



Mr. Steve Sokolowski
Manager of Planning and Zoning City of Sheboygan
828 Center Avenue, Suite 208
Sheboygan, WI 53081
(920) 459-3382

REGARDING: ARCHITECTURAL REVIEW AND CONDITIONAL USE PERMIT FOR THE ADDITION AND RENOVATION TO THE SHEBOYGAN COUNTY DETENTION CENTER

DATE December 22, 2021

Purpose To provide a narrative response to the requests of the architectural review and conditional use criteria regarding of the addition and renovation to the Sheboygan County Detention Center. Sheboygan Detention Center is located at 2923 S. 31st Street and is zoned Suburban Industrial (SI). A detention center is a permitted conditional use in the SI zone; however, it necessitates a conditional use permit.

Bray Architects Project Number 3531
Sheboygan County Detention Center
2923 South 31st Street
Sheboygan, Wisconsin 53081

Owner of the site, existing facility, and the proposed addition is Sheboygan County. The Owner is represented by Jim TeBeest, Building Services Director.

The Architect for the original facility and the proposed addition is Bray Architects, represented by Stephen Kuhnen, Principal Architect and Doug Skinner, Architect

Overview

The name of the addition is: Alternative to Incarceration (ATI). The project is an addition to the Sheboygan County Detention Center. The addition size is approximately 3,516 square feet single story slab on grade with attached canopy. The addition will be separated by a fire wall which is to be constructed adjacent and parallel to the south wall of the existing facility. The canopy at the entry to the addition is approximately twenty feet wide by 9 feet deep. The entry to the addition is connected to the existing sidewalk with a new concrete walk which is 340 square feet. The exterior wall consists of corrugated metal siding on either metal stud or concrete masonry unit back up. The structural system is steel columns and wide flange steel beams. The addition will be located adjacent to the existing Detention Center Multi-Purpose Room with entry primarily through a new secure entry from the existing west parking lot. The

Davenport, IA
220 Emerson Place, Suite 301
Davenport, IA 52801
T: 563.526.6050

Milwaukee, WI
829 South 1st Street
Milwaukee, WI 53204
T: 414.266.0200

Moline, IL
1465 41st Street, Suite 10
Moline, IL 61265
T: 309.762.0511

Sheboygan, WI
PO Box 955
Sheboygan, WI 53082-0955
T: 920.459.4200

project will include civil, structural, plumbing, fire sprinklers, fire alarms, HVAC and electrical related to the addition and renovation work. The renovation portion of the work is primarily the finishes and new connection through the existing multipurpose room.

Building Use

The addition will house the offices of the Sheriff's department personnel in support of the Alternative to Incarceration (ATI) program. The personnel of the ATI team are currently housed in a less than ideal condition in the existing facility. The room they currently occupy will be renovated in conjunction with this project and will become a multipurpose room. Therefore, the employee occupant load of the facility will be unaffected by the addition. The use of the addition will typically take place during daytime hours, 7am – 5 pm. Use of the addition in support of multipurpose room functions may take place at any time.

The primary use of the facility is to process the mandated weekly urinalysis tests for inmates that are not incarcerated. The addition will also support booking / processing efforts of inmates including the assignment of ankle bracelets. The addition will house the offices and support spaces for these efforts and will not be occupied by the inmates for habitation. The proposed addition will not significantly alter the use of the current detention center.

Existing Building Design

The existing building was completed in 1998 and has prefinished horizontal corrugated metal panels as the primary exterior material. The design of the facility is based on two circular pods which allow guards to adequately monitor inmates. The round plan layout is a prominent feature of the exterior of the existing building and subsequently influenced the design of the proposed addition.

Neighbors

There are no immediate neighbors to the site. The closest structures are Waste Management facility to the north and American Excelsior Company to the south.

Exterior

The proposed addition uses the same exterior cladding and window systems in color, orientation, and texture as the existing building. The radius of the existing building is matched exactly on the east elevation and the concentric radius is realized on the west elevation. The entry canopy is sympathetic to the existing main entry canopy but purposely made smaller in order assist in way finding for the first-time visitor. The project adds signage over the existing main entry, reading 'MAIN ENTRY' to assist in way finding. The signage over the addition canopy reads: 'ATI' which is an abbreviation for Alternative to Incarceration.

Elevations

Because the proposed landscaping will block the view of the addition, the attached elevation perspective renderings indicate two views of the west, south, and east elevations: one with and the other without the proposed landscaping.

West elevation

The west elevation is the primary public elevation due to its orientation to 31st Street and the parking lot. The proposed design uses the same size and fenestration of the ribbon windows located north of the main entry of the existing facility.

South Elevation

The south elevation provides the same window height of the west elevation but reduces the total glazed area to help the project meet current energy code standards and minimize the amount of natural light into the offices. To maintain the horizontal quality as introduced on the west elevation, the metal panels between each window on the south is a slightly lighter color of the corrugated metal panel.

East Elevation

The east elevation would never be seen by the public given its proximity to the existing facility and there is no public right of way with a view of the east elevation.

North Elevation

The north elevation is relatively short given that most of the addition is adjacent the south extent of the existing facility.

Roof

The roof of the proposed addition will host a roof top mechanical unit. The location of the unit as far east as possible (without the addition of steel guard rails). The top of the unit is visible from 31st Street, refer to perspective renderings and elevations; however, due to the west parapet wall and the angled view, only a relatively minor view of the roof top unit is evident. Roof access is provided from within the addition; therefore, there are no external ladders as part of the proposed addition. Routing of the natural gas service is proposed over the existing roof and descends to the addition roof on the east side of the existing facility to eliminate the view of the piping from 31st Street.

Roof Drainage

The primary roof drainage is via interior conductors to the existing storm system which can handle the extra load of the addition. The canopy roof drainage will be controlled via a scupper draining into a gutter along the south edge of the canopy roof. The gutter connects to an exposed downspout which discharges at grade and is directed away from the building in a swale, refer to attached civil drawings.

Hardscape

Total hardscape area:

Building = 3,516 SF

Canopy is mostly concurrent to the concrete walk so that area is prorated as follows:

Canopy total area = 157 SF

Canopy area that extends beyond concrete walk = $6 + 8 = 14$ SF

Concrete walk = 340 SF

Total hardscape area = 3,870 SF

Landscape

The landscaping requirements per the City of Sheboygan point system:

Foundation Area (3,470 SF)

Foundation Perimeter (211 FT)

Street Frontage (75 FT)

Pavement Area (715 FT)

The minimum landscape points required are:

Foundation Area (3,470 SF) =	35 pts
Foundation Perimeter (211 FT) =	85 pts
Street Frontage (75 FT) =	30 pts
Pavement Area (715 FT) =	<u>6 pts</u>
Total Points =	156 pts

Proposed Landscape Treatment:

Given that the primary view for the public is from 31st Street the proposed landscape plan is to provide (6) Linden trees: three on the west and three on the south elevations. The use of tall deciduous trees (caliber minimum 1 ½") provides 30 points per tree for a total of 180 points. The use of deciduous trees also benefits the project by helping to minimize solar gain in summer while maximizing solar gain in winter. All disturbed turf will be replaced in kind. Refer to attached landscape plan.

Parking

Given that the occupant load to the building is not changing and the current parking lot meets the facility's needs; there is no need to alter or add to the existing parking lot. The available ADA parking stalls meet the code requirement for accessible parking and are on the accessible path.

Mechanical Equipment

The existing data room 114A will be utilized for the data rack and cabling. Due to this increased load and the fact that the room is in need of additional cooling currently, the project includes an on-grade air conditioning unit which will support the new split system located in the data room. The air-conditioning unit will be located on grade in the planting bed adjacent to the Data Room, refer to attached overall plan.

Exterior Lighting

Exterior lighting will be LED, 5000K type. Existing exterior bollards are not affected by the addition and will remain in their current locations. Control of new exterior canopy lighting will be controlled per the existing canopy lighting controls. The egress door on the east elevation will have a light fixture to provide code compliant egress lighting. All the exterior lighting will be on the article 700 emergency system.

Conditional Use Permit

A detention center is a permitted conditional use in the SI zone; however, it necessitates a conditional use permit per code of ordinances. The existing facility has successfully operated on the site since 1998. The applicant and the Owner believe the proposed conditional use is appropriate because the addition is in support of the current facility operations and does not change how the facility currently operates.

The proposed conditional use is in harmony with the purposes, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Master Plan because this proposal does not extend beyond the property lines of the current facility and does not change the operation of the facility. The proposed addition creates a more efficient use of the County's resources. The proposed addition was initially planned as part of the 1998 construction, refer to attached drawing which indicates the outline of the master planned addition.

The proposed conditional use does not result in any substantial or undue adverse impact on nearby properties, the character of the neighborhood, environment, traffic, parking, public improvements, public property, or rights-of-way. The traffic and occupant load of the facility will not be altered due to the construction of the proposed addition because the proposed function of the addition is currently being accommodated by the existing facility. The use of the Alternative to Incarceration program is relieving the occupancy needs of the detention center by allowing more inmates to be monitored in lieu of incarcerated.

The proposed conditional use maintains the desired consistency of land uses in relation to the setting within which the property is located because the proposed addition does not change how the current facility is used.

The proposed conditional use is in an area that will be adequately served by utilities or services provided by public agencies. The 1998 project adequately provided sizing of all utilities to accommodate the proposed addition. The site provides vehicular access, parking, pedestrian access, delivers, and trash removal to support the proposed addition. Existing electrical, water, sanitary, storm, and natural gas services are adequate for the addition.

Prepared by,
Doug Skinner, Architect

Attachments

8 ½ x 11 Forms:

- Architectural Review Application
- Conditional Use Permit Application

11X17 Drawings:

- Satellite Image of Site
- Site Plan with Proposed Addition (Drafted Over Existing Site Topography)
- First Floor Plan
- Exterior Axonometric View from the Northwest
- Exterior Axonometric View from the Southwest
- Interior Axonometric View from the Southwest
- Interior Axonometric View from the Southeast
- Annotated West and South Elevations
- Annotated East and North Elevations
- Perspective Rendering View from 31st Street looking East
- Perspective Rendering View South Elevation
- Perspective Rendering View East Elevation
- Perspective Rendering View North Elevation

36 x 24 Drawing

- Certified survey map

30 x 42 Drawings

- Existing Conditions Map C-1
- Site Grading and Paving Plan C-3
- Site Plan from 1998 C-4
- Landscape Plan

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

Office Use Only

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised November 2019

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed two weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Bray Architects: Steve Kuhnen and Doug Skinner

ADDRESS: 1227A N 8th St, Sheboygan, WI 53082

E-MAIL ADDRESS: skuhnen@brayarch.com and dskinner@brayarch.com

PHONE: (920) 946 1130

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS:

Alternative to Incarceration – Addition to the Sheboygan County Detention Center

ADDRESS OF PROPERTY AFFECTED: 2923 South 31st Street

NEW BUILDING: _____ ADDITION: X _____ REMODELING: X _____

A. DESCRIPTION OF PROPOSED PROJECT:

Refer to attached letter

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS: _____

Refer to attached letter

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS:

Refer to attached letter

3. NAMES AND ADDRESSES

OWNER OF SITE: Sheboygan County Jim TeBeest, Building Services Director

ADDRESS:
615 N 6th St
Sheboygan, WI 53081

EMAIL: Jim TeBeest <jim.tebeest@sheboygancounty.com>

PHONE: _920-459-4349

ARCHITECT: Bray Architects, Steve Kuhn
ADDRESS: 1227A N 8th St, Sheboygan, WI 53082

EMAIL ADDRESS: skuhnen@brayarch.com

PHONE: _(920) 946 1130

CONTRACTOR: To Be Determined

ADDRESS: _____

EMAIL: _____

PHONE: _ () _____ **FAX NO.:** _ () _____

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A .pdf file of all drawings either by email or CD**
- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Doug Skinner
APPLICANT'S SIGNATURE

Digitally signed by Doug Skinner
DN: C=US, E=ds Skinner@brayarch.com,
O=Bray Architects, CN=Doug Skinner
Date: 2021.12.22 11:30:05-08'00'

December 22, 2021
DATE

Doug Skinner
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY ARCHITECTURAL REVIEW BOARD

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, Architectural Review Board OR
Manager of Planning & Zoning

DATE: _____

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Steve Kuhnen and Doug Skinner

ADDRESS: 1227A N 8th St, Sheboygan, WI 53082

E-MAIL: skuhnen@brayarch.com and dskinner@brayarch.com

PHONE: (920) 946 1130

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS:
Sheboygan County Detention Center

ADDRESS OF PROPERTY AFFECTED:

2923 South 31st Street
Sheboygan, Wisconsin 53081

LEGAL DESCRIPTION: Refer to attached survey

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE:
The facility houses the Sheboygan County Detention functions.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING
ANY CHANGES TO THE EXISTING USE:
Refer to attached letter.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

Refer to attached letter

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

Refer to attached letter

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

Refer to attached letter

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

Refer to attached letter

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

Refer to attached letter

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

Refer to attached letter

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Sheboygan County

ADDRESS: 615 N 6th St
Sheboygan, WI 53081
920-459-4349

E-MAIL: jim.tebeest@sheboygancounty.com

ARCHITECT: Bray Architects, Steve Kuhnen and Doug Skinner

ADDRESS: 1227A N 8th St, Sheboygan, WI 53082__

E-MAIL: skuhnen@brayarch.com and dskinner@brayarch.com

CONTRACTOR: To be determined

ADDRESS: __NA__ **E-MAIL:** NA

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Doug Skinner
Digitally signed by Doug Skinner
DN: C=US, E=ds Skinner@brayarch.com,
O=Bray Architects, CN=Doug Skinner
Date: 2021.12.22 11:30:20-06'00'

APPLICANT'S SIGNATURE

December 22, 2021

DATE

Doug Skinner

PRINT ABOVE NAME

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
 - ☐ The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
 - ☐ All lands for which the conditional use is proposed.
 - ☐ All other lands within 100 feet of the boundaries of the subject property.
 - ☐ The current zoning of the subject property and its environs (200 feet),
3. A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development or if the proposed conditional use is a cluster development (per Section 15.206(1)(b) or a group development (per Section 15.208). A proposed preliminary plat or conceptual plat may be substituted for the final site plan, provided that the preliminary plat contains all information required on a site plan.
 - ☐ Submit TWO (2) copies of the site plan.
 - ☐ Submit .pdf file of all drawings either by email or CD
 - ☐ The site plan shall be at a scale of not less than 1" = 100', including a graphic scale and north arrow.
 - ☐ Submit ONE (1) 11" X 17" reduction of the site plan.
 - ☐ Property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
 - ☐ Existing and proposed easement lines and dimensions with an explanation of ownership and purpose.
 - ☐ Required building setback lines.
 - ☐ Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls.
 - ☐ The location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys.
 - ☐ The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance.
 - ☐ The location of all loading and service areas, and the dimensions of such areas.

- ☐ The location of all outdoor storage areas and the design of all screening devices.
- ☐ The location, type, height, size and lighting of all signage.
- ☐ The location, height, design/type, illumination power and orientation of all exterior lighting, including compliance with Section 15.707.
- ☐ The location of existing and proposed drainage facilities.

Office Use Only

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____ DENIED: _____

CONDITIONS

SIGNATURE: _____

Chairperson, City Plan Commission or
Representative Dept. of City Development

DATE: _____

NOTES

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire within one (1) year from date of approval unless substantial work has commenced.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any

permits for any purpose that is prohibited by the City Zoning Ordinance or any other State or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

Check sidewalk grades from City Engineering Department with finished site grade.

PROPOSED LOCATION
FOR THE ON GRADE AIR
CONDITIONING UNIT
WHICH SERVES DATA
ROOM 114A

PROPOSED CONCRETE
SIDEWALK

EXTENT OF PROPOSED
CANOPY AT ENTRY

LOCATION OF
PROPOSED ADDITION



SATELLITE IMAGE OF SITE

Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021



Project #3531



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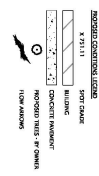
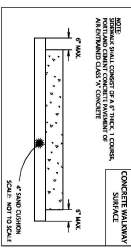
bray
architects



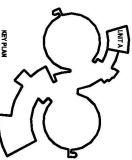
DRAFTED OVER EXISTING SITE TOPOGRAPHY

© 2021 Bray Associates Architects, Inc.





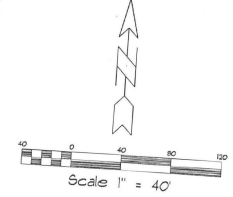
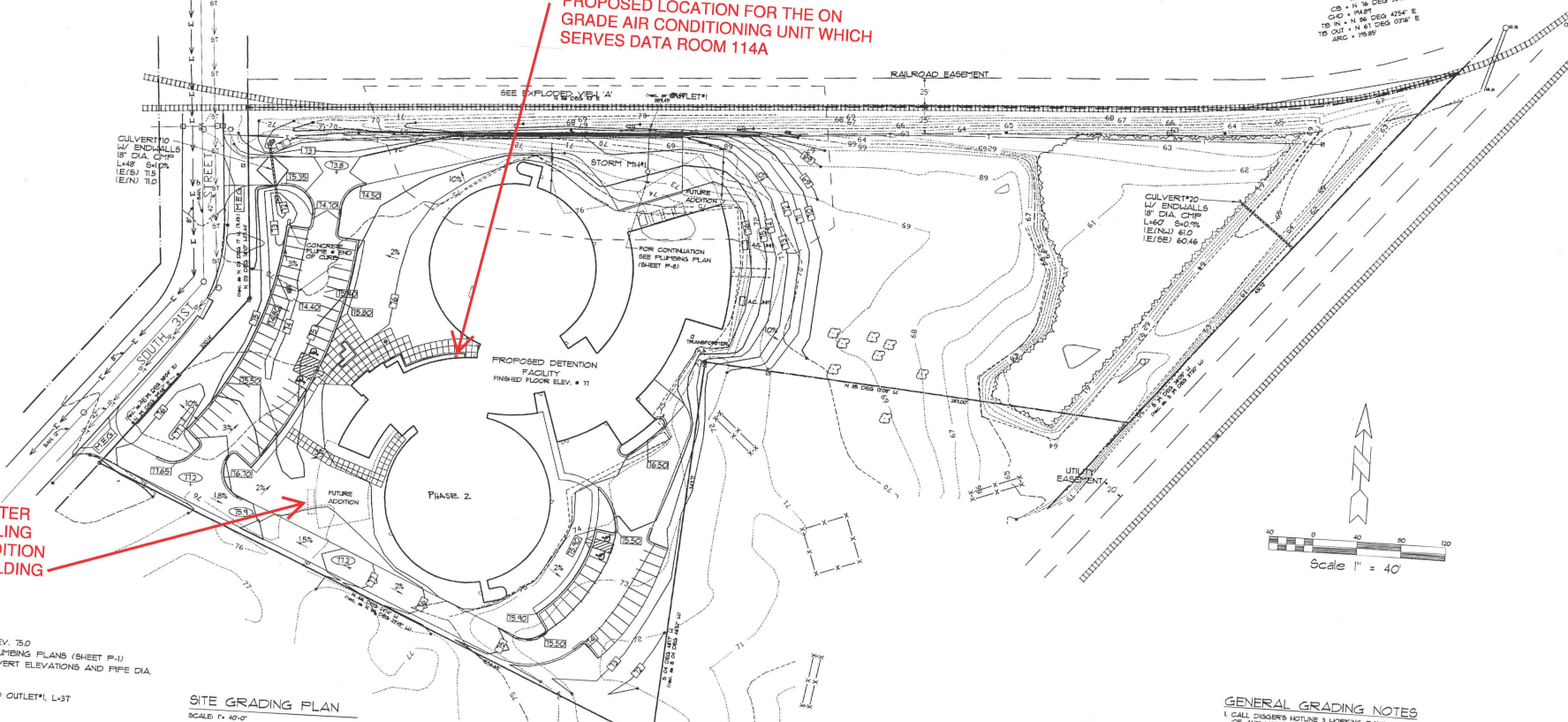
- [illegible]



1. 14 DEG 37'32"
R = 570.14
(REG. R. 158.487)
CB = 11.76 DEG 53'05" E
C/O = 14.81
TD IN = 11.76 DEG 47'54" E
TD OUT = 11.61 DEG 07'55" E
ARC = 158.87

PROPOSED LOCATION FOR THE ON
GRADE AIR CONDITIONING UNIT WHICH
SERVES DATA ROOM 114A

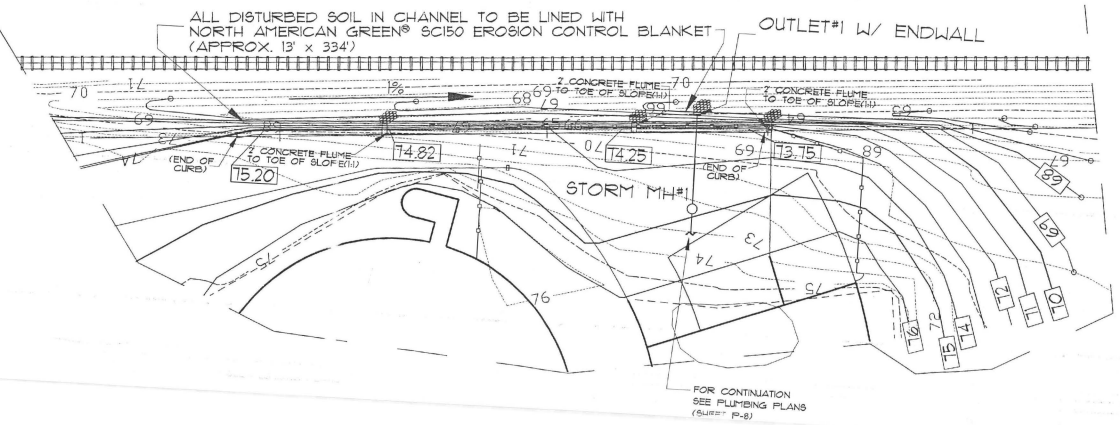
OUTLINE OF THE MASTER
PLAN FROM 1998 CALLING
FOR THE FUTURE ADDITION
TO THE ORIGINAL BUILDING



STORM MH#1: RM ELEV. 75.0
SEE PLUMBING PLANS (SHEET P-1)
FOR INVERT ELEVATIONS AND PIPE DIA.
OUTLET#1: 1E 68.0
MH#1 TO OUTLET#1: L=37

SITE GRADING PLAN
SCALE 1" = 40'-0"

EXPLODED VIEW 'A'
SCALE 1"=20'



- LEGEND**
- (12)--- PROPOSED CONTOUR ELEV.
 - 15.50 TOP OF CURB ELEV.
 - 11.20 SPOT ELEV.
 - ME4 MATCH EXISTING GRADE
 - 4X6 BED OF 6" RIFRAP (TYP.)
 - PROPOSED FENCE

GENERAL GRADING NOTES

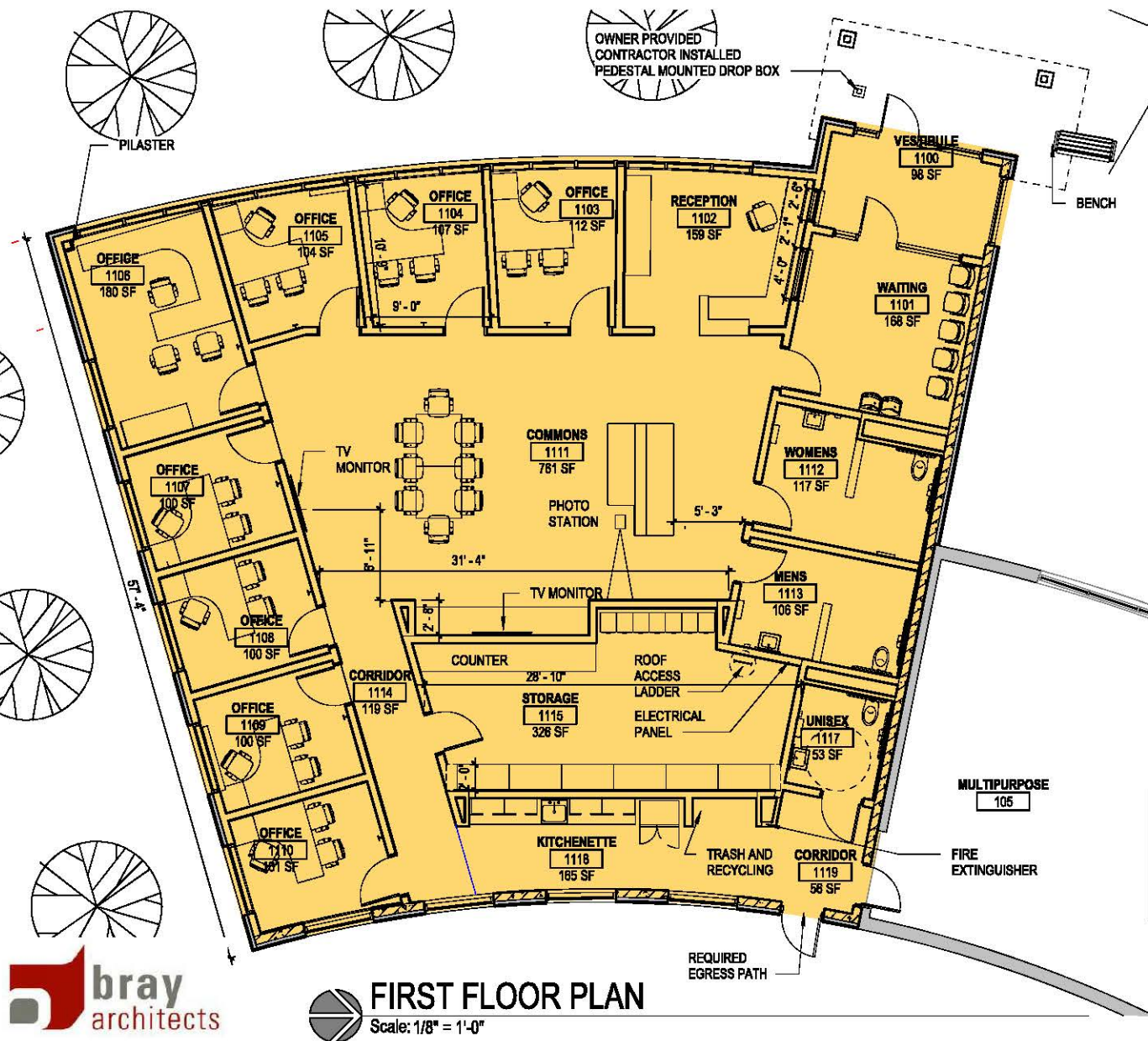
1. CALL DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF ANY WORK 1800-274-8811
2. ALL WORK SHALL MEET THE WORKMAN CONSTRUCTION SITE BEST MANAGEMENT PRACTICES.
3. MAINTAIN ALL PROPOSED GRADIES SHOWN ON PLANS TO MAINTAIN ADEQUATE COVERAGE OVER EXISTING UTILITY LINES.
4. SEE ELECTRICAL PLANS FOR LOCATIONS AND DEPTHS OF BURIED CONDUITS AND ELECTRICAL LINES.
5. EXISTING UTILITIES AS SHOWN ON THE PLANS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. HOWEVER, LOCATIONS MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO INITIATING EXCAVATION.
6. ALL WORK PERFORMED WITHIN THE RAILROAD AND 1ST STREET ROW'S SHALL BE DONE IN ACCORDANCE OF ALL PERTINENT CITY REQUIREMENTS AND PROCEDURES.
7. ALL BENCHMANS CONCRETE ROADWAY SUBSURFACE SHALL BE PROOF ROLLED PRIOR TO PLACING ANY FILL MATERIALS.
8. CONTRACTOR SHALL PROVIDE POSITIVE GRADES TO ALL STORM INLET/MANHOLES AND CULVERT STRUCTURES.
9. SEE PLUMBING PLANS FOR SANITARY SEWER MANHOLE RM ELEVATIONS.
10. CONTRACTOR SHALL COORDINATE WITH PLUMBING PLANS FOR DEPTH AND LOCATION OF ALL PROPOSED STORM SEWER CONNECTIONS.
11. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL PLANS FOR DEPTH AND LOCATION OF ALL ELECTRICAL, VIDEO AND TELEPHONE LINES.
12. CONTRACTOR SHALL COORDINATE WITH HVAC PLANS FOR DEPTH AND LOCATION OF ALL GAS LINES.

GRADING PLAN -- UPDATED

Bray Associates
Sheboygan County
Work Release
Detention Facility
Sheboygan, WI

Drawn By: CON/JAY
Date: 12-18-13
Scale: 1"=40'-0"
Project No.: 2270

C-4



SUMMARY

AREA 3,560 SQUARE FEET

FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"



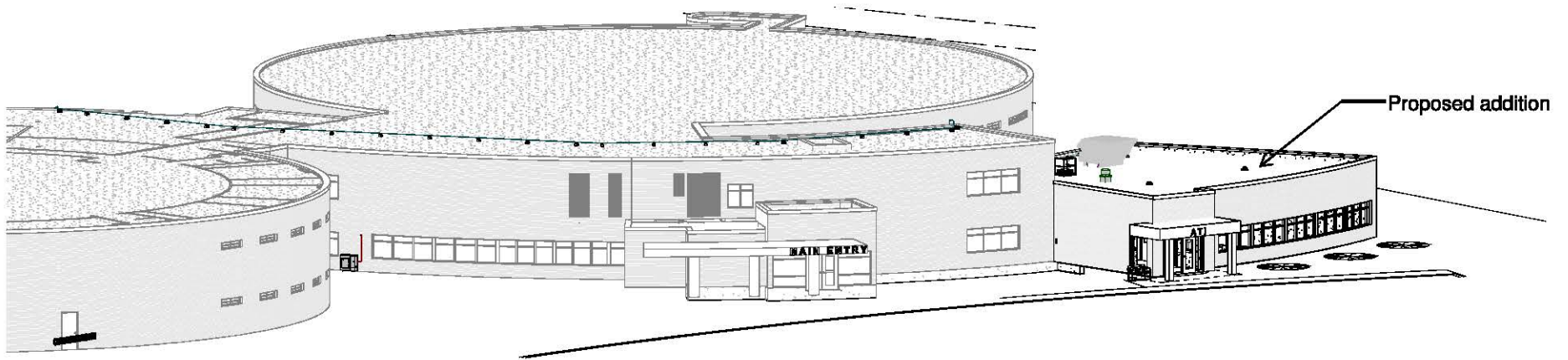
Project #3531



Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021

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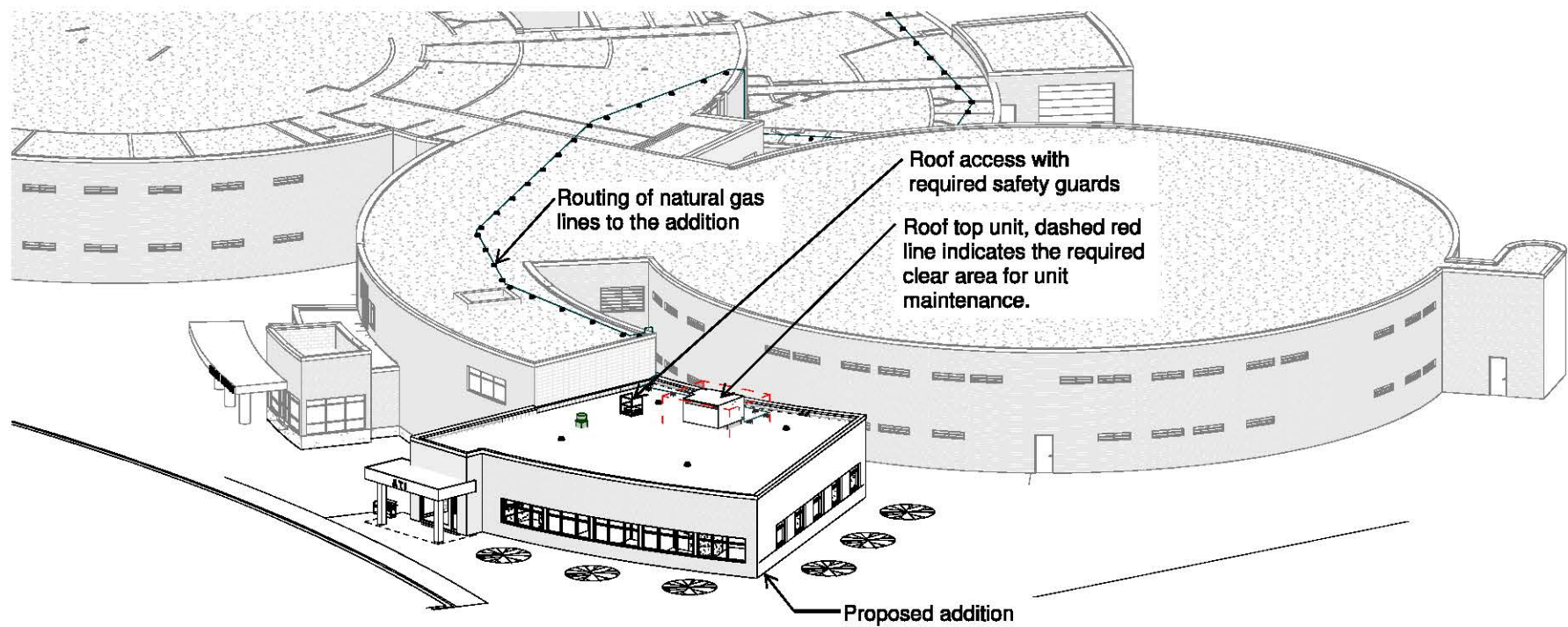


Project #3531



Exterior Axonometric View from the Northwest
 Sheboygan County Detention Center
 2923 South 31st Street
 December 13, 2021

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Project #3531



Exterior Axonometric View from the Southwest
 Sheboygan County Detention Center
 2923 South 31st Street
 December 13, 2021

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Project #3531



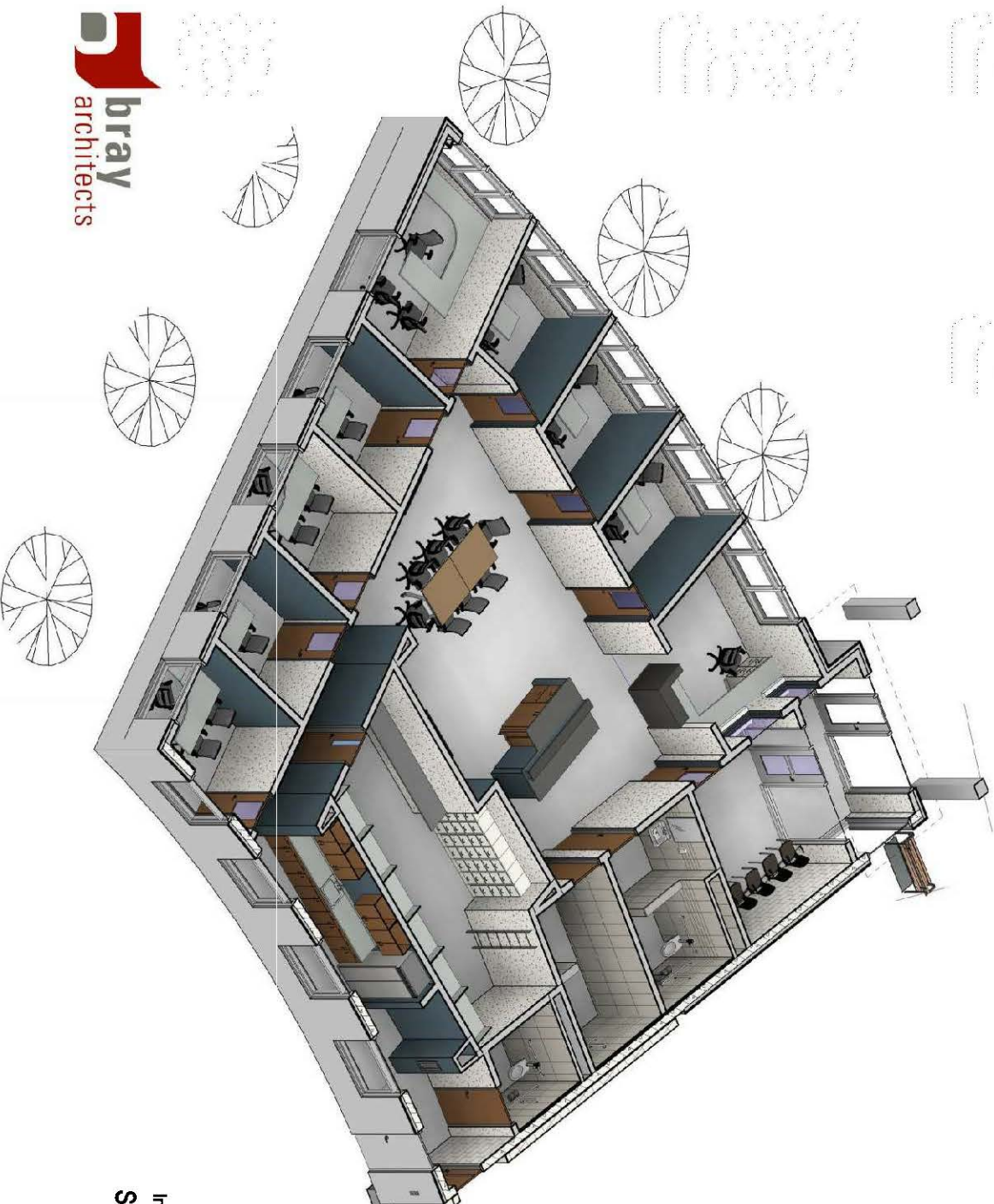
Interior Axonometric View from the Southwest
Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021

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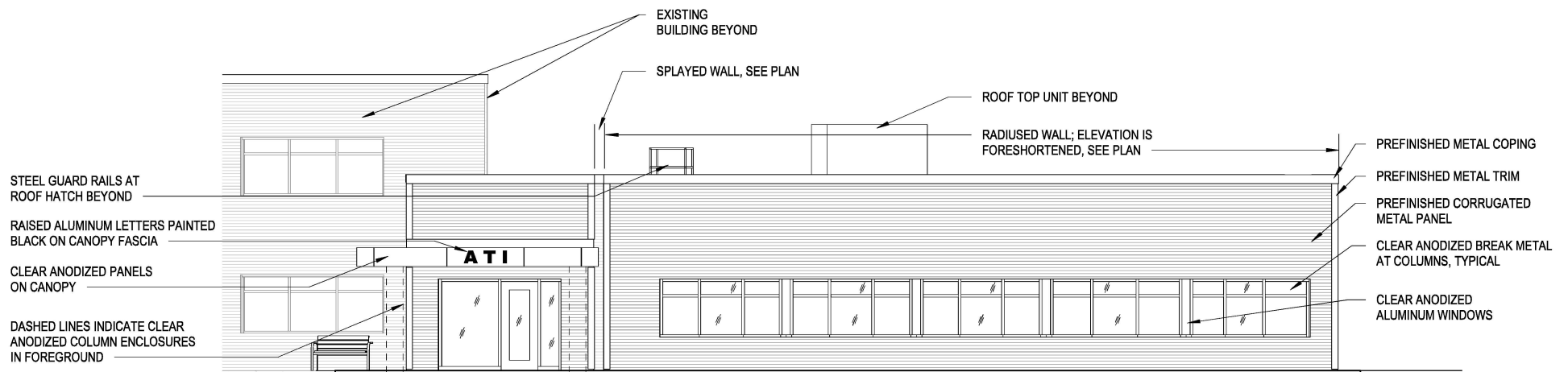


Project #3531



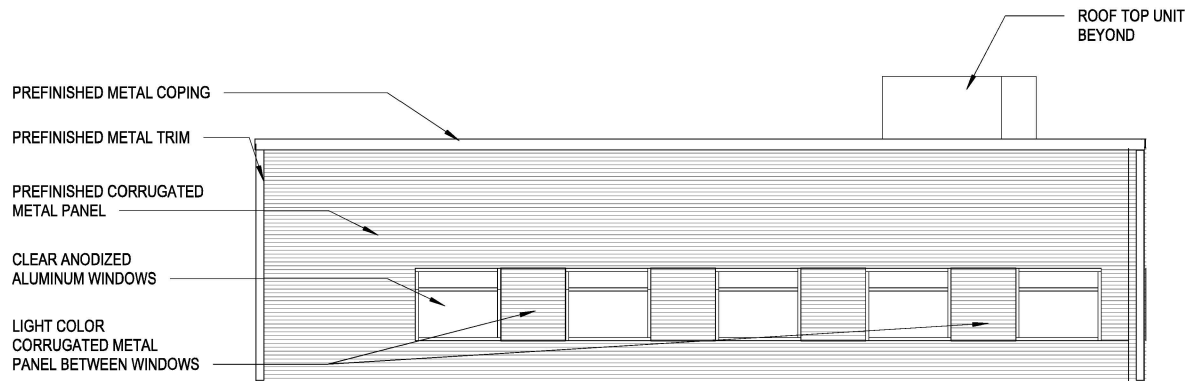
Interior Axonometric View from the Southeast
Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021
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WEST ELEVATION

Scale: 1/8" = 1'-0"



SOUTH ELEVATION

Scale: 1/8" = 1'-0"



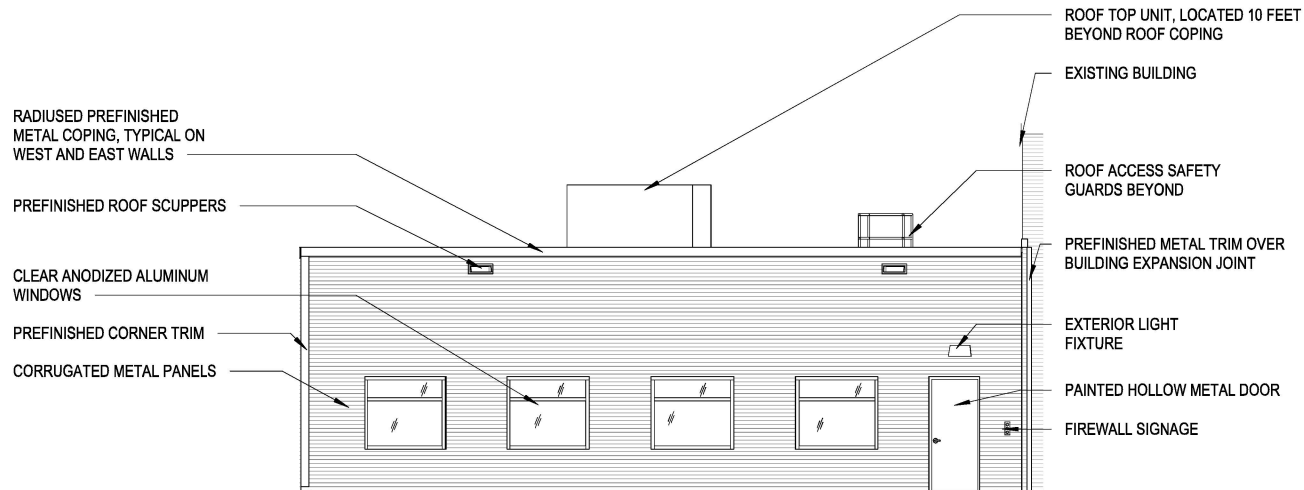
Project #3531



Sheboygan County Detention Center
2923 South 31st Street

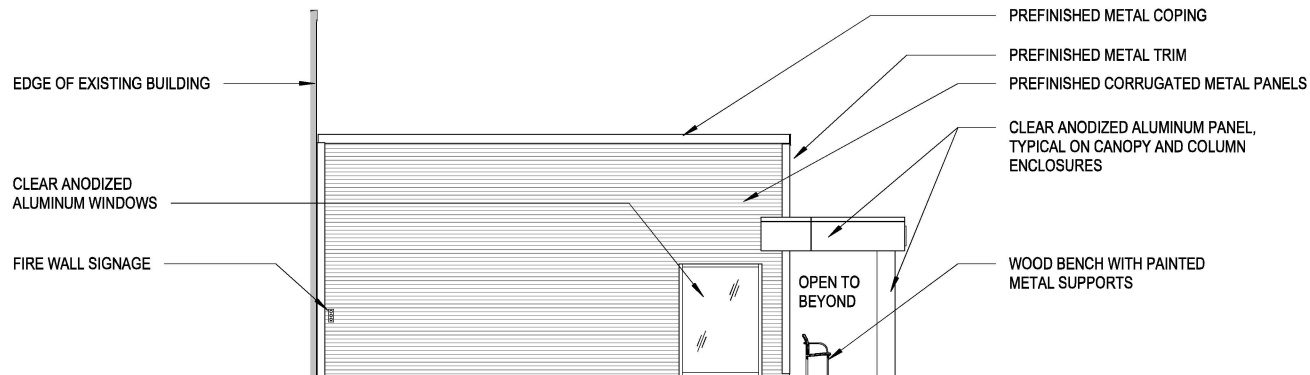
December 13, 2021

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EAST ELEVATION

Scale: 1/8" = 1'-0"



NORTH ELEVATION

Scale: 1/8" = 1'-0"



Project #3531



Sheboygan County Detention Center
2923 South 31st Street

December 13, 2021

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Project #3531



VIEW FROM 31st STREET LOOKING EAST
WEST ELEVATION
Sheboygan County Detention Center
2923 South 31st Street
December 13, 2021

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Project #3531



SOUTH ELEVATION
 Sheboygan County Detention Center
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EAST ELEVATION
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NORTH ELEVATION
Sheboygan County Detention Center
2923 South 31st Street
 December 13, 2021

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PARCEL NO.59281004850+59281004870

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: A Million Dreamz, Inc

ADDRESS: 418 Geele Avenue E-MAIL: angel@amilliondreamz.org

PHONE: (920) 287-8879 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: A Million Dreamz

ADDRESS OF PROPERTY AFFECTED: 418 Geele Avenue

LEGAL DESCRIPTION: NE ¼ SECTION 14, TOWNSHIP 15 NORTH, RANGE 23 EAST ASSESSMENT SUBD NO 21 LOTS 3,4,5 & N 122' OF LOTS 6 & 7 & E 90' OF LOT 8 BLOCK 2 AND ASSESSMENT SBD NO 21 LOT 9 BLOCK 2

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE:

Former Sheboygan Christian School

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE:

Proposed location of A Million Dreamz Childhood Education and Care Center. We will be opening a non-profit group child care center run under licensing of the Wisconsin Department of Children and Families and following codes and regulations of Wisconsin Administrative Code DCF 251 and offering all levels of inclusivity recommended or required under American Disability Act Title III. We aim to become Youngstar quality rated to accept Wisconsin Shares child care subsidy. Our center will operate multiple shifts for both full time and part time employees and part time volunteers in order to provide care twenty four hours per day and seven days per week. We will be providing healthy meals and snacks for all children in care through

the Wisconsin Child and Adult Care Food Program (CACFP), as well as entertainment and learning activities appropriate for all age groups as needed. Our facility will be operated by a staff led by the guidance of a carefully chosen non-profit board of directors, each of whom has knowledge and passion to represent a faction of our clientele. Clients will include families in Sheboygan and surrounding communities particularly for those families in need of second or third shift care, weekend care, early morning care and special needs care. These needs are currently not being adequately met in the community to our knowledge, particularly those children with special needs older than 14 years of age. Please see attached Addendum A for a list of our planned programs as well as the projected timeline in which they will be executed starting with phase one and the establishment of the organization.

Changes to the outside of the building will include the addition of two concrete ramps at the north and west sides of the building to upgrade to a friendlier ADA facility. The current fencing on the east side of the building will be extended to the north edge of the building and will have the addition of slats for privacy on the north side of the building and on the east side of the building, north of the southeast addition. The playground area on the southeast corner of the property will remain and the current fencing will stay as it is. An enclosure for refuse containers will be constructed, using the same cyclone fencing and privacy slats. The addition of greenspace with trees and low plants will be added to the property north of the building between the doors and Euclid Avenue. This will aid in focusing traffic to the parking lot on the west side of the building and brighten up the front of the building. Additional landscaping improvements will be added on the south side of the building. The playground area will be improved over time, as we raise the funds to increase the accessibility of the play area. The section east of the building and north of the current playground will be used as a play area for toddler and young children with sunshades and age appropriate play equipment. Play hours will coincide with sunshine and the children will not be outside during the nighttime hours.

On the Geele side of the building we will be removing the steps and the pavement from the street. We intend to use the Euclid entrance as well as the entrance on the parking lot. The Geele entrance will be changed to an emergency only exit, eliminating the need for the steps, signage and outside lighting and diminishing all traffic on that side of the building.

Inside we are adding a fire suppression sprinkler system, new HVAC systems with cooling capabilities, additional plumbing for handwashing sinks and additional toilet fixtures. We intend to upgrade the kitchen as finances allow. The gymnasium will be divided into a large, gross motor play space and a parent and staff meeting room. We will be adding additional doors to meet all current commercial building codes.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

We are requesting a variance for the number of parking spaces in our lot. Due to the nature of the business, the majority of clients will be dropped off and will not have cars left in the parking space during the time that the children are in care. Staffing requirements will vary depending on the number of children in care at any given time and staff hours will stagger rather than be shift based. Therefore the crossover of staff parking will be minimum.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

Research has shown that there is currently a lack of enough quality childcare in the Sheboygan area. As of September of 2021, there were 286 children on childcare waitlists in the county. As Sheboygan County is home to a plethora of large employers who run multiple shifts, there is not adequate off shift care available to employment seekers. Companies struggle with employees unable to find the childcare that is needed to start on second or third shifts or to be able to work weekends or overtime. From the other perspective, parents can be frustrated with the long wait lists and high costs that accompany finding quality care. We hope to put an end to the struggles that this county and its residents have with childcare. In the scope of special needs children the situation is even worse. We have experienced first hand and have many anecdotes from others about the lack of quality trained care available for special needs. Although it is required by the American Disabilities Act that licensed childcare centers make accommodations for clients with special needs, it is clear that this does not always happen. This has left a number of the residents in our community without the support that they require to provide and maintain a healthy family structure and to become successful in their chosen career paths. We aim to end this division while also offering these children and their families in an all inclusive and accepting environment without barriers of any kind.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

Working within the city's vision of a diverse and prosperous coastal community, A Million Dreamz Inc will be assisting the community in a number of ways. We will be creating jobs, but more importantly, we will be offering the services that so many families currently lack so that they may seek a better quality of life through employment, continual education or a blend of both. By providing childcare during all hours of the day and all the days of the week, as well as other services to clients in a time of need, we will be appealing to an economically diverse clientele, some of which are already seeking these services and others who will be further drawn to our community knowing that these services are available to their families. Furthermore we will be aiding to the nourishment of healthy family dynamics while providing a safety net for families who don't currently have others to turn to for support. We will be collaborating with multiple social service organizations within the greater Sheboygan area in an effort to offer our clients and their clients access to any services that they need.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

No. The former use of the site as a school has set a precedent in the neighborhood as a haven for children. Seated in a residential neighborhood, the activity that comes with

childcare and the voices of children at play blend with the family friendly atmosphere that currently prevails.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

Historical land use was that of the education of children. A childcare facility is the same in that it will be caring for the education and well being of children. As a former neighborhood school, the children in care at A Million Dreamz will gain benefit from the comforting surroundings that will help to make the center feel more like a home away from home rather than an institution.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

Yes, with the addition of a larger waterline, already in process.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: A Million Dreamz, Inc

ADDRESS: 418 Geele Avenue Sheboygan, WI 53083 E-MAIL:
angel@amilliondreamz.org

ARCHITECT: Hammeister Architects, DuWayne Hammeister

ADDRESS: 823 S Taylor Dr Sheboygan WI 53081 E-MAIL: duwayne@hameister-architects.com

CONTRACTOR: Jos. Schmitt Construction, Steve Schmitt

ADDRESS: 2104 Union Ave Sheboygan WI 53081 E-MAIL: sschmitt@jschmitt.cc

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

APPLICANT'S SIGNATURE

DATE

PRINT ABOVE NAME

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:

- An explanation of the existing use and activities that take place onsite (former and existing businesses operating from the site).

The former Sheboygan Christian School was built on this site in 1951, adding to the building in 1956, 1967, and 1992. The school originally included grades 1 through 12 and was operating as a 3K through 5th grade in June of 2021 when they listed the building for sale. We will be opening a Childhood Education and Care Center. Once the center is ready to open, sometime after April 2022, we will be opening several classrooms to begin and hope to grow to 24 hours a day and 7 days a week. The building will have 12 classrooms with a varied capacity dependent on licensing and ages of children in care. In addition to the care center, we will be offering other programs over time including parent support groups, educational classes for parents and continuing education for staff, referral to outside agencies and more. Please see addendum A for a complete list of potential programs.

- An explanation of the proposed daycare and all activities to take place onsite –
 - Why was this site selected?
 - The opportunity to purchase this location arose in June of 2021. Upon inspection of the school, it was evident that it was a perfect location for our planned center. With the size of the classrooms, we are able to accommodate a variety of ages of children and work toward meeting the huge need in the community. The kitchen, gross motor space and offices are all needed to meet the plans that we have for the best care for the children. It is located in a neighborhood, a wonderful location for children to spend time. Located on a bus route, it is accessible to families who do not have independent transportation.
 - Where it is to be located?
 - We will begin opening in the southeast corner with the first 4 classrooms in late spring. Eventually, we plan to grow to fill every classroom and utilize the entire building.
 - What services do you provide?
 - We will be providing early childhood education and care for infants and children up to age 17. Children over the age of 14 will be in care due to a special need such as Cerebral Palsy or Downs Syndrome. We will be providing other services to families in the future. Please see Addendum A for a complete list of potential services.
 - Who are your clients?
 - Our clients will be families from all walks of life, with children from infant to 14 and teens from 15 to 17 with special needs.
 - When will you begin operation?
 - Intended opening of the first phase is late spring 2022. We will then open more shifts and classrooms as our staff and clientele grow.
 - How much new parking?
 - We will be utilizing the current parking lot on the northwest corner of the property. No additional parking is needed.

- Indoor activity?
 - Indoor activities will include early childhood education, play, meals and snacks, naps and sleeping during nighttime. Additionally, we will have programs for family support and education and staff education eventually.
- Outdoor activity?
 - Outdoor learning and play will be within the fenced areas currently designated for play on the east side of the building. These areas include the older child playground that has been there for many years as well as the area north of the playground that will be made age appropriate and safe for toddlers and young children to play. Additionally, we hope to have raised bed vegetable gardens on the west side of the building so that the older children can learn about gardening and healthy eating. All outside play time is supervised and must follow the state of Wisconsin Department of Children and Families ratio requirements for childcare. Outside time will be during daytime and children will not be outside playing during the nighttime hours.
- Are children sleeping and staying overnight?
 - We will have care for overnight hours to meet the needs in the community that are currently unavailable. Infants under 2 years of age will be required to be in cribs for sleeping. Older children will be using childcare cots inside the classrooms for sleeping, which is the same as for nap times during standard daycare hours.
- Please explain why the daycare is being proposed from this property and why the plan commission should consider approving the proposal at this site?
 - Childcare regulations are strict. The highest level of quality care requires space and accessibility. It is difficult to find a location that has all that is needed for an operation with as many levels as we plan to provide. ADA access, plumbing fixtures, gross motor space, outdoor play areas, kitchen facilities and staff offices and break space are all needed to meet the requirements of the state regulations. These are difficult to find and costly to build. The opportunity that this location provides is one that is second to none in the area. Our organization has searched for three years for the perfect location. We attempted to build our center once before on the corner of Superior Avenue and 29th Street only to find that the space was extremely limiting and very costly. We have learned much in our journey since incorporating in 2019. This building has been a haven for children since it was built in 1951 and we hope to continue that warm and safe feeling by utilizing it for the very best care that we can provide. We believe that it is the best use of the space and the best situation for our center.
- How do you operate and monitor facility? Clients? Number of children? Number of employees? Certifications? CBRF?
 - Operation of the facility will be within the strict regulations of the State of Wisconsin Department of Children and Families licensing code 251. Angel Berry is to be the Center Director and we have hired an Assistant Center Director, Leah Andrews. Both women are experienced and educated with all the requirements met to direct a childcare center under the state regulations. Before opening, we will be hiring staff members. Each person who is employed with A Million

Dreamz must pass a fingerprint background check. Every staff member working with the children in care must have the required classes and certifications appropriate to the staff's position. These are non-negotiable and without following these guidelines, the state inspectors will close our doors.

- Description of proposed building and all new site improvements (square footage of proposed building(s), storm drainage, landscaping, lighting, ingress/egress, parking, access, sidewalk, retaining walls, dumpster enclosure, screening of mechanicals, etc.).
 - Changes to the existing building will include the addition of concrete ramps at the north and west entrances. Potential canopy covering each ramp is dependent on funding. The cyclone fence to the east of the building will be extended to encompass a refuse enclosure at the north side of the building and there will be privacy slats added to the fence from the refuse enclosure to the corner of the fence line where it turns toward the east. The fence enclosing the playground will remain open. The southside entrance will have signage removed, steps and partial sidewalk will be removed and the southern facing side will have new landscaping added. The northern side of the building will be changed from the currently broken pavement to a walkway for emergency use, a walkway to the parking lot and the attached ramp to parking lot. Landscaping will be added to brighten up the entrance. Parking will all take place within the current parking lot, which will have added lighting, taking care to not encroach on our neighbor's homes. Parking lot entrance will remain on 5th Street and the exit will be on Euclid Avenue to maintain flow and ease of traffic.
- An explanation of the proposed architectural style and materials and how it is compatible with the development in and around the area. A written description of the proposed general design, arrangement, texture, material and color of the buildings/structures. An explanation of any interior and/or exterior renovations.
 - Minor alterations will be done to the outside of the building and will be in keeping with the current brick aesthetic. Interior renovations include adding bathroom fixtures, additional doors to some classrooms to meet current fire code regulations, the addition of a shower room to assist with any needs that may arise. The kitchen will be upgraded to conform with the current commercial kitchen codes. The current gymnasium space will be divided into two large rooms, one for gross motor play and one for adult meetings such as parenting support groups and staff education classes. The current locker rooms will be combined into one staff lounge with two bathrooms within. The two southeast classrooms will be divided into four classrooms and a hallway to the exit doors. Three of these rooms will be specific for nurseries for infants and one for young children. The current boys restroom off the east corridor will be converted to a single use ADA restroom with adult changing table. The main hall bathrooms will have the doors widened to become accessible and will have one fixture removed to make space for an ADA compliant stall. The boys restroom will have stalls put in place around the existing urinals and every other urinal will be enclosed to account for the space required in the current commercial building code. Additional toilet rooms will be added to four classrooms and sinks to every classroom to meet the needs of all ages of children and the requirements of the Department of Children and Families

Group Childcare Code. New HVAC, plumbing and fire suppression will be added. The current boiler system will be removed.

- Specific information on your ability to obtain the necessary permits/licenses to operate such a daycare facility.
 - Licensing requirements to obtain a license for a group childcare center in Wisconsin include a high school diploma, a qualification in preservice training credits (different class combination options are given) and completion of at least one class toward the Wisconsin Child Care Administrator Credential. Angel Berry and Leah Andrews are both on their way to completing the Administrator credential through Northeast Wisconsin Technical College as well as having a multitude of other credit and non-credit classes in early childhood education through Lakeshore Technical College and online sources through the State of Wisconsin Registry Network. (This organization monitors the qualifications of teachers in the early childhood field) Leah has worked in Head Start and a childcare facility “Little Angels” in the past and Angel ran a childcare facility from her home for 10 years.
- What are the days and hours of operation (daycare, meetings, activities, etc.)?
 - Hours of operation will start with what is needed for the first families, beginning one classroom and one shift at a time. We will expand to add additional shifts and classrooms as we are able to secure qualified staff members to join our organization. We hope to be able to add two classrooms, on varying shifts, each month.
- How large is the daycare? Number of employees and clients.
 - Currently, we have three employees. This will increase when we get ready to open classrooms. Each classroom will need to have two teachers. There are 12 classrooms in the building. We will also have director staff, assistant director staff, kitchen staff, cleaning staff and substitutes. The number of clients and the number of children per room will be dependent on community need and the age of the children. Licensing will determine the number of children that we will be licensed for at any one time. This will be based on square footage requirements. It is our estimation that the number of children allowed may be up to 200 children to allow for crossover of shift times. There will likely be less than that number in care due to the restrictions of the number of infants per space.
- How many employees do you have?
 - We currently have three employees, one full time and two part time. This will grow as we grow, and we have a list of 20 interested potential staff members. We also have a group of volunteers that work with us at this time. At full capacity we will have approximately 160 employees. Two teachers per room, per shift, and weekends, kitchen staff for 3 shifts and 7 days per week, substitutes, support staff, cleaning crew, management, and secretarial staff. Many positions such as substitutes and back up will be part time. We will also be hiring an accountant and maintenance over time.
- Where exactly are you proposing any outdoor activity areas and what sort of activities will take place outdoors.

- Outdoor activity will take place within the two fenced sections, the playground area and the tot lot. Both areas are to the east of the building. We will also be maintaining small raised bed gardens on the west side of the building with the help of the children from time to time. Outdoor activity will include free play time, organized activities and games. Occasionally a fun and interactive lesson may take place outside such as investigating out surrounding or a messy art activity. All outdoor activity is subject to the same ratio of staff to child that is required inside, meaning that all children will be supervised while outside at all times. Outside activities will take place during daylight hours.
- Is this a 1 tenant or multi-tenant facility (who are the other tenants)? Who is the tenant? A little information explaining who the proposed daycare is, the services provided and how it benefits the community.
 - A Million Dreamz will be the sole tenant and will be responsible for the management and daily operations of the center. The benefits to the community will be immense. Access to quality, affordable childcare is a struggle in the area and there are 286 children on wait lists for care in Sheboygan County. (data as of October 2021) Allowing for access to childcare, this will assist families in the struggle to find gainful employment, raise their wages and skill sets, gain a leg up from financial difficulties and open doors to opportunities currently out of reach. For companies in the area, there is a struggle to find reliable and available employees, specifically on off shifts where most entry level positions reside. One of the largest examples of this struggle is in nursing care for the elderly. Staffing shortages abound and the issue of childcare continues to be at the forefront of availability for employees.

The long-term benefits of quality childcare are great. Studies have proven that the majority of brain development occurs in the first 6 years of life, yet many families struggle to find quality care available that is flexible and affordable.

If standard childcare is in a national crisis, then care for children with disabilities and special needs is a complete catastrophe. There are currently no licensed spaces for childcare for children between the ages of 15 and 17. This includes children who have severe cognitive delays that have a child like mind and need constant care. There are no supports for these families. We know of no childcare currently for children with severe medical needs such as cerebral palsy or children with significant autism behaviors. We intend to fill that gap.
- How will you ensure that the proposal will not become a nuisance to adjoining property owners (i.e. vehicles, equipment, lighting, noise, architectural style, outdoor storage of materials, traffic, etc.)?
 - The concerns of our neighbors have been carefully considered. We are moving the main entrance from Geele Avenue, where there is a lack of parking availability and a hazard to families who would need to cross the street, to the northside of the building on Euclid Avenue. On the northside we plan to create greenspace between the center doors and the street and divert all traffic to the current parking lot. Drop off and pick up will take place at the northside entrance, with cars remaining in the parking lot during that time. Lights in the parking lot

will be carefully placed to prevent light pollution from reaching our neighbor's homes. There will be instructions in our parent and staff booklets to maintain the quiet atmosphere of the neighborhood during the overnight hours. Neighbors have addressed the joy they have when seeing the children play in the playground and we have chosen to leave the fence as it stands to be unobtrusive to the neighborhood view. However, we are adding privacy slats to the dumpster enclosure and the tot lot to add privacy to the backyards of our closest eastern neighbors.

- Are you proposing any fencing and landscaping? What are your plans to properly screen/landscape any outdoor areas to neighboring properties?
 - There will be privacy slats in the fencing that aligns with the eastern neighbor's backyards and around the dumpster enclosure. The fencing that surrounds the current playground will remain open for viewing as neighbors have made us aware that they enjoy the openness of the fencing and gain joy from watching the children play.
- Will you be adding signage?
 - Signage will be added to the north and west sides of the building. It will be lit within each letter of the center name and will not have lights that shine into any other spaces. Though we have legal allotment for signage on four street fronts, we are emphasizing the entrance on the Euclid side and particularly the parking lot on the west side as the location for all those who are driving to enter.
- What is the overall value of the investments?
 - Between the cost of the property and the estimations of the improvements we are in the range of \$2 million.
- What is the value to the community?
 - Priceless. I can't put a price on the comfort that a parent feels when they know that their child is safe and well cared for. There is not cost associated with the feeling of independence when you no longer need support to make ends meet. How do you place a value on being seen, heard, and helped when you feel that you have no where to turn? How do you assign a number to the step up in education that comes from quality learning at the most important stage of brain development? What quantifies the value of being included when the world is more challenging due to a disability? I am sure there is a specific value to each employee, but does that include reliability even when a child is ill? Availability to learn and advance in a career knowing that you will be supported if you are priced out of state assistance for childcare? What is the inherent value of knowing that in an emergency, there will be firefighters, police officers and medical staff to care for you or your loved ones? The numbers will never tell the whole story of how sorely needed these services are in our community. Only time will tell how far reaching and compounding the benefits will be.

- Any other information that will be useful for the Plan Commission to understand your proposed business.
 - The following are true stories of local area families that have given permission to share.
 - M is a three-year-old with a beautiful smile and a fiery spirit. Her parents scheduled her childcare before she was conceived. They were on a list at a second center just in case. Covid closed both centers just before mom went back to work. M has been through 4 different care options in her three years and just this month started a new one. She is expecting a new brother or sister this summer. The care center that M attends has no room for her sibling.
 - T turns 3 in February. His mom has been searching for months for a care center with space. The only availability required him to be three years old. Mom had to give notice at her job that she could no longer work in January.
 - L has energy and joy and love to give. He struggles with following directions because he was born with Autism. He needs more attention than most kids his age because he gets excited and doesn't always notice what is going on around him. Luckily his mom is always at home with his littlest sibling. But mom struggles to find time for herself, her husband and her other child. L doesn't have a safe care place to go to because he is challenging. Mom and Dad are both very worn out.
 - K is 10 years old and struggles to maintain his behaviors at school. His brain works differently than his classmates and as the day goes on, he can't quite hold in his energy. K goes home 2 hours earlier than his friends. His parents had to adjust their work schedule to meet that new timeline. There are no care centers that will take K because he can get violent if he is too excited and needs a special helper to work with him. K needs supervision at all times when he is awake. His parents are exhausted.
 - A Million Dreamz has a mission to help each and every family, each and every child, regardless of the time of day, the day of the week or the specific needs of the child. We are here to help families. Please approve this conditional use permit so that we can move forward to provide our much-needed services to families like these. Sheboygan County needs our help.

A Million Dreamz Program List

Phase One

- ❖ Childcare: all inclusive, 24 hours a day, 7 days a week.
 - Offering sliding scale and scholarship programs to those in financial need
 - Flexible schedule to aid families who need few hours of care or occasional care
 - ADA compliant to breach boundaries
 - Hire additional, qualified staff to assist with any needs of children in care
- ❖ Neutral parental drop off location for divided families
- ❖ Young child clothing and need exchange
 - Donate gently used outgrown items
 - Trade for credit toward larger sizes
 - Diapers, formula and baby food
 - School items for older children
 - Donations from community

Phase Two

- ❖ Parent Support Groups: multiple groups for different types of families; working with area volunteers and other organizations to provide guided groups
 - Families with special needs members
 - young parents
 - parenting teens
 - single parents
- ❖ Respite care for youth and young adults with disabilities to allow permanent caregivers time to focus on their own needs and promote healthy family dynamics
 - Applying for respite payment through Sheboygan County
- ❖ Big Helpers for Little Needs
 - service that provides mentoring and assistance to children with special needs in a variety of community settings to avoid exclusion due to a lack of qualified individuals available on-site to assist them
- ❖ Guardian Angels: Advocacy and support for critical parenting situations
 - IEP meetings

- Therapy initiation
 - Disability Determination Application
 - Volunteers supporters
 - Emotional support, not legal guidance
- ❖ Parental mentoring / Parent education classes
- Budgeting
 - Parenting techniques
 - Cooking for families
 - Credit building
 - 1,2,3 Magic
 - Creating your own chore chart
 - Healthy living tips

Phase Three

- ❖ Therapy location and access through outside contractors (perhaps leading to employees of AMD)
- Physical
 - Occupational
 - Speech
 - Art
 - Music
 - Sensory Integration
- ❖ STUFF: Supplying Tangibles to Underfunded Families
- Donations from the community
 - Direct donate from giver to receiver
 - Small amounts stored
 - Vouchers for items from local thrift stores
 - Vouchers for city transportation and/or gas cards

Phase Four

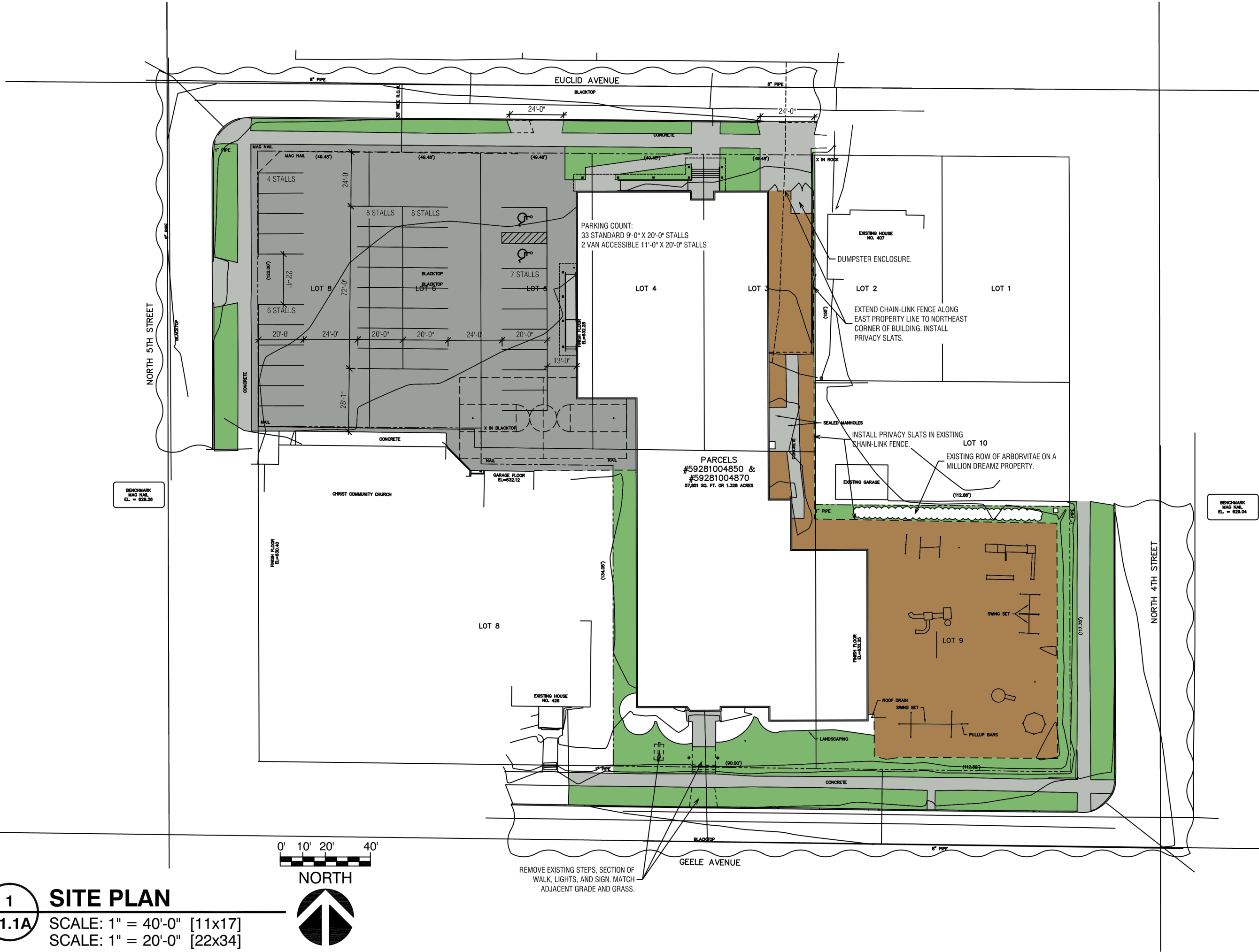
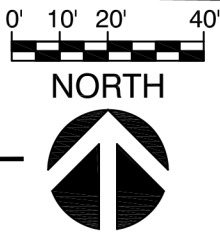
- ❖ First responders emergency foster placement
- CBRF Certification
 - Foster Parent licensing for some staff
 - Social worker on staff

- ❖ Life skills training, employment referral and possible on site employment for youth and young adults with disabilities

1
A1.1A

SITE PLAN

SCALE: 1" = 40'-0" [11x17]
SCALE: 1" = 20'-0" [22x34]



BUILDING RENOVATION FOR
A MILLION DREAMZ
CHILD CARE
418 GEELE AVENUE
SHEBOYGAN, WISCONSIN 53083

DOCUMENT DATE 04 JANUARY 2022	
REV. #	DATE REVISED
△	
△	
DRAWN BY CHRIS	CHECKED BY H
PROJECT NUMBER 101121	
SHEET DESCRIPTION SITE PLAN	
SHEET NUMBER A1.1A	
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**HAMEISTER
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INCORPORATED
823 SOUTH TAYLOR DRIVE
SHEBOYGAN, WISCONSIN 53081
PHONE (920) 457-5500 FAX (920) 457-5005

1/4/2022 11:45:21 AM BY CHRIS \\MAIN-PC\MAIN\HAI PROJECTS\ACTIVE PROJECTS\101121 A MILLION DREAMZ\DRAWINGS\101121 A MILLION DREAMZ SITE.DWG © COPYRIGHT 2022 - HAMEISTER ARCHITECTS, INC. - ALL RIGHTS RESERVED
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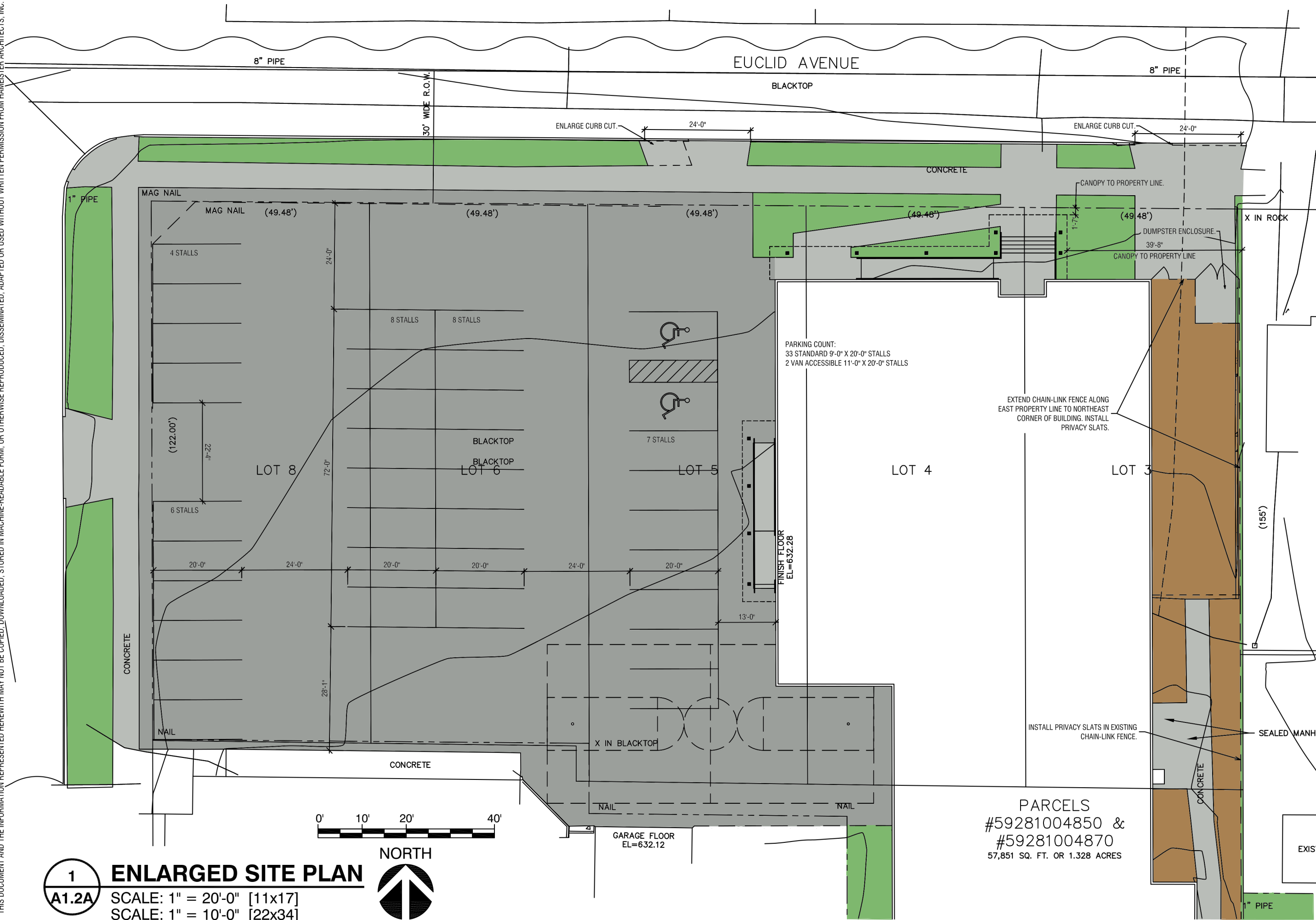
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A1.2A

ENLARGED SITE PLAN

SCALE: 1" = 20'-0" [11x17]
SCALE: 1" = 10'-0" [22x34]



NORTH



PARKING COUNT:
33 STANDARD 9'-0" X 20'-0" STALLS
2 VAN ACCESSIBLE 11'-0" X 20'-0" STALLS

FINISH FLOOR
EL=632.28

GARAGE FLOOR
EL=632.12

PARCELS
#59281004850 &
#59281004870
57,851 SQ. FT. OR 1.328 ACRES

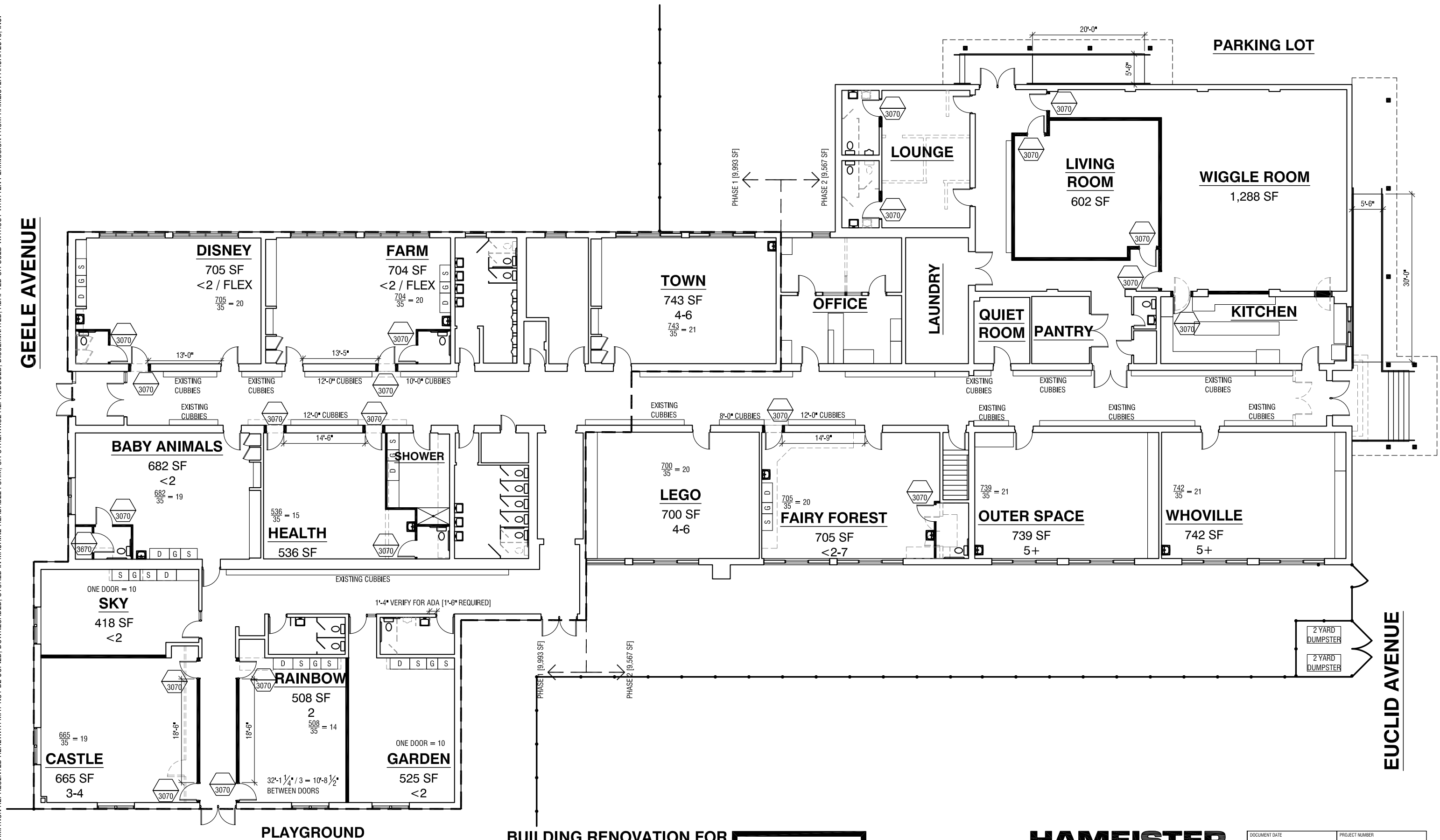
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BUILDING RENOVATION FOR
A MILLION DREAMZ
CHILD CARE
418 GEELE AVENUE
SHEBOYGAN, WISCONSIN 53083

DOCUMENT DATE	04 JANUARY 2022
REV. #	DATE REVISED
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DRAWN BY	CHECKED BY
CHRIS	H
PROJECT NUMBER	101121
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BUILDING RENOVATION FOR A MILLION DREAMZ CHILD CARE

**418 GEELE AVENUE
SHEBOYGAN, WISCONSIN 53083**

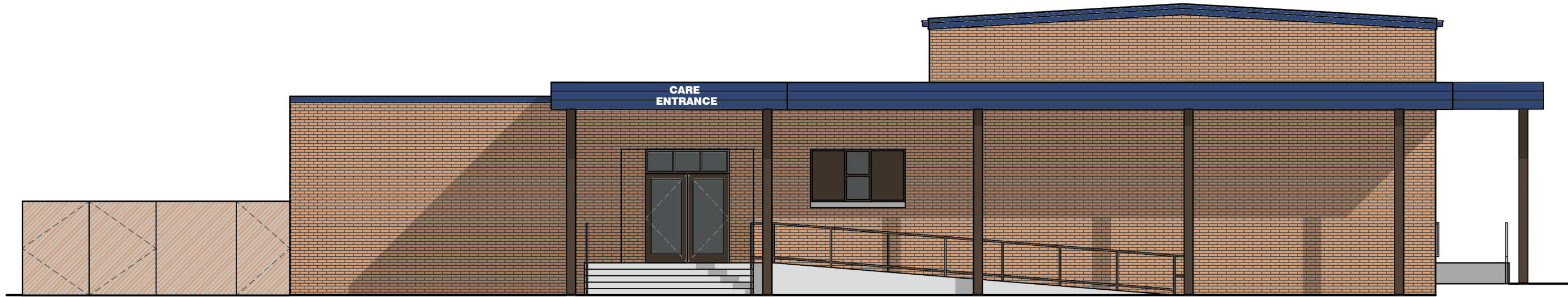
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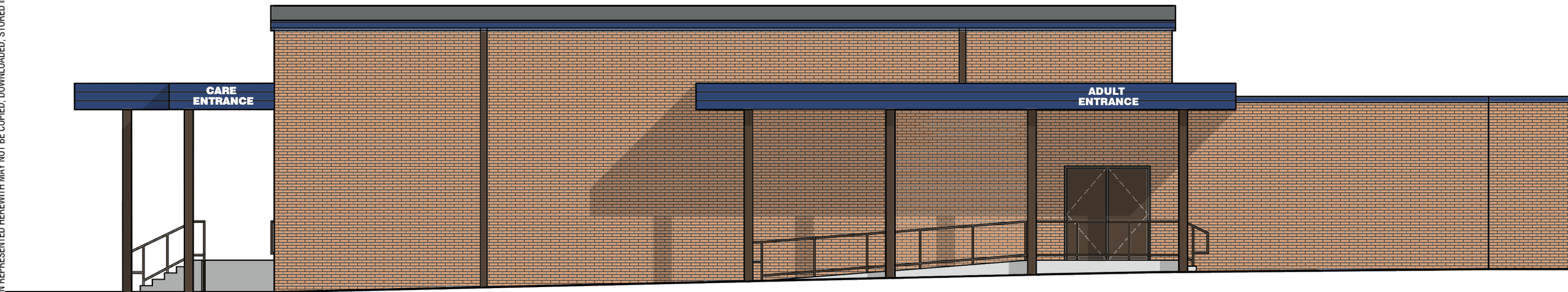
823 SOUTH TAYLOR DRIVE
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PHONE (920) 457-5500 FAX (920) 457-5005

DOCUMENT DATE 04 JANUARY 2022		PROJECT NUMBER 101121	
REV.#	DATE REVISD	SHEET DESCRIPTION FLOOR PLAN	
		SHEET NUMBER A2.1A	
			
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1
A3.1 NORTH ELEVATION
SCALE: 1/8" = 1'-0" [11x17]
SCALE: 1/4" = 1'-0" [22x34]



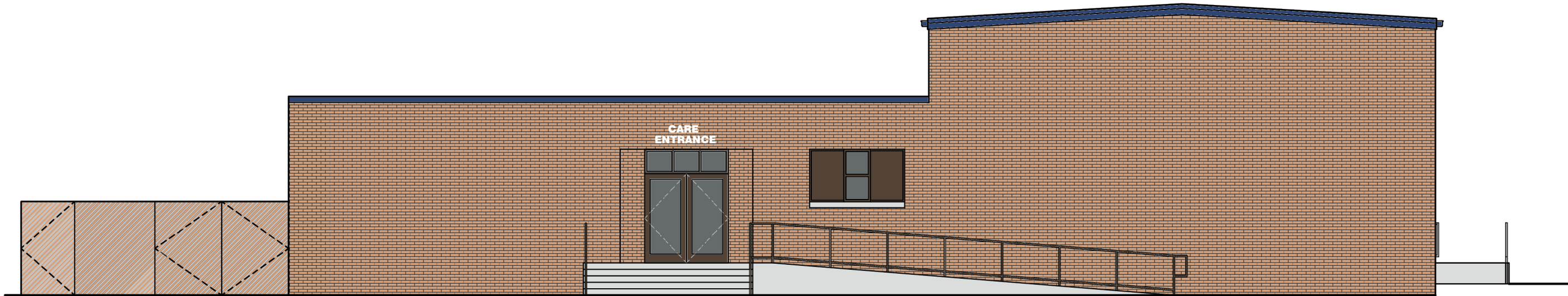
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A3.1 WEST ELEVATION
SCALE: 1/8" = 1'-0" [11x17]
SCALE: 1/4" = 1'-0" [22x34]

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BUILDING RENOVATION FOR
A MILLION DREAMZ
CHILD CARE
418 GEELE AVENUE
SHEBOYGAN, WISCONSIN 53083

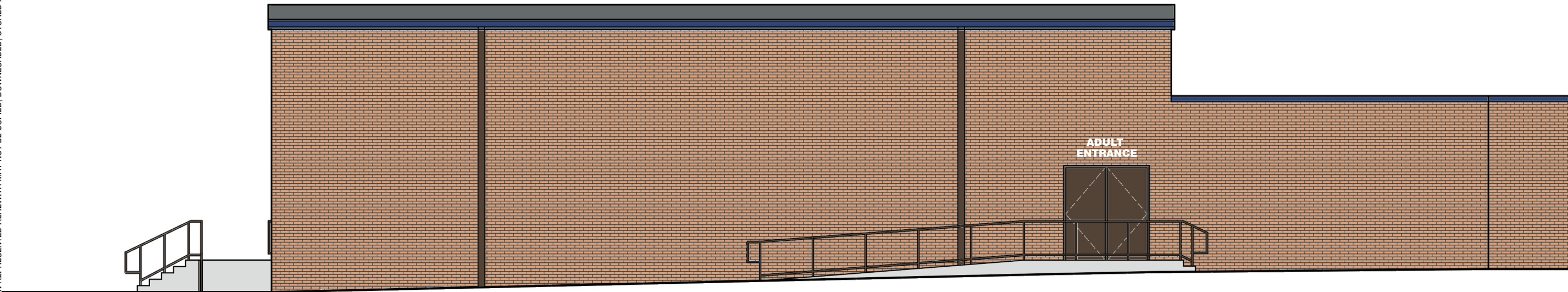
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CHRIS	H
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ELEVATIONS	
SHEET NUMBER	
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A3.1

NORTH ELEVATION

SCALE: 1/8" = 1'-0" [11x17]
SCALE: 1/4" = 1'-0" [22x34]



1
A3.1

WEST ELEVATION

SCALE: 1/8" = 1'-0" [11x17]
SCALE: 1/4" = 1'-0" [22x34]

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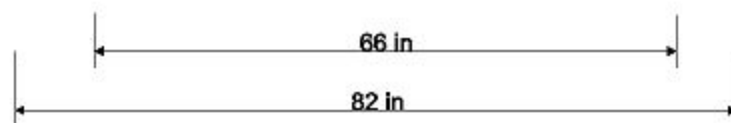
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BUILDING RENOVATION FOR
A MILLION DREAMZ
CHILD CARE
418 GEELE AVENUE
SHEBOYGAN, WISCONSIN 53083

DOCUMENT DATE	
03 JANUARY 2021	
REV. #	DATE REVISED
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A Million Dreamz - 418 Geele Avenue, Sheboygan WI 53083 (NORTH ELEVATION)



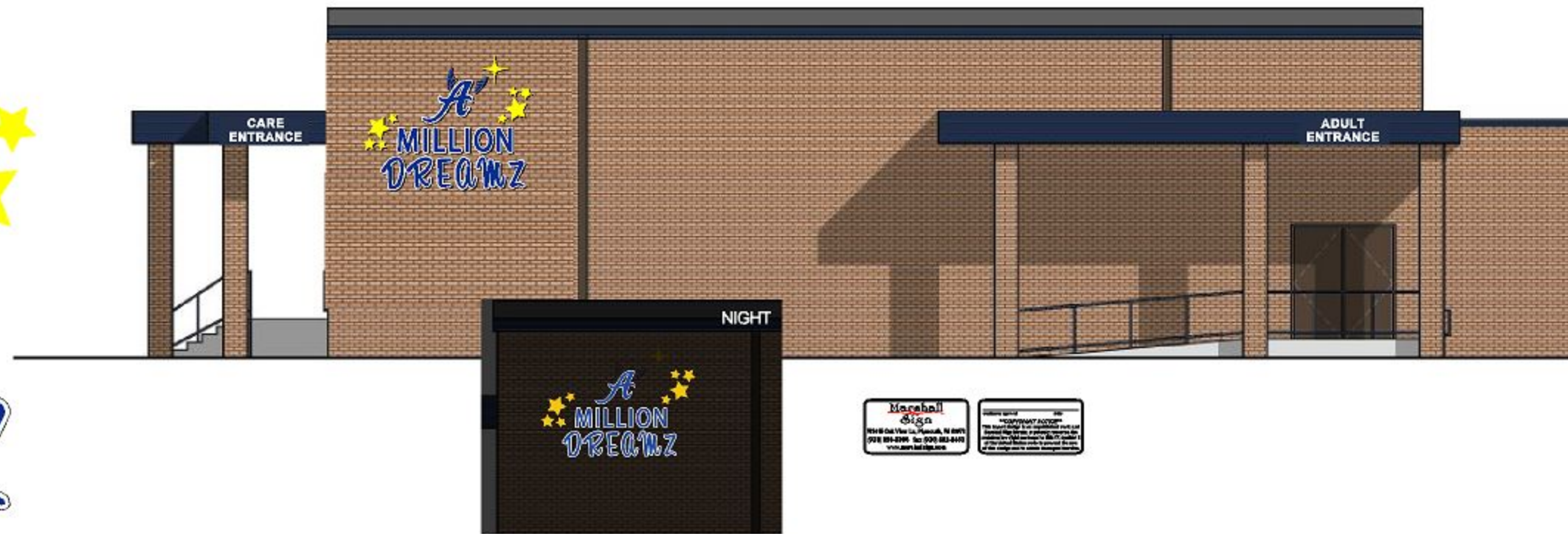
Non-Illuminated letters - 24 sq. ft. total



A Million Dreamz - 418 Geele Avenue, Sheboygan WI 53083 (WEST ELEVATION)



Illuminated letters - 32.8 sq. ft. total



















2216 N. 4th

Laura Herzog <lherzog1993@gmail.com>

Zoning Requests

1 message

Mike Sprangers <mike.sprangers@plymouthfoam.com>

Wed, Jan 19, 2022 at 3:29 PM

To: gpilling40@gmail.com

Cc: binnekoerten@gmail.com, mckeonedesign@gmail.com, lherzog1993@gmail.com, samuelzelpe@gmail.com, sue@pleasantviewrealty.com, pgruber@charter.net, Ericka Sprangers <epsprangers@gmail.com>

These are mine and Ericka's thoughts,

The arborvitae species along the north end of the playground to be removed. The hedge is a large nuisance, creating a large mess in the neighboring yard every season. Maintenance of these trees has been non-existent; no pulling out dead leaves, raking droppings from the trees, or maintaining weed growth. This is believed to be causing excessive moisture and creating a great atmosphere for insects to inhabit the area and be a nuisance.

Ideally it would be requested for the arbs to be removed and a wood fence to be installed, creating privacy between the properties. A wood fence would be the preferred method vs a chain link fence separating any residential property from the daycare's property north side of playground and east side of daycare building.

If a plant or tree is to be planted, we request that something similar to a Fine Line Buckthorn could be an option where it would produce little issues with insects, but allow for a natural fence between the properties, Fine Line Buckthorns are a great example of this and would also eliminate a large amount of droppings, eliminating a mess.

Regarding operating hours, we don't care. This isn't our business.

Lighting of entrances and exits does not need to be anything greater than what is in place currently. Again, we don't really have a preference on this, so long as it's not intrusive to our lives in our homes.

Long story short, I am not going to pursue any real action around this unless something abhorrent comes to light. If I have any concerns about anything, I will be reaching out to Angel and A Million Dreamz directly to try to come to agreements. They are going to be our neighbors, it's time to turn the other cheek and welcome them.

--

Mike Sprangers**Manufacturing Coach**

O: 920-892-3131

Plymouth Foam, LLC

An ALTOR Solutions Company

1800 Sunset Drive,
Plymouth, WI 530731 Southern Gateway Drive,
Gnadenhutten, OH 44629

plymouth foam

Operation limited to 12 Hours daily for 1st 18 months after the whole building is in use.

**Security: All entrances to be lighted all night 7 days a week- building occupied or not.
All fencing along street to be at least 50% open.**

Traffic: All traffic during hours of darkness shall enter on Euclid and exit onto 5th street.

view 24/7/365 Day care facility concerns

message

Michael Bell <40msbeil@gmail.com>

Wed, Jan 19, 2022 at 7:44 PM

to: Glenn Pilling <gpilling40@gmail.com>

New 24/7/365 Day care facility concerns

The Building

Seeing this facility will have special needs children as stated by their director,

Will our city make sure all the children attending this day care are protected by all the laws of Sheboygan- Wisconsin and the federal government?

1. ADA certified facility both inside and outside.

a. Accessibility- Entrances, Bathrooms, Doorways, Dining areas, Sleeping areas, and outside playgrounds.

2. How does the city check for the following in old buildings?

a. Mold-Formaldehyde-Radon- and other concerns do to a building sitting empty for a long period of time?

3. Asbestos-who makes sure this facility does not have Asbestos?

a. This weekend this group has asked for volunteer's to help remove Carpet- and Ceiling tiles. Carpet does not have asbestos, but the The adhesive that holds the carpet to the tile floor does. So if you pull up the tile when removing the carpet and break the tile there could also be asbestos in the tile considering the age of the Building.

Ceiling tiles could also contain asbestos.

Sent from my iPad

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by A Million Dreamz, Inc. to operate A Million Dreamz Childhood Education and Care Center at 418 Geele Avenue (former Sheboygan Christian Elementary School). MR-8 Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 21, 2022

MEETING DATE: January 25, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

A Million Dreamz, Inc. is proposing to operate a childhood education and care center at 418 Geele Avenue (former Sheboygan Christian Elementary School). The applicant states:

- The former Sheboygan Christian School was built on this site in 1951, adding to the building in 1956, 1967, and 1992. The school originally included grades 1 through 12 and was operating as a 3K through 5th grade in June of 2021 when they listed the building for sale.
- The opportunity to purchase this location arose in June of 2021. Upon inspection of the school, it was evident that it was a perfect location for our planned childhood education and care center. With the size of the classrooms, we are able to accommodate a variety of ages of children and work toward meeting the huge need in the community. The kitchen, gross motor space and offices are all needed to meet the plans that we have for the best care for the children. It is located in a neighborhood, a wonderful location for children to spend time. Located on a bus route, it is accessible to families who do not have independent transportation.
- We are proposing to operate a childhood education and care center. Once the center is ready to open, sometime after April 2022, we will be opening several classrooms to begin and hope to grow to 24 hours a day and seven (7) days a week. The building will have 12 classrooms with a varied capacity dependent on licensing and ages of children in care. In addition to the care center, we will be offering other programs over time including parent support groups, educational classes for parents and continuing education for staff, referral to outside agencies and more.

- We will begin operations in the southeast corner with the first four (4) classrooms in late spring of 2022. We will then open more shifts and classrooms as our staff and clientele grow. Eventually, we plan to grow to fill every classroom and utilize the entire building.
- We will be providing early childhood education and care for infants and children up to age 17. Children over the age of 14 will be in care due to a special need such as Cerebral Palsy or Downs Syndrome.
- Indoor activities will include early childhood education, play, meals and snacks, naps and sleeping during nighttime. Additionally, we will have programs for family support and education and staff education eventually.
- Outdoor learning and play will be within the fenced areas currently designated for play on the east side of the building. These areas include the older child playground (playground area) that has been there for many years as well as the area north of the playground that will be made age appropriate and safe for toddlers and young children to play (the tot lot). Additionally, we hope to have raised bed vegetable gardens on the west side of the building so that the older children can learn about gardening and healthy eating.
- Outdoor activity will include free play time, organized activities and games. Occasionally a fun and interactive lesson may take place outside such as investigating out surrounding or a messy art activity. All outside play time is supervised and must follow the state of Wisconsin Department of Children and Families ratio requirements for childcare. Outside time will be during daytime and children will not be outside playing during the nighttime hours.
- We will have care for overnight hours to meet the needs in the community that are currently unavailable. Infants under two (2) years of age will be required to be in cribs for sleeping. Older children will be using childcare cots inside the classrooms for sleeping, which is the same as for nap times during standard daycare hours.
- Childcare regulations are strict. The highest level of quality care requires space and accessibility. It is difficult to find a location that has all that is needed for an operation with as many levels as we plan to provide. ADA access, plumbing fixtures, gross motor space, outdoor play areas, kitchen facilities and staff offices and break space are all needed to meet the requirements of the state regulations. These are difficult to find and costly to build.
- The opportunity that this location provides is one that is second to none in the area. Our organization has searched for three years for the perfect location. This building has been a haven for children since it was built in 1951 and we hope to continue that warm and safe feeling by utilizing it for the very best care that we can provide. We believe that it is the best use of the space and the best situation for our center.
- Operation of the facility will be within the strict regulations of the State of Wisconsin Department of Children and Families licensing code 251. Angel Berry is to be the Center Director and we have hired an Assistant Center Director, Leah Andrews. Both women are experienced and educated with all the requirements met to direct a childcare center under the state regulations. Before opening, we will be hiring staff members. Each person who is employed with A Million Dreamz must pass a fingerprint background check. Every staff

member working with the children in care must have the required classes and certifications appropriate to the staff's position.

- Licensing requirements to obtain a license for a group childcare center in Wisconsin include a high school diploma, a qualification in preservice training credits (different class combination options are given) and completion of at least one (1) class toward the Wisconsin Child Care Administrator Credential. Angel Berry and Leah Andrews are both on their way to completing the Administrator credential through Northeast Wisconsin Technical College as well as having a multitude of other credit and non-credit classes in early childhood education through Lakeshore Technical College and online sources through the State of Wisconsin Registry Network. (This organization monitors the qualifications of teachers in the early childhood field) Leah has worked in Head Start and a childcare facility "Little Angels" in the past and Angel ran a childcare facility from her home for 10 years.
- Hours of operation will start with what is needed for the first families, beginning one (1) classroom and one (1) shift at a time. We will expand to add additional shifts and classrooms as we are able to secure qualified staff members to join our organization. We hope to be able to add two (2) classrooms, on varying shifts, each month.
- Currently, we have three (3) employees one (1) full time and two (2) part time. This will increase when we get ready to open classrooms. Each classroom will need to have two (2) teachers. There are 12 classrooms in the building. We will also have director staff, assistant director staff, kitchen staff, cleaning staff and substitutes.
- The number of clients and the number of children per room will be dependent on community need and the age of the children. Licensing will determine the number of children that we will be licensed for at any one (1) time. This will be based on square footage requirements. It is our estimation that the number of children allowed may be up to 200 children to allow for crossover of shift times. There will likely be less than that number in care due to the restrictions of the number of infants per space.
- A Million Dreamz will be the sole tenant and will be responsible for the management and daily operations of the center. The benefits to the community will be immense. Access to quality, affordable childcare is a struggle in the area and there are 286 children on wait lists for care in Sheboygan County (data as of October 2021). Allowing for access to childcare, this will assist families in the struggle to find gainful employment, raise their wages and skill sets, gain a leg up from financial difficulties and open doors to opportunities currently out of reach. For companies in the area, there is a struggle to find reliable and available employees, specifically on off shifts where most entry level positions reside. Staffing shortages abound and the issue of childcare continues to be at the forefront of availability for employees.
- The long-term benefits of quality childcare are great. Studies have proven that the majority of brain development occurs in the first six (6) years of life, yet many families struggle to find quality care available that is flexible and affordable.
- If standard childcare is in a national crisis, then care for children with disabilities and special needs is a complete catastrophe. There are currently no licensed spaces for childcare for children between the ages of 15 and 17. This includes children who have severe cognitive

delays that have a child like mind and need constant care. There are no supports for these families. We know of no childcare currently for children with severe medical needs such as cerebral palsy or children with significant autism behaviors. We intend to fill that gap.

Changes to the property include:

- We are moving the main entrance from Geele Avenue, where there is a lack of parking availability and a hazard to families who would need to cross the street, to the northside of the building on Euclid Avenue.
- On the northside we plan to create greenspace between the center entrance doors and the street and divert all traffic to the current parking lot.
- Drop off and pick up will take place at the northside entrance, with cars remaining in the parking lot during that time.
- Lights in the parking lot will be carefully placed to prevent light pollution from reaching our neighbor's homes.
- There will be instructions in our parent and staff booklets to maintain the quiet atmosphere of the neighborhood during the overnight hours.
- We have chosen to leave the playground fence as it stands to be unobtrusive to the neighborhood view. However, we are adding privacy slats to the dumpster enclosure and the tot lot to add privacy to the backyards of our closest eastern neighbors.

Changes to the building include:

- Minor alterations will be done to the outside of the building and will be in keeping with the current brick aesthetic.
- Interior renovations include adding bathroom fixtures, additional doors to some classrooms to meet current fire code regulations, the addition of a shower room to assist with any needs that may arise.
- The kitchen will be upgraded to conform with the current commercial kitchen codes.
- The current gymnasium space will be divided into two (2) large rooms, one (1) for gross motor play and one (1) for adult meetings such as parenting support groups and staff education classes.
- The current locker rooms will be combined into one (1) staff lounge with two (2) bathrooms within. The two (2) southeast classrooms will be divided into four (4) classrooms and a hallway to the exit doors. Three (3) of these rooms will be specific for nurseries for infants and one (1) for young children.
- The current boy's restroom off the east corridor will be converted to a single use ADA restroom with adult changing table. The main hall bathrooms will have the doors widened to become accessible and will have one fixture removed to make space for an ADA compliant stall.

- Additional toilet rooms will be added to four (4) classrooms and sinks to every classroom to meet the needs of all ages of children and the requirements of the Department of Children and Families Group Childcare Code.
- New HVAC, plumbing and fire suppression will be added. The current boiler system will be removed.
- Signage will be added to the north and west sides of the building. We are emphasizing the entrance on the Euclid side and particularly the parking lot on the west side as the location for all those who are driving to enter.

Changes to the property include:

- The addition of concrete ramps at the north and west entrances.
- Potential canopy covering each ramp is dependent on funding.
- The cyclone fence to the east of the building will be extended to encompass a refuse enclosure at the north side of the building and there will be privacy slats added to the fence from the refuse enclosure to the corner of the fence line where it turns toward the east.
- The fence enclosing the playground will remain open.
- The southside entrance will have signage removed, steps and partial sidewalk will be removed and the southern facing side will have new landscaping added.
- The northern side of the building will be changed from the currently broken pavement to a walkway for emergency use, a walkway to the parking lot and the attached ramp to parking lot.
- Landscaping will be added to brighten up the entrance.
- We will be utilizing the current parking lot on the northwest corner of the property. No additional parking is needed. Lighting will be added.
- Parking lot entrance will remain on N. 5th Street and the exit will be on Euclid Avenue to maintain flow and ease of traffic.

Million Dreams is proposing a phased use of the facility that will include the following planned programs:

Phase One

- ❖ Childcare: all inclusive, 24 hours a day, 7 days a week.
 - Offering sliding scale and scholarship programs to those in financial need
 - Flexible schedule to aid families who need few hours of care or occasional care
 - ADA compliant to breach boundaries
 - Hire additional, qualified staff to assist with any needs of children in care

- ❖ Neutral parental drop off location for divided families
- ❖ Young child clothing and need exchange
 - Donate gently used outgrown items
 - Trade for credit toward larger sizes
 - Diapers, formula and baby food
 - School items for older children
 - Donations from community

Phase Two

- ❖ Parent Support Groups: multiple groups for different types of families; working with area volunteers and other organizations to provide guided groups
 - Families with special needs members
 - young parents
 - parenting teens
 - single parents
- ❖ Respite care for youth and young adults with disabilities to allow permanent caregivers time to focus on their own needs and promote healthy family dynamics
 - Applying for respite payment through Sheboygan County
- ❖ Big Helpers for Little Needs
 - Service that provides mentoring and assistance to children with special needs in a variety of community settings to avoid exclusion due to a lack of qualified individuals available on-site to assist them
- ❖ Guardian Angels: Advocacy and support for critical parenting situations
 - IEP meetings
 - Therapy initiation
 - Disability Determination Application
 - Volunteers supporters
 - Emotional support, not legal guidance
- ❖ Parental mentoring / Parent education classes
 - Budgeting
 - Parenting techniques
 - Cooking for families
 - Credit building
 - 1,2,3 Magic
 - Creating your own chore chart

- Healthy living tips

Phase Three

- ❖ Therapy location and access through outside contractors (perhaps leading to employees of AMD)
 - Physical
 - Occupational
 - Speech
 - Art
 - Music
 - Sensory Integration
- ❖ STUFF: Supplying Tangibles to Underfunded Families
 - Donations from the community
 - Direct donate from giver to receiver
 - Small amounts stored
 - Vouchers for items from local thrift stores
 - Vouchers for city transportation and/or gas cards

Phase Four

- ❖ First responder's emergency foster placement
 - CBRF Certification
 - Foster Parent licensing for some staff
 - Social worker on staff
- ❖ Life skills training, employment referral and possible on site employment for youth and young adults with disabilities

STAFF COMMENTS:

The Plan Commission and Common Council recently approved the applicants request to rezone the property from Suburban Residential (SR-5) to Mixed Residential (MR-8). The applicant made this request in order to be able to submit a conditional use permit to the Plan Commission to propose operating a day care facility from 418 Geele Avenue. A daycare facility is a permitted conditional use in the Mixed Residential (MR-8) zone. The applicant believes that a daycare facility is best use of the property because the use is very similar to the former school use that fit in well with this residential neighborhood.

The front entrance from Geele will be changed because this will no longer be the main entrance to the facility. The applicant intends on removing existing steps, a section of sidewalk (private property and within the Geele R-O-W), some lights and the sign so it no longer gives the impression that this is the main entrance. The applicant indicates that they are doing this

because Geele Avenue is fairly thin, does not permit parking and is not conducive to safe pickup and drop-off of children.

The applicant is proposing to make some changes at the main entrance to the facility which will be along Euclid Avenue. The present driveway and much of the existing paved surface will be replaced with landscaping/grass, sidewalk, ADA ramp and possibly a copy structure to cover the ramp. This will keep most of the drop off and pick up traffic in the parking lot and minimize the amount of vehicular traffic that could previously access this entrance. The driveway at the northeast corner of the property will remain because that driveway will be used to access the dumpster enclosure. There is a bit of broken curb that will need to be replaced.

The applicant is proposing to add fencing at the northeast corner of the site adjacent to the single-family residence at 407 Euclid Avenue. The fencing is both for the dumpster enclosure and to screen the tot lot portion of the playground. The applicant will want to make sure that the fence is four (4) feet and 50% open in this street yard setback area (from the northeast corner of the building to the street yard property line). The six (6) foot tall fence may start at the northeast corner of the building so trucks or vehicles that use this driveway can clearly see pedestrian or vehicular traffic that may be coming from the east on Euclid (6 foot tall fence in line with the northeast corner of the building).

There is an existing fence between the Million Dreamz property and the single-family home located at 2216 N. 4th Street (west side of home property). The applicant is proposing to add privacy slats in this portion of existing fencing as well. The tall row of arborvitae along the south side of the 2216 N. 4th Street is to remain as is.

Applicant has indicated that they will be adding new ADA ramps along the main entrance of the building along Euclid Avenue. The applicant is proposing to construct a canopy over the ramps to provide additional coverage to clients during inclement weather. Construction of the canopy is included but may or may not occur dependent on funding.

The parking lot will be restriped and will be used very similar to how it has been used in the past in terms of access, parking, etc. There are approximately 33 parking spaces including tow (2) handicap spots.

The applicant is proposing the following signs:

- One (1) nonilluminated, individual letter wall sign that is 24sf facing Euclid Avenue (northeast corner of north wall) that is advertising “A Million Dreamz.” Although this sign is not interior lit, it will have adjacent light fixtures illuminating the sign at night.
- One (1) interior lit, individual letter wall sign that is 33sf facing the parking lot and N. 5th Street (northwest corner of west wall) that is advertising “A Million Dreamz.”
- The applicant shows some auxiliary signage such as “Care Entrance” and “Adult Entrance” adjacent to the entrance doors on the north and west walls.

The applicant will need to work with the building inspection department regarding the proposed development phases – the proposed uses and the areas of the building to be occupied for each phase. Occupancy for future uses and buildout shall be granted only at such time as all permits and codes have been met permitting an occupancy permit to be issued for that particular use and section of the building.

The facility at 418 Geele Avenue was previously located on two (2) parcels but the applicant has recently provided documentation that has consolidated the parcels into one (1) lot.

Staff did receive input from several neighbors:

- Michael Spranger of 2216 N. 4th Street (rear yard adjacent to the east side of the building and south yard adjacent to the playground) stated that he would like to see the tall arborvitaes along the north end of the playground removed and a wood fence or landscaping such as Fine Line Buckthorns installed. Mr. Spranger indicates that the arborvitaes have not been well maintained over the years.
- Glenn Pilling of 330 Geele Avenue is requesting:
 - The hours of operation be limited to 12 hours daily for the 1st 18 months after the whole building is in use.
 - All entrances be lighted all night seven (7) days a week whether the building is occupied or not.
 - All fencing along the street to be at least 50 % open.
 - All traffic during hours of darkness shall enter on Euclid and exit onto 5th Street
- Michael Beil of 333 Clifton Avenue had several concerns with regards to:
 - Protection of special needs children.
 - ADA certified facility and accessibility.
 - Concerns of mold and asbestos – how are the applicants properly addressing these issues especially since they are having volunteers doing the demolition. If hazardous materials have been identified, how are these materials being removed from the building and transported to a hazardous waste facility (materials not just thrown into the dumpsters).

The Plan Commission may want to have the applicant address the following questions:

- How many employees and staff will a Million Dreamz start with? When do they expect to increase employees, number of children, programs, etc.?
- How does a Million Dreamz plan on utilizing the facility? What is the expectation as to what sections of the building will be used in what order as the business increases in size?
- The applicant states “Outside time will be during daytime and children will not be outside playing during the nighttime hours.” What specifically does the applicant mean when they state children will not be outside in the nighttime (especially during the summer).
- When does the applicant expect to operate over night hours?
- Please explain A Million Dreams childcare for children over 14.
- How does the parking lot work for a Million Dreamz and the existing church who utilizes the parking lot for their services and activities?

- The applicant's state that a couple of the initial employees are working to obtain their child care certifications. When do the applicants actually receive their certifications?
- What experience does A Million Dreamz have in running such a large operation and maintaining such a large facility/property?

The applicant is requesting the following land use variances:

- To have a total of 35 parking spaces – Minimum parking required is one space per five students, plus one space for each employee on the largest work shift.

Applicant is proposing to use the existing parking lot as it has been used by the school for many years.

- To construct a new entrance canopy along Euclid Avenue with a setback of 1.5 feet (stair canopy), a setback of eight (8) feet for the canopy along the north side of the building (over sidewalk/ramp) and a setback to the side property line of 39 feet - Minimum setback is 20 feet to the front/street property line and 50 feet to a residential side property line.

Applicant indicates that the canopy adds nice detailing to this main entrance of the building but will also provide cover to people entering the facility from the parking lot located on the west side of the property.

- To install two (2) wall signs totaling 57sf – In a residential zone, a business may have two (2) signs with a maximum of 32sf.

Applicant is proposing two (2) wall signs totaling 57sf. One (1) sign is 24sf facing Euclid Avenue (northeast corner of north wall) and one (1) that is 33sf facing the parking lot and N. 5th Street (northwest corner of west wall). This a large building and the total of 57sf is necessary to effectively advertise the location to clients searching for the facility. The amount of signage appears to be similar in design (individual letter) and approximate square footage of the previous Sheboygan Christian School signage.

- Applicant is proposing not to add any additional landscaping along the properties to the east – Applicant shall meet all landscaping and bufferyard requirements.

There is a row of tall arborvitaes along the south side of the residence at 2216 N. 4th Street (side yard). The applicant is proposing to add fencing and slatting along the residence at 407 Euclid Avenue (side yard) and to install slatting in the existing fencing located at the west end of the property at 2216 N. 4th Street (rear yard) where the land is presently paved.

ACTION REQUESTED:

Staff recommends approval of the conditional use and exceptions subject to the following conditions:

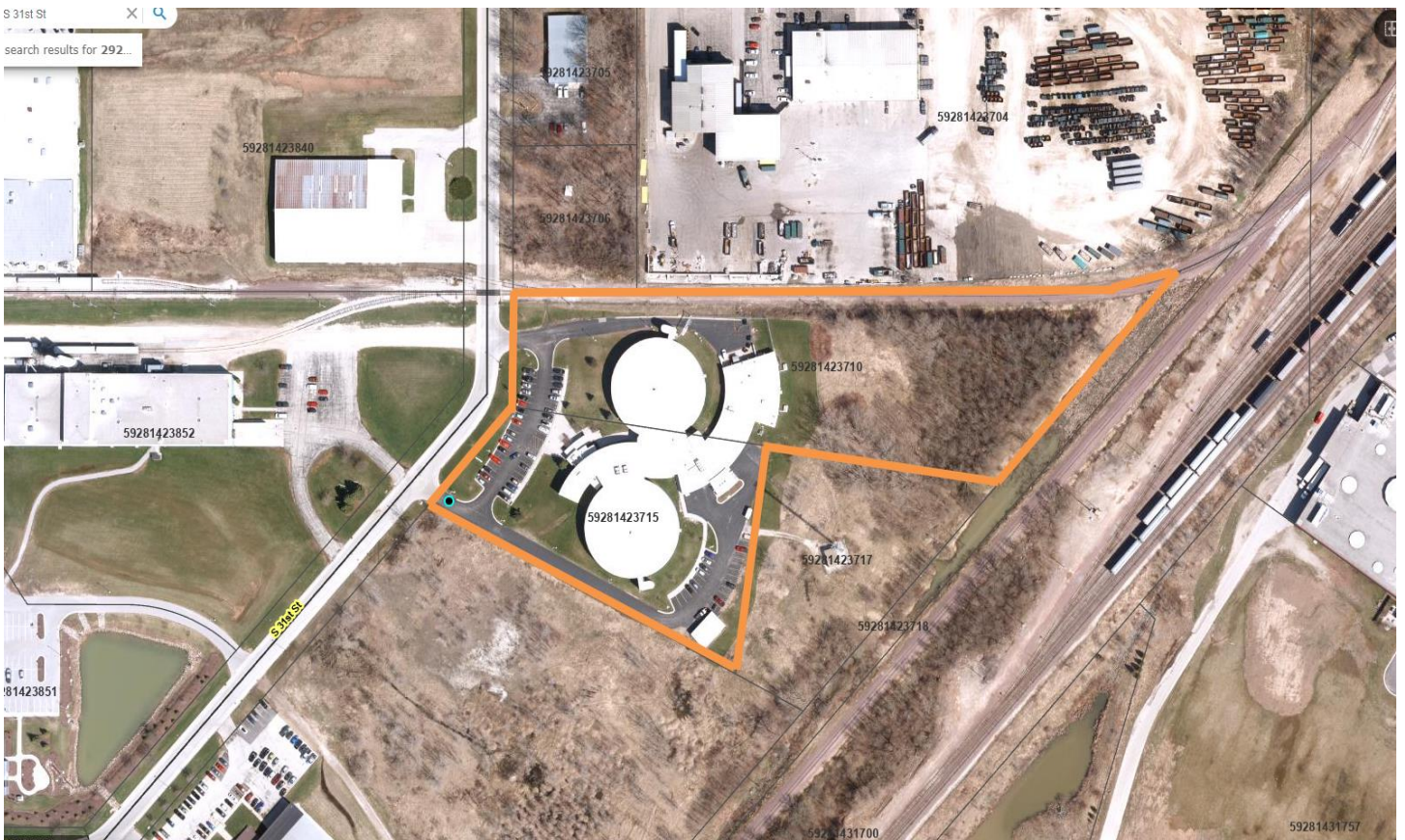
1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin, etc.

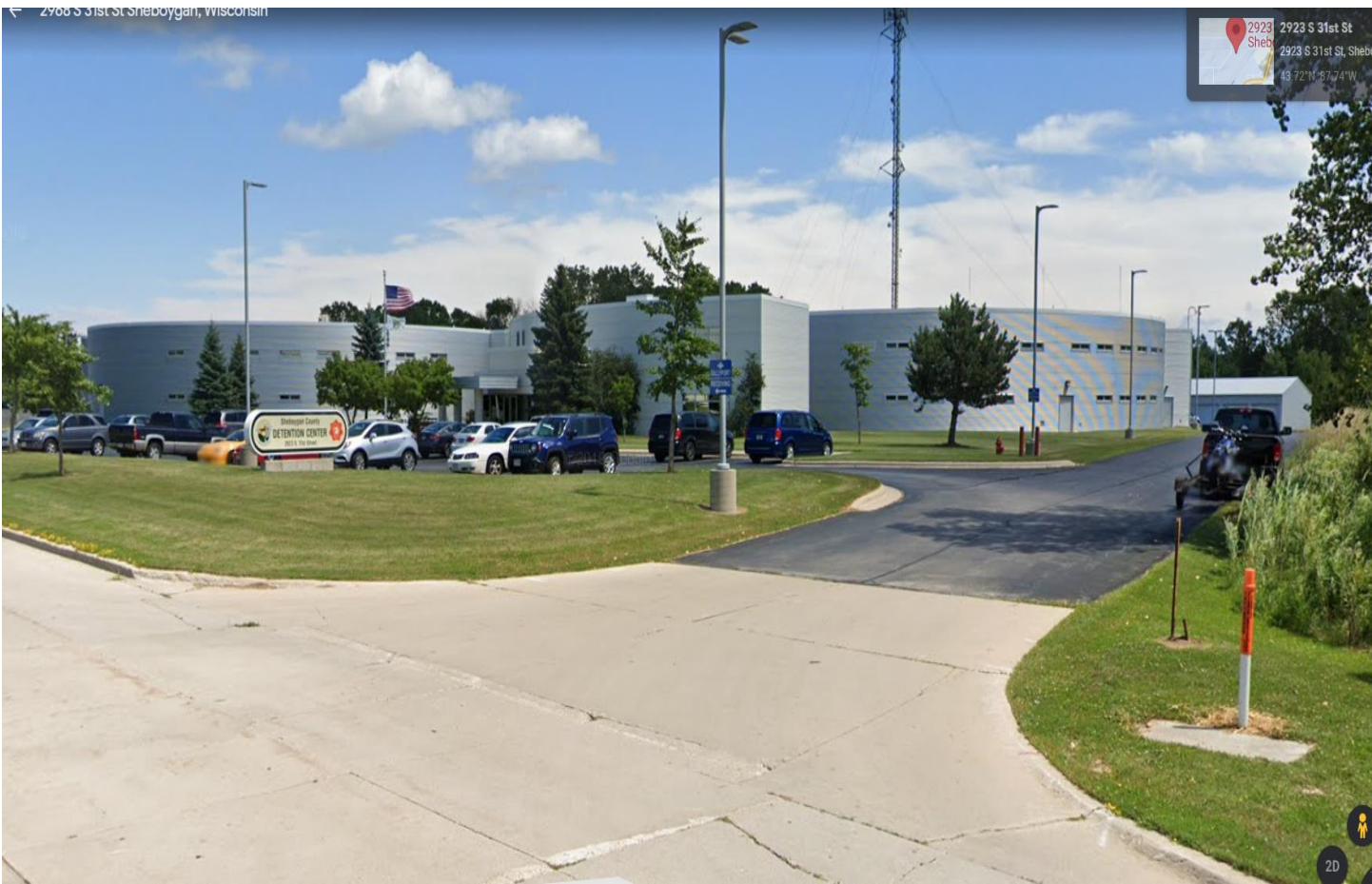
- (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant is responsible to ensure that the proposed family enrichment and child care center uses are meeting all Federal, State and Local codes.
 3. Applicant shall work with the building inspection department regarding the phased development and use of the building. Applicant may only use the portions of the building that have been issued occupancy permit.
 4. If required, submittal/approval of a proposed storm drainage plan prior to building permit issuance.
 5. If required, submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
 6. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Dumpster enclosure shall be completed prior to occupancy permit.
 7. Outdoor storage of materials, products or equipment shall be prohibited.
 8. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
 9. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
 10. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
 11. Applicant shall to install individual letter signs – no cabinet or flat panel signs.
 12. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is 8 feet. Sign shall be located outside of the 15 foot vision triangle.
 13. Applicant shall remove all signage referring to previous uses.
 14. Fencing shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance. Applicant shall work with staff with regards to constructing appropriate and well-designed fence and shall obtain the necessary permits prior to installation. If staff has any concerns with proposed fence design, the matter may be brought back to the Plan Commission for their consideration.
 15. Any fencing to be installed along the east side of the property in the front/street yard shall be four (4) feet tall and 50% open (adjacent to 407 Euclid).
 16. The installation of the six (6) foot tall fence on the east property line shall start/terminate at the northeast corner of the facility at its northern most point (no closer to the street yard than the northeast corner of the facility) so trucks or vehicles that use this driveway can clearly see pedestrian or vehicular traffic that may be traveling east along Euclid Avenue.
 17. Applicant will install privacy slatting in the new section of six (6) foot tall fencing to be installed and within the existing fence along the rear yard of 2216 N. 4th Street (slatting starting at the northeast corner of the child care facility and terminating at the southwest corner of 2216 N. 4th Street).
 18. All areas used for parking/maneuvering of vehicles shall be paved.
 19. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
 20. Applicant shall remove existing drive aisle in front of the new main entrance and shall install landscaping and sidewalk/ramps as depicted on the approved site plan. Applicant

- shall also replace and damaged or broken Euclid Avenue curbing in these driveway and entrance areas.
21. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
 22. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
 23. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
 24. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
 25. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
 26. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
 27. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
 28. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
 29. If there are any exterior alterations (other than the newly proposed entrance canopy along Euclid), those alterations will be reviewed by the City of Sheboygan Architectural Review Board.
 30. Any future changes in use will require City of Sheboygan review/approval such as conditional use permit, site plan, etc. (daycare facility to a different use).
 31. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments









PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Skyline Health, LLC d/b/a Nature's Best Market / Eighth Street Investments, LLC

ADDRESS: 604 N. 8th Street, Sheboygan, WI 53081

E-MAIL: dgass@rohdedales.com

PHONE: 920-458-5501 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Nature's Best Market

ADDRESS OF PROPERTY AFFECTED: 604 N. 8th Street

LEGAL DESCRIPTION: The East 5 feet of Lot 9 and all of Lots 10, 11, and 12, EXCEPT the East 5 feet of the North 52.45 feet of Lot 9 and the West 1.80 feet of the North 52.45 feet of Lot 10, Block 151, Sheboygan Original Plat, according to the Plat thereof, in the City of Sheboygan, Sheboygan County, Wisconsin.

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Vacant

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Full service grocery and health food retail store.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: N/A

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? The City has wanted a downtown grocery market for many years. The increase in residences downtown now creates additional demand.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? No.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? See attached.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Eighth Street Investments, LLC

ADDRESS: 7722 Hawthorne Rd., Mequon, WI 53097 E-MAIL: pweaver832@aol.com

ARCHITECT: GCA Galbraith Carnahan Assoc.

ADDRESS: 6404 W. North Ave., Wauwatosa, WI 53213 E-MAIL: _____

CONTRACTOR: Project 4 Services, LLC

ADDRESS: 7722 Hawthorne Rd., Mequon, WI 53097 E-MAIL: pweaver832@aol.com

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

1/4/22
DATE

PAUL WEAVER
PRINT ABOVE NAME



APPLICANT'S SIGNATURE

1/4/22
DATE

Jon S Krasselt II
PRINT ABOVE NAME

SITE NARRATIVE - CONDITIONAL USE APPLICATION

January 4, 2022

PROJECT NAME AND ADDRESS:

Skyline Health LLC d/b/a Nature's Best Market
604 N. 8th Street
Sheboygan, Wisconsin 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is described as: The East 5 feet of Lot 9 and all of Lots 10, 11, and 12, EXCEPT the East 5 feet of the North 52.45 feet of Lot 9 and the West 1.80 feet of the North 52.45 feet of Lot 10, Block 151, Sheboygan Original Plat, according to the Plat thereof, in the City of Sheboygan, Sheboygan County, Wisconsin.
- Lot size – 0.629 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

UC-Urban Commercial

EXISTING SITE CONDITIONS/LAND USE:

Vacant

PROPOSED LAND USE/LOT COVERAGE SITE DATA:

SITE SELECTION:

LANDSCAPE REQUIREMENTS:

- Landscape plan to comply with the requirements of section 15.105 (e) 4 C. Clean up and replant existing landscape areas.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards shall comply with City of Sheboygan Zoning Ordinance, to ensure this development will not become a nuisance to neighboring property owners.

SITE LIGHTING:

Will utilize existing lighting and add lighting under a canopy entrance.

ARCHITECTURE:

See architectural renderings.

VARIANCE REQUEST/VARIANCE DESCRIPTION:

None.

ECONOMIC IMPACT:

- Full service grocery and health food retail store with an emphasis on organic and locally sourced produce.
- 6-8 full-time employees.
- Activates a downtown under-utilized location and brings people/customers to the downtown area.



NATURE'S BEST MARKET

Nature's Best Market is seeking to reimagine the Wisconsin Bank & Trust building located at 604 North 8th street. The building, originally constructed in the 1960's features the prominent use of an exposed aggregate, precast concrete structure. The bays of the precast concrete structure are infilled with glass and a unique square brick set in different planes.

Changes being proposed are focused in two areas and geared towards transforming the property into a more retail oriented building. On the corner of North 8th Street and Center Avenue five bays of the building will have the brick cladding removed to create large openings on the street face. These will be infilled with a storefront glass system to help better visually connect the store with the pedestrian experience and to enliven the street corner with activity. The color of the storefront framing will match the existing, adjacent, window frames that are to remain.

The second, and larger change is located on the West façade of the building where we are proposing removing a portion of the drive through canopy to create a new entrance vestibule for the store. Some of the existing steel of the canopy will be reused in the design and clad in a clear finished cedar tongue and groove decking with a black prefinished metal fascia.

Below the re-clad canopy, we will be constructing a full height glass entry wall with automatic sliding doors. The frame for this portion of glass will match the fascia. The western wall of the drive through teller area will be removed to facilitate entry into the store and the South and North walls of that area clad in a clear finished cedar tongue and groove siding to match the underside of the canopy.

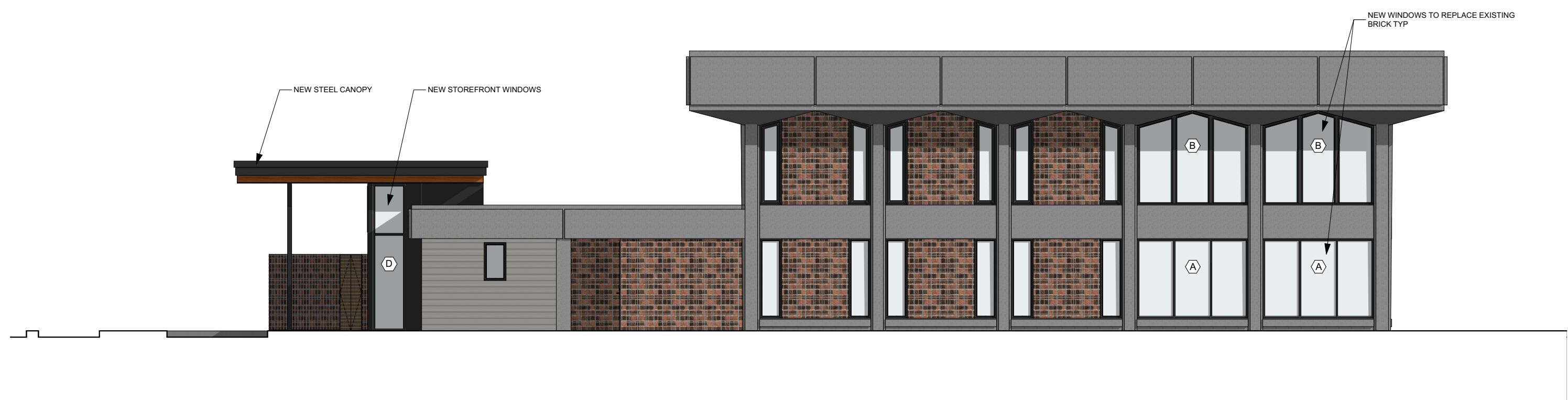
Changes along the west side are geared towards creating a larger, more prominent entry on what was once the "back" of the building. As this façade faces the parking for the property, it will functionally become the new front of the building and must adapt to reflect that reality.



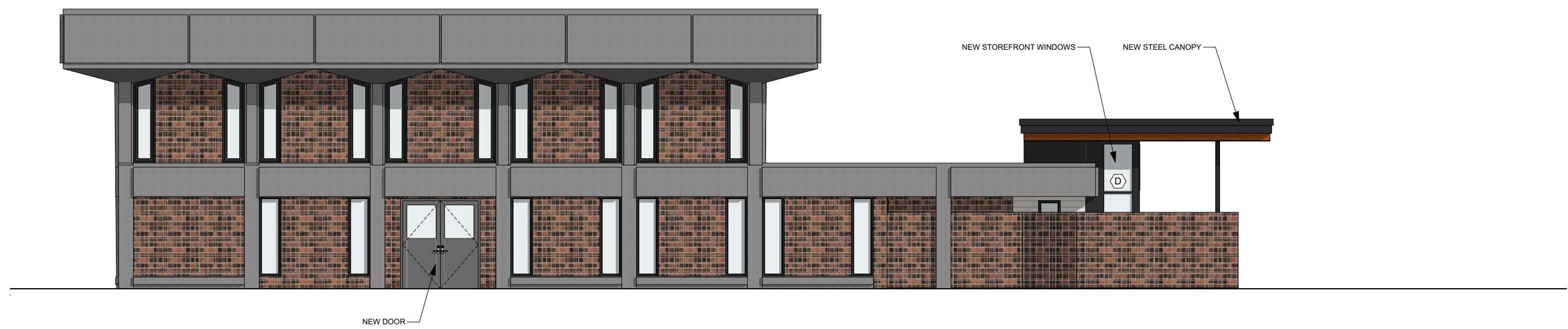
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



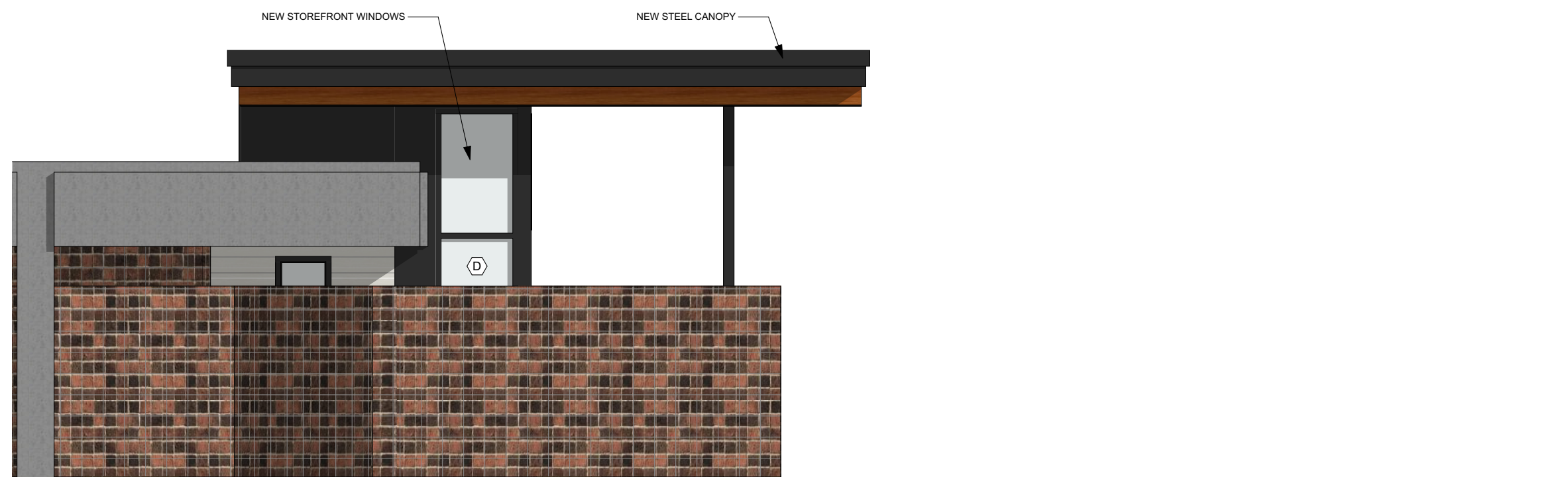
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION ENLARGED
SCALE: 1/4" = 1'-0"



6 SOUTH ELEVATION ENLARGED
SCALE: 1/4" = 1'-0"



7 NORTH ELEVATION ENLARGED
SCALE: 1/4" = 1'-0"



6404 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772
www.galbraithcarnahan.com

NATURE'S BEST MARKET

604 N. 8TH STREET SHEBOYGAN WI 53081

PERSPECTIVE 1

ARCHITECTURAL REVIEW

DATE: 01.17.2022
PROJECT #: 21.52

A700

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ARCHITECTS LLC



6404 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772
www.galbraithcarnahan.com

NATURE'S BEST MARKET

604 N. 8TH STREET SHEBOYGAN WI 53081

PERSPECTIVE 2

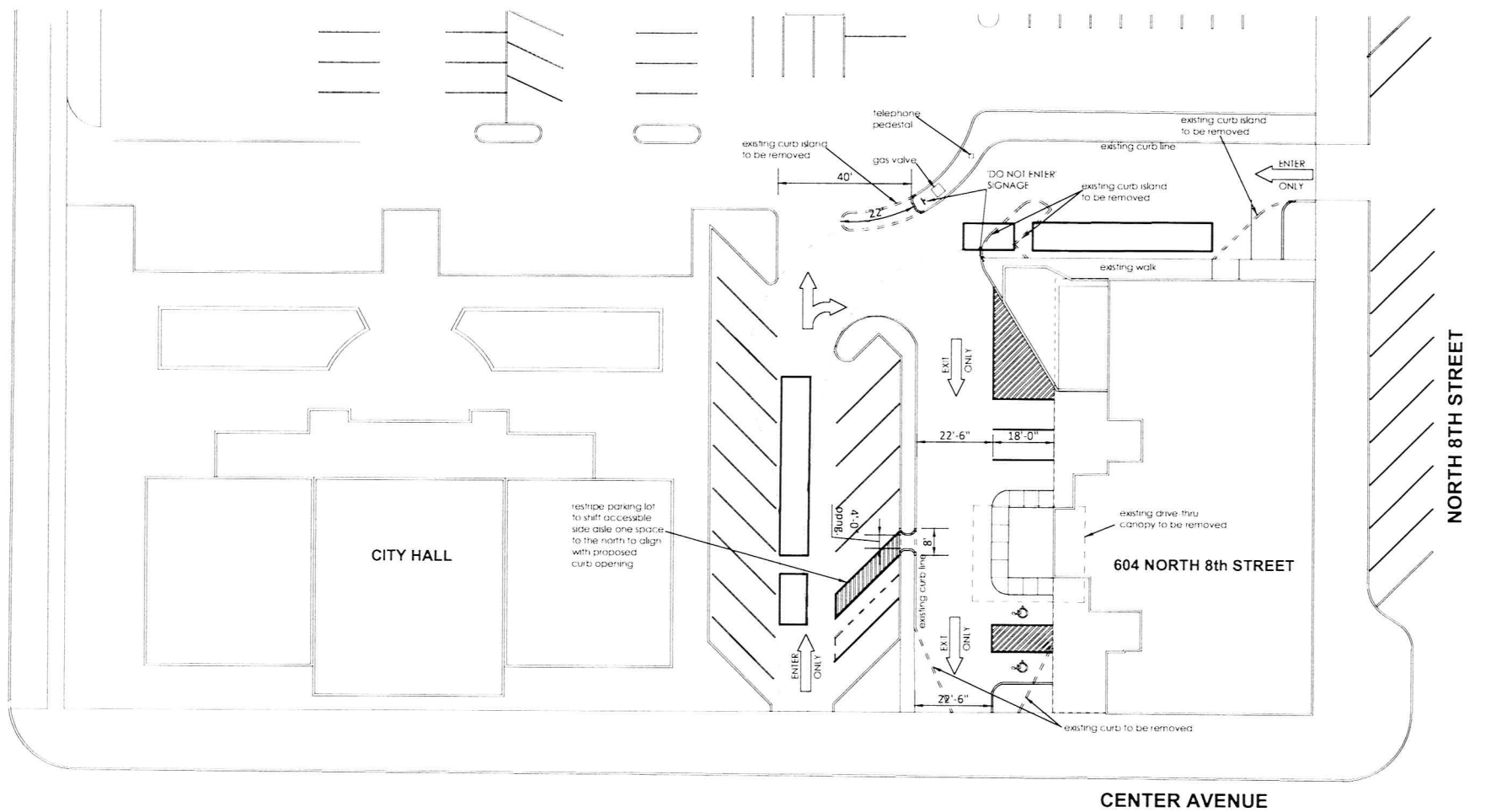
ARCHITECTURAL REVIEW

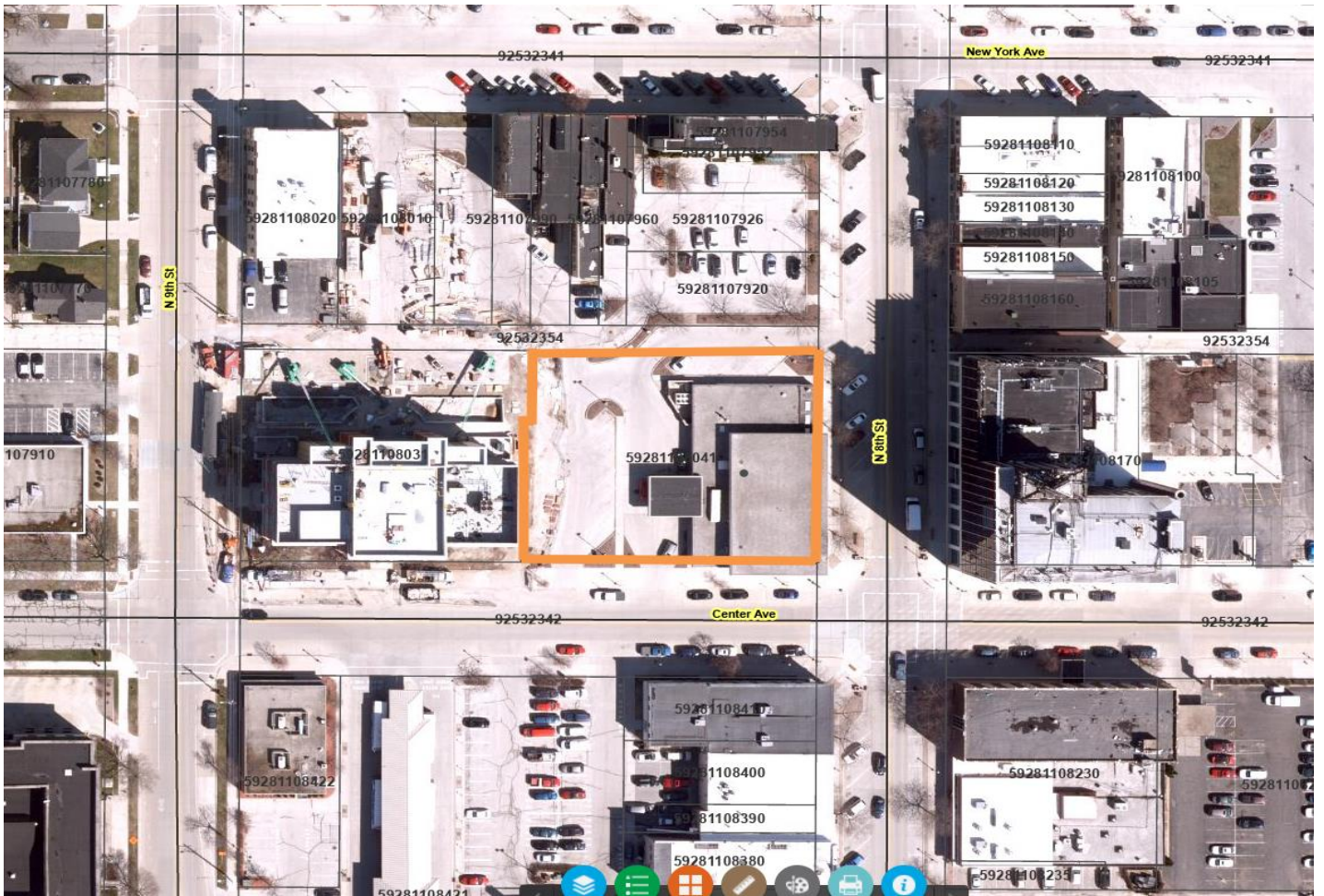
DATE: 01.17.2022
PROJECT #: 21.52

A701

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ARCHITECTS LLC











CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Skyline Health, LLC to operate Natures Best Market at 604 N. 8th Street (former Wisconsin Bank and Trust). CC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 21, 2022

MEETING DATE: January 25, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Skyline Health, LLC is proposing to operate Natures Best Market at 604 N. 8th Street (former Wisconsin Bank and Trust). The applicant states the following about the proposal:

- The project will revitalize this presently vacant former Wisconsin Bank and Trust building into a thriving downtown full service grocery and health food store with an emphasis on organic and locally sourced produce.
- Natures Best is a full line health food store, carrying high quality vitamins and supplements, organic and natural foods, organic and grass-fed meats, gluten free foods, bulk herbs and spices, natural body care, and one of the largest boxed tea sections in Sheboygan.
- Nature's Best Market is family-owned and operated and proud to be Sheboygan's best place for organic and natural goods since 1994 at 837 Riverfront Drive.
- A new owner, Jon Krasselt took over in October 2015. Jon has continued expanding throughout the Fox Valley with locations in Oshkosh, Appleton, Stevens Point and Sheboygan. With all of these interconnected stores we are able to offer a large selection of vitamins, supplements, health and beauty as well as grocery items and restock frequently.
- Deli items such as salads and sandwiches will be offered, along with a juice/smoothie bar.
- Changes being proposed are focused in two (2) areas and geared towards transforming

the property into a more retail oriented building. On the corner of N. 8th Street and Center Avenue five (5) bays of the building will have the brick cladding removed to create large openings on the street face. These will be infilled with a storefront glass system to help better visually connect the store with the pedestrian experience and to enliven the street corner with activity. .

- The second, and larger change is located on the West façade of the building where we are proposing removing a portion of the drive through canopy to create a new entrance vestibule for the store. Some of the existing steel of the canopy will be reused in the design and clad in a clear finished cedar tongue and groove decking with a black prefinished metal fascia.
- Changes along the west side are geared towards creating a larger, more prominent entry on what was once the “back” of the building. As this façade faces the parking for the property, it will functionally become the new front of the building and must adapt to reflect that reality. The new west entrance is designed for customer convenience off the adjacent parking lot and also for control of flow, safety and security of products and staff.
- The parking lot will be redone and landscaping refreshed and expanded.
- Signage will be added on 8th and Center Street as well as the main west canopy entrance.
- Approximately 6-8 fulltime employees.

Specific site improvements include:

- The proposed addition is to be 3,516sf in size.
- The current parking lot meets the facility’s needs.
- There will be some minor changes to the parking lot – striping, removal of existing curb,
- Access to the site will remain in the same location.
- Applicant intends on freshening up the existing landscaping and will be adding some lighting by the new entrance canopy.
- New sidewalk is proposed to from the existing parking lot to the new entrance canopy of the addition.

STAFF COMMENTS:

The applicant shows conceptual signage but has not submitted a specific sign package for the site at this time. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

The Plan Commission may want the applicant to explain the following:

- What new products and services can Natures Best provide in this larger store?
- Will there be access to the store from N. 8th Street?

- Are there rooftop and/or ground mechanicals to be installed as part of the project? If so, where will these mechanicals be located?
- Where will the dumpster be located and what is the design, materials colors, etc.
- What types of things will you be doing to the interior parking lot and access drives (removing curbs, changing access drives, etc.)
- What is the construction/occupancy schedule?

ACTION REQUESTED:

Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. Any unused mechanical boxes, equipment, etc. shall be removed from the site.
6. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
7. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
8. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
9. Applicant shall to install individual letter signs – no cabinet or flat panel signs.
10. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet to the property line. Maximum height of the monument sign is 8 feet.
11. All areas used for parking/maneuvering of vehicles shall be paved.
12. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
13. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
14. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
15. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).

16. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
17. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
18. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
19. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way, neighboring properties, etc.).
20. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
21. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
22. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
23. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
24. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Bray Architects to construct a new addition to the Sheboygan County Detention Center located at 2923 S. 31st Street. SI Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: January 21, 2022

MEETING DATE: January 25, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Sheboygan County is proposing to construct a new addition to the Sheboygan County Detention Center located at 2923 S. 31st Street. The applicant states the following about the project:

- The project is an addition to the Sheboygan County Detention Center. The name of the addition is: Alternative to Incarceration (ATI).
- The addition size is approximately 3,516sf single story slab on grade with attached canopy.
- The addition will be located adjacent to the existing Detention Center Multi-Purpose Room with entry primarily through a new secure entry from the existing west parking lot (southwest corner of the facility).
- The addition will house the offices of the Sheriff's department personnel in support of the Alternative to Incarceration (ATI) program. The personnel of the ATI team are currently housed in a less than ideal condition in the existing facility. The room they currently occupy will be renovated in conjunction with this project and will become a multipurpose room. Therefore, the employee occupant load of the facility will be unaffected by the addition.
- The primary use of the facility is to process the mandated weekly urinalysis tests for inmates that are not incarcerated. The addition will also support booking/processing efforts of inmates including the assignment of ankle bracelets. The addition will house the offices and support spaces for these efforts and will not be occupied by the inmates for habitation. The proposed addition will not significantly alter the use of the current detention center.

- The use of the addition will typically take place during daytime hours, 7am – 5 pm. Use of the addition in support of multipurpose room functions may take place at any time.
- The existing facility has successfully operated on the site since 1998. The applicant believes the proposed conditional use is appropriate because the addition is in support of the current facility operations and does not change how the facility currently operates. The proposed addition was initially planned as part of the 1998 master plan for construction of the detention center.
- The traffic and occupant load of the facility will not be altered due to the construction of the proposed addition because the proposed function of the addition is currently being accommodated by the existing facility. The use of the Alternative to Incarceration program is relieving the occupancy needs of the detention center by allowing more inmates to be monitored in lieu of incarcerated.
- The existing building was completed in 1998 and has prefinished horizontal corrugated metal panels as the primary exterior material. The design of the facility is based on two (2) circular pods which allow guards to adequately monitor inmates. The round plan layout is a prominent feature of the exterior of the existing building and subsequently influenced the design of the proposed addition.
- The proposed addition uses the same exterior cladding and window systems in color, orientation, and texture as the existing building. The radius of the existing building is matched exactly on the east elevation and the concentric radius is realized on the west elevation. The entry canopy is sympathetic to the existing main entry canopy but purposely made smaller in order assist in way finding for the first-time visitor.
- The project adds signage over the existing main entry, reading 'MAIN ENTRY' to assist in way finding. The signage over the addition canopy reads: 'ATI' which is an abbreviation for Alternative to Incarceration.

Specific site improvements include:

- The proposed addition is to be 3,516sf in size.
- Given that the occupant load to the building is not changing and the current parking lot meets the facility's needs; there is no need to alter or add to the existing parking lot.
- Access to the site will remain in the same location.
- Stormwater, landscaping and lighting will be provided in accordance with the City ordinance.
- New sidewalk is proposed to from the existing parking lot to the new entrance canopy of the addition.
- Ground level and rooftop mechanicals are to be installed.

STAFF COMMENTS:

The applicant shows conceptual signage but has not submitted a specific sign package for the site at this time. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

The detention center was previously located on two (2) parcels but the applicant has recently provided documentation that has consolidated the parcels into one (1) lot.

The Plan Commission may want the applicant to explain the following:

- What is the construction schedule?
- Are there any plans for additional expansion in the future? If so, when might those additions be constructed?

Applicant is requesting the following exceptions:

- Requesting an exception from the locational landscaping requirements - Applicant shall meet the four (4) locational and bufferyard landscaping requirements.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
4. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
5. Outdoor storage of materials, products or equipment shall be prohibited.
6. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
7. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
8. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
9. Applicant shall to install individual letter signs – no cabinet or flat panel signs.
10. All areas used for parking/maneuvering of vehicles shall be paved.
11. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
12. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
13. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.

14. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
15. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
16. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
17. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
18. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way, neighboring properties, etc.).
19. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
20. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
21. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
22. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
23. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments