

PARCEL NO. \_\_\_\_\_

MAP NO. \_\_\_\_\_

ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

APPLICATION/FILE NO. \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN  
APPLICATION FOR  
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905  
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

**1. APPLICANT INFORMATION**

APPLICANT: Shebpro II, LLC - Bill Zanetis

624 W Rolling Meadows Dr  
ADDRESS: Fond du Lac, WI 54937 E-MAIL: wzanetis@gmail.com

PHONE: ( 312 )266-7882 FAX NO. ( )

**2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

Proposed: Hotel

NAME OF PROPOSED/EXISTING BUSINESS: Existing: Vacant / undeveloped

ADDRESS OF PROPERTY AFFECTED: S Taylor Drive (adjacent 4117 S Taylor Dr)

LEGAL DESCRIPTION: Lot 1 of Certified Survey Map recorded in the office of the Register of Deeds for Sheboygan County, Wisconsin, on November 20, 2007 in Volume 23 of Certified Survey Maps, at Page 190, as Document No. 1840281, being a redivision of the NW 14 of the SW 1/4 of Section 4, Township 14 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin.

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: \_\_\_\_\_

Vacant / undeveloped

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: See attached narrative

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: See attached narrative

### 3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? See attached narrative

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? See attached narrative

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? See attached narrative

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. See attached narrative

### 4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

**OWNER OF SITE:** Shebpro II, LLC - Bill Zanetis

624 W Rolling Meadows Dr

**ADDRESS:** Fond du Lac, WI 54937

**E-MAIL:** wzanetis@gmail.com

**ARCHITECT:** M+A Design, Inc - Lucus Petrie

24 S Brooke St

**ADDRESS:** Fond du Lac, WI 54935

**E-MAIL:** l.petrie@madesigninc.net

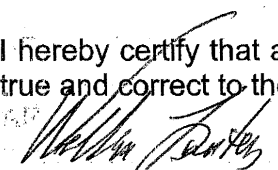
**CONTRACTOR:** TBD

**ADDRESS:** \_\_\_\_\_

**E-MAIL:** \_\_\_\_\_

### 5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

12-21-21  
\_\_\_\_\_  
**DATE**

William Zanetis  
\_\_\_\_\_  
**PRINT ABOVE NAME**



December 21, 2021

## **CUP/Architectural Project Description**

### **PROJECT NAME AND ADDRESS:**

Courtyard by Marriott  
S. Taylor Drive (adjacent to 4117 S. Taylor Drive)  
Sheboygan, Wisconsin 53081

### **PARCEL INFORMATION/ZONING CLASSIFICATION/SITE DATA**

- The parcel is defined as tax parcel 59281470610
- SC-Suburban Commercial District

### **EXISTING SITE CONDITIONS/LAND USE:**

- The property is currently vacant and is Phase 2 of the overall hotel development.

### **SITE SELECTION:**

- Excellent visibility from Interstate 43
- Ease of access from Interstate 43
- Proximity to complementary uses (i.e. eating establishments, gas stations, etc.)

### **EXPLANATION BUSINESS ACTIVITIES:**

- The hotel will be open 24 hours per day, 7 days per week.
- No on-site outside storage will occur.
- The anticipated number of employees is 7 full time.

### **DESCRIPTION OF PROPOSED BUILDING AND ALL NEW SITE IMPROVEMENTS:**

- The site area is 118,845 SF / 2.73 acres.
- The disturbed area is 103,618 SF / 2.38 acres.
- The footprint will be 21,680 SF. The hotel is 4-stories, 72,308 SF and will have 117 rooms.
- Outdoor patio with fence and canopy is proposed
- SWM description: Building and parking lot drain to curb inlets which connect to a proposed underground storm chamber system. Underground storm chamber system connects to the exiting wet pond to the north. The existing stormwater pond in addition to the newly proposed underground stormwater management system will treat stormwater to meet local and state requirements.
- Landscaping will be provided in accordance with the City ordinance, in an approach which ensures species resiliency and complimentary aesthetics.
- A modular block retaining wall and fence are proposed along the southeast property line
- The existing north driveway will be utilized for site access with the existing curb cut and approach remaining in its current state.
- The building is set back from all property lines a minimum of 25'. All required setback requirements are met.
- A waste enclosure is proposed to the northeast of the building.
- Mechanical unit screening provided near the southwest corner of the proposed building near the patio.

- Site lighting to be provided by 20-foot pole mounted LED downcast light fixtures in the parking lot and driveways, and LED bollard style lighting along the front walkways. Other decorative up lighting will be provided around the building structure.

#### PARKING REQUIREMENTS:

- Minimum Number of Off-Street Parking Spaces Required: Commercial Indoor Lodging – 1 space per room, plus 1 space per employee
- Phase 1 (Fairfield) Required Spaces: 108 rooms + 6 employees = 114 spaces
- Phase 2 (Courtyard) Required Spaces: 117 rooms + 7 employees = 124 spaces
- Total Spaces: 238

#### HOW WILL SITE BE SERVICED WITH STREETS AND UTILITIES:

- The existing 8" water service stub which extends into the northwest corner of the parcel from the shared access drive is being utilized to service the proposed hotel.
- The existing 8" sanitary service stub which extends into the northwest corner of the parcel from the shared access drive is being utilized to service the proposed hotel.
- Driveway access is provided from S. Taylor Drive via the existing shared access drive.

#### ACCESS

- The existing access from S. Taylor Drive will be shared by both hotels.
- Internal parking and access drives will connect both hotel complexes.

#### PROPOSED TRAFFIC IMPACTS TO ADJOINING STREETS IN THE NEIGHBORHOOD BASED ON THIS DEVELOPMENT:

- As a commercial corridor, S. Taylor Drive is designed for a high volume of traffic. There are no adjoining streets to the development and no negative traffic impacts to the neighborhood are anticipated.

#### DESCRIPTION OF THE PROPOSED ARCHITECTURAL STYLE AND MATERIALS:

- The development architecture is contemporary and current. The materials are of high quality, in a contextually appropriate composition. The hotel building with pool will have a flat rubber roof primarily clad with EIFS and fiber cement panels with some metal and painted steel. The waste enclosure will be constructed out of split faced block painted to match the building.

#### PROPOSED SIGNAGE:

- One monument sign will be provided to serve both hotel developments. Additionally, building signage is also proposed as shown on the exterior elevations.

#### ESTIMATED EMPLOYEES

- Seven (7) full-time employees

#### ESTIMATED VALUE OF PROJECT:

- Approximately \$12M.

#### CONSTRUCTION TIMELINE:

- June 1<sup>st</sup>, 2022 – May 21<sup>st</sup>, 2023

#### POTENTIAL NUISANCES TO ADJOINING PROPERTY OWNERS:

- As a commercial corridor, S. Taylor Drive is designed for a high volume of traffic. The proposed development will have no negative impacts to the neighborhood.
- No outside storage is proposed.
- All waste will be stored in a waste enclosure located northeast of the building.
- Site lighting will meet City light intensity requirements and cut-off fixtures will be used for minimal light trespass.
- The architectural style of the building will fit in and compliment surrounding commercial developments.
- The use is consistent with the other commercial uses in the vicinity of this proposed development.

#### VARIANCE REQUESTS

The following variances are being requested:

- Loading Berth.
  - No commercial loading berth is proposed. A commercial loading berth is not necessary to serve the proposed hotel. A 18' X 14.75' loading area north of the southeast corner of the hotel building is proposed to provide easy access for any deliveries to the site.
- Drive Aisles Size.
  - 9' x 18' 90-degree parking with 24' drive aisles are proposed in lieu of the City standard 9' x 18.5' 90-degree parking with 26' drive aisles. This is consistent with the approved Fairfield Inn development immediately north of the proposed Courtyard development. This slight adjustment is within accepted engineering standards for stall size and drive aisle width. As proposed, the development complies with the minimum number of parking stalls required by Code.
- Pavement Setback.
  - 0' pavement setback is being requested for the proposed shared access drive. The shared access reduces the number of potential traffic conflicts on Taylor Drive and is consistent with the approved Fairfield Inn development immediately north of the proposed Courtyard development.
- Street Frontage Landscaping.
  - The Code requires 95 street frontage landscape points (237 linear feet of street frontage requiring 40 landscape points per each 100 linear feet). The intent is to provide 75 landscape points along the street frontage in the form of two (2) tall deciduous trees (30 points each) and one (1) medium tree (15 points). An additional 25 points [one (1) medium deciduous tree (15 points) and one (1) medium tree (10 points)] will be provided near the stormwater pond. This locational variance for landscaping is required because there is not adequate area along the street frontage to place the required number of points without encroaching into the required vision corner.

SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:  
**COURTYARD BY MARRIOTT**  
SOUTH TAYLOR DRIVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 3, 2021  
DEC. 16, 2021  
DEC. 21, 2021  
JAN. 5, 2022

NOT FOR CONSTRUCTION

JOB NUMBER

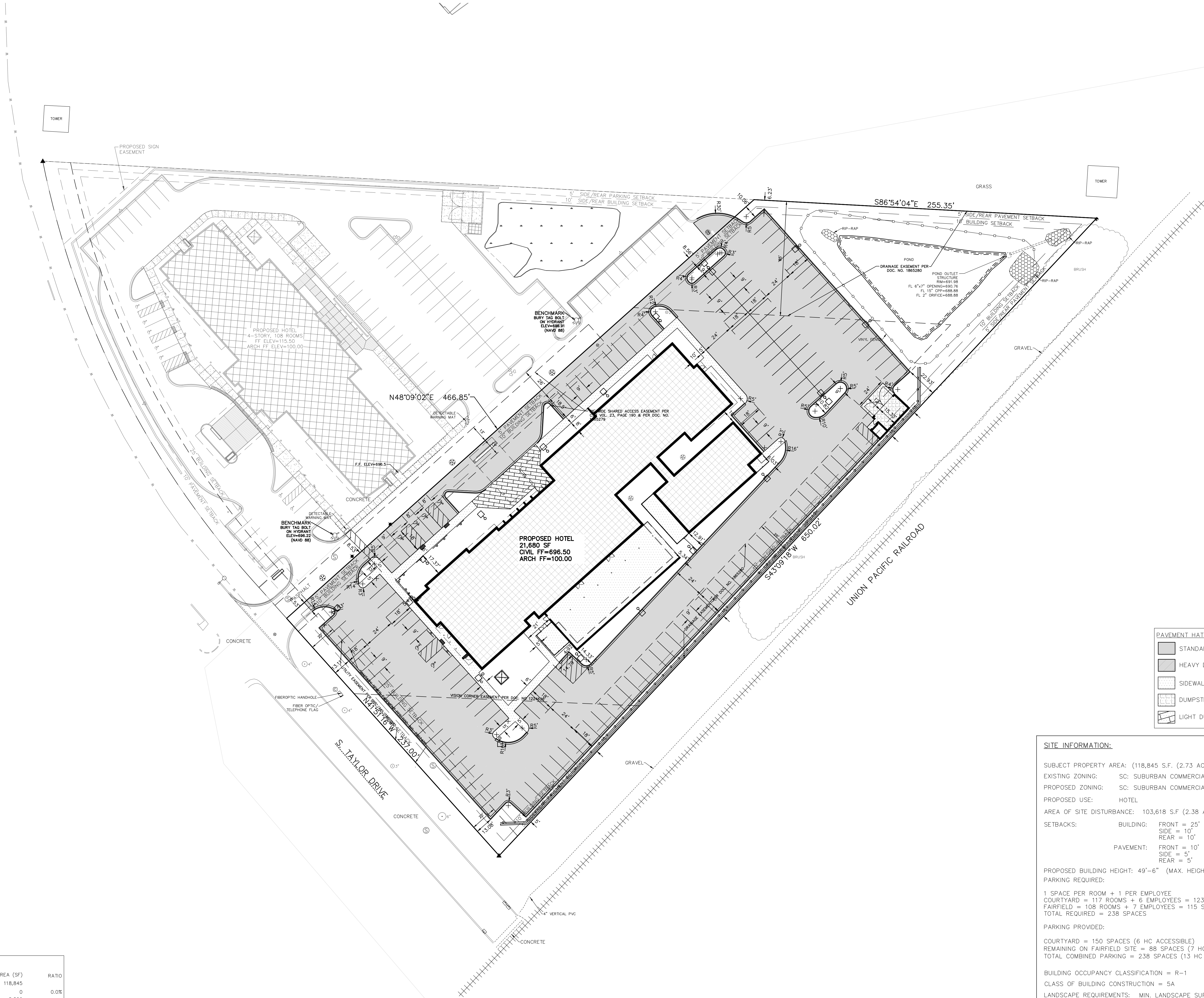
2173960

SHEET NUMBER

**SPE**

EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.73	118,845	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.20	8,802	7.4%
TOTAL IMPERVIOUS	0.20	8,802	7.4%
LANDSCAPE/ OPEN SPACE	2.53	110,043	92.6%

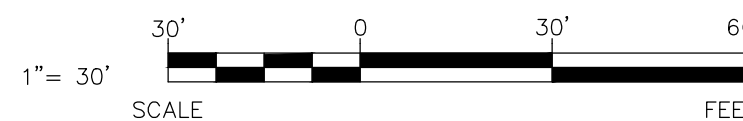
PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.73	118,845	
BUILDING FLOOR AREA	0.50	21,680	18.2%
PAVEMENT (ASP. & CONC.)	1.45	63,027	53.0%
TOTAL IMPERVIOUS	1.94	84,707	71.3%
LANDSCAPE/ OPEN SPACE	0.78	34,138	28.7%



PAVEMENT HATCH KEY:	
[Hatch Pattern]	STANDARD PAVEMENT SECTION
[Hatch Pattern]	HEAVY DUTY ASPHALT
[Hatch Pattern]	SIDEWALK/PATIO CONCRETE
[Hatch Pattern]	DUMPSTER PAD CONCRETE
[Hatch Pattern]	LIGHT DUTY STAMPED CONCRETE

SITE INFORMATION:

SUBJECT PROPERTY AREA: (118,845 S.F. (2.73 ACRES))  
EXISTING ZONING: SC: SUBURBAN COMMERCIAL  
PROPOSED ZONING: SC: SUBURBAN COMMERCIAL  
PROPOSED USE: HOTEL  
AREA OF SITE DISTURBANCE: 103,618 S.F. (2.38 ACRES)  
SETBACKS: BUILDING: FRONT = 25'  
SIDE = 10'  
REAR = 10'  
PAVEMENT: FRONT = 10'  
SIDE = 5'  
REAR = 5'  
PROPOSED BUILDING HEIGHT: 49'-6" (MAX. HEIGHT ALLOWED: 50')  
PARKING REQUIRED:  
1 SPACE PER ROOM + 1 PER EMPLOYEE  
COURTYARD = 117 ROOMS + 6 EMPLOYEES = 123 SPACES  
FAIRFIELD = 108 ROOMS + 7 EMPLOYEES = 115 SPACES  
TOTAL REQUIRED = 238 SPACES  
PARKING PROVIDED:  
COURTYARD = 150 SPACES (6 HC ACCESSIBLE)  
REMAINING ON FAIRFIELD SITE = 88 SPACES (7 HC ACCESSIBLE)  
TOTAL COMBINED PARKING = 238 SPACES (13 HC ACCESSIBLE)  
BUILDING OCCUPANCY CLASSIFICATION = R-1  
CLASS OF BUILDING CONSTRUCTION = 5A  
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 25%



CIVIL SITE PLAN EXHIBIT



SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:  
**COURTYARD BY MARRIOTT**  
SOUTH TAYLOR DRIVE • SHEBOYGAN, WI 53081

SITE PLAN KEYNOTES

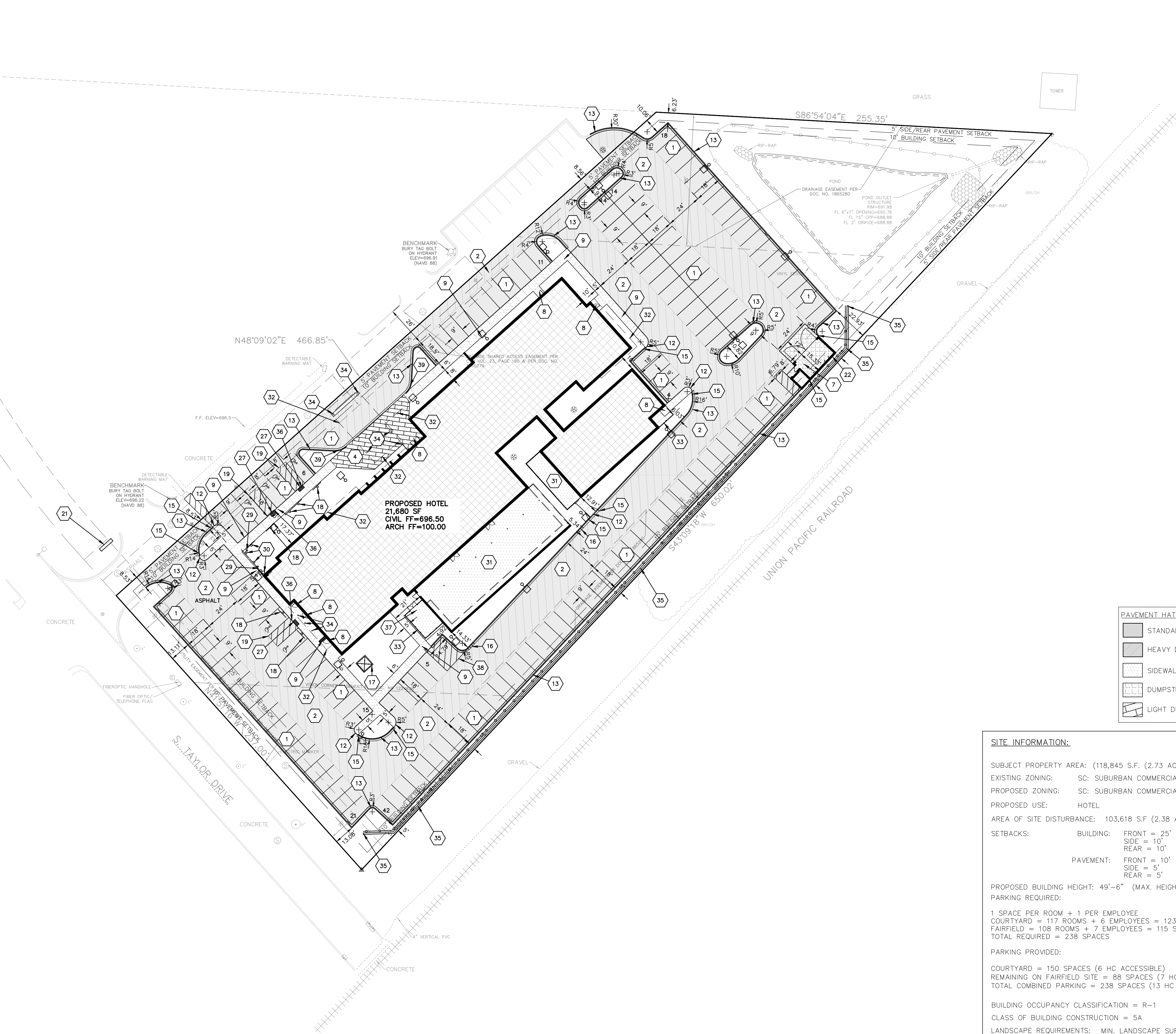
1	STANDARD ASPHALT SECTION (TYP.)
2	HEAVY DUTY ASPHALT SECTION (TYP.)
4	LIGHT DUTY STAMPED CONCRETE (TYP.)
7	DUMPSTER PAD/APRON CONCRETE (TYP.)
8	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
9	RAISED WALK (TYP.)
12	CURB RAMP (TYP.)
13	18" CURB & GUTTER (TYP.)
15	CURB TAPER (TYP.)
16	CURB CUT (TYP.)
17	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
18	HANDICAP SIGN (TYP.)
19	HANDICAP STALL & STRIPING PER STATE CODES.
21	MODIFY EXISTING MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
22	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
27	DETECTABLE WARNING PLATE
29	CAR CHARGING STATION (TYP.) (SEE ELECTRICAL PLANS)
30	ELECTRIC VEHICLE PARKING SIGN (TYP.)
31	CONCRETE PATIO WITH FENCE AND CANOPY. SEE ARCH PLANS (TYP.)
32	CANOPY. SEE ARCH PLANS. (TYP.)
33	FENCE. SEE ARCH PLANS. (TYP.)
34	CANOPY COLUMN. SEE ARCH PLANS. (TYP.)
35	MODULAR BLOCK RETAINING WALL AND FENCE (TYP.)(COLOR AND STYLE BY OWNER)
36	ADA SIDEWALK RAMP (TYP.)
37	CONCRETE MECHANICAL PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
38	STRIPED LOADING AREA (TYP.)
39	CURB TRANSITION (TYP.)

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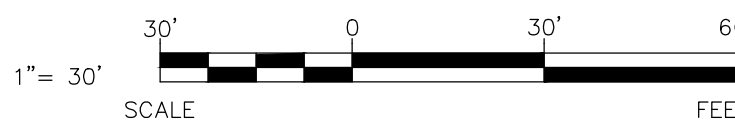
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CIVIL SITE PLAN

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 3, 2021  
DEC. 16, 2021  
DEC. 21, 2021

JOB NUMBER

2173960

SHEET NUMBER

C1.1



SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

PROJECT INFORMATION

PROPOSED DEVELOPMENT FOR:  
**COURTYARD BY MARRIOTT**  
SOUTH TAYLOR DRIVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

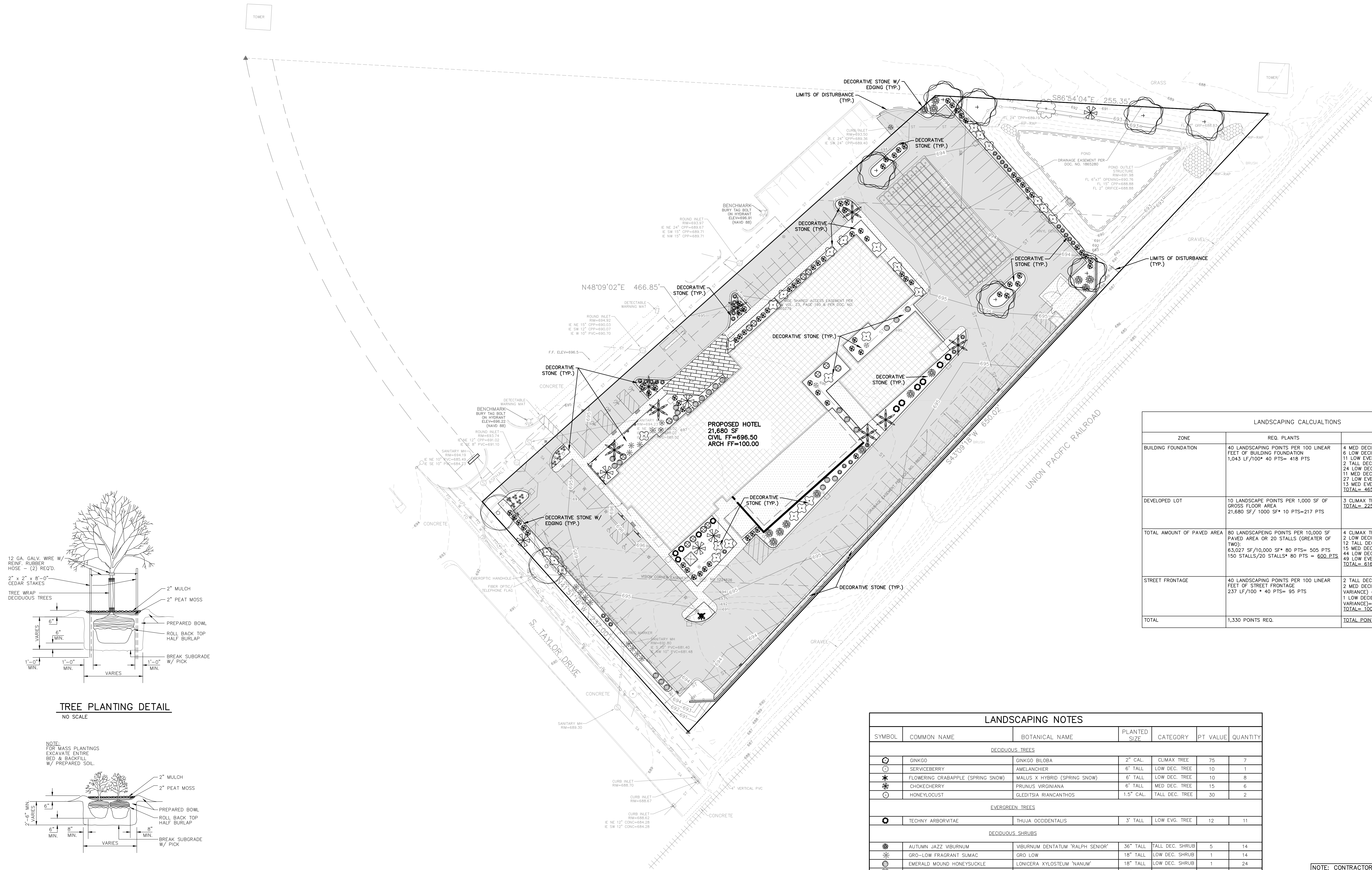
PRELIMINARY DATES  
DEC. 21, 2021

JOB NUMBER

2173960

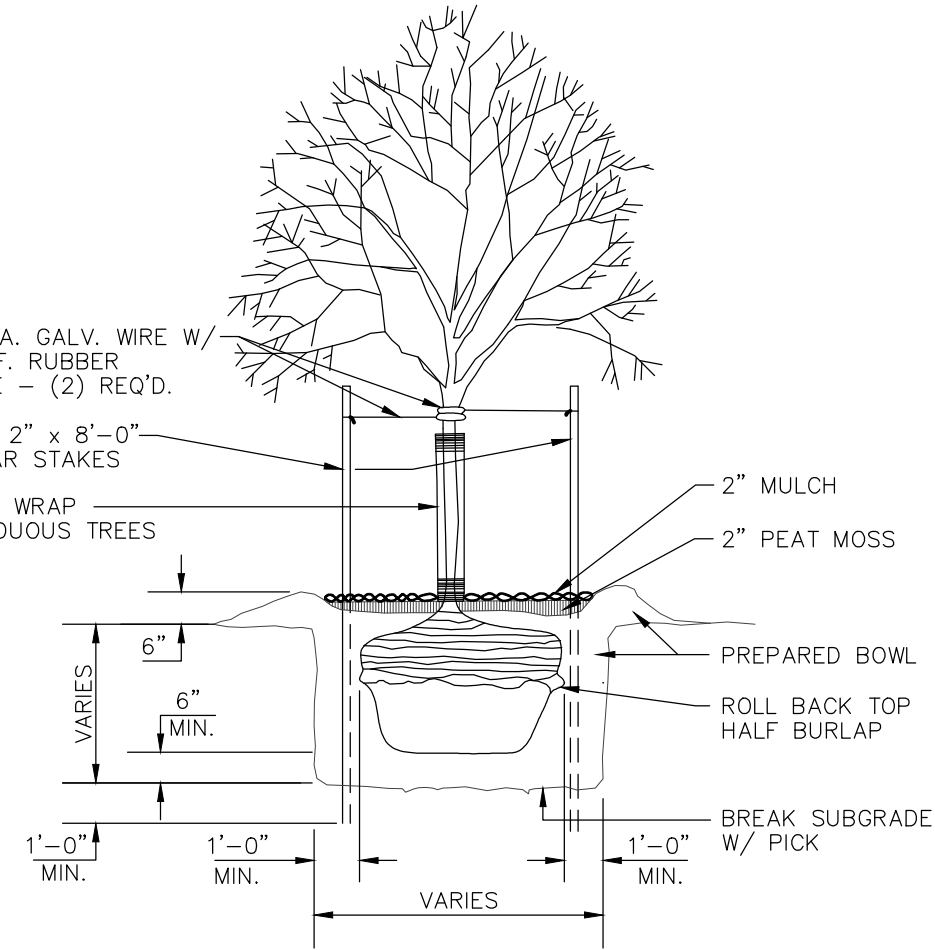
SHEET NUMBER

**C1.4**

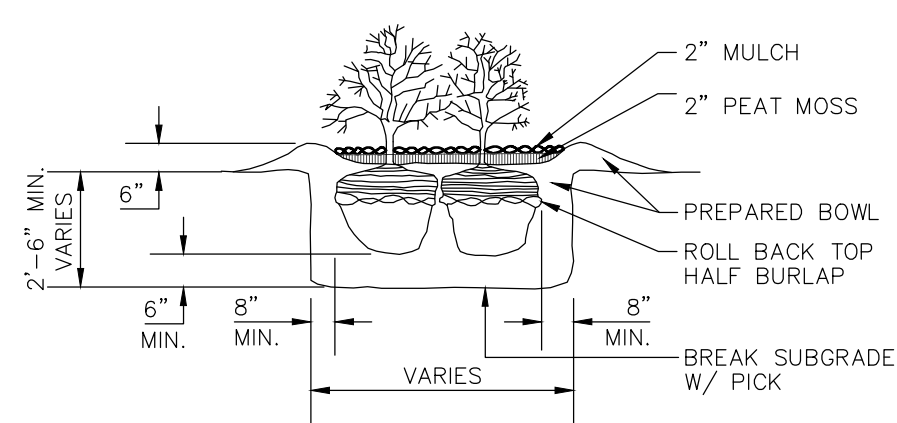


LANDSCAPING CALCUALTIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
BUILDING FOUNDATION	40 LANDSCAPING POINTS PER 100 LINEAR FEET OF BUILDING FOUNDATION 1,043 LF/100' * 40 PTS= 418 PTS	4 MED DECIDUOUS TREES= 60 PTS 6 LOW DECIDUOUS TREES= 60 PTS 11 LOW EVERGREEN TREES= 132 PTS 2 TALL DECIDUOUS SHRUBS= 10 PTS 24 LOW DECIDUOUS SHRUBS= 24 PTS 11 MED DECIDUOUS SHRUBS= 33 PTS 27 LOW EVERGREEN SHRUBS= 81 PTS 13 MED EVERGREEN SHRUBS= 65 PTS TOTAL= 465 PTS
DEVELOPED LOT	10 LANDSCAPE POINTS PER 1,000 SF OF GROSS FLOOR AREA 21,680 SF/ 1000 SF* 10 PTS=217 PTS	3 CLIMAX TREES= 225 PTS TOTAL= 225
TOTAL AMOUNT OF PAVED AREA	80 LANDSCAPING POINTS PER 10,000 SF PAVED AREA OR 20 STALLS (GREATER OF TWO): 63,027 SF/10,000 SF* 80 PTS= 505 PTS 150 STALLS/20 STALLS* 80 PTS = 600 PTS	4 CLIMAX TREES= 300 PTS 2 LOW DECIDUOUS TREES= 20 PTS 12 TALL DECIDUOUS SHRUBS= 60 PTS 15 MED DECIDUOUS SHRUBS= 45 PTS 44 LOW DECIDUOUS SHRUBS= 44 PTS 49 LOW EVERGREEN SHRUBS= 147 PTS TOTAL= 616 PTS
STREET FRONTAGE	40 LANDSCAPING POINTS PER 100 LINEAR FEET OF STREET FRONTAGE 237 LF/100 * 40 PTS= 95 PTS	2 TALL DECIDUOUS TREES= 60 PTS 2 MED DECIDUOUS TREES ( 1 LOCATION VARIANCE)= 30 PTS 1 LOW DECIDUOUS TREE (1 LOCATION VARIANCE)= 10 PTS TOTAL= 100 PTS
TOTAL	1,330 POINTS REQ.	TOTAL POINTS= 1,406 POINTS

TREE PLANTING DETAIL  
NO SCALE



NOTE:  
FOR MASS PLANTINGS  
EXCAVATE ENTIRE  
BED & BACKFILL  
W/ PREPARED SOIL.

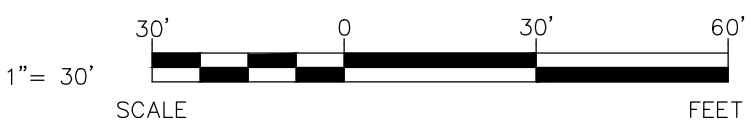


SHRUB PLANTING DETAIL  
NO SCALE

LANDSCAPING NOTES

SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	CATEGORY	PT VALUE	QUANTITY
DECIDUOUS TREES						
⊙	GINKGO	GINKGO BILOBA	2\"	CLIMAX TREE	75	7
⊙	SERVICEBERRY	AMELANCHIER	6\"	LOW DEC. TREE	10	1
✱	FLOWERING CRABAPPLE (SPRING SNOW)	MALUS X HYBRID (SPRING SNOW)	6\"	LOW DEC. TREE	10	8
✱	CHOKECHERRY	PRUNUS VIRGINIANA	6\"	MED DEC. TREE	15	6
⊙	HONEYLOCUST	GLEDITSIA TRIANCANTHOS	1.5\"	TALL DEC. TREE	30	2
EVERGREEN TREES						
⊙	TECHNY ARBORVITAE	THUJA OCCIDENTALIS	3\"	LOW EVG. TREE	12	11
DECIDUOUS SHRUBS						
✱	AUTUMN JAZZ VIBURNUM	VIBURNUM DENTATUM 'RALPH SENIOR'	36\"	TALL DEC. SHRUB	5	14
✱	GRO-LOW FRAGRANT SUMAC	GRO LOW	18\"	LOW DEC. SHRUB	1	14
✱	EMERALD MOUND HONEYSUCKLE	LONICERA XYLOSTEUM 'NANUM'	18\"	LOW DEC. SHRUB	1	24
✱	PURPLE-LEAVED SAND CHERRY	PRUNUS X CISTENA	24\"	MED DEC. SHRUB	3	26
✱	BARBERRY CONCORDE	BERBERIS THUNBERGII CONCORDE	18\"	LOW DEC. SHRUB	1	30
EVERGREEN SHRUBS						
✱	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'PLUMOSA'	12\"	LOW EVG. SHRUB	3	76
✱	WOODWARD GLOBE AMERICAN ARBORVITAE	THUJA OCCIDENTALIS 'WOODWARDII'	18\"	MED EVG. SHRUB	5	13
PERENNIALS						
✱	SEASONAL COLOR PERENNIAL PLANTING	SELECTED BY LANDSCAPER	1 GAL	NA	NA	9

NOTE: CONTRACTOR SHALL SEED ALL OTHER  
DISTURBED SITE AREAS IN ACCORDANCE WITH  
THE SPECIFICATIONS LISTED ON SHEET C0.1.



CIVIL LANDSCAPE AND RESTORATION PLAN





PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

M+A DESIGN, INC.

24 SOUTH BROOKE STREET  
FOND DU LAC, WISCONSIN 54937  
l.petrie@madesigninc.net (920) 922-8170

PROJECT #:  
59648

OWNERS:  
**SHEB PRO II, LLC.**  
625 WEST ROLLING MEADOWS DRIVE  
FOND DU LAC, WI 54935

**COURTYARD®**  
BY MARRIOTT  
SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

JOB NUMBER:
2021.56
SHEET
1

2021 © M+A DESIGN, INC.





© 2021 M+A DESIGN, INC

JOB NUMBER:  
2021.56  
SHEET  
2

**COURTYARD®**  
BY MARRIOTT

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**SHEB PRO II, LLC.**  
625 WEST ROLLING MEADOWS DRIVE  
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PROJECT #:  
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petite@madesigninc.net (920) 922-8170

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY  
SHEET DATES





JOB NUMBER:  
2021.56  
SHEET  
3

**COURTYARD®**  
BY MARRIOTT

OWNERS:  
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625 WEST ROLLING MEADOWS DRIVE  
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PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY  
SHEET DATES



EXTERIOR COLORS & MATERIALS SCHEDULE			
	KEYNOTE	MATERIAL	FINISH & COLOR
	E1	EIFS	TEXTURE: MEDIUM; COLOR: WHITE
	E2	EIFS	TEXTURE: MEDIUM; COLOR: LIME GREEN
	E3	EIFS	TEXTURE: MEDIUM; COLOR: WHITE
	FC	FIBER-CEMENT PANELS	COLOR: GRAY SHOWER
	P1	PAINT 1	COLOR: GRAY
	P2	PAINT 2	COLOR: WHITE
	P3	INTUMESCENT PAINT	COLOR: DARK BRONZE
	M1	METAL COLOR 1	COLOR: GRAY
	M2	METAL COLOR 2	COLOR: WHITE
	M3	METAL COLOR 3	COLOR: DARK BRONZE
	W1	WOOD SLAT	WESTERN RED CEDAR
	C1	CONCRETE	SEALED
	WINDOWS	ALUMINUM	DARK BRONZE
	FENCE	ALUMINUM	DARK BRONZE
NOTE: ALL VENTS TO BE PAINTED TO MATCH ADJACENT COLOR ALL EIFS AT GRADE TO 2ND FLOOR TO BE HIGH IMPACT - SEE SPECS			



SOUTHEAST  
REAR ELEVATION  
SCALE: 1/8" = 1'-0"



NORTHWEST  
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

M+A DESIGN, INC.

24 SOUTH BROOK STREET  
FOND DU LAC, WISCONSIN 54937  
l.petrie@madesigninc.net (920) 922-8170

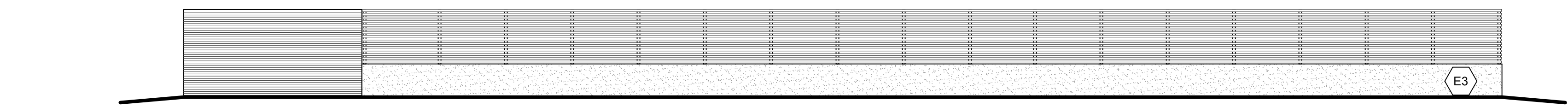
PROJECT #:  
59648

OWNERS:  
**SHEB PRO II, LLC.**  
625 WEST ROLLING MEADOWS DRIVE  
FOND DU LAC, WI 54935

**COURTYARD®**  
BY MARRIOTT  
SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

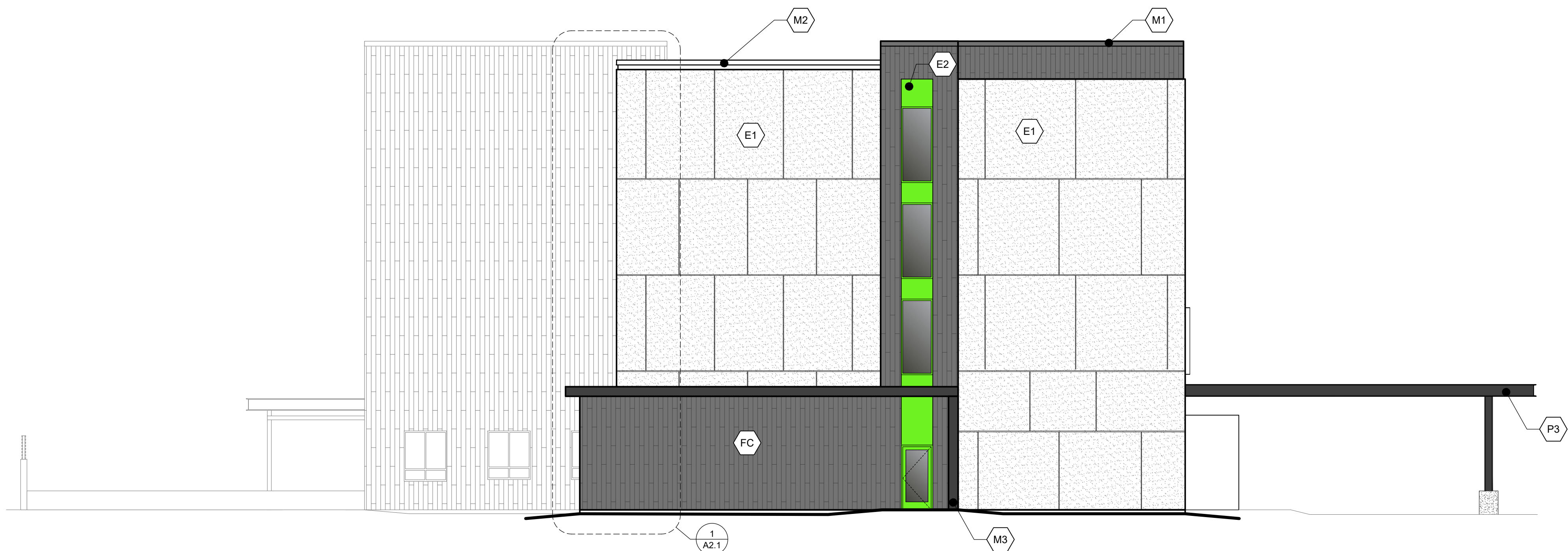
2021 © M+A DESIGN, INC.	JOB NUMBER: 2021.56
	SHEET A2.0





SOUTHEAST  
COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



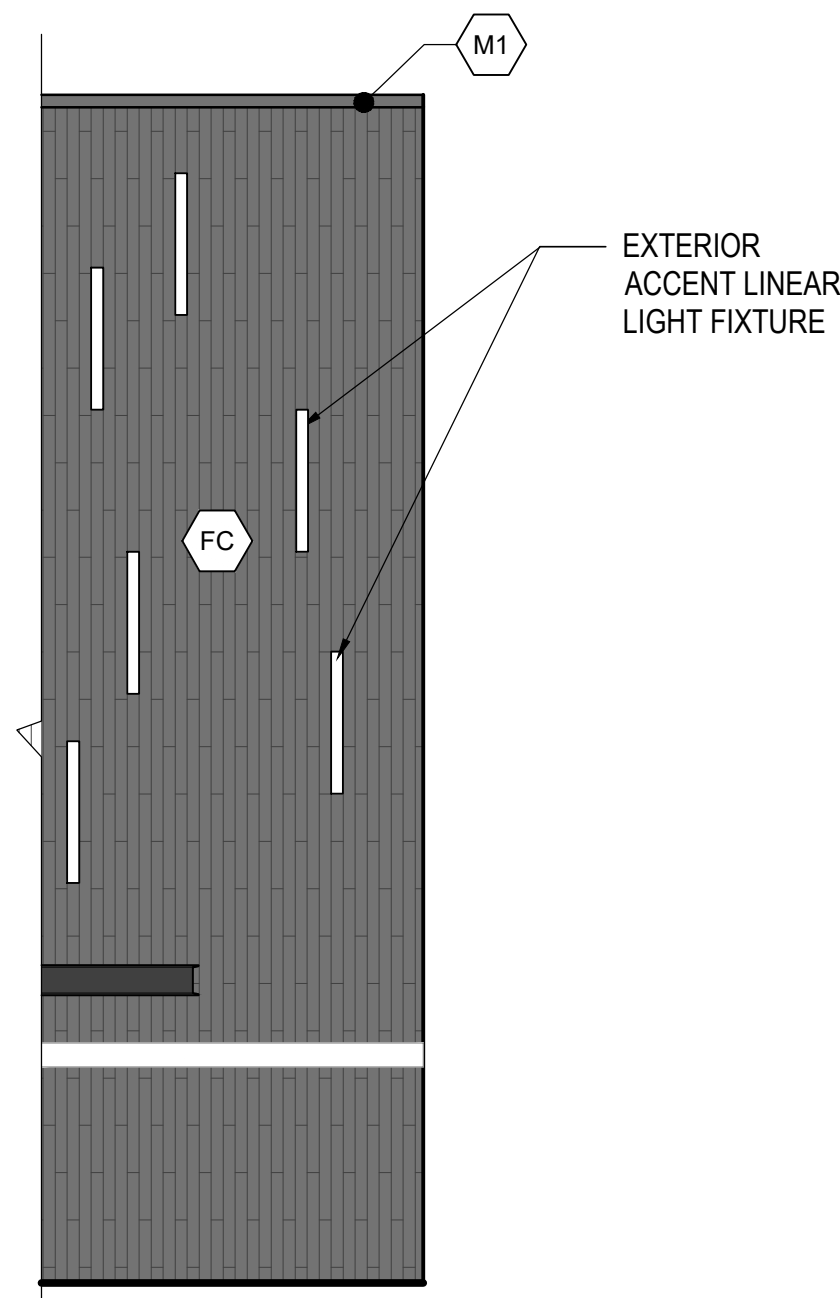
NORTHEAST  
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



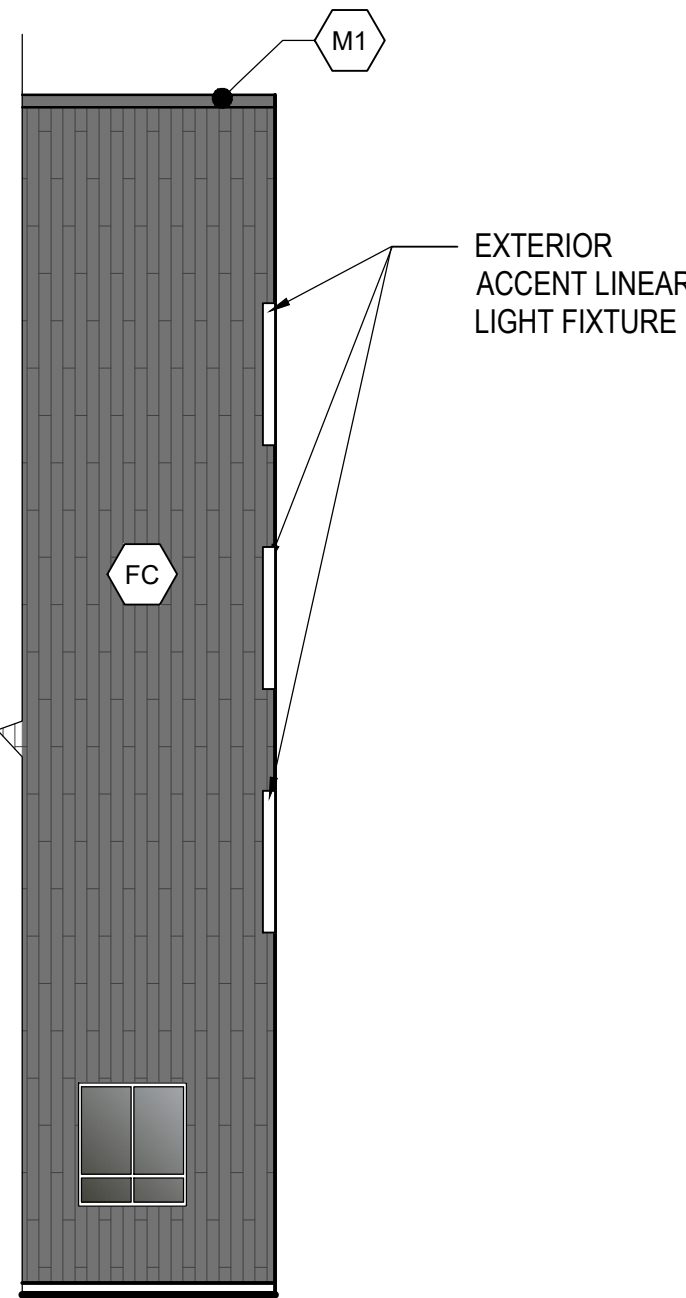
SOUTHWEST  
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR COLORS & MATERIALS SCHEDULE			
KEYNOTE	MATERIAL	FINISH & COLOR	
E1	EIFS	TEXTURE: MEDIUM	COLOR: WHITE
E2	EIFS	TEXTURE: MEDIUM	COLOR: LIME GREEN
E3	EIFS	TEXTURE: MEDIUM	COLOR: WHITE
FC	FIBER-CEMENT PANELS	COLOR: GRAY SHOWER	
P1	PAINT 1	COLOR: GRAY	
P2	PAINT 2	COLOR: WHITE	
P3	INTUMESCENT PAINT	COLOR: DARK BRONZE	
M1	METAL COLOR 1	COLOR: GRAY	
M2	METAL COLOR 2	COLOR: WHITE	
M3	METAL COLOR 3	COLOR: DARK BRONZE	
W1	WOOD SLAT	WESTERN RED CEDAR	
C1	CONCRETE	SEALED	
WINDOWS	ALUMINUM	DARK BRONZE	
FENCE	ALUMINUM	DARK BRONZE	

NOTE: ALL VENTS TO BE PAINTED TO MATCH ADJACENT COLOR  
ALL EIFS AT GRADE TO 2ND FLOOR TO BE HIGH IMPACT - SEE SPECS

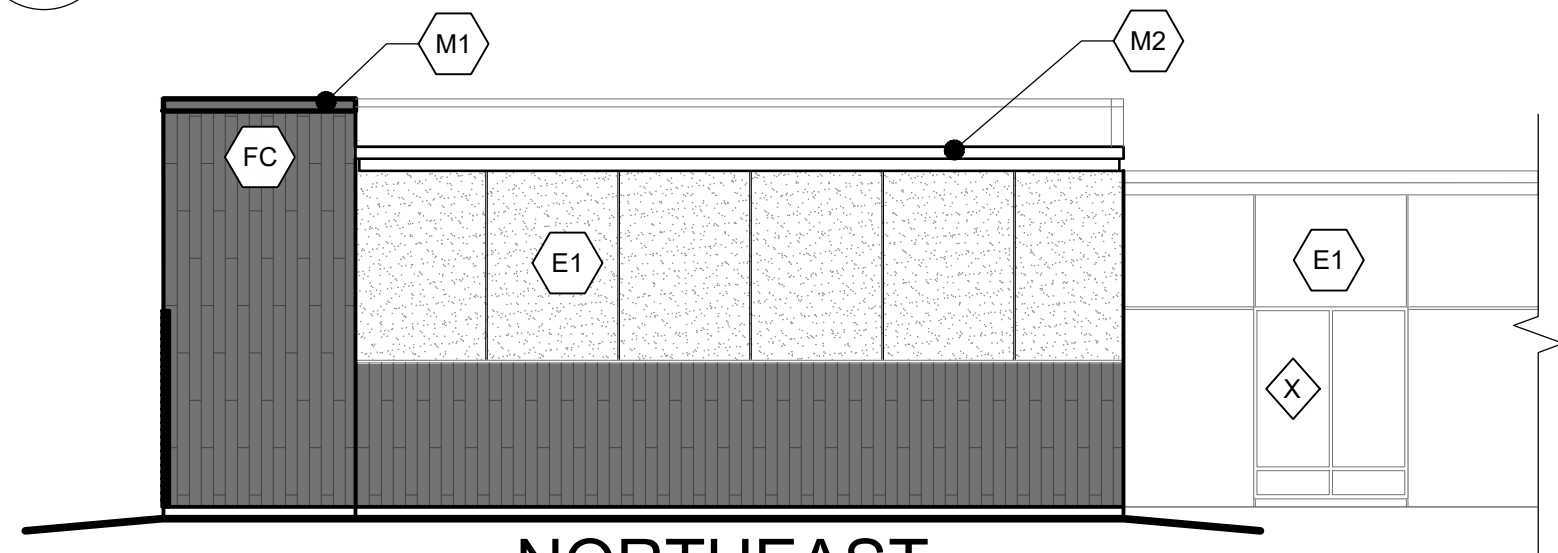
TOP OF PARAPET  
EL. = 149'-6"  
TOP OF PARAPET  
EL. = 146'-6"  
TRUSS BRG.  
EL. = 142'-6 3/4"

FOURTH FLOOR  
EL. = 134'-6 7/8"

THIRD FLOOR  
EL. = 124'-5"

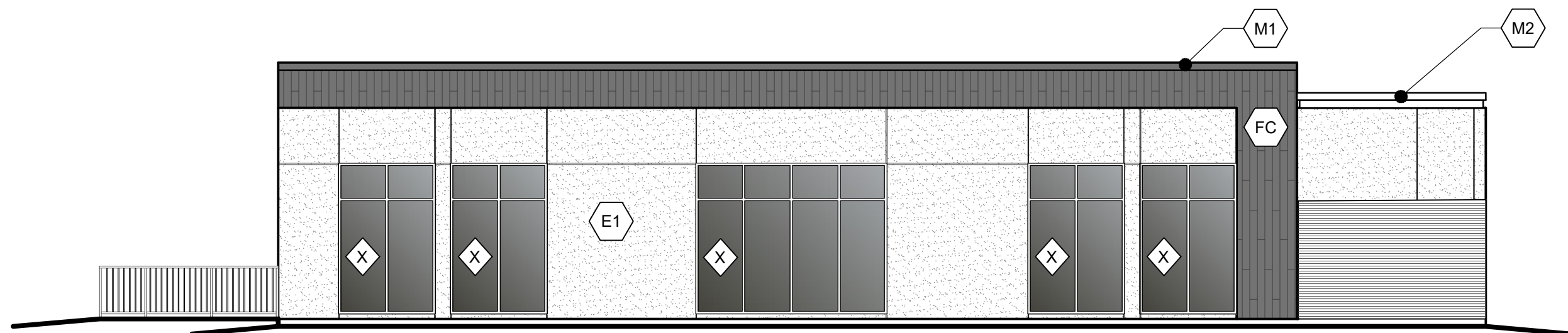
SECOND FLOOR  
EL. = 114'-3 1/8"

FIRST FLOOR  
EL. = 100'-0"



NORTHEAST  
POOL SIDE ELEVATION

SCALE: 1/8" = 1'-0"



SOUTHEAST  
POOL FRONT ELEVATION

SCALE: 1/8" = 1'-0"

TOP OF PARAPET  
EL. = 149'-6"  
TOP OF PARAPET  
EL. = 146'-6"  
TRUSS BRG.  
EL. = 142'-6 3/4"

FOURTH FLOOR  
EL. = 134'-6 7/8"

THIRD FLOOR  
EL. = 124'-5"

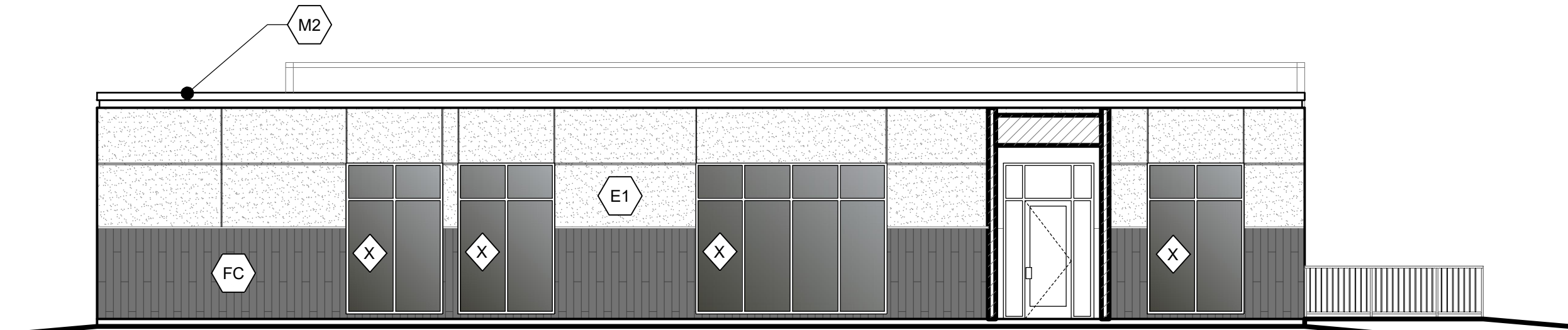
SECOND FLOOR  
EL. = 114'-3 1/8"

FIRST FLOOR  
EL. = 100'-0"



SOUTHWEST  
POOL SIDE ELEVATION

SCALE: 1/8" = 1'-0"



NORTHWEST  
POOL REAR ELEVATION

SCALE: 1/8" = 1'-0"

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY  
SHEET DATES:

M+A DESIGN, INC.

24 SOUTH BROOK STREET  
FOND DU LAC, WISCONSIN 54937  
l.pettie@madesigninc.net (920) 922-8170

PROJECT #:  
59648

OWNERS:  
SHEB PRO II, LLC.

625 WEST ROLLING MEADOWS DRIVE  
FOND DU LAC, WI 54935

COURTYARD®  
BY MARRIOTT

SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

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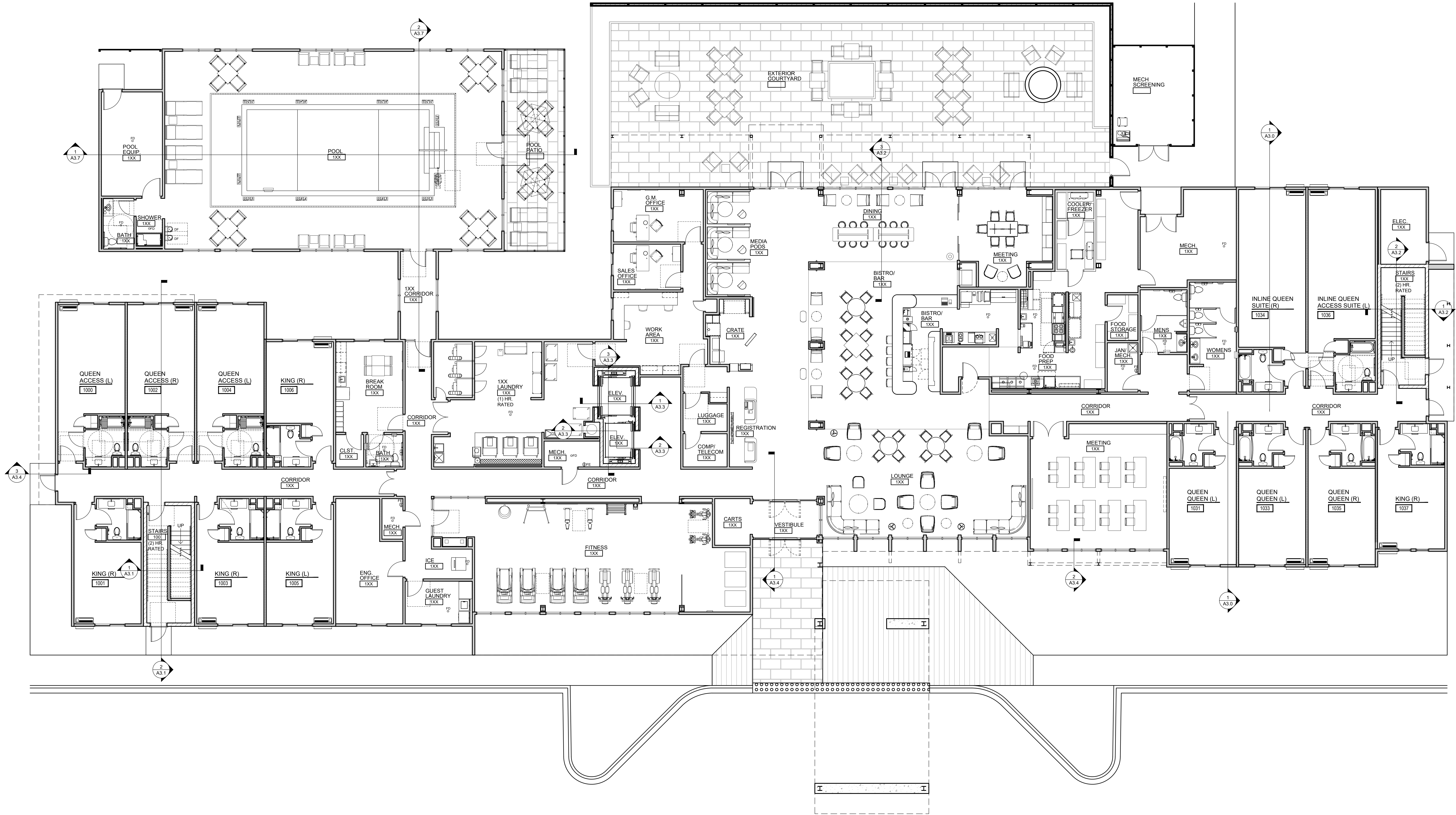
JOB NUMBER:

2021.56

SHEET

A2.1

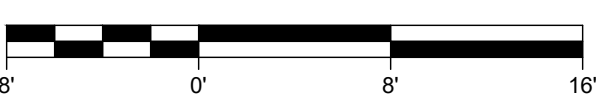




HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
1ST FLOOR	5	-	3	3	-	-	1	1	13
2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	2	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	76	3	25	3	5	2	1	1	117

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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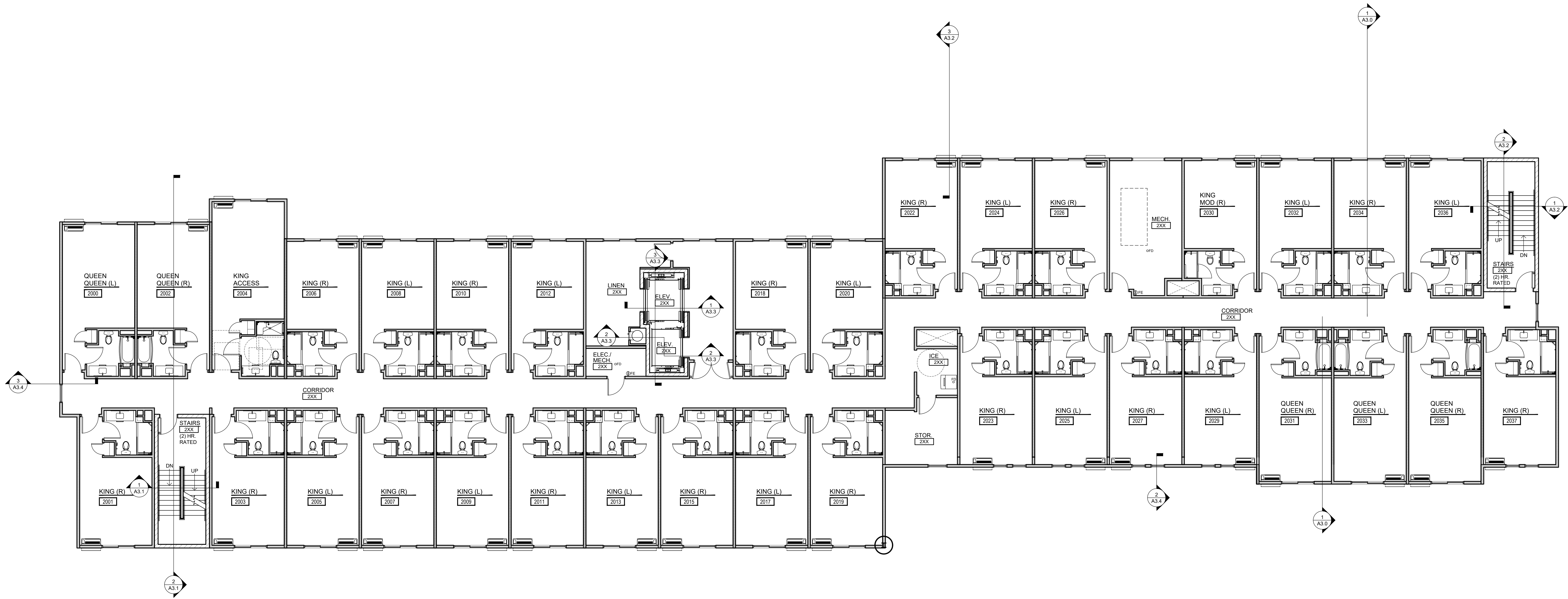
JOB NUMBER: 2021.56

SHEET

A1.1

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HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
1ST FLOOR	5	-	3	3	-	-	1	1	13
2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	-	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	78	3	25	3	5	2	1	1	117



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

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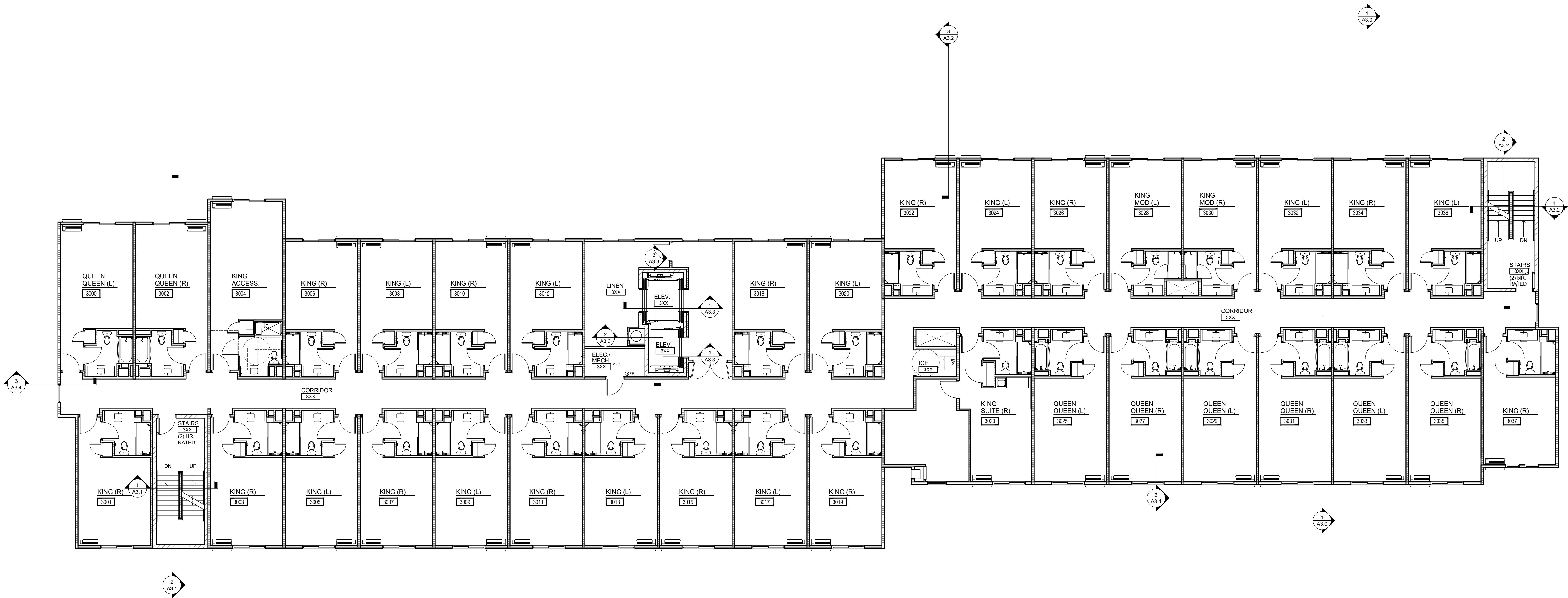
24 SOUTH BROOKE STREET  
FOND DU LAC, WISCONSIN 54937  
l.petrie@madesigninc.net (920) 922-8170

PROJECT #: 59648

OWNERS: SHEB PRO II, LLC.  
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FOND DU LAC, WI 54935

COURTYARD<sup>®</sup>  
BY MARRIOTT  
SOUTH TAYLOR DRIVE  
SHEBOYGAN, WI 53081

JOB NUMBER: 2021.56  
SHEET A1.2



HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
1ST FLOOR	5	-	3	3	-	-	1	1	13
2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	2	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	76	3	25	3	5	2	1	1	117

THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



PRELIMINARY SHEET DATES:

M+A DESIGN, INC.

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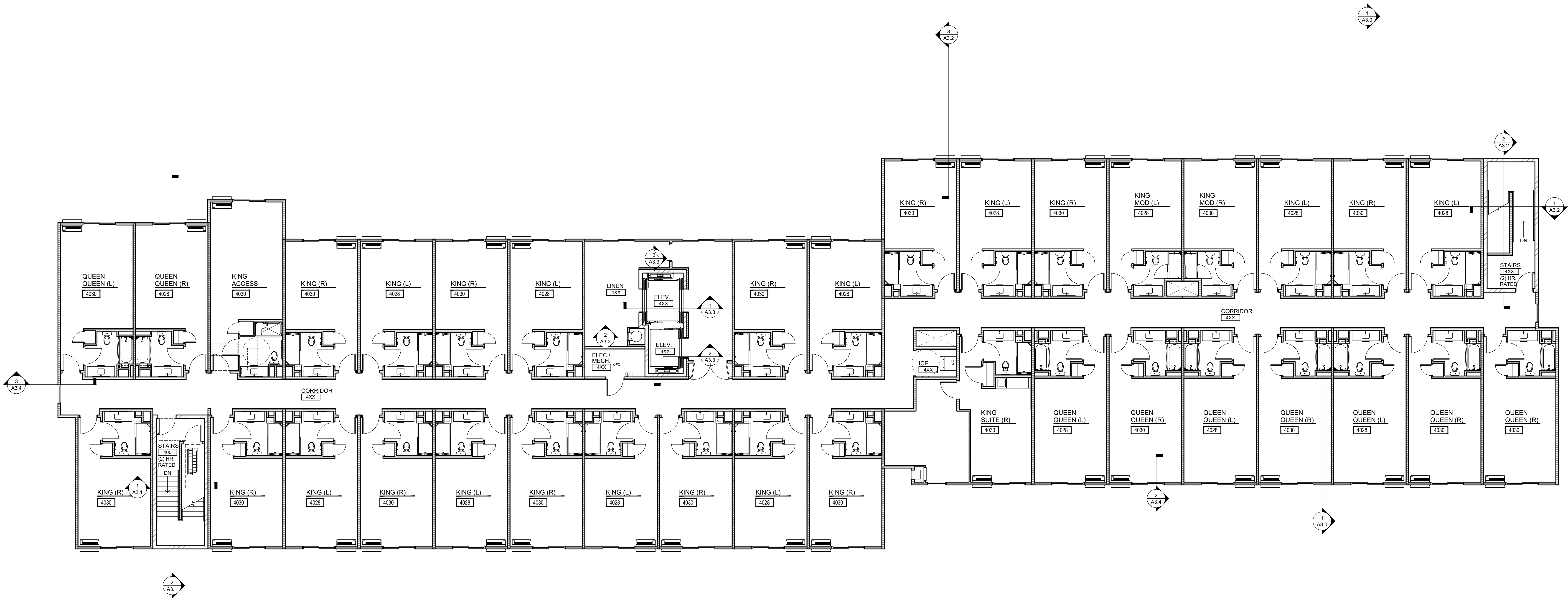
JOB NUMBER:  
2021.56

SHEET  
A1.3

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PRELIMINARY DRAWING - NOT FOR CONSTRUCTION





HOTEL UNIT RECAP									
	KING ROOM	ACC KING ROOM	Q/Q ROOM	ACC Q/Q ROOM	KING MOD	KING SUITE	Q/Q SUITE	ACC Q/Q SUITE	TOTAL
1ST FLOOR	5	-	3	3	-	-	1	1	13
2ND FLOOR	27	1	5	-	1	-	-	-	34
3RD FLOOR	23	1	8	-	2	1	-	-	35
4TH FLOOR	22	1	9	-	2	1	-	-	35
TOTAL	76	3	25	3	5	2	1	1	117



FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

PRELIMINARY SHEET DATES:

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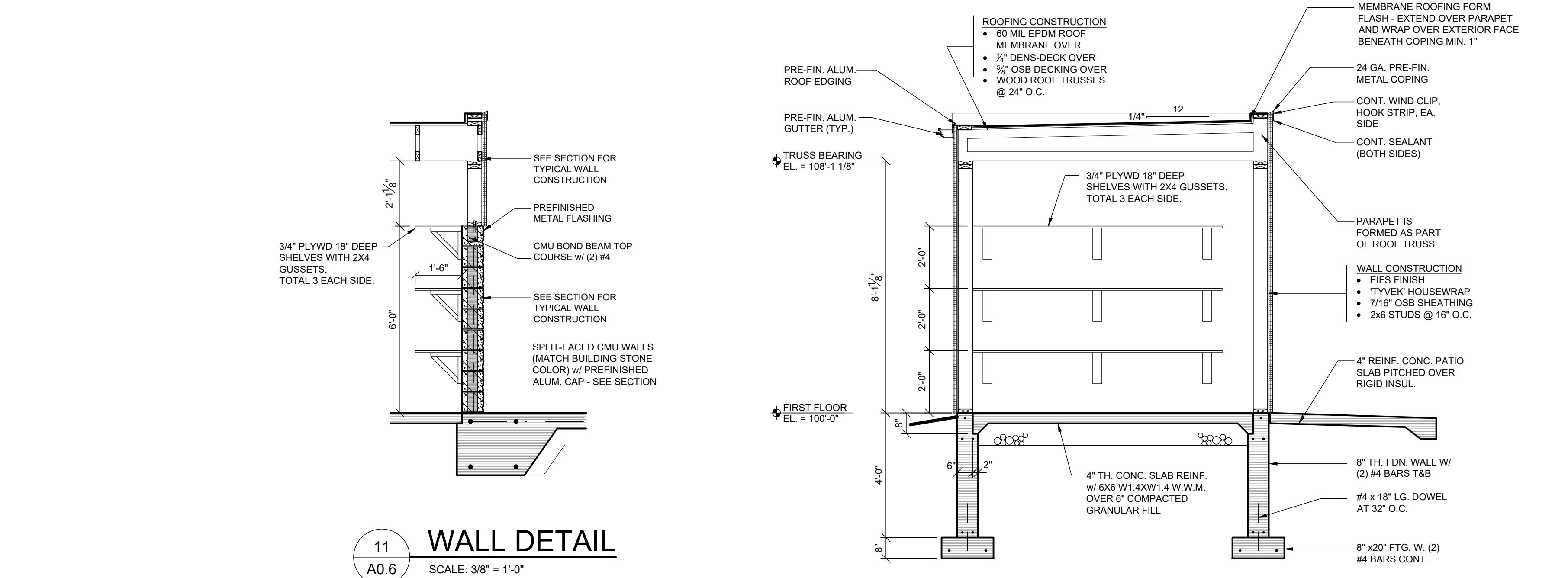
2021 © M+A DESIGN, INC.

JOB NUMBER:

2021.56

SHEET

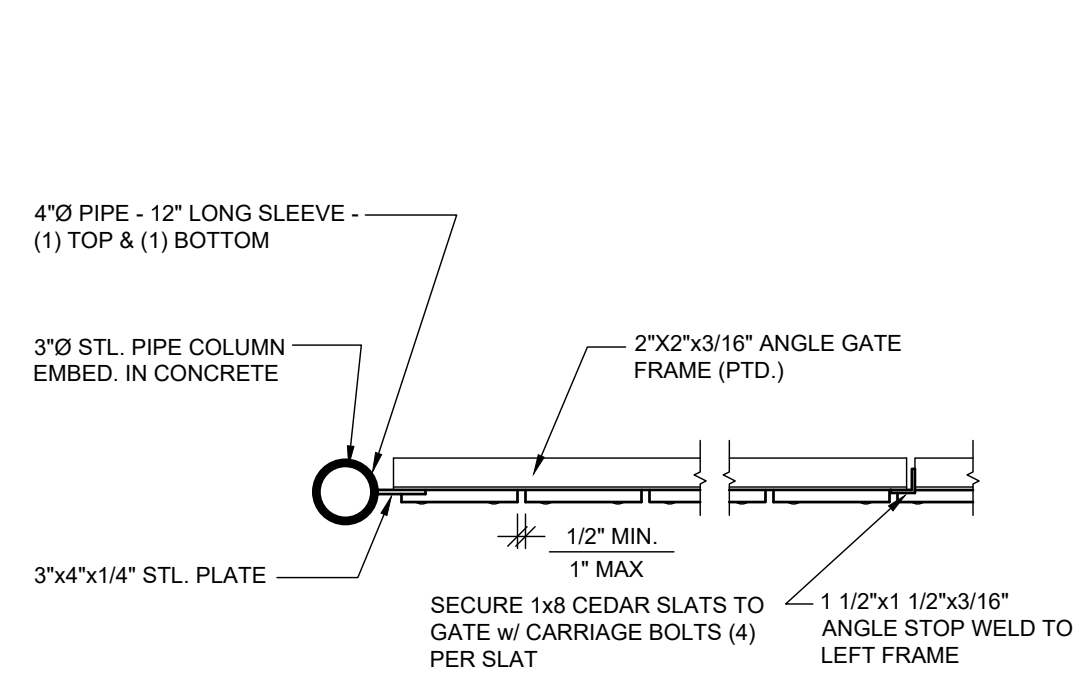
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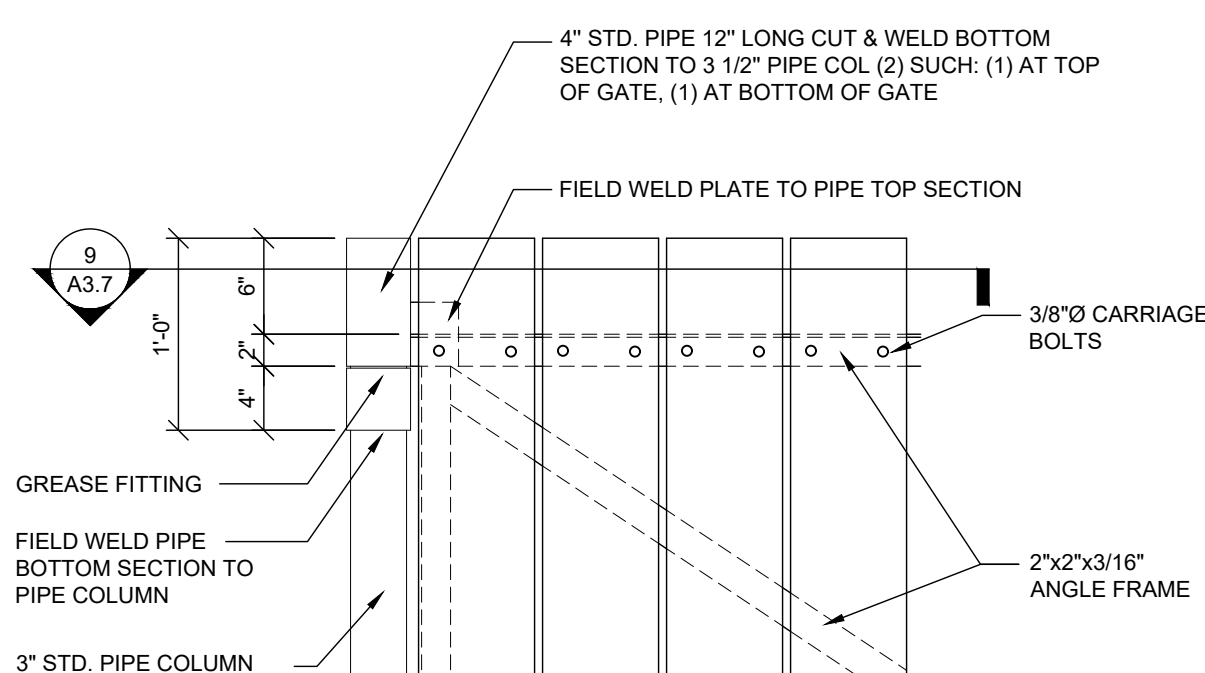
11 WALL DETAIL



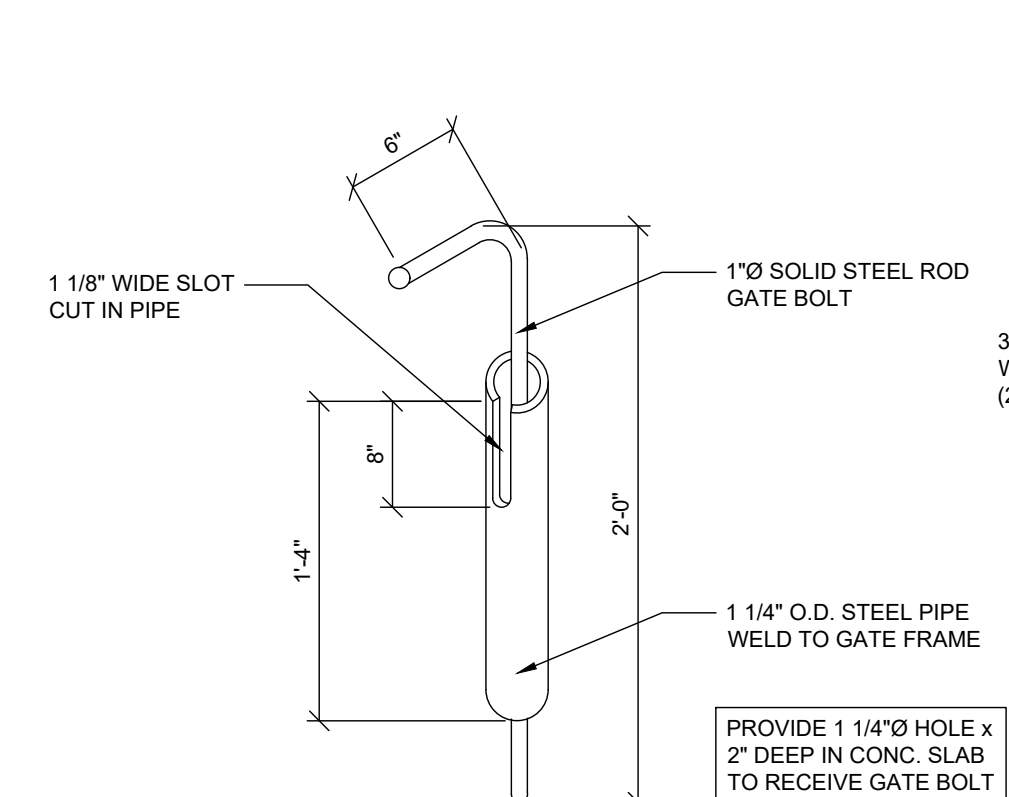
## MAINTENANCE SHED SECTION



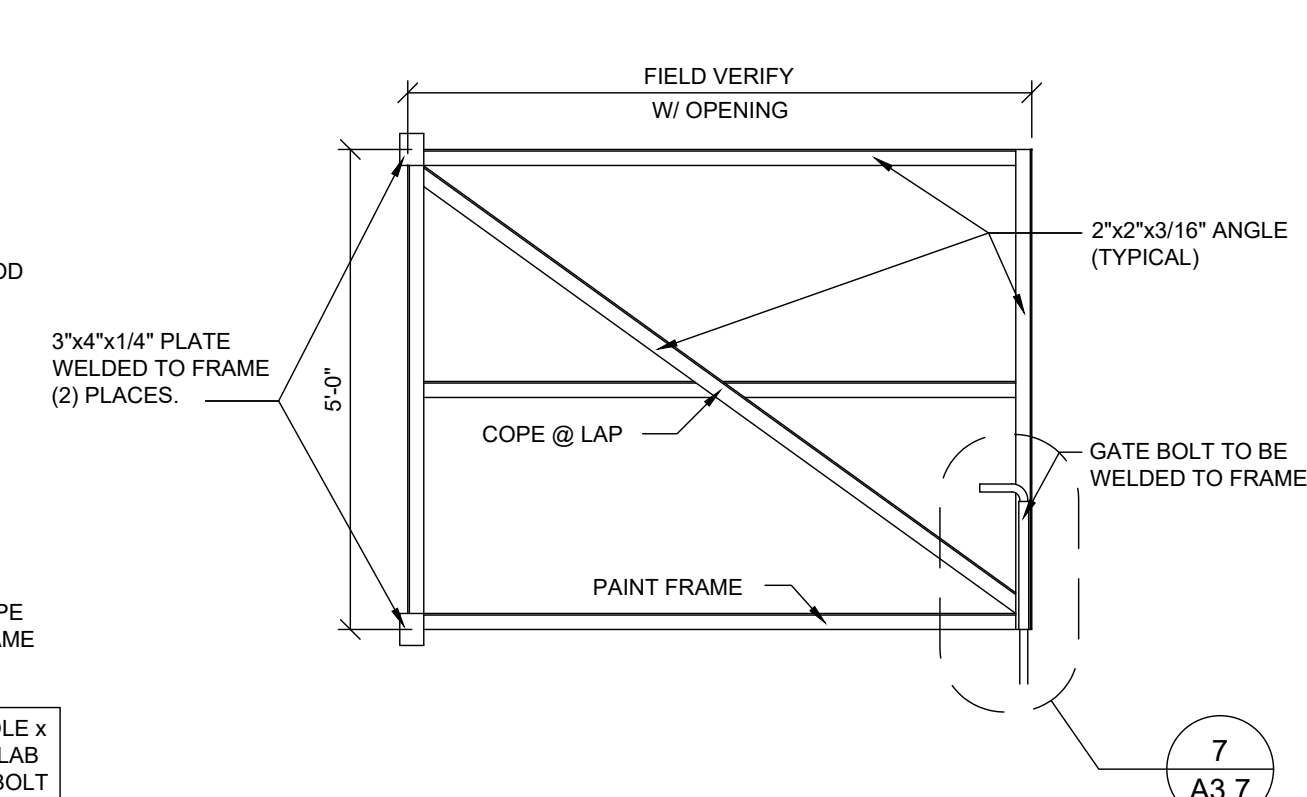
TRASH  
ENCLOSURE GATE



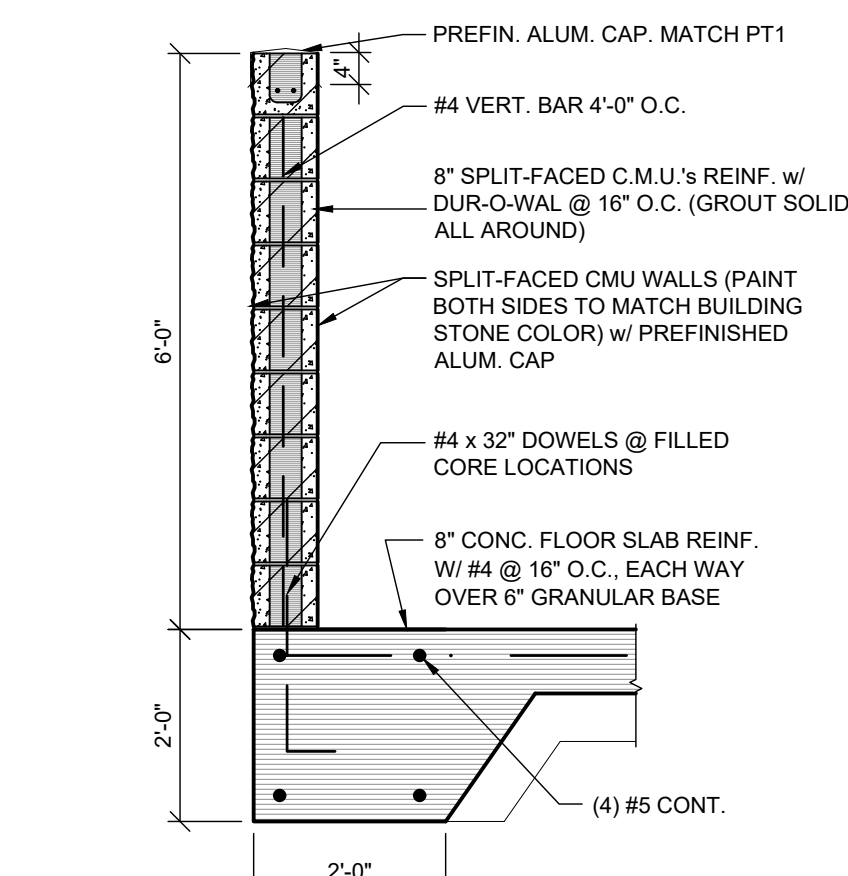
## GATE HINGE ELEVATION



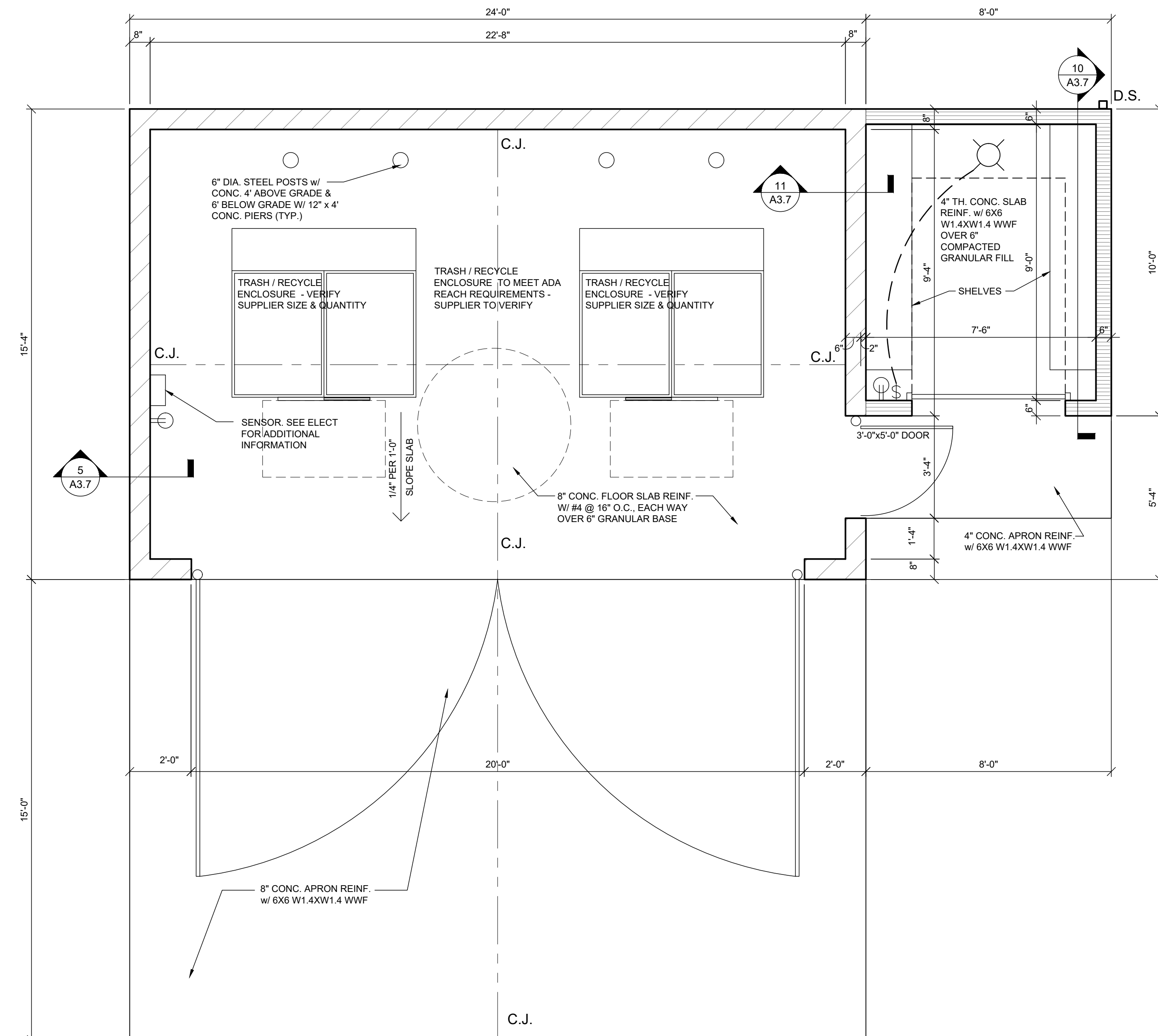
7 GATE BOLT  
A0.6 SCALE: NONE



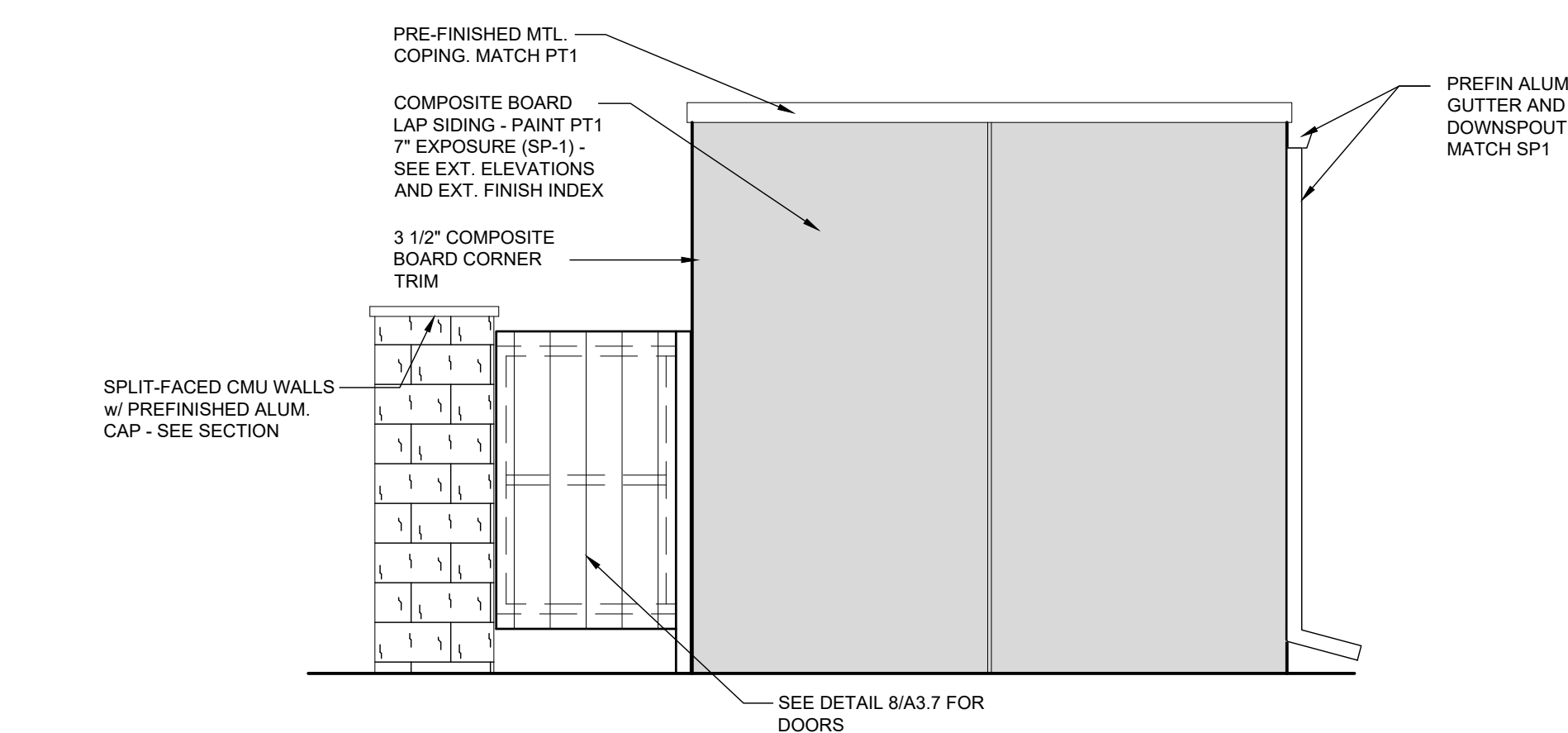
## DUMPSTER GATE FRAME



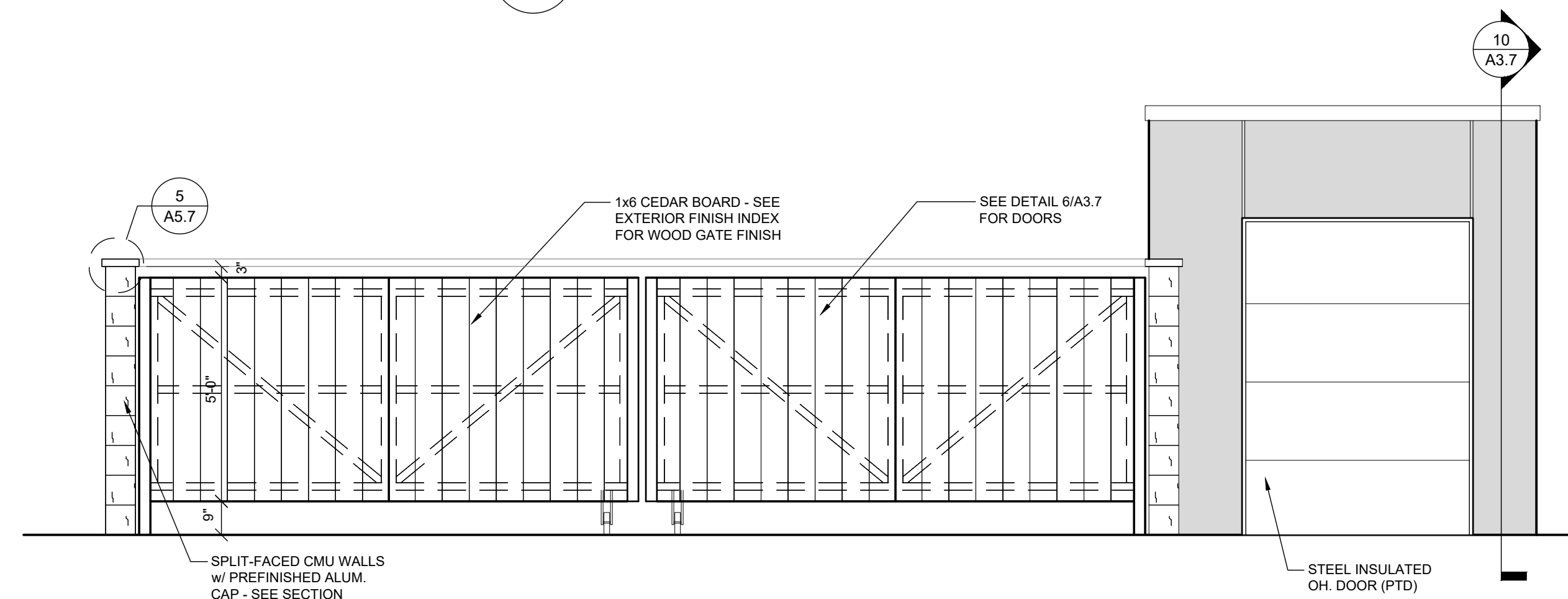
DUMPSTER  
WALL SECTION



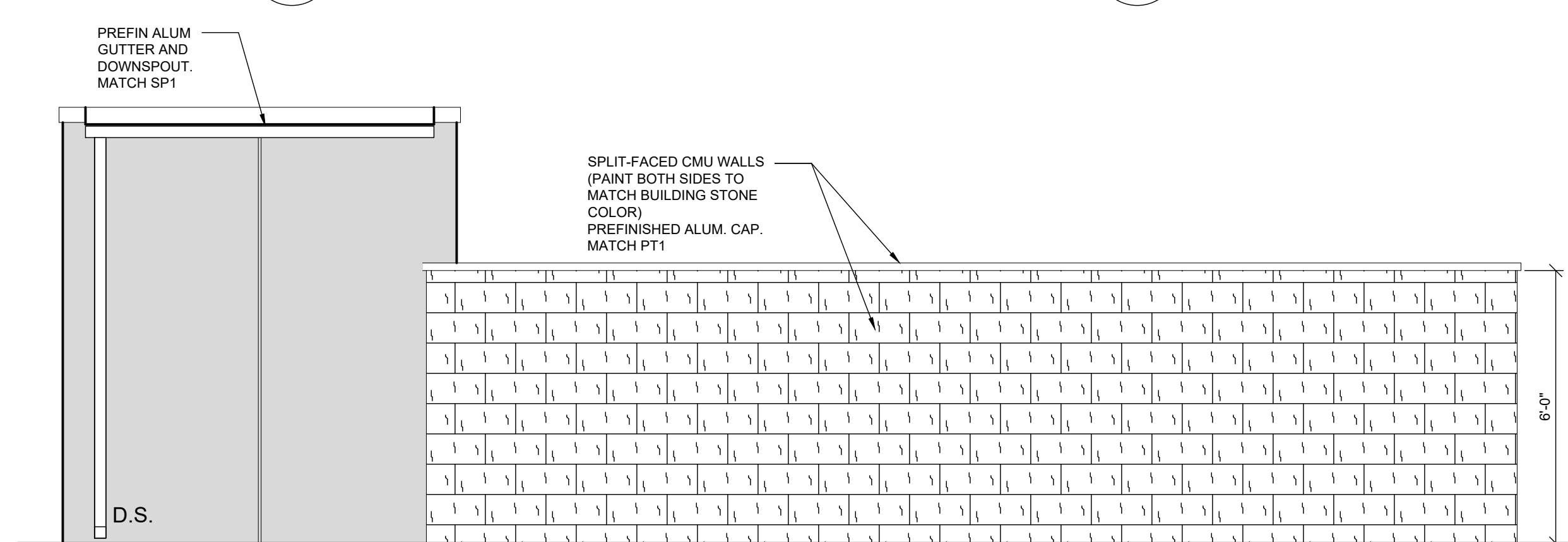
## DUMPSTER PLAN



DUMPSTER  
SIDE ELEVATION



DUMPSTER  
FRONT ELEVATION

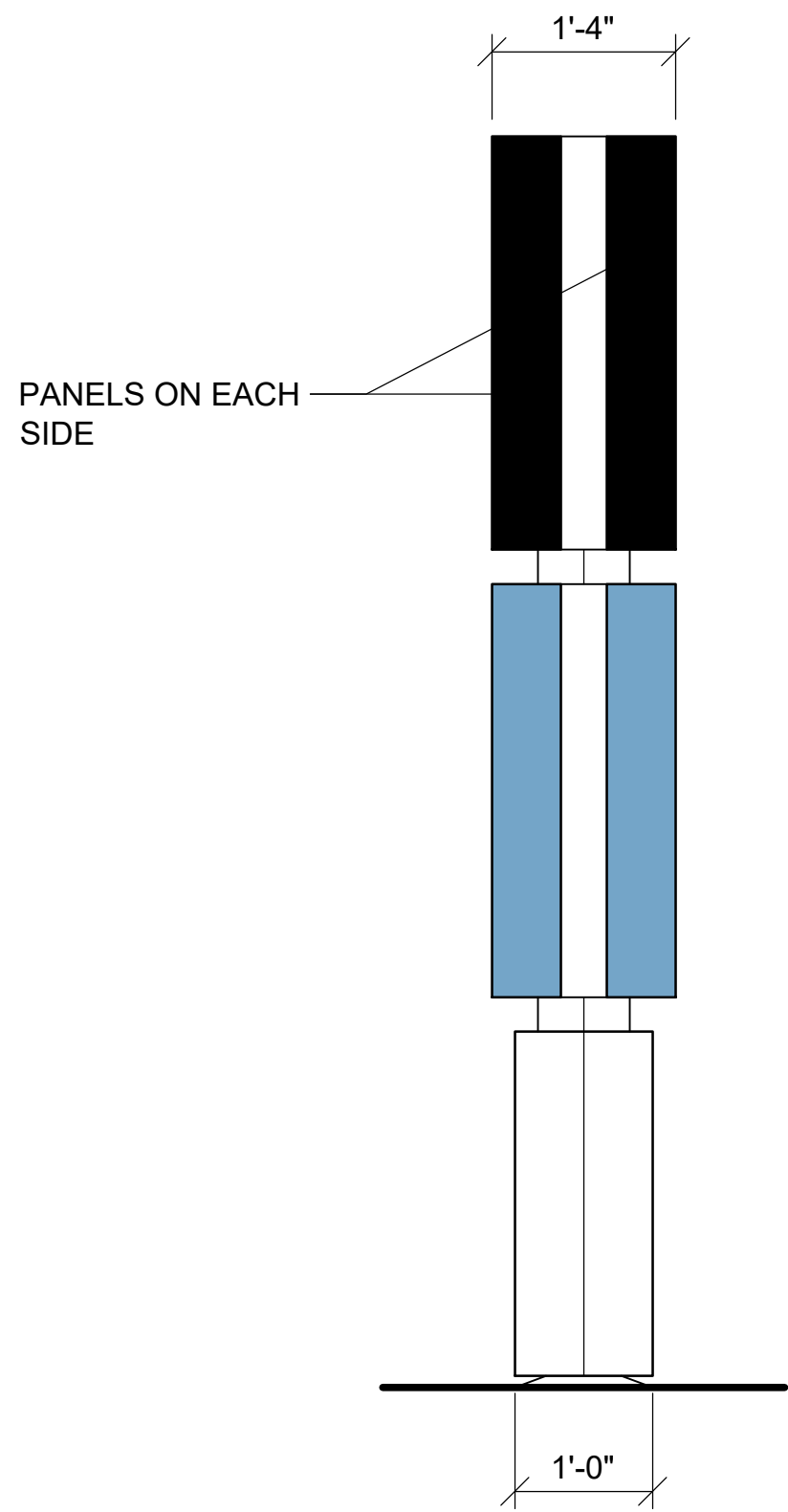
DUMPSTER  
REAR ELEVATION





3  
A0.5

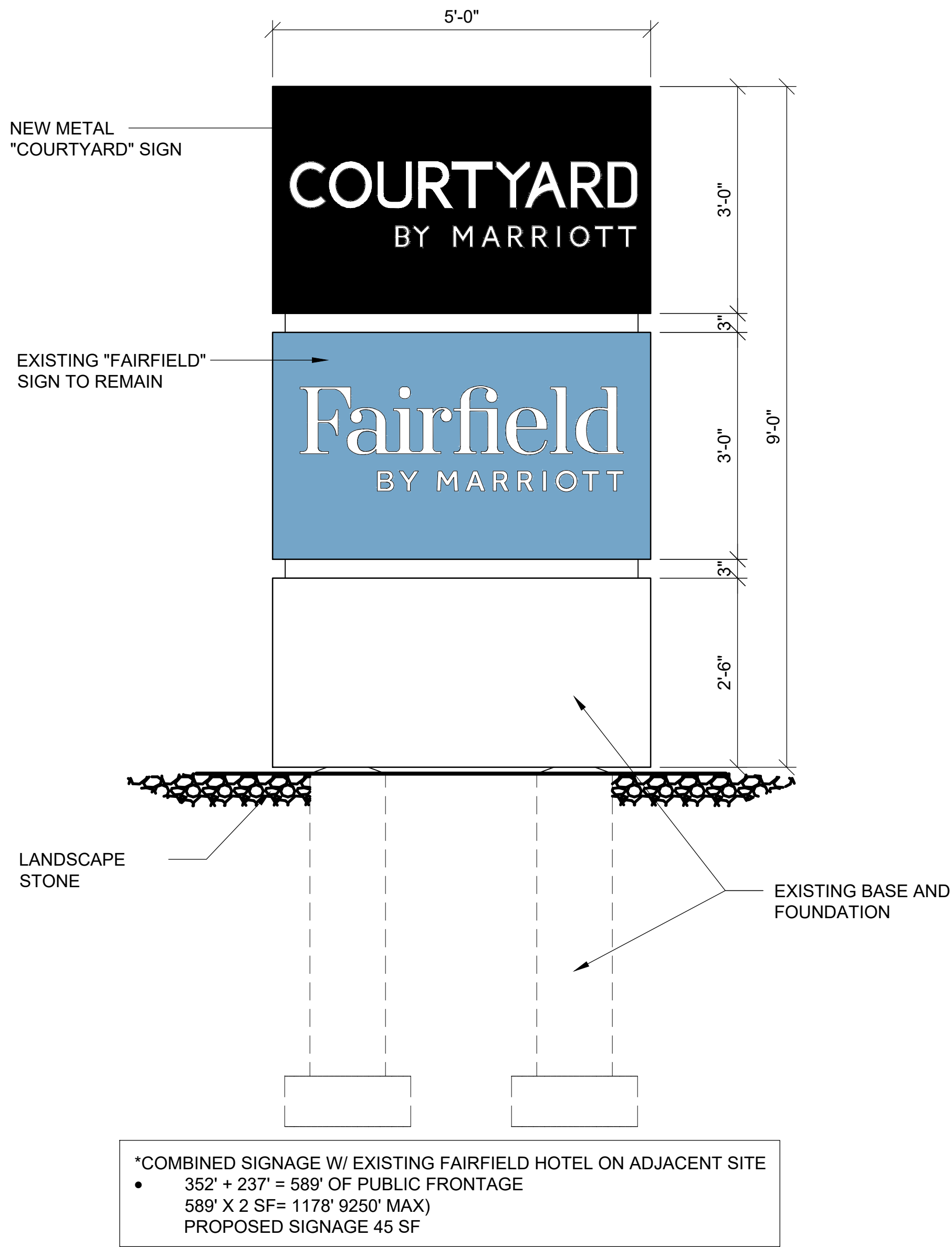
CONCEPTUAL SIGN RENDER



2  
A0.5

SIGN SIDE ELEVATION

SCALE: 3/4" = 1'-0"



1  
A0.5

SIGN ELEVATION

SCALE: 3/4" = 1'-0"



results for 362.











## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

---

**ITEM DESCRIPTION:** Application for Conditional Use Permit with exceptions by Excel Engineering to construct a new Courtyard Hotel by Marriott on parcel #59281470610 (south of the Fairfield Inn located at 4117 S. Taylor Drive). SC Zone

---

**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

---

**REPORT DATE:** January 7, 2022

**MEETING DATE:** January 11, 2022

---

#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

---

#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

---

#### BACKGROUND / ANALYSIS:

ShebPro II, LLC is proposing to construct and operate a new Courtyard Hotel by Marriott on parcel #59281470610 (south of the Fairfield Inn located at 4117 S. Taylor Drive). The applicant states the following about the project:

- Shebpro II, LLC is requesting conditional use approval for construction of a new Courtyard Hotel by Marriott on parcel #59281470610 (south of the Fairfield Inn located at 4117 S. Taylor Drive).
- The existing site is a vacant and undeveloped 2.7 acre property south of the previously constructed Fairfield Inn. The Union Pacific Railroad borders the south side of the parcel.
- The Courtyard Hotel will be 4-story (49.5 feet tall), 21,680sf hotel consisting of a 117 guest rooms. There will be an indoor swimming pool and fenced outdoor patio on the south/rear side of the building and an entrance canopy on the front/north side of the building.
- The development architecture is contemporary and current. The materials are of high quality, in a contextually appropriate composition
- There will be a maximum of seven (7) employees per shift.
- The project is estimated to cost approximately \$12 million.
- Construction to begin around June 1, 2022 and be completed by May 21, 2023.

The applicant states the following about the architecture:

- The buildings orientation will face S. Taylor Drive and interstate highway 43. The proposed exterior materials will primarily be cladded with EIFS and fiber cement panels with some metal and painted steel.
- The southwest elevation faces S. Taylor Drive and Interstate Highway-43 and has contrasting colors of dark/ light gray fiber cement panels, white EIFS, with lime green accents and red cedar screenings.
- A painted grey metal porte-cochere covering the drive/drop-off area at the main entry will allow shelter when loading/ unloading with stamped concrete.
- The southwest façade will have a courtyard patio that will have stamped concrete and steel/ red cedar trellis coverings that will give guests a place to have breakfast and dinner directly from the lounge. Along with a patio off the south façade directly off the pool for a place to soak up the sun.
- The waste enclosure will be constructed out of split faced block painted to match the building (southeast corner of the parking lot).
- Mechanical unit screening provided near the southwest corner of the proposed building near the patio.
- A landscape buffer will surround the property on the southwest and northeast. Additional landscaping will be at the building and parking lot.
- The design intent comes from Marriott International, which will help attract visitors to the growing Sheboygan area.

Site improvements include:

- New hotel building with parking, landscaping, signage, and associated utilities (stormwater management, sanitary sewer, water distribution system, etc.).
- The existing 26 foot wide access drive off of S. Taylor Drive will serve as a shared access road for the two (2) hotel developments. Internal parking and access drives will connect both hotel complexes.
- The site layout and parking are designed to meet the City of Sheboygan Zoning Code. The required parking calculation of 124 stalls will be met. Site improvements include 118 parking stalls (7 handicap accessible) located around the building, a semi-private patio area, a dumpster and shed enclosure located near the back of the parcel.
- Building and parking lot drain to curb inlets which connect to a proposed underground storm chamber system. Underground storm chamber system connects to the exiting wet pond to the north. The existing stormwater pond in addition to the newly proposed underground stormwater management system will treat stormwater to meet local and state requirements.

- Landscaping will be provided in accordance with the City ordinance, in an approach which ensures species resiliency and complimentary aesthetics.
- A modular block retaining wall and fence are proposed along the southeast property line.
- Site lighting to be provided by 20-foot pole mounted LED downcast light fixtures in the parking lot and driveways, and LED bollard style lighting along the front walkways. Other decorative up lighting will be provided around the building structure.
- One monument sign will be provided to serve both hotel developments. Additionally, building signage is also proposed as shown on the exterior elevations.
- As a part of this development, several easements will be required to serve the two hotels. Cross access, shared parking, drainage, and utility easements will all be blanket easements to include both parcels. A shared access drive from S. Taylor Drive will serve both hotels. A shared parking easement will allow visitors to use both lots and also provide adequate parking to serve both hotels. Utilities to serve both buildings will be located between the two hotels within the shared drive lane. The stormwater management pond is located on the future hotel lot in the eastern corner of the site. To maintain existing drainage patterns, this location was ideal for the pond. Both developments will drain via storm sewer into the pond.

#### **STAFF COMMENTS:**

The applicant indicates there will be building signage and a monument sign to be shared by both hotels. However, the applicant has not provided a sign package at this time. Thus, applicant shall work with staff with regards to appropriate signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.

The applicant is requesting the following land use exceptions:

- Applicant is proposing a side yard paving setback 0 feet - The minimum paving setback is 5 feet.

Applicant is requesting a zero foot paved surface setback along the north side of the site in order to create a shared access with the Fairfield Inn to the north. This variance is required in order to create the new shared parking and access driveway that customers from both facilities will use to enter and exit from these properties. The shared access reduces the number of potential traffic conflicts on Taylor Drive and is consistent with the approved Fairfield Inn development immediately north of the proposed Courtyard development. The shared access agreement will need to be officially documented prior to building permit issuance.

- Applicant is proposing 9' x 18', 90 degree parking with 24 foot drive aisles - The minimum is 9' x 18.5', 90 degree parking with 26 foot drive aisles.

This is consistent with the approved Fairfield Inn development immediately north of the proposed Courtyard development. This slight adjustment is within accepted engineering

standards for stall size and drive aisle width. As proposed, the development complies with the minimum number of parking stalls required by Code.

- Requesting a variance to have a nine (9) foot tall off premise monument sign – Maximum monument sign height is eight (8) feet tall and shall be on premise.

The applicant is proposing to advertise both hotels on one (1) monument sign and therefore is requesting additional height in order to best advertise each hotel's to customers. The total square footage of the actual advertising cabinets of the signs is 30sf. Each cabinet is 15sf (3 x 5). In addition, the sign is proposed to be on the Fairfield Inn property. One (1) shared sign is better than two (2) individual free standing signs for each business.

- Applicant is proposing to exceed .5 footcandles at the property line – Maximum .5 footcandles permitted at the property line.

It is important to provide adequate lighting for safety purposes for both hotels customers and employees as they share the main common access drive at their common property line. The proposed lighting will provide better light distribution throughout the parking lot, travel lanes and properties and will not adversely impact adjoining properties.

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

The Plan Commission may want to have the applicant address the following:

- Does the applicant have all of the shared access and stormwater agreements/easements between the Fairfield Inn and the Courtyard Hotel?
- Will there be a bar in the hotel (liquor license)? Kitchen?

Construction of the new Courtyard Hotel is an attractive development on this S. Taylor Drive/I-43 commercial corridor. It is nice to see phase two of this development occur as planned.

#### **ACTION REQUESTED:**

Staff recommends approval of the conditional use and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain the necessary liquor license in order to serve alcohol. Applicant may serve alcohol if and only if all required liquor licenses are obtained.
3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance. If properties are sharing stormwater facilities (Courtyard and Fairfield Inn), the proper agreements/easements shall be officially documented and recorded prior to building permit issuance.




4. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall meet the minimum number of landscaping points for these criteria and the bufferyard. Landscaping shall be installed prior to issuance of an occupancy permit.
5. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Dumpster enclosure shall be completed prior to issuance of an occupancy permit.
6. Outdoor storage of materials, products or equipment shall be prohibited.
7. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
8. Any unused mechanical boxes, equipment, etc. shall be removed from the site.
9. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets (except for common property line/shared access drive area granted an exception).
10. Any fencing/retaining wall shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance. Applicant shall work with staff with regards to constructing appropriate and well-designed fence/retaining wall and shall obtain the necessary permits prior to installation. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
11. Applicant shall work with staff with regards to appropriate signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
12. Applicant shall to install individual letter signs – no cabinet or flat panel signs.
13. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is nine (9) feet (per exception).
14. All areas used for parking/maneuvering of vehicles shall be paved.
15. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
16. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
17. The parking lot and drives shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.
18. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.).
19. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, drop off lane, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
20. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
21. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
22. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.

23. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
24. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
25. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
26. Prior to building permit issuance, the applicant will provide formal documentation that all required easements, agreements, etc. between the property owners have been officially recorded by Sheboygan County. Easements/agreements including but not limited to shared parking, access, utilities, storm drainage etc.
27. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building plans.
28. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

#### **ATTACHMENTS:**

Conditional Use and required attachments

  
Gen. Ord. No. 33 - 21 - 22. By Alderperson Perrella. December 20, 2021.

AN ORDINANCE amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located on Erie Avenue - Parcel #59281204550 and Parcel #59281204560 from Employment to Multi-Family Residential Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Chapter 2 of the Sheboygan Comprehensive Plan establishing future land use classifications is hereby amended by changing the Future Land Use Maps thereof and Use Classifications of the following described lands from Class Employment to Multi-Family Residential Classification:

Property located on Erie Avenue (Parcel #59281204550 and Parcel #59281204560):

Section 22, Township 15 North, Range 23 East. Original Plat Lot 7 & 8 Block 80.

Section 2. All ordinances or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and this ordinance shall be in effect from and after its passage and publication.

*City Plan*

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

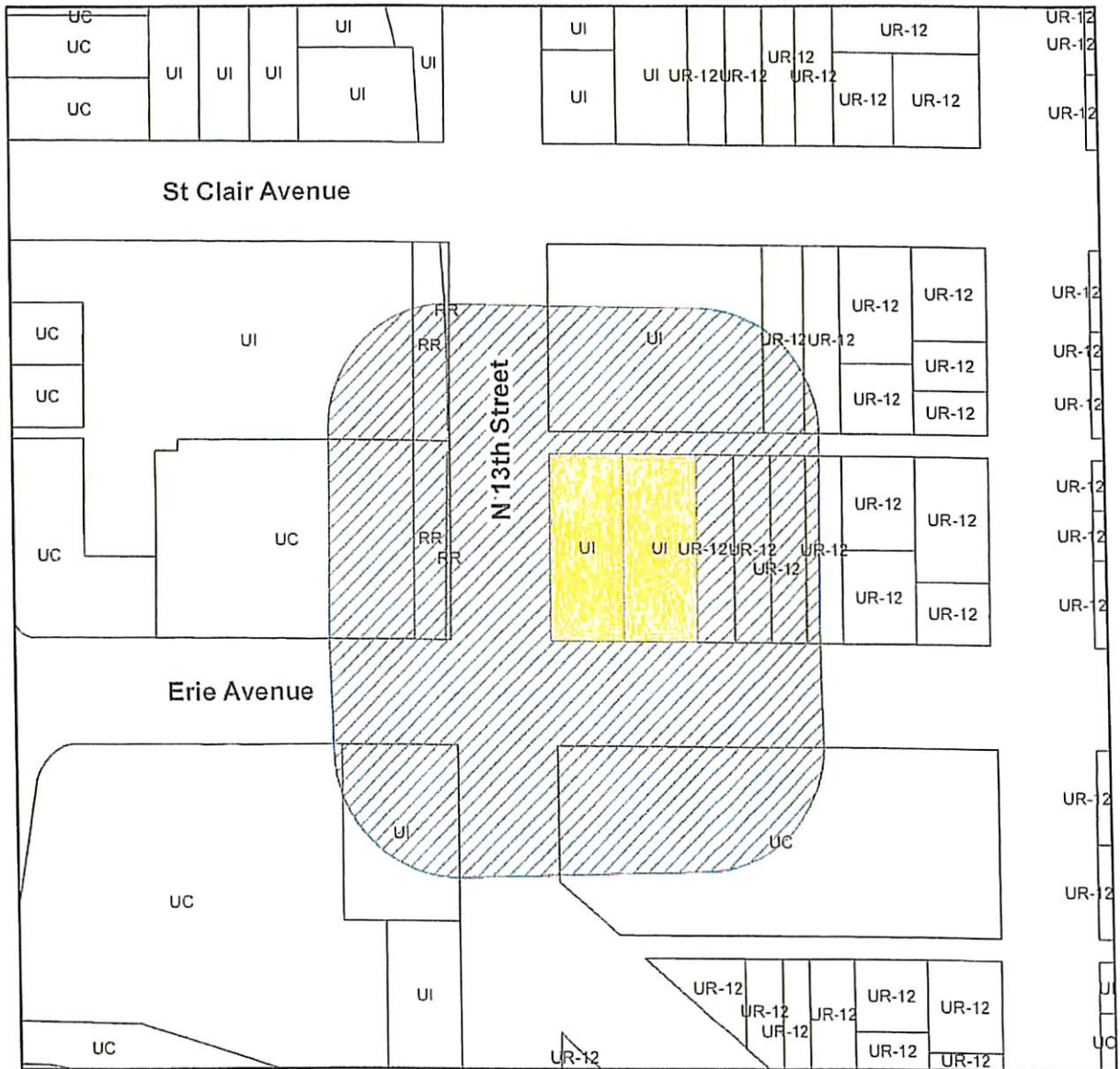
Dated \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, City Clerk

Approved \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, Mayor

PROPOSED COMPREHENSIVE PLAN AMENDMENT  
FROM EMPLOYMENT  
TO MULTI-FAMILY RESIDENTIAL

SECTION 22, TOWNSHIP 15 NORTH, RANGE 23 EAST

ORIGINAL PLAT LOT 7 & 8 BLOCK 80



0 50 100 200 300 400 Feet



II

R. O. No. 111 - 21 - 22. By CITY CLERK. December 20, 2021.

Submitting an application from Partners for Community Development and KG Development Group for a change in zoning classification for property on Erie Avenue (Parcel #59281204550 and Parcel #59281204560) from Class Urban Industrial (UI) to Urban Residential (UR-12) Classification.

Copy Plan

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CITY CLERK



~~X~~

Gen. Ord. No. 34 - 21 - 22. By Alderperson Perrella. December 20, 2021.

AN ORDINANCE amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located on Erie Avenue - Parcel #59281204550 and Parcel #59281204560 from Class Urban Industrial (UI) to Urban Residential (UR-12) Classification.

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Approved \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, Mayor

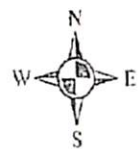
PROPOSED REZONE  
FROM URBAN INDUSTRIAL (UI)  
TO URBAN RESIDENTIAL (UR-12)

SECTION 22, TOWNSHIP 15 NORTH, RANGE 23 EAST

ORIGINAL PLAT LOT 7 & 8 BLOCK 80



0 50 100 200 300 400 Feet



OFFICE USE ONLY

APPLICATION NO.: \_\_\_\_\_

RECEIPT NO.: 211897

FILING FEE: \$200.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN  
APPLICATION FOR  
AMENDMENT OF OFFICIAL ZONING MAP**

(Requirements Per Section 15.903)

Revised May, 2012

Completed application is to be filed with the Office of the City Clerk, City Hall, 828 Center Avenue. Application will not be processed if all required attachments and filing fee of \$200 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

**1. APPLICANT INFORMATION**

APPLICANT: Partners for Community Development and KG Development Group

PHONE NO.: ( 800-584-8172 EXT.101 )

ADDRESS: 1407 S 13<sup>TH</sup> St, Sheboygan, WI 53081

E-MAIL: KARIN.KIRCHMEIER@PARTNERS4CD.COM/Anthony@kgdevgroup.com

OWNER OF SITE: Robert Heimerl PHONE NO.: ( 920-207-7030

**2. DESCRIPTION OF THE SUBJECT SITE**

ADDRESS OF PROPERTY AFFECTED: 1236 Erie Ave, Sheboygan, WI 53081

LEGAL DESCRIPTION: Section 22, Township 15 North, Range 23 East

PARCEL NO. 204550 and 204560

MAP NO. \_\_\_\_\_

EXISTING ZONING DISTRICT CLASSIFICATION: Urban Industrial

PROPOSED ZONING DISTRICT CLASSIFICATION: Urban Residential

BRIEF DESCRIPTION OF THE **EXISTING** OPERATION OR USE: The site has four parcels that are vacant. Two parcels are used for UR. and two parcels are zoned for UI.

BRIEF DESCRIPTION OF THE **PROPOSED** OPERATION OR USE: We are seeking to develop 44 units of affordable housing with underground parking and some surface parking.



### 3. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 15.005 and, for flood plains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources and the Federal Emergency Management Agency?

This site is not in a flood plain & the site is less than an acre, so the agency's above do not need to be involved. N/A.

Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Provide explanation in space provided below.)

- ☐ The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Master Plan.
- ☐ A mistake was made in mapping on the Official Zoning Map. (An area is developing in a manner and purpose different from that for which it is mapped.) *NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading.*
- ☐ Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
- ☒ Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
- ☐ Explain: The UI or Urban Industrial zoning at this location is no longer applicable. Industrial property has relocated to business parks and out of the center of the city. UR zoning is more applicable for the location today.

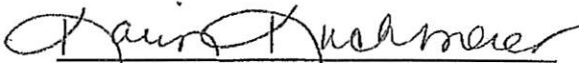
How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Indicate reasons why the applicant believes the proposed map amendment is in harmony with the recommendations of the City of Sheboygan Comprehensive Plan.

This area of the city of Sheboygan is predominantly residential & commercial/retail. Due to this and the fact that the city of Sheboygan is in need of affordable apartments we feel that affordable apartments is an ideal land use for this property at 13Th St Erie Ave.

#### 4. CERTIFICATE

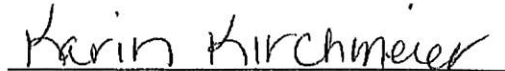
I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

12-6-21

DATE



PRINT ABOVE NAME

#### APPLICATION SUBMITTAL REQUIREMENTS

A copy of the current zoning map of the subject property and vicinity showing:

- ☐ The property proposed to be rezoned.
- ☐ All lot dimensions of the subject property.
- ☐ All other lands within 200 feet of the subject property.
- ☐ Map size not more than 11" X 17" and map scale not less than 1" = 600'.
- ☐ Graphic scale and north arrow.

12/1/2021

To Whom It May Concern:

Partners for Community Development, Inc. and KG Development Group ("the development team") hereby request that the City of Sheboygan rezone the parcels located at 1228 and 1234 Erie Avenue from Urban Industrial to Urban Residential-12. The development team has secured site control of four parcels located at and around 1236 Erie Avenue, west of downtown Sheboygan, and intend to apply to the Wisconsin Housing and Economic Development Authority (WHEDA) in early 2022 for a reservation of 4% Low-Income Housing Tax Credits. While two of the four parcels that comprise the proposed site are permissively zoned for the proposed redevelopment project, two are zoned as Urban Industrial and require rezoning prior to submitting an application to WHEDA. We believe the aforementioned parcels should be rezoned for two primary reasons.

#### **Conformance to zoning of surrounding parcels**

The City of Sheboygan's Future Land Use Map and Zoning Map identify these two parcels as "Employment" and "Urban Industrial." Given the fact that the land is vacant and is not immediately surrounded by industrial land uses, we believe that the sites would better conform to the surrounding neighborhood with a Multi-Family Residential Comprehensive Plan Designation and an Urban Residential Zoning Designation. We believe residential land use designations are much more compatible with the blocks neighboring residential uses to the east and the one (1) commercial use to the north. Looking to the future as well as present conditions, a multifamily land use designation and development will fit in better with the surrounding neighborhood and fulfills the spirit of the City of Sheboygan's comprehensive plan.

#### **Conformance to 2011 Gateway Neighborhood Revitalization Program**

In May 2011, the City of Sheboygan adopted the Gateway Neighborhood Revitalization Program, which specifically outlined how the City would like for this corridor to evolve as a link to the riverfront and downtown. On page 18 of this plan, the City highlights the 1200 block of Erie Avenue as a gateway into the surrounding neighborhood and even recommends as an option consolidating the four subject parcels controlled by the development team into a single parcel that would be developed into multifamily housing. The project proposed by the development team directly aligns with the spirit of this plan and would implement the recommended "Option 1" by constructing multifamily housing, specifically for low-income Sheboygan households.





Erie Avenue

for separation, but also presents challenges for redeveloping existing sites, integrating accessible parking areas, and its impacts redevelopment costs.

#### **RECOMMENDATIONS:**

##### ***St. Clair Avenue***

Several alley structures are identified to be combined with existing front parcels along St. Clair Avenue. The existing lot width is followed to maintain the neighborhood character of the street.

##### ***1200 Block – Erie Avenue***

This block serves as a “gateway” into the neighborhood and offers an opportunity for new multi-family units, unique commercial uses within the existing housing structures, or new commercial structures. Option 1 shows four parcels combined to provide for these market-driven uses, parking along the alley.

Multi-family housing could be in the form of attached condominium structures with individual front entrances on Erie Avenue. Small front gardens or porches could be integrated into the street facades and set the precedent for

future multi-family housing in the neighborhood.

The existing housing structures could be renovated as commercial uses, with shared parking along the alley. A new commercial structure could also be integrated, with architectural features and an appropriate scale for the neighborhood.

Option 2 includes all the parcels on the block, dividing the block into two large properties for multi-family units. Two sets of attached condominium structures, with integrated pedestrian spaces, will offer new housing choices and improve the visual character of the gateway into the neighborhood.

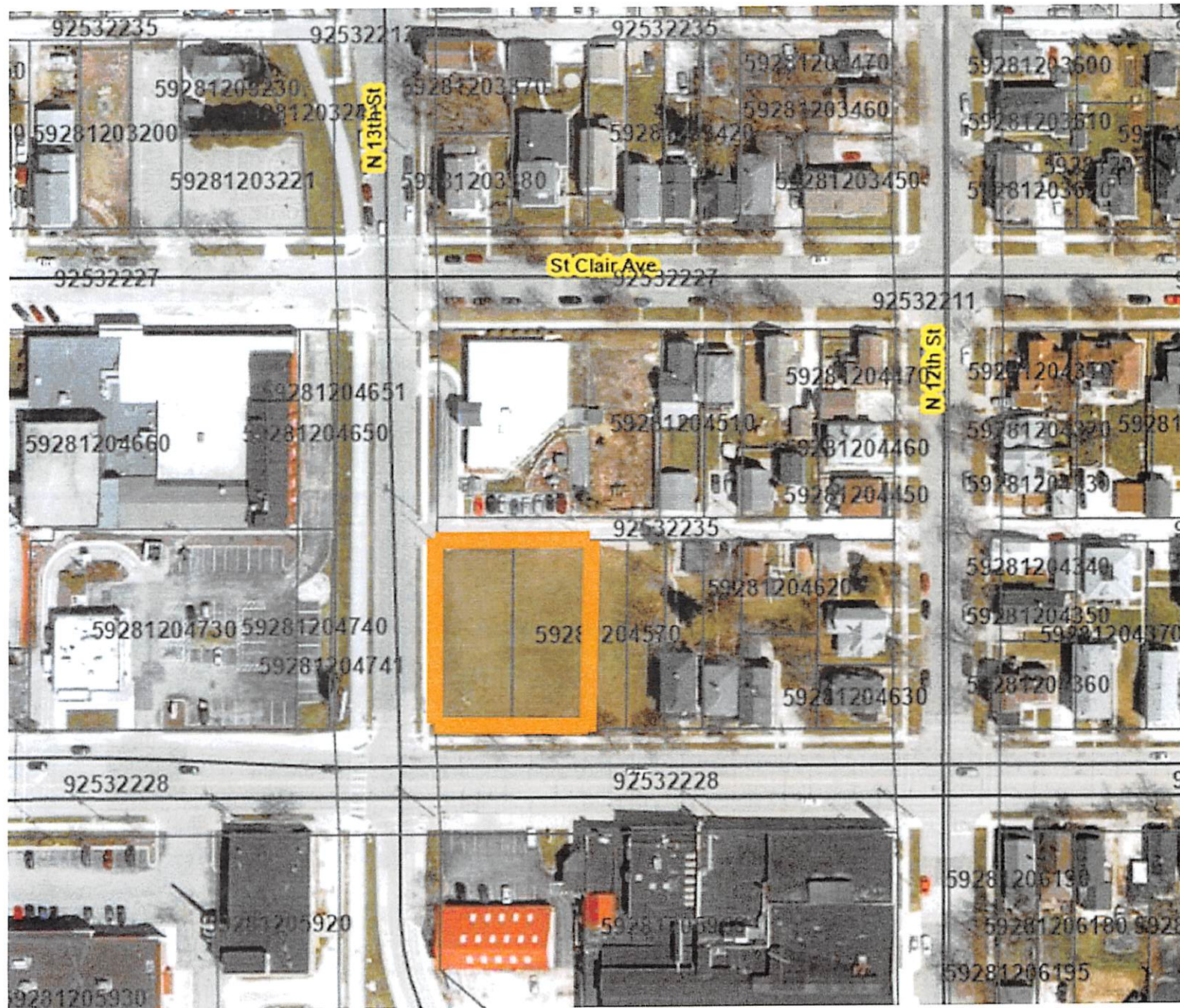
##### ***1100 Block – Erie Avenue***

Three revised residential parcels are proposed on the south side of the street. Alley lots are combined with the existing parcels fronting the street.



1200 block of Erie Avenue

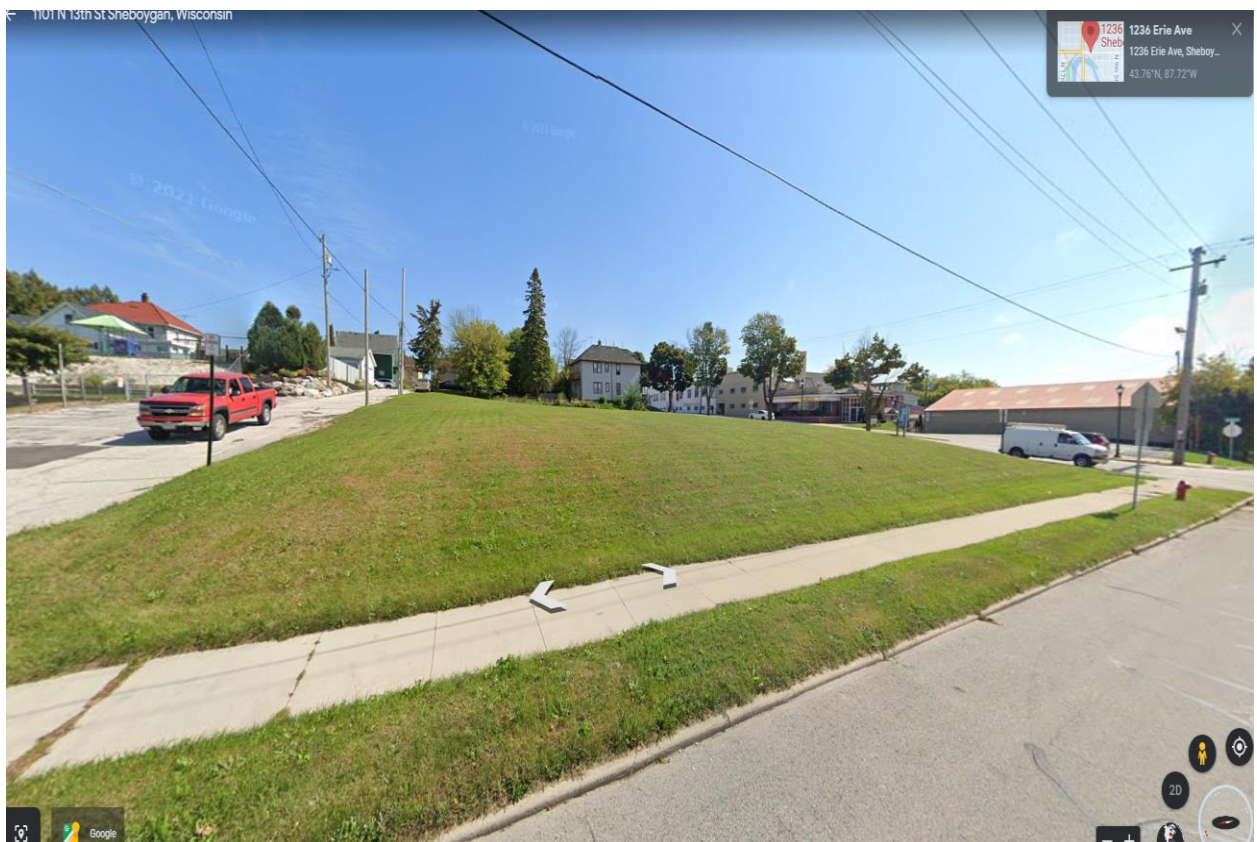
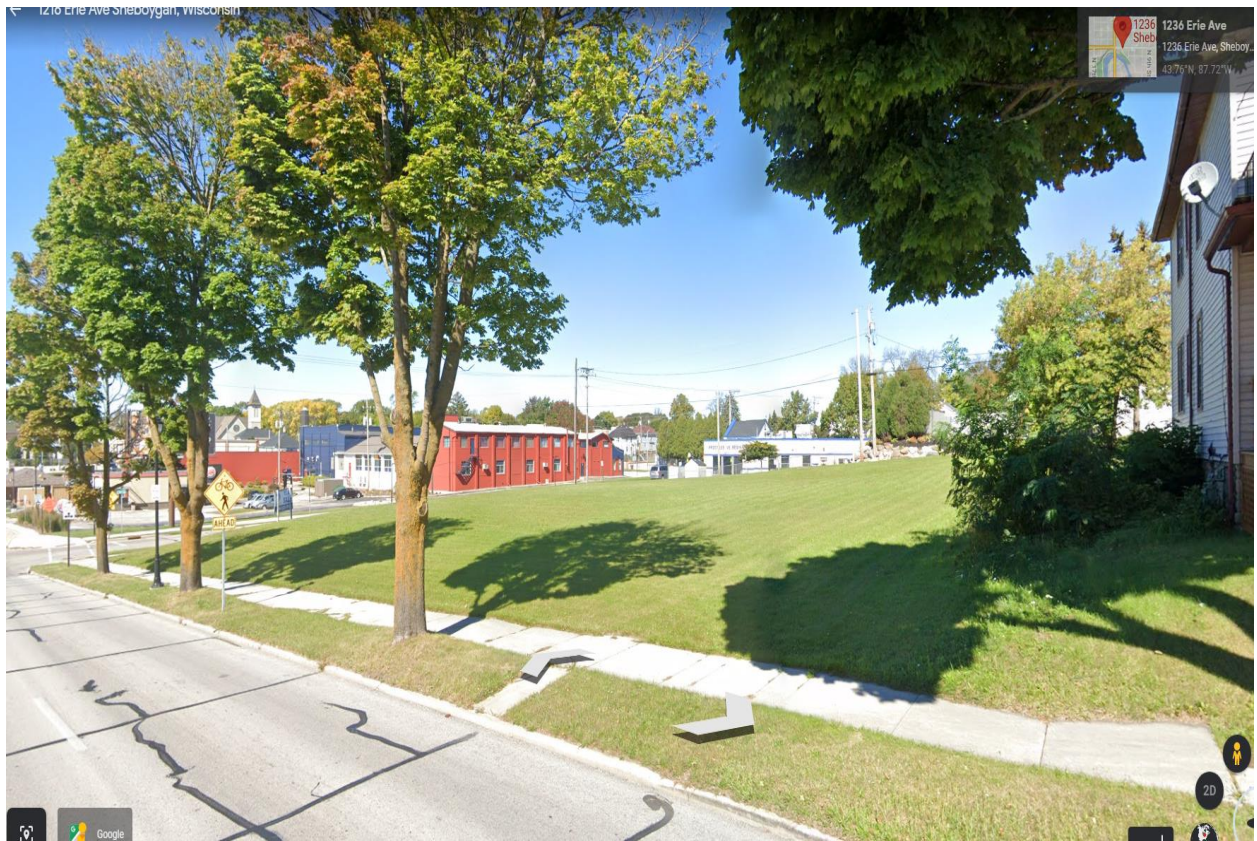


















## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Gen. Ord. No. 33-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located on Erie Avenue - Parcel #59281204550 and Parcel #59281204560 from Employment to Multi-Family Residential Classification.

R. O. No. 111-21-22 and Gen. Ord. No. 34-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located on Erie Avenue – Parcel #59281204550 and Parcel #59281204560 from Class Urban Industrial (UI) to Urban Residential (UR-12) Classification.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** January 7, 2022

**MEETING DATE:** January 11, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

#### BACKGROUND / ANALYSIS:

Robert Heimrel (owner), Partners for Community Development and KG Development Group (Developer's) are proposing to amend the comprehensive plan map and rezone map as follows:

##### Comprehensive Plan Map:

- Parcel #s 59281204550 and 59281204560 from **Employment** to **Multi-Family Residential**.

##### Rezone:

- Parcel #s 59281204550 and 59281204560 from **Urban Industrial (UI)** to **Urban Residential (UR-12)**.

Partners for Community Development, Inc. and KG Development Group ("the development team") request that the City of Sheboygan rezone the parcels from Urban Industrial (UI) to Urban Residential (UR-12). The development team has secured site control of four (4) parcels located at and around 1236 Erie Avenue and intend to apply to the Wisconsin Housing and Economic

Development Authority (WHEDA) in early 2022 for a reservation of 4% Low-Income Housing Tax Credits. While two (2) of the four (4) parcels that comprise the proposed site are zoned UR-12, two (2) of the parcels are zoned Urban Industrial and require rezoning prior to applying to WHEDA.

The applicant states:

- The City of Sheboygan's Future Land Use Map and Zoning Map identify these two (2) parcels as "Employment" and "Urban Industrial." Given the fact that the land is vacant and is not immediately surrounded by industrial land uses, we believe that the sites would better conform to the surrounding neighborhood with a Multi-Family Residential Comprehensive Plan Designation and an Urban Residential Zoning Designation. We believe residential land use designations are much more compatible with the blocks neighboring residential uses to the east and the one (1) commercial use to the north. Looking to the future as well as present conditions, a multifamily land use designation and development will fit in better with the surrounding neighborhood and fulfills the spirit of the City of Sheboygan's comprehensive plan.
- In May 2011, the City of Sheboygan adopted the Gateway Neighborhood Revitalization Program, which specifically outlined how the City would like for this corridor to evolve as a link to the riverfront and downtown. On page 18 of this plan, the City highlights the 1200 block of Erie Avenue as a gateway into the surrounding neighborhood and even recommends as an option consolidating the four (4) subject parcels controlled by the development team into a single parcel that would be developed into multifamily housing. The project proposed by the development team directly aligns with the spirit of this plan and would implement the recommended "Option 1" by constructing multifamily housing, specifically for low-income Sheboygan households.
- Given this site's location, we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to this mixed use area of the city.
- The proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here at N. 13<sup>th</sup> and Erie Avenue. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional housing that supports both existing local employers and the attraction of future employers to Sheboygan.
- Over time, growth patterns for nearly every municipality shift. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021.
- Another priority focus identified in the study is the utilization of infill development, given the City's limited greenspace MSA suggests placing a priority on infill housing proposals across the City such as the site located on the corner of 13<sup>th</sup> and Erie.



- The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable affordable housing units in the City as employment opportunities remain robust.
- For the variety of reasons outlined above, we believe a rezone to “Urban Residential” will achieve the highest and best use for this site and compliment the surrounding commercial and residential neighborhoods.

The City of Sheboygan Comprehensive Plan identifies several key initiatives including the following:

- Promoting infill development and redevelopment to grow efficiently, strengthen existing business neighborhoods and leverage existing infrastructure and connectivity.
- Promote infill development that will provide for additional urban living and workforce housing opportunities.
- Plan for a sufficient supply of housing to accommodate a variety of housing income levels, age groups, and household sizes.
- Facilitate the provision of quality, safe and appealing housing at a variety of price points and for all stages of life.

The proposed housing development will accomplish these key initiatives by:

- The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into housing which provide infill development and be complementary to the adjoining uses.
- Developing a vacant site into additional affordable housing is ideal as it directly borders on residential and commercial zoning districts.
- This is accomplished by fulfilling the demand for housing with a location that balances proximity to urban spaces and amenities with easy and various transportation options.
- The proposed development is consistent with the objectives and policies set forth in Chapter 4 Housing and Neighborhood Development of the City of Sheboygan Comprehensive Plan.
- Support mixed-use development projects that integrate residential and non-residential uses into high-quality, unified places. Mixed-use areas provide nodes of concentrated activity and integrate people with jobs, services, and shopping in a pedestrian-friendly environment.
- Encourage redevelopment and infill development over greenfield development wherever feasible, while planning for long-term growth of office, industrial, commercial, and residential uses in the City.

- Partner with private property owners, developers, and neighbors to realize the greatest potential for each new development and redevelopment site envisioned under this Plan.

The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into an affordable housing apartment which will provide infill development and be complementary to the adjoining uses.

The Urban Residential (UR-12) zone is identified as the most appropriate zoning for this type of multi-family development.

### **STAFF COMMENTS:**

The surrounding neighborhood zoning is:

- The properties to the north are zoned Urban Commercial (UC) and Neighborhood Residential (NR-6).
- The properties to the south and west are zoned Urban Commercial (UC).
- The properties to the east are zoned Neighborhood Residential (NR-6).

It is important for the Plan Commission to understand that if the property zoning designation is changed from UI to UR-12, an applicant could apply to use the property for any use that is permitted and/or conditionally permitted in the UR-12 zone.

If the Common Council approves the rezone, the applicant needs to be aware that a conditional use will need to be submitted to and reviewed by the City of Sheboygan Plan Commission prior to construction of a new multi-family development.

In addition to the rezoning, the applicant is also proposing to amend the comprehensive plan for these properties from Employment to Multi-Family Residential. The property is proposed to be designated Multi-Family Residential in the City of Sheboygan Comprehensive Plan Future Land Use Map which is consistent with the proposed Urban Residential (UR-12) zoning designation being requested

### **ACTION REQUESTED:**


Motion to recommend the Common Council approve Gen. Ord. No. 33-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located on Erie Avenue - Parcel #59281204550 and Parcel #59281204560 from Employment to Multi-Family Residential Classification.

Motion to recommend the Common Council approve R. O. No. 111-21-22 and Gen. Ord. No. 34-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located on Erie Avenue – Parcel #59281204550 and Parcel #59281204560 from Class Urban Industrial (UI) to Urban Residential (UR-12) Classification.

### **ATTACHMENTS:**

Rezone Application and required attachments



  
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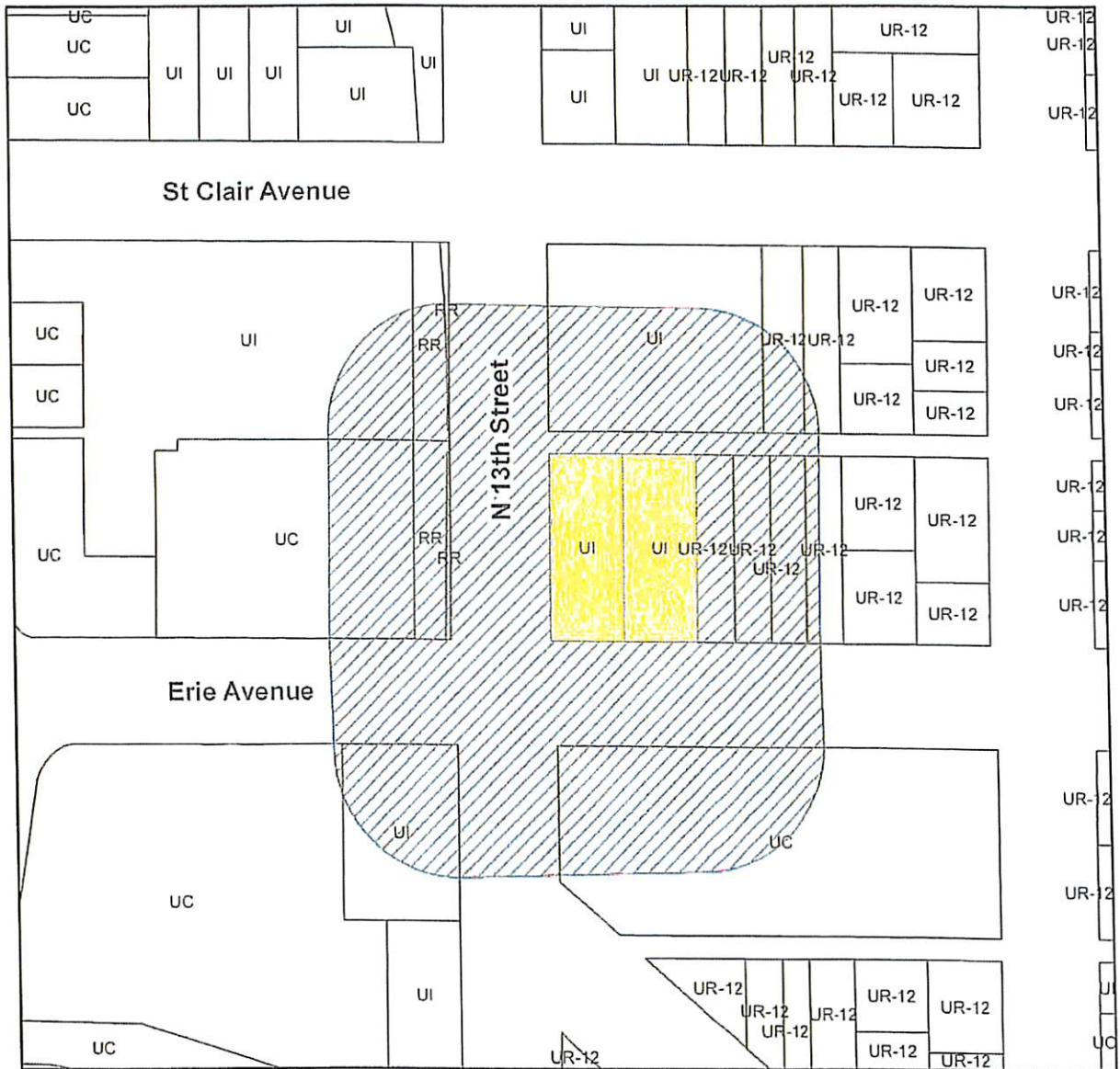
Dated \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, City Clerk

Approved \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, Mayor

PROPOSED COMPREHENSIVE PLAN AMENDMENT  
FROM EMPLOYMENT  
TO MULTI-FAMILY RESIDENTIAL

SECTION 22, TOWNSHIP 15 NORTH, RANGE 23 EAST

ORIGINAL PLAT LOT 7 & 8 BLOCK 80





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Copy Plan

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CITY CLERK

~~IX~~

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Dated \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, City Clerk

Approved \_\_\_\_\_ 20\_\_\_\_. \_\_\_\_\_, Mayor

PROPOSED REZONE  
FROM URBAN INDUSTRIAL (UI)  
TO URBAN RESIDENTIAL (UR-12)

SECTION 22, TOWNSHIP 15 NORTH, RANGE 23 EAST

ORIGINAL PLAT LOT 7 & 8 BLOCK 80





OFFICE USE ONLY

APPLICATION NO.: \_\_\_\_\_

RECEIPT NO.: 211897

FILING FEE: \$200.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN  
APPLICATION FOR  
AMENDMENT OF OFFICIAL ZONING MAP**

(Requirements Per Section 15.903)

Revised May, 2012

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E-MAIL: KARIN.KIRCHMEIER@PARTNERS4CD.COM/Anthony@kgdevgroup.com

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ADDRESS OF PROPERTY AFFECTED: 1236 Erie Ave, Sheboygan, WI 53081

LEGAL DESCRIPTION: Section 22, Township 15 North, Range 23 East

PARCEL NO. 204550 and 204560

MAP NO. \_\_\_\_\_

EXISTING ZONING DISTRICT CLASSIFICATION: Urban Industrial

PROPOSED ZONING DISTRICT CLASSIFICATION: Urban Residential

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### 3. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 15.005 and, for flood plains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources and the Federal Emergency Management Agency?

This site is not in a flood plain & the site is less than an acre, so the agency's above do not need to be involved. N/A.

Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Provide explanation in space provided below.)

- ☐ The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Master Plan.
- ☐ A mistake was made in mapping on the Official Zoning Map. (An area is developing in a manner and purpose different from that for which it is mapped.) *NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading.*
- ☐ Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
- ☒ Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
- ☐ Explain: The UI or Urban Industrial zoning at this location is no longer applicable. Industrial property has relocated to business parks and out of the center of the city. UR zoning is more applicable for the location today.

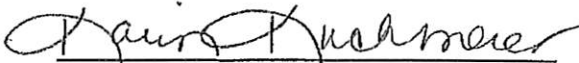
How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

Indicate reasons why the applicant believes the proposed map amendment is in harmony with the recommendations of the City of Sheboygan Comprehensive Plan.

This area of the city of Sheboygan is predominantly residential & commercial/retail. Due to this and the fact that the city of Sheboygan is in need of affordable apartments we feel that affordable apartments is an ideal land use for this property at 13Th St Erie Ave.

#### 4. CERTIFICATE

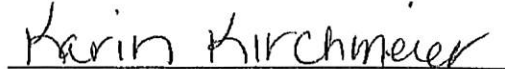
I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

12-6-21

DATE



PRINT ABOVE NAME

#### APPLICATION SUBMITTAL REQUIREMENTS

A copy of the current zoning map of the subject property and vicinity showing:

- ☐ The property proposed to be rezoned.
- ☐ All lot dimensions of the subject property.
- ☐ All other lands within 200 feet of the subject property.
- ☐ Map size not more than 11" X 17" and map scale not less than 1" = 600'.
- ☐ Graphic scale and north arrow.



12/1/2021

To Whom It May Concern:

Partners for Community Development, Inc. and KG Development Group ("the development team") hereby request that the City of Sheboygan rezone the parcels located at 1228 and 1234 Erie Avenue from Urban Industrial to Urban Residential-12. The development team has secured site control of four parcels located at and around 1236 Erie Avenue, west of downtown Sheboygan, and intend to apply to the Wisconsin Housing and Economic Development Authority (WHEDA) in early 2022 for a reservation of 4% Low-Income Housing Tax Credits. While two of the four parcels that comprise the proposed site are permissively zoned for the proposed redevelopment project, two are zoned as Urban Industrial and require rezoning prior to submitting an application to WHEDA. We believe the aforementioned parcels should be rezoned for two primary reasons.

#### **Conformance to zoning of surrounding parcels**

The City of Sheboygan's Future Land Use Map and Zoning Map identify these two parcels as "Employment" and "Urban Industrial." Given the fact that the land is vacant and is not immediately surrounded by industrial land uses, we believe that the sites would better conform to the surrounding neighborhood with a Multi-Family Residential Comprehensive Plan Designation and an Urban Residential Zoning Designation. We believe residential land use designations are much more compatible with the blocks neighboring residential uses to the east and the one (1) commercial use to the north. Looking to the future as well as present conditions, a multifamily land use designation and development will fit in better with the surrounding neighborhood and fulfills the spirit of the City of Sheboygan's comprehensive plan.

#### **Conformance to 2011 Gateway Neighborhood Revitalization Program**

In May 2011, the City of Sheboygan adopted the Gateway Neighborhood Revitalization Program, which specifically outlined how the City would like for this corridor to evolve as a link to the riverfront and downtown. On page 18 of this plan, the City highlights the 1200 block of Erie Avenue as a gateway into the surrounding neighborhood and even recommends as an option consolidating the four subject parcels controlled by the development team into a single parcel that would be developed into multifamily housing. The project proposed by the development team directly aligns with the spirit of this plan and would implement the recommended "Option 1" by constructing multifamily housing, specifically for low-income Sheboygan households.



Erie Avenue

for separation, but also presents challenges for redeveloping existing sites, integrating accessible parking areas, and its impacts redevelopment costs.

#### **RECOMMENDATIONS:**

##### ***St. Clair Avenue***

Several alley structures are identified to be combined with existing front parcels along St. Clair Avenue. The existing lot width is followed to maintain the neighborhood character of the street.

##### ***1200 Block – Erie Avenue***

This block serves as a “gateway” into the neighborhood and offers an opportunity for new multi-family units, unique commercial uses within the existing housing structures, or new commercial structures. Option 1 shows four parcels combined to provide for these market-driven uses, parking along the alley.

Multi-family housing could be in the form of attached condominium structures with individual front entrances on Erie Avenue. Small front gardens or porches could be integrated into the street facades and set the precedent for

future multi-family housing in the neighborhood.

The existing housing structures could be renovated as commercial uses, with shared parking along the alley. A new commercial structure could also be integrated, with architectural features and an appropriate scale for the neighborhood.

Option 2 includes all the parcels on the block, dividing the block into two large properties for multi-family units. Two sets of attached condominium structures, with integrated pedestrian spaces, will offer new housing choices and improve the visual character of the gateway into the neighborhood.

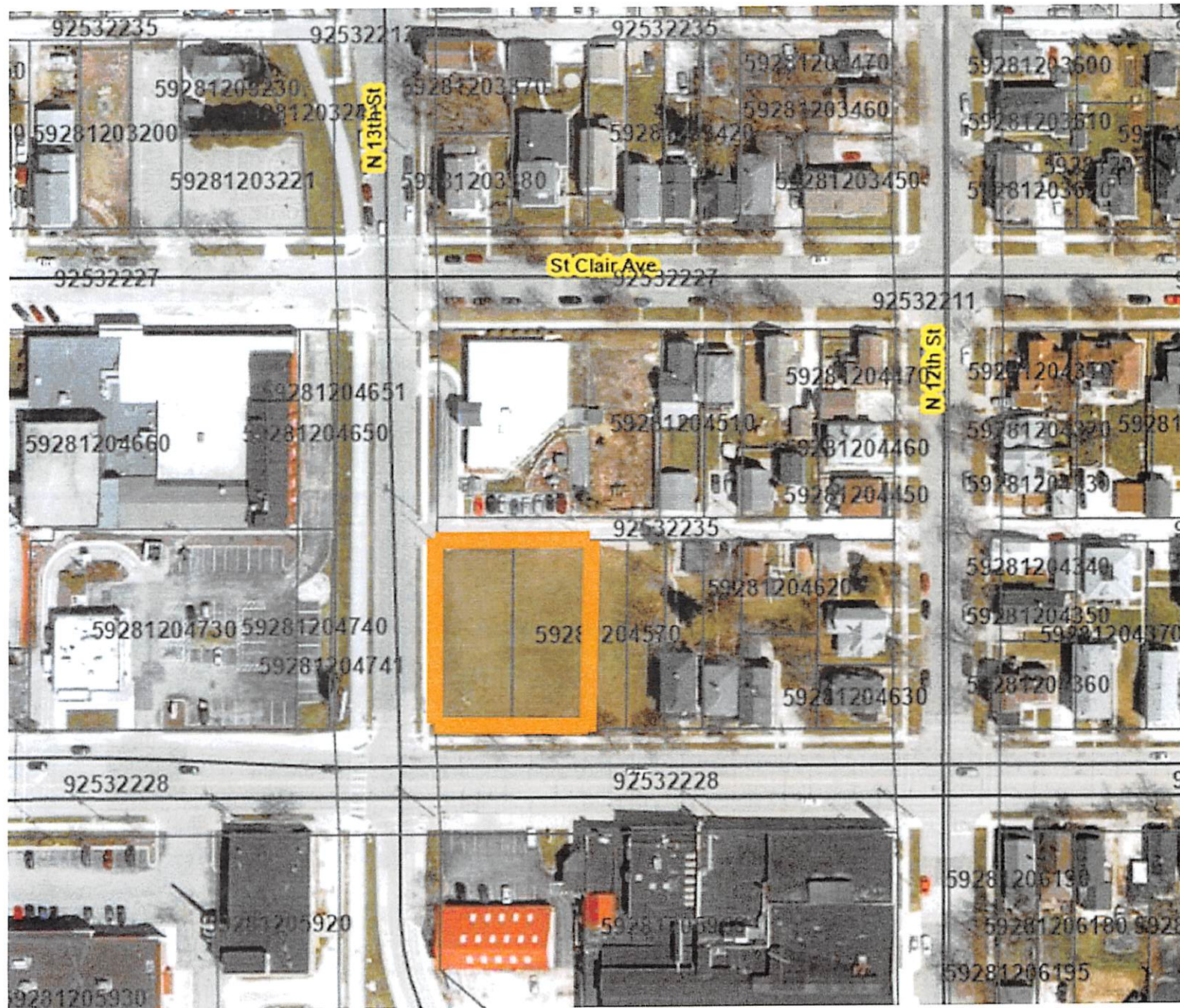
##### ***1100 Block – Erie Avenue***

Three revised residential parcels are proposed on the south side of the street. Alley lots are combined with the existing parcels fronting the street.



1200 block of Erie Avenue

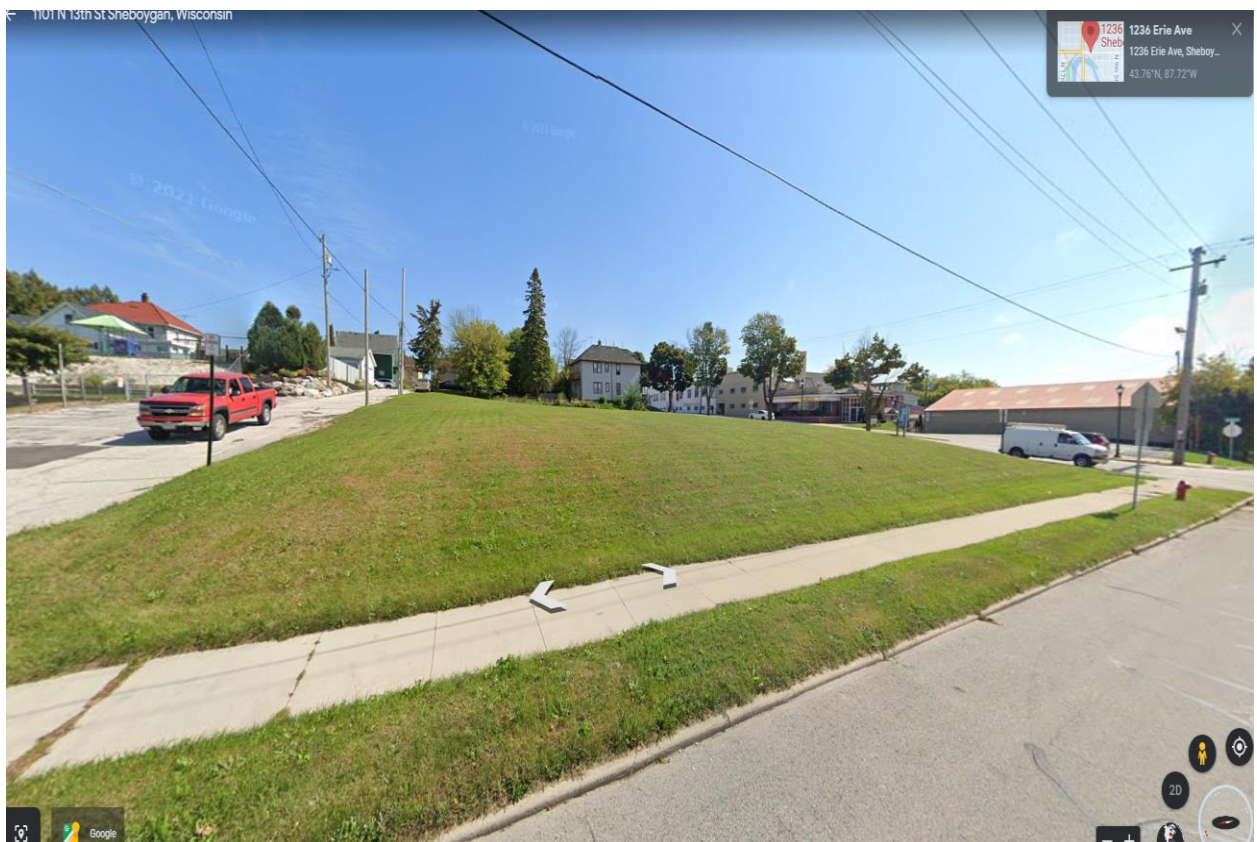
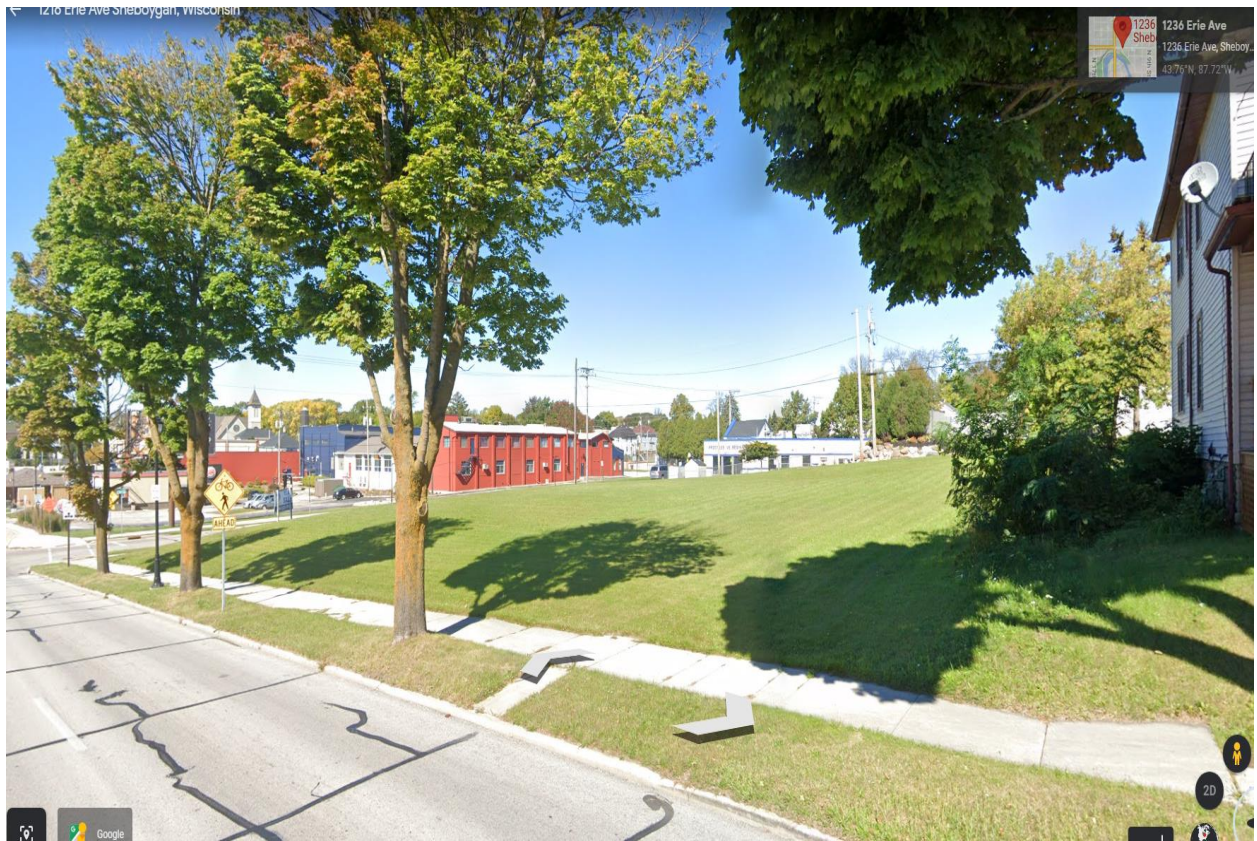


















## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Gen. Ord. No. 33-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located on Erie Avenue - Parcel #59281204550 and Parcel #59281204560 from Employment to Multi-Family Residential Classification.

R. O. No. 111-21-22 and Gen. Ord. No. 34-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located on Erie Avenue – Parcel #59281204550 and Parcel #59281204560 from Class Urban Industrial (UI) to Urban Residential (UR-12) Classification.

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** January 7, 2022

**MEETING DATE:** January 11, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

#### BACKGROUND / ANALYSIS:

Robert Heimrel (owner), Partners for Community Development and KG Development Group (Developer's) are proposing to amend the comprehensive plan map and rezone map as follows:

##### Comprehensive Plan Map:

- Parcel #s 59281204550 and 59281204560 from **Employment** to **Multi-Family Residential**.

##### Rezone:

- Parcel #s 59281204550 and 59281204560 from **Urban Industrial (UI)** to **Urban Residential (UR-12)**.

Partners for Community Development, Inc. and KG Development Group ("the development team") request that the City of Sheboygan rezone the parcels from Urban Industrial (UI) to Urban Residential (UR-12). The development team has secured site control of four (4) parcels located at and around 1236 Erie Avenue and intend to apply to the Wisconsin Housing and Economic

Development Authority (WHEDA) in early 2022 for a reservation of 4% Low-Income Housing Tax Credits. While two (2) of the four (4) parcels that comprise the proposed site are zoned UR-12, two (2) of the parcels are zoned Urban Industrial and require rezoning prior to applying to WHEDA.

The applicant states:

- The City of Sheboygan's Future Land Use Map and Zoning Map identify these two (2) parcels as "Employment" and "Urban Industrial." Given the fact that the land is vacant and is not immediately surrounded by industrial land uses, we believe that the sites would better conform to the surrounding neighborhood with a Multi-Family Residential Comprehensive Plan Designation and an Urban Residential Zoning Designation. We believe residential land use designations are much more compatible with the blocks neighboring residential uses to the east and the one (1) commercial use to the north. Looking to the future as well as present conditions, a multifamily land use designation and development will fit in better with the surrounding neighborhood and fulfills the spirit of the City of Sheboygan's comprehensive plan.
- In May 2011, the City of Sheboygan adopted the Gateway Neighborhood Revitalization Program, which specifically outlined how the City would like for this corridor to evolve as a link to the riverfront and downtown. On page 18 of this plan, the City highlights the 1200 block of Erie Avenue as a gateway into the surrounding neighborhood and even recommends as an option consolidating the four (4) subject parcels controlled by the development team into a single parcel that would be developed into multifamily housing. The project proposed by the development team directly aligns with the spirit of this plan and would implement the recommended "Option 1" by constructing multifamily housing, specifically for low-income Sheboygan households.
- Given this site's location, we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to this mixed use area of the city.
- The proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here at N. 13<sup>th</sup> and Erie Avenue. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional housing that supports both existing local employers and the attraction of future employers to Sheboygan.
- Over time, growth patterns for nearly every municipality shift. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021.
- Another priority focus identified in the study is the utilization of infill development, given the City's limited greenspace MSA suggests placing a priority on infill housing proposals across the City such as the site located on the corner of 13<sup>th</sup> and Erie.



- The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable affordable housing units in the City as employment opportunities remain robust.
- For the variety of reasons outlined above, we believe a rezone to “Urban Residential” will achieve the highest and best use for this site and compliment the surrounding commercial and residential neighborhoods.

The City of Sheboygan Comprehensive Plan identifies several key initiatives including the following:

- Promoting infill development and redevelopment to grow efficiently, strengthen existing business neighborhoods and leverage existing infrastructure and connectivity.
- Promote infill development that will provide for additional urban living and workforce housing opportunities.
- Plan for a sufficient supply of housing to accommodate a variety of housing income levels, age groups, and household sizes.
- Facilitate the provision of quality, safe and appealing housing at a variety of price points and for all stages of life.

The proposed housing development will accomplish these key initiatives by:

- The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into housing which provide infill development and be complementary to the adjoining uses.
- Developing a vacant site into additional affordable housing is ideal as it directly borders on residential and commercial zoning districts.
- This is accomplished by fulfilling the demand for housing with a location that balances proximity to urban spaces and amenities with easy and various transportation options.
- The proposed development is consistent with the objectives and policies set forth in Chapter 4 Housing and Neighborhood Development of the City of Sheboygan Comprehensive Plan.
- Support mixed-use development projects that integrate residential and non-residential uses into high-quality, unified places. Mixed-use areas provide nodes of concentrated activity and integrate people with jobs, services, and shopping in a pedestrian-friendly environment.
- Encourage redevelopment and infill development over greenfield development wherever feasible, while planning for long-term growth of office, industrial, commercial, and residential uses in the City.

- Partner with private property owners, developers, and neighbors to realize the greatest potential for each new development and redevelopment site envisioned under this Plan.

The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into an affordable housing apartment which will provide infill development and be complementary to the adjoining uses.

The Urban Residential (UR-12) zone is identified as the most appropriate zoning for this type of multi-family development.

### **STAFF COMMENTS:**

The surrounding neighborhood zoning is:

- The properties to the north are zoned Urban Commercial (UC) and Neighborhood Residential (NR-6).
- The properties to the south and west are zoned Urban Commercial (UC).
- The properties to the east are zoned Neighborhood Residential (NR-6).

It is important for the Plan Commission to understand that if the property zoning designation is changed from UI to UR-12, an applicant could apply to use the property for any use that is permitted and/or conditionally permitted in the UR-12 zone.

If the Common Council approves the rezone, the applicant needs to be aware that a conditional use will need to be submitted to and reviewed by the City of Sheboygan Plan Commission prior to construction of a new multi-family development.

In addition to the rezoning, the applicant is also proposing to amend the comprehensive plan for these properties from Employment to Multi-Family Residential. The property is proposed to be designated Multi-Family Residential in the City of Sheboygan Comprehensive Plan Future Land Use Map which is consistent with the proposed Urban Residential (UR-12) zoning designation being requested

### **ACTION REQUESTED:**

Motion to recommend the Common Council approve Gen. Ord. No. 33-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located on Erie Avenue - Parcel #59281204550 and Parcel #59281204560 from Employment to Multi-Family Residential Classification.

Motion to recommend the Common Council approve R. O. No. 111-21-22 and Gen. Ord. No. 34-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located on Erie Avenue – Parcel #59281204550 and Parcel #59281204560 from Class Urban Industrial (UI) to Urban Residential (UR-12) Classification.

### **ATTACHMENTS:**

Rezone Application and required attachments



## CITY OF SHEBOYGAN

### REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

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**ITEM DESCRIPTION:** Application for Conditional Use Permit with exceptions by Peter Schwabe, Inc. to construct a new Tommy's Express Car Wash at 3627 Washington Avenue Frontage Road (former Perkins Restaurant). SC Zone

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**REPORT PREPARED BY:** Steve Sokolowski

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**REPORT DATE:** January 7, 2022

**MEETING DATE:** January 11, 2022

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#### FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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#### STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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#### BACKGROUND / ANALYSIS:

Peter Schwabe, Inc. is proposing to construct a new Tommy's Express Car Wash at 3627 Washington Avenue Frontage Road (former Perkins Restaurant). The applicant states the following about the proposal:

- The proposed car wash building will include a 130 foot long tunnel design with an overall building dimensions of approximately 147 feet long by 48 feet wide, with a total building gross square footage around 5,243 gross square feet.
- Site access to the property will remain from the existing access drive to Washington Avenue Frontage Road. Tunnel entry will be at the south end of the property and tunnel exit will be from the north end facing Washington Avenue.
- The car wash building will house standard wash bay and drying areas, mechanical support spaces and storage areas, and employee and customer service and support areas including restroom facilities and employee-only work areas.
- Exterior materials of the car wash will consist of many prefinished metal materials including metal panels of Tommy Car Wash's signature Cardinal Red color on featured tower elements that flank the north and south ends of the building, prefinished aluminum composite panels in a complementing Brite Red color over the tunnel entry and exit with Ebony panels at the bases, and prefinished aluminum Metallic Silver parapet fascia and cornice features.

- Additional complimentary exterior materials to contrast the prefinished metals include fiber cement textured panels in Gray color at offsetting façade locations opposite corners of the metal panel tower features and split face CMU wainscot around the base of the building in Ash color.
- The tunnel design is highlighted with a high percentage of storefront glazing, as well as an arching glass roof design, to provide the signature appearance of the car wash structure skinned over a structural steel frame.

Specific site improvements include:

- The proposed car wash is to be 5,240sf in size.
- There will be a total of 10 parking spaces.
- There will be a total of 20 vacuum spaces (which could also be considered parking spaces) and are located on the east side of the building and along the east property line.
- Applicant is removing quite a bit of the former Perkins hard surfaces and replacing with landscaping throughout the site.
- Access to the site will remain in the same location (may be modified).
- A dumpster enclosure is to be constructed at the northwest corner of the site.
- Constructing drive thru menu boards, canopies, curbs, sidewalk, etc.
- Stormwater, landscaping and lighting will be provided in accordance with the City ordinance.
- Applicant will be installing free standing, wall and directional provide signage.

The applicant states the following about Tommy Express:

- Every Tommy's Express location is part of a national franchise brand and is locally owned and operated, providing high national standards and a valuable community partner.
- Tommy's Express owners are encouraged to partner with local organizations for the benefit of the community.
- Our clear acrylic roof system allows for daylight harvesting so no lighting is required during most operational hours.
- Every location employs an advanced water reclaim system which not only uses up to 60% less fresh water than washing at home, it also keeps 100% of used water out of the storm system.
- With a combination of our unique, high-capacity design and proven efficient site layout, Tommy's Express locations can process more than 200 vehicles per hour, keeping lines short and customers happy.
- Every site is required to maintain our high standards of professionalism. Extensive training and regular auditing provide cities with a clean, professionally-run retail destination and a valuable community partner.
- The iconic Tommy's Express architecture is aesthetically appealing and an instantly identifiable landmark in cities across the country.



## **STAFF COMMENTS:**

Applicant will be demolishing existing Perkins Restaurant facilities. The property will need to be in a dustless condition if construction of the restaurant does not immediately take place.

The applicant shows conceptual signage but has not submitted a specific sign package for the site at this time. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

The Perkins pylon sign base/pole shall be removed from the site (northwest corner of the property). Staff will be recommending the applicant be permitted a monument free standing signs as we have with other developments in this area.

The Plan Commission may want the applicant to explain the following:

- A little explanation about the Tommy's Express Car Wash brand and services?
- How did Tommy's Express Car Wash select Sheboygan?
- What is the construction schedule.?

Applicant is requesting the following exceptions:

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational and bufferyard landscaping requirements.

The proposed Tommy's Express Car Wash is a nice redevelopment on this former Perkins Restaurant property and appears to fit well with many of the other commercial establishments located along Washington Avenue and S. Taylor Drive.

## **ACTION REQUESTED:**

Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals (applicant shall be in contact with building inspection, fire department, etc.).
3. The car wash facility and related equipment (i.e. vacuums, etc.) shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
4. Applicant shall obtain all necessary razing permits for all structures to be demolished. Once structures have been demolished, the applicant will maintain the site(s) in a clean and dust free condition.
5. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
6. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met

- (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
7. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
  8. Outdoor storage of materials, products or equipment shall be prohibited.
  9. Any unused mechanical boxes, equipment, etc. shall be removed from the site.
  10. Any fencing/retaining walls shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance. Applicant shall work with staff with regards to constructing appropriate and well-designed fence/retaining wall and shall obtain the necessary permits prior to installation. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
  11. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
  12. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
  13. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
  14. Applicant shall to install individual letter signs – no cabinet or flat panel signs.
  15. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet (measured from the Tommy's Express Car Wash curb of the frontage road). Maximum height of the monument sign is 8 feet.
  16. Applicant shall remove the base/pole of the former Perkins pylon sign located at the northwest corner of the property.
  17. Applicant shall meet Sections 15.804(a) and (c) of the City of Sheboygan Zoning Ordinance relating to signage and pedestrian/ traffic safety and sign timing/cycles. No signs containing flashing, intermittent or moving sections or intermittent or flashing lights shall be permitted.
  18. No sign shall be located on the roof or the top horizontal plane of the canopy.
  19. All areas used for parking/maneuvering of vehicles shall be paved.
  20. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
  21. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
  22. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
  23. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
  24. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
  25. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
  26. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.



27. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way, neighboring properties, etc.).
28. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
29. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
30. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
31. It is the applicant's responsibility to confirm there are no easement and/or agreements with neighboring property owners (cross access easements, etc.)
32. Building permits shall be issued only at such time as the applicant can provide documentation that they own the parcel.
33. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
34. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

#### **ATTACHMENTS:**

Conditional Use and required attachments

PARCEL NO. \_\_\_\_\_

MAP NO. \_\_\_\_\_

ZONING CLASSIFICATION: \_\_\_\_\_

Office Use Only

APPLICATION/FILE NO. \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

**FILING FEE: \$250.00** (Payable to City of Sheboygan)

## **CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT**

**Requirements Per Section 15.905  
Revised May 2018**

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

### **1. APPLICANT INFORMATION**

APPLICANT: Peter Schwabe

13890 Bishops Dr., Suite 100  
ADDRESS: Brookfield, WI 53005 E-MAIL: pschwabe@pschwabe.com

PHONE: (262) 853-3332 FAX NO. ( )

### **2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT**

NAME OF PROPOSED/EXISTING BUSINESS: Tommy's Express Car Wash

ADDRESS OF PROPERTY AFFECTED: 3627 Washington Ave.

LEGAL DESCRIPTION: \_\_\_\_\_

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: \_\_\_\_\_

Vacant and blighted Perkin's Restaurant (see attached Survey)

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING  
ANY CHANGES TO THE EXISTING USE: \_\_\_\_\_

New Tommy's Express Car Wash (See attached Project Description)

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS  
OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED  
OPERATION OR USE: \_\_\_\_\_

Signage variance to improve wayfinding for car wash clients



### 3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? \_\_\_\_\_

We are improving a blighted & vacant site near a well-traveled intersection with a use in keeping with site zoning

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? \_\_\_\_\_

No

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? \_\_\_\_\_

Being adjacent to a gas station, a car wash is a natural extension of that use

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. \_\_\_\_\_

Yes

### 4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

**OWNER OF SITE:** Steve Kilian

1722 Clarence Ct.,  
**ADDRESS:** West Bend, WI 53095 **E-MAIL:** steve.kilian.jr@partners.mcd.com

**ARCHITECT:** Joshua Drake

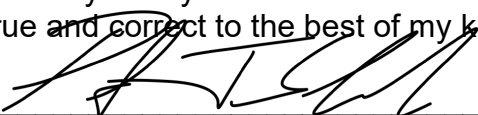
3939 Priority Way S. Dr., #200,  
**ADDRESS:** Indianapolis, IN 46240 **E-MAIL:** jdrake@cripe.biz

**CONTRACTOR:** Peter Schwabe, Inc.

13890 Bishops Dr., Suite 100,  
**ADDRESS:** Brookfield, WI 53005 **E-MAIL:** pschwabe@pschwabe.com

### 5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
**APPLICANT'S SIGNATURE**

12/22/2021

**DATE**

Peter J. Schwabe

**PRINT ABOVE NAME**

Project Description – Conditional Use Application  
Tommy's Express Car Wash  
Submitted December 22, 2021

Project Name and Address:

Tommy's Express Car Wash  
3627 Washington Ave  
Sheboygan, WI

Parcel Information:

Tax Parcel 59281470507  
Lot size is approximately 1.64 acres  
Zoning is SC – Suburban Commercial District

Existing Site Conditions:

The site was previously a Perkins Restaurant which is now vacant and in poor condition

Proposed Project Description:

The proposed car wash building will include a 130 foot long tunnel design, overall building dimensions of approximately 147 feet long by 48 feet wide, with a total building gross square footage around 5,243 gross square feet. Site access to the property will be from the frontage street along Washington Ave, with tunnel entry at the South end of the property and tunnel exit at the North end facing Washington Street. The car wash building will house standard wash bay and drying areas, mechanical support spaces and storage areas, and employee and customer service and support areas including restroom facilities and employee-only work areas.

Exterior materials of the car wash will consist of many prefinished metal materials including metal panels of Tommy Car Wash's signature Cardinal Red color on featured tower elements that flank the North and South ends of the building, prefinished aluminum composite panels in a complementing Brite Red color over the tunnel entry and exit with Ebony panels at the bases, and prefinished aluminum Metallic Silver parapet fascia and cornice features. Additional complimentary exterior materials to contrast the prefinished metals include fiber cement textured panels in Gray color at offsetting façade locations opposite corners of the metal panel tower features and split face CMU wainscot around the base of the building in Ash color. Lastly, the tunnel design is highlighted with a high percentage of storefront glazing, as well as an arching glass roof design, to provide the signature appearance of the car wash structure skinned over a structural steel frame. See corresponding colored exterior building elevations with this architectural description for reference.

Landscape Requirements:

Landscape plan will comply with Sheboygan Landscape Ordinances with a potential variance for building landscaping. Locational landscaping is requested to allow for flexibility due in particular to limited landscape area immediately adjacent to the building.

Site Lighting:

Site Lighting plan will comply Sheboygan Lighting Ordinances including wall mounted fixtures and lot poles as appropriate.

Signage:

Attached standard signage plan will be modified to meet Sheboygan code requirements.



# About Tommy's Express







## SIMPLY SMART

Our membership app, license plate recognition, and member pay lanes make washing efficient for your calendar and wallet.



## NATURALLY FRIENDLY

Smiling faces, easy-loading conveyer belts, and our wide open wash tunnel create an enjoyable and non-claustrophobic wash experience. Low energy use and reclaimed water make it good for the planet too.



## EXCEPTIONALLY CLEAN

Our wash process has been developed over 50 years and uses proprietary equipment and soaps designed to keep you and your car looking fresh.



# Good for cars. Great for your city.

It's not just about clean cars. It's about enriching lives, adding value and serving communities.





## Community Focused

- Every Tommy's Express location is part of a national franchise brand and is locally owned and operated, providing high national standards and a valuable community partner.
- Tommy's Express owners are encouraged to partner with local organizations for the benefit of the community.



## Environmentally Friendly

- Our clear acrylic roof system allows for daylight harvesting so no lighting is required during most operational hours.
- Every location employs an advanced water reclaim system which not only uses up to 60% less fresh water than washing at home, it also keeps 100% of used water out of the storm system.



## Efficient Processing

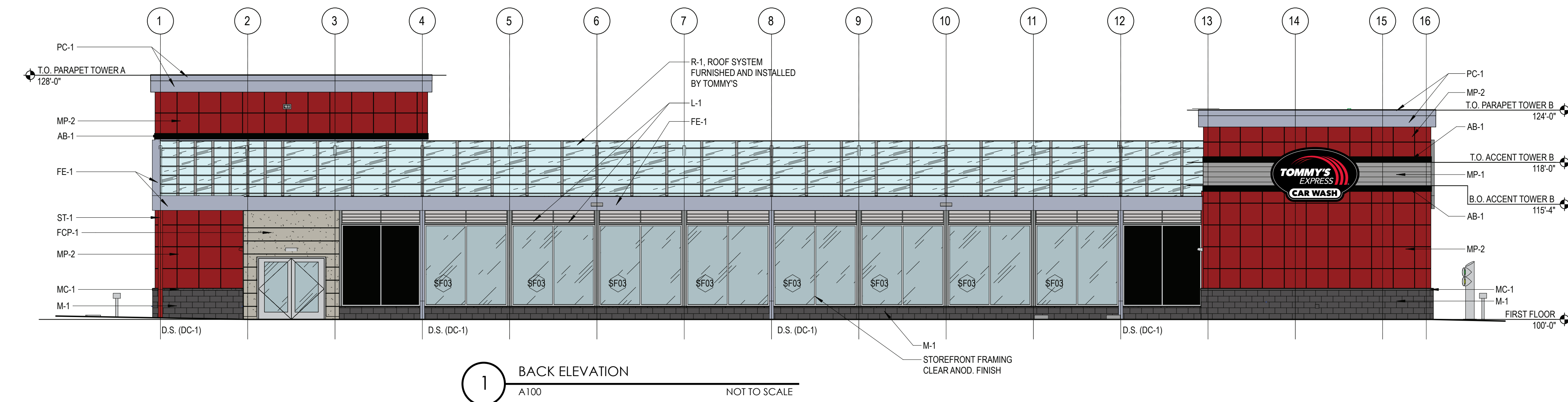
- With a combination of our unique, high-capacity design and proven efficient site layout, Tommy's Express locations can process more than 200 vehicles per hour, keeping lines short and customers happy.



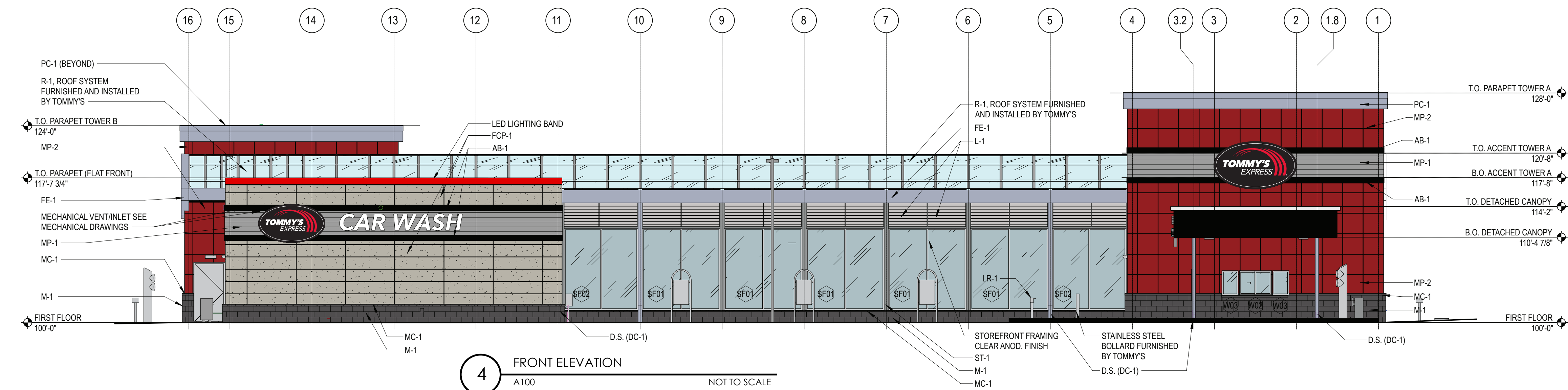
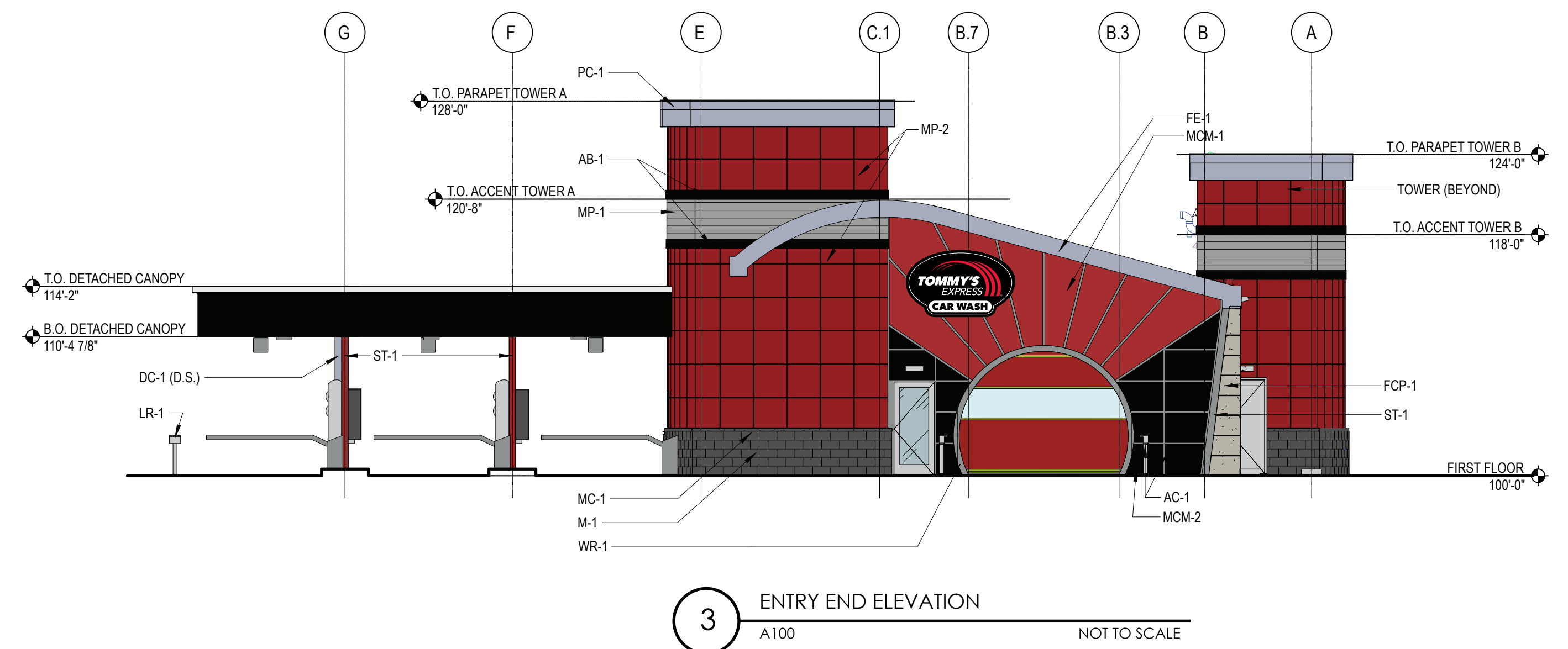
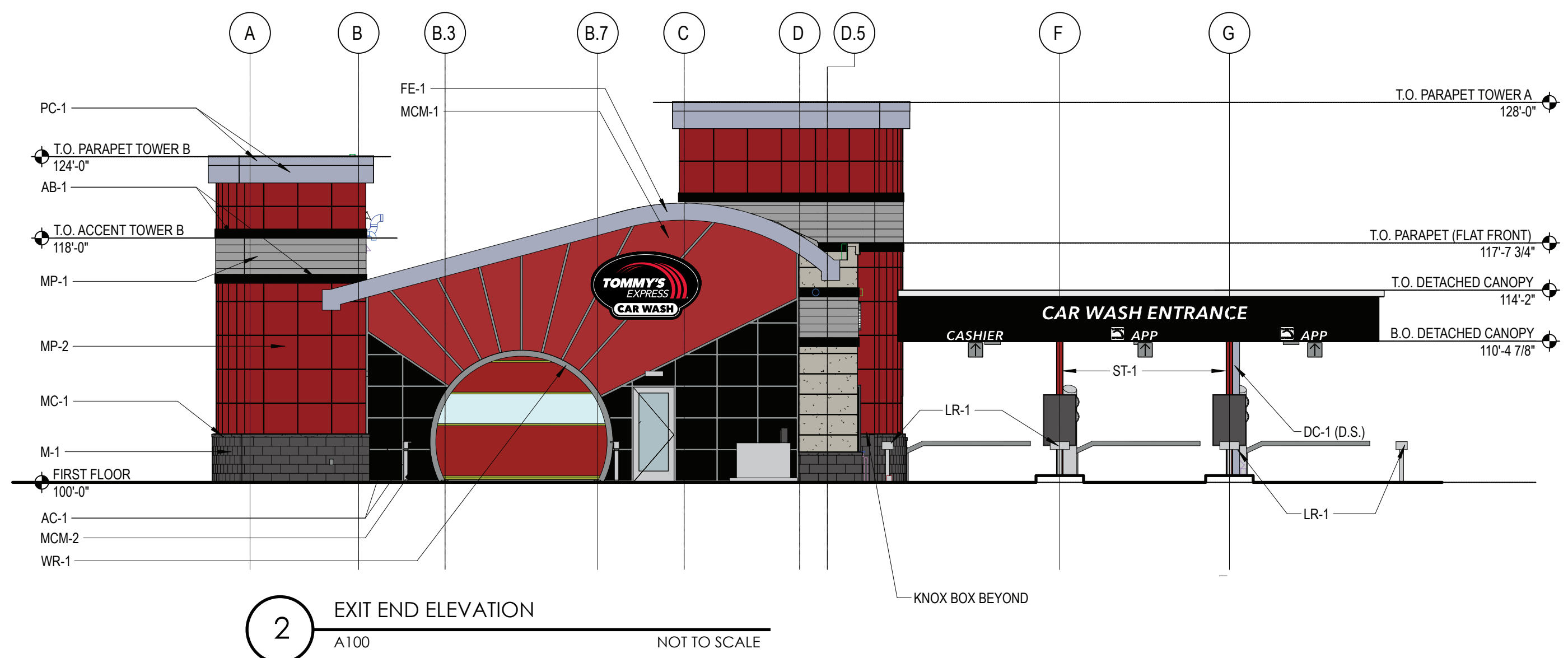
## World Class Facility and Operations

- The iconic Tommy's Express architecture is aesthetically appealing and an instantly identifiable landmark in cities across the country
- Every site is required to maintain our high standards of professionalism. Extensive training and regular auditing provides cities with a clean, professionally-run retail destination and a valuable community partner.





TAG	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	FURNISHED BY	INSTALLED BY
ST-1	STRUCTURAL STEEL	RBI	POWDER COATED STRUCTURAL STEEL	RAL 3001	TOMMY'S	TOMMY'S
MP-1	PROFILED ALUMINUM METAL PANEL	ATAS	ATAS 7.2 BWR360 BELVEDERE	SILVERSMITH	TOMMY'S	G.C.
MP-2	PREFINISHED METAL PANEL	DRI-DESIGN	30"x30" PANEL SIZE	CARNIVAL RED II / RAL 3001	TOMMY'S	G.C.
M-1	SPLIT-FACE CMU	CONSUMERS	4" VENEER SPLIT-FACED	ASH	G.C.	G.C.
MC-1	PRECAST STONE		MASONRY CAP	MATCH CMU COLOR	G.C.	G.C.
FCP-1	FIBER CEMENT PANELS	NICHIHA	ARCHITECTURAL BLOCK SERIES 18" H x 72" W	GRAY	TOMMY'S	G.C.
AB-1	PREFIN. ALUM. ACCENT BANDING	ATAS	ATAS FLAT SHEET	BLACK	TOMMY'S	G.C.
PC-1	PREFIN. ALUM. PARAPET CORNICE	ARCONIC	REYNOBOND COMPOSITE PANELS	BRIGHT SILVER METALLIC	TOMMY'S	G.C.
MCM-1	PREFIN. ALUM. COMPOSITE PANELS	LAMINATORS	LAMINATORS OMEGA SERIES	BRITE RED	TOMMY'S	G.C.
MCM-2	PREFIN. ALUM. COMPOSITE PANELS	CITADEL	SINOCORE	EBONY	TOMMY'S	G.C.
AC-1	PREFIN. ALUM. CLOSURE CAPS	TUBELITE	TUBELITE 200 SERIES STOREFRONT	CLEAR ANNOIDIZED	TOMMY'S	G.C.
SF01, SF02, SF03	PREFIN. ALUM. STOREFRONT WITH INSULATED GLASS	KAWNEER	1" INSULATED GLASS LOW-E	CLEAR ANNOIDIZED	G.C.	G.C.
SF04, SF05	PREFIN. ALUM. STOREFRONT WITH METAL PANEL INFILL	KAWNEER/ CITADEL	1" GLAZE GUARD 1000 WR+ PANEL INFILL SEE DETAIL ON A602	CLEAR ANNOIDIZED FRAMES/ EBONY INFILL PANELS	G.C.	G.C.
DC-1	PREFINISHED ALUMINUM	ALPOLIC	4MM MCM PANELS DOWNSPOUT COVER	METALLIC SILVER	TOMMY'S	TOMMY'S
LR-1	LICENSE PLATE READER	TOMMY'S	BOLLARD	STAINLESS STEEL	TOMMY'S	G.C.
WR-1	PREFIN. ALUM. COMPOSITE PANELS	ARCONIC	MCM WRAP COVER FOR STEEL RING	CLEAR ANNOIDIZED	TOMMY'S	G.C.
FE-1	FASCIA / EAVE	ALPOLIC	4MM MCM PANELS AT EAVES AND FASCIA	METALLIC SILVER	TOMMY'S	TOMMY'S
L-1	PREFIN. ALUM. LOUVER	RUSKIN	DRAINABLE LOUVER	CLEAR ANNOIDIZED	TOMMY'S	TOMMY'S
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	DRAINABLE ACRYLIC ROOF SYSTEM	COOL BLUE	TOMMY'S	TOMMY'S



EXTERIOR MATERIALS LEGEND	
	PREFINISHED METAL PANELS
	FIBER CEMENT BOARD PANEL
	PREFINISHED METAL COPING
	ALUM. FLAT STOCK (BLACK)
	PROFILED METAL PANEL
	MCM PANEL (BLACK)
	GLAZING
	SPLIT FACED CONCRETE MASONRY UNIT

NOTE: ALL PROFILED METAL PANEL ACCENT (MP-1) SHALL BE CRIMP CURVED AT FACE OF TOWERS AND SHALL HAVE MITERED CORNERS. NO CORNER TRIMS. NO EXCEPTIONS.

CONFIDENTIAL WARNING:  
THIS SHEET CONTAINS AND CONSTITUTES CONFIDENTIAL INFORMATION, IMAGES, AND TRADE SECRETS OF TOMMY CAR WASH SYSTEMS. ANY UNAUTHORIZED USE OR DISCLOSURE OF ANY OR PORTION THEREOF, IS STRICTLY PROHIBITED. THIS WORK IS THE EXCLUSIVE PROPERTY OF TOMMY CAR WASH SYSTEMS. ALL RIGHTS RESERVED.

**TOMMY**  
CAR WASH SYSTEMS

M-1 EXTERIOR COLOR ELEVATIONS

**TOMMY CAR WASH SYSTEMS**

TOMMY EXPRESS #P0000  
ADDRESS  
CITY, STATE, ZIP

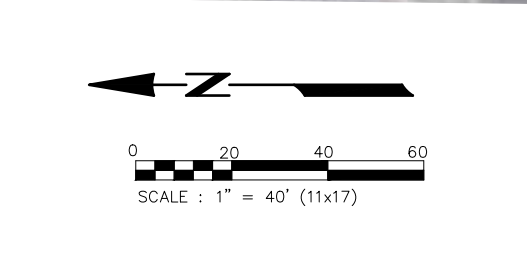
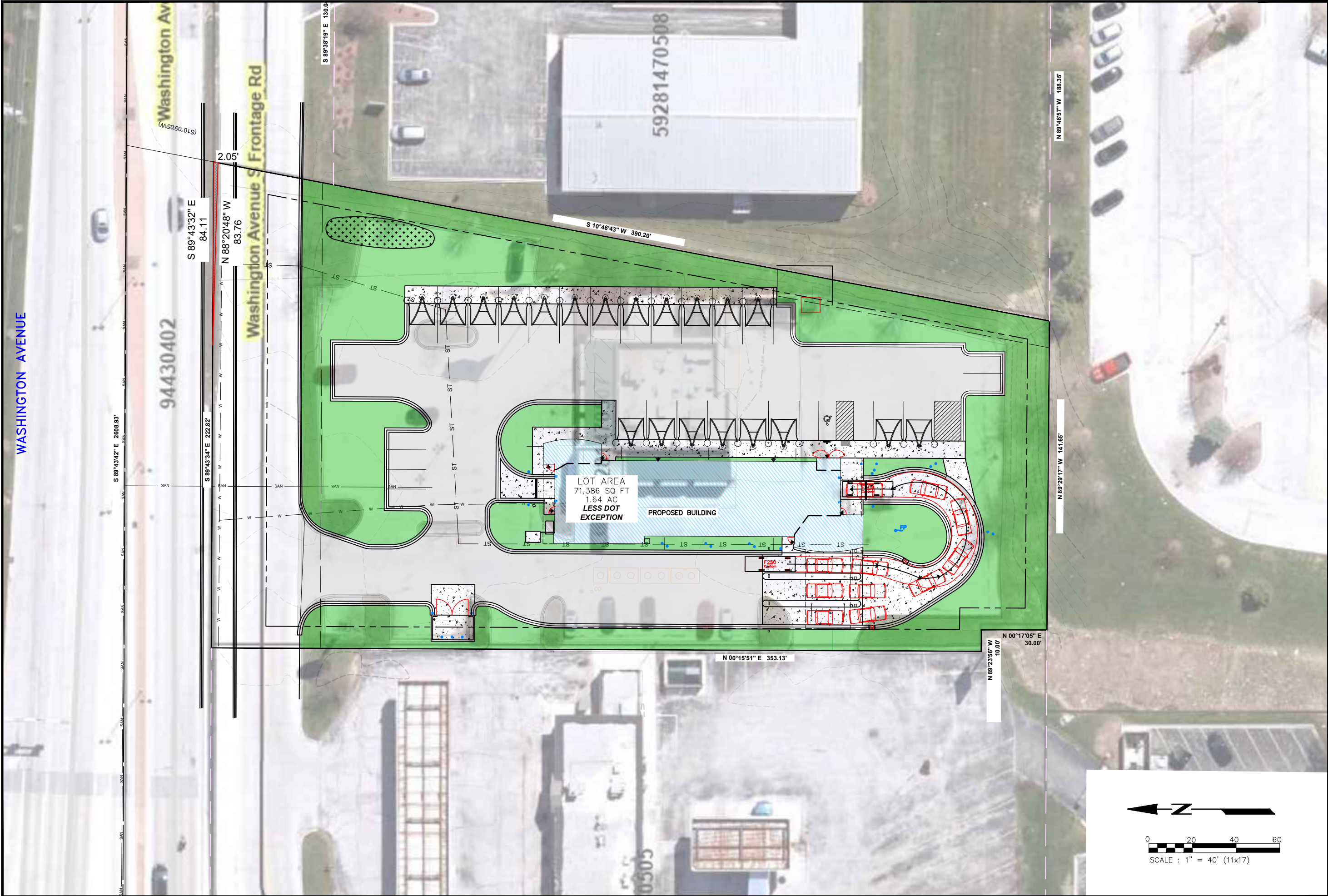
**NOT FOR CONSTRUCTION**

**A200**

3/25/2021

NOT TO SCALE





CAR WASH  
OVERALL SITE PLAN

C200

SHEBOYGAN, WISCONSIN

3627 WASHINGTON AVE

818 N Meadowbrook Ln  
Waukegan, WI 53597  
phone (608) 849-9378  
www.pe-wi.com

ISSUANCE/REVISION	DATE
CITY SUBMITTAL	12-21-2021







WASHINGTON AVENUE

WASHINGTON AVENUE/ S. FRONTAGE RD

## 1 LANDSCAPE PLAN

Notes:

- Individual tree and shrub groupings found within lawn areas are to receive wood mulch rings and/or wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
- "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries.
- "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation.
- Slope areas of 3:1 or greater and concentrated overland drainage channels shall be seeded with lawn seed mixture and overlaid with a single net, photo biodegradable straw blanket that is pegged with metal staples or biodegradable stakes. Basis of Design: Tensar DS75. North American Green.
- "Landscape stone" to be clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
- Perennials in mass bed plantings to be planted in staggered rows.
- Contractor is responsible for repairing any and all damage to the adj. properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with sod and adjacent curbs and pavement shall be re-paved.
- Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Scale: 1" = 40'-0" (11x17)

0' 40'



Zoning District: Suburban Commercial	Site	Min. Required Points
Paved Area: 80 landscape points per 10,000 sf	44,689 sf	358
Street Frontage: 40 landscape points per 100 lf	214 lf	86
Building Perimeter: 40 landscape points per 100 lf	360 lf	144
Building Floor Area: 10 landscape points per 100 sf	4,552 sf	456

Total Points Required 1,044

Landscaping Points and Min. Installation Sizes:		Points		Proposed	
Plant Category	Min. size			Qty.	Points
Climax Tree	2" cal.	75		8	600
Tall Deciduous Tree	1 1/2" cal.	30		5	150
Tall Evergreen Tree	5' tall	40		6	240
Medium Deciduous Shrub	24" tall	3		31	93
Low Deciduous Shrub	18" tall	1		31	31
Low Evergreen Shrub	12" tall	3		3	9

Total Points Proposed 1,123

### PLANT LIST

#### TREES

Sargent Tina Crab  
Celebration Maple  
Apollo Maple  
Red Jewel Crab  
Black Hills Spruce  
Chanticleer Pear

#### SHRUBS

Neon Flash Spirea  
Ever Low Yew  
Ivory Halo Dogwood  
Rudy Haag Burningbush  
Dwarf Mound Honeysuckle  
Snowhill Hydrangea  
Tor Spirea  
Little Devil Ninebark  
Dwarf Ninebark  
Little Lime Hydrangea  
Black Chokeberry  
Wine and Roses Weigela

#### PERENNIALS

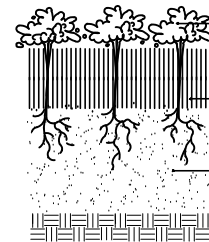
K. Foerster Feather Grass  
Goldstrum Coneflower  
Dwarf Fountaingrass  
Cardonna Salvia  
Gayfeather  
Hosta  
Autumn Joy Sedum

### SIZE

1 1/2" Cal.  
2" Cal.  
2" Cal.  
2" Cal.  
5' Ht.  
2" Cal.

18" ht.  
18" ht.  
24" ht.  
18" ht.  
18" ht.  
24" ht.  
18" ht.  
18" ht.  
18" ht.  
24" ht.  
24" ht.  
24" ht.

1 gal.  
1 gal.  
1 gal.  
1 gal.  
1 gal.  
1 gal.  
1 gal.



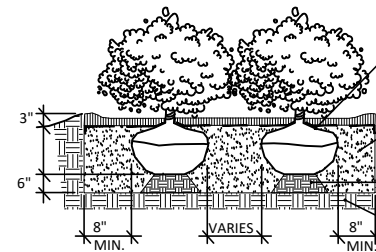
PLANT SPACING PER  
LANDSCAPE BED OR SCHEDULE

MULCH

PLANTING MIX W/NO LARGE STONES -  
50-80% MEDIUM AND COARSE SAND,  
5-20% CLAY, 5-35% SILT

## 2 PERENNIAL PLANTING

NTS



REMOVE BURLAP FROM  
UPPER 1/3 OF BALL.

FORM SAUCER WITH  
CONTINUOUS RIM

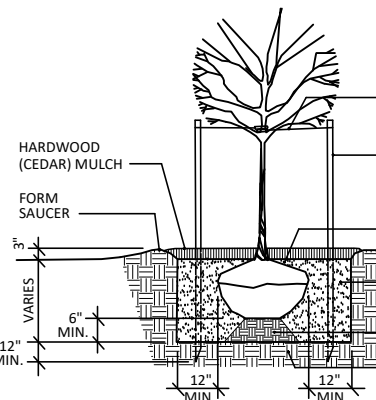
PLANTING MIX W/NO LARGE STONES -  
50-80% MEDIUM AND COARSE SAND,  
5-20% CLAY, 5-35% SILT

COMPACTED SOIL MIX  
TO FORM PEDESTAL  
AS SHOWN

BREAK SUBGRADE WITH PICK

## 3 SHRUB PLANTING

NTS



2 STRAND TWISTED 12 GAUGE  
GAL. WIRE ENCASED IN 1" DIA.  
RUBBER HOSE

2" X 2" X 8' CEDAR STAKES  
2 REQUIRED FOR 1 1/2" CAL.  
AND LARGER; 3 REQ. FOR 3"

CAL. AND LARGER TREE

ROLL BACK TOP HALF OF  
BURLAP WRAP

PLANTING MIX W/NO LARGE STONES -  
50-80% MEDIUM AND COARSE SAND,  
5-20% CLAY, 5-35% SILT

COMPACTED SOIL MIX TO FORM  
PEDESTAL AS SHOWN

BREAK SUBGRADE WITH PICK  
IF NECESSARY

## 4 TREE PLANTING

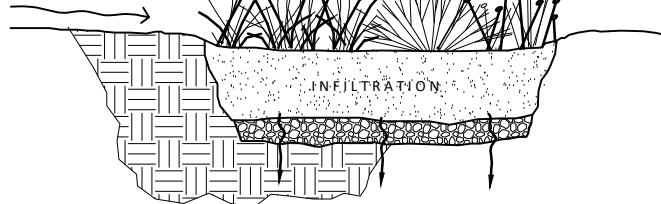
NTS

PLANTS; EQUAL MIX 2 1/2" PLUGS. RANDOM PLANT.

Butterfly Weed, Blue False Indigo, White False Indigo  
Purple Coneflower, Blue Flag Iris, Cardinal Flower  
Marsh Blazingstar, Brown Eyed Susan, Stiff Goldenrod  
Bottlebrush Sedge, Fox Sedge, Torrey's Rush, Switch Grass

DEPRESSED AREA FOR PLANTINGS - SEE GRADING PLAN  
PRAIRIE WILDFLOWERS AND GRASSES.  
SEE LEFT FOR PLANT MIX.  
PLANT SPACING TO BE 12" O.C., STAGGERED

OVERLAND FLOW/DOWNSPOUTS  
CONTRIBUTE WATER



INFILTRATION

COCONUT FIBER MAT  
AFTER PLANTING

## 5 BIORETENTION AREA

NTS

818 N Meadowbrook Ln  
Waunakee, WI 53597  
phone (608) 849-9378  
www.pe-wi.com

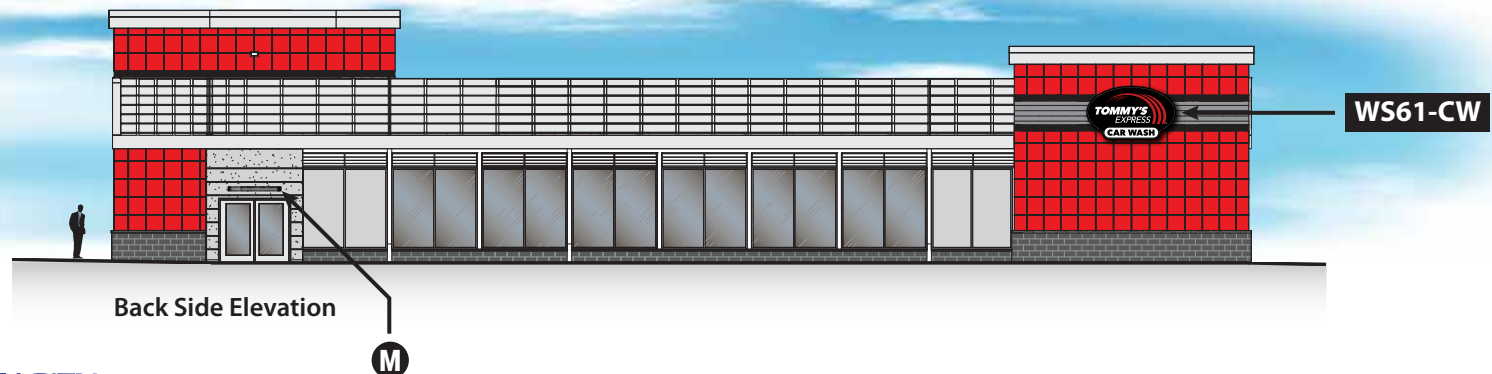
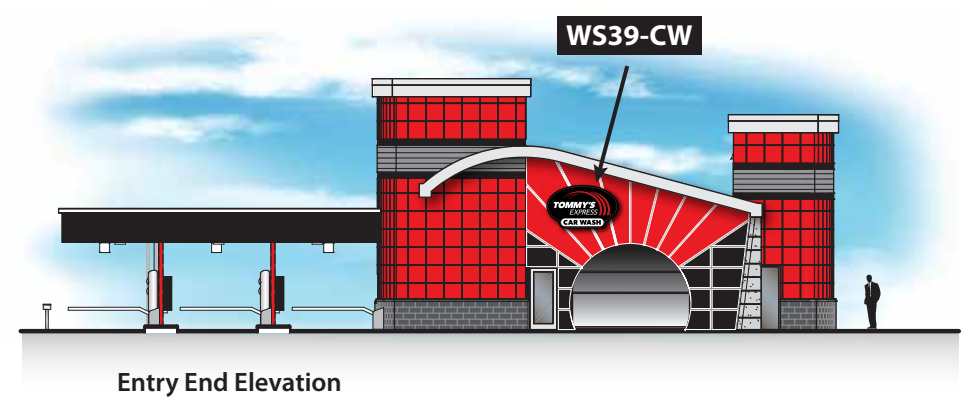
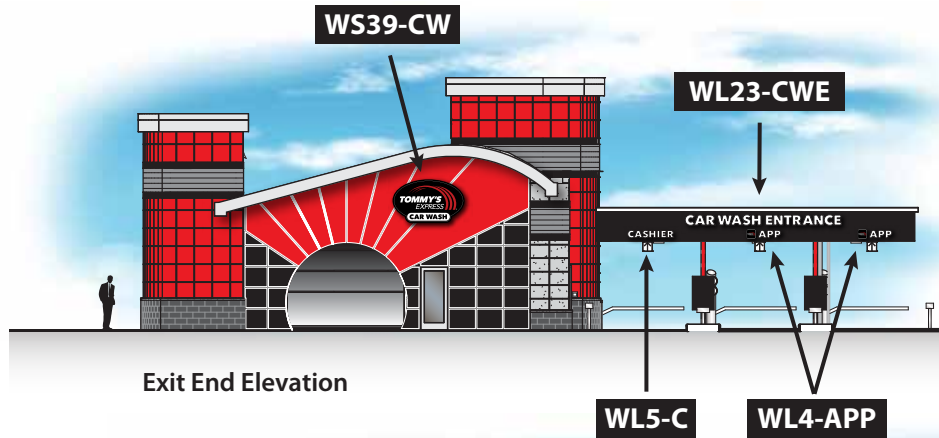
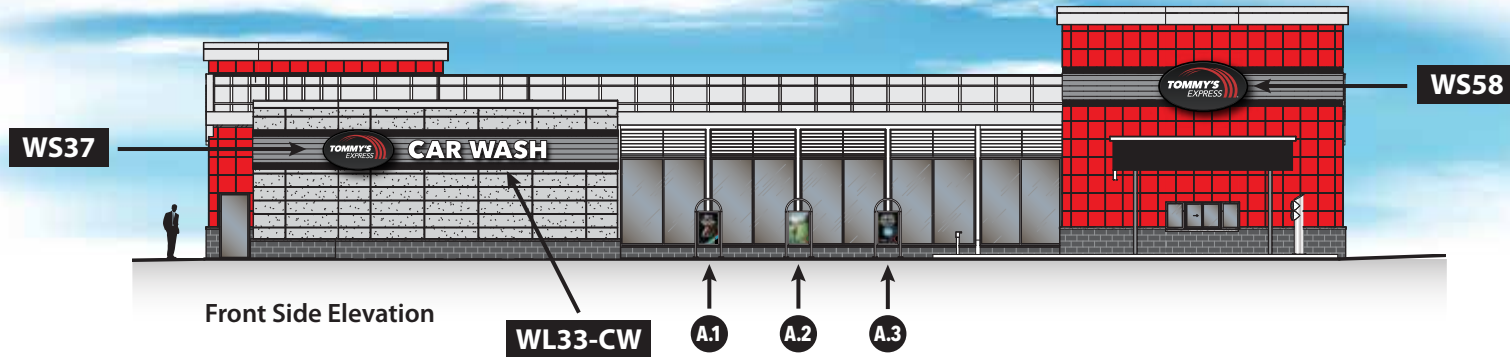
**PROFESSIONAL  
ENGINEERING**  
LLC

SHEBOYGAN, WISCONSIN

**CAR WASH  
LANDSCAPE PLAN**

3627 WASHINGTON AVE

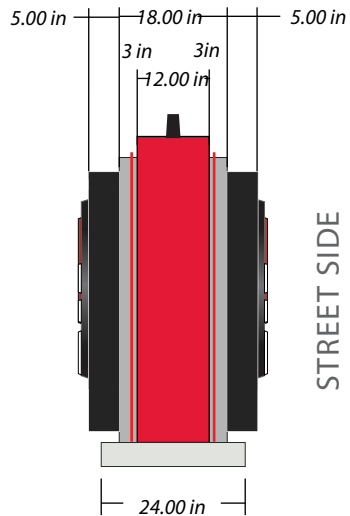
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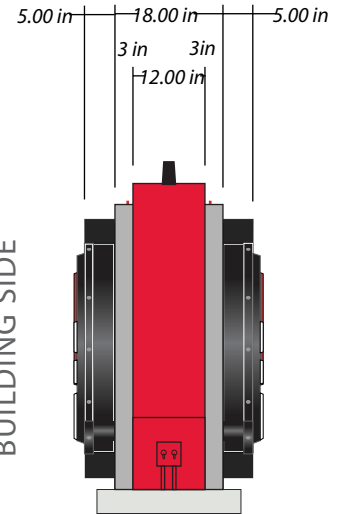
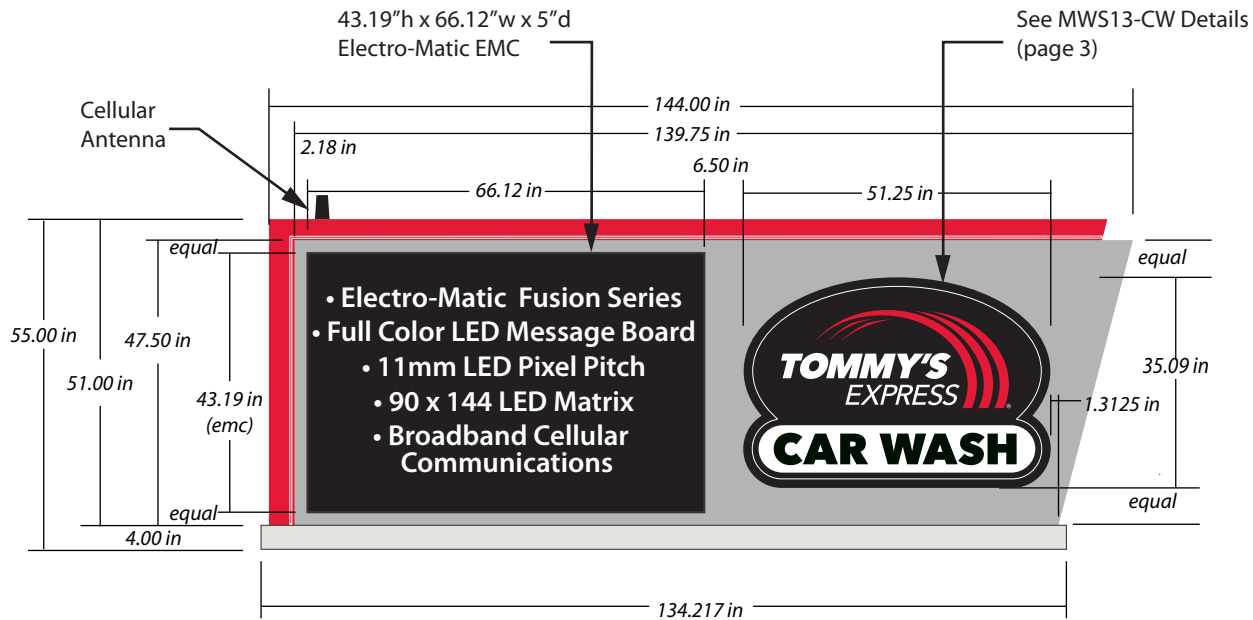


## Option 2

See M51 Details  
(page 2)



STREET SIDE



BUILDING SIDE



Side B

### MONUMENT SIGN

SIGN CODE:	M51-4-E
SCALE:	3/8" = 1'
DATE:	12.10.19A
QUANTITY:	

PLAT OF SURVEY

ALL OF LOT 2 OF CERTIFIED SURVEY MAP 132,  
BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4,  
SECTION 4, TOWNSHIP 14 NORTH, RANGE 23 EAST,  
CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

SURVEY FOR:  
PETER J. SCHWABE  
13890 BISHOPS DRIVE  
BROOKFIELD, WI 53066  
(262) 662-5551  
(262) 853-3332 cell

SURVEYOR:  
KEITH A. KINDRED, PLS S-2082  
SEH, INC.  
501 MAPLE AVE  
DELAFIELD, WI 53018  
(262) 370-0165 cell  
KKINDRED@SEHINC.COM

PROPERTY  
ADDRESS:  
3627 WASHINGTON AVE,  
S FRONTAGE RD  
SHEBOYGAN, WI  
53081

NOTE:

- UTILITIES SHOWN AS MARKED IN THE FIELD BY DIGGERS  
HOTLINE, TICKET #20214505847
- SANITARY MAN HOLE 5 & 6. CONNECTIONS GOING NORTH AND  
SOUTH FROM MAN HOLE NOT MARKED IN THE FIELD

Structure No.	Rim	Invert (Direction)	Desc.
1	700.69'	696.59' (N)	6" PVC
2	700.84'	694.99' (E)	6" PVC
		695.04' (S)	6" PVC
3	699.80'	694.14' (N)	6" PVC
		694.20' (W)	6" PVC
4	697.23'	693.53' (N)	12" PVC
		693.63' (S)	6" PVC
5*	697.32'	685.57' (E/W)	8"
6*	700.81'	689.33' (E/W)	8"

LEGEND

- CONCRETE MONUMENT WITH BRASS CAP
- 11/16" REBAR SET, 18" LONG, WT. = 1.13 LBS/LIN FT
- .75" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- RECORDED AS
- BURIED GAS LINE, GAS METER
- BURIED TV LINE, TV PEDESTAL
- BURIED TELEPHONE LINE
- BURIED POWER LINE, ELECTRIC METER & PEDESTAL
- METAL HAND RAIL
- CLEAN OUT
- GATE VALVE
- SANITARY MAN HOLE
- CATCH BASIN / INLET
- LIGHT
- SIGN
- FLAG POLE

LEGAL DESCRIPTION:

FILE NO.: NCS-1094675-MKE

BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP RECORDED  
JANUARY 17, 1994 IN VOLUME 11 OF CERTIFIED SURVEY MAPS,  
PAGE 132 AS DOCUMENT NO. 1395403, BEING A PART OF LOT 1  
OF CERTIFIED SURVEY MAPS RECORDED IN VOLUME 10 OF  
CERTIFIED SURVEY MAPS, PAGE 285, BEING PART OF THE  
NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 14 NORTH, RANGE 23  
EAST, IN THE TOWN OF WILSON AND THE CITY OF SHEBOYGAN,  
SHEBOYGAN COUNTY, WISCONSIN

EXCEPTING THEREFROM THE LANDS CONVEYED TO THE STATE  
OF WISCONSIN, DEPARTMENT OF TRANSPORTATION IN  
WARRANTY DEED RECORDED MARCH 30, 2015 AS DOCUMENT  
NO. 2000630

SAID LANDS CONTAIN 71,386 SQUARE FEET, 1.64 ACRES.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND  
THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE  
AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL  
VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON,  
BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE  
ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT  
OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR  
GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

ALL OF LOT 2 OF CERTIFIED SURVEY MAP 132,  
BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4,  
SECTION 4, TOWNSHIP 14 NORTH, RANGE 23 EAST,  
CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

















