS.
- ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DOOR FRAME.
- AT MOP SINK AND SINKS, PROVIDE 120 CLEANING SOLUTION DISPENSER ON HOSE BIBB SIDE. THERE SHALL BE A MAXIMUM 1/2" OFFSET AT ALL THRESHOLDS AND AT ANY CHANGE OF FLOORING MATERIALS. OFFSETS GREATER THAN 1/4" REQUIRE A MAXIMUM BEVELED SLOPE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
- ALL DOORS ARE 4' OFF ADJACENT WALLS UNO.
- ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACE, AND THE MAX. RUNNING AND CROSS SLOPE OF ALL LANDINGS WILL BE 2%.
- PROVIDE THERMOMETER ACCURATE TO 2 DEGREES FAHRENHEIT IN REFRIGERATORS IF ONE IS NOT INCLUDED WITH FIXTURE.
- ALL HAND SINKS MUST BE PROVIDED WITH A HAND WASHING SIGN, PAPER TOWEL DISPENSER AND HAND SOAP DISPENSER.

## WALL LEGEND

FRAMING / DIMENSIONING NOTE:  
ALL DIMENSIONS ARE TO FACE OF STUD, TYP.

- A** EXTERIOR WALL:  
HARDIE BOARD OVER WEATHER RESISTANT BARRIER (WRB) OVER SHEATHING OVER 2x6" WOOD STUDS @ 16" O.C., 12' CEMENT BOARD AT BASE W/ 1/2" PLYWOOD ABOVE AND FRP PANEL TO 10'-6" A.F.F., PROVIDE BATT INSULATION IN ALL EXTERIOR WALLS.
- B** INTERIOR PARTITION WALL:  
2x4" WOOD STUDS @ 16" O.C., 12' CEMENT BOARD AT BASE W/ 1/2" PLYWOOD ABOVE AND FRP PANEL FINISH TO 10'-6" A.F.F. BOTH SIDES. PROVIDE R-13 ACOUSTICAL BATT INSULATION AT RESTROOM.
- C** PLUMBING PARTITION:  
2x6" WOOD STUDS @ 16" O.C. 12' CEMENT BOARD AT BASE W/ 1/2" PLYWOOD ABOVE AND FRP PANEL FINISH TO 10'-6" A.F.F. FINISH SIDE. PROVIDE R-13 ACOUSTICAL BATT INSULATION IN PARTITION.
- D** EXTERIOR WING WALL:  
HARDIE BOARD OVER WEATHER RESISTANT BARRIER (WRB) OVER SHEATHING OVER 2x6" WOOD STUDS @ 16" O.C., SHEATHING AND BREAK METAL ONE SIDE.
- E** EXTERIOR WING WALL:  
2x8" WOOD STUDS @ 16" O.C. OVER WEATHER RESISTANT BARRIER (WRB) OVER SHEATHING AND BREAK METAL BOTH SIDES.

NOTE: FLOOR SINKS DIMENSION ARE NOT DEAD SET. THEY WILL NEED TO BE LOCATED +6" OR MORE. GC WILL NEED TO COORDINATE WITH COUNTERTOP FAB FOR PROPER LOCATION OF COUNTERTOP LEGS WITH FLOOR SINK LOCATION.

## KEYNOTES - FLOOR PLAN

- NEW ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS
- GRAPHICS ON WINDOW BY OWNER
- FLOOR DRAIN. SEE PLUMBING DRAWINGS
- 2A-10BC MINIMUM RATED FIRE EXTINGUISHER
- PROVIDE TACTILE EXIT SIGN AT EXIT DISCHARGE
- WATER HEATER ABOVE. SEE PLUMBING DRAWINGS
- LINE OF CANOPY ABOVE BY OTHERS
- ACCESSIBLE RESTROOM SIGN
- MOP SINK. SEE PLUMBING DRAWINGS
- FLOOR SINK. SEE PLUMBING DRAWINGS
- R.O. SYSTEM. SEE PLUMBING DRAWINGS
- 6 DOOR EMPLOYEE LOCKERS ANCHORED TO WALL BY GC
- FLOOR SAFE BY OWNER, BOLTED TO FLOOR BY G.C.
- PARTIAL HEIGHT WALL.

## CLEARANCE KEYNOTE

- C1** DOOR WITH A CLOSER AND A LATCH
- C2** CIRCULAR TURNABOUT
- C3** CLEAR FLOOR SPACE
- C4** TACTILE SIGNS
- C5** T-TURN

DOOR LEGEND	
	DOOR TAG. REFER TO SCHEDULE ON SHEET A5.2
WINDOW LEGEND	
	WINDOW TAG. REFER TO DETAILS ON SHEET A5.1



## BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:

SCOOTER'S COFFEE

CITY OF SHEBOYGAN, WISCONSIN; COUNTY OF: SHEBOYGAN

SCALE VERIFICATION  
THIS BAR MEASURES 1" ON ORIGINAL.  
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT  
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-4913

SALES REP:  
TOM AMBROSIOUS  
(920) 371-8167

DRAWN BY: -

DATE: 1-18-2022

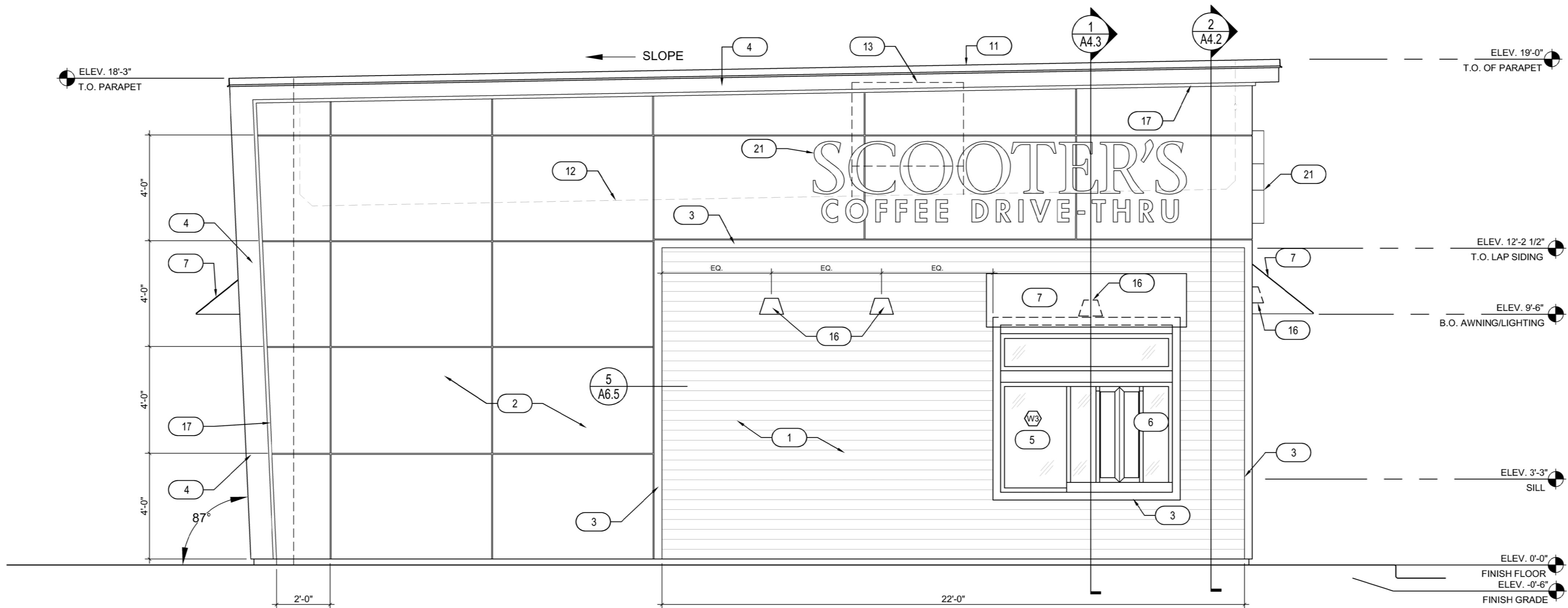
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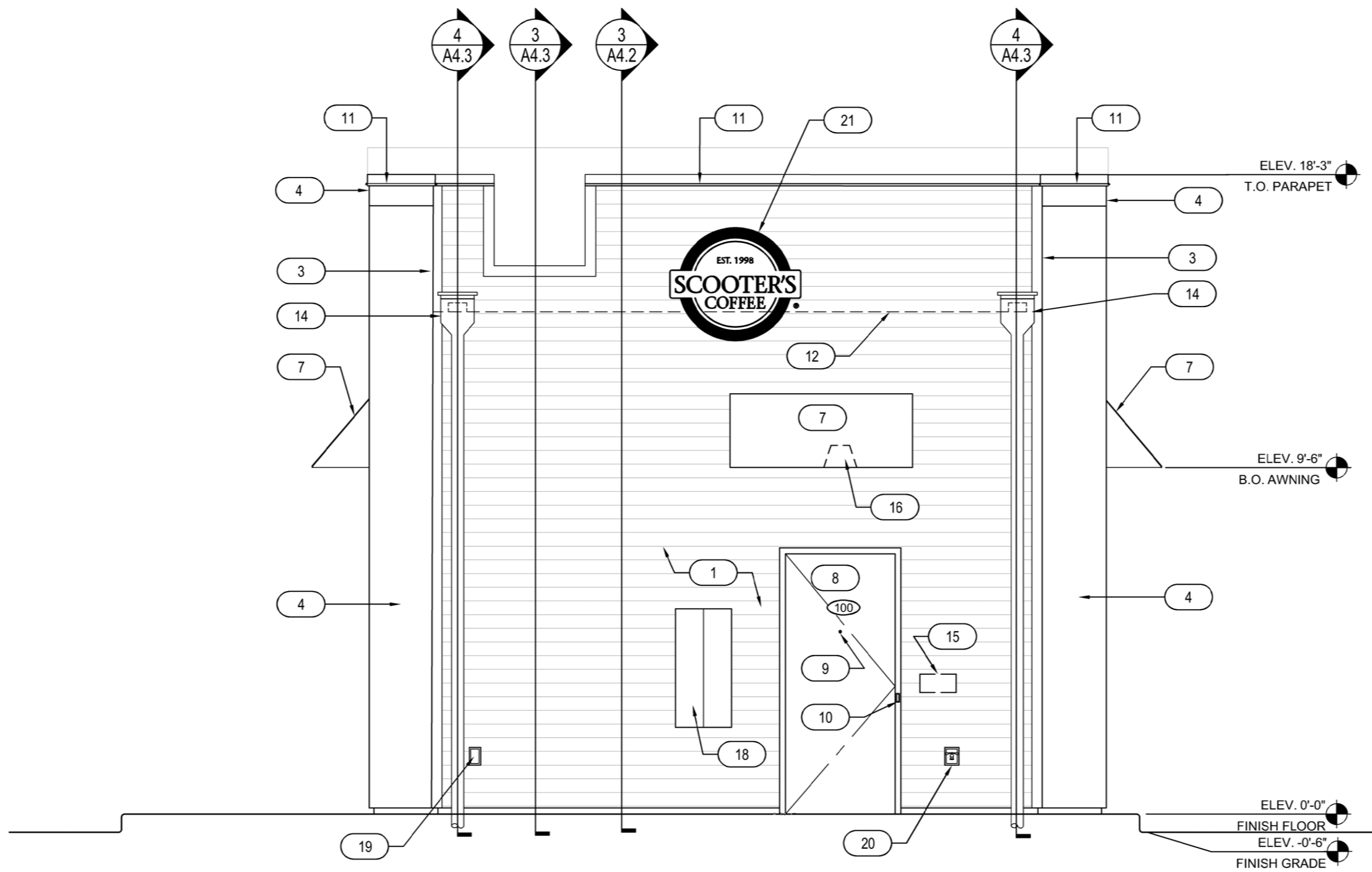
- ☐ PRELIMINARY
- ☐ BID SET
- ☒ CONSTRUCTION

SHEET

A1.2



2 EXTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"

## KEYNOTES

1. LP SMART SIDING HZ10 LAP SIDING CEDARMILL 6-1/4". SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. LP SMART SIDING REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE LP SMART SIDING DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" LP SMART SIDING TRIM, SEE LP SMART SIDING DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT

PROPOSED BUILDING FOR:

**SCOOTER'S COFFEE**

CITY OF SHEBOYGAN, WISCONSIN; COUNTY OF: SHEBOYGAN

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THIS BAR MEASURES 1" ON ORIGINAL.  
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SALES REP:  
TOM AMBROSIOUS  
(920) 371-8167

DRAWN BY: -

DATE: 1-18-2022

REVISIONS:

△	-	-

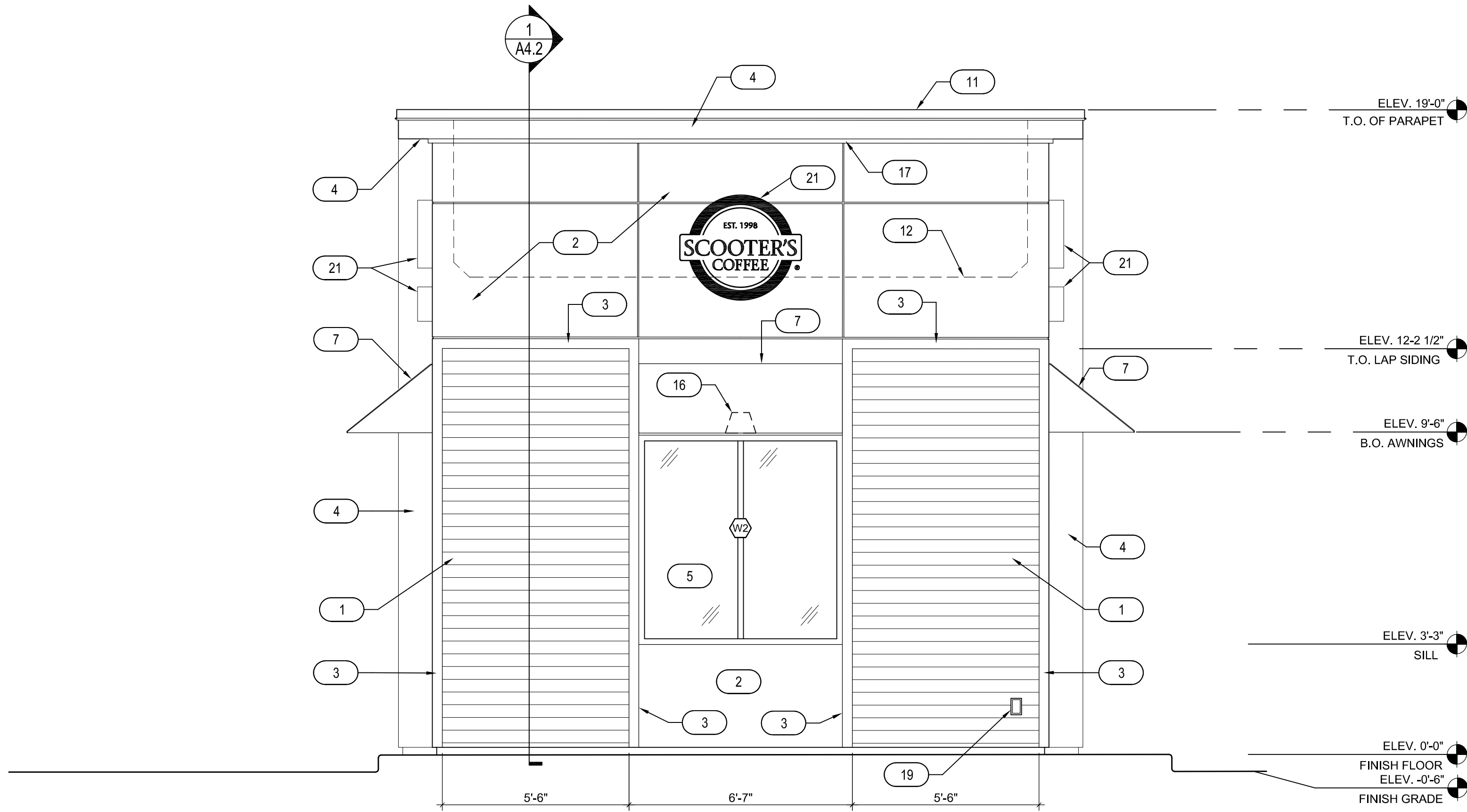
ISSUED FOR:

- ☐ PRELIMINARY  
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☒ CONSTRUCTION

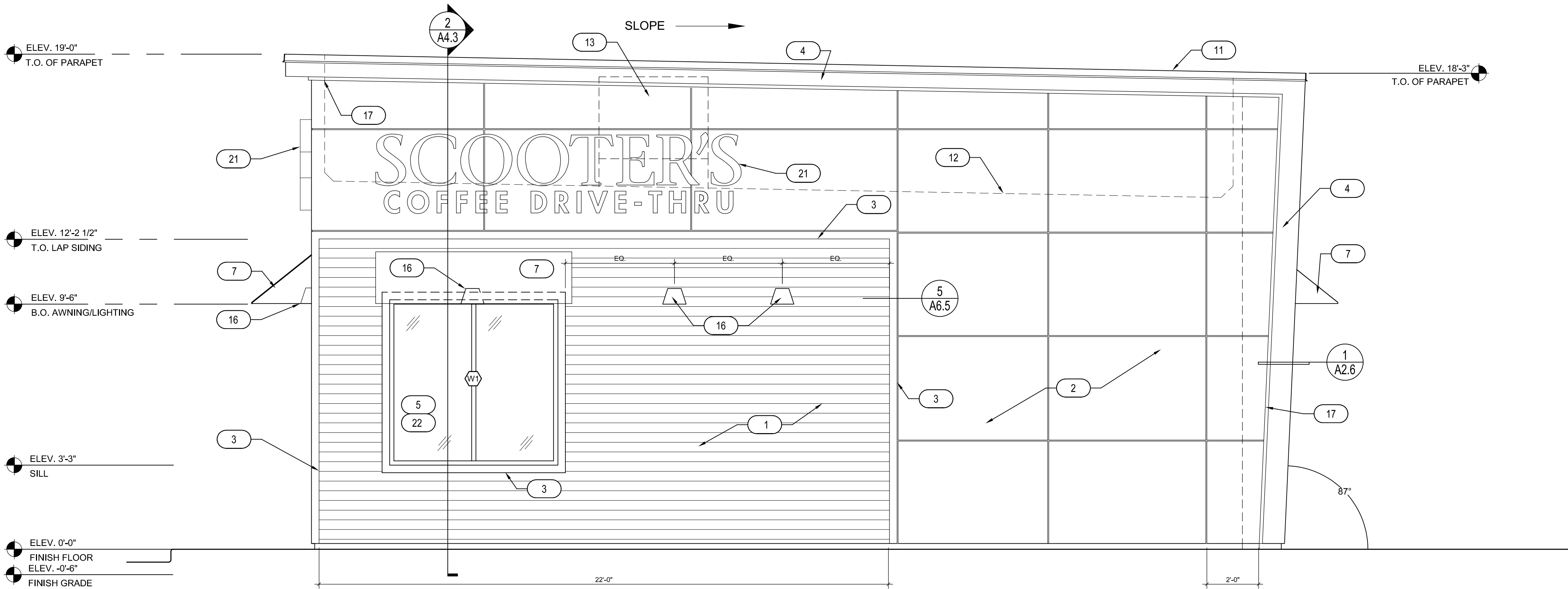
SHEET

**A3.1**





2 EXTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"

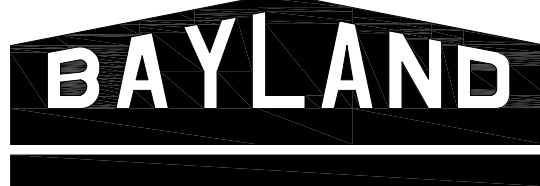


1 EXTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"

KEYNOTES

X

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14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:

SCOOTER'S COFFEE

CITY OF SHEBOYGAN, WISCONSIN; COUNTY OF: SHEBOYGAN

SCALE VERIFICATION  
THIS BAR MEASURES 1" ON ORIGINAL.  
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT  
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-4913

SALES REP: TOM AMBROSIOUS  
(920) 371-8167

DRAWN BY: -

DATE: 1-18-2022

REVISIONS:

△ - -

ISSUED FOR:

- ☐ PRELIMINARY  
☐ BID SET  
☒ CONSTRUCTION

SHEET

A3.2







SCOOTER'S  
COFFEE DRIVE-THRU



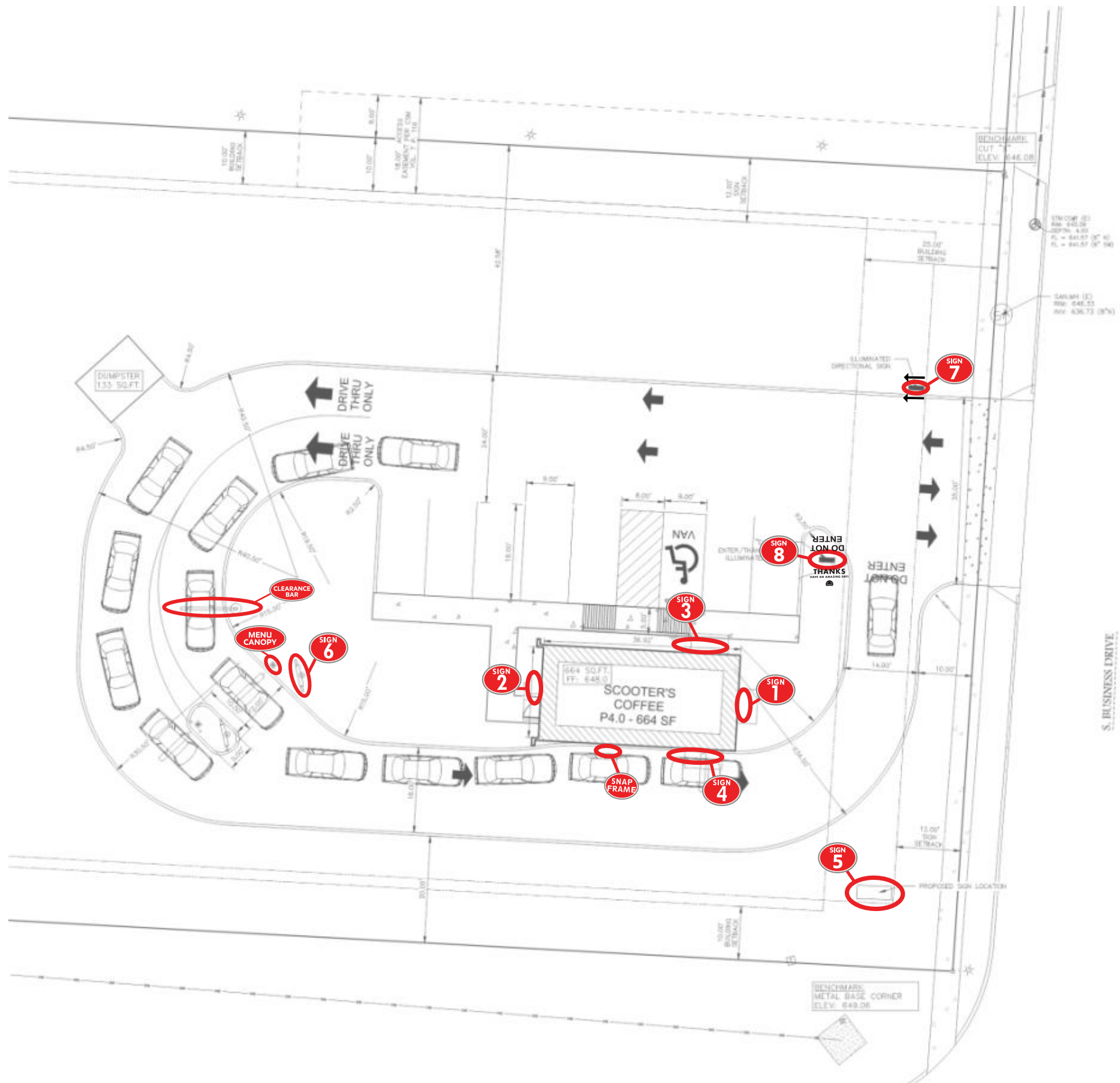






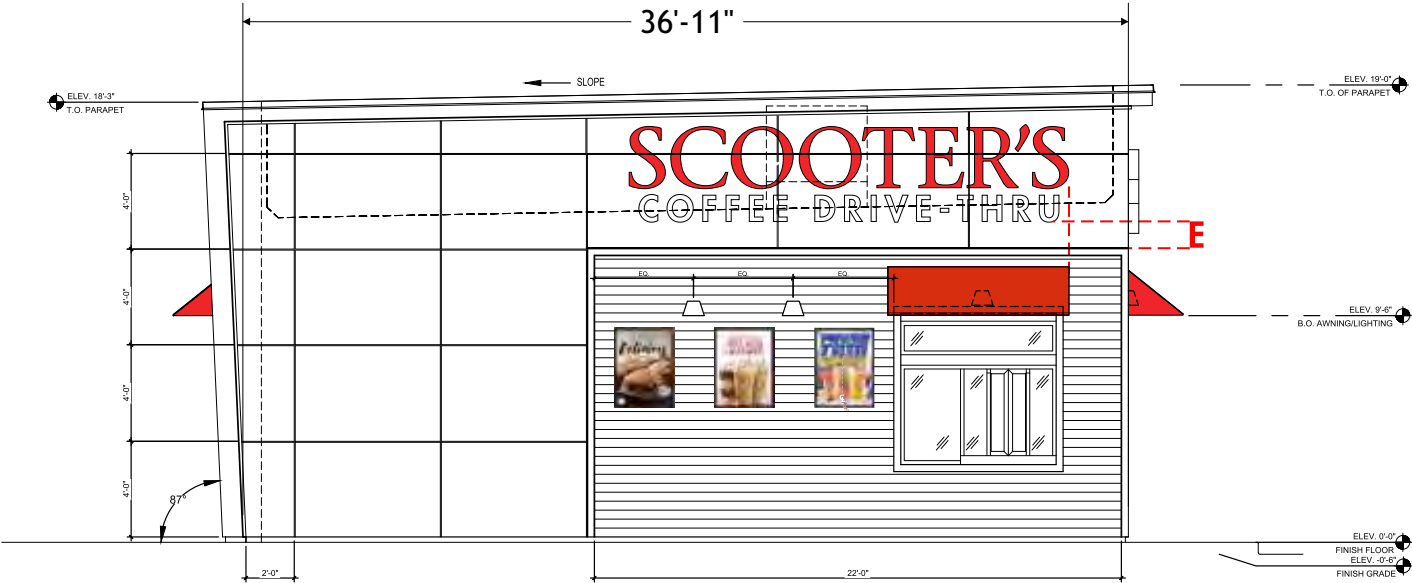




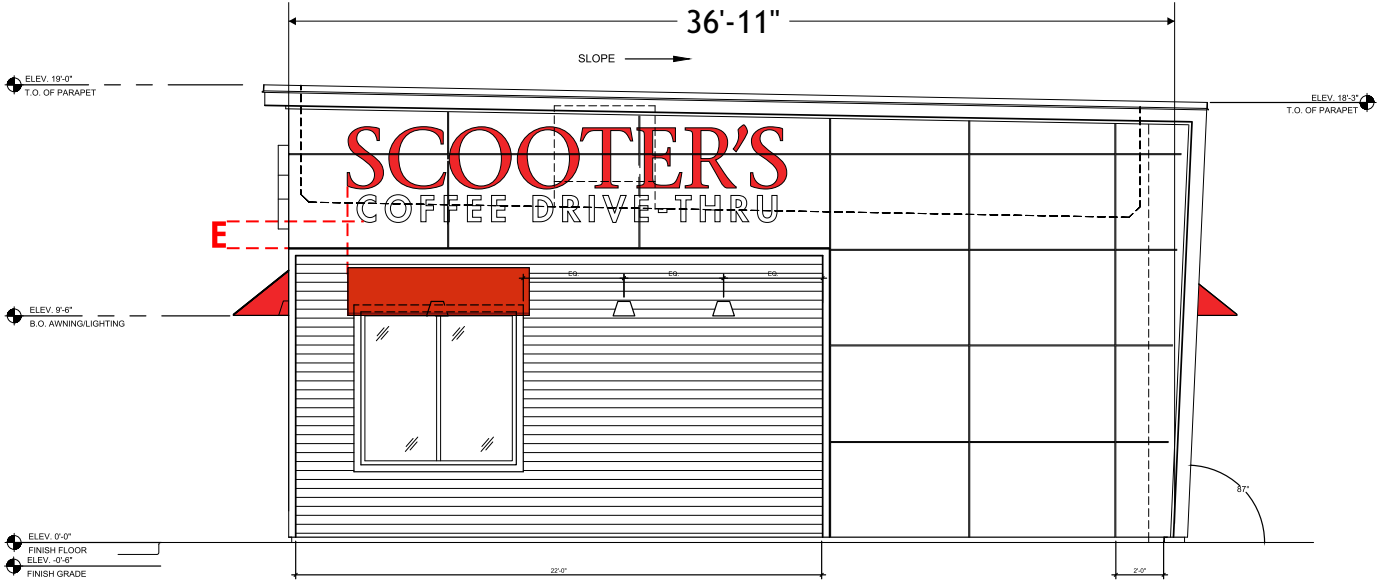


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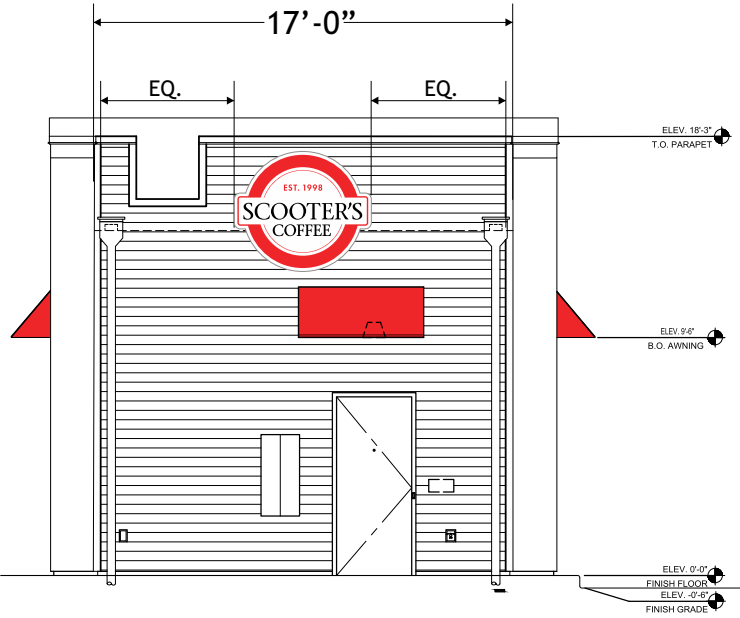




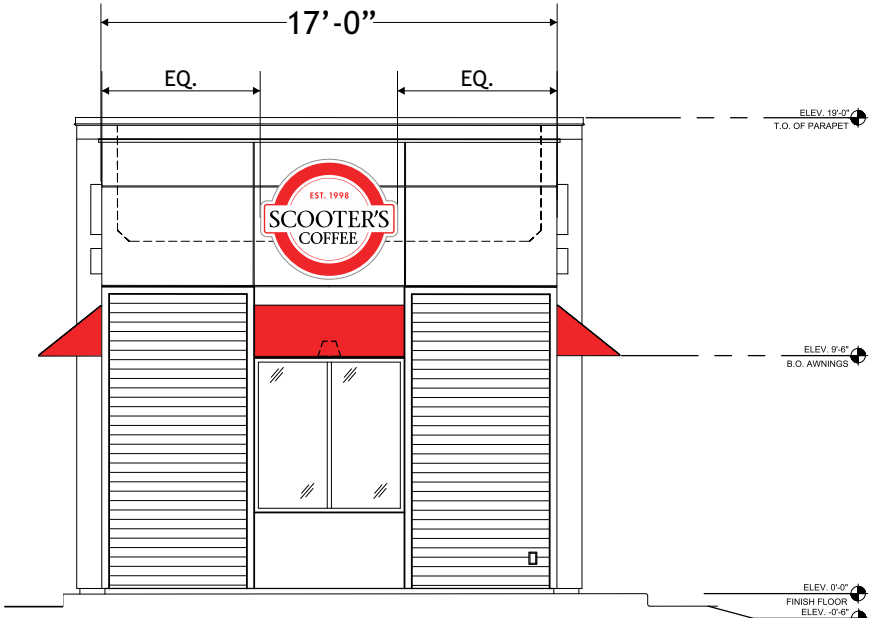
ELEVATION 1 - DRIVE THRU



ELEVATION 2 - SIDE



ELEVATION 3 - BACK



ELEVATION 4 - FRONT

Scale: 1/8" = 1'-0"

### A3.1/A3.2 EXTERIOR ELEVATIONS



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DRAWING # : 129157-2  
PROJECT ID: 26757

SALES PERSON: andye nelson  
DRAWN BY: wes stephens

DATE: 12.16.21  
Revised:  
DATE: 000000

INSPECTED BY:

**SCOOTER'S**  
**COFFEE DRIVE-THRU**  
2732 South Business Avenue  
Sheboygan, WI 53081

#### NOTICE:

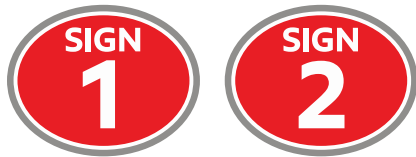
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Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

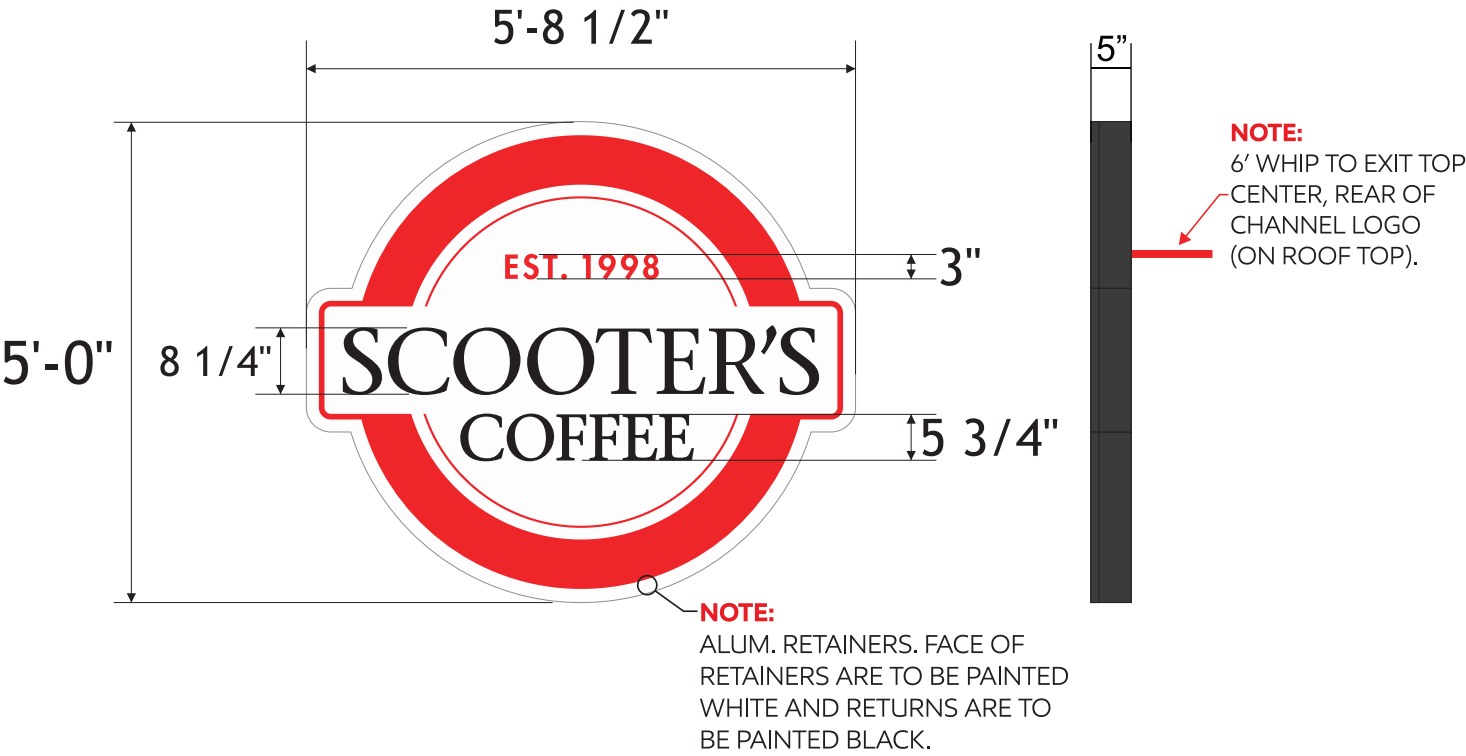
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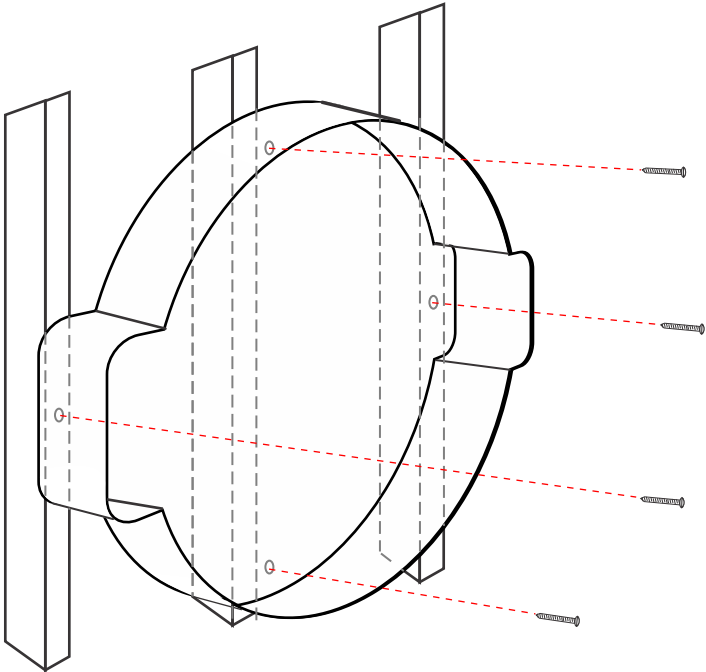
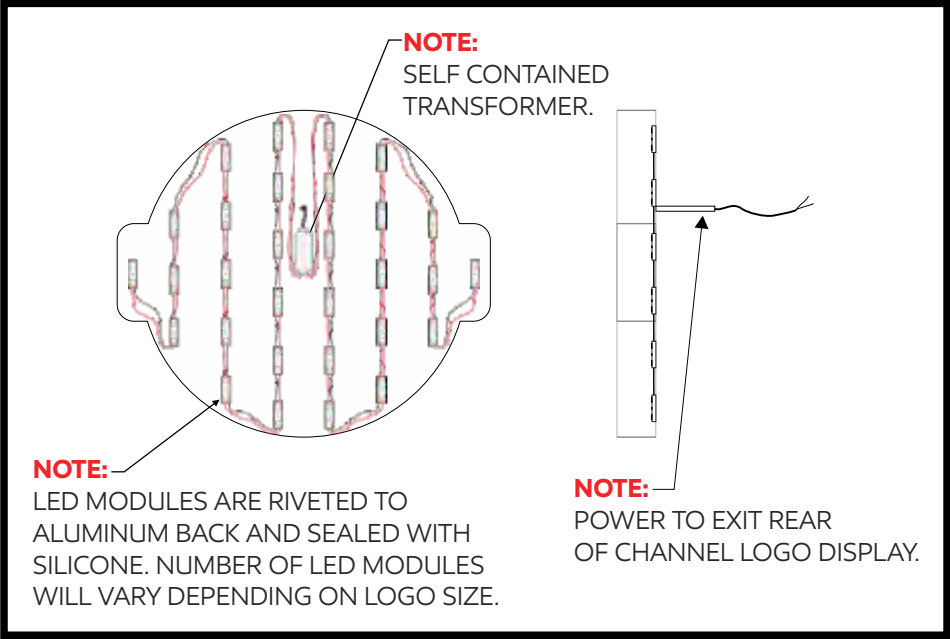
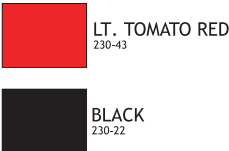
ILLUMINATED CHANNEL LOGO(s)  
FLUSH MOUNTED



EACH CHANNEL LOGO SQ FOOTAGE: **28.55 sq. ft.**

<b>SCOOTER'S COFFEE DRIVE-THRU</b>	
<b>Illuminated Channel Logo</b>	
<b>RETURNS:</b>	5 Inch Deep .050 Blk. Pre-Finished Aluminum
<b>BACKS:</b>	.063 White Pre-Finished Aluminum
<b>FACES:</b>	3/16 Inch White Acrylic
<b>VINYL:</b>	(as noted)
<b>RETAINERS:</b>	Alum. Ptd Two Tone: White Face - Black Return
<b>ILLUMINATION:</b>	White Hanley LED's

3M Series 230  
TRANSLUCENT FILM



**NOTE:** CHANNEL LETTERS/LOGOs  
FLUSH MOUNTED TO WALL  
w/#14 TEK (O.R. WOOD/METAL)  
FASTENERS. NUMBER OF PENETRATIONS  
DEPENDENT ON STUD PLACEMENT.

Scale: 1/2" = 1'-0"

CHANNEL LOGO(s)



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DRAWING # : 129157-3  
PROJECT ID: 26757

SALES PERSON: andye nelson  
DRAWN BY: wes stephens

DATE: 12.16.21  
Revised:  
DATE: 000000

INSPECTED BY:

**SCOOTER'S  
COFFEE DRIVE-THRU**  
2732 South Business Avenue  
Sheboygan, WI 53081

NOTICE:

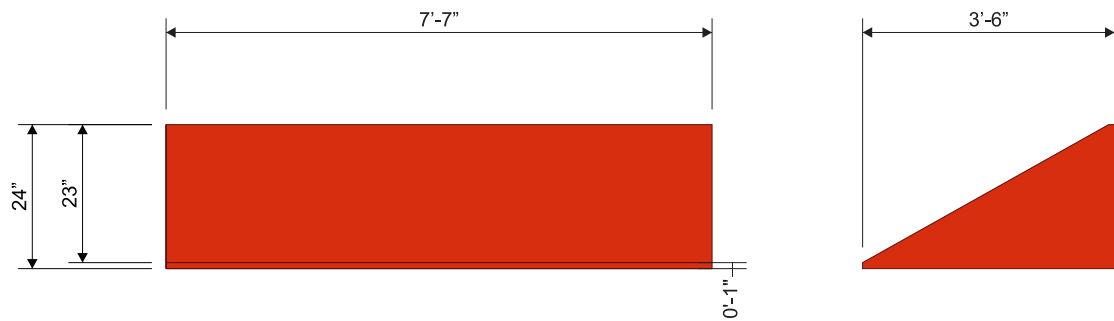
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Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

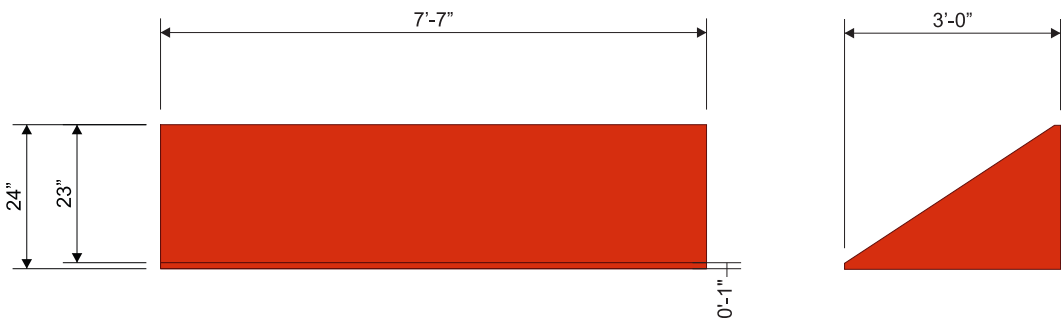
This sign is intended to be  
installed in accordance with the  
requirements of Article 600 of the  
National Electric Code and/or  
other applicable local codes. This  
includes proper grounding and  
bonding of the sign.



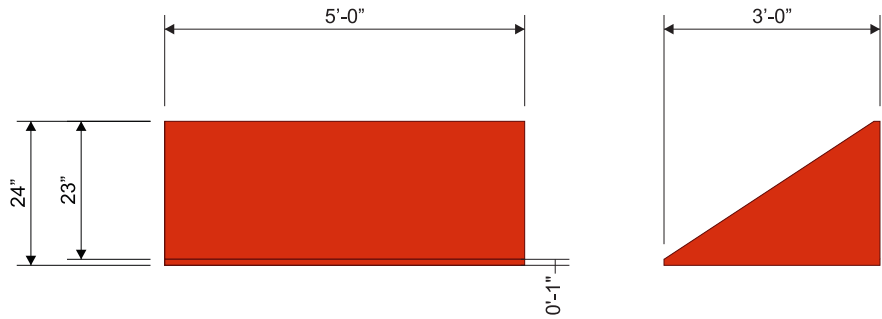




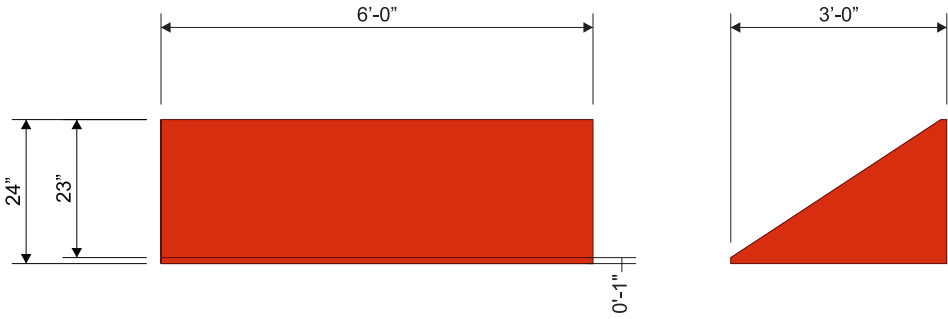
ELEVATION 1 - DRIVE THRU



ELEVATION 2 - SIDE



ELEVATION 3 - BACK



ELEVATION 4 - FRONT

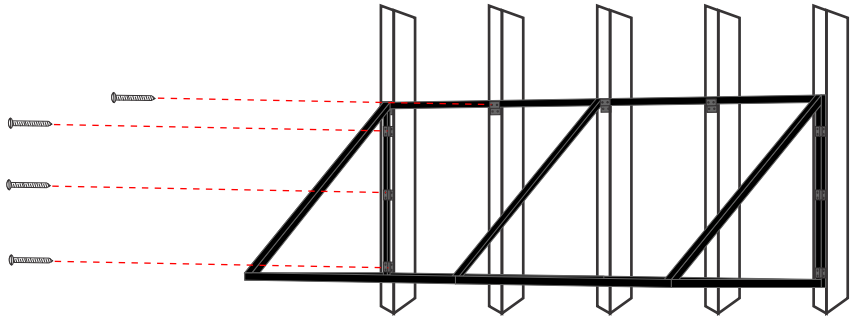
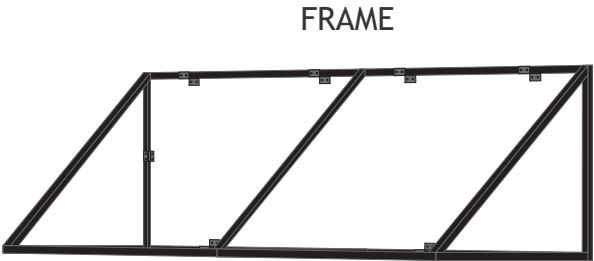
SCOOTER'S  
COFFEE DRIVE-THRU

Awning Display



FRAME:	1"x 1" ALUM. Sq. TUBE FRAME (Painted Black)
SKIN:	LOGO RED SUNBRELLA MATERIAL #6066-0000
GRAPHICS:	(As Noted)

INSTALLATION:

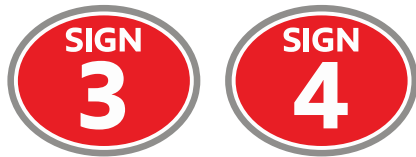
PANEL IS TO BE MOUNTED TO FASCIA USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).  
14GA. Z-CLIPS - #12 SELF TAPPING TEKS - 3/16" 0 x 1 1/2"  
TAP CONS TO EXISTING FASCIA.



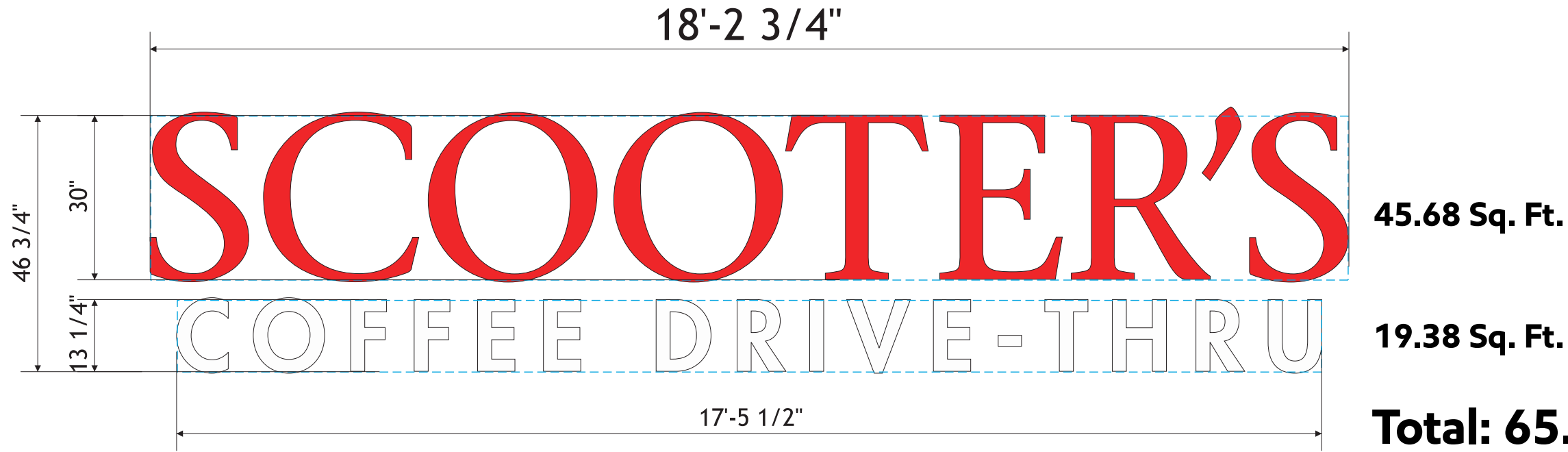
**NOTE:** AWNING FRAMES FLUSH MOUNTED TO WALL  
w/#14 TEK (O.R. WOOD/METAL) FASTENERS AND SIGN TECH  
“Z” CLIPS. NUMBER OF PENETRATIONS DEPENDENT ON STUD PLACEMENT.

<b>Scale:</b> 3/8" = 1'-0"		<b>NONILLUMINATED AWNING(s)</b>									
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		DRAWN BY: wes stephens				<b>Revised:</b> <b>DATE: 000000</b>					
								<b>NOTICE:</b> <small>ALL GRAPHIC REPRODUCTIONS ARE SUBJECTED BY APPROVAL OF AUTHORIZED CLIENT, AS OF APPROVAL BY THE UNDERSIGNED AND DATED PRIOR TO ANY FABRICATION OF PRODUCT. OMAHA NEON SIGN COMPANY, INC. HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.</small> Signed _____ Date _____ Sales Rep. _____ Date _____		<small>This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.</small> 	





ILLUMINATED CHANNEL LETTERS(s)  
FLUSH MOUNTED



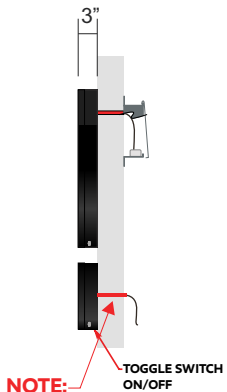
SCOOTER'S  
COFFEE DRIVE-THRU

**NOTE:**  
"COFFEE DRIVE-THRU" WILL BE WIRED  
INSIDE DROP CEILING.

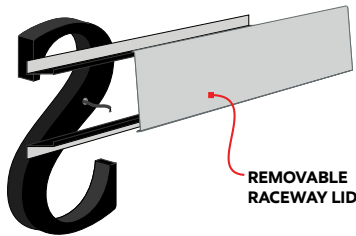
**NOTE:**  
POWER TO EXIT AT TOP AREA OF  
"SCOOTER'S"

**NOTE:**  
ALUMINUM REVERSE RACEWAY  
LOCATED ON ROOF BEHIND  
PARAPET WALL.

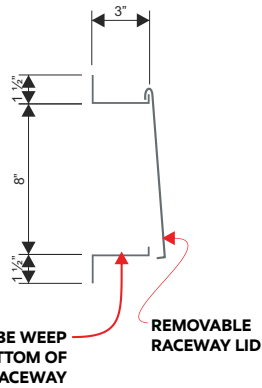
**NOTE:**  
POWER TO EXIT AT LOWEST POINT  
OF "COFFEE DRIVE-THRU"



**NOTE:**  
POWER TO EXIT LOWER  
LETTERS AND ENTER STORE.



**NOTE:**  
INVERTED RACEWAY TO BE SEALED BY ROOTER  
AFTER INSTALLATION.



THERE ARE TO BE WEEP  
HOLES AT BOTTOM OF  
RACEWAY

REMOVABLE  
RACEWAY LID

SCOOTER'S COFFEE DRIVE-THRU Channel Letter Specifications	
SCOOTER'S	
RETURNS:	3 Inch Deep .040 Blk. Pre-Finished Aluminum
BACKS:	.063 White Pre-Finished Aluminum
FACES:	.1875 White Acrylic
VINYL:	230-43 Tomato Red - Translucent
TRIM-CAP:	1 Inch Black
ILLUMINATION:	Red Hanley LED's
COFFEE DRIVE-THRU	
RETURNS:	3 Inch Deep .040 Blk. Pre-Finished Aluminum
BACKS:	.063 White Pre-Finished Aluminum
FACES:	.1875 White Acrylic
TRIM-CAP:	1 Inch Black
ILLUMINATION:	White Hanley LED's

Scale: 1/2" = 1'-0"

CHANNEL LETTER(S)



Omaha Neon  
Sign Co., Inc.

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DRAWING # : 129157-5  
PROJECT ID: 26757

SALES PERSON: andye nelson

DATE: 12.16.21

INSPECTED BY:

DRAWN BY: wes stephens

Revised:  
DATE: 000000

SCOOTER'S  
COFFEE DRIVE-THRU  
2732 South Business Avenue  
Sheboygan, WI 53081

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Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

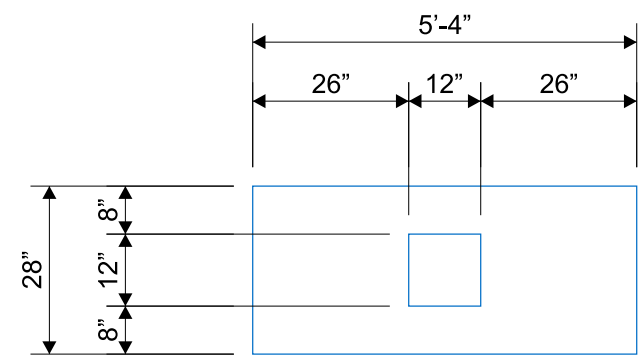
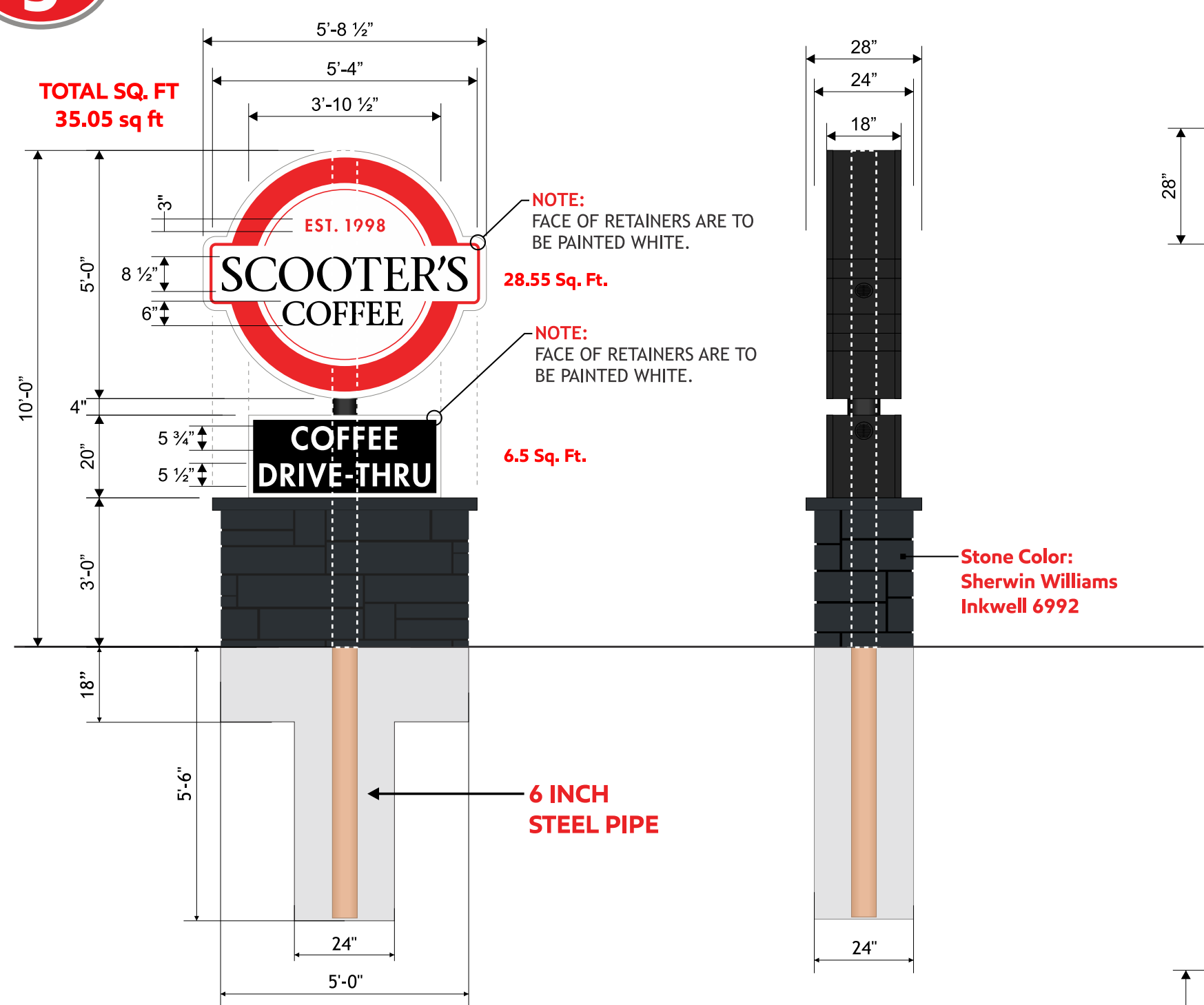
This sign is intended to be  
installed in accordance with the  
requirements of Article 600 of the  
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other applicable local codes. This  
includes proper grounding and  
bonding of the sign.



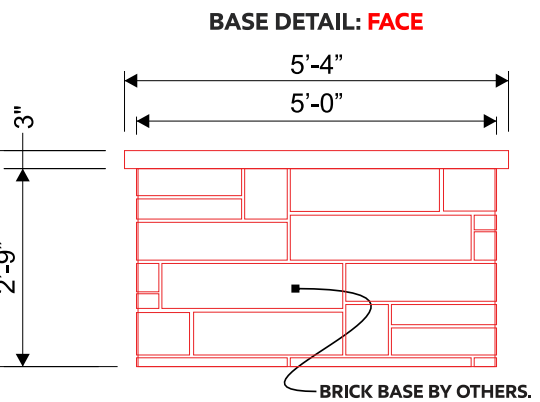
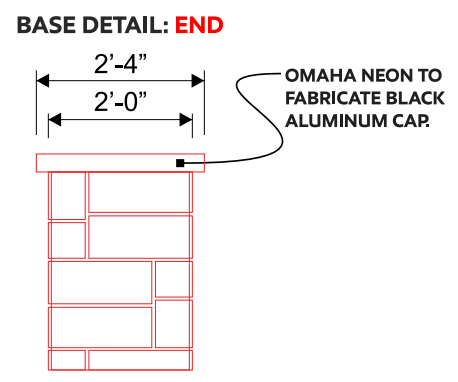




D/F MONUMENT SIGN DISPLAY



TOP VIEW - MONUMENT CAP



**1**

**SCOOTER'S**  
COFFEE DRIVE-THRU

Monument Sign Display (Primary)

FABRICATED FROM .050 ALUMINUM PAINTED WHITE OVER AN INTERNAL ANGLE FRAME WITH WHITE PRE-FINISHED ALUMINUM SKIN. RETAINERS ARE TO BE ALUMINUM PAINTED WHITE. FACES ARE TO BE WHITE LEXAN WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED). INTERNAL ILLUMINATION WITH ONE (1) ROW OF WT HANLEY PHEONIX LED LIGHTING. CABINET IS TO BE MOUNTED TO SINGLE POLE STRUCTURE (AS NOTED).


**2**


**SCOOTER'S**  
COFFEE DRIVE-THRU


Monument Sign Display (Secondary)

FABRICATED FROM EC-FRAME (EXTRUDED ALUMINUM AND WILL HAVE ALUMINUM SKIN PAINTED. CABINET AND RETAINERS ARE TO BE PAINTED WHITE. FACE(S) IS TO BE 3/16" WHITE PLEXIGLAS #2793 WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE. INTERNAL ILLUMINATION WITH WHITE HANLEY PHOENIX S/S LED's. CABINET IS TO BE MOUNTED TO POLE STRUCTURE USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).

**3M Series 230**  
TRANSLUCENT FILM

 LT. TOMATO RED  
230-43

 BLACK  
230-22

Scale: 3/8" = 1'-0"		MONUMENT/POLE SIGN(s)					BRICK BASE BY OTHERS.								
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		PROJECT ID: 26757		DRAWN BY: wes stephens		Revised: 000000				2732 South Business Avenue Sheboygan, WI 53081		ALL GRAPHIC REPRODUCTIONS ARE SUBJECT TO APPROVAL OF AUTHORIZED CLIENT, AS OF APPROVAL BY THE UNDERSIGNED AND DATED PRIOR TO ANY FABRICATION OF PRODUCT. OMAHA NEON SIGN COMPANY, INC. HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.		Signed _____ Date _____ Sales Rep. _____ Date _____	
												UL LISTED			

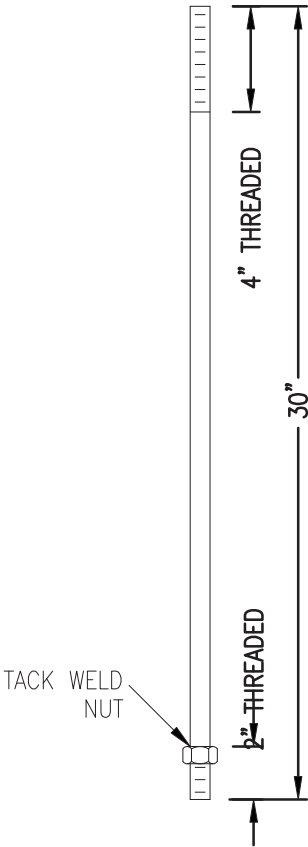
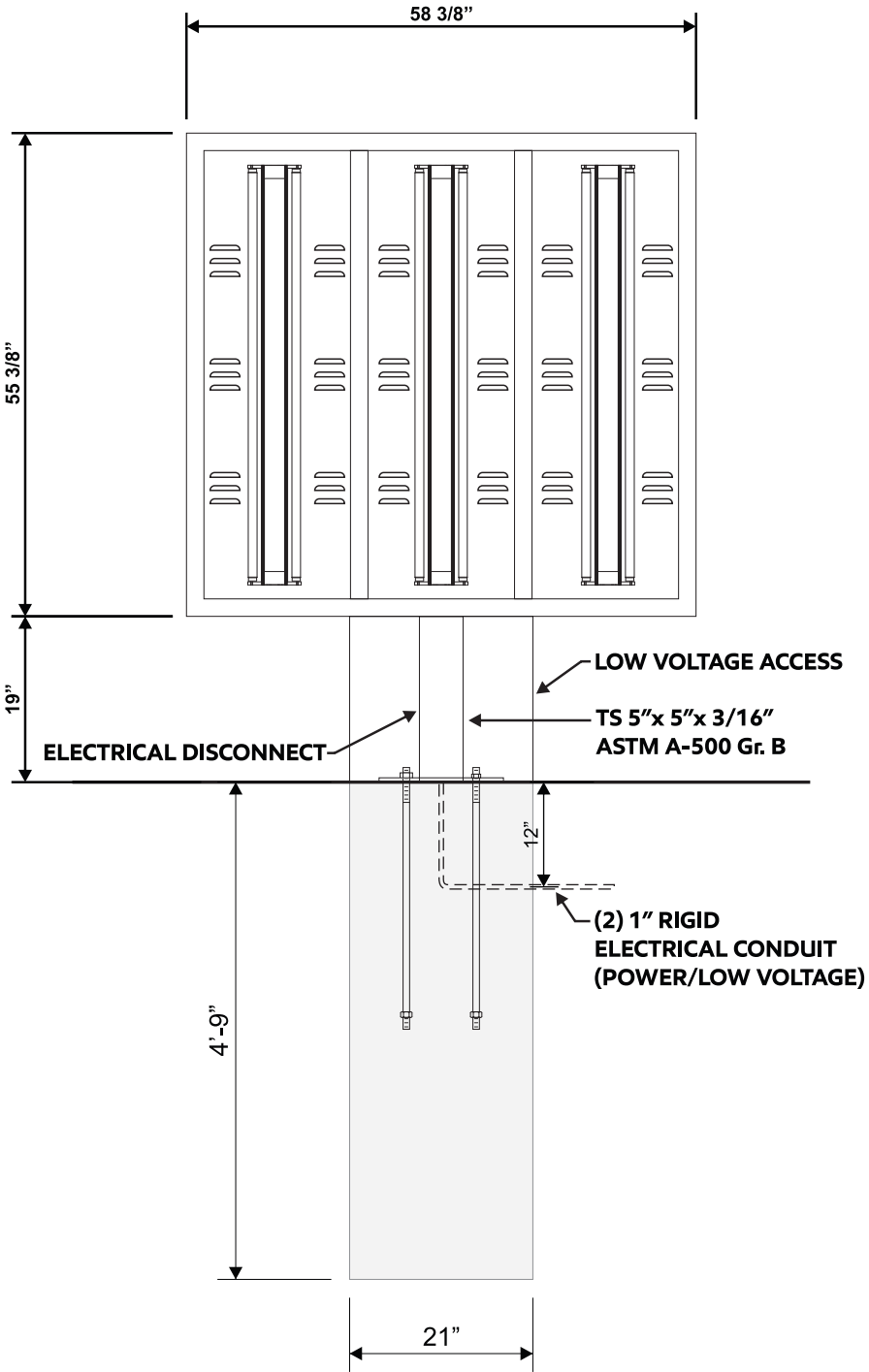
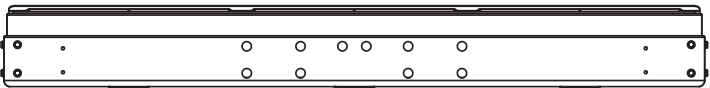




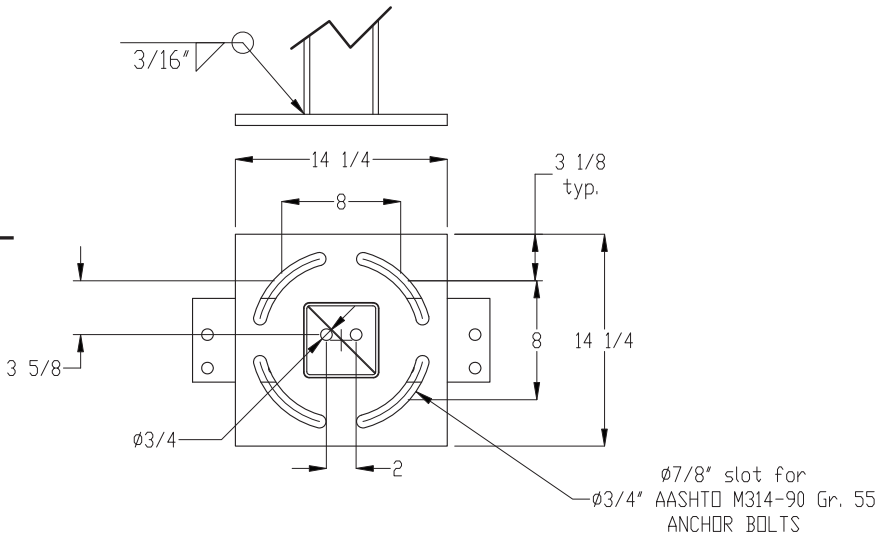


**MENU BOARD DISPLAY**  
**Scooters Coffee**  
**Project U19**  
Ref#GK-18-536r3 • Aug. 21, 2018

- ILLUMINATED DRIVE-THRU SYSTEM:**
- LED LIGHTING
  - MOUNTED TO EXISTING PIPE AND FOOTING AS SHOWN
  - GRAPHICS ARE CHANGEABLE



**ANCHOR BOLT DETAIL**  
ø3/4" AASHTO M314-90 Gr. 2 STEEL  
CAN USE EITHER STYLE ANCHOR BOLT



**BASE PLATE DETAIL**  
3/4" ASTM A-36 STEEL

Scale:

**MENU BOARD**



**Omaha Neon Sign Co., Inc.**

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**DRAWING # : 129157-7**  
**PROJECT ID: 26757**

**SALES PERSON: andye nelson**  
**DRAWN BY: wes stephens**

**DATE: 12.16.21**  
**Revised:**  
**DATE: 000000**

INSPECTED BY:

**SCOOTER'S COFFEE DRIVE-THRU**  
2732 South Business Avenue  
Sheboygan, WI 53081

**NOTICE:**

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Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

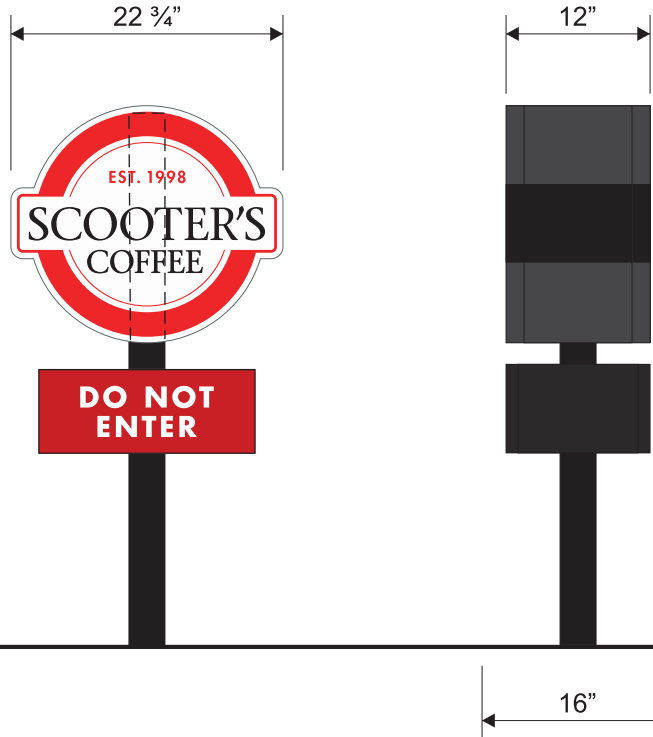
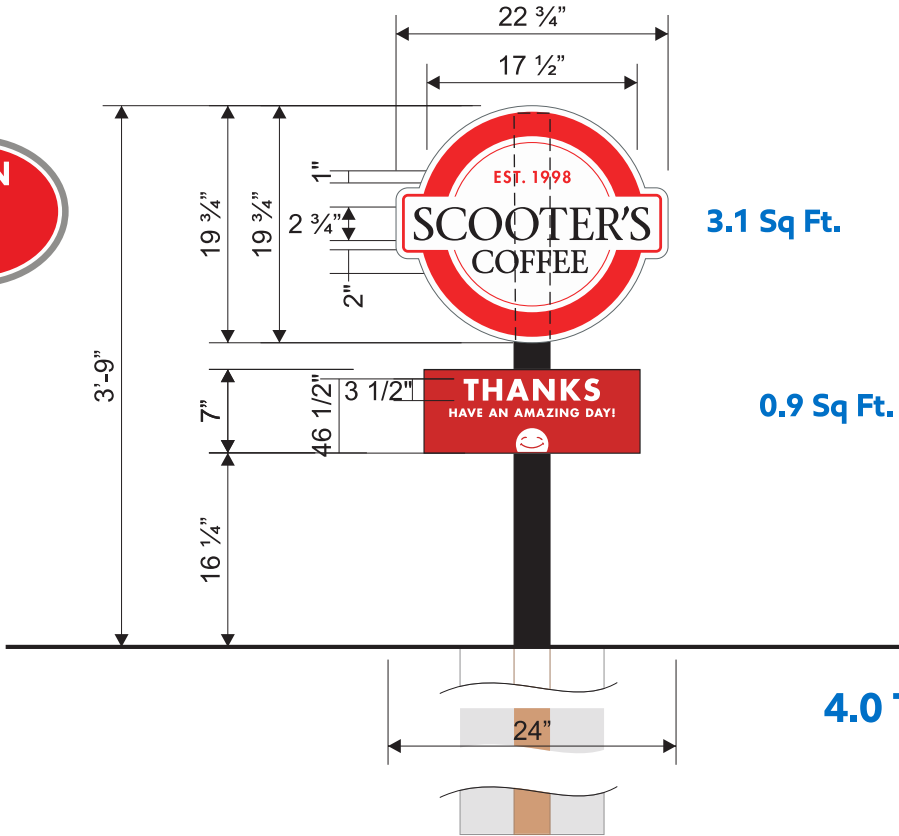
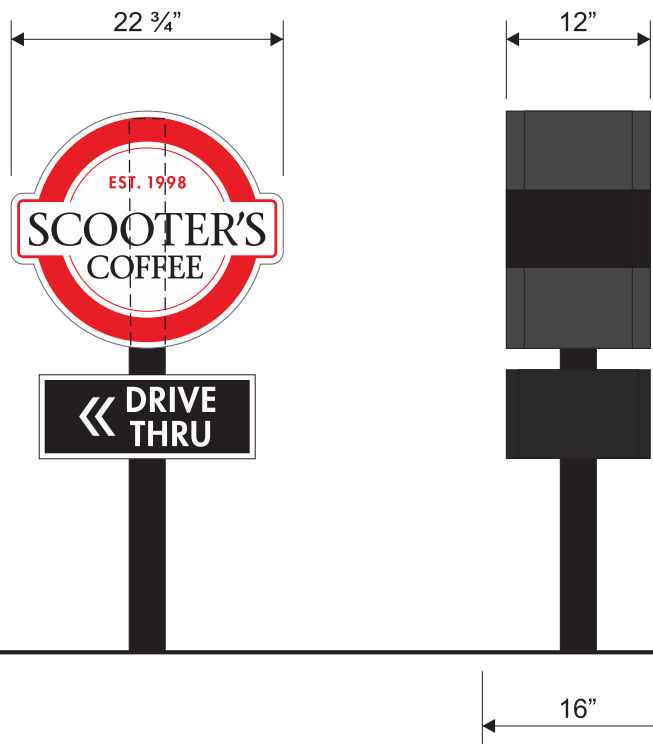
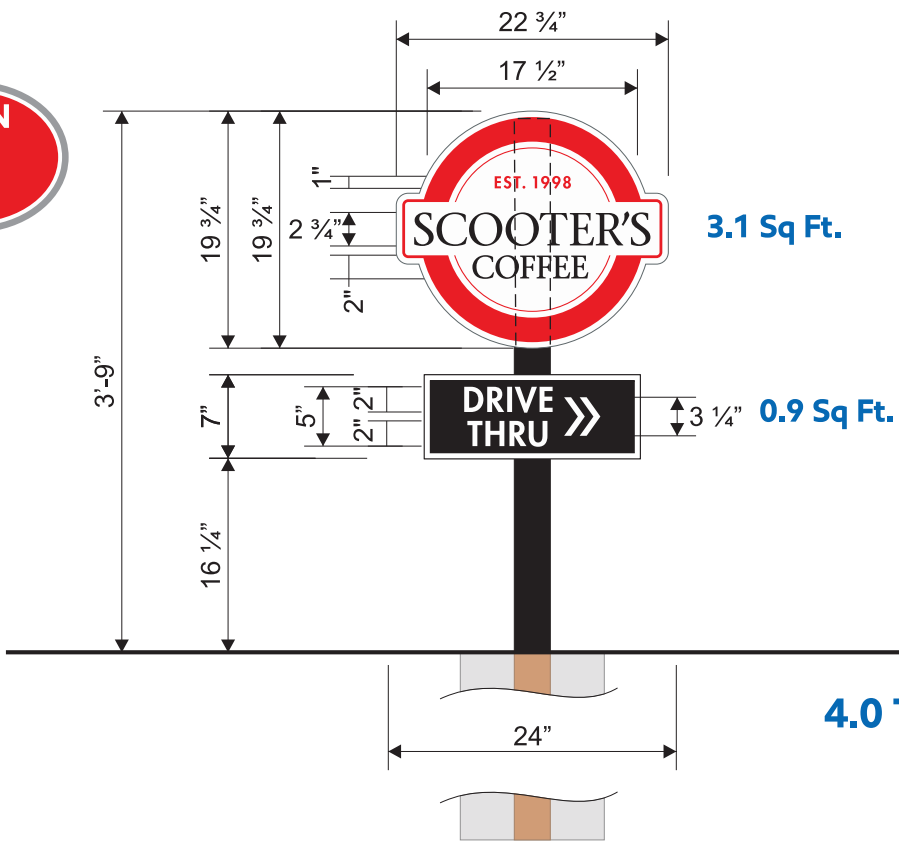
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.







ILLUMINATED D/F DIRECTIONAL SIGN DISPLAY



FOOTING DETAIL	
DEPTH:	42 Inches
WIDTH:	12 Inches
TYPE:	AUGURED.
STEEL SIZE:	3 Inch Std.

**NOTE:** TO BE VERIFIED.

**3M Series 230**  
TRANSLUCENT FILM

	LT. TOMATO RED 230-43
	BLACK 230-22

<b>SCOOTER'S</b> COFFEE DRIVE-THRU Directional Sign Display	
INTERIOR FRAME:	1 Inch Angle Iron
CABINET COLOR:	.063 Aluminum Painted Black.
TRIM-CAP:	1 Inch Black.
FACE MATERIAL:	3/16" White Plexiglas
GRAPHICS:	Applied Vinyl Graphics (as noted).
ILLUMINATION:	White Hanley LED's
CABINET IS TO BE MOUNTED IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).	

**Scale:** 3/4" = 1'-0"

**DIRECTIONAL(s)**



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**DRAWING # : 129157-8**  
**PROJECT ID: 26757**

**SALES PERSON:** andye nelson  
**DRAWN BY:** wes stephens

**DATE:** 12.16.21  
**Revised:**  
**DATE:** 000000

**INSPECTED BY:**

**SCOOTER'S**  
COFFEE DRIVE-THRU  
2732 South Business Avenue  
Sheboygan, WI 53081

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Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.







## CLEARANCE BAR



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**DRAWING # : 129157-9**  
**PROJECT ID: 26757**

**SALES PERSON:** andye nelson

DATE: 12.16.21

**DRAWN BY:** wes stephens

**Revised:**  
**DATE: 000000**

INSPECTED BY:

**SCOOTER'S**  
COFFEE DRIVE-THRU  
2732 South Business Avenue  
Sheboygan, WI 53081

**NOTICE:**

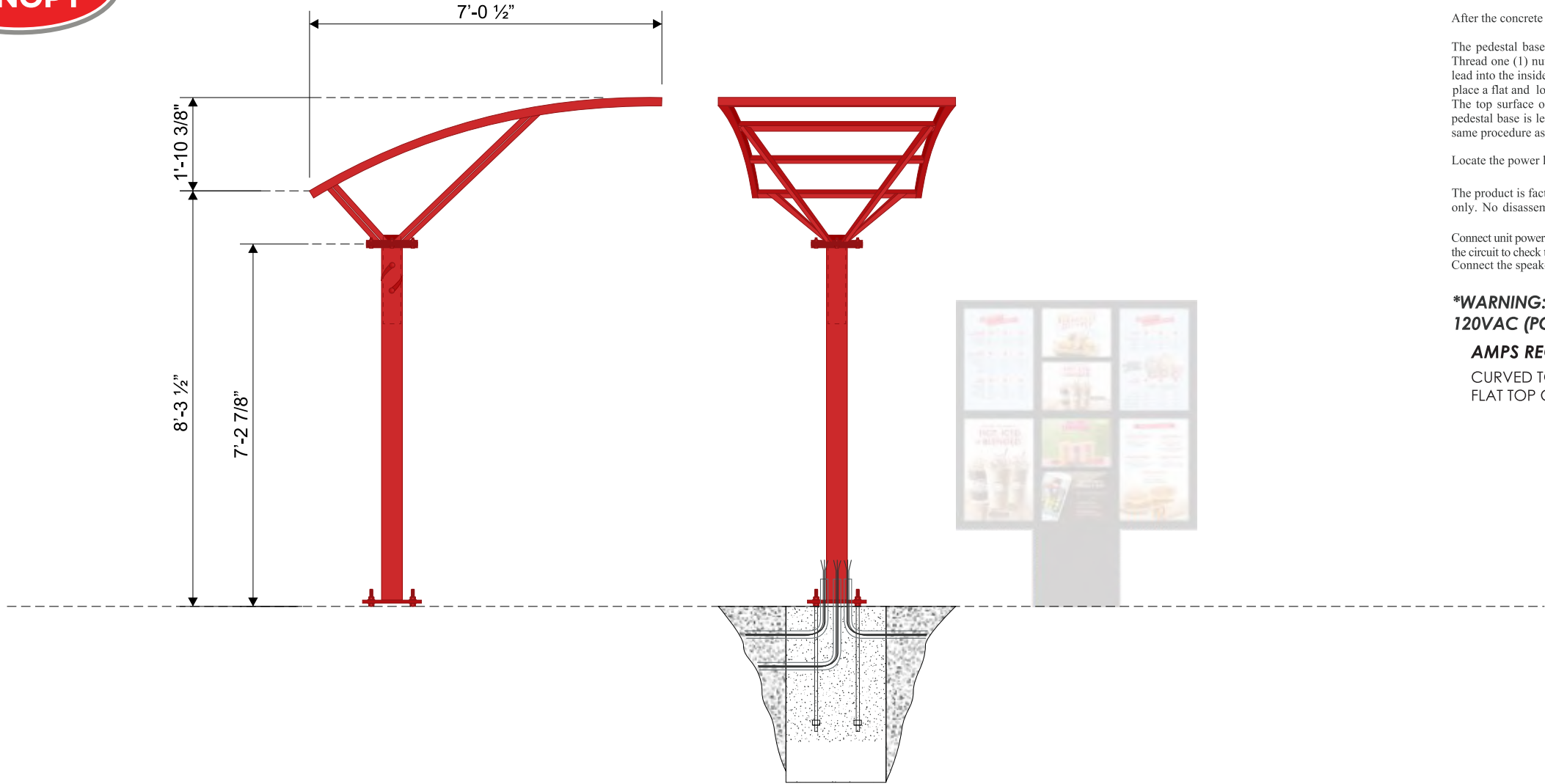
ALL GRAPHIC REPRODUCTIONS ARE SUBJECT TO  
BY APPROVAL OF AUTHORIZED CLIENT. AS OF  
APPROVAL BY THE UNDERSIGNED AND DATED  
PRIOR TO ANY FABRICATION OF PRODUCT.  
OMAHA NEON SIGN COMPANY, INC. HOLDS ALL  
AGREEMENTS FINAL AND TO CLIENT APPROVAL

Signed \_\_\_\_\_ Date \_\_\_\_\_  
Sales Rep. \_\_\_\_\_ Date \_\_\_\_\_

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.







Mounting to Foundation

After the concrete has set, remove template and discard.**NOTE: Do not discard the four (4) or, (8) nuts that were just removed.**

The pedestal base plate is now ready to be mounted. Remove any concrete residue from the threads of the anchor bolts. Thread one (1) nut onto each bolt until it stops; then put a flat washer over each bolt. Feed the 120VAC power lines and ground lead into the inside back hole of the bottom of the pedestal base (see **Diagram G, H and J**). Set pedestal base onto anchor bolts place a flat and lock washer over each bolt, and thread on nut. The top surface of the pedestal base should be rough leveled at this time. Adjust the upper and lower hex nuts until the pedestal base is level and tighten. **NOTE: Final leveling can be done after the product is in place (if required).** Use the same procedure as above.

Locate the power leads. These will be hanging from the opening in the bottom of the menu board.

The product is factory wired and needs only to be energized on the job site. This should be done by a qualified electrician only. No disassembly is required.

Connect unit power leads and grounding conductor (green lead) to the power source. Power source must be 120VAC, 60 Hz. Energize the circuit to check the operation. Connect the speaker/microphone (if provided) to the internal communication system

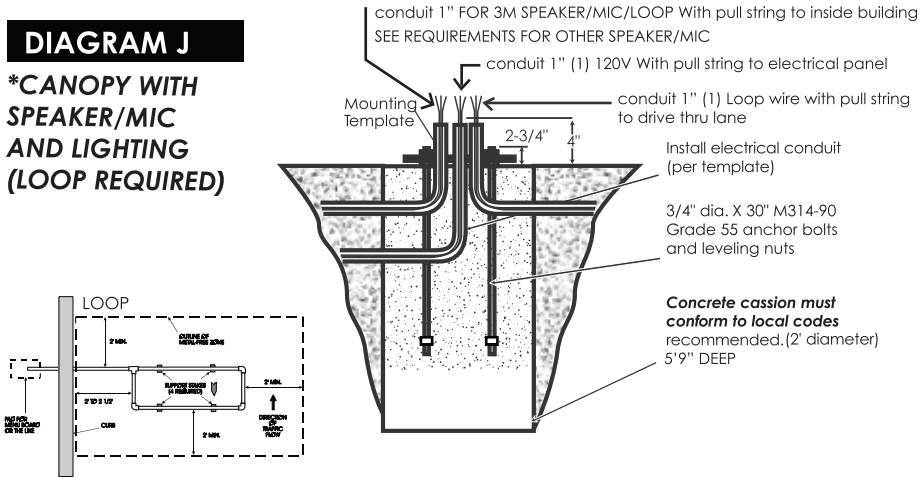
**\*WARNING: DO NOT CONNECT THE SPEAKER/MIC/DATA/CAT 5/LOOP WIRE TO 120VAC (POWER SOURCE).\***

AMPS REQUIRED 120V

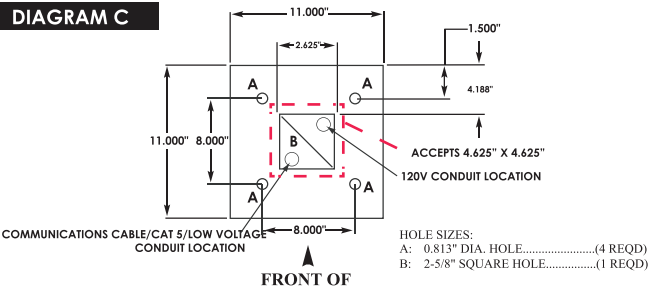
CURVED TOP CANOPY LED LIGHTING - .2amps  
FLAT TOP CANOPY LED LIGHTING - .3amps



**DIAGRAM J**  
**\*CANOPY WITH SPEAKER/MIC AND LIGHTING (LOOP REQUIRED)**



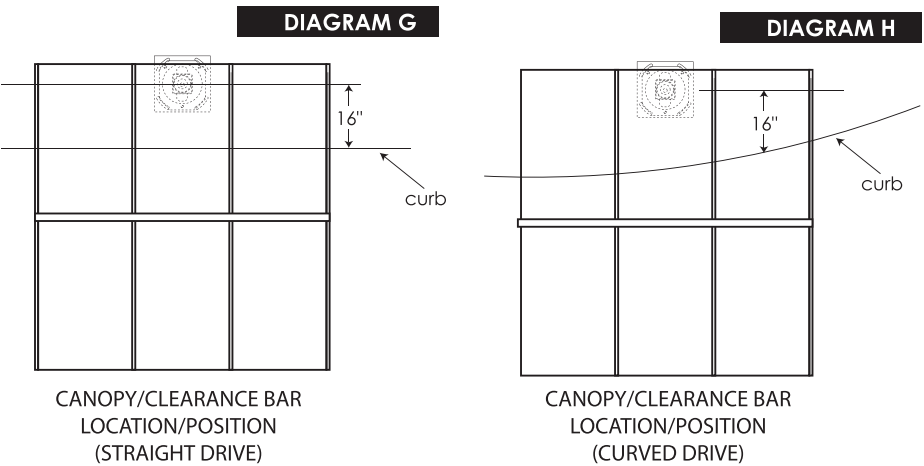
Mounting Template  
**DIAGRAM C**



Foundation

The high voltage conduit must be installed in place by a qualified contractor. It runs from the power source to the menu board location. A conduit stub should protrude 4" above the concrete slab (see **Diagram I, J, K and L**) Use the template supplied for the correct relation between the mounting bolts and the conduit location. Power and ground leads should be pulled through the conduit approximately 12" beyond the conduit stub, and be accessible at the time of final wiring. **Note: The 120VAC power lines run up the inside back of the pedestal base (see Diagram C, Mounting Template)**

② **Foundation Placement**

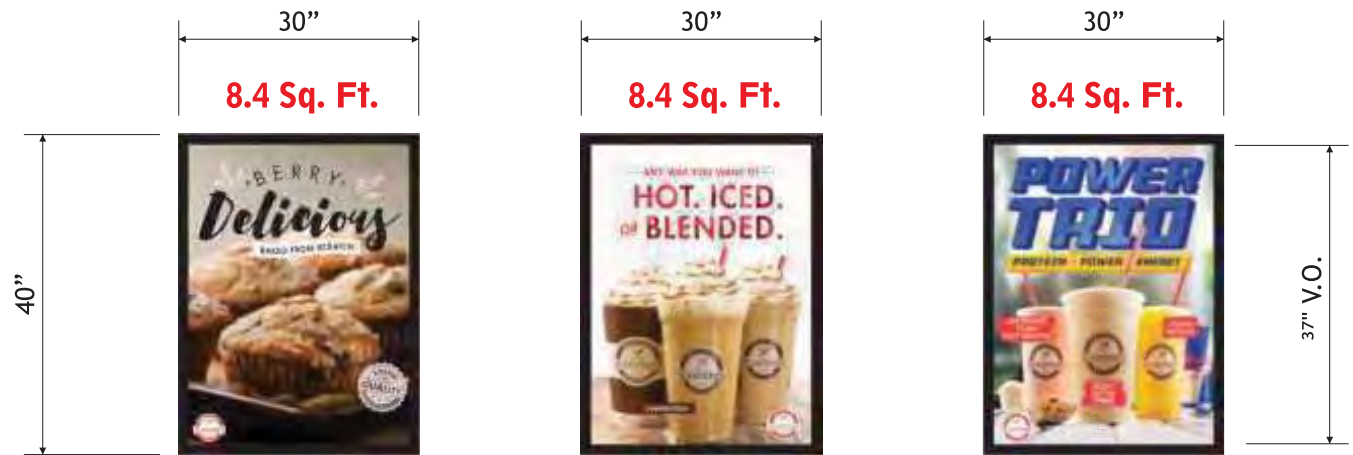


<b>Scale:</b>		<b>MENU CANOPY</b>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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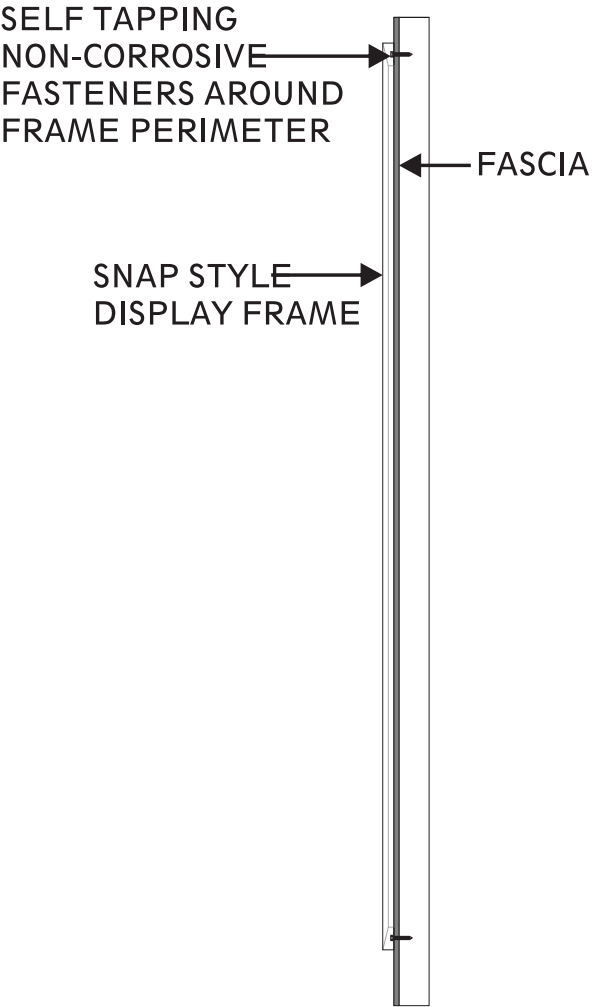




INSTALL CUSTOMER PROVIDED SIGN PANELS



25.2 Total Sq. Ft.






SCOOTER'S

COFFEE DRIVE-THRU

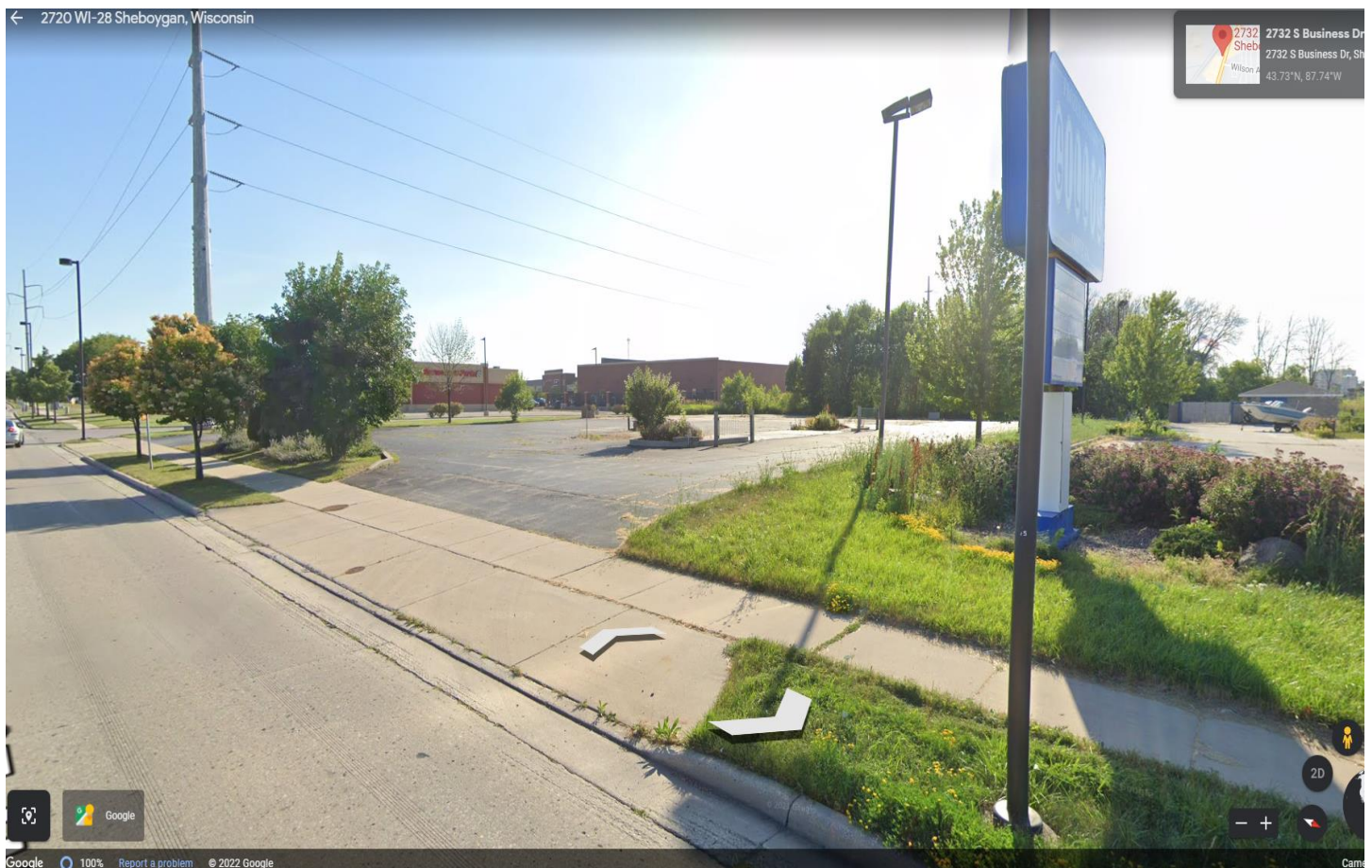
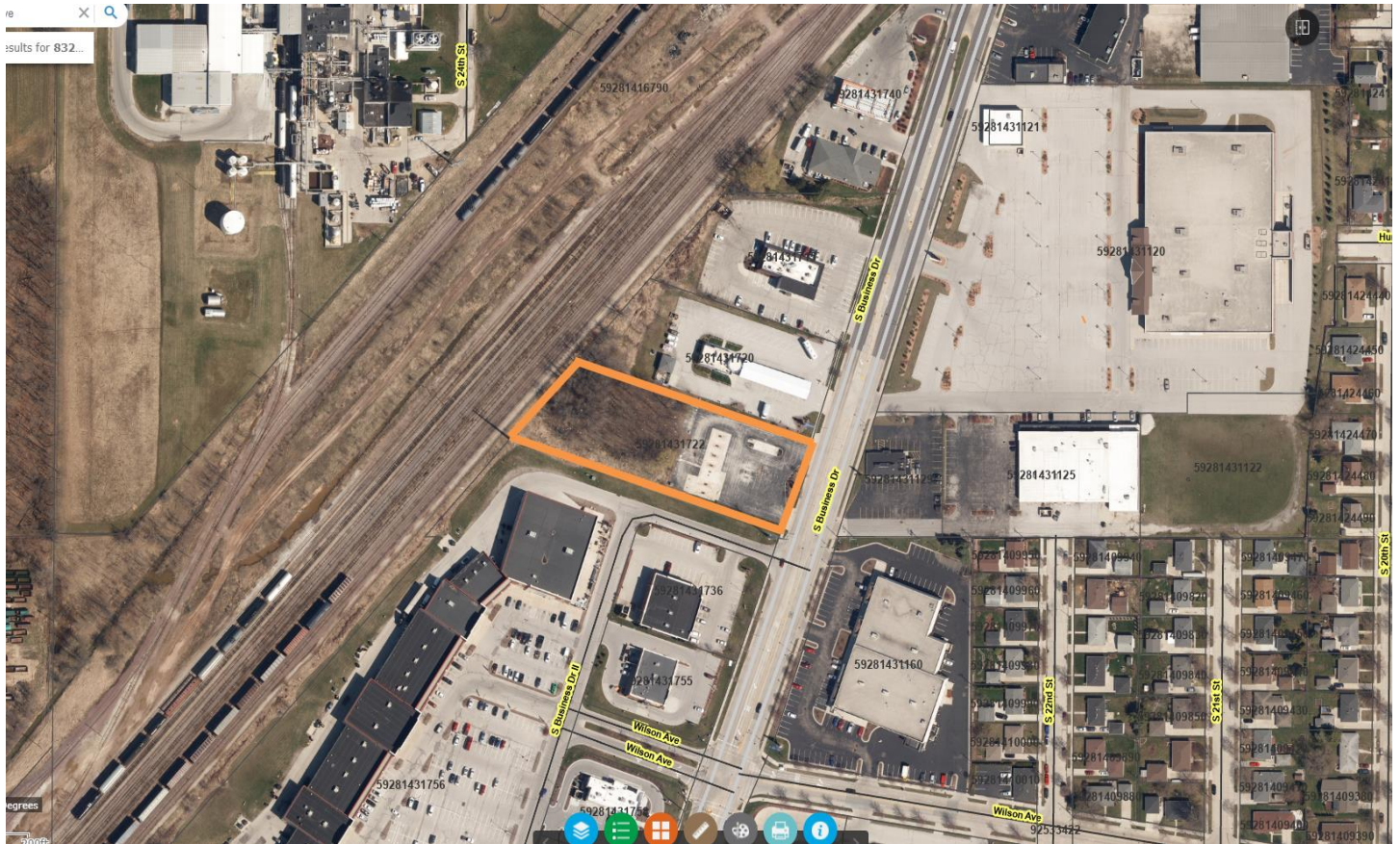
Snap Frame Panels

**SCOPE OF WORK:**  
INSTALL CUSTOMER PROVIDED SIGN PANELS. PANELS ARE TO BE MOUNTED TO FASCIA IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).

**NOTE:** SNAP FRAMES ARE TO BE INSTALLED BY ON SITE G.C.

Scale: 1/2" = 1'-0"		SNAP FRAME(s)										
	Omaha Neon Sign Co., Inc.	1120 N 18th Street • Omaha 68102 402.341.6077 • 402.341.7654 fax <small>This design and all material appearing hereon constitute the original unpublished work of Omaha Neon Sign Co., Inc. and may not be duplicated, used or disclosed without written consent.</small>	DRAWING # : 129157-11 PROJECT ID: 26757	SALES PERSON: andye nelson	DATE: 12.16.21	INSPECTED BY:	 2732 South Business Avenue Sheboygan, WI 53081	<b>NOTICE:</b> <small>ALL GRAPHIC REPRODUCTIONS ARE SUBJECT TO APPROVAL OF AUTHORIZED CLIENT, AS OF APPROVAL BY THE UNDERSIGNED AND DATED PRIOR TO ANY FABRICATION OF PRODUCT. OMAHA NEON SIGN COMPANY, INC. HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.</small>	Signed _____ Date _____		<small>This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.</small>	
				DRAWN BY: wes stephens	<b>Revised:</b> DATE: 000000				Sales Rep. _____ Date _____			



















## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Application for Conditional Use with exceptions by Mau and Associates to construct/operate Scooter's Coffee Drive Thru on parcel # 59281431722. SC Zone

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 11, 2022

**MEETING DATE:** March 15, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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#### BACKGROUND / ANALYSIS:

Mau and Associates is proposing to construct/operate Scooter's Coffee Drive Thru on parcel # 59281431722.

The applicant states the following about the project:

- This proposal includes development of a vacant parcel into a Scooter's Coffee Drive Thru. Scooter's Coffee serves a variety of hot and cold drinks such as coffee, smoothies, and teas. Food will also be offered, focusing on breakfast items and baked goods.
- Reinvestment along S Business Drive has made a parcel like this more desirable for redevelopment and this site was selected as it is an existing location with high visibility, sufficient building size, and adequate parking area. The estimated value of the overall project will be about \$600,000.
- Scooters is looking to construct a 664sf building to house operations for a drive-through coffee shop operation. The store will be drive through only. Customers will order and pick up from vehicles. Scooter's projects about 300 customers per day, 2100 per week.
- Patrons will enter Scooter's from a single driveway entrance for both ingress and egress. A driveway will encircle the 664 square foot building in the center of the property. Between the driveway and property lines, landscaping will be planted and maintained in accordance with city standards. Customers with vehicles will enter from S. Business Drive and queue in one of two drive through lanes. Magnetic detector loops will identify if a customer is at the menu boards for service. From there, customers will pay for and receive goods at the building itself. Customers will exit back through the single driveway.



- Ordering and pickup is placed to the rear and side of building. Car queueing is focused to the rear and side of building, with a single out drive lane in front of the building. The front of building is heavily landscaped both along the right of way and in front of the store. A single entrance is located in the rear of the store. The door color is the same as the hardy plank as to not create confusion to customers for an in store entrance. This entrance is employees only.
- Employees will park at one of the eight (8) parking stalls on site. One of the stalls is van handicapped accessible.
- Refuse will be maintained in a dumpster area kept in the rear of the property.
- Lighting is noted on building plans and will affixed to the building itself. No individual lighting bollards will be present on site.
- The building is a modern design for a drive through building. Building materials include hardy plank and hardy panels. Hardy board, awnings, and wall mounted lighting fixtures give a more distinct presence to the front of building.
- Projected hours to run 7 days a week, with an opening time of around 5-6 am and a closing time near 7pm.
- Store will generally have two (2) to five (5) employees on site given the time of day. At its peak, the site would likely see a max of five employees at a given time.

Specific site improvements include:

- The proposed restaurant will be 664sf in size (18 x 37).
- Eight (8) parking spaces are provided.
- The applicant will be removing the two (2) existing driveways and creating one (1) driveway for the property.
- The drive-thru lane provides for a minimum 100-foot stack from the “pass through” window and also meets the 40-foot minimum post window stack.
- A dumpster enclosure will be constructed at the northwest corner of the drive thru.
- Landscaping will be upgraded to add a variety of plantings to enhance the site.
- Applicant is proposing a new monument sign setback 12 feet to the northeast corner property lines.

Scooters is proposing to install several seven (7) wall signs, a monument sign, two (2) directional signs and miscellaneous menu board signs on their site. The applicant is requesting the following:

Wall Signs (requesting a variance to have 7 wall signs – Maximum permitted is 4 wall signs):

- Two, 29sf (5 x 5.7) illuminated channel logos advertising “Scooter’s Coffee” on the front/east elevation facing S. Business Drive and the rear/west elevation.



- Two, 65sf (3.8 x 18.3) illuminated channel letters advertising “Scooter’s Coffee Drive-Thru” on the side/north elevation and the side/south elevation.
- Three, 25sf (2.5 x 3.3) advertising various products and specials located on the south side of the building next to the pickup window referred to as “snap frame signs.”

Free Standing Signs (requesting a variance to have a 10 foot tall monument sign – Max. permitted is 8 feet tall):

- 35sf, interior lit monument sign advertising “Scooter’s Coffee” and “Coffee Drive-Thru.”
- Sign is proposed to be 10 feet tall.
- The sign will be located at the northeast corner of the property advertising north and south along S. Business Drive.

Directional Signs:

- Two, 4sf directional signs advertising Scooter’s Coffee and directional messages as you enter and exit the site.

Other signage:

- Menu board, menu board apparatus and several red awnings on the building.

The applicant states the following about Scooter’s:

- Don and Linda Eckles were living in California when they stumbled upon a man building a drive-thru coffee hut. It was the late 1990s, and specialty coffee was a hot commodity. Coffeehouses were popping up everywhere, however they were places to sit and sip, not somewhere you’d stop if you were in a hurry. The Eckles asked themselves, “What if you combined coffeehouse quality with drive-thru convenience?” And just like that, the Scooter’s Coffee dream was born.
- Don and Linda opened their first Scooter’s Coffee location in Bellevue, Nebraska, with a simple formula in mind: find a great location and stay committed to high-quality drinks, speed of service and a BIG smile. Customers loved it. Soon, Scooter’s Coffee locations were opening all around the Omaha area and by 2001, Don and Linda chose franchising to meet the growing demand for Scooter’s Coffee. We are now approaching 400 locations spread throughout the United States. Our simple formula just goes to show that when you combine a great idea with an unwavering commitment to quality, great things can happen.
- Scooter’s Coffee isn’t just for drive thru coffee – we offer a wide-ranging menu of coffee, drinks, teas, smoothies and food, all at great prices! Each of our espresso drinks is available hot, iced or blended. Our customers love all our options and all the ways they can customize them to their tastes. Stop by a Scooter’s Coffee and see why our brand promise has always been “Amazing drinks, amazing people...amazingly fast.”



## STAFF COMMENTS:

The applicant is proposing to reduce the number of access drive from two (2) to one (1). There are a number of turning movements along this section of S. Business Drive and creating one (1) new driveway minimizes the number of turning movements in this area which is safer from a pedestrian and vehicular perspective. Staff will be including a condition of approval that requires the applicant to reinstall curb, gutter, sidewalk etc. within the S. Business Drive right-of-way where the old driveway is to be closed.

Applicant indicates that they plan to install a 35sf internally lit monument sign. The Scooters Coffee site plan shows the sign to be located at the northeast corner of the site while the signage site plans shows the monument sign to be located at the southeast corner of the site. Staff has no issues with either location. The applicant should be aware that the new Cousins, located directly north of the Scooter's property, will be locating their monument sign at the southeast corner of their property. Scooter's should be aware of this so they can consider the best location to install their monument sign.

Applicant will want to make sure that their southern most exit arrow directs people right/south because there is not an ability to go straight.

The Plan Commission may want the applicant to explain the following:

- How will the dumpster be constructed (design, materials, colors)?
- Please explain the need for the three (3) snap frame advertising building signs?
- What are the applicants plans with regards to removing unused mechanical boxes, equipment, sign poles, sections of structures, etc. from the site?
- When is construction proposed to begin and when might the Scooter's open?

Applicant is requesting the following exceptions:

- Requesting a paving variance to have a seven (7) wall signs – Maximum number of wall signs permitted is four (4).

The Maximum Permitted Number of On-Building Signs in the Suburban Commercial (SC) zone is four (4). We are requesting a variance to allow a total of seven (7) wall signs. On the southerly side and northerly sides of the building there will be a wall sign near the top of the building that reads "Scooter's Coffee Drive-Thru". On the easterly and westerly sides of the building there will be a Scooter's Logo. On the southerly side of the building, at eye level, there will be three (3) snap frame panels. These panels advertise specials and products such as drinks, food, etc.

- Requesting to have a 10 foot tall monument sign – Maximum height of a monument sign is eight (8) feet tall.

Newer developments along S Business Drive average around eight (8) feet for sign height. Scooter's Coffee is requesting a 10 foot tall sign. This sign height fits in line with most Scooter's Coffee developments throughout the Midwest. A typical three (3) foot tall base.



On top of the base is a 6.5 square foot rectangular, permanent message board that reads "Coffee Drive Through". A five (5) foot tall logo is a top a permanent message board noting the focal point of the operation. The circular nature of the brand logo creates a mere 29 square feet of surface; however it creates more height than a rectangular logo. While the height of the sign is slightly higher compared to other monument signs along Business Dr., the overall sign size is very comparable, if not smaller than most new monument signs.

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational and bufferyard landscaping requirements.

### **ACTION REQUESTED:**

Staff recommends approval of the conditional use and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
4. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
5. Outdoor storage of materials, products or equipment shall be prohibited.
6. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
7. Any unused mechanical boxes, equipment, sign poles, remaining sections of structures, etc. shall be removed from the site.
8. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
9. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
10. Applicant shall install individual letter signs – no cabinet or flat panel signs.
11. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is 10 feet.
12. All areas used for parking/maneuvering of vehicles shall be paved. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
13. The parking lot and drive-through facilities shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.
14. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.



15. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
16. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
17. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
18. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
19. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
20. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
21. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
22. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to water and sewer.
23. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
24. Building permits shall be issued only at such time as the applicant can provide documentation that they own the parcel.
25. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
26. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

#### **ATTACHMENTS:**

Conditional Use and required attachments



PARCEL NO. \_\_\_\_\_

MAP NO. \_\_\_\_\_

ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

APPLICATION/FILE NO. \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN  
APPLICATION FOR  
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905  
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

**1. APPLICANT INFORMATION**

APPLICANT: James Petr

ADDRESS: E-MAIL: jmpetr@gmail.com

PHONE: (414) 349-7637

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Old Milwaukee PC Building  
ADDRESS OF PROPERTY AFFECTED: 516 N. 8<sup>th</sup> St.

LEGAL DESCRIPTION: \_\_\_\_\_

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Vacant

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: The lower unit will be used for commercial and the upper unit will be 2 new apartments.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: See Attached Narrative

**3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.



How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? See attached Narrative.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? NO

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? See attached Narrative

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. NA

**4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)**

**OWNER OF SITE: James Petr**

ADDRESS: 6013 W. Bluemound Rd. Milwaukee Wi 53213

E-MAIL: jmpetr@gmail.com

**ARCHITECT: Bill Montelbano**

ADDRESS: 8 E Hudson St, Mazomanie, WI 53560

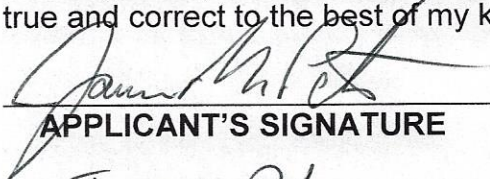
E-MAIL: \_billmontelbano@gmail.com

**CONTRACTOR: James Petr**

ADDRESS: See Above E-MAIL: See Above

**5. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

2/25/22  
\_\_\_\_\_  
**DATE**

James M. Petr  
\_\_\_\_\_  
**PRINT ABOVE NAME**

**CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS**

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
  - ☐ The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
  - ☐ All lands for which the conditional use is proposed.
  - ☐ All other lands within 100 feet of the boundaries of the subject property.



## **Proposed 2<sup>nd</sup> Floor Apartments For 516 N. 8<sup>th</sup> St**

As the owner of the building at 516 N. 8<sup>th</sup> St. I would like you to consider a conditional use permit to convert the offices on the second floor to two new apartments. I have owned the building for about 25 years. The second floor was only used for about two years since I have owned it. I tried without success for a three year period to lease the space as offices but I never had even a sniff of interest. There has been no rent from the second floor or ½ of the building for over 20 years, making it difficult to maintain let alone improve the building.

To make the largest economical and physical improvement on the building the second story needs to be residential. There seems to be a shortage of reasonably priced newly remodeled apartments in the downtown area. By creating new apartments I will increase the property tax base, bring additional residents to support the downtown businesses, and allow myself to make necessary improvements to a very old and outdated building. In addition I hope to use local businesses like a plumbing, building supply, HVAC, and other construction related businesses to help build out the apartments.

Attached you will find pictures of what the second floor looks like now. You can see very dated features in a fairly rundown condition. I am proposing two brand new 2 bedroom 1 bathroom apartments (see attached building plans). These apartments will have separate and new plumbing, electrical, and HVAC systems. They will have brand new open concept kitchens with modern amenities and appliances. I hope to expose some of the original brick and roof joists. Each apartment will have a laundry closet. The North side of the building will get 13 new windows.

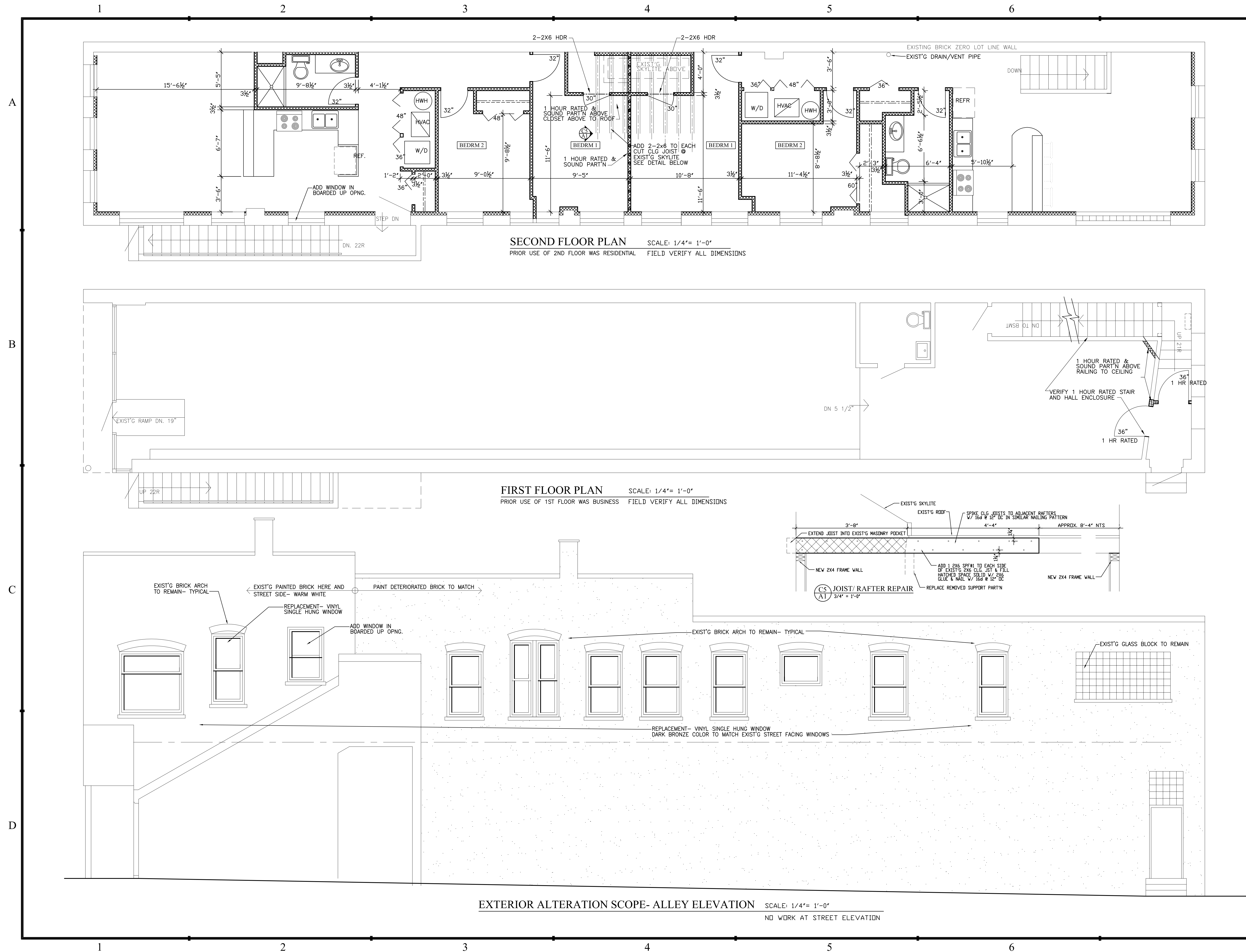
The building is close to the Public Parking lots 7, 8, and 9 so parking should not be a problem. If the tenants do not have cars they are within 100 yards of the bus transit.

There is no doubt that its original purpose when built in the 1800s was residential. At some point in time it was converted to offices for the business that ran the pharmacy on the first floor. Finally the downtown is capable of supporting nice new apartments, so I think now is the time to act. If all goes as planned I would hope to finish the project in 4 months. I also have interest in the vacant first floor but I am holding off until I can insure that the construction on the second floor will not interfere with the first floor business.

Thanks for your consideration,

Jim Petr

Owner





























## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Application for Conditional Use with exceptions by Jim Petr to construct two new 2nd floor apartments at 516 N. 8th Street. CC zone

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 11, 2022

**MEETING DATE:** March 15, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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#### BACKGROUND / ANALYSIS:

Jim Petr is proposing to construct two (2) new 2nd floor apartments at 516 N. 8th Street. The applicant states the following about the project:

- 516 N. 8<sup>th</sup> Street is a two (2) story building. Milwaukee PC use to operate from this property but recently closed. There is interest in this 1<sup>st</sup> floor commercial space but Mr. Petr would like to hold off leasing that space until such time as the 2<sup>nd</sup> floor is complete so the construction does not negatively impact the 1<sup>st</sup> floor commercial tenant.
- Mr. Petr has owned the building for 25 years and the second floor has only been used for about two (2) years of those years. Mr. Petr has tried without success to lease the 2<sup>nd</sup> floor space as offices but has never had even a sniff of interest. There has been no rent from the second floor or ½ of the building for over 20 years, making it difficult to maintain let alone improve the building.
- To make the largest economical and physical improvement on the building, the second story needs to be residential. By creating new apartments, I will increase the property tax base, bring additional residents to support the downtown businesses, and allow myself to make necessary improvements to a very old and outdated building. In addition, I hope to use local businesses like a plumbing, building supply, HVAC, and other construction related businesses to help build out the apartments.
- Mr. Petr has included pictures showing that the second floor is very dated features in a fairly rundown condition. He is proposing two (2) brand new 2 bedroom 1 bathroom apartments. These apartments will have separate and new plumbing, electrical, and HVAC systems. They will have brand new open concept kitchens with modern amenities and



appliances. I hope to expose some of the original brick and roof joists. Each apartment will have a laundry closet.

- The building is close to the Public Parking lots 7, 8, and 9 so parking should not be a problem. If the tenants do not have cars, they are within 100 yards of the bus transit.
- The 2<sup>nd</sup> floors original purpose when built in the 1800s was residential. At some point it was converted to offices for the business that ran the pharmacy on the first floor.
- Downtown is capable of supporting nice new apartments, so I think now is the time to act. If all goes as planned I would hope to finish the project in four (4) months. I also have interest in the vacant first floor but I am holding off until I can insure that the construction on the second floor will not interfere with the first floor business.
- The north/alley side of the building will get 13 new windows - proposing to replace the deteriorated windows with insulated vinyl units matching the appearance of the original and with a bronze color to match the existing windows on the street facade.
- The existing brick is in pretty poor shape and I would like to paint it to match the color of the painted brick street facade which is a warm white and would brighten up the alley.

#### **STAFF COMMENTS:**

It is staff understanding that the 2<sup>nd</sup> floor space is vacant. Staff and the Plan Commission have been encouraging downtown living and the proposed conversion provides additional housing opportunities in this downtown location.

Mr. Petr will be taking advantage of a City program that helps fund underutilized 2<sup>nd</sup> floor space into new housing opportunities in Downtown Sheboygan.

The applicant will need to work with the building inspection department regarding the conversion of the 2<sup>nd</sup> floor space into an apartment. Occupancy shall be granted only at such time as all permits and codes have been met.

Appears there are some old nonfunctioning fixtures/mechanicals on the north wall facing the alley. The applicant shall remove all nonfunctioning fixtures/mechanicals on the north wall.

City Development has discussed the possibility of a mural being added to the north/alley side of the building. Mr. Petr's intension is to paint the north wall adjacent to the alley but stated he may be interested in the mural concept. Such a mural would need to be reviewed by the Plan Commission.

#### **ACTION REQUESTED:**

Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slating (PDS) material in order to effectively screen the dumpster.
3. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
6. Applicant will provide adequate public access along streets and the parking lot/alley and will take all appropriate actions to minimize the time period that the street will be closed/affected.
7. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
8. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc. unless an encroachment is obtained permitting use of public right-of-way.
9. The applicant shall remove all nonfunctioning fixtures/mechanicals/supports on the north wall facing the alley.
10. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
11. Applicant shall obtain the necessary sign permits prior to installation. Proposed signage will be individual letter signs and shall meet the 8<sup>th</sup> Street design guidelines (no flat panel or interior lit cabinet signs).
12. If there are to be any exterior renovations to the facility, the applicant will be required to obtain Architectural Review Board approval prior to receiving a building permit for such renovation. The colors and materials are to complement/match the existing building.
13. If applicant leases space to additional tenants, the tenants shall obtain all necessary land use and building approvals/permits prior to occupancy (future uses and/or phases may require conditional use permits, building/mechanical permits, occupancy permits, etc.).
14. If operating as a short term rental, the applicant will be required to file the proper room tax paper work with the City of Sheboygan.
15. If there are any amendments to the site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

#### **ATTACHMENTS:**

Conditional Use Permit Application and required attachments.



PARCEL NO. 59281102240

MAP NO. \_\_\_\_\_

ZONING CLASSIFICATION: CENTRAL COMMERCIAL

Office Use Only

APPLICATION/FILE NO. \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

**FILING FEE: \$250.00** (Payable to City of Sheboygan)

## **CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT**

Requirements Per Section 15.905  
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

### **1. APPLICANT INFORMATION**

APPLICANT: Martin Lambert

ADDRESS: 1604 Briarwood Rd E-MAIL: mart.lambert@gmail.com

PHONE: (313) 348-2643 FAX NO. ( )

### **2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Orkney LLC

ADDRESS OF PROPERTY AFFECTED: 832 Michigan Ave, Sheboygan WI 53081

LEGAL DESCRIPTION: Medical Outpatient Office

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: unoccupied

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: see attached

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: none

### **3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE**

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? see attached

---

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? No

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? See attached

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes

**4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)**

**OWNER OF SITE:** Matthew L Waage

**ADDRESS:** c/o Tim Kapellen Re/Max **E-MAIL:** timkapellen@remax.net

**ARCHITECT:** \_\_\_\_\_

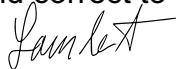
**ADDRESS:** \_\_\_\_\_ **E-MAIL:** \_\_\_\_\_

**CONTRACTOR:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_ **E-MAIL:** \_\_\_\_\_

**5. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

2/20/22

\_\_\_\_\_  
**DATE**

Martin Lambert

**PRINT ABOVE NAME**

**CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS**

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
  - ☐ The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
  - ☐ All lands for which the conditional use is proposed.
  - ☐ All other lands within 100 feet of the boundaries of the subject property.
  - ☐ The current zoning of the subject property and its environs (200 feet),



Re: Conditional use Permit  
832 Michigan Ave, Sheboygan WI 53081  
Orkney LLC

To Whom it May Concern,

Attached, please find our application for a conditional use permit for 832 Michigan Ave, Sheboygan WI 53081 to be used as a medical office. We intend to submit this application in two parts. This first part is in order to identify the acceptability of this property's use as a medical outpatient office. We would like to verify approval of our general redevelopment plans prior to hiring of an architect, building permit application etc. Upon receipt of a conditional use permit, we intend to proceed with purchase of the property, hire an architect, and then present at a later date with more detail an additional conditional use request including a plan for exterior renovations to the architectural review board.

The site is currently unoccupied and has been since at least January 2020. Prior uses include a bill collection agency as well as a gas station. The exterior of the building has become a bit dilapidated and has an outdated style. The landscaping is currently overgrown and does not fit with the downtown aesthetic nor does it allow for visualization of the business from the street. The parking area is currently gravel.

We would like to redevelop the site at 832 Michigan Ave as a Dermatology Medical Practice. Dermatology is an outpatient physician run practice which specializes in skin treatment for patients of all ages. Various conditions treated by a Dermatologist include skin checks to look for abnormal moles, eczema, warts, acne, psoriasis, and cosmetic services to name a few. As an outpatient medical practice, services are offered during normal business operating hours, Monday through Friday, and no emergency medical services are offered. There will be no noise such as ambulances or other noise nuisances present. As this will be a newly established professional business, we intend to hire and create new jobs for 4-6 employees and have approximately 20 patients per day access the site.

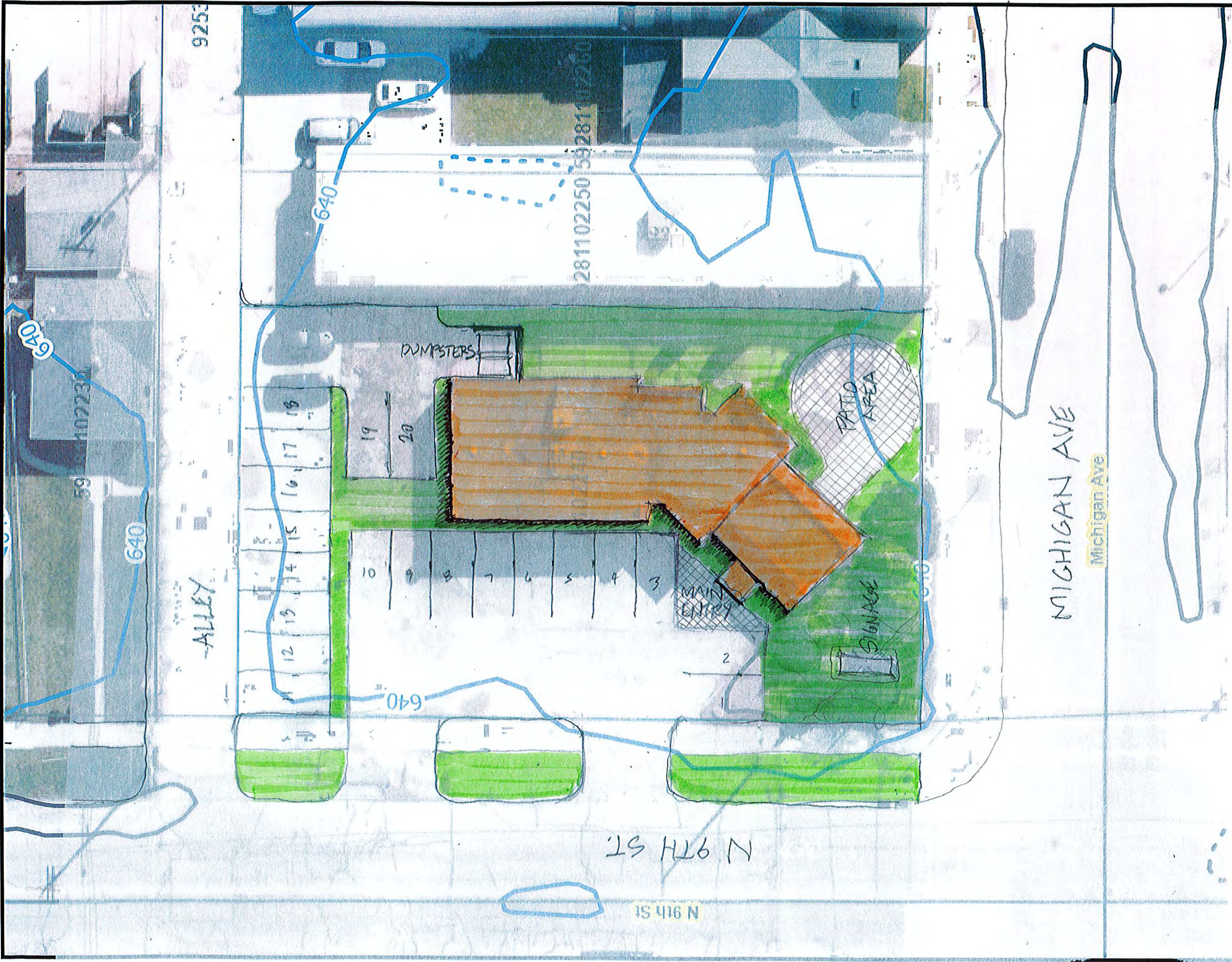
We aim to revitalize the building, both interior and exterior, all while respecting the existing neighborhood residents and commercial businesses. The exterior footprint will not change, but we will improve the appearance of the building façade as well as repair the windows and roofing/shingles. Interior changes include a few structural changes as well as aesthetic upgrades. The parking site is of an adequate size for the expected patronage. However, we intend to pave and mark the parking in order to improve the aesthetics consistent with a professional practice. All gravel and current cracked concrete will be paved or landscaped. All intended upgrades of the building and landscaping intend to create an environment more consistent with a professional practice located in the central commercial zone. As Dermatology aims to improve physical well being and appearance, it is very important to have a building and property that reflect these priorities. We would like more greenery present on the property, a tidier landscaping aesthetic, and more visibility of the improved building.

We believe that this proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan in that it aims to provide a professional service in the central commercial district while making appropriate renovations and upgrades to the building and lot. This project will leverage existing infrastructure in order to strengthen the existing business district and surrounding residential neighborhoods while also creating new employment opportunities. Establishing a medical practice in this corridor will help broaden business types while providing high quality services that will bring patients from neighboring communities to the central business district. Thus the redevelopment of this currently unoccupied building is in line with the aims of the City of Sheboygan Comprehensive Plan.

We appreciate the aim to continue to develop the central commercial zone and look forward to the opportunity to contribute to redevelopment of this area by creating a successful, professional, well run business of appropriate aesthetic to this area.

Attached, please find current photos of the interior and exterior of this property, our general design plans for interior changes and upgrades to the property, plans for exterior renovations and upgrades to the building and landscaping. Additional questions can be forwarded to Orkney LLC if clarification is required.





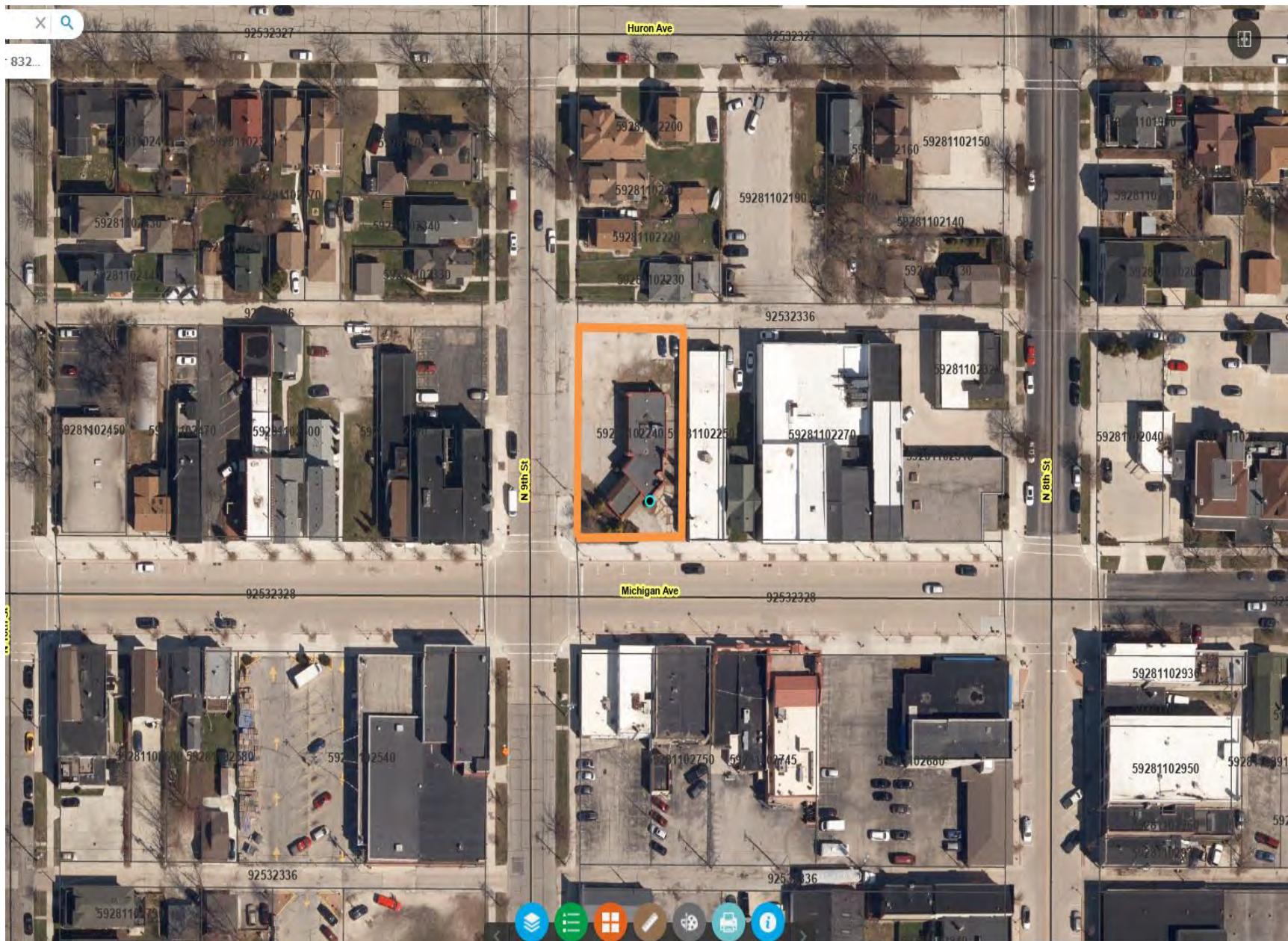
# SITE PLAN

March 1, 2022  
**832 Michigan Ave.**  
Sheboygan, WI

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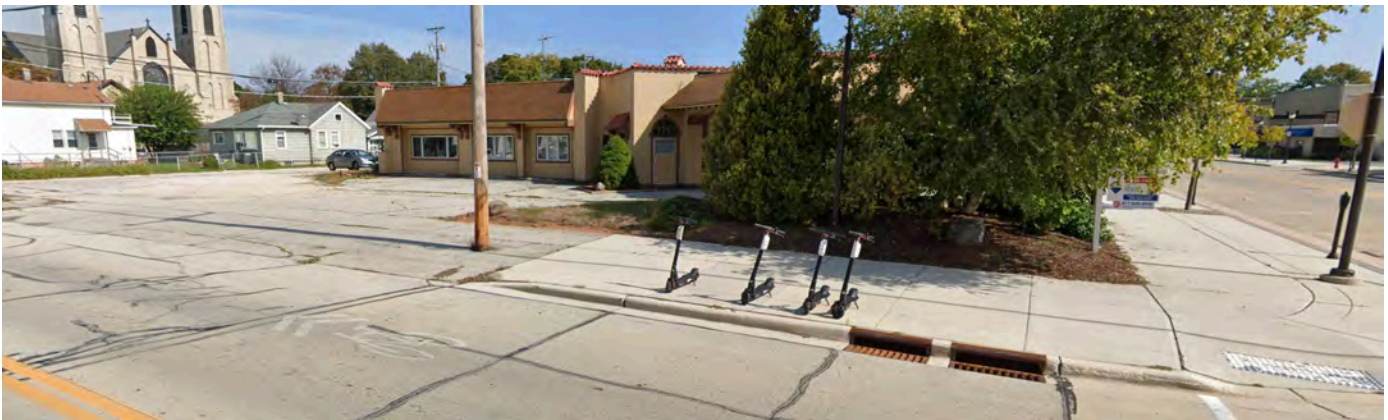




## Current state of property - Exterior



Google Maps Street View (south side of building)



Google Maps Street View (west side of building)







Southeast Corner



Southwest Corner





North side of building



East side of building





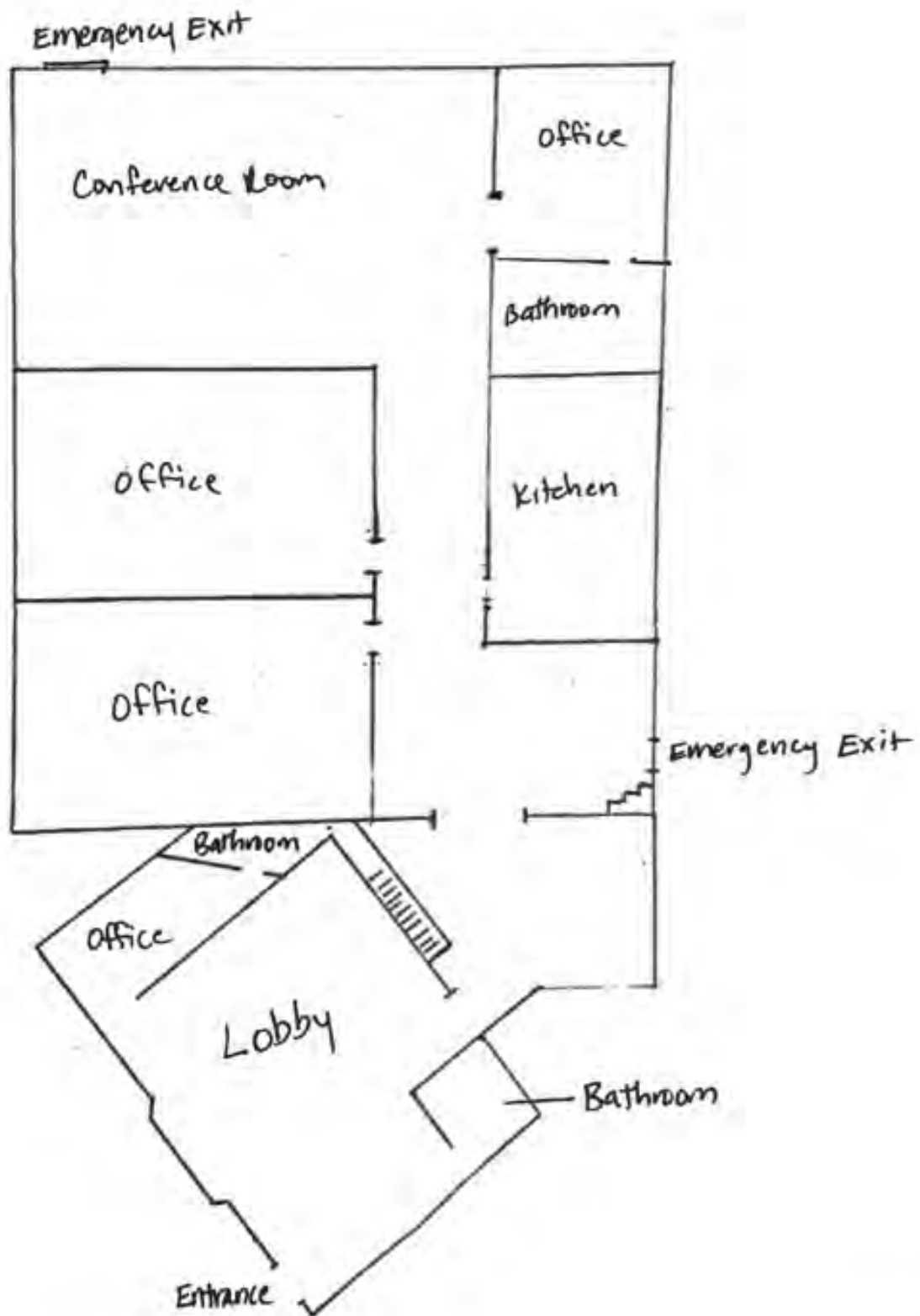
Main entrance (south side)







# Existing Layout







Broken windows

Current state of property – Interior



Entry hall





Lobby



Lobby



Conference Room



Kitchen





Bathroom



Bathroom



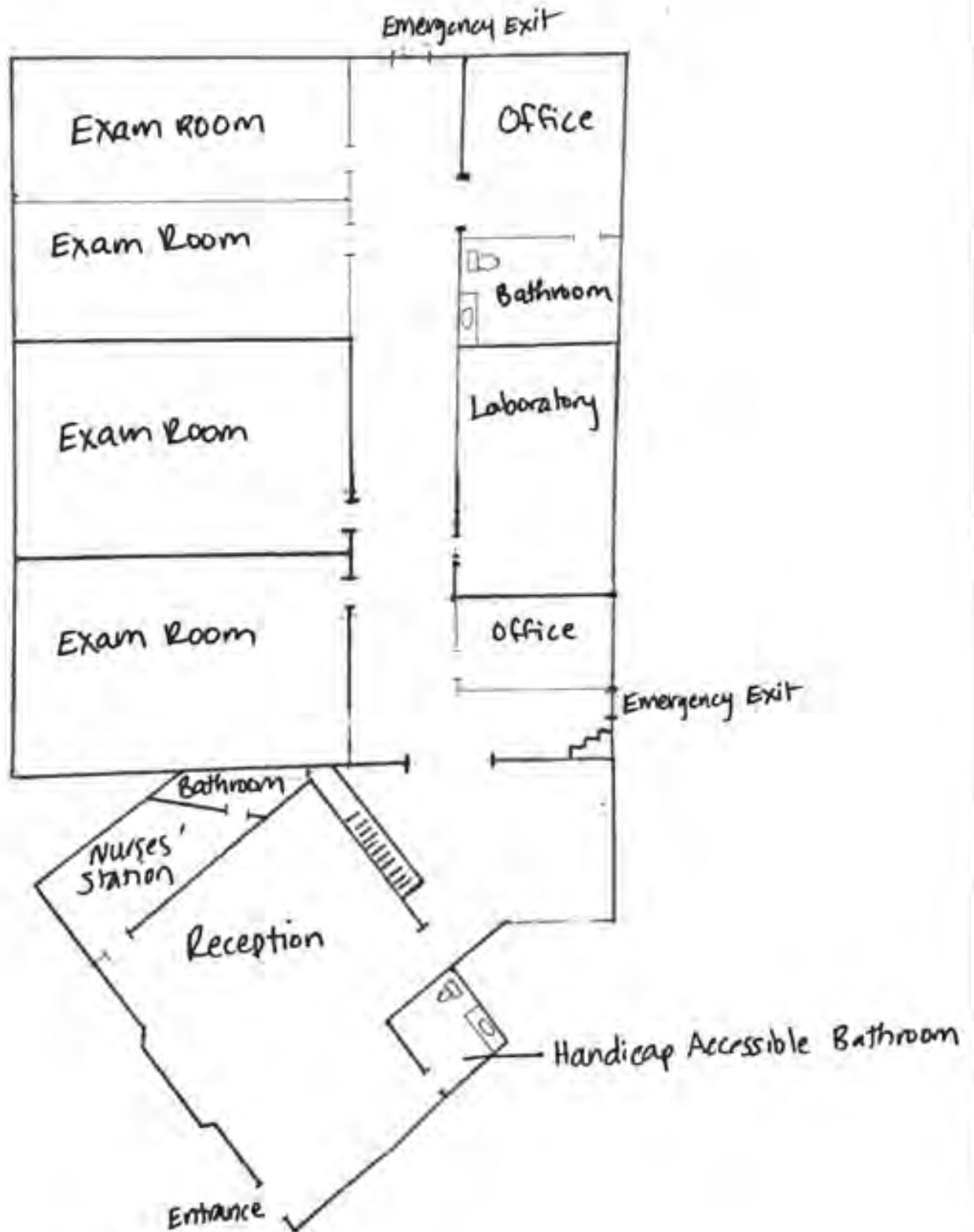
Office



Office



# Proposed Layout



## Proposed Changes – Design Examples



Reception



Exam Room



## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Application for Conditional Use Permit with exceptions by Martin Lambert to operate a dermatology medical clinic at 832 Michigan Avenue. CC Zone

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 11, 2022

**MEETING DATE:** March 15, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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#### BACKGROUND / ANALYSIS:

Martin Lambert is proposing to operate a dermatology medical clinic at 832 Michigan Avenue. The applicant states the following about the project:

- We intend to submit this application in two (2) parts. This first part is in order to identify the acceptability of this property's use as a medical outpatient office. We would like to verify approval of our general redevelopment plans prior to hiring of an architect, building permit application etc. Upon receipt of a conditional use permit, we intend to proceed with purchase of the property, hire an architect, and then present at a later date with more detail an additional conditional use request including a plan for exterior renovations to the architectural review board.
- The site is currently unoccupied and has been since at least January 2020. Prior uses include a bill collection agency as well as a gas station. The exterior of the building has become a bit dilapidated and has an outdated style. The landscaping is currently overgrown and does not fit with the downtown aesthetic nor does it allow for visualization of the business from the street. The parking area is currently gravel.
- We would like to redevelop the site at 832 Michigan Ave as a Dermatology Medical Practice. Dermatology is an outpatient physician run practice which specializes in skin treatment for patients of all ages. Various conditions treated by a Dermatologist include skin checks to look for abnormal moles, eczema, warts, acne, psoriasis, and cosmetic services to name a few.

- As an outpatient medical practice, services are offered during normal business operating hours, Monday through Friday, and no emergency medical services are offered. There will be no noise such as ambulances or other noise nuisances present.
- As this will be a newly established professional business, we intend to hire and create new jobs for 4-6 employees and have approximately 20 patients per day access the site.
- We aim to revitalize the building, both interior and exterior, all while respecting the existing neighborhood residents and commercial businesses. The exterior footprint will not change, but we will improve the appearance of the building façade as well as repair the windows and roofing/shingles.
- Interior changes include a few structural changes as well as aesthetic upgrades.
- The parking site is of an adequate size for the expected patronage. However, we intend to pave and mark the parking in order to improve the aesthetics consistent with a professional practice. All gravel and current cracked concrete will be paved or landscaped.
- All intended upgrades of the building and landscaping intend to create an environment more consistent with a professional practice located in the central commercial zone. As Dermatology aims to improve physical well-being and appearance, it is very important to have a building and property that reflect these priorities. We would like more greenery present on the property, a tidier landscaping aesthetic, and more visibility of the improved building.
- We believe that this proposed conditional use is in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan in that it aims to provide a professional service in the central commercial district while making appropriate renovations and upgrades to the building and lot. This project will leverage existing infrastructure in order to strengthen the existing business district and surrounding residential neighborhoods while also creating new employment opportunities. Establishing a medical practice in this corridor will help broaden business types while providing high quality services that will bring patients from neighboring communities to the central business district. Thus the redevelopment of this currently unoccupied building is in line with the aims of the City of Sheboygan Comprehensive Plan.
- We appreciate the aim to continue to develop the central commercial zone and look forward to the opportunity to contribute to redevelopment of this area by creating a successful, professional, well run business of appropriate aesthetic to this area.

#### **STAFF COMMENTS:**

Some of the existing parking lot is gravel and in rough shape. All areas used for the parking and maneuvering of vehicles are required to be paved. There is an ability to landscape some of this area as well. The applicant has indicated that are willing to pave the parking lot. Staff will be recommending a condition of approval that the parking lot is paved (those areas that are to be used for parking and maneuvering of vehicles). In addition to the paving, there are certain paving setback areas that will need to be landscaped. Staff is proposing a date specific that the Plan Commission should address such as June 2, 2023.



The applicant shall meet with staff to discuss the parking lot plans and shall obtain all required storm water, landscaping, lighting approvals prior to issuance of a building permit for constructing the new parking lot.

The applicant has submitted a conceptual plan how the site may be improved with parking, access, landscaping, patio, dumpsters, etc. This is a concept and is an idea of how the site may be improved. Applicant will need to work with staff concerning the future site development submittals.

The applicant has not submitted a specific sign package for the site at this time. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

The Plan Commission may want to have the applicant address:

- What are the applicant's intentions regarding garbage/dumpster?
- What is the applicant's intention for signage?
- What is the expected timeframe for the paving and landscaping to be installed?

**ACTION REQUESTED:**

Staff recommends approval of the conditional use subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slating (PDS) material in order to effectively screen and enclose the dumpster.
3. Outdoor storage of materials, products or equipment shall be prohibited.
4. All ground level and rooftop mechanicals shall be screened/enclosed and constructed of like materials and colors of the facility (HVAC equipment, hoods, venting, etc.).
5. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
6. All areas used for parking/maneuvering of vehicles shall be paved. Applicant shall pave and/or landscape the all gravel areas on property by June 2, 2023. Applicant will obtain all required approvals including but not limited to site plan, storm water, landscaping, etc.
7. Submittal/approval of a proposed storm drainage plan prior to building permit issuance for parking lot construction.
8. Submittal and approval of a landscape plan prior to building permit issuance for parking lot construction. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan).
9. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.

10. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
11. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
12. Proposed and future signage at this property/facility shall be individual letter signs (no flat panel or interior lit cabinet signs).
13. Applicant shall remove all unused signage and all signage referring to previous businesses.
14. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
15. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
16. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
17. All vehicles shall be located on the private property (paved parking lot) and shall not be located on any City streets, public rights-of-way, landscape areas, etc.
18. If the applicant proposes any type of exterior remodel/renovation to the building, City of Sheboygan Architectural Review Board approval is required prior to construction.
19. If there are any amendments to the approved use and/or floor/site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

#### **ATTACHMENTS:**

Conditional Use Permit Application and required attachments.