

*****ATTACHMENTS*****

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Watershed Development, LLC

ADDRESS: 7722 Hawthorne Rd., Mequon, WI 53097

E-MAIL: pweaver832@aol.com

PHONE: (414) 731-0795

FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Currently Water's Edge
Development of Sheboygan, LLC for condominiums, proposed owner of Hotel
development is Watershed Development, LLC.

ADDRESS OF PROPERTY AFFECTED: North 15th Street

LEGAL DESCRIPTION: Lot 2 of a CSM recorded in Vol. 30 CSM, on pp. 168-170,
as Document No. 2119160, in the office of the Register of Deeds of Sheboygan
County, Wisconsin, being a resurvey of Water's Edge Condominium, Block 119 of
the Original plat of Sheboygan located in the E ½ of Section 22, Township 15 N,
Range 23 E, City of Sheboygan, Sheboygan County, Wisconsin.

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Vacant Land
originally slated for condominium development.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING
ANY CHANGES TO THE EXISTING USE: Boutique Hotel as described on the
attachment.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS
OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED
OPERATION OR USE: See attached Site Narrative.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? It will allow improvement of the vacant property (which otherwise would likely remain vacant for some time), fill a need for quality hotel accommodations and add to he commercial quality of the surrounding properties.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? No.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? See attached.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Water's Edge Development of Sheboygan, LLC

ADDRESS: 7722 Hawthorne Rd., Mequon, WI 53097 **E-MAIL:** pweaver832@aol.com

ARCHITECT: _____

ADDRESS: _____ **E-MAIL:** _____

CONTRACTOR: _____

ADDRESS: _____ **E-MAIL:** _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Paul C. Weaver, Attorney for Applicant
APPLICANT'S SIGNATURE

9/19/2021
DATE

Paul C. Weaver

SITE NARRATIVE - CONDITIONAL USE APPLICATION

July 19, 2021

PROJECT NAME AND ADDRESS:

Watershed Development – Boutique Hotel
North 15th Street
Sheboygan, Wisconsin 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is described as: Lot 2 of a CSM recorded in Vol. 30 CSM, on pp. 168-170, as Document No. 2119160, in the office of the Register of Deeds of Sheboygan County, Wisconsin, being a resurvey of Water’s Edge Condominium, Block 119 of the Original plat of Sheboygan located in the E ½ of Section 22, Township 15 N, Range 23 E, City of Sheboygan, Sheboygan County, Wisconsin.
- Lot size – 43,198 square feet

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

UC-Urban Commercial

- 0-foot front yard setback (North 15th Street)
 - **25-foot residential side lot setback (Condominiums to the south)**
 - **5-foot nonresidential side lot setback (northeast portion of Pavilion)**
 - **25-foot Building rear yard setback (Sheboygan River)**
 - **5-foot paving side and rear lot setback (northeast portion of Pavilion)**
 - 10-foot minimum building separation
 - 50-foot maximum building height
 - **Encroachment on North 15th Street (proposed drop off lane)**
 - Minimum off street parking spaces per 15.206 K 4 (one space per bedroom plus one space for each employee on the largest work shift)
- * *Bold text defines variance to be requested, see Variance Description.*

EXISTING SITE CONDITIONS/LAND USE:

Formerly part of the Richardson Lumber operations. The proposed site is currently undeveloped and was planned to be additional condominium buildings, similar to what existing on the southern portion of the site. With condo sales not as robust as anticipated, a pivot to a different use is necessary to fully complete improvement of the vacant property.

PROPOSED LAND USE/LOT COVERAGE SITE DATA

- The proposed development consists of (1) two story (25) unit hotel with a maximum height of 26'-8".
 - The hotel will have an outdoor pavilion to accommodate 150 patrons.
 - A new parking lot will provide the hotel with 28 parking spaces.
 - Public sanitary sewer and public water main are available within North 15th street and will be extended into the property.
- | | | |
|------------------------------------------------------------|---|----------------------------------------------|
| • Proposed Hotel Building | = | 9,595 square feet (22 percent of total lot) |
| • Proposed Outdoor Seating Area | = | 3,090 square feet (7 percent of total lot) |
| • Proposed Pavement | = | 13,180 square feet (31 percent of total lot) |
| • Proposed Green Space | = | 15,913 square feet (37 percent of total lot) |
| • Proposed Concrete Walk/
Driveway Aprons/Dumpster Pads | = | 1,420 square feet (3 percent of total lot) |

SITE SELECTION

- The proposed site was selected due to its proximity to the Sheboygan River, the views of Kiwanis Park, and the close proximity to downtown Sheboygan.

LANDSCAPE REQUIREMENTS

- Landscape plan to comply with the requirements of section 15.105 (e) 4 C.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards shall comply with City of Sheboygan Zoning Ordinance, to ensure this development will not become a nuisance to neighboring property owners.

SITE LIGHTING:

- Three (3) light poles providing adequate lighting for off-street parking lot.
- Nine (9) light bollards will illuminate the front entry walkway.
- Two (2) wall sconces at the front entrance.

ARCHITECTURE:

- Though the building we are proposing is new construction, we are drawing from the materials and scale of the existing condominiums on the southern portion of the site. They have an applied masonry base, horizontal siding and shakes.
- We are proposing a two-story building with a slightly sloped roof that extends beyond the exterior walls. The building will sit parallel to the river to the west, and the outdoor event space's roof will be sloped up toward the river to maximize views on the site. The building is clad mostly in white horizontal lap siding, has a grey-brown brick base and matte black metal panel accents. The soffits will be unstained, sealed wood, expressing the building's structure and will bring warmth to the exterior. The main entrance of the building is slightly taller than the rest of the building. The entrance will be clad in a matte black standing seam metal panel and have a cantilevered roof. The design of the hotel draws its inspiration from the collection and treatment of rainwater, wooden boats and natural elements as well as the former lumberyard use of the site.

VARIANCE REQUEST/VARIANCE DESCRIPTION:

1. 25-foot residential side lot setback (Condominiums to the south)

The requested variance is to allow the new hotel construction to be built within 25 feet of the lot line to the south. This encroachment will allow the proposed building to accommodate the bend in the river on the site and positioned optimally on the site for adequate soil bearing capacity

2. 5-foot nonresidential side lot setback (northeast portion of Pavilion)

The requested variance is to allow the new hotel pavilion to be constructed within 5 feet of the side lot on the northern portion of the site. Because we are at the apex of a bend in the Sheboygan River, the site narrows to the north. We would like to encroach on the side lot line to maximize the views and connection to the river. There is also a right of way for storm sewers so no new construction can be located on the property to the east.

3. 25-foot Building rear yard setback (Sheboygan River)

The requested variance is to allow the new pavilion and concrete walkways to be construction within 25 feet of the Sheboygan River. We are requesting this variance because the outdoor spaces are a great opportunity to enhance the riverfront.

4. 5-foot paving side and rear lot setback (northeast portion of pavilion)

The requested variance is to allow the new hotel pavilion pavement to be constructed within 5 feet of the side lot on the northern portion of the site. Because we are at the apex of a bend in the Sheboygan River, the site narrows to the north. We would like to encroach on the side lot line to maximize the views and connection to the river. There is also a right of way for storm sewers so no new construction cannot be located on the property to the east.

5. Encroachment on North 15th Street (proposed drop off lane)

The requested encroachment is to allow access to the kitchen on the northeast corner of the building. This encroachment is to allow catering companies and other vendors to have temporary loading/unloading access to the kitchen, keeping the drop off clear for hotel guests and preventing backups on 15th street.

 5 Total variances to be requested

ECONOMIC IMPACT:

- Projected \$3,600,000.00 investment in the project.
- Seasonally adjusted average of six (6) full-time employees.
- Seasonally adjusted average of 15 to 18 guest rooms rented per day.

**WATERSHED
BOUTIQUE HOTEL AND OUTDOOR EVENT SPACE**

- Location: Sheboygan Wisconsin
- Status: In Design
- Size: 25 room boutique hotel and outdoor event space



The site is the former location of Richardson Lumber.

Building on the The Water's Edge development, We are proposing a two-story building with a slightly sloped roof that extends beyond the exterior walls. The building will sit parallel to the river to the west, and the roof of the outdoor space will slope up toward the river, maximizing views to make the most of this unique site. The building is clad mostly in horizontal lap siding, has a brick base and metal panel accents. The soffits will be wood, expressing the buildings structure and adding warmth to the exterior. The main entrance of the building is slightly taller than the rest of the building. The entrance will be clad in a dark standing seam metal panel and have its own cantilevered roof.



Rendering of Proposed Hotel and Event space from 15th Street

THE WATERSHED - CONTEXTUAL SYMPATHY

Though the hotel we are proposing is new construction, we are drawing from the materials and scale of the existing condominiums on the southern portion of the site as well as the existing neighborhood fabric. They have a stone base, horizontal siding, shakes. They are approximately 2 ½ stories tall. We are also taking cues from the existing fabric to inform the scale and form of the hotel. We chose sympathetic materials to relate the hotel design to the adjacent condos as well as the existing buildings in the neighborhood. We are also pulling from the history of the site, which was storage for a lumber mill across the street by using wood throughout the design and the nautical history of Sheboygan, borrowing forms and structural queues from traditional wood boat construction.



precedent boat imagery



The condominiums on the southern portion of the site



Modest size, lap siding, symmetrical window arrangement & steeply pitched roof. (Wisconsin Ave).



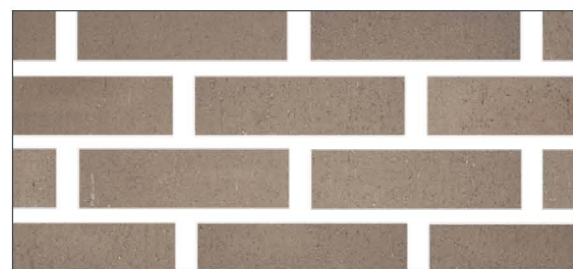
Original lumberyard across the street from proposed site (15th Street)



Rendering of Proposed Hotel and Event space from the Sheboygan River



Painted Clapboard Siding and Trim



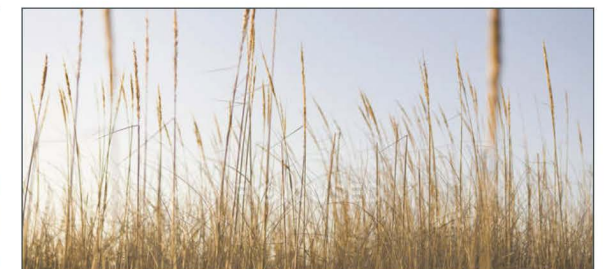
Wire-cut Cobblestone Brick Veneer



Matte Black Metal Panel



Wood Tones

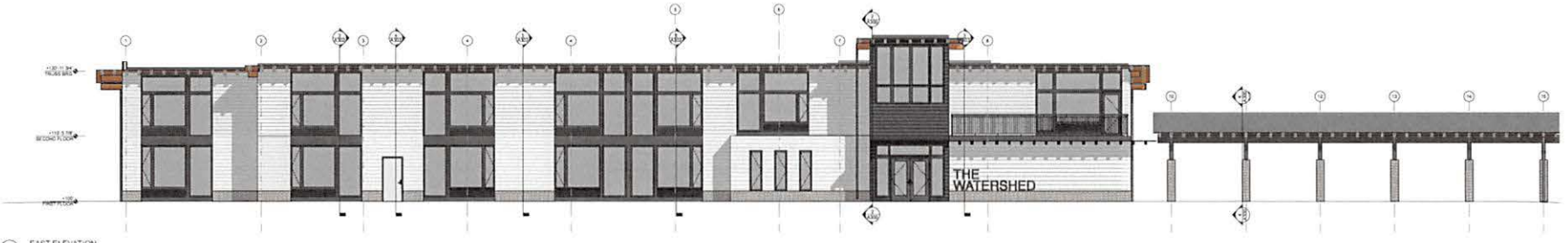


Native Landscaping

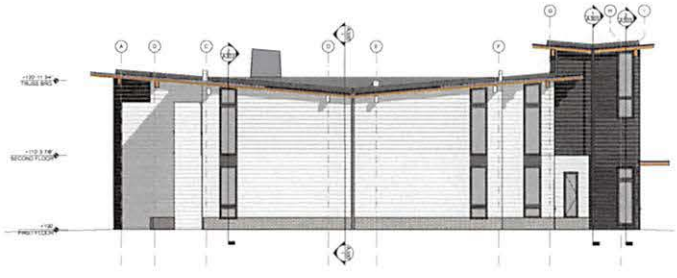


Black Door & Window Frames

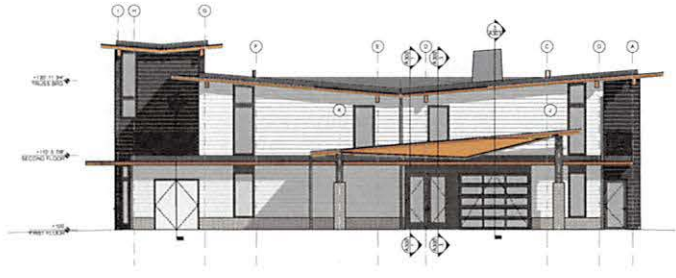
WATERSHED HOTEL
NORTH 15TH STREET SHEBOYGAN, WI 53081



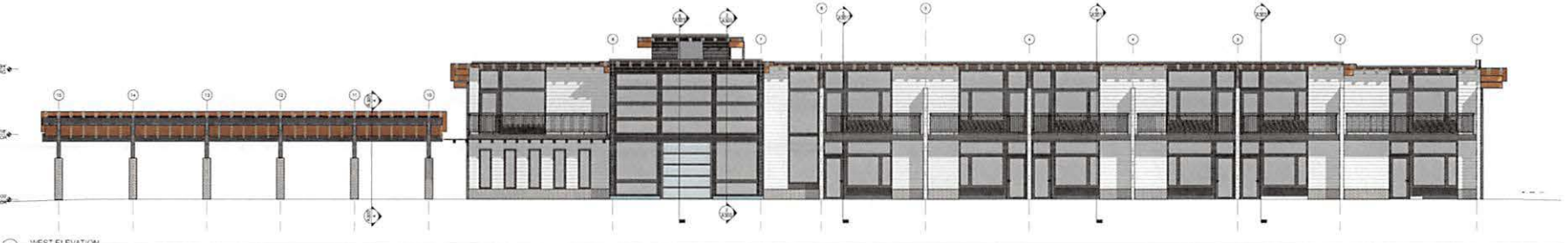
120 EAST ELEVATION
SCALE 1/8" = 1'-0"



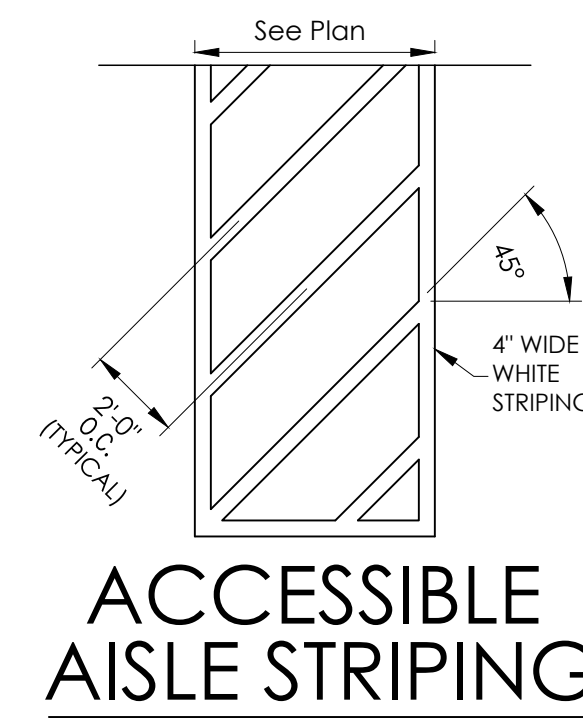
121 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



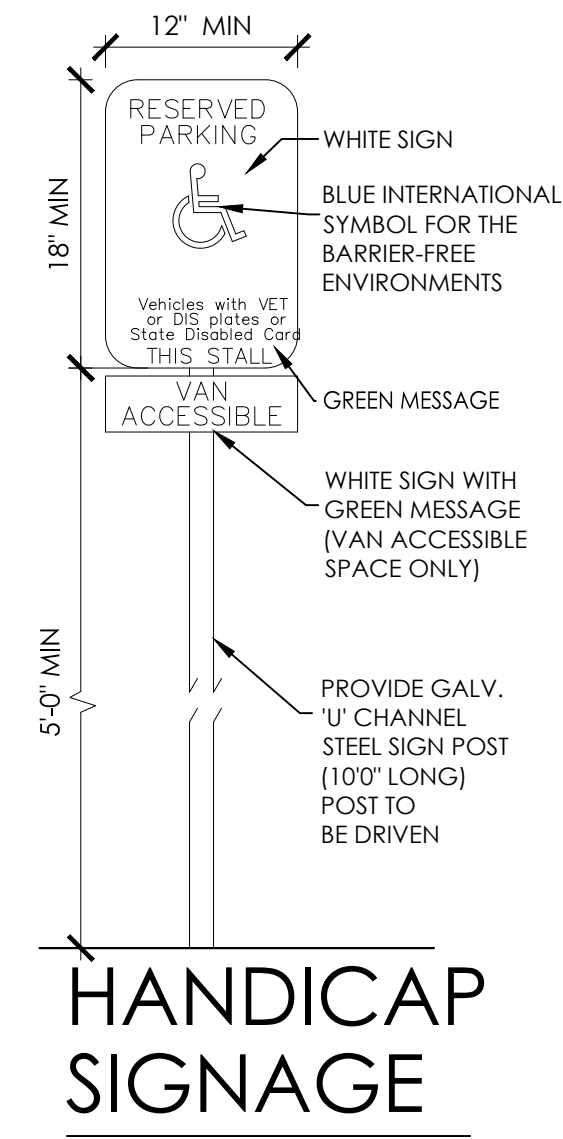
122 NORTH ELEVATION
SCALE 1/8" = 1'-0"



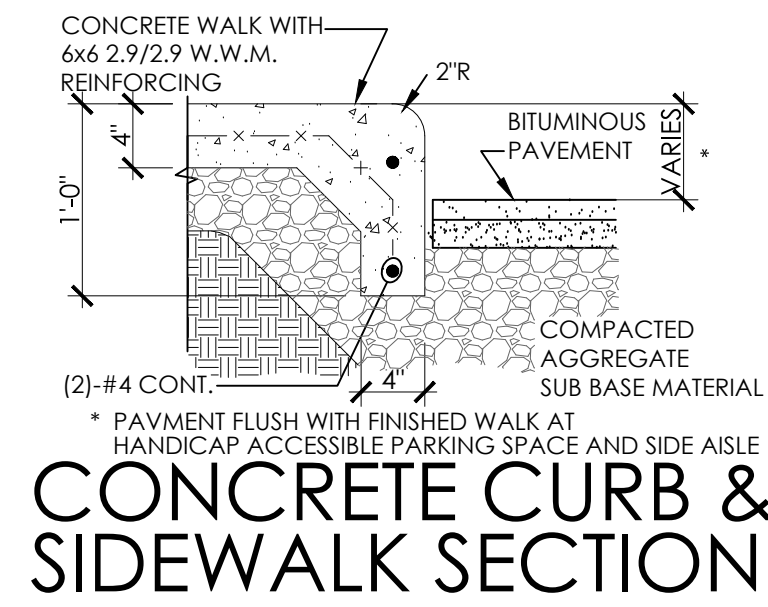
123 WEST ELEVATION
SCALE 1/8" = 1'-0"



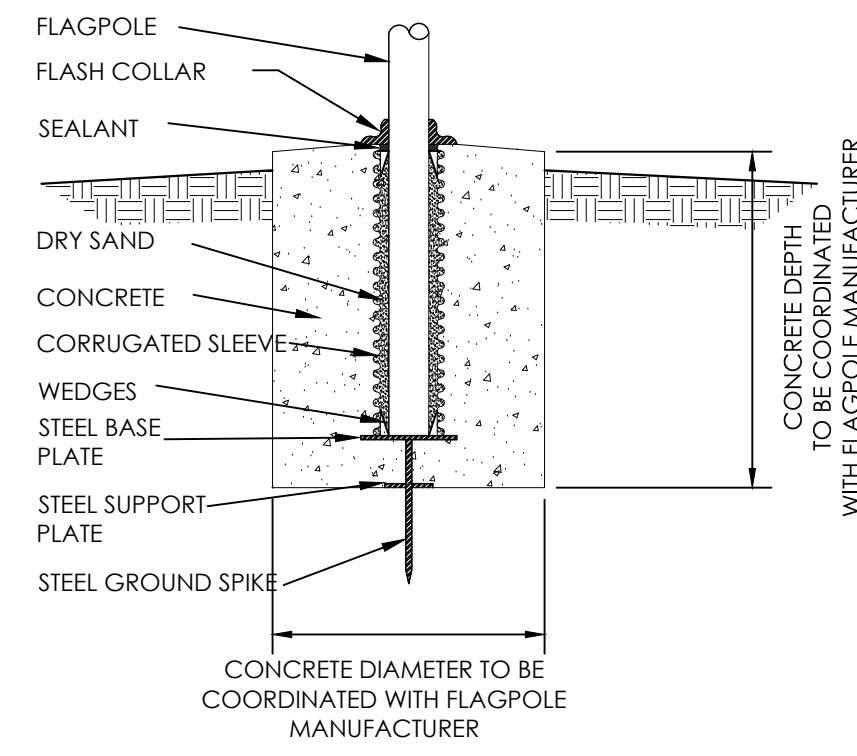
ACCESSIBLE AISLE STRIPING



HANDICAP SIGNAGE



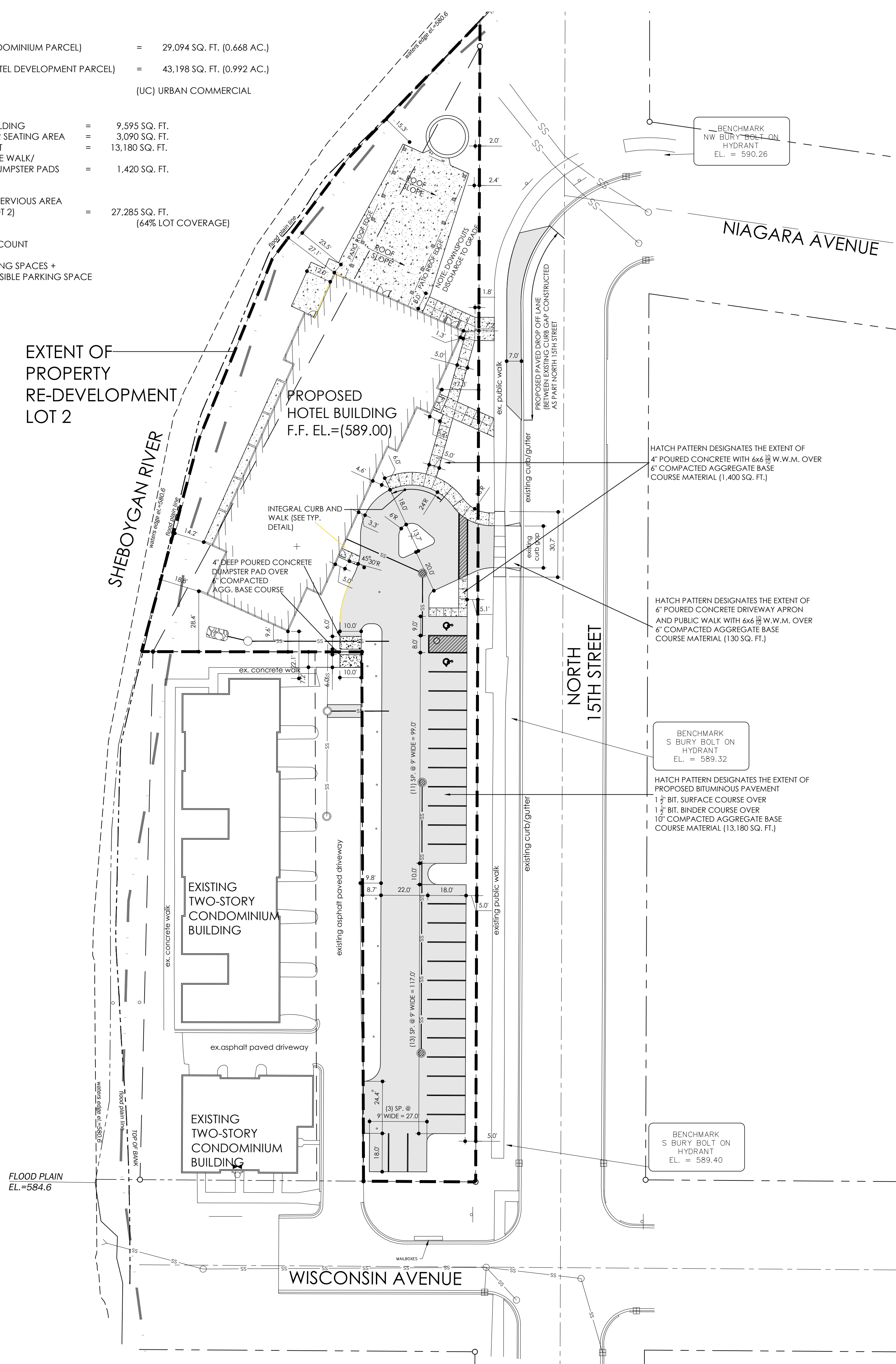
CONCRETE CURB & SIDEWALK SECTION



FLAGPOLE BASE SECTION

SITE DATA

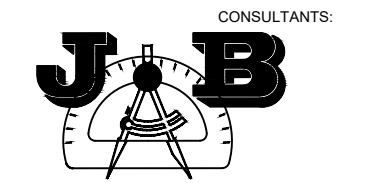
LOT 1 (EXISTING CONDOMINIUM PARCEL)	=	29,094 SQ. FT. (0.668 AC.)
LOT 2 (PROPOSED HOTEL DEVELOPMENT PARCEL)	=	43,198 SQ. FT. (0.992 AC.)
PROPERTY ZONED:		(UC) URBAN COMMERCIAL
PROPOSED HOTEL BUILDING	=	9,595 SQ. FT.
PROPOSED OUTDOOR SEATING AREA	=	3,090 SQ. FT.
PROPOSED PAVEMENT	=	13,180 SQ. FT.
PROPOSED CONCRETE WALK/ DRIVEWAY APRON/DUMPSTER PADS	=	1,420 SQ. FT.
PROPOSED TOTAL IMPERVIOUS AREA (POST DEVELOPED, LOT 2)	=	27,285 SQ. FT. (64% LOT COVERAGE)
OFF-STREET PARKING COUNT		
(26) STANDARD PARKING SPACES +		
(2) HANDICAP ACCESSIBLE PARKING SPACE		



SITE PLAN
1"=30'



6528 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772 phone
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jsbdesign1@gmail.com

WATERSHED - BOTIQUE HOTEL
NORTH 15th STREET,
SHEBOYGAN, WI 53081

DRAWING ISSUE DATE

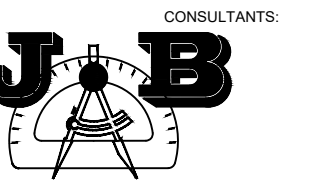
PROJECT # 2021-11

SITE PLAN

C 1.1



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jsitedesign1@gmail.com

WATERSHED - BOTIQUE HOTEL
NORTH 15th STREET,
SHEBOYGAN, WI 53081

DRAWING ISSUE DATE

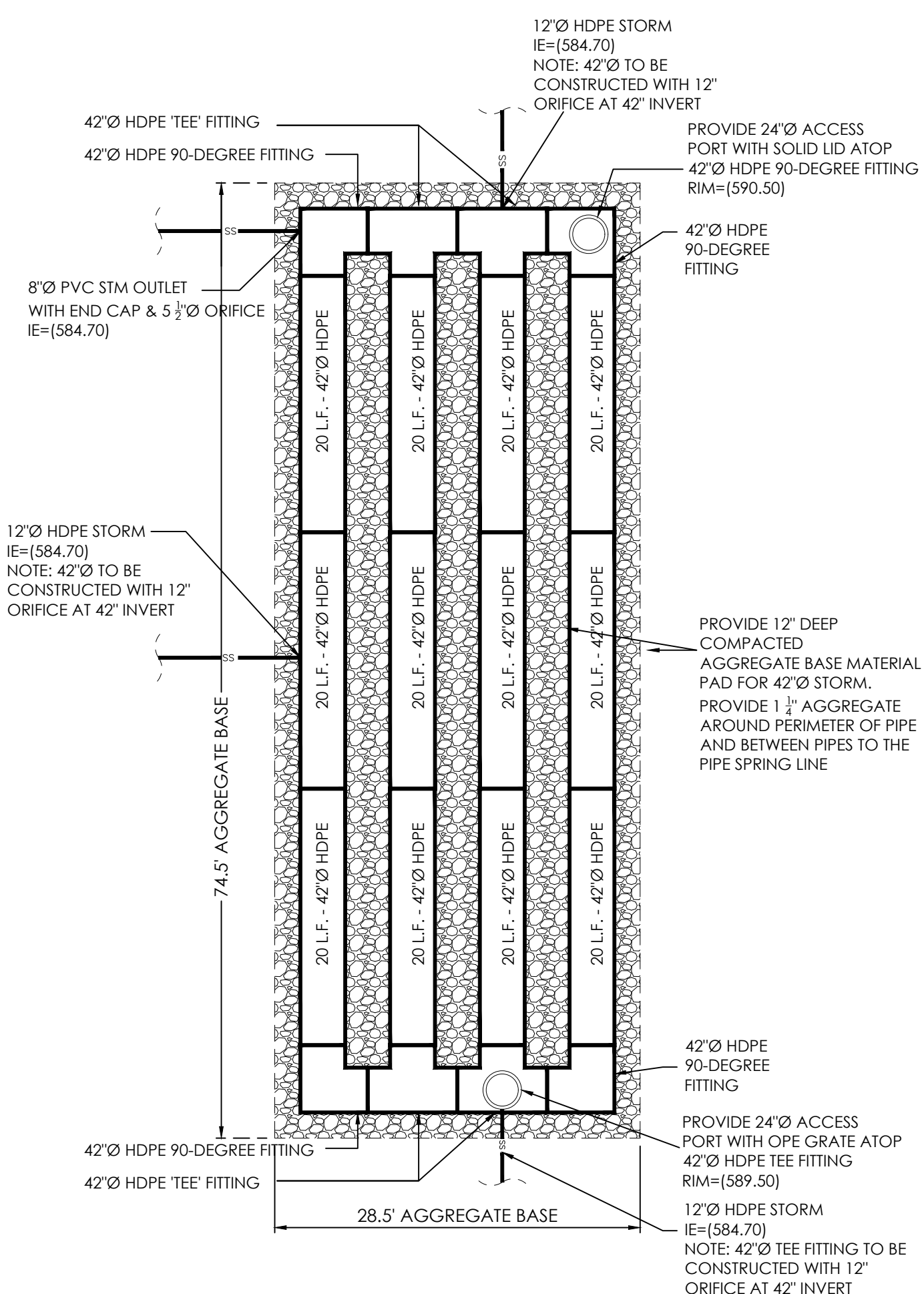
PROJECT # 2021-11

SITE UTILITY PLAN

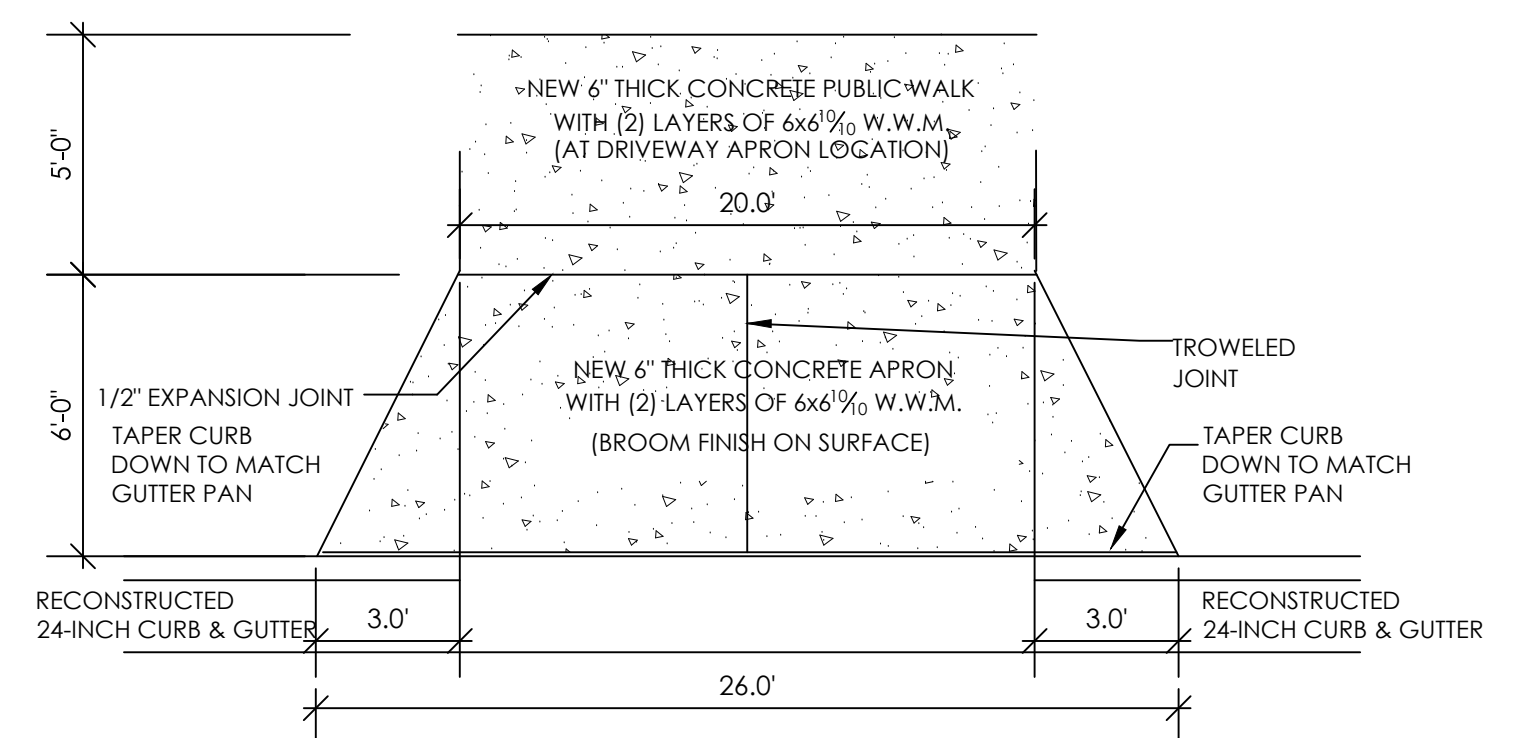
C 1.3

©2018 GALBRAITH CARNAHAN ARCHITECTS LLC

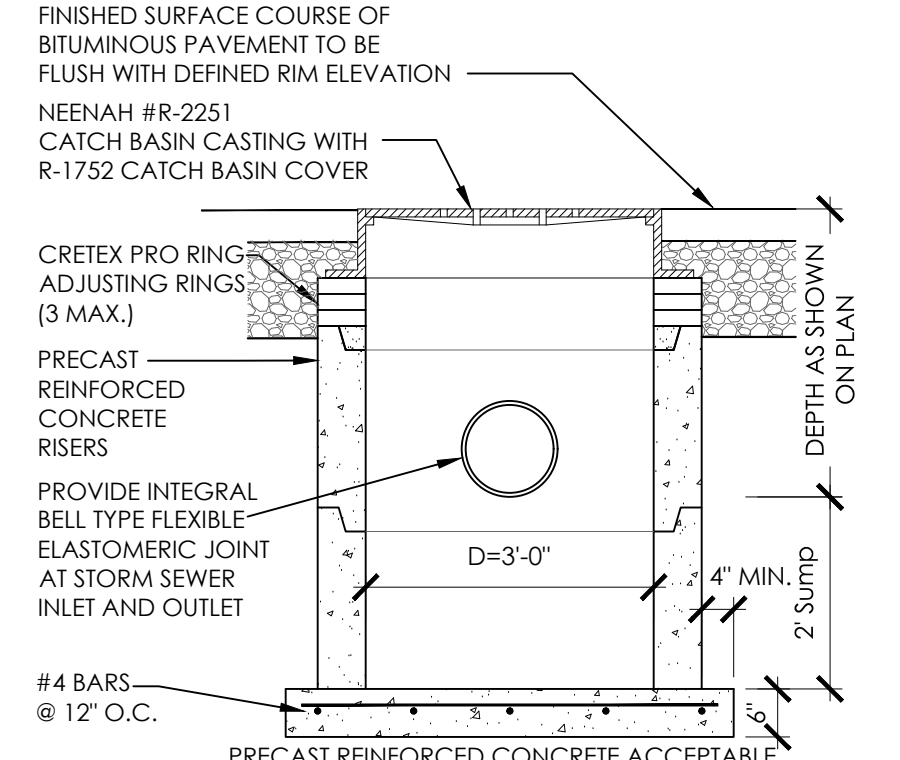
NOTE:
FINAL LOCATION OF PROPOSED DOWNSPOUTS TO BE COORDINATED WITH GUTTER INSTALLER.
FINAL STORM SEWER AND HUB DRAIN LOCATIONS MAY VARY BASED ON FINAL DOWNSPOUT LOCATION.
SITE UTILITY CONTRACTOR RESPONSIBLE TO COORDINATE STORM SEWER LOCATION AND TOTAL PIPE LENGTH PRIOR TO PIPE INSTALLATION.
SITE UTILITY TO EXTEND DOWNSPOUT STORM SEWER TO GRADE, INCLUDING HUB DRAIN COMPONENT DETAILED ABOVE THE REMAINDER OF DOWNSPOUTS ASSUMED TO DRAIN TO GRADE



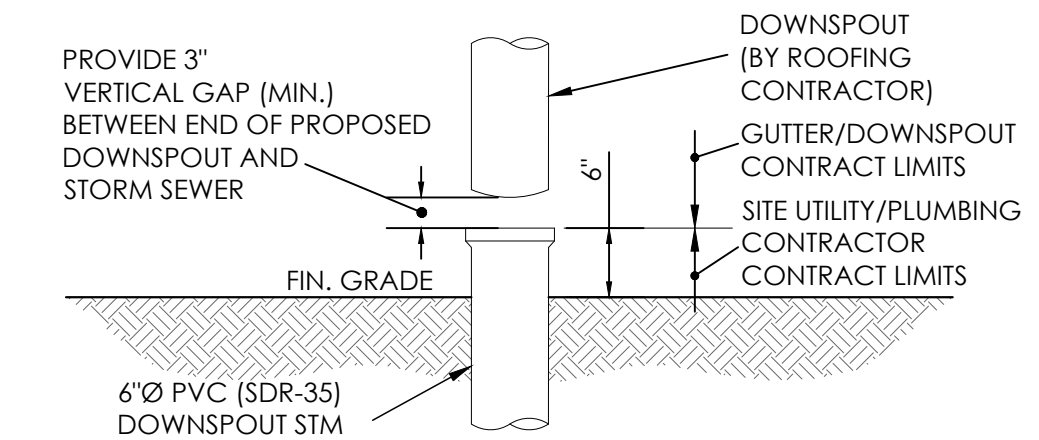
UNDERGROUND STORM WATER STORAGE SYSTEM PLAN
1"=10'



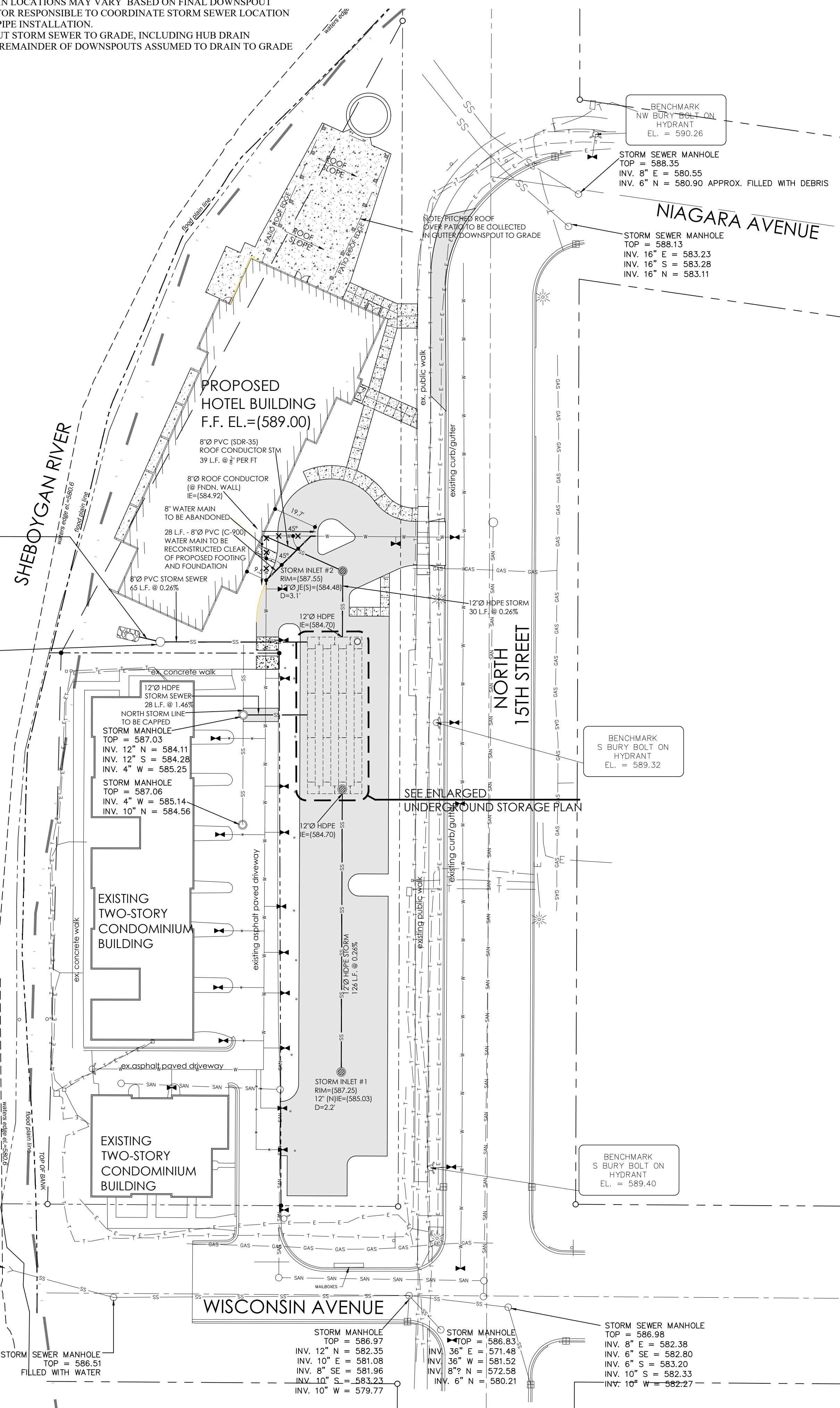
PRIVATE ROAD CONCRETE APRON DETAIL
(@ NORTH 15th STREET)



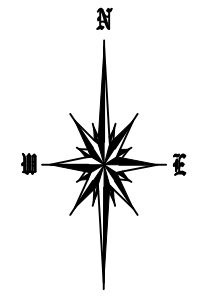
STORM INLET SECTION



DOWNSPOUT HUB SECTION



SITE UTILITY PLAN
1"=30'



GENERAL LANDSCAPE NOTES

- ALL LANDSCAPE PLANTINGS, INCLUDING BUT NOT LIMITED TO PLANTING BEDS, TREES AND SHRUBS AS DEFINED, TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019.
- ALL EROSION MAT, SEEDING AND MULCH WITHIN ALL TURF AREAS TO BE INSTALLED NO LATER THAN OCTOBER 1, 2019. SEE SHEET C/1.1 FOR EXTENT OF EROSION MAT AS WELL AS REQUIRED SEED MIXTURE.
- CALL DIGGER'S HOTLINE PRIOR TO DIGGING.
- ALL BUILDING DIMENSIONS, GRADES AND ELEVATIONS TO BE VERIFIED IN THE FIELD.
- PLANT ALL TREES, SHRUBS AND EVERGREENS ACCORDING TO THE HEIGHT OF THE ROOT BALL OR POT.
- ALL PERENNIAL BEDS TO RECEIVE 3" COMPOST.
- ALL TREES IN THE LAWN AREAS TO RECEIVE A MULCH CIRCLE (NO LANDSCAPE EDGING) AND WATER SAUCER.
- LANDSCAPE CONTRACTOR TO PROVIDE TWO LAYERS OF WEED BARRIER WITHIN PLANTING AREAS AS DEFINED.

BUILDING FOUNDATION

106 POINTS (MIN.) REQUIRED
117 POINTS PROVIDED

- (11) ANDORRA JUNIPER = (3) PTS. PER - 33 POINTS TOTAL
- (10) ARTIC FIRE DOGWOOD = (5) PTS. PER - 50 POINTS TOTAL
- (2) NANNYBERRY = (5) PTS. PER - 10 POINTS TOTAL
- (2) PYRAMEDIAL ARBORVITAE = (12) PTS. PER - 24 POINTS TOTAL

DEVELOPED LOTS

48 POINTS (MIN.) REQUIRED

80 POINTS PROVIDED

- (3) AMERICAN ARBORVITAE = (20) PTS. PER - 60 POINTS TOTAL
- (2) WASHINGTON HAWTHORN = (10) PTS. PER - 20 POINTS TOTAL

STREET FRONTAGE

138 POINTS (MIN.) REQUIRED

175 POINTS PROVIDED

- (2) SUGAR MAPLE = (75) PTS. PER - 150 POINTS TOTAL

PAVEMENT AREA

71 POINTS (MIN.) REQUIRED

100 POINTS PROVIDED

- (5) ANDORRA JUNIPER = (3) PTS. PER - 15 POINTS TOTAL
- (5) ARTIC FIRE DOGWOOD = (5) PTS. PER - 25 POINTS TOTAL
- (3) AMERICAN ARBORVITAE = (20) PTS. PER - 60 POINTS TOTAL

LANDSCAPE POINTS REQUIRED FOR 'UC' URBAN COMMERCIAL ZONING

BUILDING FOUNDATIONS = 530 LINEAL FEET

PER SECTION 15.604 AND TABLE 15.604: BUILDING FOUNDATION LANDSCAPE REQUIREMENTS
20 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 106 POINTS REQUIRED
- NO CLIMAX TREES OR TALL TREES ALLOWED TO MEET REQUIREMENT

DEVELOPED LOT (LOT 2 ONLY) = 9,595 SQUARE FOOT BUILDING FOOTPRINT

PER SECTION 15.605 AND TABLE 15.605: DEVELOPED LOT LANDSCAPE REQUIREMENTS
05 POINTS PER 1,000 SQUARE FEET - FOR A TOTAL OF 48 POINTS REQUIRED

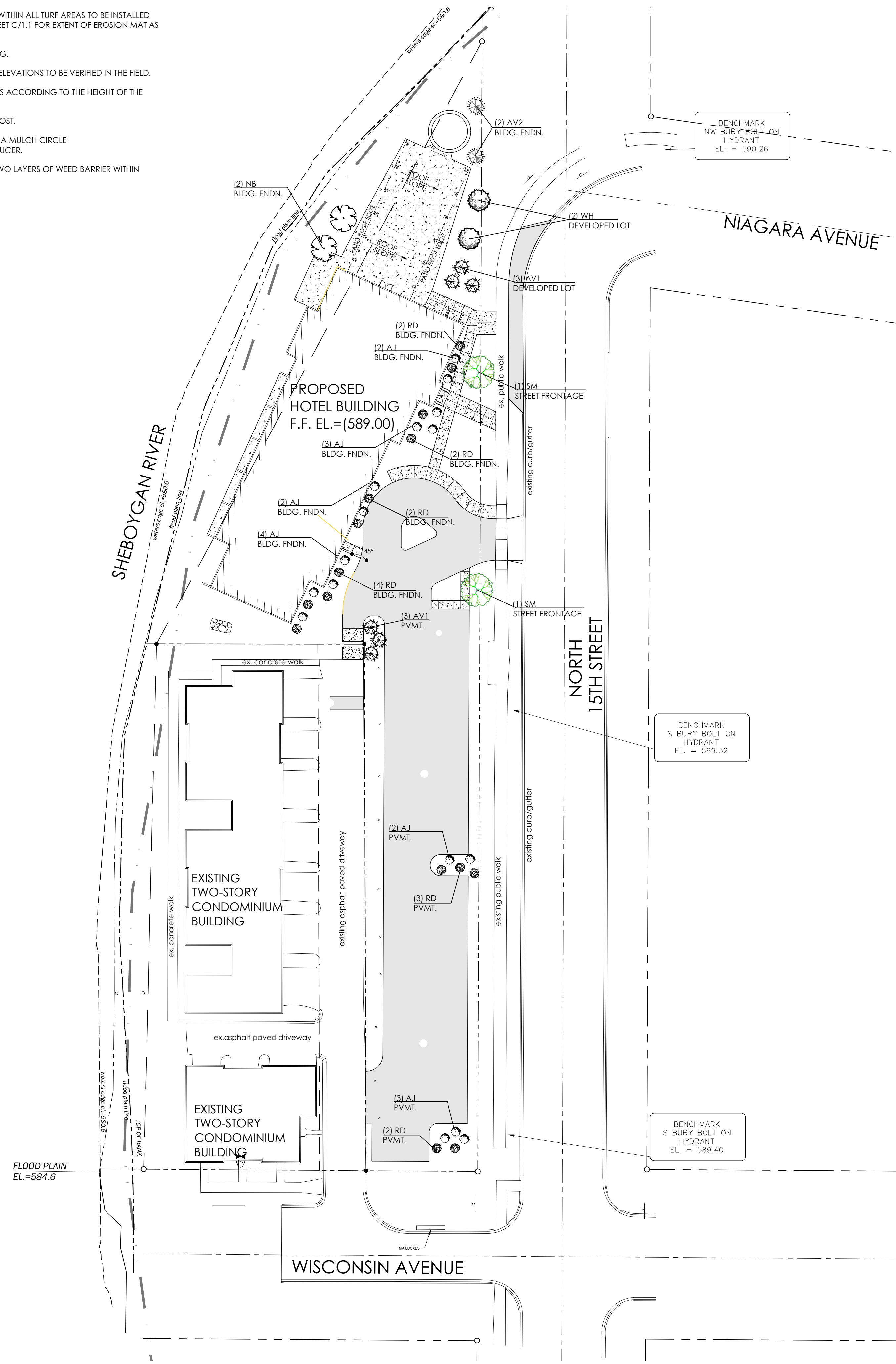
STREET FRONTAGE = 692 LINEAL FEET (NORTH 15th STREET and WISCONSIN AVENUE)

PER SECTION 15.606 AND TABLE 15.606: STREET FRONTAGE LANDSCAPE REQUIREMENTS
20 POINTS PER 100 LINEAL FEET - FOR A TOTAL OF 138 POINTS REQUIRED
- A MINIMUM OF 50-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (69 POINTS)
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE SMALL TREES (42 POINTS)

PAVEMENT AREA/CONCRETE AREA = 17,820 SQUARE FEET

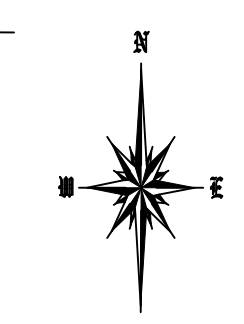
PER SECTION 15.607 AND TABLE 15.607: PAVED AREA LANDSCAPE REQUIREMENTS
40 POINTS PER 10,000 SQUARE FEET - FOR A TOTAL 71 POINTS REQUIRED
- A MINIMUM OF 30-PERCENT OF POINTS SHALL BE CLIMAX AND/OR TALL TREES (21 POINTS)
- A MINIMUM OF 40-PERCENT OF POINTS SHALL BE SHRUBS (28 POINTS)

SYMBOL	MARK	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	SM	2	ACER SACCHARUM	SUGAR MAPLE	2" DIA.
	AV TYPE 1	6	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	60" TALL
	AV TYPE 2	2	THUJA OCCIDENTALIS 'TECHNY'	PYRAMEDIAL, TECHNY	60" TALL
	NB	2	VIBURNUM	NANNYBERRY	12"-15"
	AJ	16	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	12"-15"
	RD	15	CORNUS SERICEA	ARTIC FIRE DOGWOOD	30"-36"
	WH	2	CRATAEGUS PHAENOPYUM	WASHINGTON HAWTHORN	3'0" TALL

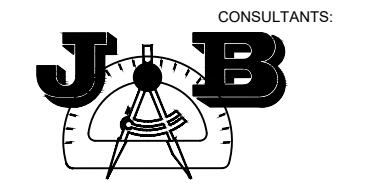


LANDSCAPE PLAN

1"=30'



6528 West North Avenue
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js@siteeng1@gmail.com

WATERSHED - BOTIQUE HOTEL
NORTH 15th STREET,
SHEBOYGAN, WI 53081

DRAWING ISSUE DATE

PROJECT # 2021-11

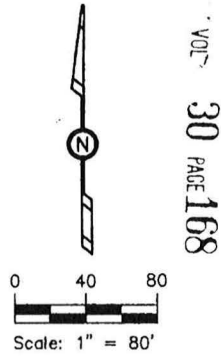
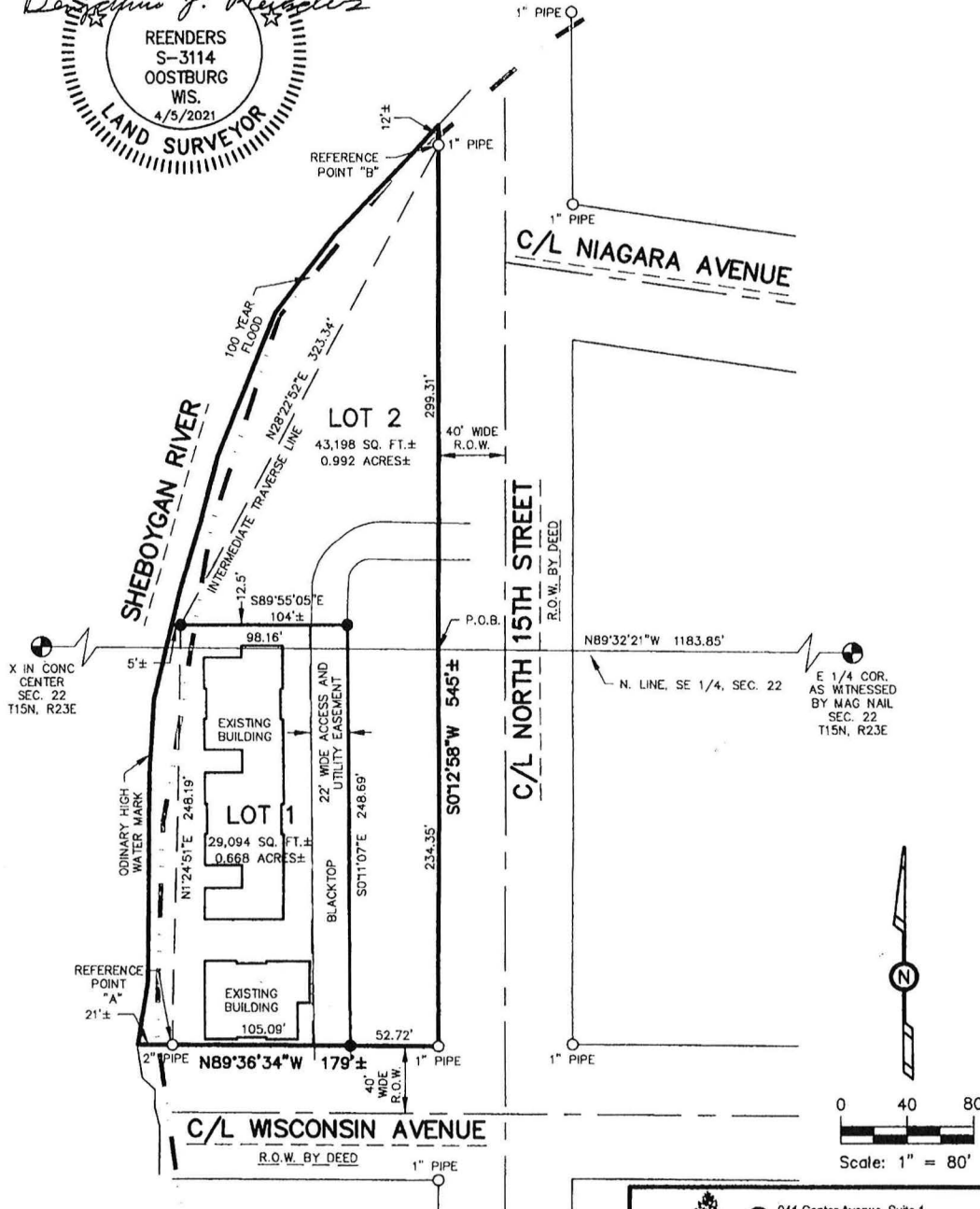
LANDSCAPE PLAN

C 1.4



2119160
 SHEBOYGAN COUNTY, WI
 RECORDED ON
 07/16/2021 04:35 PM
 ELLEN R. SCHLEICHER
 REGISTER OF DEEDS
 RECORDING FEE: 30.00
 TRANSFER FEE:
 EXEMPTION #
 Cashier ID: 9
 PAGES: 3

CERTIFIED SURVEY MAP
 A RESURVEY OF WATER'S EDGE CONDOMINIUM, BLOCK 119 OF THE ORIGINAL PLAT OF SHEBOYGAN LOCATED IN THE E 1/2 OF SECTION 22, T15N, R23E, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.



VOL. 30 PAGE 168

- LEGEND**
- = Set 3/4"x18" Rebar min. 1.13 lbs. per foot
 - = Found Iron Pipe
 - ⊕ = Section Corner Monument

NOTES:

OWNER AND SUBDIVIDER:
 WATER'S EDGE CONDO ASSOCIATION

BEARINGS ARE BASED ON THE NORTH LINE OF THE SE 1/4 OF SECTION 22, T15N, R23E, AS BEING N89°32'21"W PER THE SHEBOYGAN COUNTY COORDINATE SYSTEM.



941 Center Avenue, Suite 1
 Oostburg, WI 53070
 920-547-0599

CEDAR CREEK SURVEYING, LLC
 www.cedarcreeksurveying.com

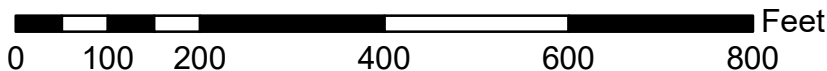
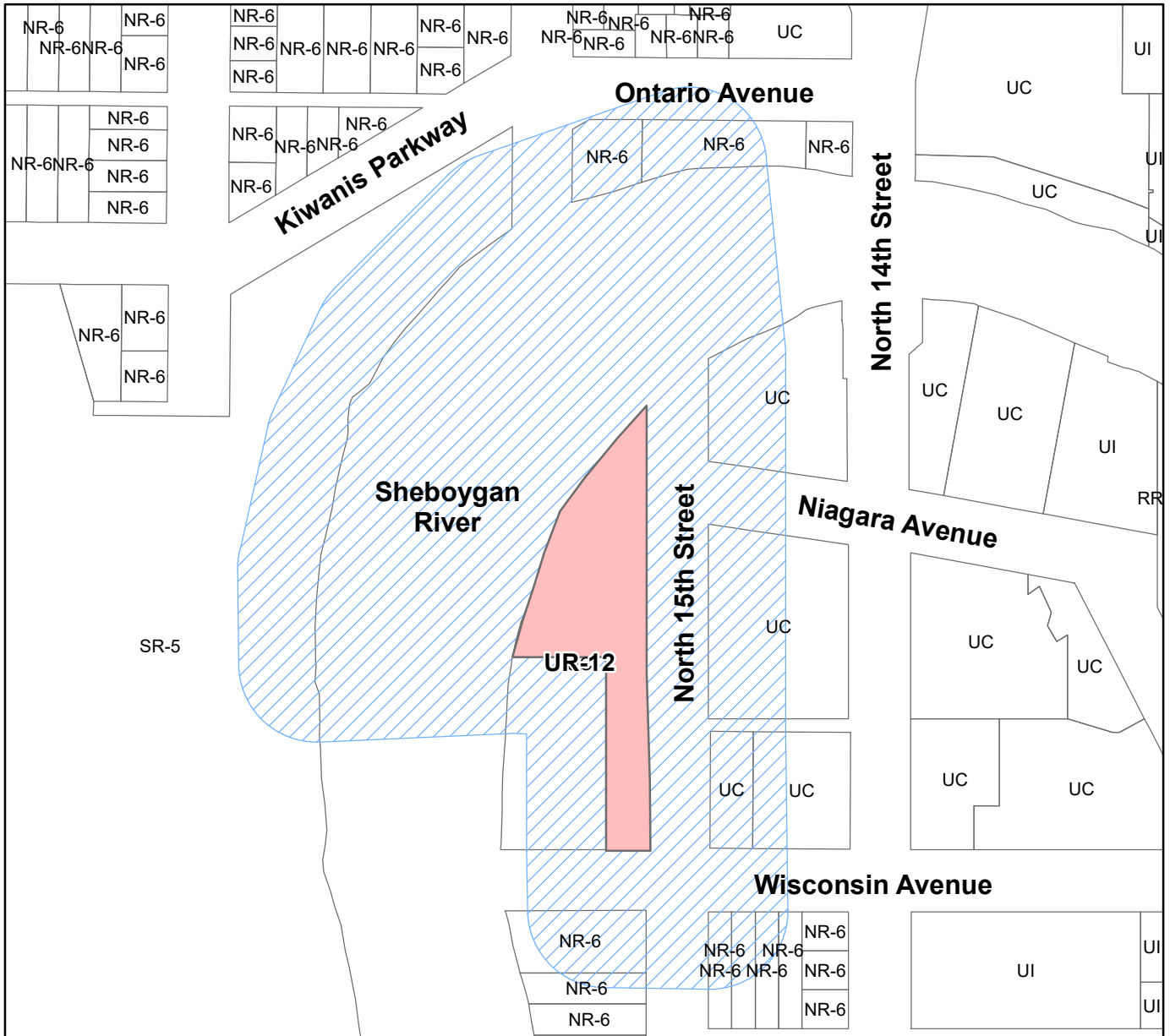
FILE No.: 2021031 DATE: 4/5/2021 SHEET: 1 OF 3

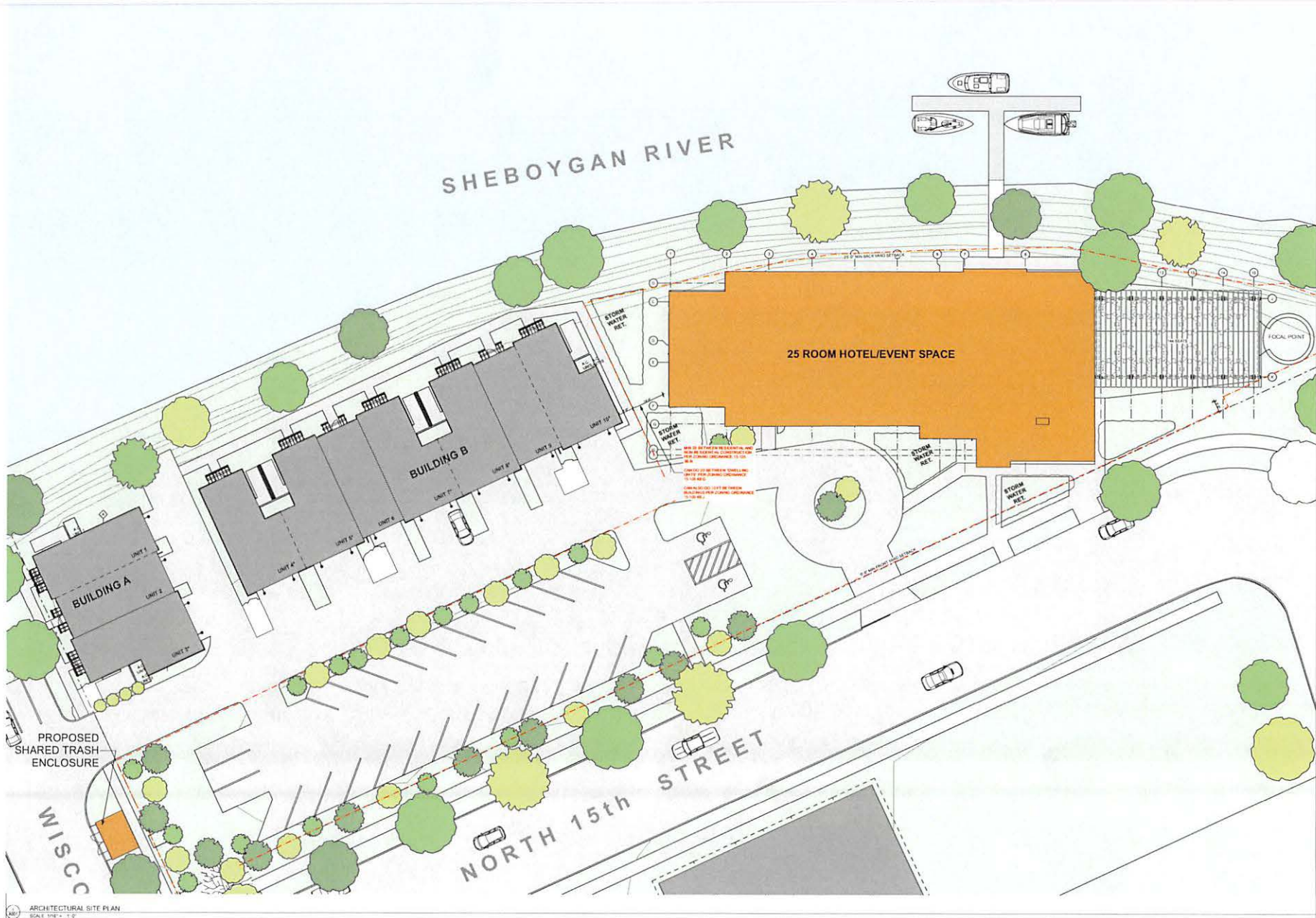
This Instrument was drafted by Benjamin J. Reenders.

PROPOSED REZONE FROM URBAN RESIDENTIAL-12 (UR-12) TO URBAN COMMERCIAL (UC)

Part of Block 119 of the original Plat of Sheboygan, part of the East 1/2 of Section 22, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin bounded and described as follows:

Commencing at the East 1/4 corner of said Section 22; thence N89°32'21"W 1183.85 feet to the POINT OF BEGINNING of this description; thence S0°12'58"W 234.35 feet along the West right-of-way line of North 15th Street; thence N89°36'34"W 52.72 feet along the North right-of-way line of Wisconsin Avenue; thence N0°11'07"W 248.69 feet; thence N89°55'05"W 98.16 feet to Reference Point "A"; thence N89°55'05"W 5 feet more or less to the ordinary high water mark of the Sheboygan River; thence Northeasterly along the ordinary high water mark of the Sheboygan River to a point bearing N00°12'58"E of Reference Point "B"; Reference Point "B" is N28 ° 22' 52"E 323.34 feet along an intermediate traverse line from said Reference Point "A"; thence S0°12'58"W 12 feet more or less along the West right-of-way line of North 15th Street to said Reference Point "B"; thence S0°12'58"W 299.31 feet along said West line to the point of beginning. This parcel contains 43,198 square feet or 0.99 acres more or less.





SHEBOYGAN RIVER

25 ROOM HOTEL/EVENT SPACE

BUILDING B

BUILDING A

NORTH 15th STREET

WISCC

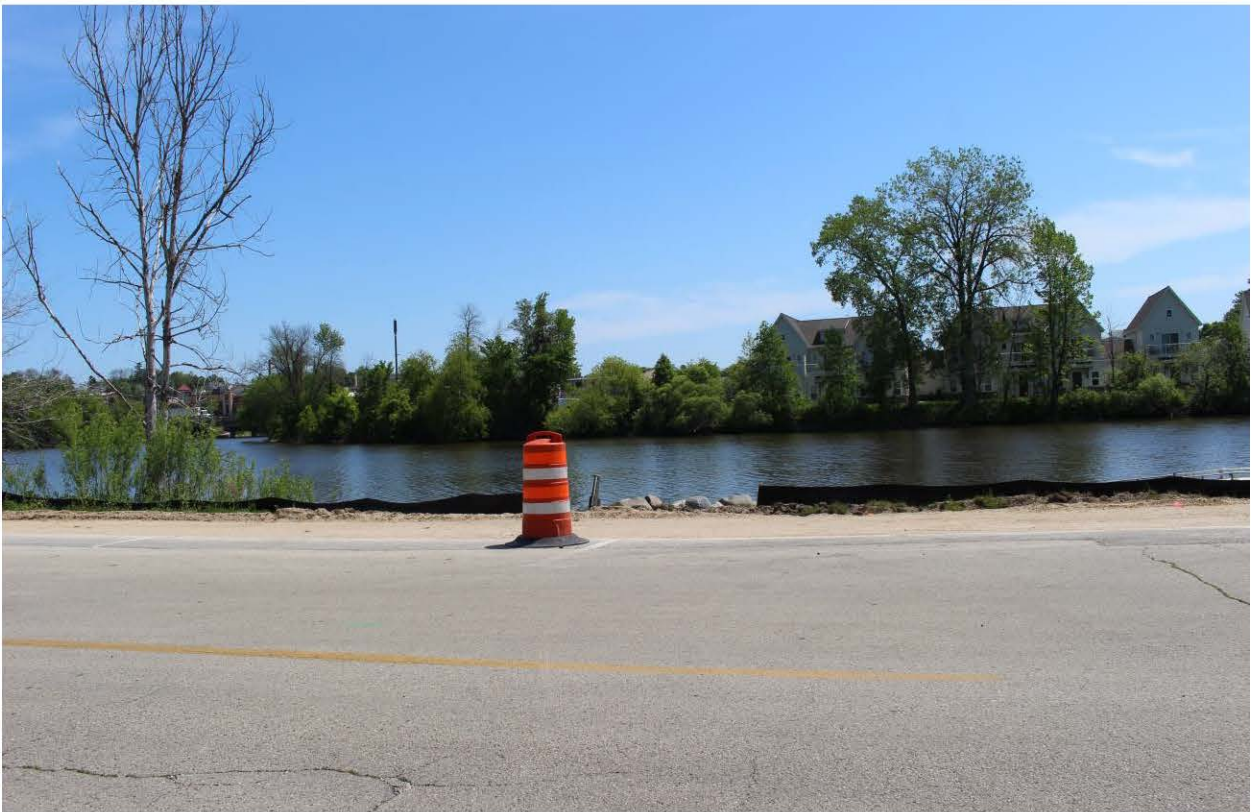
PROPOSED SHARED TRASH ENCLOSURE

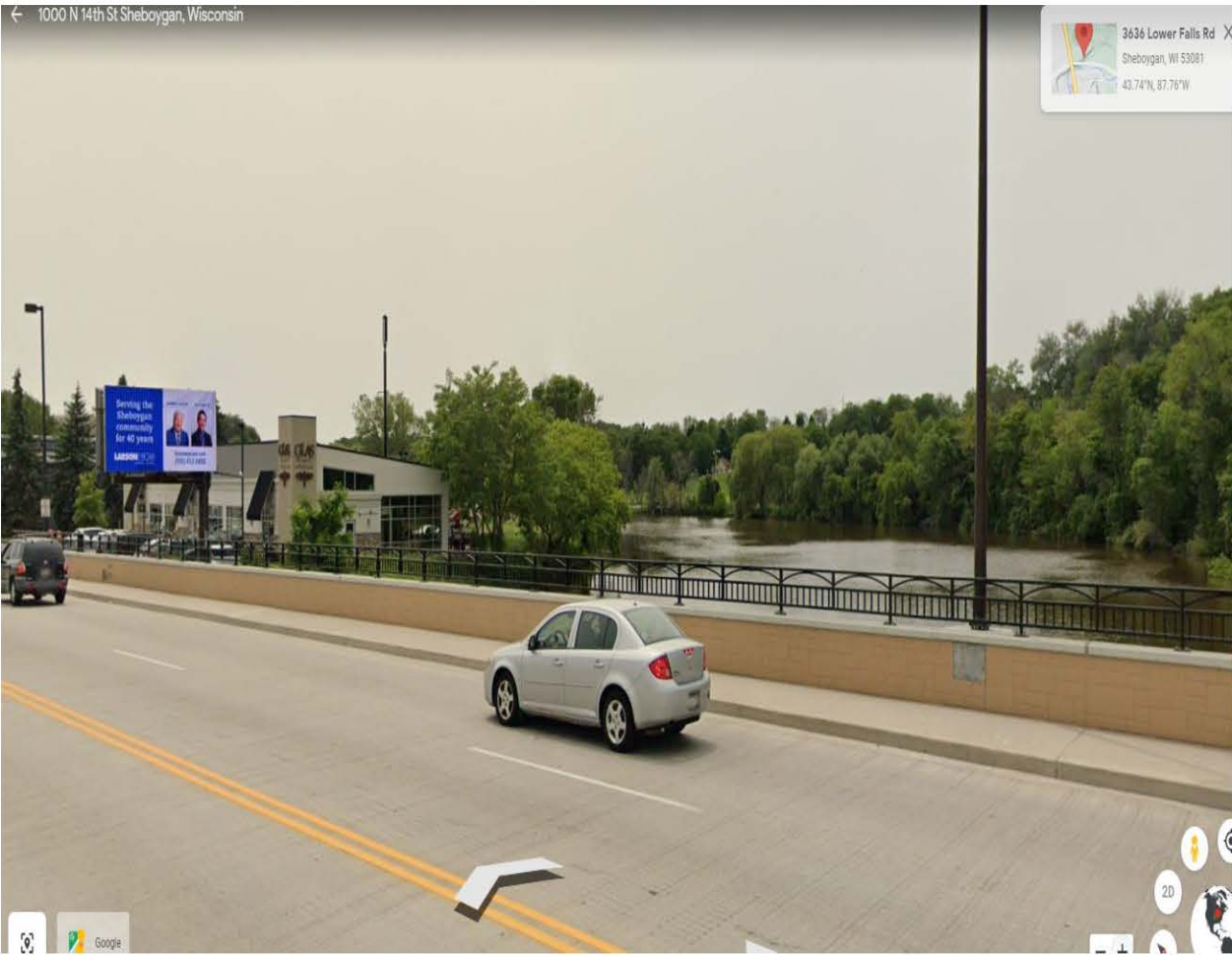
ARCHITECTURAL SITE PLAN
SCALE 1/8" = 1'-0"











CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by Watershed Development, LLC to construct and operate the Watershed Hotel at the northwest intersection of Niagara Avenue and N. 1st Street along the Sheboygan River (Parcel 210002). UC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 6, 2021

MEETING DATE: August 10, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item N/A
Budget Summary N/A
Budgeted Expenditure N/A
Budgeted Revenue N/A

Wisconsin Statutes N/A
Municipal Code N/A

BACKGROUND / ANALYSIS:

The Plan Commission recommended and the Common Council recently approved a rezoning request by Watershed Development to change the zoning of this parcel from Urban Residential (UR-12) to Urban Commercial (UC). The property is now zoned UC which permits the applicant to submit a conditional use permit proposing to construct a hotel from this property.

Watershed Development, LLC has submitted a conditional use permit proposing to construct and operate the Watershed Hotel at the northwest intersection of Niagara Avenue and N. 1st Street along the Sheboygan River (Parcel 210000). The applicant states the following about the project:

- Watershed Development, LLC is requesting conditional use approval for construction of the new Watershed Hotel located just to the north of the River's Edge Condominiums. The proposal is to allow the development of a boutique hotel, which would consist of 20 hotel rooms and a small event space. It is anticipated that the hotel development will produce an investment value of approximately \$6 million.
- Presently, the property is vacant (and has been for several years) and was zoned UR-12. It was intended that Watershed Development would continue with additional condominium development on the property, but the market does not exist for that to continue in the opinion of the applicant.
- In order to propose a new hotel development, the parcel was recently subdivided and rezoned to Urban Commercial (UC). A hotel is a permitted conditional use in the UC zone.

- Newly created Lot 2 is a one (1) acre site that is vacant and undeveloped.
- The Watershed Hotel will be a two-story, 11,600sf hotel consisting of a 20 guest rooms with an outdoor pavilion that can accommodate 100 guests. The heights of the hotel will be approximately 27 feet tall.
- There will be approximately six (6) full-time employees.
- The location was selected due to its proximity to the Sheboygan River, the views of Kiwanis Park, and the close proximity to downtown Sheboygan.

The applicant states the following about the proposed architecture

- We are taking cues from the existing fabric to form the scale and form of the hotel. We chose sympathetic materials to relate the hotel design to the adjacent condos as well as the existing buildings in the neighborhood. We are also pulling from the history of the site, which was storage for a lumber mill across the street by using wood throughout the design and the nautical history of Sheboygan, borrowing forms and structural queues from traditional wood boat construction.
- Building on the Water's Edge Condominium development, we are proposing a two-story building with a slightly sloped roof that extends beyond the exterior walls. The building will sit parallel to the river to the west, and the roof of the outdoor space will slope up toward the river, maximizing views to make the most of this unique site.
- The building is clad mostly in horizontal lap siding, has a grey-brown brick base and matte black metal panel accents. The soffits will be unstained, sealed wood, expressing the buildings structure and adding warmth to the exterior. The main entrance of the building is slightly taller than the rest of the building. The entrance will be clad in a dark standing seam metal panel and have its own cantilevered roof. The design of the hotel draws its inspiration form the collection and treatment of rainwater, wooden boats and natural elements as well as the former lumberyard use of the site.

Specific site improvements include

- The proposed hotel will be a two-story, 11,600sf hotel consisting of a 20 guest rooms.
- There will be an outdoor pavilion with a concrete circular focal point at the north end facing the river.
- A new circular access drive will be constructed off of N. 1st Street that will lead to the hotel and the parking lot along 1st Street.
- 27 parking spaces are provided along N. 1st Street.
- There will be a cross access easement recorded between the hotel property and the condominium property allowing each property to share access to 1st Street and Wisconsin Avenue to the south.
- A dumpster enclosure will be constructed at the southeast corner of the hotel in the parking lot.
- New landscaping, signage, lighting, paving, sidewalks, storm water facilities and associated utilities.

STAFF COMMENTS:

As a part of this development, several easements will be required to serve the two (2) properties (River's Edge Condo and the Watershed Hotel) including but limited to shared access parking, drainage, and utility easements, etc. Both properties will share stormwater facilities and access will be shared permitting both properties to access 1st Street and/or Wisconsin Avenue.

Applicant shows a proposed drop off lane on N. 1st Street to potentially allow access to the kitchen at the northeast corner of the building. The applicant states that this on-street drop off lane is to allow catering companies and other vendors to have temporary loading/unloading access to the kitchen, keeping the drop off clear for hotel guests and preventing backups on 1st Street. The applicant will be required to work with the engineering department to obtain all required approvals regarding such a proposed drop off lane which may include design specifications, encroachments, etc.

No formal sign package has been presented. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.

Applicant is constructing along the Sheboygan River and is responsible for meeting all City of Sheboygan Floodplain requirements.

Developing an old, vacant riverfront industrial site (Richardson storage yard) into 2nd room boutique hotel appears to be a good use of this property.

The applicant is requesting the following exceptions

- To have a 6 foot side yard setback to the south property line adjacent to the River's Edge Condos – Minimum side yard setback to a residential property is 2 feet.

The requested exception is to allow the new hotel construction to be built within 2 feet of the south lot line. This will allow the proposed building to accommodate the bend in the and positioned optimally on the site for adequate soil bearing capacity.

- To have a 14.2 (southwest corner of hotel) and 1 (northwest corner of pavilion) rear yard setback (towards the Sheboygan River) – Minimum rear yard setback is 2 feet.

The requested exception is to allow the hotel, new pavilion and concrete walkways to be construction within 2 feet of the Sheboygan River. This will allow the proposed building to accommodate the bend in the river on the site and positioned optimally on the site for adequate soil bearing capacity. We are also requesting this exception for the pavilion because the outdoor space is a great opportunity to enhance the riverfront.

- Requesting a paving variance to be zero (0) feet to the south property line (shared lot line with the condos) – minimum paving setback is five (5) feet.

This is located at the common property line of the hotel and condos and permits each to share this interior access drive.

- To have 27 parking spaces - Minimum of parking spaces required is 1 (1 space for each bedroom, plus one space per employee - 2 6 1 spaces).
- Requesting a variance from the locational and bufferyard landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

The requested variance is to allow for flexibility in meeting the (4) required landscape criteria planting locations and bufferyard requirements.

The Plan Commission may want to have the applicant address the following

- What is the plan to address parking when there are large events to be held at the hotel
- Will there be a bar in the hotel (liquor license) Kitchen
- Does the applicant have all of the shared access and stormwater agreements easements between the Watershed Hotel and the Rivers Edge Condos
- What are the applicant's intentions for the greenspaces between the hotel and condos parking lot and shared drives as well as along the parking lot along N. 1 th Street There appears to be minimal landscaping in these areas. Applicant will be required
- What is the applicant proposing for the Water Edge Condos dumpster enclosure (where is it to be located and what will it look like)

ACTION REQUESTED:

Staff recommends approval of the conditional use and exceptions subject to the following conditions

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, Sheboygan Floodplain Zoning Ordinance, DNR, Army Corp, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant is responsible to ensure that the proposed buildings are meeting all Federal, State and Local codes pertaining to the Sheboygan River Floodplain.
 - Applicant shall obtain the necessary liquor license in order to serve alcohol. Applicant may serve alcohol if and only if all required liquor licenses are obtained.
4. Submittal approval of a proposed storm drainage plan prior to building permit issuance. If properties are sharing stormwater facilities (Watershed Hotel and River Edge Condominiums), the proper agreements easements shall be officially documented and recorded prior to building permit issuance.
 - Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall meet the minimum number of landscaping points for these criteria and the bufferyard. Landscaping shall be installed prior to issuance of an occupancy permit.

6. In addition to the landscape plan, applicant will work with staff with regards to installation of street trees along the property's street frontages (number, type, location, etc.). The street trees will be provided on the landscape plan and are in addition to the required development landscape plan points (not counted as landscape plan points). If any street trees are removed for the project, the applicant will be required to reinstall those street trees.
7. If using dumpsters, dumpster(s) shall be screened~~and~~ enclosed and constructed of like materials and colors of the facility. Dumpster enclosure shall be completed prior to issuance of an occupancy permit. Applicant will also be responsible for installing a dumpster enclosure on the Water's Edge Condos property and will work with staff regarding, location, design, etc.
 - Outdoor storage of materials, products or equipment shall be prohibited.
 - All ground level and rooftop mechanicals shall be screened and~~or~~ enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
10. Any unused mechanical boxes, equipment, etc. shall be removed from the site.
11. All new lighting shall be installed per Section 1~~7~~07 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
12. Any fencing~~retaining wall~~ shall be installed per Section 1~~7~~20()c) of the City of Sheboygan Zoning Ordinance. Applicant shall work with staff with regards to constructing appropriate and well-designed fence~~retaining wall~~ and shall obtain the necessary permits prior to installation. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
- 1~~3~~ Applicant shall work with staff with regards to appropriate signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
14. Applicant shall to install individual letter signs – no cabinet or flat panel signs.
- 1~~4~~ Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is eight () feet. Sign shall be located outside of the 1~~4~~-foot vision triangle.
16. All areas used for parking~~maneuvering~~ of vehicles shall be paved.
17. All areas that are not required to be paved shall be landscaped with grass and~~or~~ approved landscaping.
 - 1~~5~~ Any new ingress~~egress~~ driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
 - 1~~6~~ Applicant shall reinstall sidewalk along N. 1~~4~~th Street, Niagara Avenue and portions of Wisconsin Avenue, to standard City specifications.
20. If proposing a drop off lane on N. 1~~4~~th Street, the applicant shall be required to obtain the necessary approvals to utilize and improve N. 1~~4~~th Street public right-of-way (including, but not limited to drop off lane, parking, driveway openings, curb, gutter, sidewalk, pavement, utilities, landscaping, etc.). Applicant shall work with City engineering staff to determine the specifications that the proposed improvements shall meet and whether or not an encroachment is required. Applicant may construct N. 1~~4~~th Street drop off lane improvements only at such time as the engineering department approves the required plans.
21. The parking lot and drives shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian~~vehicular~~ conflicts.
22. Absolutely no portion of the new building and~~or~~ site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing~~retaining walls~~, signs, landscaping, etc.).

- 20. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, drop off lane, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
- 24. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
- 20. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
- 26. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
- 27. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
- 20. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
- 20. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
- 00. If the applicant does not proceed with this project by September 1, 2022, the applicant shall restore to its original condition all private and public lands/property, temporary roads, temporary access drives, etc. Applicant shall also be required to remove any permanent off-premise signage and/or temporary advertising from these parcels within this same 00-day period. Applicant shall complete this restoration by October 14, 2022.
- 01. Building permits will only be issued at such time as the applicant can provide documentation from Sheboygan County that the CSM has been officially recorded and the applicant can demonstrate that they are the owner of newly created lot.
- 02. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, shared access, parking, stormwater facilities, utilities, etc. This easement document shall be officially recorded by Sheboygan County.
- 00. Applicant will have an executed developer's agreement prior to building permit issuance.
- 04. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments

PARCEL NO. 479077
MAP NO. _____
ZONING CLASSIFICATION: 3I

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: 8/10/21

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

pd

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Fifth Generation Properties, LLC
ADDRESS: 3411 Behrens Parkway Sheboygan, WI 53081 E-MAIL: rschmitt@fifthgenllc.com
PHONE: (920) 946-7926 FAX NO. (920) 457-9474

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Nemak Warehouse
ADDRESS OF PROPERTY AFFECTED: 4464 Gateway Drive, Sheboygan, WI 53081
LEGAL DESCRIPTION: See Attachment

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____
Warehouse and Storage

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: _____
Warehouse and Storage and Small Production

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: _____
None

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? _____

See Nematik Letter

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? No

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

Manufacturing

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Fifth Generation Properties, LLC

ADDRESS: 3411 Behrens Parkway Sheboygan, WI 53081 **E-MAIL:** rschmitt@fifthgenllc.com

ARCHITECT: Miller Engineering

ADDRESS: 5308 S 12th Street, Sheboygan, WI 53081 **E-MAIL:** bwells@startwithmiller.com

CONTRACTOR: Jos Schmitt Construction

ADDRESS: 2104 Union Ave. Sheboygan, WI 53081 **E-MAIL:** aschroder@jschmitt.cc

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



Steve Schmitt

7/22/21

DATE

PRINT ABOVE NAME

SITE NARRATIVE – CONDITIONAL USE APPLICATION

8-4-21

PROJECT NAME AND ADDRESS:

Nemak Warehouse Improvement
4464 Gateway Drive
Sheboygan, WI 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- Tax Parcel 59281479077
- New parking lot west of existing building

ZONING CLASSIFICATION/ZONING REQUIREMENTS/COVENANT REQUIREMENTS:

(SI-Suburban Industrial)

25-foot front yard building and paving setback
25-foot street side yard building and paving setback
25-foot rear yard building and paving setback
50-foot interior side yard building setback
50-foot interior side yard paving setback
Outdoor semi-trailer storage (screened)

- No variance needed.

EXISTING SITE DONCITIONS/LAND USE:

The existing site is owned by Fifth Generation Properties and leased to Nemak. Nemak currently uses the site as a warehouse facility.

PROPOSED LAND USE/LOT COVERAGE SITE DATA

The site will continue to be used as a warehouse facility, but will now additionally have landscape-screened outdoor storage, as well as a manufacturing/production area.

The new outdoor storage will be a 47-stall semi-trailer parking lot west of the existing building. The parking lot entrance will be from Weeden Creek Road and the exit to the existing north docking area. This parking lot will be screened from Weeden Creek Road by two 5' landscape berms on each side of the parking lot entrance. There will also be (15) 6' tall arborvitae trees along the southwest side of the parking lot for screening purposes. The drive aisle connecting the proposed parking lot and the existing north dock will require updating parcel boundaries and a relocation of the existing drainage easement (see attached drainage easement figure).

This new parking lot is needed for the added production. Nemak has recently been awarded a contract with Tesla. Nemak has chosen their underutilized warehouse facility to meet this new production need.

The only changes to the exterior of the building will be a new overhead door on the south end of the east face between an existing overhead door and the existing loading dock area.

The entire site will be graded such that the stormwater runoff will continue to be directed towards the relocated drainage easement that ultimately discharges to a City regional stormwater management pond.

A new sanitary lateral will be installed along the south end of the building connecting to an existing sanitary stub at Gateway Drive.

Proposed Parcel area	644,948 sf (14.8 acres)
Existing pavement (parking/drives) area	115,753 sf (18% of total lot)
Proposed pavement (parking/drives) area	94,485 sf (15% of total lot)
Existing concrete walk area	247 sf (<1% of total lot)
Proposed green space area	173,524 sf (27% of total lot)
Existing building area	260,939 sf (40% of total lot)

SITE SELECTION

Nemak’s current production facilities do not have room for the new production equipment for their new client. Nemak has chosen their existing warehouse for this production due to its current underutilization. The warehouse site has enough room for the new production line and space for their increased demand for semi-trailer storage area.

LANDSCAPE REQUIREMENTS

The landscape plan will comply with the requirement of Section 15.6 and the subsequent point values defined for all four landscape point criteria (Building Foundation, Developed Lot, Lot Frontage and Pavement).

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

All performance standards will comply with City of Sheboygan Zoning Ordinance, Section 15-7 to minimize the potential for this development to become a nuisance to neighboring owners.

SITE LIGHTING:

Site lighting will be limited to wall mounted fixtures along the west side of the exiting building.

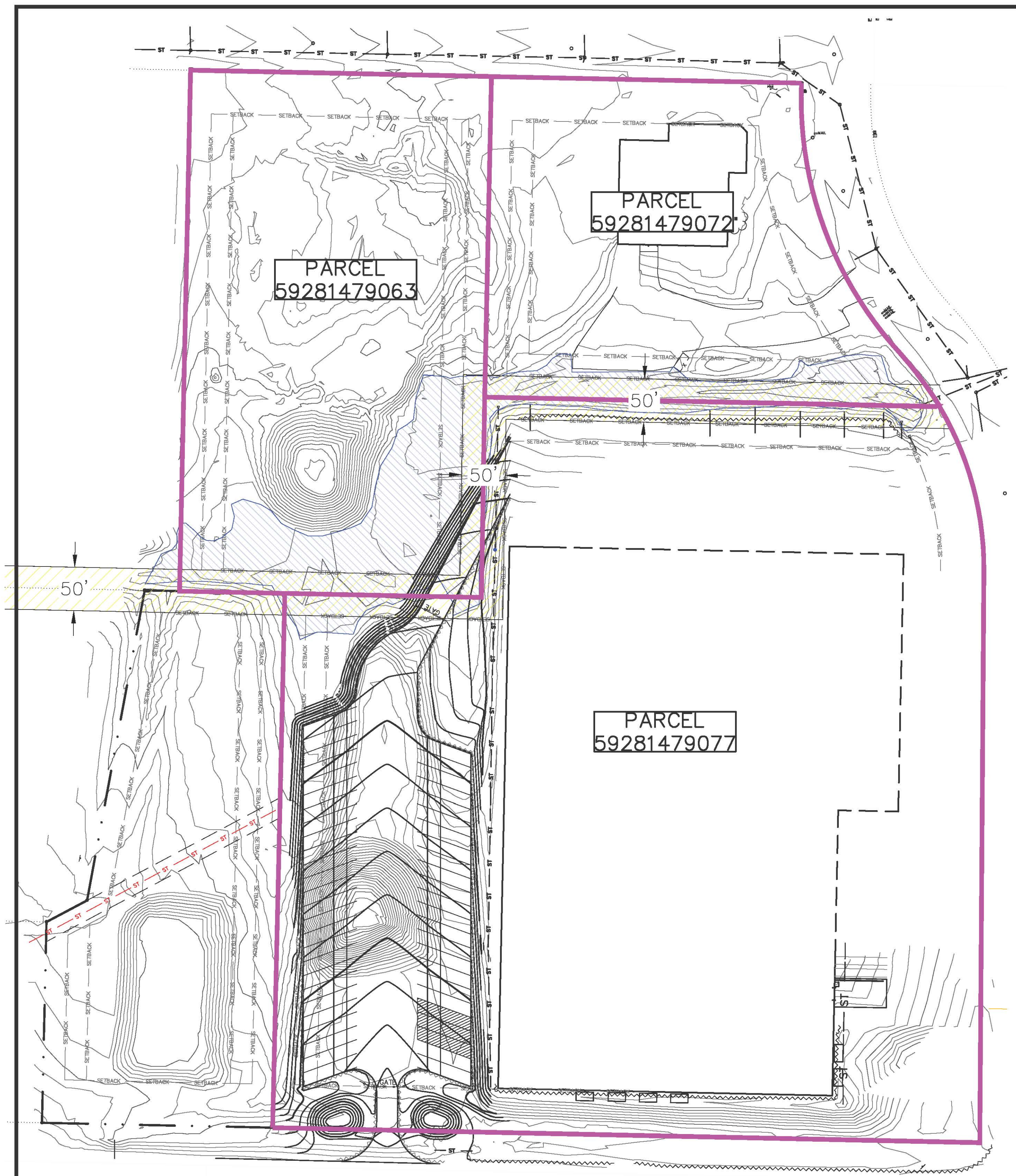
No pole lighting will be provided.

ARCHITECTURE:

The renovation to the existing building is predominately interior. The interior work will include a new quality control room, restrooms, and an office expansion. New HAVC units are proposed along the south and southeast corner of the building. The ground elevation at these areas is lower than Weeden Creek Road and visibility from the road should be minimal.

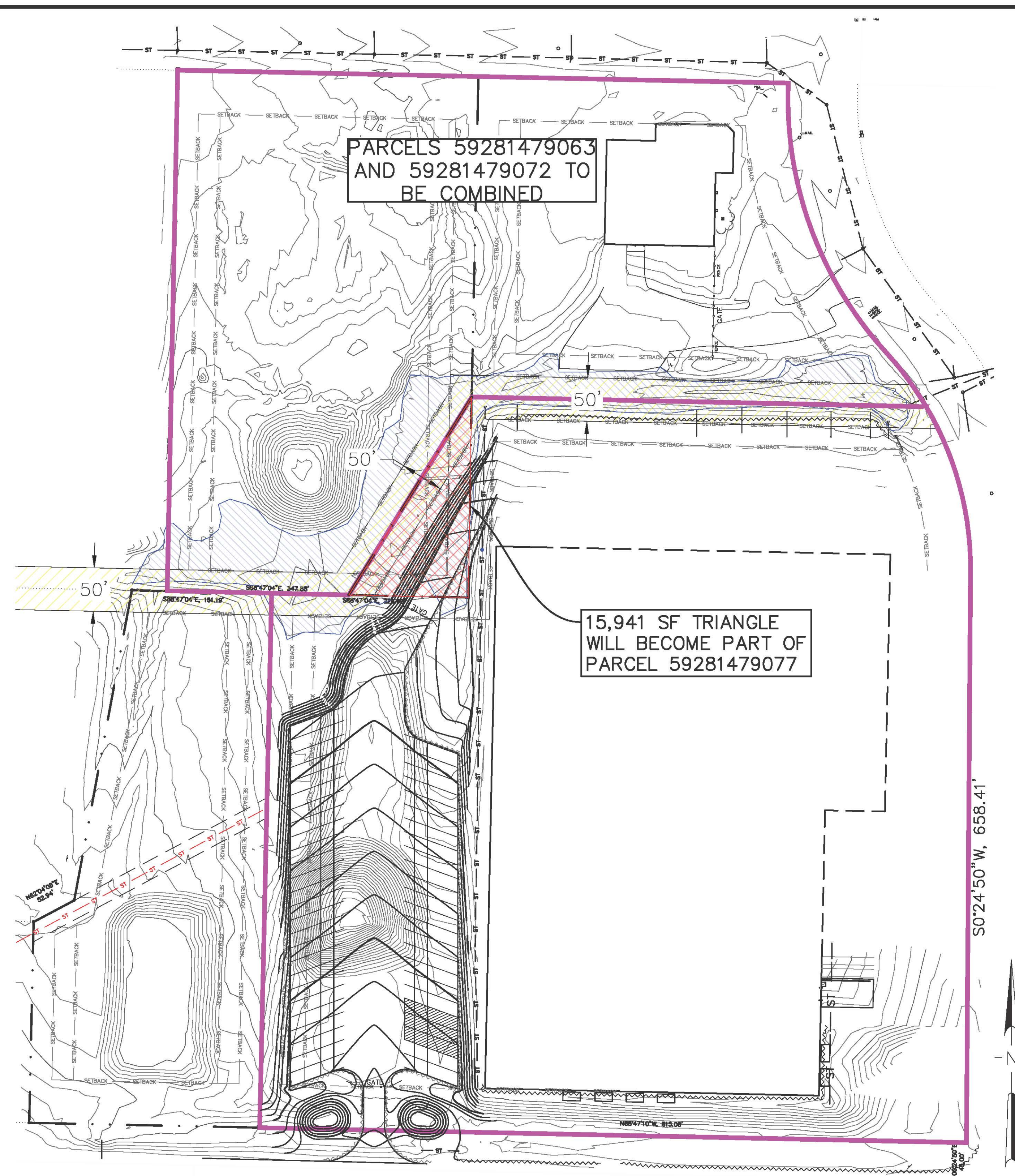
VARIANCE REQUEST/VARIANCE DESCRIPTION:

No variances are being requested.



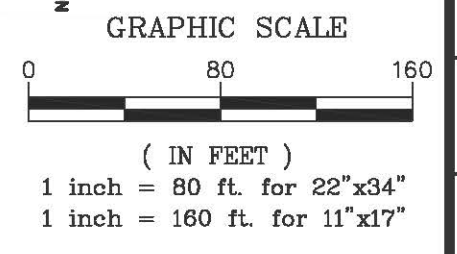
EXISTING DRAINAGE EASEMENT

N.T.S.



PROPOSED DRAINAGE EASEMENT

N.T.S.



MILLER
 5308 S. 12th Street
 Sheboygan, WI 53081-8099
 ENGINEERS Phone 920-458-6164
 SCIENTISTS Fax 920-456-0369
 www.startwithmiller.com

NO.	DATE	DESCRIPTION	BY

NEMAK WAREHOUSE IMPROVEMENTS
 FIFTH GENERATION PROPERTIES
 4464 GATEWAY DRIVE
 SHEBOYGAN, WI 53081

SCALE
 HOR. 1"=80'
 VER. N/A

DATE
 7-22-21

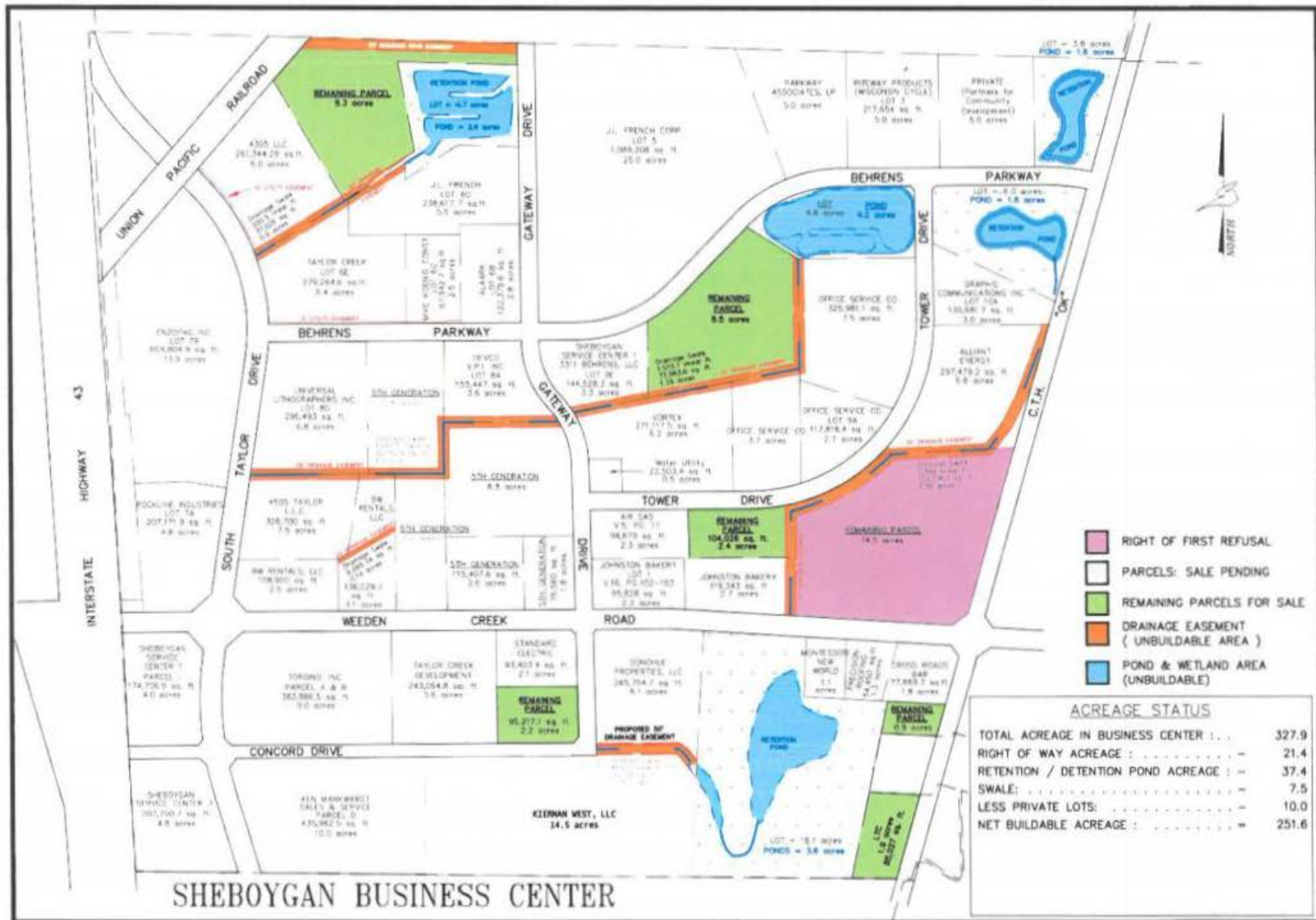
JOB
 20419-D

BY
 BRW

CK
 RGM

SHEET
 2 OF 5

PRELIMINARY
 DRAINAGE EASEMENT EXHIBIT



City of Sheboygan
 split on the later
 SHEBOYGAN BUSINESS CENTER
 LOT DIVISIONS AND REMAINING ACREAGE
 SHEBOYGAN, WISCONSIN

Graphic Scale 1" = 200'
 BUSINESS CENTER LOT DIVISIONS

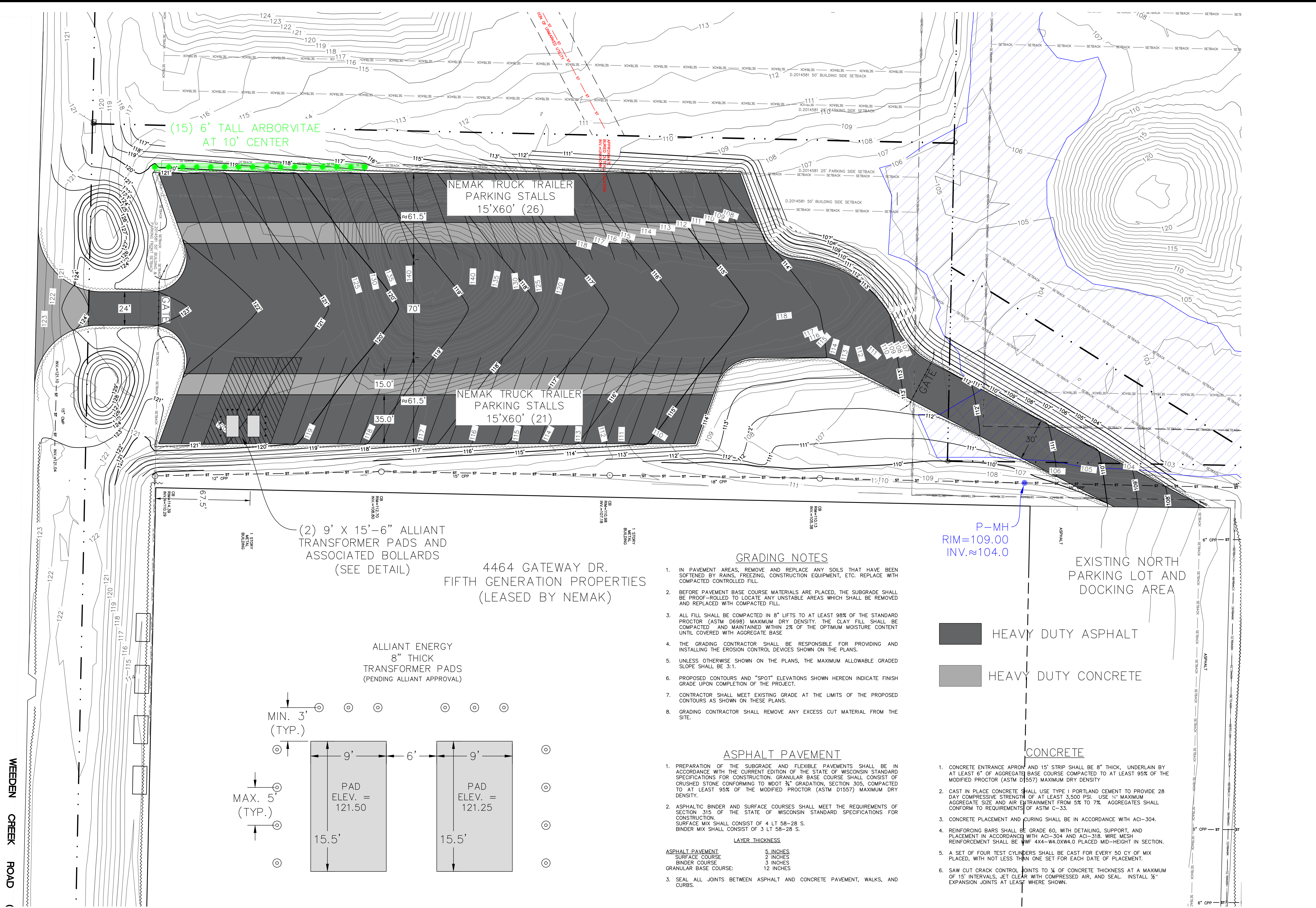
Sheet No. 1 of 1
 Date Revised 02/21/18

NO.	DATE	DESCRIPTION	BY

NEMAK WAREHOUSE IMPROVEMENTS
 FIFTH GENERATION PROPERTIES
 4464 GATEWAY DRIVE
 SHEBOYGAN, WI 53081

SCALE	HOR. 1"=30'
VER.	N/A
DATE	7-22-21
JOB	20419-D
BY	BRW
CK	RGM

PRELIMINARY
 GRADING AND PAVING PLAN



(15) 6' TALL ARBORVITAE
 AT 10' CENTER

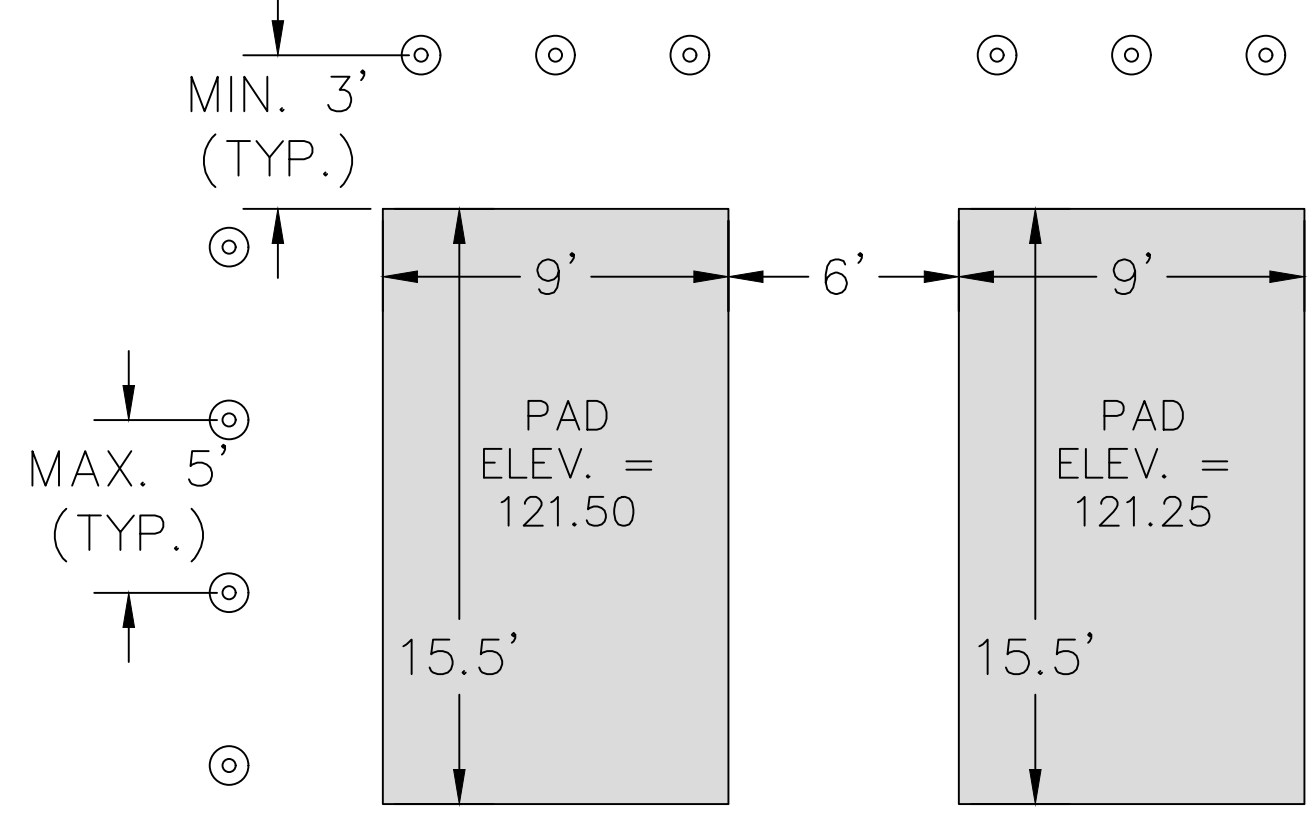
NEMAK TRUCK TRAILER
 PARKING STALLS
 15'X60' (26)

NEMAK TRUCK TRAILER
 PARKING STALLS
 15'X60' (21)

(2) 9' X 15'-6" ALLIANT
 TRANSFORMER PADS AND
 ASSOCIATED BOLLARDS
 (SEE DETAIL)

4464 GATEWAY DR.
 FIFTH GENERATION PROPERTIES
 (LEASED BY NEMAK)

ALLIANT ENERGY
 8" THICK
 TRANSFORMER PADS
 (PENDING ALLIANT APPROVAL)



GRADING NOTES

- IN PAVEMENT AREAS, REMOVE AND REPLACE ANY SOILS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC. REPLACE WITH COMPACTED CONTROLLED FILL.
- BEFORE PAVEMENT BASE COURSE MATERIALS ARE PLACED, THE SUBGRADE SHALL BE PROOF-ROLLED TO LOCATE ANY UNSTABLE AREAS WHICH SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL.
- ALL FILL SHALL BE COMPACTED IN 8" LIFTS TO AT LEAST 98% OF THE STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY. THE CLAY FILL SHALL BE COMPACTED AND MAINTAINED WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT UNTIL COVERED WITH AGGREGATE BASE.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE EROSION CONTROL DEVICES SHOWN ON THE PLANS.
- UNLESS OTHERWISE SHOWN ON THE PLANS, THE MAXIMUM ALLOWABLE GRADED SLOPE SHALL BE 3:1.
- PROPOSED CONTOURS AND "SPOT" ELEVATIONS SHOWN HEREON INDICATE FINISH GRADE UPON COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL MEET EXISTING GRADE AT THE LIMITS OF THE PROPOSED CONTOURS AS SHOWN ON THESE PLANS.
- GRADING CONTRACTOR SHALL REMOVE ANY EXCESS CUT MATERIAL FROM THE SITE.

ASPHALT PAVEMENT

- PREPARATION OF THE SUBGRADE AND FLEXIBLE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION. GRANULAR BASE COURSE SHALL CONSIST OF CRUSHED STONE CONFORMING TO WDOT 34" GRADATION, SECTION 305, COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY.
- ASPHALTIC BINDER AND SURFACE COURSES SHALL MEET THE REQUIREMENTS OF SECTION 315 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION. SURFACE MIX SHALL CONSIST OF 4 LT 58-28 S. BINDER MIX SHALL CONSIST OF 3 LT 58-28 S.

LAYER THICKNESS

ASPHALT PAVEMENT	5 INCHES
SURFACE COURSE	2 INCHES
BINDER COURSE	3 INCHES
GRANULAR BASE COURSE:	12 INCHES

- SEAL ALL JOINTS BETWEEN ASPHALT AND CONCRETE PAVEMENT, WALKS, AND CURBS.

P-MH
 RIM=109.00
 INV.≈104.0

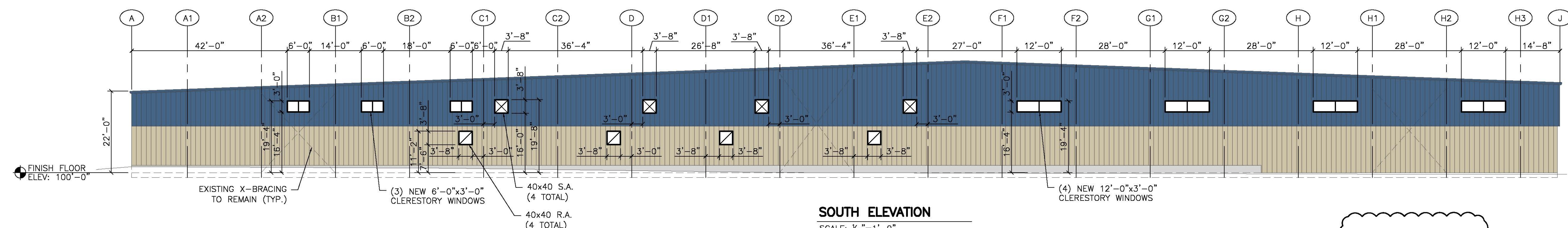
EXISTING NORTH
 PARKING LOT AND
 DOCKING AREA

HEAVY DUTY ASPHALT
 HEAVY DUTY CONCRETE

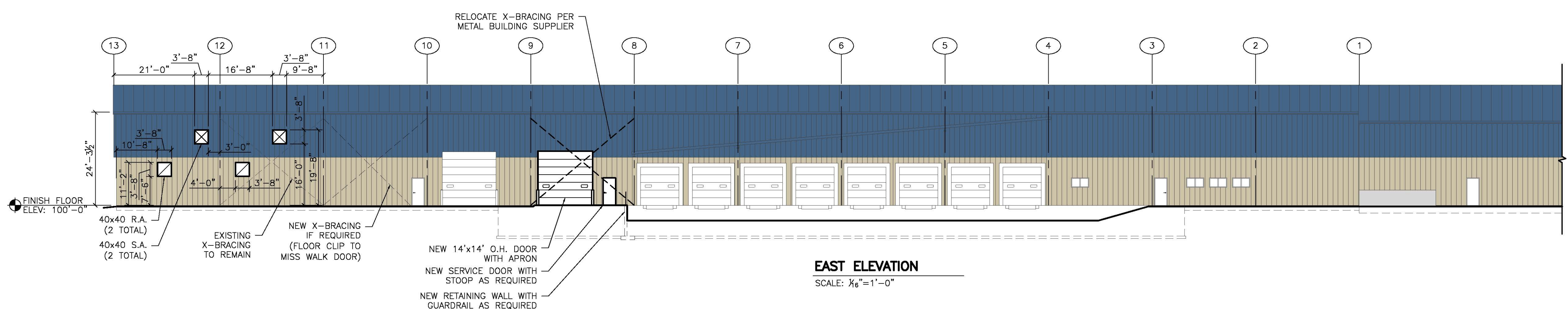
CONCRETE

- CONCRETE ENTRANCE APRON AND 15' STRIP SHALL BE 8" THICK, UNDERLAIN BY AT LEAST 6" OF AGGREGATE BASE COURSE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY.
- CAST IN PLACE CONCRETE SHALL USE TYPE I PORTLAND CEMENT TO PROVIDE 28 DAY COMPRESSIVE STRENGTH OF AT LEAST 3,500 PSI. USE 1/2" MAXIMUM AGGREGATE SIZE AND AIR ENTRAINMENT FROM 5% TO 7%. AGGREGATES SHALL CONFORM TO REQUIREMENTS OF ASTM C-33.
- CONCRETE PLACEMENT AND CURING SHALL BE IN ACCORDANCE WITH ACI-304.
- REINFORCING BARS SHALL BE GRADE 60, WITH DETAILING, SUPPORT, AND PLACEMENT IN ACCORDANCE WITH ACI-304 AND ACI-318. WIRE MESH REINFORCEMENT SHALL BE WVF 4X4-W4.0XW4.0 PLACED MID-HEIGHT IN SECTION.
- A SET OF FOUR TEST CYLINDERS SHALL BE CAST FOR EVERY 50 CY OF MIX PLACED, WITH NOT LESS THAN ONE SET FOR EACH DATE OF PLACEMENT.
- SAW CUT CRACK CONTROL JOINTS TO 1/4 OF CONCRETE THICKNESS AT A MAXIMUM OF 15' INTERVALS, JET CLEAR WITH COMPRESSED AIR, AND SEAL. INSTALL 1/2" EXPANSION JOINTS AT LEAST WHERE SHOWN.

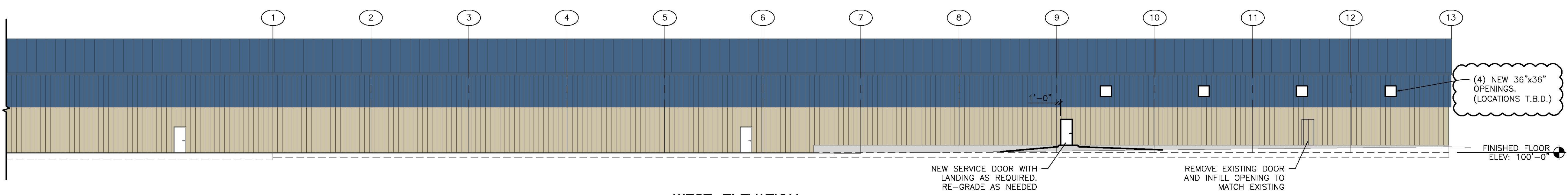
WEEDEN CREEK ROAD



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

ESTABLISHED 1899
Jos. Schmitt
CONSTRUCTION
2104 Union Avenue P.O. Box 1064
Sheboygan, WI 53082-1064
Phone: (920) 457-4426 Fax: (920) 457-9474

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INTEGRITY
ENGINEERING & DESIGN, LLC
2637 Tulip Lane Green Bay, WI 54313
Phone: (920) 469-9288 Fax: (920) 469-6809
E-mail: Info@IntegrityEngineering.biz

PROPOSED BUILDING RENOVATION FOR:
NEMAK WAREHOUSE
4464 GATEWAY DR.
SHEBOYGAN, WI

ISSUED FOR CONSTRUCTION

ISSUE NO.	ISSUE DATE	REVISIONS
1	7-22-2021	CITY REVIEW

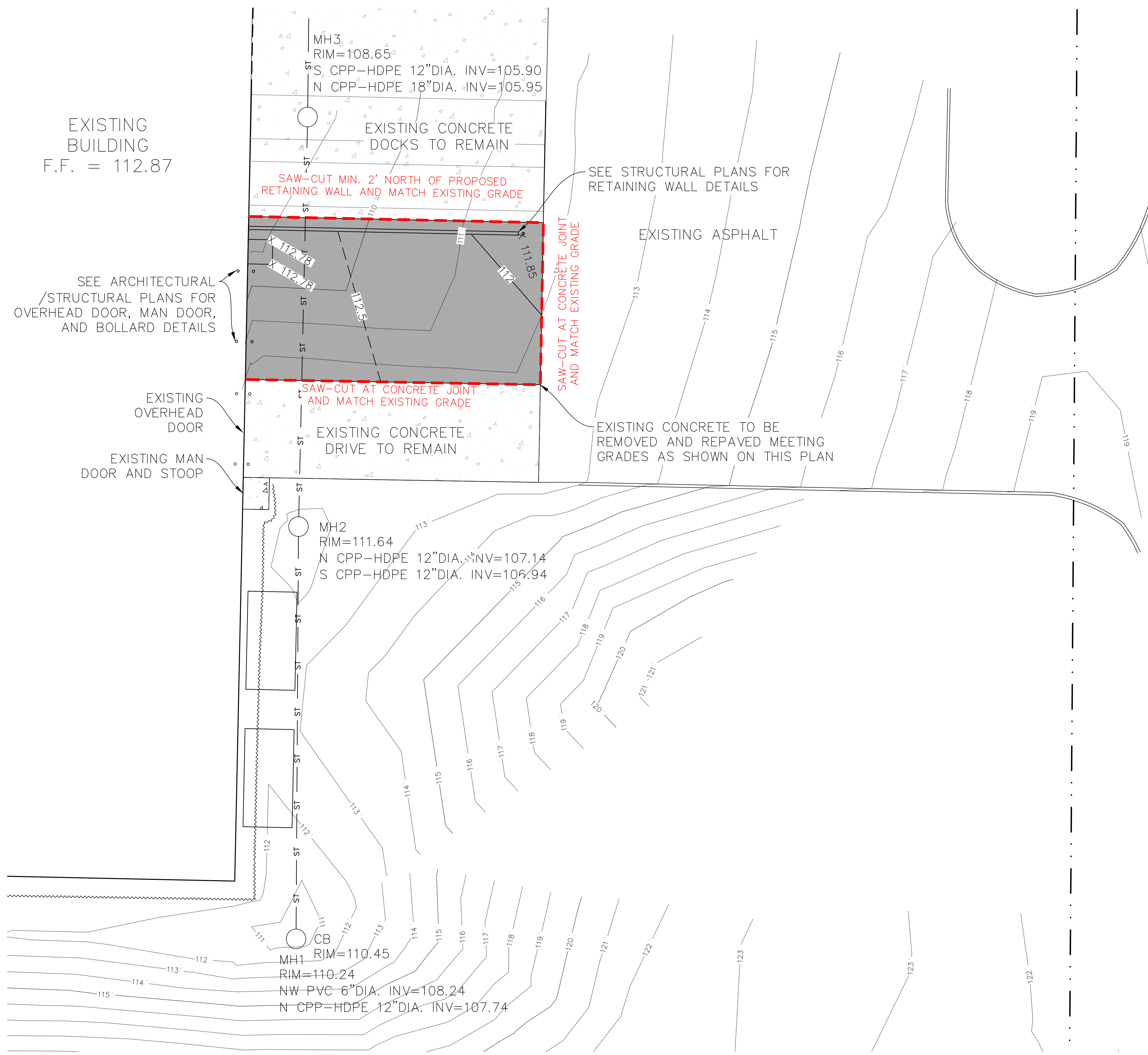
JOB NUMBER
21149

DRAWN BY
C. DUESCHER

DATE:
JULY 22, 2021

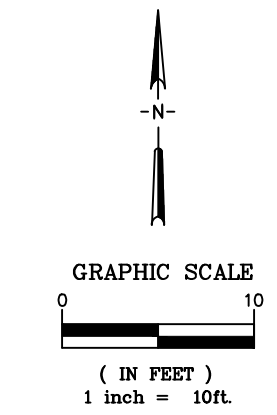
SHEET
A2.0

EXISTING BUILDING
F.F. = 112.87



CONCRETE

1. CONCRETE OVERHEAD DOOR ENTRANCE SHALL BE 8" THICK, UNDERLAIN BY AT LEAST 6" OF AGGREGATE BASE COURSE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY.
2. CAST IN PLACE CONCRETE SHALL USE TYPE I PORTLAND CEMENT TO PROVIDE 28 DAY COMPRESSIVE STRENGTH OF AT LEAST 3,500 PSI. USE 1/2" MAXIMUM AGGREGATE SIZE AND AIR ENTRAINMENT FROM 5% TO 7%. AGGREGATES SHALL CONFORM TO REQUIREMENTS OF ASTM C-33.
3. CONCRETE PLACEMENT AND CURING SHALL BE IN ACCORDANCE WITH ACI-304.
4. REINFORCING BARS SHALL BE GRADE 60, WITH DETAILING, SUPPORT, AND PLACEMENT IN ACCORDANCE WITH ACI-304 AND ACI-318. WIRE MESH REINFORCEMENT SHALL BE WWF 4X4-W4.0XW4.0 PLACED MID-HEIGHT IN SECTION.
5. A SET OF FOUR TEST CYLINDERS SHALL BE CAST FOR EVERY 50 CY OF MIX PLACED, WITH NOT LESS THAN ONE SET FOR EACH DATE OF PLACEMENT.
6. SAW CUT CRACK CONTROL JOINTS TO 1/4 OF CONCRETE THICKNESS AT A MAXIMUM OF 15' INTERVALS, JET CLEAR WITH COMPRESSED AIR, AND SEAL. INSTALL 1/2" EXPANSION JOINTS AT LEAST WHERE SHOWN.



PRELIMINARY
GRADING AND PAVING PLAN

5308 S. 12th Street
Sheboygan, WI 53081-8099
Phone 920-458-6164
Fax 920-458-0369
www.storwithmillers.com

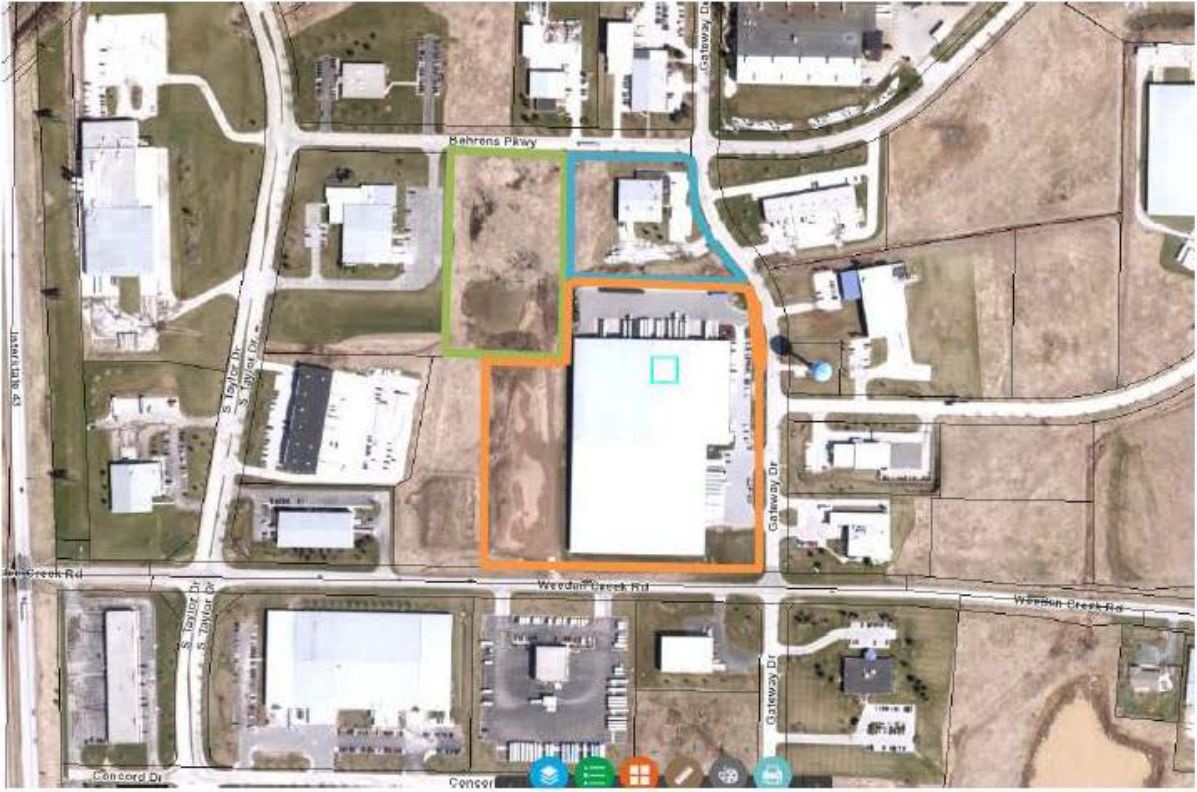
MILLER
ENGINEERS
SCIENTISTS

NO.	DATE	DESCRIPTION	BY

NEMAK WAREHOUSE IMPROVEMENTS
FIFTH GENERATION PROPERTIES
4464 GATEWAY DRIVE
SHEBOYGAN, WI 53081

SCALE	HOR. 1"=30'
VER.	N/A
DATE	7-22-21
JOB	20419-D
BY	BRW
CK	RGM

SHEET
5
OF
5

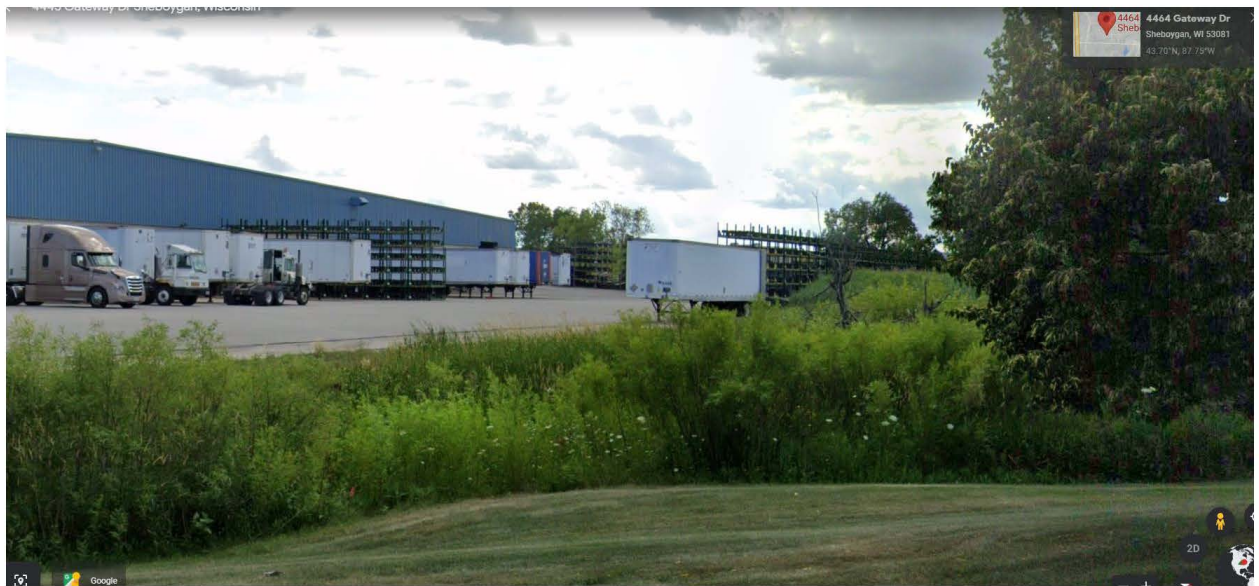












CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Fifth Generation Properties, LLC to construct new building improvements at 4464 Gateway Drive and parking on parcel 0002014706 located along Behrens Parkway in the Sheboygan Business Park. SI Zone, Sheboygan Business Park

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 6, 2021

MEETING DATE: August 10, 2021

FISCAL SUMMARY:

Budget Line Item	N/A
Budget Summary	N/A
Budgeted Expenditure	N/A
Budgeted Revenue	N/A

STATUTORY REFERENCE:

Wisconsin Statutes	N/A
Municipal Code	N/A

BACKGROUND / ANALYSIS:

0th Generation Properties is proposing to construct new building improvements at 4464 Gateway Drive and parking on parcel 0002014706 located along Behrens Parkway in the Sheboygan Business Park. The applicant states the following about the project

- The existing site facility is owned by Fifth Generation Properties and is leased to Nemark. Nemark currently uses the site as a warehouse facility.
- Nemark has recently been awarded a contract with Tesla. Nemark’s current production facilities do not have room for the new client’s production equipment. Nemark has chosen this existing underutilized warehouse facility to meet this new production need. The warehouse site has enough room for the new production line and space for their increased demand for semi-trailer storage area.
- The site will continue to be used as a warehouse facility, but will now additionally have a new parking lot for the added production, landscape-screened outdoor storage, as well as a manufacturing production area.
- The only change to the exterior of the building is a new overhead door on the south end of the east face between an existing overhead door and the existing loading dock area.
- The new outdoor storage will be a 47-stall semi-trailer parking lot west of the existing building. The parking lot entrance will be from Weeden Creek Road and will connect to the existing warehouse north docking area.

- This parking lot will be screened from Weeden Creek Road by two, 10-foot-tall landscape berms on each side of the parking lot entrance. There will also be 10, six (6) foot tall arborvitae trees along the southwest side of the parking lot for screening purposes.
- The drive aisle connecting the proposed parking lot and the existing north dock will require updating parcel boundaries and a relocation of the existing drainage easement.
- The entire site will be graded such that the stormwater runoff will be directed towards the relocated drainage easement that ultimately discharges to a city regional stormwater management pond.
- A new sanitary lateral will be installed along the south end of the building connecting to an existing sanitary stub at Gateway Drive.
- Site lighting will be limited to wall mounted fixtures along the west side of the existing building. No pole lighting will be provided.
- The renovation to the existing building is predominately interior. The interior work will include a new quality control room, restrooms, and an office expansion. New HVAC units are proposed along the south and southeast corner of the building. The ground elevation at these areas are lower than Weeden Creek Road and visibility from the road should be minimal.

Nemak states the following about their business and what this new Tesla contract means:

- Nemak is a leading provider of innovative light weighting solutions for the global automotive industry, specializing in the development and manufacturing of aluminum components for powertrain and body structure applications. Talent development, continuous investment in research, technological innovation, and sustaining growth are the stepping stones behind Nemak's global leadership in its segment. Part of Nemak's mission is to seek fundamental development for personnel and supplies, while recognizing its corporate manufacturing responsibilities to the environment. Nemak USA has six plants in the United States located in Wisconsin (2), Alabama (2), Kentucky and Tennessee.
- Nemak — Wisconsin is planning to expand our production operations into our current warehouse located at 4464 Gateway Drive in Sheboygan which is owned by Schmitt 4th Generation. The main project will be the first "Electric Vehicle" product in the Wisconsin Gateway facility, and it requires a new investment of over \$100M for the site (CNC, casting upgrades, building upgrades, quality equipment, etc.). Timing is much accelerated compared to our normal projects, with first production parts being shipped by Q4 2021, and full production capacity planned for Q1 2022. The project is scheduled to last at a minimum through 2027.

- The production equipment is brand new and state-of-the-art, and is designed with the expectation that it will be reutilized once the project ends or is extended. Having the new equipment on-site should lead to additional Sheboygan project wins in the future once this project has ended. To support the new product, we will be adding 4 full-time hourly employees with an average compensation of \$7,102/year including benefits (medical, dental, vision and life insurance, and 401 (k), as well as tuition reimbursement program) and 10 salary employees with an average compensation of \$14,404 to the facility. The new production lines will be running 3 shifts/day, 5 days/week. We will also be contracting many local companies for equipment, parts and services for this new program.

Improvements include

- Interior buildout of existing warehouse to handle new production line.
- The only changes to the exterior of the building will be a new 14-foot x 14-foot overhead door on the south end of the east face between and existing overhead door and the existing loading dock area.
- A new 47 stall semi-trailer parking lot is proposed west of the existing building.
- Applicant is proposing a new driveway that connects the new parking lot to the north side loading dock of the existing warehouse facility. This driveway will run through the City's 10-foot stormwater easement so the applicant will need to get an approved easement agreement with the City prior to construction of this driveway.
- New driveway permitting access to the new parking lot from Weeden Creek Road.
- The gates will be single slide gates 20 feet wide by 6 feet high and include standard hardware and latch for padlock. The associated fencing will be 6 feet high galvanized steel chain link fence without barbed wire.
- Applicant states outdoor storage but does not explain what this means – Plan Commission should definitely have the applicant explain this proposed outdoor storage.
- The development will include the installation of new stormwater facilities that will tie into the existing City storm water facilities.
- Landscaping, lighting and storm water will be provided in accordance with the City ordinance.
- This parking lot will be screened from Weeden Creek Road by two, 10-foot-tall landscape berms on each side of the parking lot entrance.
- There will also be 10, six (6) foot tall arborvitae trees along the southwest side of the parking lot for screening purposes.
- The drive aisle connecting the proposed parking lot and the existing north dock will require updating parcel boundaries and a relocation of the existing drainage easement.

STAFF COMMENTS:

The applicant is proposing to construct a driveway that will connect the existing warehouse to their new parking lot. The proposed driveway crosses a 10-foot stormwater easement that accepts water from many of the properties up stream and deposits the stormwater into the City Business Park retention ponds located at the southwest intersection of Behrens Parkway and

Tower Drive. A couple of comments concerning this proposed driveway and required easements□

- The applicant is proposing to reconfigure three (□) parcels they own at 4464 Gateway Drive (subject property), □411 Behrens Parkway (property to the north) and vacant undeveloped parcel □ □2□147□06□ (vacant parcel to the north of new parking lot fronting on Behrens parkway). The applicant indicates in their plans that these three (□) parcels will be reconfigured into two (2) parcels – vacant parcel will go away and be combined into 4464 Gateway Drive and □411 Behrens Parkway.
- Reconfiguring these parcels as proposed will permit the proposed driveway to be completely constructed□located on the warehouse property at 4464 Gateway Drive.
- The applicant shall work with the City and the engineering department on the required easement and the specifications that the driveway will be required to meet in order to ensure that the stormwater easement continues to appropriately function.
- City staff has no issues with this driveway connection as long as the parcels are reconfigured as proposed, the required easement document is completed and as long as the driveway is constructed properly and does not impact this storm water facility. The applicant will work with the City and the □engineering Department on the proposed easement and construction drawings□specifications prior to any construction taking place.
- The stormwater easement document between the applicant and the City shall reserve all of the rights required for the adequate operation of this stormwater easement facility and shall place obligations on □th Generation including but not limited to maintenance, cleaning, etc.
- Such a storm water easement document requires City Council approval.
- Building permits for the parking lot and driveway will not be issued until such times as the lots of have been reconfigured exactly as proposed, the storm water easement has been approved by the Common Council and the storm water easement specifications have been approved by the engineering department.

There are very large topsoil piles on these properties. It is staffs understanding that these topsoil properties will be used to grade the parking lot, used to construct the berms to screen the parking lot from Weeden Creek Road and will be removed from the site.

It is staff understanding that the DNR has been working with the landowner on issues regarding wetlands and the top soil piles. Applicant is responsible for meeting all of the DNR requirements.

The applicant has not provided any sign information. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building and meet the Sheboygan Business Center Protective

Covenants. Staff may bring the proposed signage design back to the Plan Commission if there are any concerns.

Applicant has quite a bit of outdoor storage on the site and I am assuming may have more as a result of the new production line and use of the warehouse facility. This is very tall racking that will likely be moved due to the new driveway that will be constructed. The Plan Commission should definitely have the applicant explain their outdoor storage uses and how they intend on screening this.

The Plan Commission may want to have the applicant address

- What is the exact use of the building
- Timing of construction
- Any future construction
- The applicant generally states that they will now have screened outdoor storage but does not explain what their intent is for the outdoor storage. Applicant should address
 - What does screened outdoor storage mean
 - Where will outdoor storage be located on this site
 - How much outdoor storage are we talking about
 - How tall will the outdoor storage be (see photos of existing outdoor storage which is quite a bit and very tall)
 - How exactly is the outdoor storage area screened – fencing, berming, landscaping, etc.
- What is the applicant proposing to do to screen the trailer parking to Weeden Creek Road – appears there will be some trees on the west side of the parking lot (southwest corner) and some berming at the driveway entrance along Weeden Creek Road. Applicant should explain this proposal.
- What issues are outstanding with the DNR and when and how are those issues being addressed
- What exactly is being done with the large topsoil piles

The applicant is requesting the following variances

- Requesting a zero (0) foot side yard paving setback – The minimum side yard paving setback is five (5) feet.

Will require an access easement between the properties located at 4000 S. Tower Drive to the east and the new warehouse facility permitting the two (2) lots to share access.

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

ACTION REQUESTED:

Staff recommends approval of conditional use and exceptions subject to the following conditions

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, water, sewer, storm drainage, DNR, Army Corp of Engineers, etc.
2. Applicant shall obtain all necessary Federal, State and Local licenses/permits and/or meet all requirements/codes prior to building permit issuance (wetlands, topsoil issues, etc.).
 - Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
4. Submittal and approval of a proposed landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall meet the minimum number of landscaping points for these criteria.
 - Applicant shall provide and maintain landscaping, berming and screening that adequately screens the proposed trailers and dock doors from Weeden Creek Road and the property lines. This landscaping/berming/screening shall be incorporated into the landscape plan and/or stormwater grading plan and shall be installed per approved plans.
6. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
7. Outdoor storage of materials or equipment shall be prohibited.
 - All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
 - All lighting shall be installed per Section 1-707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
10. If signage is to be installed, the applicant shall work with staff with regards to constructing appropriate and well-designed signage and shall obtain the necessary sign permits prior to installation. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
11. Fencing/retaining wall shall be installed per Section 1-720(c) of the City of Sheboygan Zoning Ordinance. Applicant shall work with staff with regards to constructing appropriate and well-designed fence and shall obtain the necessary permits prior to installation. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
12. All areas used for parking/maneuvering of vehicles shall be paved. Applicant shall meet the minimum required paving setback of 10 feet to street and 2 feet to side and rear for all new areas to be paved.
 - All areas that are not required to be paved shall be grass and/or approved landscaping.
14. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
 - Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
16. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
17. Any work within City of Sheboygan Public rights-of-way or storm water easement shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed

ingress/egress driveway openings, curb, gutter, sidewalk, landscape boulevard, pavement, utilities, retaining walls, street trees, storm water, etc.).

1. Applicant will provide adequate public access along public streets/alley and will take all appropriate actions to minimize the time period that these streets will be closed/affected.
1. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
20. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
21. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
22. Applicant shall adequately address all Sheboygan Water Utility concerns related to this development.
2. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
24. The applicant may construct a driveway connecting the new parking lot to the loading dock on the north side of the warehouse at 4464 Gateway Drive through the City of Sheboygan stormwater easement if and only if the applicant obtains the required easement agreement from the City permitting this to occur (this will require the parcel reconfiguration as proposed by the applicant). This easement shall be completed prior to building permit issuance.
2. This driveway crossing the storm water easement shall be constructed to specifications required by the City Engineering Department. The driveway construction specifications drawings shall be approved prior to building permit issuance.
26. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, shared access, parking, stormwater facilities, utilities, etc. This easement document shall be officially recorded by Sheboygan County.
27. The Conditional use permit is approved if and only if the City of Sheboygan Department of City Development and/or Planning Commission approve the Certified Survey Map (CSM) reconfiguring lot lines and/or creating the parcels as proposed.
2. City Development staff will sign the proposed CSM only if the proposal exactly matches the approved development plan/property layout. If there are any amendments to the approved site plan and/or parcel configuration, the applicant will have to submit an amended conditional use permit for review by the City of Sheboygan Plan Commission that accurately reflects any and all changes.
2. Building permits for the parking lot shall only be issued at such time as the applicant can provide documentation from Sheboygan County that the CSM of the reconfigured lots from three (3) to two (2) as proposed has been officially recorded by Sheboygan County.
0. Applicant shall meet the Sheboygan Business Park Protective Covenants.
1. If there are any amendments to the approved conditional use permit and/or site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Site Plan by SunPeak to install a new Alliant Energy ground mounted solar field on Parcel 00020147000 in the City of Sheboygan Business Park. SI zone, Sheboygan Business Park

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 6, 2021

MEETING DATE: August 10, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item N/A
Budget Summary N/A
Budgeted Expenditure N/A
Budgeted Revenue N/A

Wisconsin Statutes N/A
Municipal Code N/A

BACKGROUND / ANALYSIS:

SunPeak is proposing to install a new Alliant Energy ground mounted solar field on Parcel 00020147000 in the City of Sheboygan Business Park. The applicant states the following about the project

- Parcel 00020147000 is undeveloped and does not have an existing use on it (Parcel has been for sale for many years). The parcel is located in the northwest corner of the business park, west of the Nematik parking lot and a City storm water detention facility. Based on this location, it appears the parcel is a good fit for a solar project
- Alliant Energy plans to install a 1MWac solar field on land leased from the City of Sheboygan.
- 042 ground-mounted solar panels are to be installed.
- Modules are standard 72-cell, approximately 2 feet wide by 6.7 feet tall. They are mounted on a steel table structure with a driven-pile foundation at a 20-degree tilt. They are fixed in a portrait orientation and stacked three (3) high. The front edge of the module on the table is approximately 2 feet tall off the ground and the back edge is about 10 feet. A fixed array has no moving parts to create noise.
- No buildings planned for this project. Project site will include a transformer(s) and outdoor rated electrical cabinets. No pole lighting is planned for the project.

- All electrical switches, transformers, and monitoring system equipment is located on a concrete pad on the north side of the array field.
- Perimeter fencing is standard galvanized, chain-link fence, 6-foot high, to discourage entry into the array field. Several swing-gate entrances are provided for access by Alliant Energy and City of Sheboygan personnel.
- Existing vegetation will remain upon completion of the system. Maintenance will be on an as-needed basis.
- A gravel access road from the cul-de-sac on Gateway Drive into the array. Drive will be located on the north side of the existing stormwater retention pond. No parking spaces are planned for this project.
- Maintenance activities will be during daylight working hours.

Several positive facts about the parcel and solar field project include

- The proposed solar field is close to the Alliant Energy substation.
- It is partially visible from I-4 (for good exposure).
- The City had been trying to sell the parcel for a number of years. The parcel had been considered by several other businesses who considered building on it but had concerns about its location, the long driveway and that the parcel was kind of oddly shaped.

STAFF COMMENTS:

The applicant is proposing a gravel access drive to access the site. Based on the fact that there is minimal activity occurring at this site, staff is acceptable with this access proposal.

The Plan Commission may want to have the applicant address

- Timing of construction
- Any future construction
- What does construction entail – grading, construction, structures, etc.
- What types of other permits and review are required – environmental, public service, State of Wisconsin, federal, etc.
- What concerns are there with the proposed solar farm in terms of solar reflection, wildlife, maintenance of the property, electrical interference, noise, etc.

ACTION REQUESTED:

Staff recommends approval of the project subject to the following conditions

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, Local, State, Federal, etc.
2. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.

- Submittal approval of a proposed storm drainage plan prior to building permit issuance.
- 4. Outdoor storage of materials, products or equipment shall be prohibited.
- Fencing shall be installed per Section 1-720(c) of the City of Sheboygan Zoning Ordinance. Applicant shall work with staff with regards to constructing appropriate and well-designed fence/retaining wall and shall obtain the necessary permits prior to installation. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
- 6. All new lighting shall be installed per Section 1-707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets that will cause nuisances or traffic hazards.
- 7. Applicant shall appropriately maintain the landscaping on this site.
- Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
- If the solar field is causing interference with traffic signals or controls, obstructs a motorist's line of sight, or creates other nuisances (noise, lighting, glare, etc.), this conditional use permit can be reviewed by the City of Sheboygan Plan Commission.
- 10. Absolutely no portion of the structures, site improvements, etc. shall cross property lines.
- 11. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
- 12. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
- 13. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
- 14. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
- 13. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
- 16. At the end of the lease, the applicant shall be responsible for the removal of all equipment, structures, etc. from this site and restoring the site back to its original conditions 60 days after the City is notified that the applicant will no longer be leasing the site. If the applicant does not remove its equipment, structures, etc. within the specified time, the city reserves the right to repair or remove the equipment, structures, etc. at the applicant's expense.
- 17. If there are any amendments to the approved use permit (including but not limited to site plan, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Site Plan Application and required attachments

PARCEL NO. 59281479030
MAP NO. _____
ZONING CLASSIFICATION: SZ

Office Use Only
DATE SUBMITTED: _____
REVIEW DATE: 8/10/21

FILING FEE: \$100.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
SITE PLAN REVIEW APPLICATION
(Requirements Per Section 15.908)
Revised May, 2018

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 104. To be placed on agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications that are not complete or that are not legible will not be accepted. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: SUNPEAK
ADDRESS: 1026 ANN STREET MADISON WI 53713
E-MAIL: tim@sunpeakpower.com
PHONE: (608) 733-6797 FAX: (608) 338-0901

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: PARCEL 59281479030
ADDRESS OF PROPERTY AFFECTED: No address listed; end of Gateway Drive (northbound) in Sheboygan Business Park
LEGAL DESCRIPTION: SHEBOYGAN BUSINESS CENTER PRT OF LOT 6 DESC AS FOLLOWS: COM AT NE COR OF LOT 2 CSM REC IN VOL 9 P N17 R.O.D. THE PT OF BEGINNING TH W 275.15 FT. TH SWLY 284.86 FT, TH SWLY 326.25 FT. TH NWLY 627.42 FT. TH NELY 260.85 FT. TH ELY 942.72 FT. TH S465.40 TO P.O.B. 12.87 AC

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: undeveloped parcel of land with no existing operation or use

BRIEF DESCRIPTION OF **PROPOSED** OPERATION OR USE: 1MWac consisting of 3,042 solar photovoltaic panels, ground-mounted
BRIEF DESCRIPTION OF TYPE OF STRUCTURE: N/A

3. NAME AND ADDRESSES

OWNER OF SITE: Alliant/Wisconsin Power & Light

ADDRESS: 4902 N. Biltmore Lane, #1000 Madison, WI 53718

E-MAIL: jeffreyhanson@alliantenergy.com

ARCHITECT: N/A **ENGINEER:** SUNPEAK

ADDRESS: 1026 ANN STREET, MADISON WI 53713

E-MAIL: tim@sunpeakpower.com

CONTRACTOR: SUNPEAK

ADDRESS: 1026 ANN STREE, MADISON WI 53713

E-MAIL: tim@sunpeakpower.com

4. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Tim Paap
Digitally signed by Tim Paap
DN: c=US, E=tim@sunpeakpower.com,
O=SunPeak, OU=Department of Execution,
CN=Tim Paap
Date: 2011.07.20 12:37:11 -0500

7/20/21

APPLICANT'S SIGNATURE

DATE

Timothy Paap

PRINT ABOVE NAME

5. APPLICATION SUBMITTAL REQUIREMENTS

A. A written description of the intended use describing in reasonable detail the:

- Current land use present on the subject property.
- Proposed land use for the subject property.
- Projected number of residents, employees and /or daily customers.
- Proposed number of dwelling units, floor area and impervious surface area.
- Operation considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer and traffic generation.
- Operational considerations relating to potential nuisance creation pertaining to compliance with the performance standards addressed in Sub-Chapter 15-7 (Sections 15.701 - 15.721) of the Zoning Ordinance including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage and hazardous materials.
- Exterior building and fencing materials (Section 15.718 and 15.720).

City Of Sheboygan
807 Center Ave.
Sheboygan, WI 53081

6/21/21

Attention:
Mayor Ryan Sorenson
City Administrator Todd Wolf

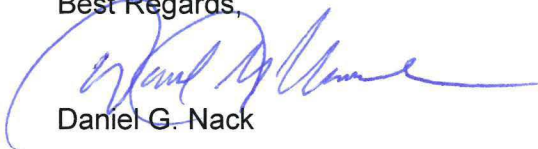
Nemak is a leading provider of innovative light weighting solutions for the global automotive industry, specializing in the development and manufacturing of aluminum components for powertrain and body structure applications. Talent development, continuous investment in research, technological innovation, and sustaining growth are the stepping stones behind Nemak's global leadership in its segment. Part of Nemak's mission is to seek fundamental development for personnel and supplies, while recognizing its corporate manufacturing responsibilities to the environment. Nemak USA has six plants in the United States located in Wisconsin (2), Alabama (2), Kentucky and Tennessee.

Nemak – Wisconsin is planning to expand our production operations into our current warehouse located at 4464 Gateway Drive in Sheboygan which is owned by Schmitt 5th Generation. The main project will be the first “Electric Vehicle” product in the Wisconsin Gateway facility, and it requires a new investment of over \$33M for the site (CNC's, casting upgrades, building upgrades, quality equipment, etc.). Timing is much accelerated compared to our normal projects, with first production parts being shipped by Q4 2021, and full production capacity planned for Q1 2022. The project is scheduled to last at a minimum through 2027.

The production equipment is brand new and state-of-the-art, and was designed with the expectation that it will be reutilized once the project ends or is extended. Having the new equipment on-site should lead to additional Sheboygan project wins in the future once this project has ended. To support the new product, we will be adding 43 full-time hourly employees with an average compensation of \$78,132/year including benefits (medical, dental, vision and life insurance, and 401(k), as well as tuition reimbursement program) and 10 salary employees with an average compensation of \$114,494 to the facility. The new production lines will be running 3 shifts/day, 5 days/week. We will also be contracting many local companies for equipment, parts and services for this new program.

In regards to this project please work with Schmitt 5th Generation to help move this project forward in a timely manner.

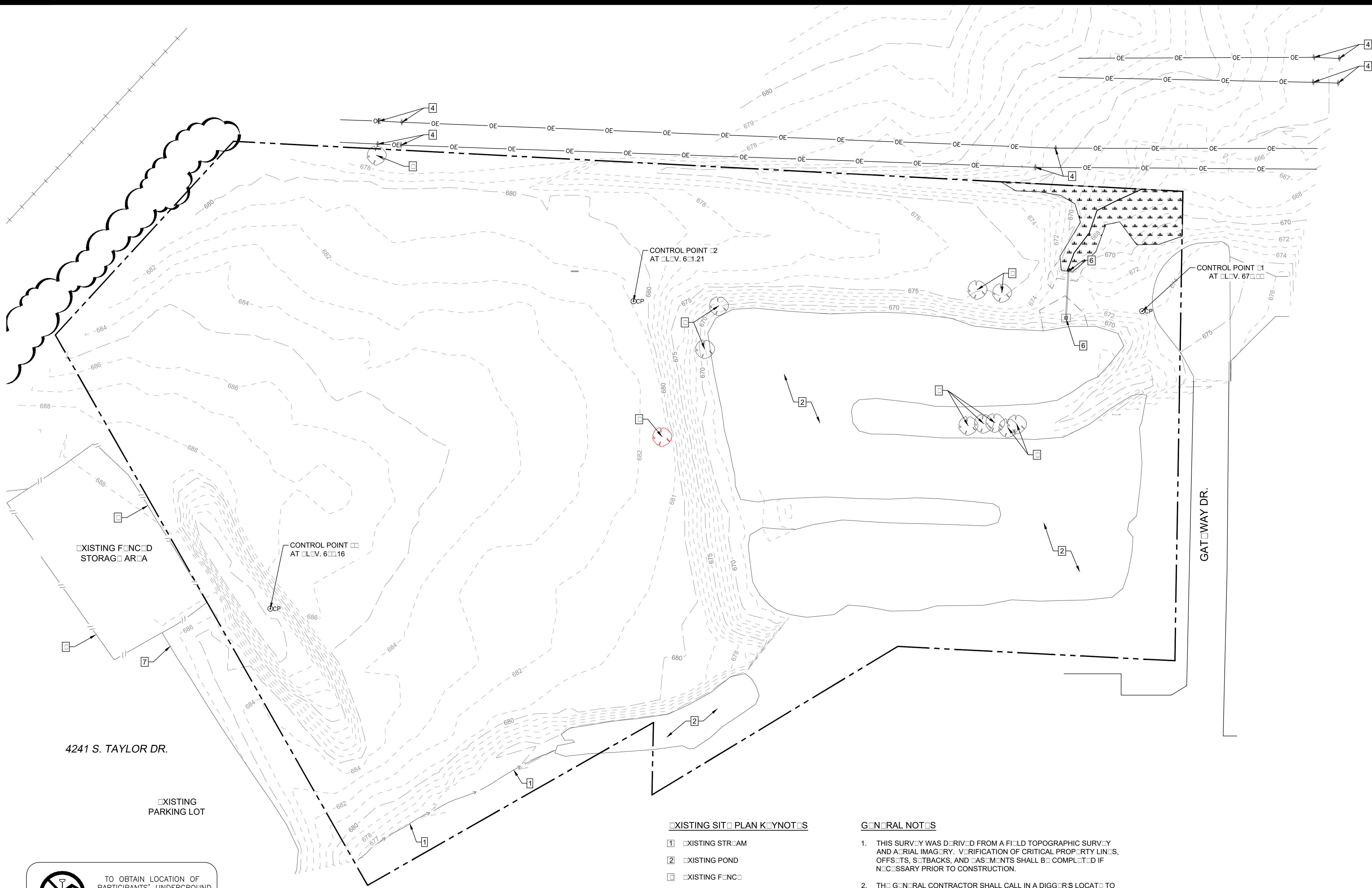
Best Regards,



Daniel G. Nack

Nemak – Gateway Plant Management
4243 Gateway Drive
Sheboygan, WI 53081
Phone: 920-254-3313

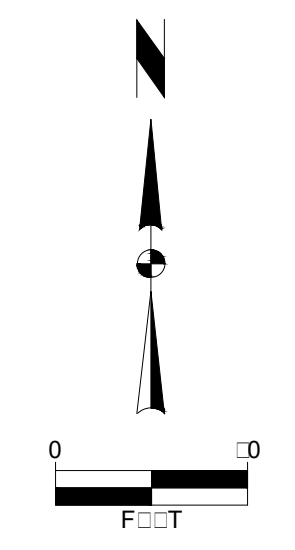
S:\Projects\2021\121.02.2 - 10 CAD\121.02.2 - PLAN.dwg SCOTT ANDERSON - EXISTING SITE PLAN 2021.07.14 - 12 AM ANSI FULL BLOT D (400 X 20.00 INCH) S



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- EXISTING SITE PLAN KEYNOTES**
- 1 EXISTING STRUCTURE
 - 2 EXISTING POND
 - 3 EXISTING FENCE
 - 4 EXISTING ELECTRIC POWER POLE
 - 6 EXISTING STORM STRUCTURE
 - 7 EXISTING PAVEMENT
 - 8 EXISTING TRAIL TO REMAIN
 - 9 EXISTING TRAIL TO BE REMOVED

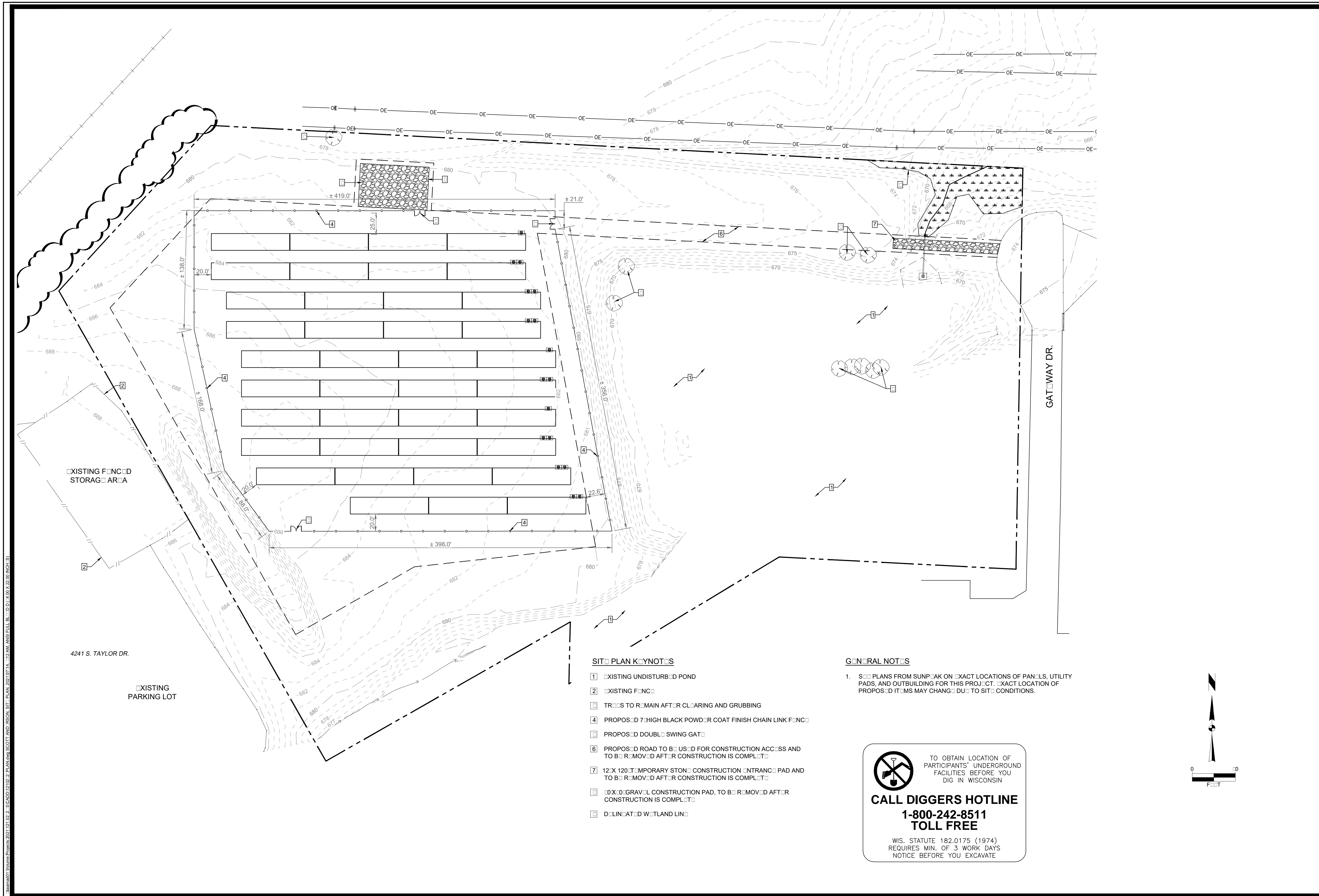
- GENERAL NOTES**
1. THIS SURVEY WAS DERIVED FROM A FIELD TOPOGRAPHIC SURVEY AND AERIAL IMAGERY. VERIFICATION OF CRITICAL PROPERTY LINES, OFFSETS, SETBACKS, AND ASSUMPTIONS SHALL BE COMPLETED IF NECESSARY PRIOR TO CONSTRUCTION.
 2. THE GENERAL CONTRACTOR SHALL CALL IN A DIGGER'S LOCATOR TO ENSURE NO UNDERGROUND UTILITIES CONFLICT WITH THE ACTIVITIES ASSOCIATED WITH THIS PROJECT.
 3. ALL PRIVATE UTILITY CONFLICTS FROM ALLIANT SHALL BE IDENTIFIED AND NOTED PRIOR TO THE START OF CONSTRUCTION.



MARK	REVISION	DATE	BY
	Checked By: MW	07-0-2021	T-R-S: TTN-RRW-SS
	Engineer: SJA		
	Technician: BSK		
	Project No: 121.02.2.0		Sheet C 200

SUNPEAK-ALLIANT SHEBOYGAN SOLAR ARRAY
EXISTING SITE PLAN
SHEBOYGAN, WISCONSIN
SNYDER & ASSOCIATES, INC.
1010 VOGEL'S ROAD
MADISON, WISCONSIN 53717
608-261-0444 www.snyder-associates.com





I:\Projects\2021\121.02.2 - 10 CAD\121.02.2 - PLAN.dwg SCOTT ANDERSON SITE PLAN 2021.07.14 12:48 AM ANSI FULL B... (14.00 X 22.00 INCHES)

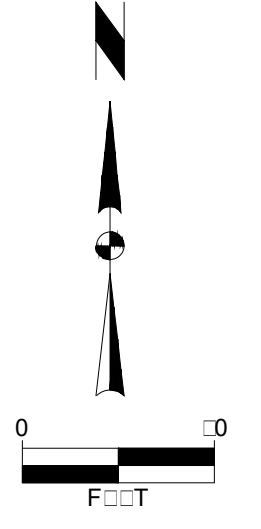
- SITING PLAN KEYNOTES**
- 1 EXISTING UNDISTURBED POND
 - 2 EXISTING FENCE
 - 3 TREES TO REMAIN AFTER CLEARING AND GRUBBING
 - 4 PROPOSED 7' HIGH BLACK POWDER COAT FINISH CHAIN LINK FENCE
 - 5 PROPOSED DOUBLE SWING GATE
 - 6 PROPOSED ROAD TO BE USED FOR CONSTRUCTION ACCESS AND TO BE REMOVED AFTER CONSTRUCTION IS COMPLETE
 - 7 12' X 120' TEMPORARY STONE CONSTRUCTION ENTRANCE PAD AND TO BE REMOVED AFTER CONSTRUCTION IS COMPLETE
 - 8 EXISTING GRAVEL CONSTRUCTION PAD, TO BE REMOVED AFTER CONSTRUCTION IS COMPLETE
 - 9 DELINEATED WETLAND LINE

- GENERAL NOTES**
1. SEE PLANS FROM SUNPEAK ON EXACT LOCATIONS OF PANELS, UTILITY PADS, AND OUTBUILDING FOR THIS PROJECT. EXACT LOCATION OF PROPOSED ITEMS MAY CHANGE DUE TO SITING CONDITIONS.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

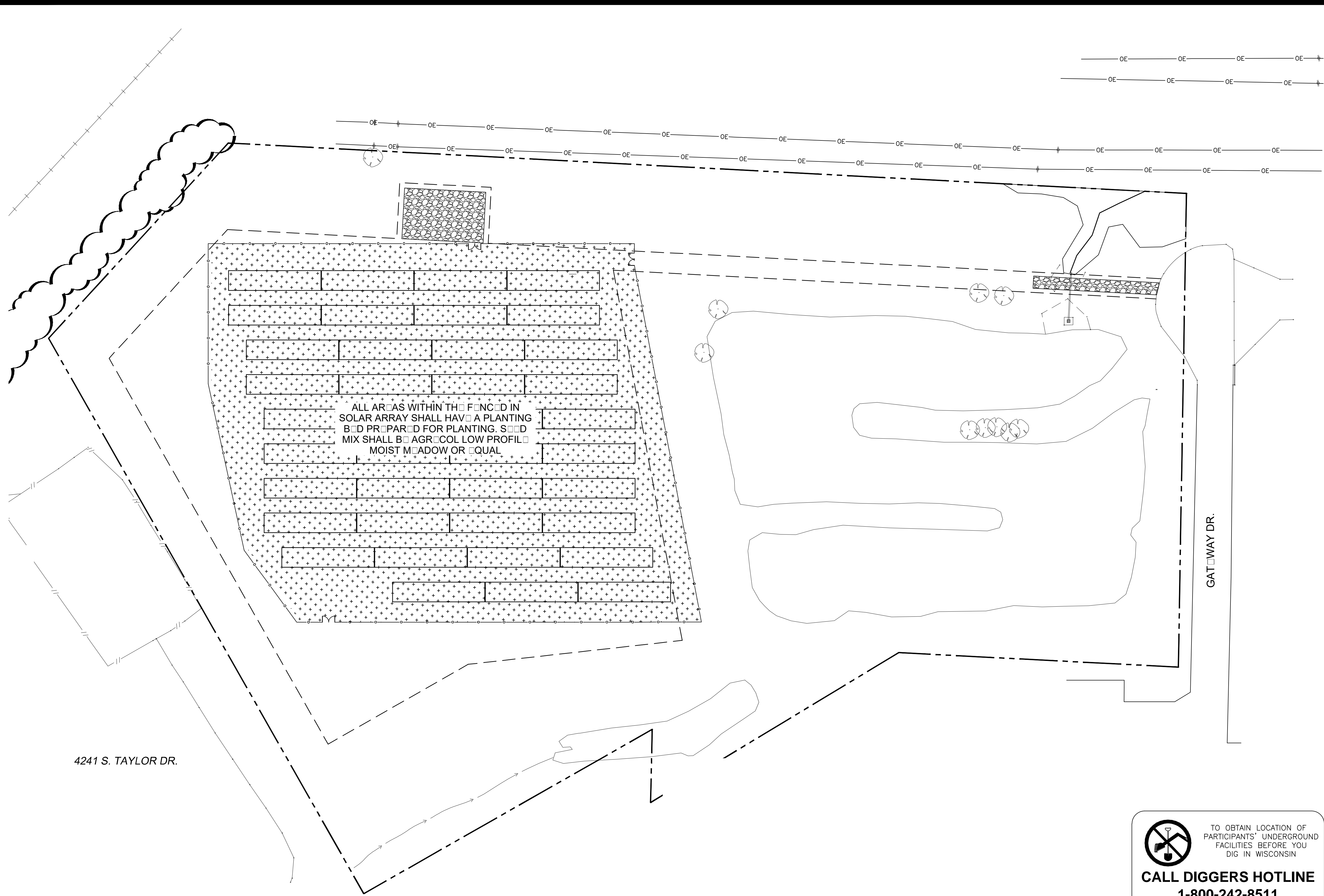
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



<h1 style="margin: 0;">SUNPEAK-ALLIANT SHEBOYGAN SOLAR ARRAY</h1> <h2 style="margin: 0;">SITE PLAN</h2>	<p>Project No: 121.02.2.00</p> <p>Sheet C 00</p>
<p>SHEBOYGAN, WISCONSIN</p>	
<p>SNYDER & ASSOCIATES, INC.</p>	
<p>6000 VOGELSBROAD ROAD MADISON, WISCONSIN 53717 608-261-0444 www.snyder-associates.com</p>	
<p>Engineer: SJA Technician: BSK</p>	<p>Checked By: MW Date: 07-0-2021</p>
<p>MARK</p>	<p>REVISION</p>
<p>Scale: 1" = 1'</p>	<p>Date: 07-0-2021</p>
<p>T-R-S: TTN-RRW-SS</p>	
<p>Project No: 121.02.2.00</p>	
<p>Sheet C 00</p>	

\\snyder\01\Volume\Projects\2021\121.02.2 - 10 CAD\121.02.2 - PLAN.dwg, SCOTT ANDERSON, SITE LANDSCAPING PLAN, 2021.07.14, 11:12 AM, ANS FULL BL, D (4.00 X 22.00 INCH-S)



ALL AREAS WITHIN THE FENCED IN SOLAR ARRAY SHALL HAVE A PLANTING BED PREPARED FOR PLANTING. SOIL MIX SHALL BE AGRICULTURAL LOW PROFILE MOIST MEDIUM OR EQUAL.

LANDSCAPING NOTES

- ALL AREAS WITHIN THE FENCED IN SOLAR ARRAY SHALL HAVE A PLANTING BED PREPARED FOR PLANTING. SOIL MIX SHALL BE AGRICULTURAL LOW PROFILE MOIST MEDIUM OR EQUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE EXISTS IN ALL GRADES. AREAS SURFACE DRAINAGE ON LANDSCAPING AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS. IN NO CASES SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPING MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPE ON LANDSCAPING AREAS SHALL BE 2% MAXIMUM SLOPE SHALL BE 2%. UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12".
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND MAINTENANCE PERIOD SHALL BE RESTORED WITH TURF SEED TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVERSEED AND RESTORED WITH SPECIFIED SEED MIX.
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS, CONTACT THE LANDSCAPING ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN ESTIMATED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE TO THE CONTRACTOR'S OBLIGATIONS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPING PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- ALL PLANT MATERIAL SHALL BE GROWN IN ZONES CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY THE LANDSCAPING ARCHITECT IF PLANTING OCCURS OUTSIDE OF THIS WINDOW. ADDITIONAL MATERIALS MAY NEED TO BE TAKEN (E.G. MULCH) TO INSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- NATIVE SEEDS SHOULD BE WATERED IN AFTER INSTALLATION TO INSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE-MONTH PERIOD OR UNTIL GROUND FREEZES UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR PROJECT ENGINEER WILL DETERMINE THIS AND CONTRACT PRICE MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- UPON COMPLETION OF EXCAVATING OR GRADING OPERATIONS, A LOOSE, FRABLE PLANT BED SHALL BE PREPARED FOR INSTALLATION OF NATIVE SEEDS.
- CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION TESTER), THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0.6 INCH DEPTH AND LESS THAN 210 PSI AT THE 6-12 INCH DEPTHS IN ALL AREAS TO BE PLANTED.
- UNDULATIONS OR IRREGULARITIES IN THE PLANT BED WHICH WOULD INTERFERE WITH A CONSISTENT SEEDING OPERATION SHALL BE LEVELLED PRIOR TO FINAL SEEDING.
- FINAL PLANTING AREA SHOULD BE GRADED SUCH THAT THE AREA TO BE PLANTED SHALL CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE, POROUS TEXTURE.

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

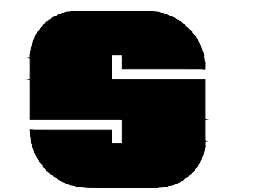
WIS. STATUTE 182.0175 (1974)
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MARK	REVISION	DATE	BY
Engineer: SJA	Checked By: MW	Date: 07-0-2021	Scale: 1" = 1'-0"
Technician: BSK			T-RS: TTN-RRW-SS
Project No: 121.02.2.0			Sheet C 401

SUNPEAK-ALLIANT SHEBOYGAN SOLAR ARRAY
SITE LANDSCAPING PLAN
SHEBOYGAN, WISCONSIN

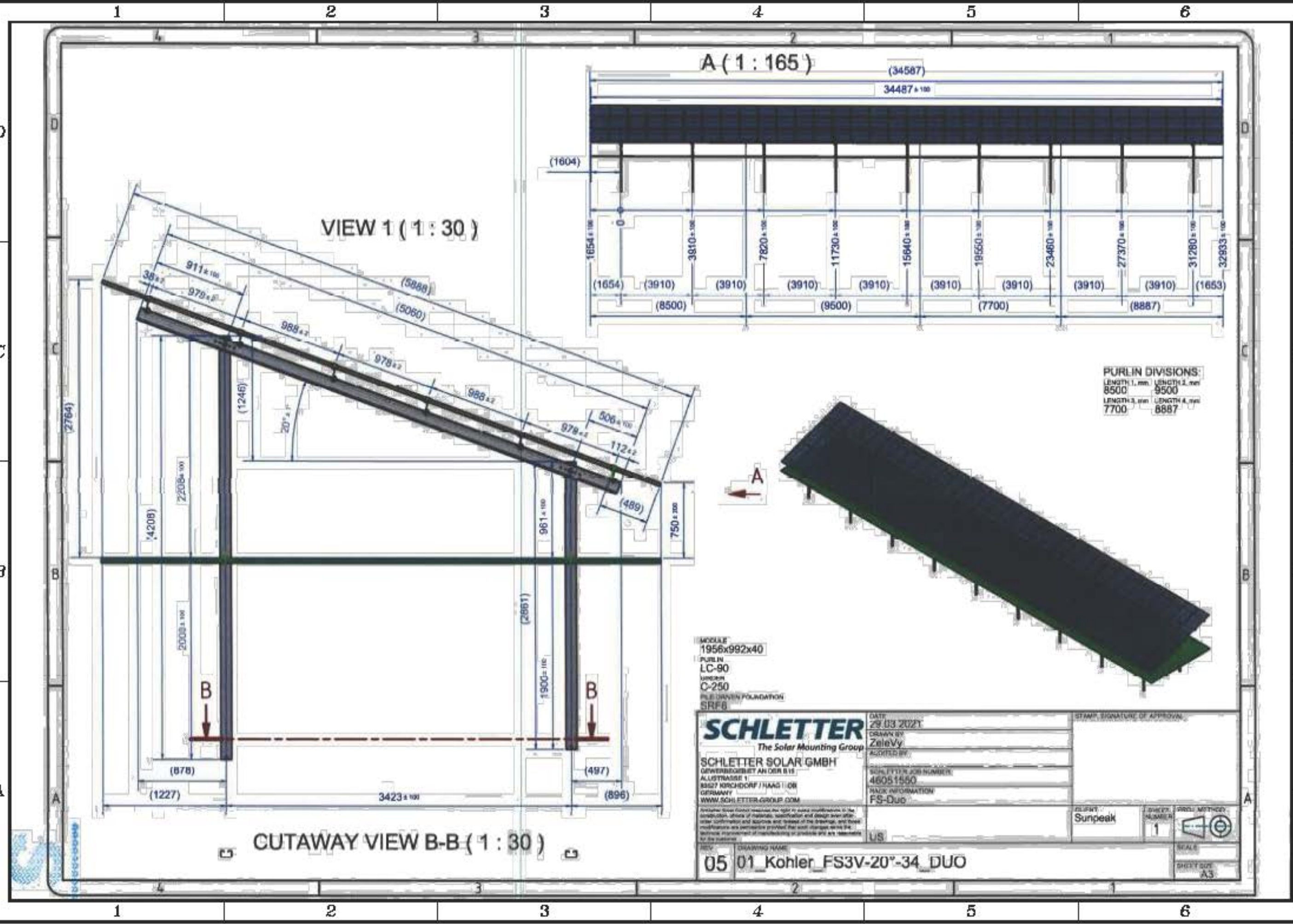
6010 VOGEL ROAD
 MADISON, WISCONSIN 53717
 608-261-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.


SNYDER & ASSOCIATES

Project No: 121.02.2.0
 Sheet C 401

Original Print Size: 11x17 File: C:\Users\Admin\Dropbox (SunPeak)\Accounts\200029_05 City of Sheboygan\02-Engineering\g08\CAD_files\200029_05-03\W401-01.dwg Print Date: 13-Jul-21



SCHLETTER
The Solar Mounting Group

SCHLETTER SOLAR GMBH
GERWEGENSTET AN DER B18
ALLSTRASSE 1
8827 NORSCHDORF / HAAS | DE
GERMANY
WWW.SCHLETTER-GROUP.COM

DATE: 29.03.2021
DRAWN BY: Zelevy
CHECKED BY:

SUNPEAK JOB NUMBER:
46051550
MARK INFORMATION:
FS-Duo

STAMP, SIGNATURE OF APPROVAL:

CLIENT: Sunpeak
SHEET NUMBER: 1
PROJ. METHOD:

SCALE:

SHEET SIZE: A3

REV: 05
DRAWING NAME: 01_Kohler_FS3V-20*-34_Duo



New Photovoltaic Electric Plant for
CITY OF SHEBOYGAN / ALLIANT ENERGY
4200 Gateway Drive
Sheboygan, WI 53083
BID DOCUMENTS

All drawings and all parts thereof, in the exclusive property of SunPeak, Inc. 1026 Ann Street, Madison, Wisconsin and may not be reproduced in whole or part without written permission.

REVISIONS	DATE	DESCRIPTION	SYMBOL	DRWN	APPD.

PROJECT NO.: 200029.05
SCALE: Not to Scale
ISSUE DATE: 7/13/2021

Table Details
Sheet
W401

GlacierSeries G6



WP-XXX/G6-144H

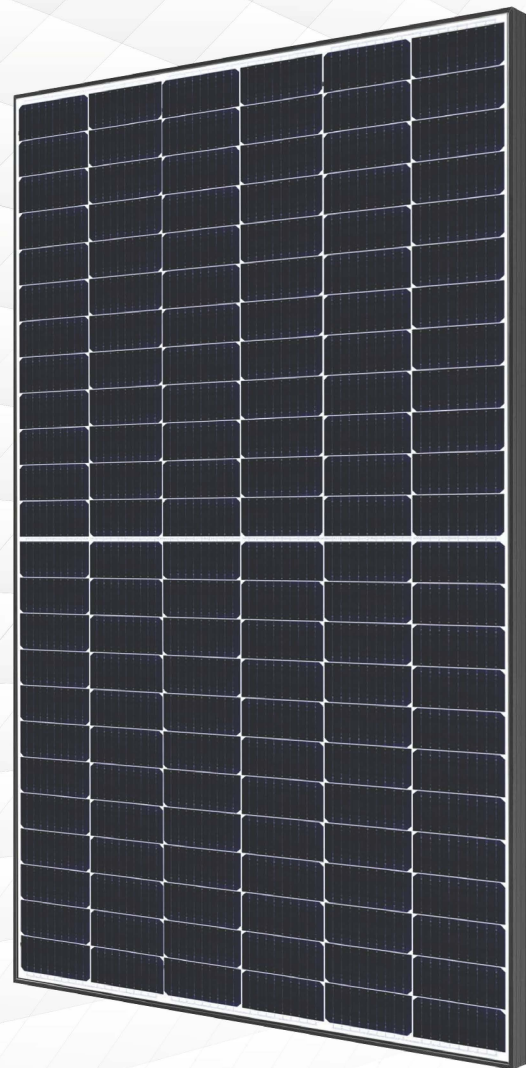
Half-Cut Monocrystalline PERC Solar Module

Mono PERC Module
144 CELL

Power Output Range
440-455W

Maximum System Voltage
1500V DC

Maximum Efficiency
20.90%



OUTSTANDING PRODUCT PERFORMANCE

- Cutting-edge half cut technology
- High power output reaching 455W with module efficiency up to 20.90%
- Reduce hot spot risk and power loss with lower working temperature
- Low power loss under shading conditions



HIGH RELIABILITY DUE TO RIGOROUS QUALITY CONTROL

- Monitored and tested with strengthened quality control system
- PID Resistant
- 100% EL double inspection
- Positive tolerance guaranteed: 0-+5W



CERTIFIED TO STAND EXTREME WEATHER CONDITIONS

- 5400Pa snow load maximum
- 2400Pa wind load maximum

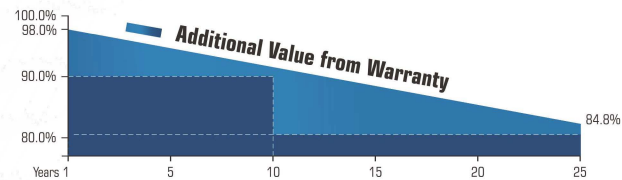


A BETTER INVESTMENT CHOICE

- Higher power output with up to 1500V DC design to bring higher energy yield, saving BOS cost
- Inclusive 12 years product warranty and 25 year performance warranty

CERTIFICATES

IEC61215, IEC61730
 ISO 9001:2015 Quality management system
 ISO 14001 Standards for environment management system
 OHSAS 18001 International standards for occupational health & safety

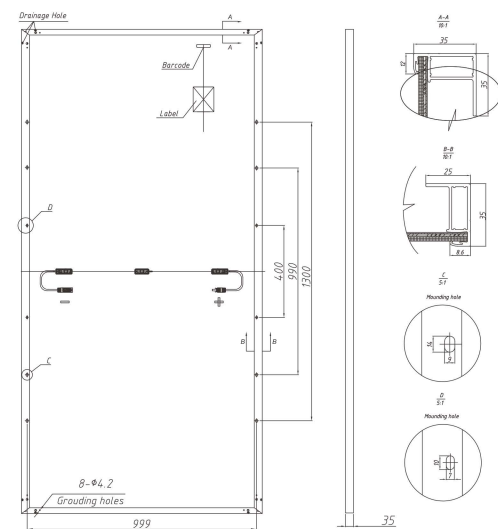
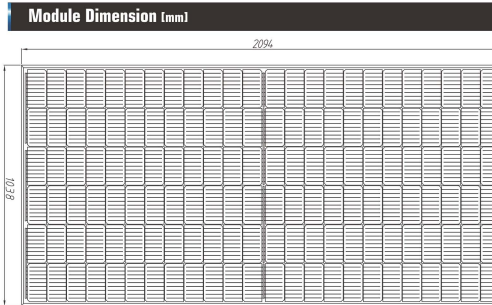


12-year Product Warranty | 25-year Linear Performance Warranty

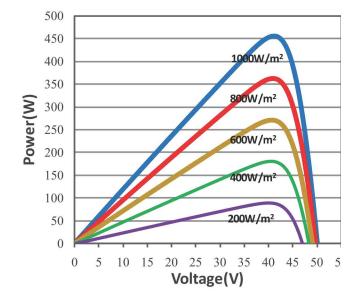
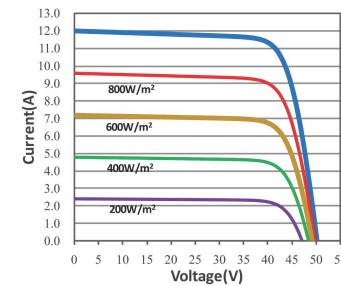


Precision and Passion

GlacierSeries G6 WP-XXX/G6-144H



Current-Voltage Curve, WP-455/G6-144H



Electrical Characteristics (STC*)					
Power Class		440	445	450	455
Nominal Power (Pmax) (W)		440	445	450	455
Voltage at Pmax (Vmp) (V)		40.90	41.00	41.10	41.20
Current at Pmax (Imp) (A)		10.77	10.86	10.96	11.06
Open Circuit Voltage (Voc) (V)		49.80	49.90	50.00	50.10
Short Circuit Current (Isc) (A)		11.60	11.72	11.83	11.96
Module Efficiency (%)		20.2	20.5	20.7	20.9
Power Tolerance		0--+5W			

* Irradiance 1000W/m², Cell Temperature 25°C, Air Mass 1.5

Electrical Characteristics (NOCT*)					
Power Class		440	445	450	455
Nominal Power (Pmax) (W)		326	330	333	337
Voltage at Pmax (Vmp) (V)		38.60	38.17	38.80	38.90
Current at Pmax (Imp) (A)		8.45	8.53	8.58	8.66
Open Circuit Voltage (Voc) (V)		47.10	47.20	47.20	47.30
Short Circuit Current (Isc) (A)		9.37	9.46	9.55	9.66

* Irradiance of 800W/m², Ambient Temperature 20°C, Wind Speed 1m/s

Mechanical Characteristics	
Number of Cells	144 cells (6x24)
Cell Type	Monocrystalline 166mm x 83mm
Dimensions of Module L*W*H (mm)	2094 x 1038 x 35mm
Weight (kg)	24.5
Glass	3.2mm AR coating tempered glass
Frame	Anodized aluminium alloy
J-Box	IP68,3 Bypass Diodes
Cable	4mm² IIECI, 1250mm
Wind/ Snow Load	2400Pa/5400Pa
Connector	MC4-EV02 or Compatible

Temperature Characteristics	
Nominal Operation Cell Temperature (NOCT)	45°C ± 2°C
Temperature Coefficient of Isc	0.049%/°C
Temperature Coefficient of Voc	-0.29%/°C
Temperature Coefficient of Pmax	-0.38%/°C

Design Characteristics	
Operating Temperature	-40°C to + 85°C
Maximum System Voltage	1000V / 1500V DC(IEC)
Max Series Fuse Rating	15A
Application Classification	Class A
Module Fire Performance	Class C

Packing Information	
Module per Pallet	30 pieces
Module per 40' container	660 pieces

*Wattpower reserves the right to make any adjustment to the information described herein at any time without notice. Please always obtain the most recent version of the datasheet which shall be duly incorporated into the binding contract made by the parties governing all transactions related to the purchase and sale of the products described herein.

WP-G6-2021V1

www.watt-power.com sales@watt-power.com



New Photovoltaic Electric Plant for
CITY OF SHEBOYGAN / ALLIANT ENERGY
 4200 Gateway Drive
 Sheboygan, WI 53083
BID DOCUMENTS

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SYN	REVISIONS	DESCRIPTION	DRWN	APPD.	DATE

PROJECT NO.: 200029.05

SCALE: no scale | ISSUE DATE: 6/30/2021

Module Data Sheet

Sheet **W801**

Original Print Size: 11x17
 File: C:\Users\Admin\Dropbox (SunPeak)\Accounts\200029_05 City of Sheboygan\02-Engineering\g08CAD_files\200029_05-03\W802-01.dwg
 Print Date: 30-Jun-21



PV INVERTER Commercial Series / M60U

Features

- Two stage topology with wide input operation range, 200 to 1000 Vdc
- Allows 0-90° tilt-mount installation
- Dual MPP tracker inputs
- Superior efficiency performance, 98.8% peak & 98.5% CEC
- NEMA 4X outdoor rated enclosure
- Integral DC Arc fault detector
- AC & DC disconnects
- String monitoring

www.deltaww.com



Specifications

Model Number	M60U_120	M60U_121	M60U_122
DC INPUT			
Max. Input Voltage	1000V (per NEC)		
Operating Voltage Range	200 - 1000V		
Start Voltage	>250V		
VMPP Range for POUT-RATED	520 - 800V		
Rated Voltage	710V		
Number of MPP Trackers	2		
Current Limit, IMP-MAX /MPPT	70A/MPPT		
Allowable Array ISC-MAX /MPPT	108A/MPPT	160A/MPPT	108A/MPPT
Connection Type	16 pr. Fuse holders	2pr. Terminal blocks	18 pr. MC4 connectors
Allowable Conductors	#8-#14 AWG, Cu only	#1-#3/0 AWG, Cu/Al	#10-#12 AWG, Cu only
Surge Protection, DC Side	SPD Type II 10kA (8 x 20us)		
Combiner Fuses	32 x 15A	Not Provisioned	36 x 15A
DC Disconnect Switch	Yes	Not Provisioned	Yes
String Current Monitor	Not Provisioned	Not Provisioned	Yes
AC OUTPUT			
Rated Output Power	60kW ¹⁾		
Max. Output Power	66kVA ²⁾		
Max. Output Current	80A		
Grid Configuration	480/277V (3P-4W/Y) or 480V (3P-3W/Δ)		
Inverter Connection	3W or 4W programmable		
Operating Voltage Range	±10%		
Operating Frequency Range	50/60Hz		
Power Factor	Unity at PRATED; adjustable: [0.8 ind ~0.8 cap]		
Surge Protection, AC Side	SPD Type II 10kA (8 x 20us)		
Ground fault protection	Yes		
THD	<3%		
Connection Type	AC Switch & Terminal block #1-#2/0		
Night Time Consumption	<3W		
EFFICIENCY			
Peak Efficiency	98.8%		
CEC Efficiency	98.5%		
Euro Efficiency	98.5%		
INFORMATION			
Comm Port Protocol	RS-485 Delta or Sunspec		
Display	20 x 4 line LCD		
REGULATION			
	UL1741 SA, UL1741, UL1998, UL 1699B, IEEEE1547, IEEEE1547.1, CSA C22.2, FCC Part 15 (Class B)		
GENERAL DATA			
Smart Inverter Functionality	Voltage/Frequency Ride through, Volt/Var, Volt/Watt, Power curtailment, Frequency/Watt		
Operating Temp. Range	-13° to 140°F (-25° to 60°C)		
Protection Level	NEMA 4X		
Operating Elevation	<9800ft (<3000m)		
Cooling	Forced air cooling with Smart Fan Control		
Dimension (in)	24.2 x 35.4 x 10.8		24.2 x 37.4 x 10.8
Weight (lb)	W/ Wiring Box	180.6	171.8
	W/O Wiring Box	149.9	
	Shipping Weight	246.9	251.3

1) @TAMB ≤ 40°C, VIN ≥ 520VDC
 2) @TAMB ≤ 40°C, VIN ≥ 600VDC

*Specifications are subject to change without prior notice



New Photovoltaic Electric Plant for
CITY OF SHEBOYGAN / ALLIANT ENERGY
 4200 Gateway Drive
 Sheboygan, WI 53083
BID DOCUMENTS

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REV	DATE	APPD.	DRWN	DESCRIPTION

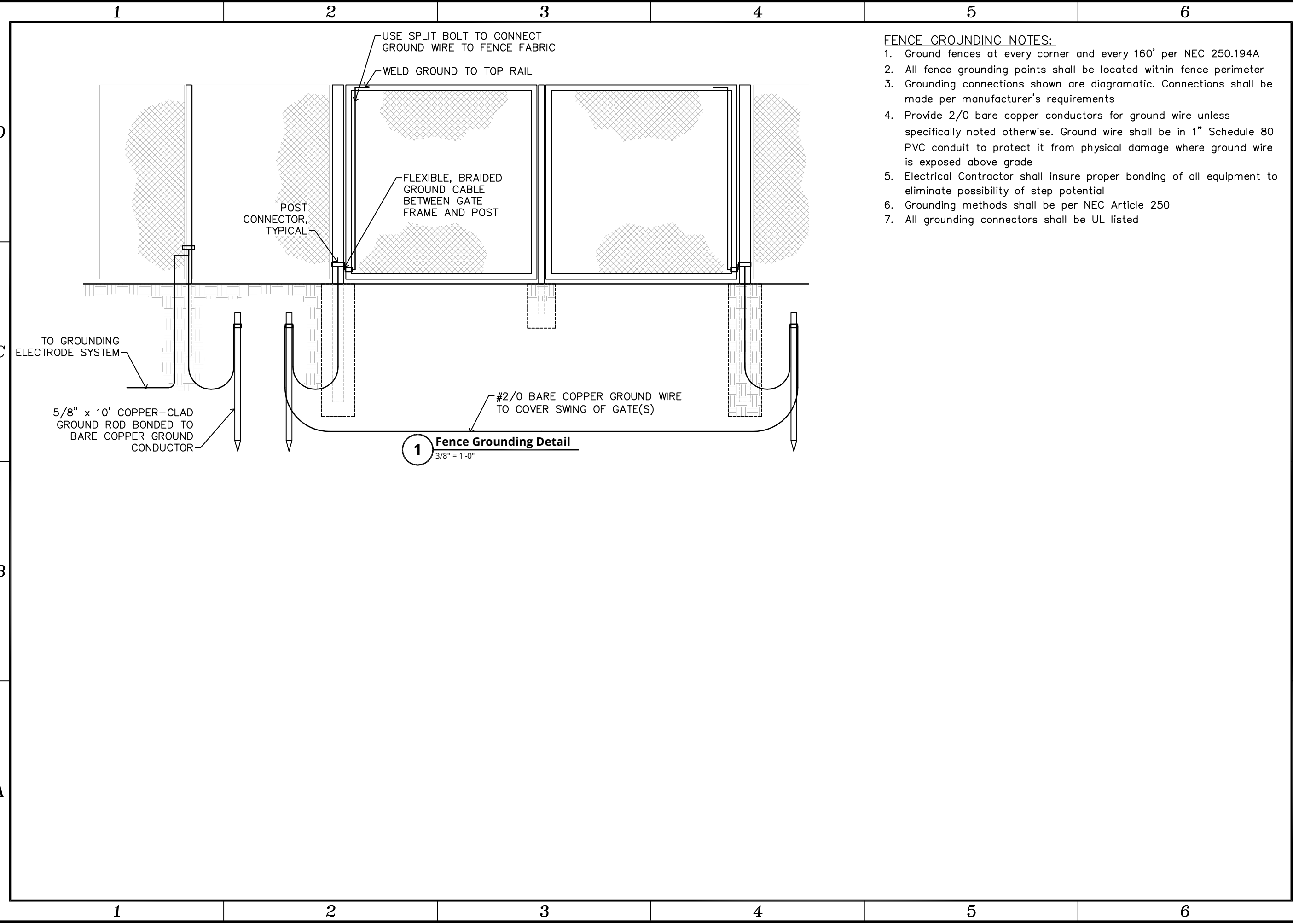
PROJECT NO.: 200029.05

SCALE: ISSUE DATE: 6/30/2021

Inverter Data Sheet

Sheet **W802**

Original Print Size: 11x17
 Print Date: 30-Jun-21
 File: C:\Users\Admin\Dropbox (SunPeak)\Accounts\200029_05-City of Sheboygan\200029_05-City of Sheboygan\02-Engineering\08-CAD_files\200029_05-03\W501-v01.dwg



1 Fence Grounding Detail
 3/8" = 1'-0"

FENCE GROUNDING NOTES:

1. Ground fences at every corner and every 160' per NEC 250.194A
2. All fence grounding points shall be located within fence perimeter
3. Grounding connections shown are diagramatic. Connections shall be made per manufacturer's requirements
4. Provide 2/0 bare copper conductors for ground wire unless specifically noted otherwise. Ground wire shall be in 1" Schedule 80 PVC conduit to protect it from physical damage where ground wire is exposed above grade
5. Electrical Contractor shall insure proper bonding of all equipment to eliminate possibility of step potential
6. Grounding methods shall be per NEC Article 250
7. All grounding connectors shall be UL listed



New Photovoltaic Electric Plant for
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 Sheboygan, WI 53083
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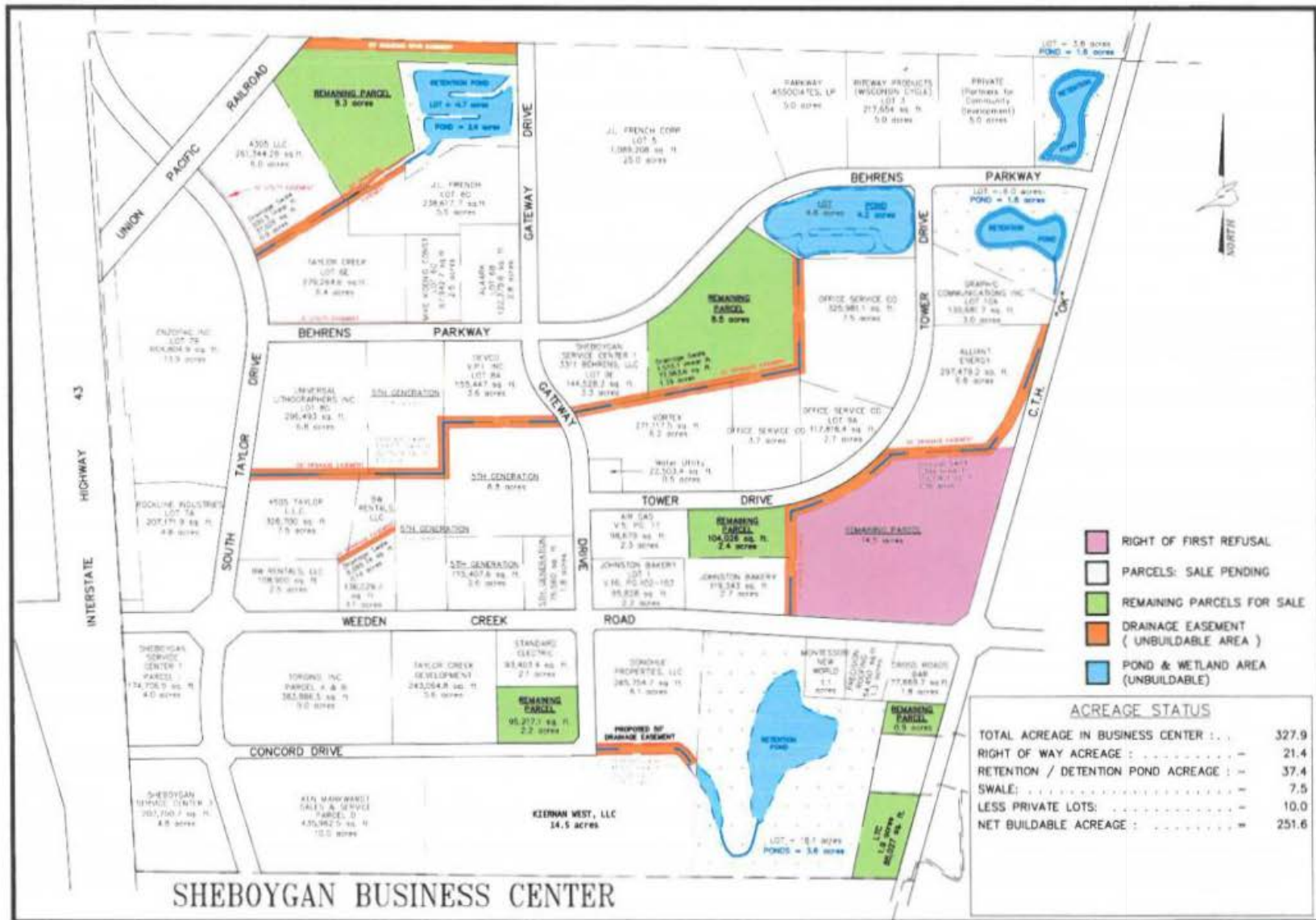
SYMBOL	REVISIONS DESCRIPTION	DATE	APP'D.	DATE

PROJECT NO.: 200029.05

SCALE: As noted ISSUE DATE: 6/30/2021

Details

Sheet
W501



City of Sheboygan
 split on the later
 SHEBOYGAN BUSINESS CENTER
 LOT DIVISIONS AND REMAINING ACREAGE
 SHEBOYGAN, WISCONSIN

Graphic Scale 1" = 200'
 BUSINESS CENTER LOT DIVISIONS

Sheet No. 1 of 1
 Date Revised 02/21/18

← 4243 Gateway Dr Sheboygan, Wisconsin

4464 Gateway Dr
Sheboygan, WI 53081
43.70°N, 87.75°W



← S Taylor Dr Sheboygan, Wisconsin

4464 Gateway Dr
Sheboygan, WI 53081
43.70°N, 87.75°W







How do solar panels and solar farms work?

Solar electric panels create electricity directly from sunlight. When sunlight hits the panels, semiconductors inside the solar panels are activated to produce usable electricity. In a solar farm, many individual solar panels are grouped together to produce a lot of electricity. In most cases, panels are mounted on “single-axis tracking systems.” Solar panels are attached to horizontal poles which run north to south. Throughout the day the panels rotate from east to west to follow the sun. The equipment in a solar farm includes solar panels, racking, cables, inverters, transformers, and a power line or substation to deliver the power to the electric transmission grid.

Can solar panels withstand strong winds?

Testing by solar manufacturers includes a certification that the panels can withstand winds of up to 140 miles-per-hour, the equivalent of a Category 4 hurricane. In real-world performance, there are reports that nearly all solar panels located in areas hit by [Superstorm Sandy](#) (2012), [Hurricane Michael](#) (2016), and [Hurricane Irma](#) (2017), survived the high winds with few panels damaged beyond functionality. Any other losses were due to the destruction of an entire roof or structure.

Are solar panels a safe technology?

Yes. Solar panels are safe to touch, attach to your home, and install in your neighborhood or town.

Panels are primarily made of glass, aluminum, copper, and other common materials. Solar projects also utilize steel racks to position panels, electrical cable and inverters and electric transformers to deliver power to the grid. All of this equipment is safe and contains the same materials that are found in household appliances. There are trace amounts of chemicals in solar panels that enable them to produce electricity. These compounds are completely sealed within the glass and coatings of the panels.

After their useful life, solar panels and equipment are easy to disassemble and recycle. Solar facilities are constantly monitored, and the owners have a business interest in keeping them well-maintained and operating properly. Solar plants are designed to withstand severe weather, and panels are built to last for up to 40 years. If solar panels are damaged, they can be quickly replaced with new ones.

What is it like living next to a solar farm?

Solar farms are quiet neighbors. They are a very low-impact development within communities.

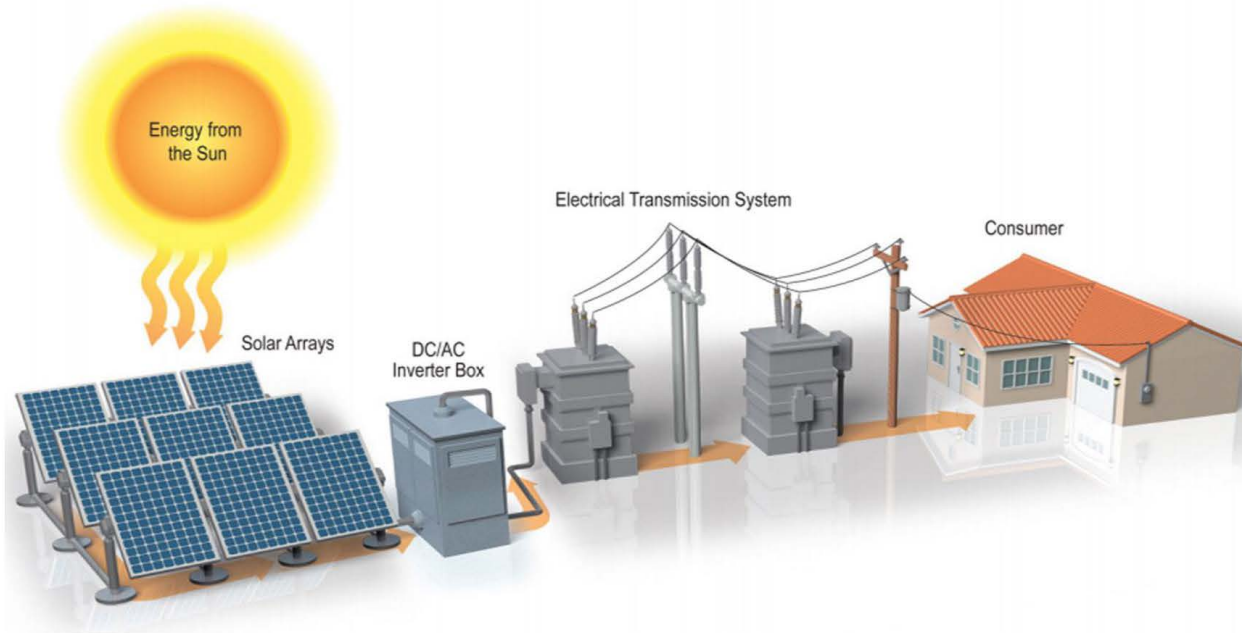
Unlike using natural gas or coal to generate power, they do not combust anything and thus have no pollution. They do not create any odors or output any chemicals. Solar farms use no water for their operation. This is also in stark contrast to using coal or natural gas to make electricity.

The only audible noise is from cooling fans within equipment (inverters and transformers) that move the electric power to the grid, and those only operate when the sun is shining and power is being produced. After the sun goes down, there is no audible noise from the solar equipment.

Native vegetation under the arrays can improve water quality and reduce runoff in the area.

Will glare from the solar panels be a problem?

No, this is actually a common misconception about solar PV modules. Solar modules are made to absorb sunlight, not to reflect it. Solar modules are flat, have a relatively smooth surface, and are covered with anti-reflective coatings. Modern PV modules reflect as little as two percent of incoming sunlight, about the same as water and less than soil or even wood shingles.



CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 0002010600 from Class Central Mixed Use to Class Multi-family Residential Classification.

Gen. Ord. No. 10-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel 00020106260, Parcel 00020106240, and Parcel 00020106200 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

R.O. 04-21-22 and G.O. 16-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel 00020106260 and Parcel 00020106240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

R.O. 00-21-22 and G.O. 17-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 and Parcel 00020106200 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 6, 2021

MEETING DATE: August 10, 2021

FISCAL SUMMARY:

Budget Line Item	N/A
Budget Summary	N/A
Budgeted Expenditure	N/A
Budgeted Revenue	N/A

STATUTORY REFERENCE:

Wisconsin Statutes	N/A
Municipal Code	N/A

BACKGROUND / ANALYSIS:

The Commonwealth Companies is proposing to amend the comprehensive plan map and rezone map as follows

Comprehensive Plan Map

- Parcel s 0020106260, 0020106240 and 0020106200 from **Neighborhood Preservation** to **Multi-family Residential**.
- Parcel s 0020106000 from **Central Mixed Use** to **Multi-Family Residential**

Rezone

- Parcel s 0020106260 and 0020106240 from **Urban Commercial (UC)** to **Urban Residential (UR-12)**.
- Parcel s 0020106000 and 0020106200 from **Urban Industrial (UI)** to **Urban Residential (UR-12)**.

The applicant states the following

- Commonwealth is requesting to rezone the aforementioned parcels to Urban Residential (UR-12) to accommodate the development of 4 units of workforce housing.
- Given this site's location we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to an area of the city that has been stagnant the past several years in a manner that compliments the surrounding single-family houses.
- We believe our architects have captured this vision through various design elements such as the pitched roof, staggered columns presenting various dimensions, and first floor townhome-style units with individual entrances and door overhangs for the units facing Illinois Avenue.
- The proposed zoning map amendment aligns with multiple core City values expressed in Section 100, the comprehensive plan, and the recently conducted housing study. For starters, Section 100 emphasizes the reduction of street congestion. Evidence across urban municipalities comparable to Sheboygan demonstrate that multi-family buildings get more people out of their cars, and into public transit, while also boosting commuting by bicycle and walking. Denser developments closer to the urban centers place more residents closer to their jobs and cut down commuting distances. On top of that, the proposed development promotes the protection of the public safety for the future tenants by encompassing smart key technology with key-fobs specific for each unit, adequate site lighting, along with 24/7 video surveillance.
- In addition to section 100, the proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here for the 14th Street South Parcel. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional workforce housing that supports both existing local employers and the attraction of future employers to Sheboygan.

- Over time, growth patterns for nearly every municipality shift. This is something Commonwealth has experienced often in our 20 years of development experience. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021.
- The in-depth analysis performed by MSA Professional Services indicated a population decrease over the last decade within the City of Sheboygan by 2%. However, population in the region is projected to grow and employers are anticipating continued hiring. The study suggests that population change is directly tied to change in the number of households and the size of those households, both of which are influenced by availability of desirable units within desired markets. Commonwealth is confident this population decrease is not a reflection of Sheboygan being an undesirable market, rather the lack of desirable units. Our objective with the proposed development would be to bridge this gap by providing top-tier units that are truly desirable to the workforce community in efforts of promoting continued population growth for the City of Sheboygan.
- To ensure the proposed development encompasses “desirable-units” beyond construction style, Commonwealth was able to tailor our development by decreasing the overall density to incorporate 20 three-bedroom units as MSA indicated a significant shortage in three (3) Bedroom rental units.
- Another priority focus identified in the study is the utilization of infill development, given the City’s limited greenspace MSA suggests placing a priority on infill housing proposals across the City’s neighborhood enhancement nodes such as the site located on the corner of 14th and Illinois.
- The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable workforce housing units in the City as employment opportunities remain robust. For the variety of reasons outlined above, we believe a rezone to “Urban Residential” will achieve the highest and best use for this site and compliment the surrounding residential neighborhood.

The City of Sheboygan Comprehensive Plan identifies several key initiatives including the following:

- Promoting infill development and redevelopment to grow efficiently, strengthen existing business districts and neighborhoods, and leverage existing infrastructure and connectivity.
- Diversifying the City’s housing stock by supporting market rate infill and redevelopment housing aimed at empty nesters, seniors and young professionals.

The proposed hotel development will accomplish these key initiatives by:

- The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into market-rate housing which provide infill development and be complementary to the adjoining uses.

- Developing a vacant site (former gas station) into additional workforce housing is ideal as it directly borders on residential commercial and industrial zoning districts.
- This is accomplished by fulfilling the demand for housing with a location that balances proximity to urban spaces and amenities with easy and various transportation options.
- Additionally, the proposed development is consistent with the objectives and policies set forth in Chapter 4 Housing and Neighborhood Development of the City of Sheboygan Comprehensive Plan.
- The Sheboygan County Economic Development Corporation conducted a housing survey which concluded in part that there was a need for greater condominium development in the city.
- Support mixed-use development projects that integrate residential and non-residential uses into high-quality, unified places. Mixed-use areas provide nodes of concentrated activity and integrate people with jobs, services, and shopping in a pedestrian-friendly environment.
- Encourage redevelopment and infill development over greenfield development wherever feasible, while planning for long-term growth of office, industrial, commercial, and residential uses in the City.
- Partner with private property owners, developers, and neighbors to realize the greatest potential for each new development and redevelopment site envisioned under this Plan.

The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into a workforce housing apartment complex which will provide infill development and be complementary to the adjoining uses.

The Urban Residential (UR-12) zone is identified as the most appropriate zoning for this type of multi-family development.

STAFF COMMENTS:

The surrounding neighborhood zoning is

- The properties to the north are zoned Neighborhood Residential (NR-6).
- The properties to the south are zoned Urban Commercial (UC).
- The properties to the west are zoned Urban Commercial (UC), Urban Industrial (UI) and Neighborhood Residential (NR-6).
- The properties to the east are zoned Urban Commercial (UC) and Urban Industrial (UI).

It is important for the Plan Commission to understand that if the property zoning designation is changed from UC and UI to UR-12, an applicant could apply to use the property for any use that is permitted and/or conditionally permitted in the UR-12 zone.

If the Common Council approves the rezone, the applicant needs to be aware that a conditional use will need to be submitted to and reviewed by the City of Sheboygan Plan Commission prior to construction of a new multi-family development.

In addition, the applicant is proposing to amend the comprehensive plan for these properties from Neighborhood Preservation and Central Mixed Use to Multi-Family Residential. The property will be designated Multi-Family Residential in the Future Land Use map in the City of Sheboygan Comprehensive Plan which is consistent with the proposed Urban Residential (UR-12) zoning designation being requested

ACTION REQUESTED:

Motion to recommend the Common Council approve Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 from Class Central Mixed Use to Class Multi-family Residential Classification.

Motion to recommend the Common Council approve Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel 00020106260, Parcel 00020106240, and Parcel 00020106200 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 16-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel 00020106260 and Parcel 00020106240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 17-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 and Parcel 00020106200 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

ATTACHMENTS:

Rezone Application and required attachments

A

6.1

Gen. Ord. No. 14 - 21 - 22. By Alderperson Perrella. August 2, 2021.

AN ORDINANCE amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel #59281506350 from Class Central Mixed Use to Class Multi-family Residential Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

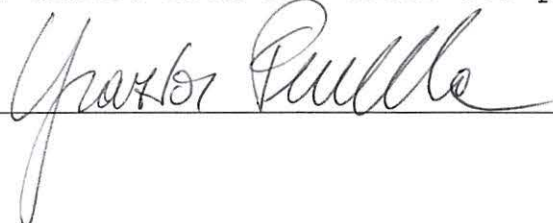
Section 1. Chapter 2 of the Sheboygan Comprehensive Plan establishing future land use classifications is hereby amended by changing the Future Land Use Maps thereof and Use Classifications of the following described lands from Class Central Mixed Use to Class Multi-family Residential Classification:

Property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel #59281506350:

NE ¼ OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST. ORIGINAL PLAT NORTH 1/2 OF LOTS 7,8,9,10 & 11 BLOCK 247 AND THE SOUTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS.

Section 2. All ordinances or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and this ordinance shall be in effect from and after its passage and publication.

Copy



I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

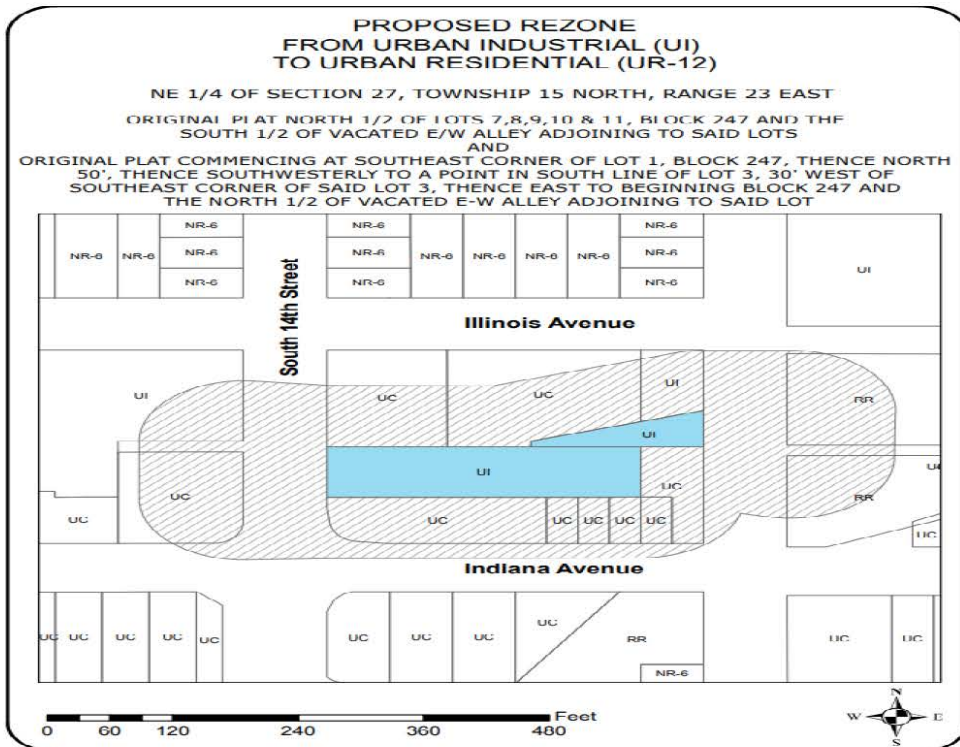
Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

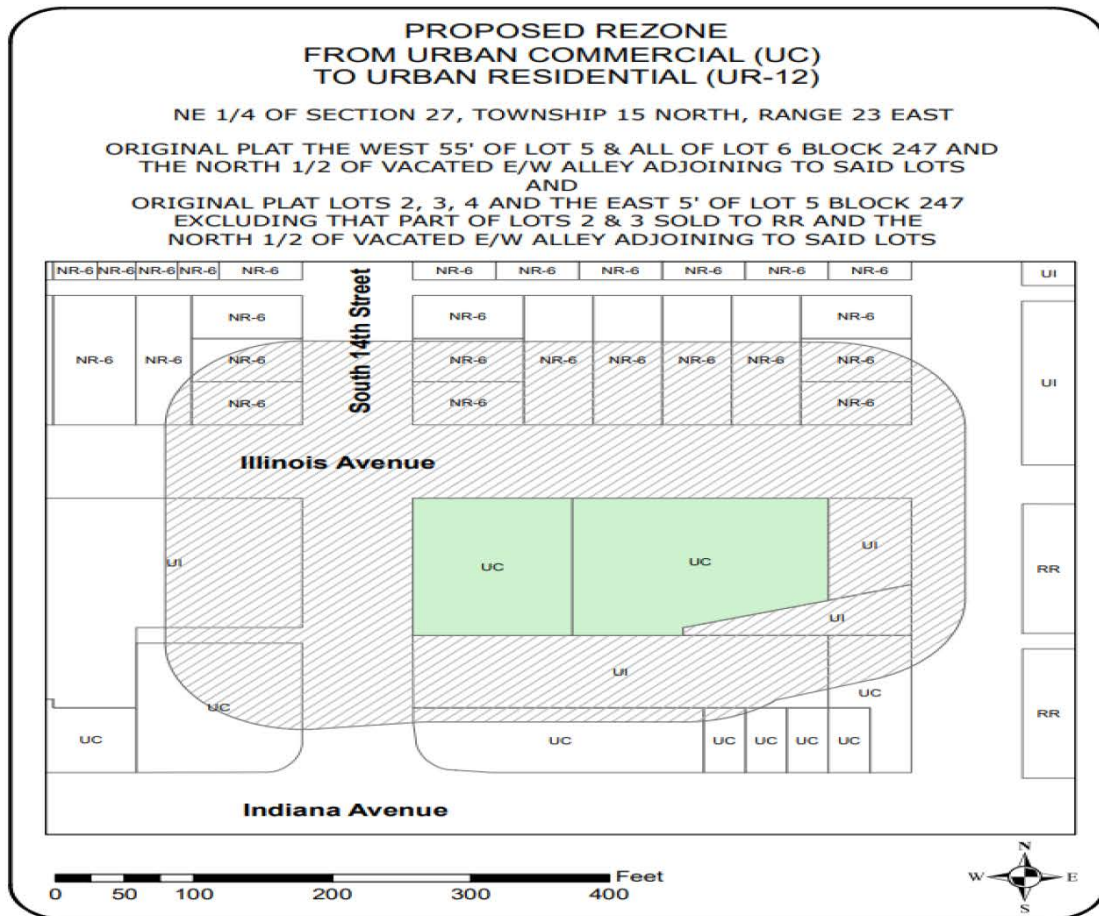
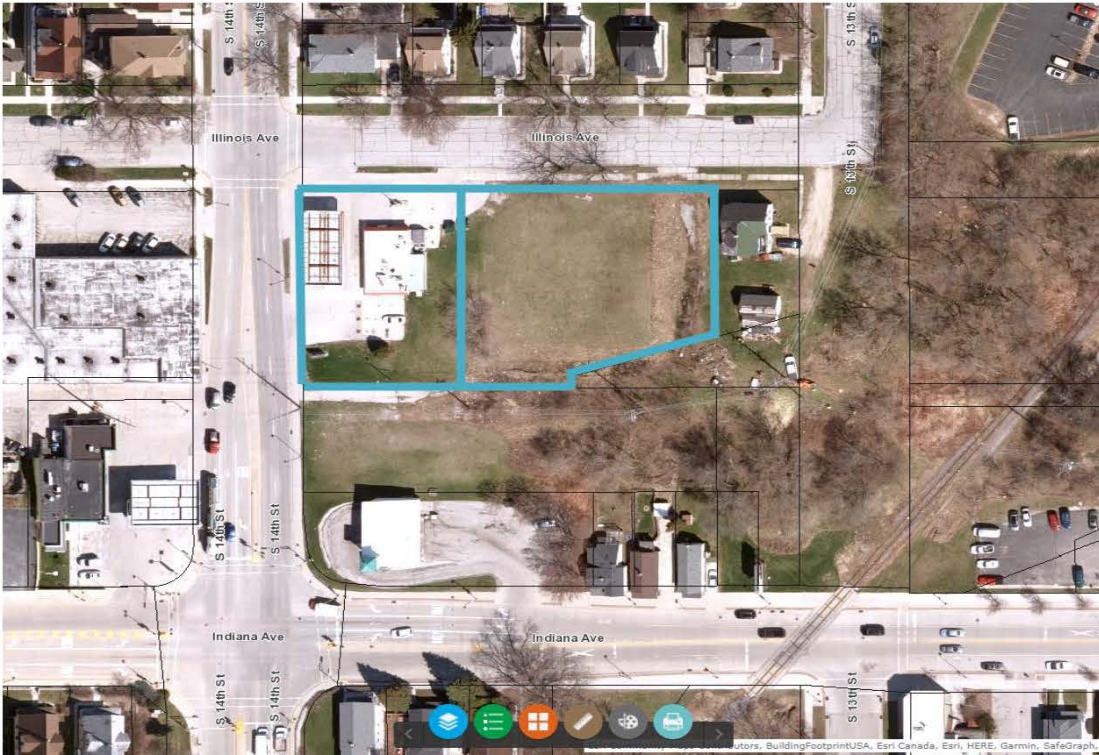
Properties Involved in Comprehensive Plan Map and Rezone Amendments:



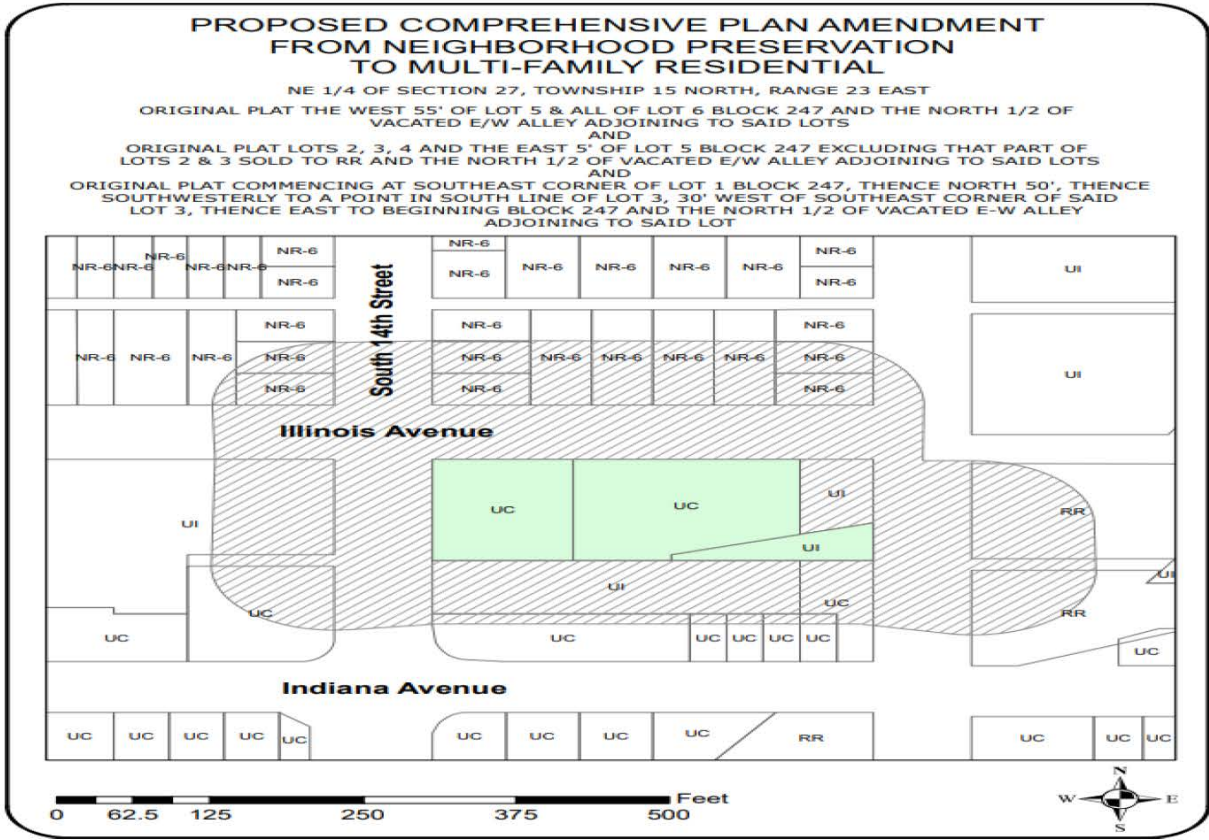
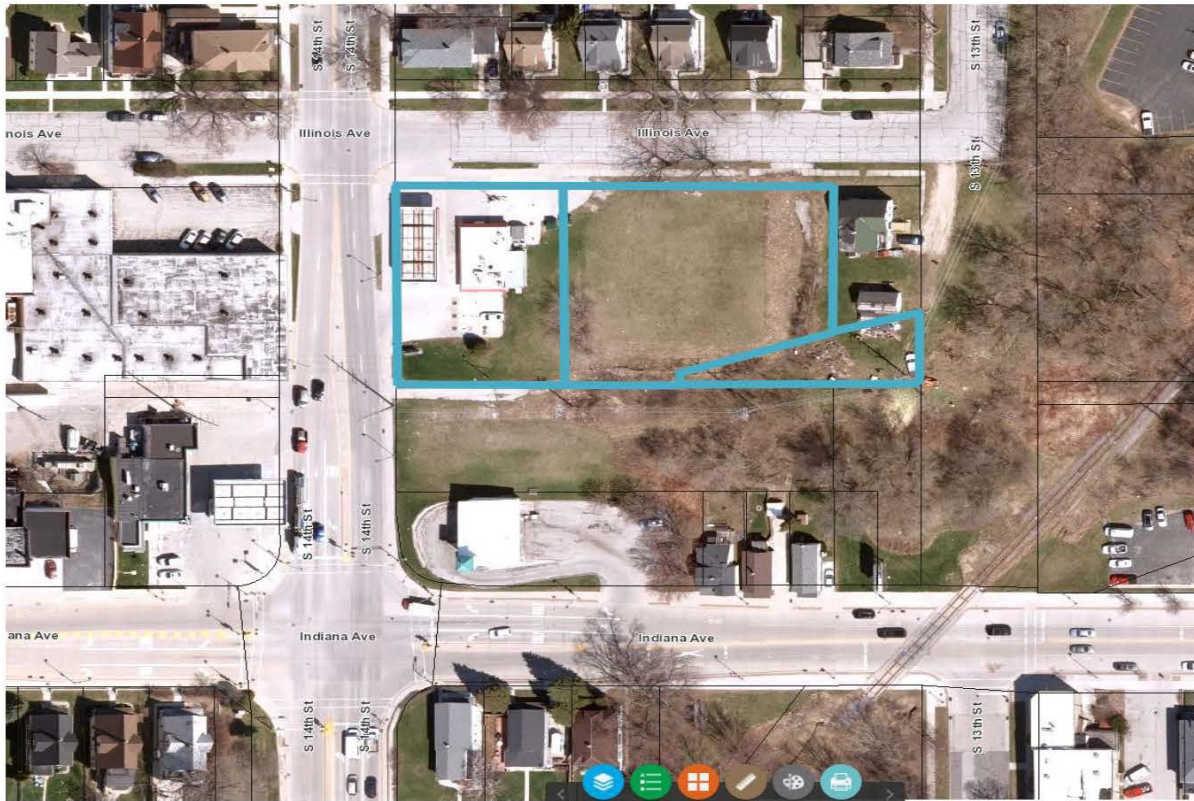
Rezone from Urban Industrial (UI) to Urban Residential (UR-12):

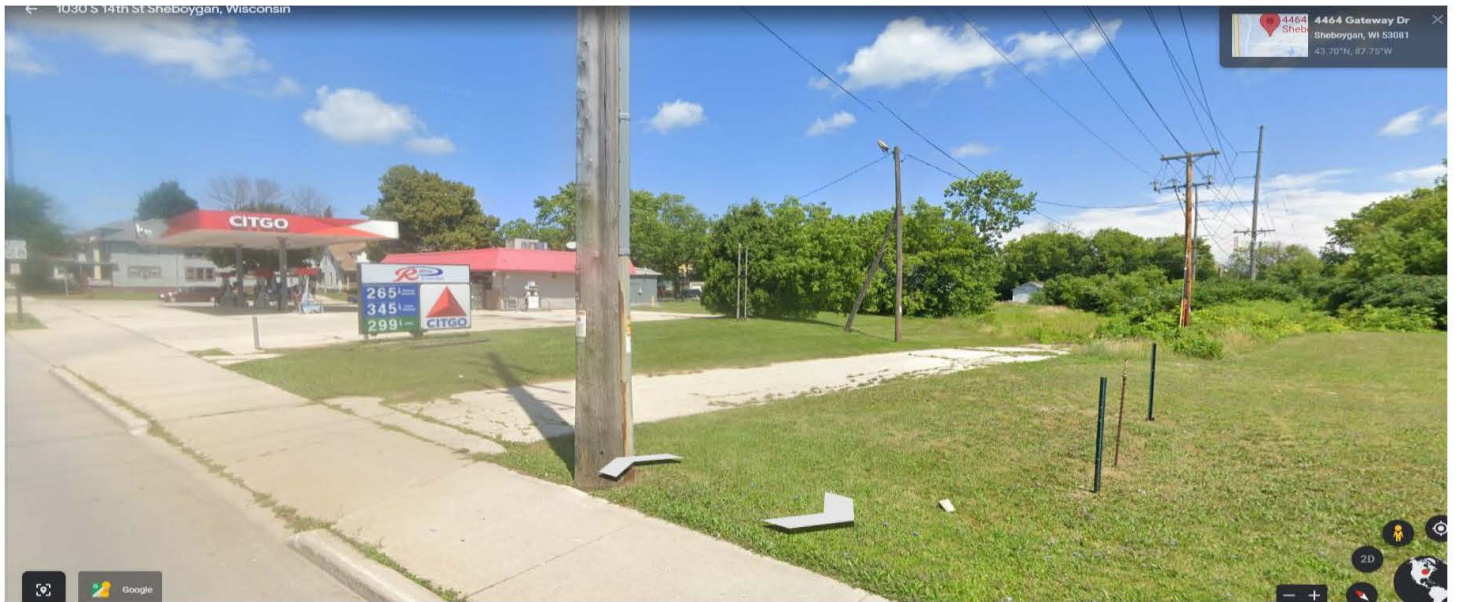


Rezone from Urban Commercial (UC) to Urban Residential (UR-12):



Comprehensive Plan Map Amendment from Neighborhood Preservation to Multi-Family Residential:

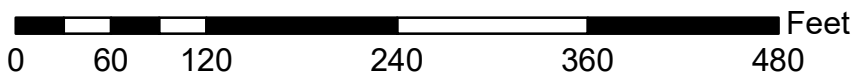
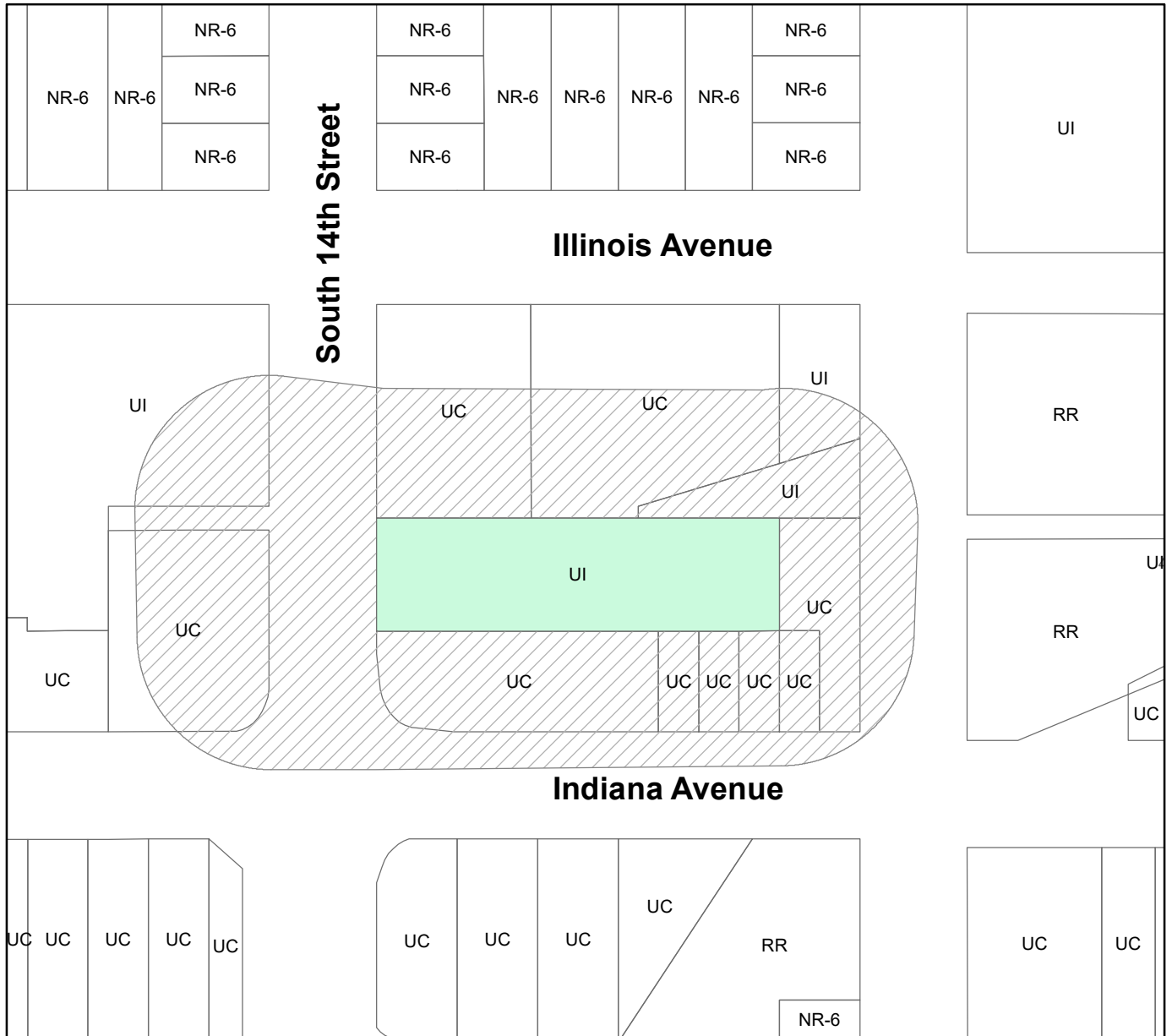




PROPOSED COMPREHENSIVE PLAN AMENDMENT
FROM CENTRAL MIXED USE
TO MULTI-FAMILY RESIDENTIAL

NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST

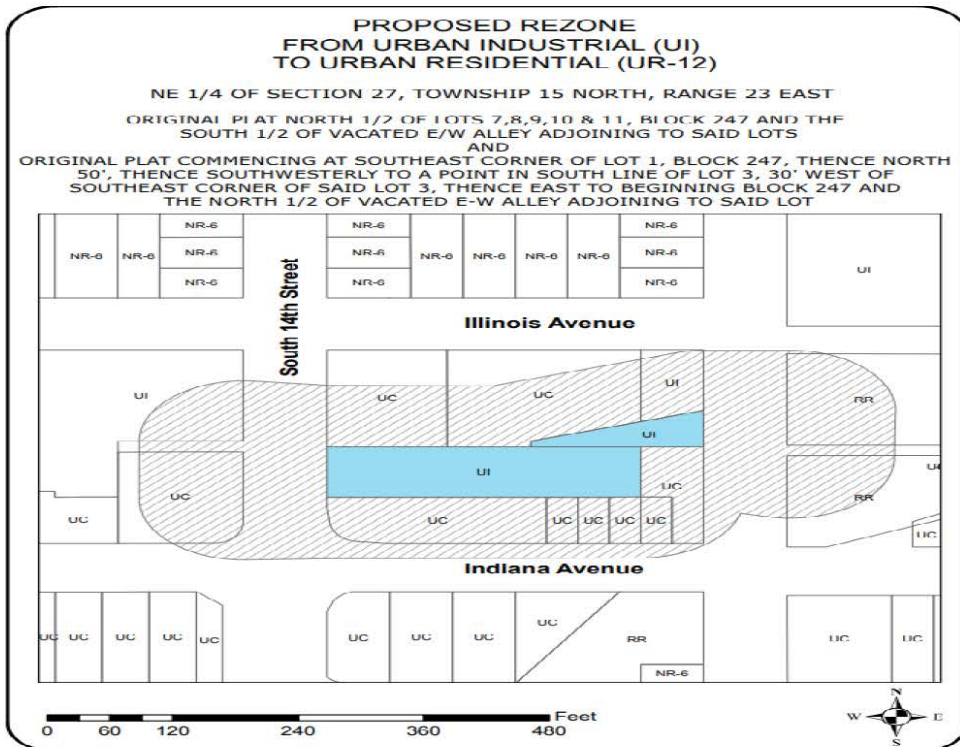
ORIGINAL PLAT NORTH 1/2 OF LOTS 7,8,9,10 & 11 BLOCK 247 AND THE
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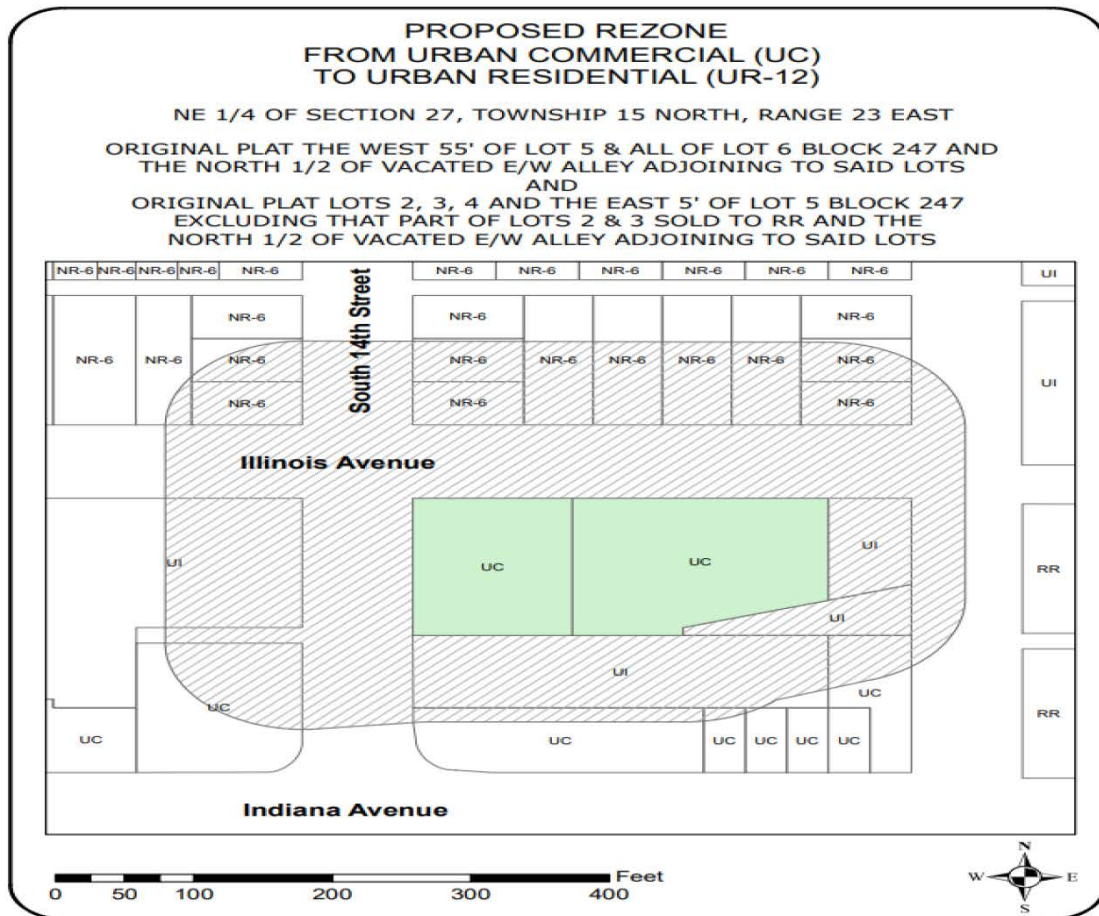
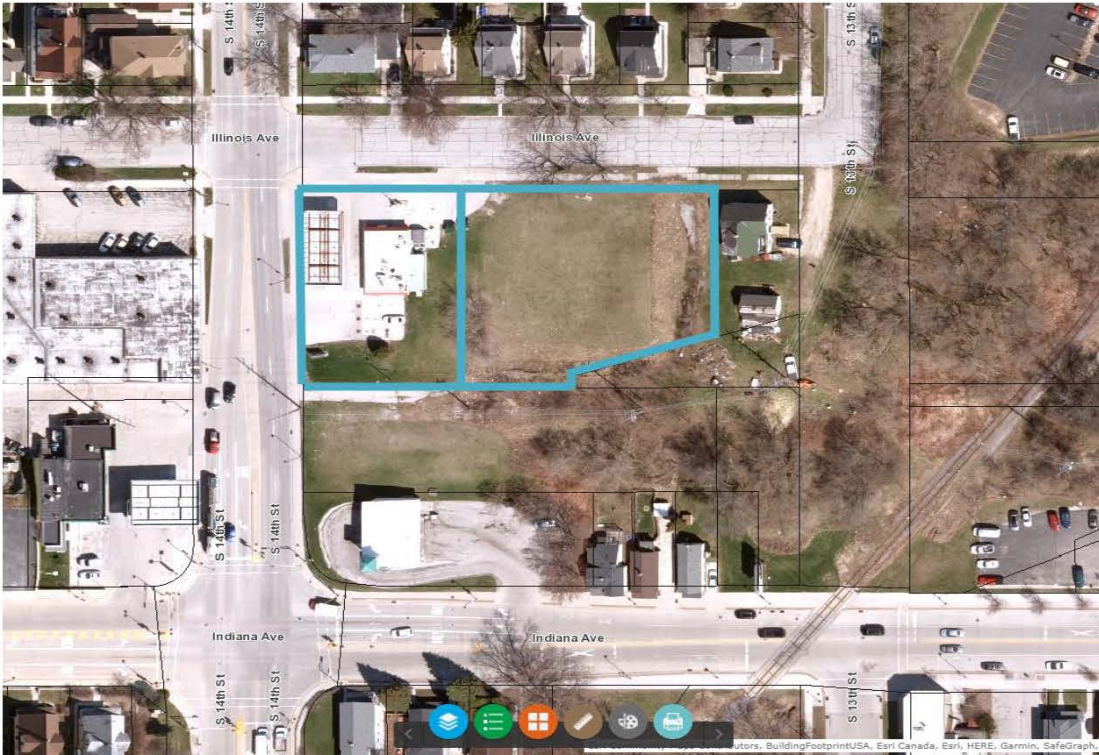
Properties Involved in Comprehensive Plan Map and Rezone Amendments:



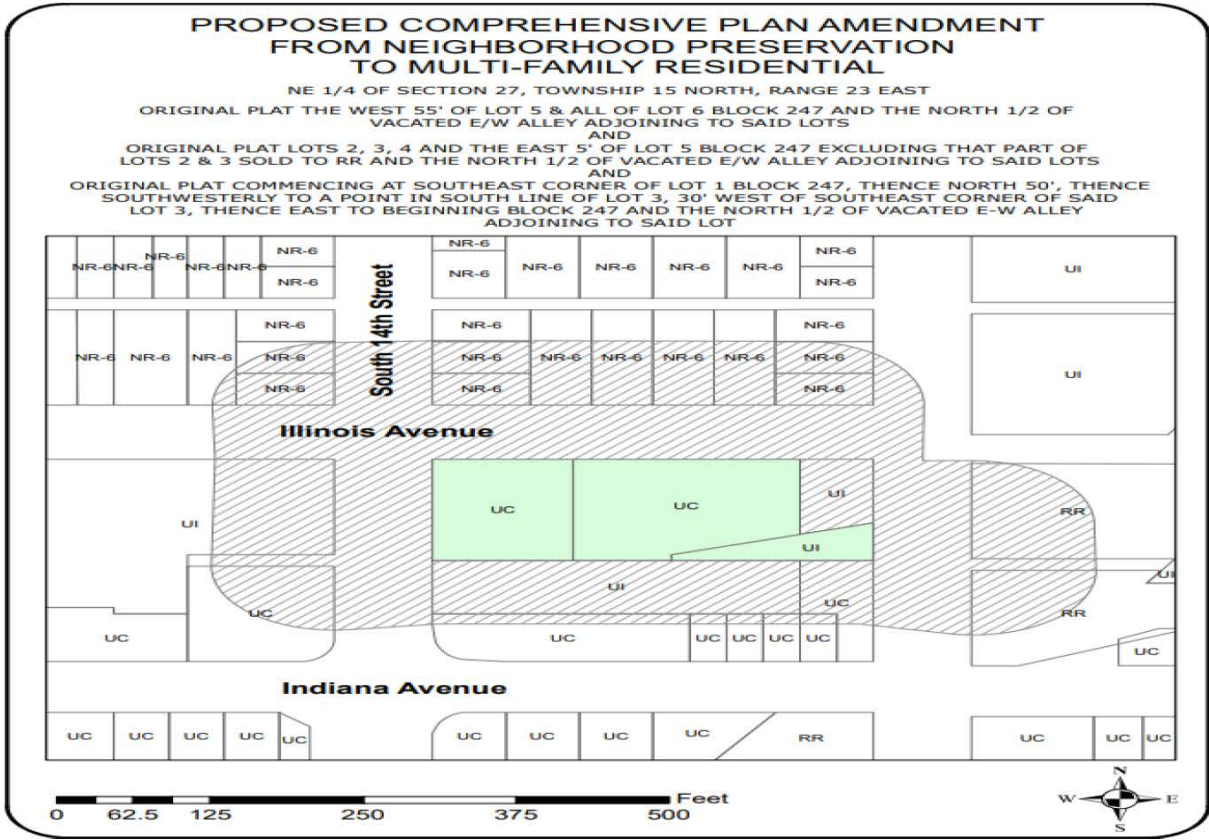
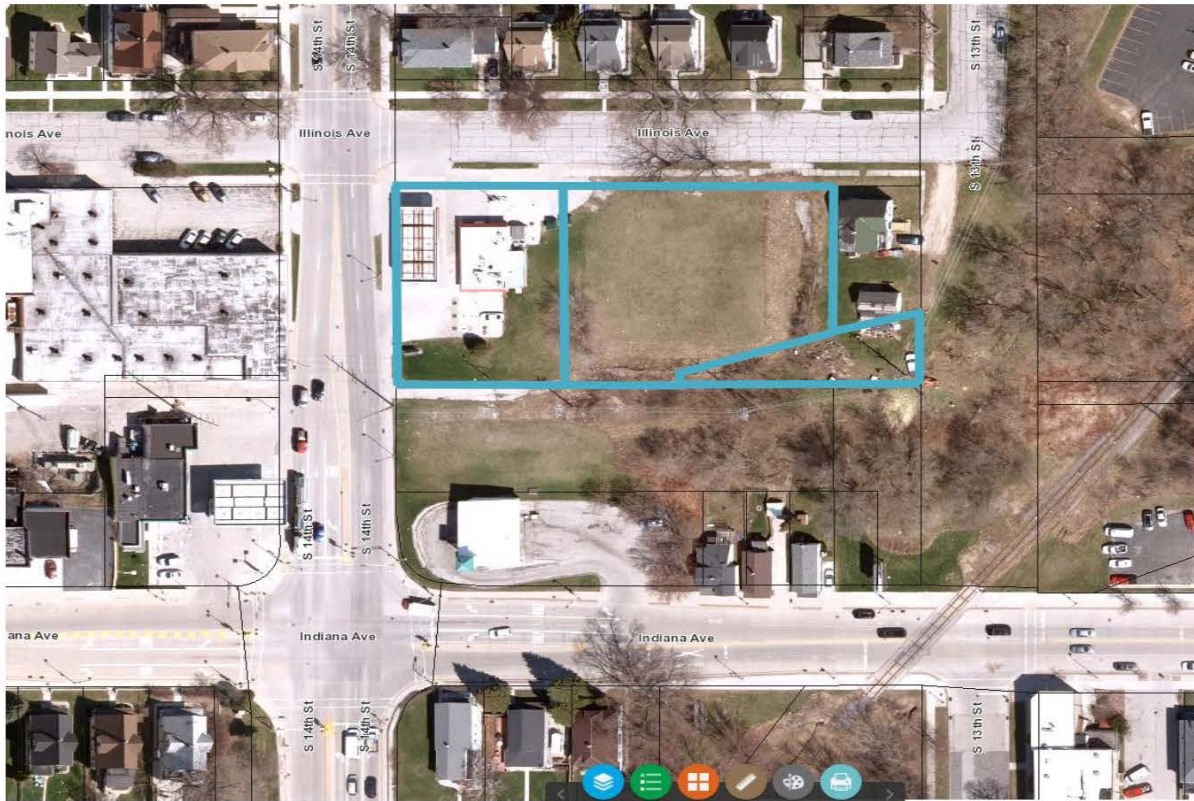
Rezone from Urban Industrial (UI) to Urban Residential (UR-12):

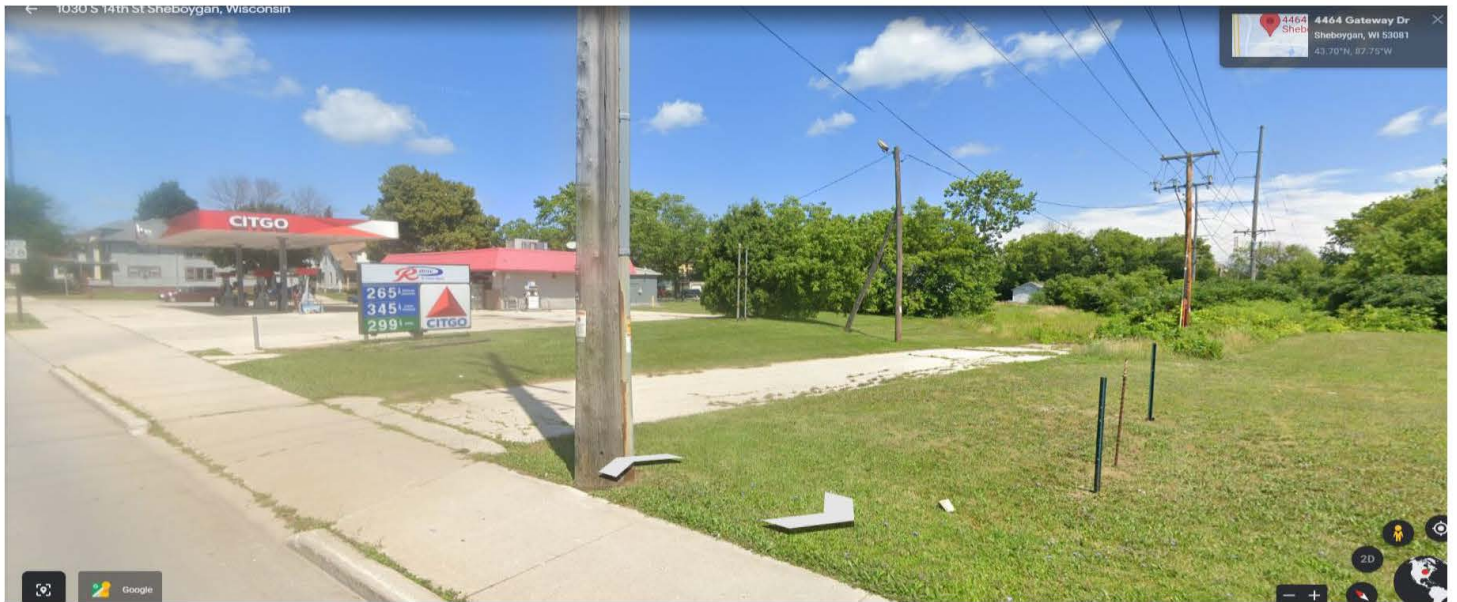


Rezone from Urban Commercial (UC) to Urban Residential (UR-12):



Comprehensive Plan Map Amendment from Neighborhood Preservation to Multi-Family Residential:





CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 0002010600 from Class Central Mixed Use to Class Multi-family Residential Classification.

Gen. Ord. No. 10-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel 00020106260, Parcel 00020106240, and Parcel 00020106200 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

R.O. 04-21-22 and G.O. 16-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel 00020106260 and Parcel 00020106240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

R.O. 00-21-22 and G.O. 17-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 and Parcel 00020106200 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 6, 2021

MEETING DATE: August 10, 2021

FISCAL SUMMARY:

Budget Line Item	N/A
Budget Summary	N/A
Budgeted Expenditure	N/A
Budgeted Revenue	N/A

STATUTORY REFERENCE:

Wisconsin Statutes	N/A
Municipal Code	N/A

BACKGROUND / ANALYSIS:

The Commonwealth Companies is proposing to amend the comprehensive plan map and rezone map as follows

Comprehensive Plan Map

- Parcel s 0020106260, 0020106240 and 0020106200 from **Neighborhood Preservation** to **Multi-family Residential**.
- Parcel s 0020106000 from **Central Mixed Use** to **Multi-Family Residential**

Rezone

- Parcel s 0020106260 and 0020106240 from **Urban Commercial (UC)** to **Urban Residential (UR-12)**.
- Parcel s 0020106000 and 0020106200 from **Urban Industrial (UI)** to **Urban Residential (UR-12)**.

The applicant states the following

- Commonwealth is requesting to rezone the aforementioned parcels to Urban Residential (UR-12) to accommodate the development of 4 units of workforce housing.
- Given this site's location we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to an area of the city that has been stagnant the past several years in a manner that compliments the surrounding single-family houses.
- We believe our architects have captured this vision through various design elements such as the pitched roof, staggered columns presenting various dimensions, and first floor townhome-style units with individual entrances and door overhangs for the units facing Illinois Avenue.
- The proposed zoning map amendment aligns with multiple core City values expressed in Section 1.00, the comprehensive plan, and the recently conducted housing study. For starters, Section 1.00 emphasizes the reduction of street congestion. Evidence across urban municipalities comparable to Sheboygan demonstrate that multi-family buildings get more people out of their cars, and into public transit, while also boosting commuting by bicycle and walking. Denser developments closer to the urban centers place more residents closer to their jobs and cut down commuting distances. On top of that, the proposed development promotes the protection of the public safety for the future tenants by encompassing smart key technology with key-fobs specific for each unit, adequate site lighting, along with 24/7 video surveillance.
- In addition to section 1.00, the proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here for the 14th Street South Parcel. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional workforce housing that supports both existing local employers and the attraction of future employers to Sheboygan.

- Over time, growth patterns for nearly every municipality shift. This is something Commonwealth has experienced often in our 20 years of development experience. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021.
- The in-depth analysis performed by MSA Professional Services indicated a population decrease over the last decade within the City of Sheboygan by 2%. However, population in the region is projected to grow and employers are anticipating continued hiring. The study suggests that population change is directly tied to change in the number of households and the size of those households, both of which are influenced by availability of desirable units within desired markets. Commonwealth is confident this population decrease is not a reflection of Sheboygan being an undesirable market, rather the lack of desirable units. Our objective with the proposed development would be to bridge this gap by providing top-tier units that are truly desirable to the workforce community in efforts of promoting continued population growth for the City of Sheboygan.
- To ensure the proposed development encompasses “desirable-units” beyond construction style, Commonwealth was able to tailor our development by decreasing the overall density to incorporate 20 three-bedroom units as MSA indicated a significant shortage in three (3) Bedroom rental units.
- Another priority focus identified in the study is the utilization of infill development, given the City’s limited greenspace MSA suggests placing a priority on infill housing proposals across the City’s neighborhood enhancement nodes such as the site located on the corner of 14th and Illinois.
- The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable workforce housing units in the City as employment opportunities remain robust. For the variety of reasons outlined above, we believe a rezone to “Urban Residential” will achieve the highest and best use for this site and compliment the surrounding residential neighborhood.

The City of Sheboygan Comprehensive Plan identifies several key initiatives including the following:

- Promoting infill development and redevelopment to grow efficiently, strengthen existing business districts and neighborhoods, and leverage existing infrastructure and connectivity.
- Diversifying the City’s housing stock by supporting market rate infill and redevelopment housing aimed at empty nesters, seniors and young professionals.

The proposed hotel development will accomplish these key initiatives by:

- The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into market-rate housing which provide infill development and be complementary to the adjoining uses.

- Developing a vacant site (former gas station) into additional workforce housing is ideal as it directly borders on residential commercial and industrial zoning districts.
- This is accomplished by fulfilling the demand for housing with a location that balances proximity to urban spaces and amenities with easy and various transportation options.
- Additionally, the proposed development is consistent with the objectives and policies set forth in Chapter 4 Housing and Neighborhood Development of the City of Sheboygan Comprehensive Plan.
- The Sheboygan County Economic Development Corporation conducted a housing survey which concluded in part that there was a need for greater condominium development in the city.
- Support mixed-use development projects that integrate residential and non-residential uses into high-quality, unified places. Mixed-use areas provide nodes of concentrated activity and integrate people with jobs, services, and shopping in a pedestrian-friendly environment.
- Encourage redevelopment and infill development over greenfield development wherever feasible, while planning for long-term growth of office, industrial, commercial, and residential uses in the City.
- Partner with private property owners, developers, and neighbors to realize the greatest potential for each new development and redevelopment site envisioned under this Plan.

The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into a workforce housing apartment complex which will provide infill development and be complementary to the adjoining uses.

The Urban Residential (UR-12) zone is identified as the most appropriate zoning for this type of multi-family development.

STAFF COMMENTS:

The surrounding neighborhood zoning is

- The properties to the north are zoned Neighborhood Residential (NR-6).
- The properties to the south are zoned Urban Commercial (UC).
- The properties to the west are zoned Urban Commercial (UC), Urban Industrial (UI) and Neighborhood Residential (NR-6).
- The properties to the east are zoned Urban Commercial (UC) and Urban Industrial (UI).

It is important for the Plan Commission to understand that if the property zoning designation is changed from UC and UI to UR-12, an applicant could apply to use the property for any use that is permitted and/or conditionally permitted in the UR-12 zone.

If the Common Council approves the rezone, the applicant needs to be aware that a conditional use will need to be submitted to and reviewed by the City of Sheboygan Plan Commission prior to construction of a new multi-family development.

In addition, the applicant is proposing to amend the comprehensive plan for these properties from Neighborhood Preservation and Central Mixed Use to Multi-Family Residential. The property will be designated Multi-Family Residential in the Future Land Use map in the City of Sheboygan Comprehensive Plan which is consistent with the proposed Urban Residential (UR-12) zoning designation being requested

ACTION REQUESTED:

Motion to recommend the Common Council approve Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 from Class Central Mixed Use to Class Multi-family Residential Classification.

Motion to recommend the Common Council approve Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel 00020106260, Parcel 00020106240, and Parcel 00020106200 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 16-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel 00020106260 and Parcel 00020106240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 17-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 and Parcel 00020106200 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

ATTACHMENTS:

Rezone Application and required attachments

X

6.2

Gen. Ord. No. 15 - 21 - 22. By Alderperson Perrella. August 2, 2021.

AN ORDINANCE amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel #59281506260, Parcel #59281506240, and Parcel #59281506230 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Chapter 2 of the Sheboygan Comprehensive Plan establishing future land use classifications is hereby amended by changing the Future Land Use Maps thereof and Use Classifications of the following described lands from Class Neighborhood Preservation to Class Multi-family Residential Classification:

Property located off of the corner of S. 14th Street and Illinois Avenue - Parcel #59281506260, Parcel #59281506240, and Parcel #59281506230:

NE ¼ OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST. ORIGINAL PLAT THE WEST 55' OF LOT 5 & ALL OF LOT 6 BLOCK 247 AND THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS AND ORIGINAL PLAT LOTS 2, 3, 4 AND THE EAST 5' OF LOT 5 BLOCK 247 EXCLUDING THAT PART OF LOTS 2 & 3 SOLD TO RR AND THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS AND ORIGINAL PLAT COMMENCING AT SOUTHEAST CORNER OF LOT 1 BLOCK 247, THENCE NORTH 50', THENCE SOUTHWESTERLY TO A POINT IN SOUTH LINE OF LOT 3, 30' WEST OF SOUTHEAST CORNER OF SAID LOT 3, THENCE EAST TO BEGINNING BLOCK 247 AND THE NORTH 1/2 OF VACATED E-W ALLEY ADJOINING TO SAID LOT.

Section 2. All ordinances or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and this ordinance shall be in effect from and after its passage and publication.

Gary Perrella

City Plan

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

PROPOSED COMPREHENSIVE PLAN AMENDMENT FROM NEIGHBORHOOD PRESERVATION TO MULTI-FAMILY RESIDENTIAL

NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST

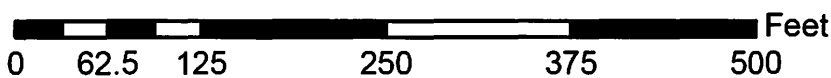
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AND

ORIGINAL PLAT COMMENCING AT SOUTHEAST CORNER OF LOT 1 BLOCK 247, THENCE NORTH 50', THENCE
SOUTHWESTERLY TO A POINT IN SOUTH LINE OF LOT 3, 30' WEST OF SOUTHEAST CORNER OF SAID
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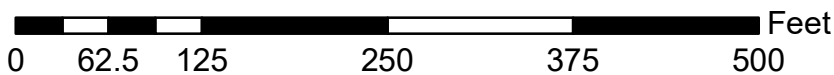
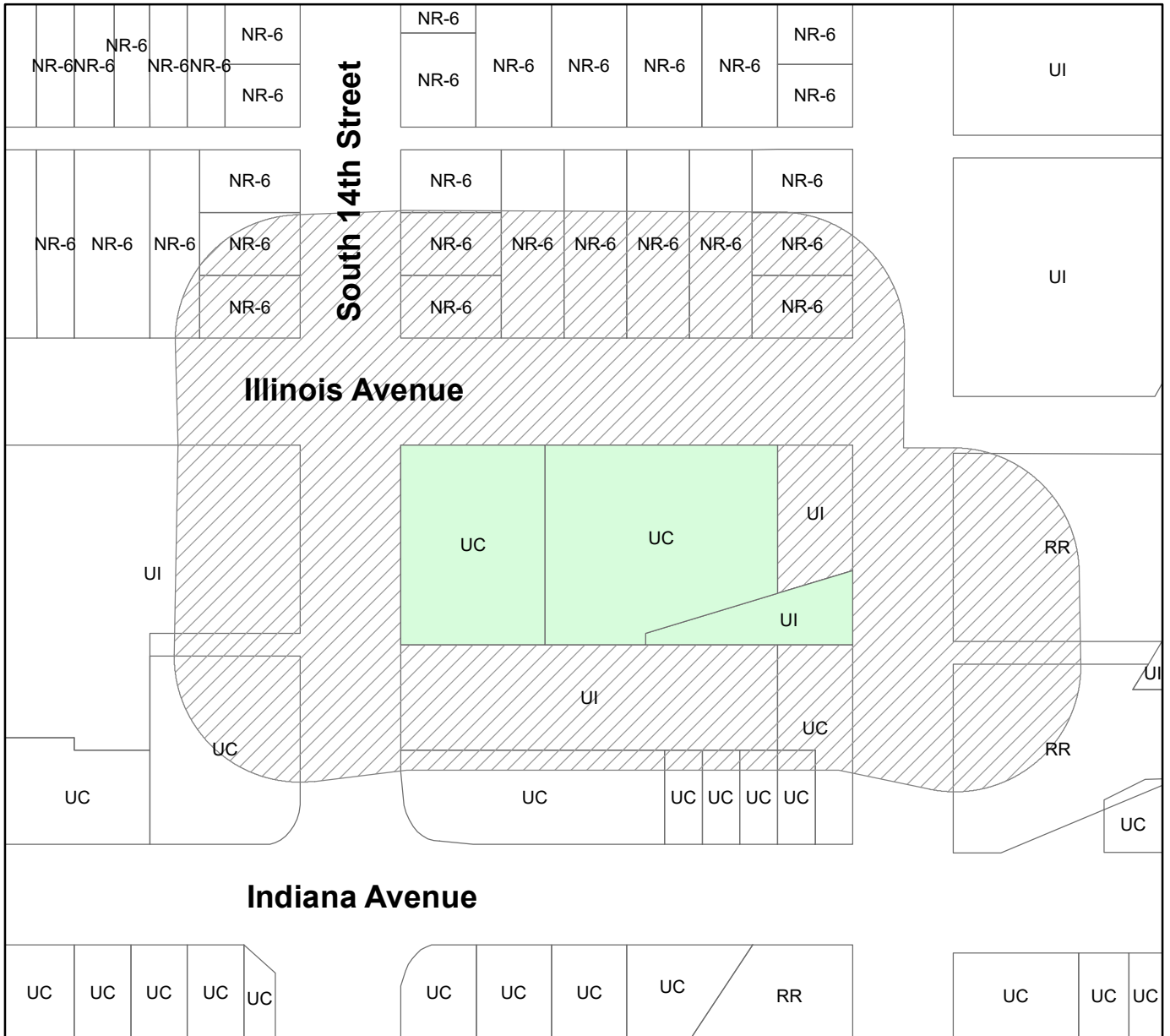
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ADJOINING TO SAID LOT



II

3.3

R. O. No. 54 - 21 - 22. By CITY CLERK. August 2, 2021.

Submitting an application from Commonwealth Development for a change in zoning classification of property located off of S. 14th Street and Illinois Avenue - Parcel #59281506260 and Parcel #59281506240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

CITY CLERK

CityPlan



July 26, 2021

City of Sheboygan
828 Center Avenue
Sheboygan, WI

Re: 1003 14th South Street Proposed Rezone

Dear Mayor Sorenson and Council Members,

Commonwealth is writing this letter to formally request an amendment to the official zoning map for the parcels currently under our control located on the corner of 14th and Illinois (Parcels: 59281506260, 59281506240, 59281506350, 59281506230). We are requesting to rezone the aforementioned parcels to Urban Residential to accommodate the development of 48 units of workforce housing. Given this site's location we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to an area of the city that has been stagnant the past several years in a manner that compliments the surrounding single-family houses. We believe our architects have captured this vision through various design elements such as the pitched roof, staggered columns presenting various dimensions, and first floor townhome-style units with individual entrances and door overhangs for the units facing Illinois street. *Please see the attached rendering for further detail.*

The proposed zoning map amendment aligns with multiple core City values expressed in Section 15.005, the comprehensive plan, and the recently conducted housing study. For starters, Section 15.005 emphasizes the reduction of street congestion. Evidence across urban municipalities comparable to Sheboygan demonstrate that multi-family buildings get more people out of their cars, and into public transit, while also boosting commuting by bicycle and walking. Denser developments closer to the urban centers place more residents closer to their jobs and cut down commuting distances. On top of that, the proposed development promotes the protection of the public safety for the future tenants by encompassing smart key technology with key-fobs specific for each unit, adequate site lighting, along with 24/7 video surveillance.

In addition to section 15.005, the proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here for the 14th Street South Parcel. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional workforce housing that supports both existing local employers and the attraction of future employers to Sheboygan.

Over time, growth patterns for nearly every municipality shift. This is something Commonwealth has experienced often in our 20 years of development experience. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021. The in-depth analysis performed by MSA Professional Services indicated a population decrease over the last decade within the City of Sheboygan by 2%. However, population in the region is projected to grow and employers are anticipating continued hiring. The study suggests that population change is directly tied to change in the number of households and the size of those households, both of which are influenced by availability of desirable units within desired markets. Commonwealth is confident this population decrease is not a reflection of Sheboygan being an undesirable market, rather the lack of desirable units. Our objective with the proposed development would be to bridge this gap by providing top-tier units that are truly desirable to the workforce community in efforts of promoting continued population growth for the City of Sheboygan.

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The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable workforce housing units in the City as employment opportunities remain robust. For the variety of reasons outlined above, we believe a rezone to "Urban Residential" will achieve the highest and best use for this site and compliment the surrounding residential neighborhood.

If you require any further information, feel free to contact me via email or by telephone at (608) 556-2939.



With appreciation,
Tyler Sheeran

OFFICE USE ONLY
APPLICATION NO.: _____
RECEIPT NO.: _____
FILING FEE: \$200.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
AMENDMENT OF OFFICIAL ZONING MAP
(Requirements Per Section 15.903)
Revised May, 2012

Completed application is to be filed with the Office of the City Clerk, City Hall, 828 Center Avenue. Application will not be processed if all required attachments and filing fee of **\$200** (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: **Commonwealth Development** PHONE NO.: **(608) 556-2939**
ADDRESS: **7447 University Ave. Middleton, WI 53562**
E-MAIL: t.sheeran@commonwealthco.net

OWNER OF SITE: **Donald R. Draughon, Jr.** PHONE NO.: **(919) 608-0790.**

2. DESCRIPTION OF THE SUBJECT SITE

ADDRESS OF PROPERTY AFFECTED: **1003 South 14th Street**

LEGAL DESCRIPTION: NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST ORIGINAL PLAT THE WEST 55' OF LOT 5 & ALL OF LOT 6 BLOCK 247 AND THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS AND ORIGINAL PLAT LOTS 2, 3, 4 AND THE EAST 5' OF LOT 5 BLOCK 247 EXCLUDING THAT PART OF LOTS 2 & 3 SOLD TO RR AND THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS

PARCEL NO. **592815006260 and 59281506240** MAP NO. _____

EXISTING ZONING DISTRICT CLASSIFICATION: **Urban Commercial (UC)**

PROPOSED ZONING DISTRICT CLASSIFICATION: **Urban Residential (UR-12)**

BRIEF DESCRIPTION OF THE **EXISTING** OPERATION OR USE: **Currently vacant**

BRIEF DESCRIPTION OF THE **PROPOSED** OPERATION OR USE: **A single 3-story multi-family building consisting of 48 apartment units.**

3. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 15.005 and, for flood plains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources and the Federal Emergency Management Agency? **Please see attached narrative.**

Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Provide explanation in space provided below.)

- The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Master Plan.
- A mistake was made in mapping on the Official Zoning Map. (An area is developing in a manner and purpose different from that for which it is mapped.) *NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading.*
- Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
- Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

Explain: **Please see attached narrative.**

How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property? **Please see attached narrative.**

Indicate reasons why the applicant believes the proposed map amendment is in harmony with the recommendations of the City of Sheboygan Comprehensive Plan.

Please see attached narrative.

4. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

July 26, 2021

DATE

Tyler Sheeran

PRINT ABOVE NAME

APPLICATION SUBMITTAL REQUIREMENTS

A copy of the current zoning map of the subject property and vicinity showing:

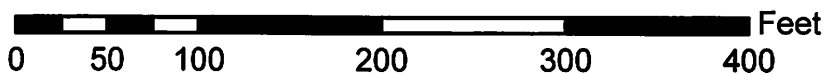
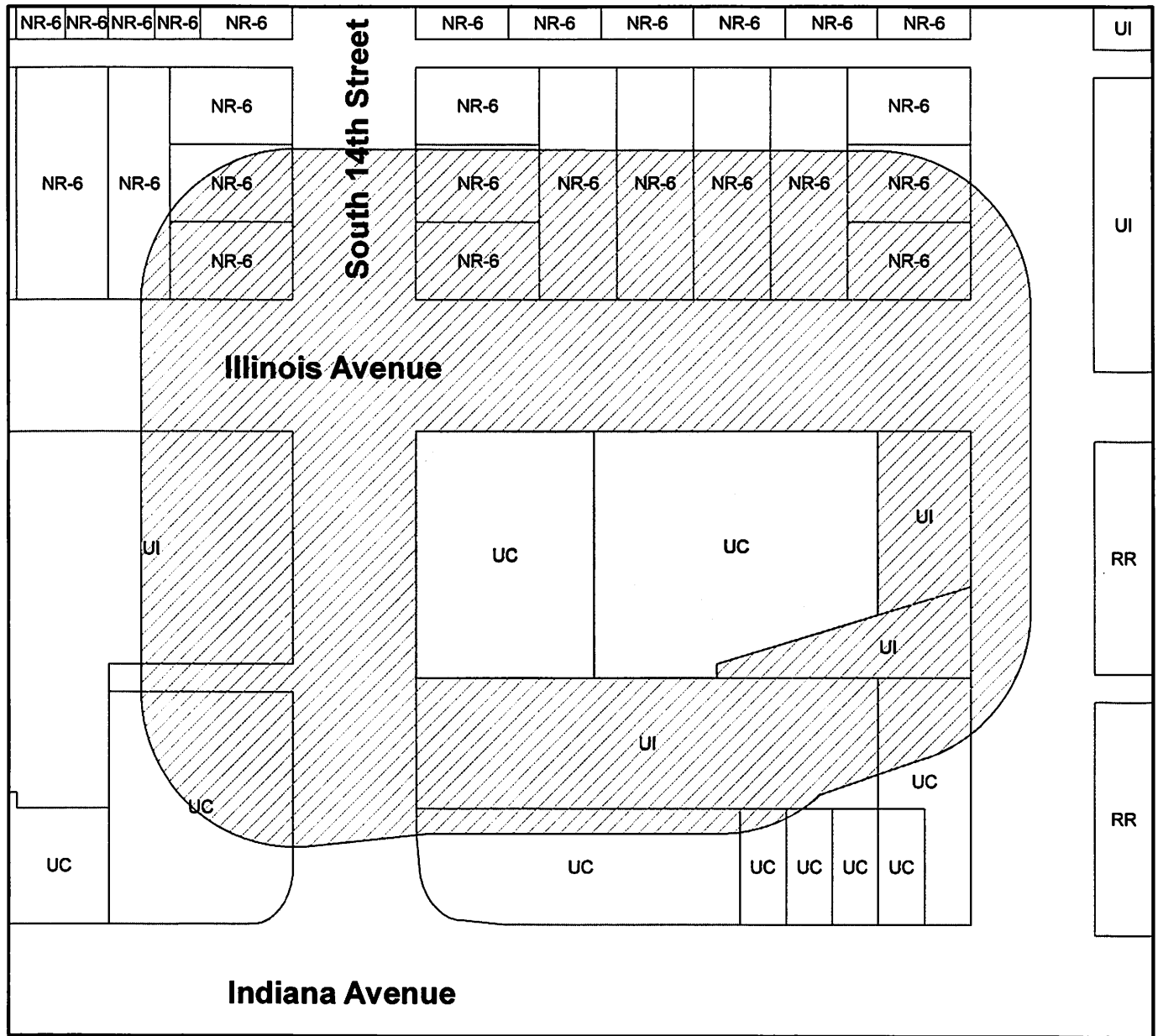
- The property proposed to be rezoned.
- All lot dimensions of the subject property.
- All other lands within 200 feet of the subject property.
- Map size not more than 11" X 17" and map scale not less than 1" = 600'.
- Graphic scale and north arrow.

PROPOSED REZONE FROM URBAN COMMERCIAL (UC) TO URBAN RESIDENTIAL (UR-12)

NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST

ORIGINAL PLAT THE WEST 55' OF LOT 5 & ALL OF LOT 6 BLOCK 247 AND
THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS
AND

ORIGINAL PLAT LOTS 2, 3, 4 AND THE EAST 5' OF LOT 5 BLOCK 247
EXCLUDING THAT PART OF LOTS 2 & 3 SOLD TO RR AND THE
NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS





PROPOSED APARTMENTS

14TH ST & ILLINOIS AVE
SHEBOYGAN, WI



PRELIMINARY SHEET DATES:

M.A. DESIGN, INC.
 24 SOUTH BROOKE STREET
 FOND DU LAC, WISCONSIN 54607
 INFO@MADDESIGN.COM (920) 922-4170

COMMONWEALTH COMPANIES
 FOND DU LAC, WISCONSIN 54607
 (920) 922-4170 FAX: (920) 922-4171



PROPOSED APARTMENTS
 14TH STREET & ILLINOIS AVENUE
 SHEBOYGAN, WI

JOB NUMBER: 2021.134
 SHEET: C1.0

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



PRELIMINARY
 SITE PLAN
 NORTH
 SCALE 1"=20'

Riiser Fuels, LLC
709 S. 20th Ave.
Wausau, WI

July 23, 2021

Sheboygan City Hall
828 Center Ave
Sheboygan, WI 53081

Re: Rezone Application 1003 S. 14th St

To Whom It May Concern,

I, Donald R. Draughon, Jr., President of Riiser Fuels, LLC (seller), authorize Commonwealth Development Corporation of America (buyer) to submit a rezone application for my property located at 1003 South 14th Street, Sheboygan, WI (Parcel #s 59281506260, 59281506240, 59281506350, 59281506230)

If you require any further information, feel free to contact me via email or by telephone at (919) 608-0790.

With appreciation,



Donald R. Draughon, Jr.
President
Riiser Fuels, LLC

CLK322B

City Of Sheboygan
City Clerk's Office

* General Receipt *

Receipt No: 211265

License No: 0000

Date: 07/28/2021

Received By: MMD

Received From: COMMONWEALTH DEVELOPMENT CORP

Memo: REZONE PARCELS 59281506260 AND 15281506240

Method of Payment: \$200.00 Check No. 2594

Total Received: \$200.00

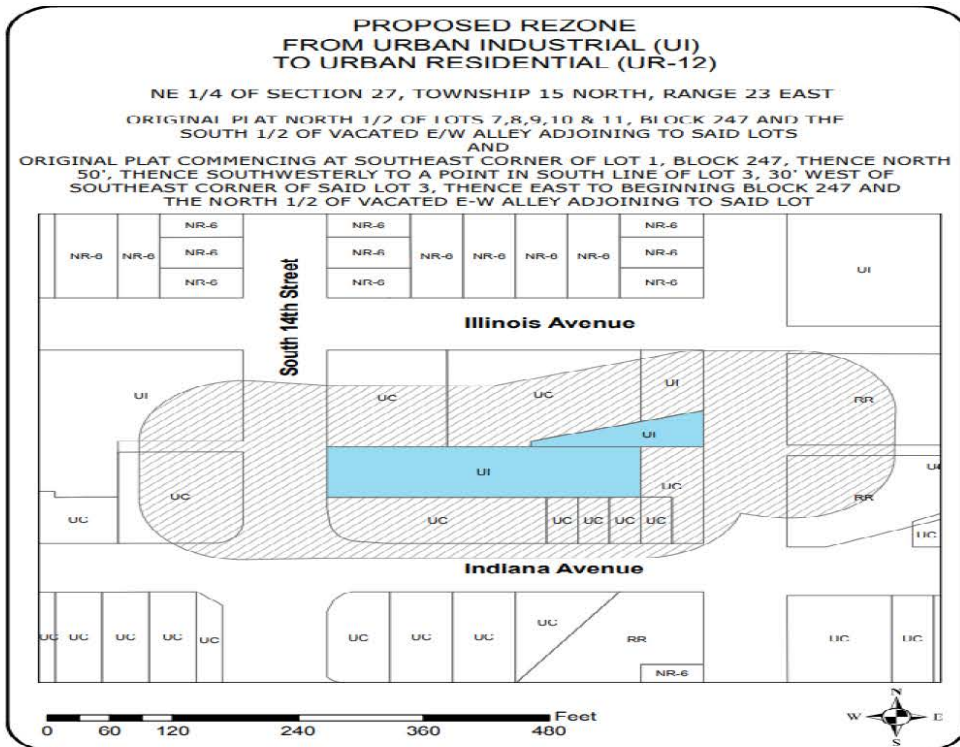
<u>Fee Description</u>	<u>Fee</u>
Zoning Change	200.00

This document signifies receipt of fees in the amount indicated above.

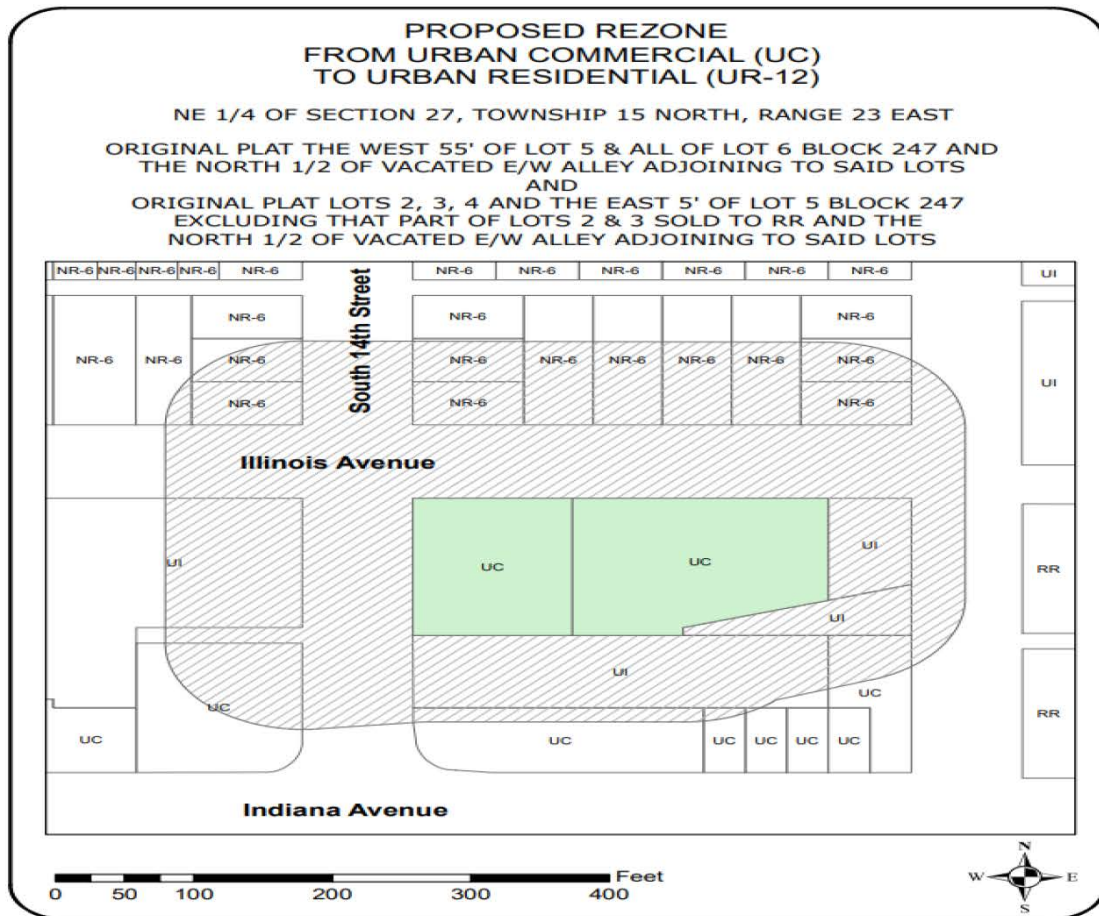
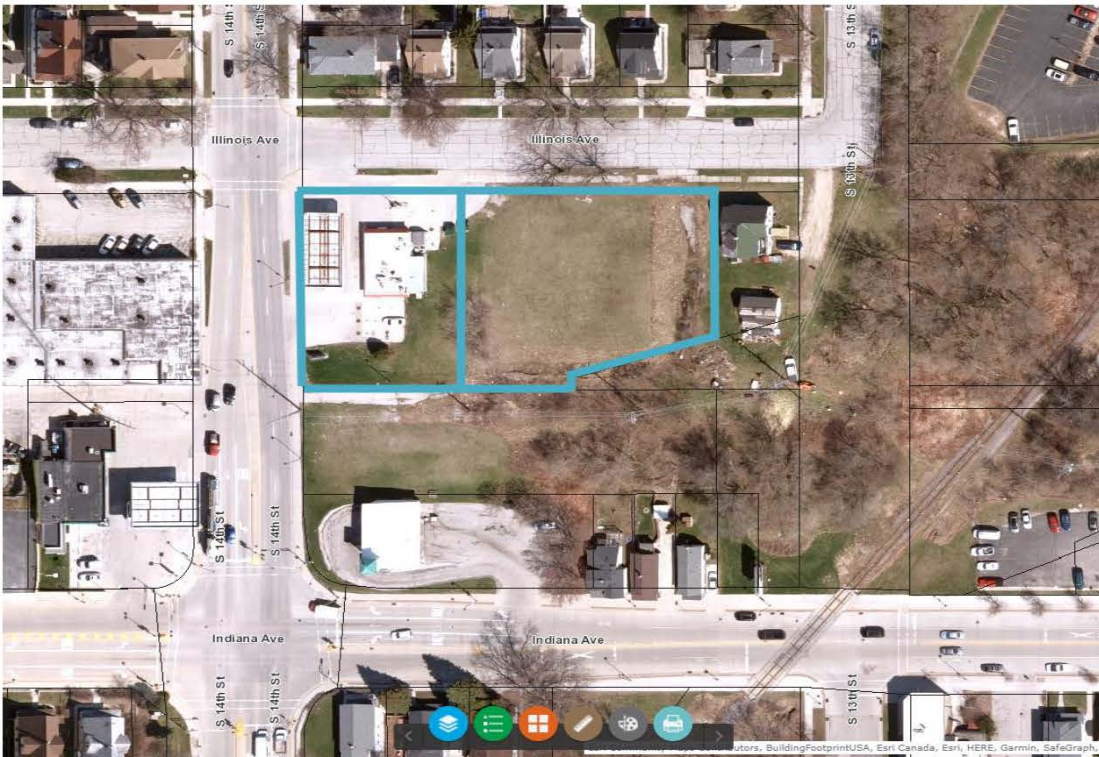
Properties Involved in Comprehensive Plan Map and Rezone Amendments:



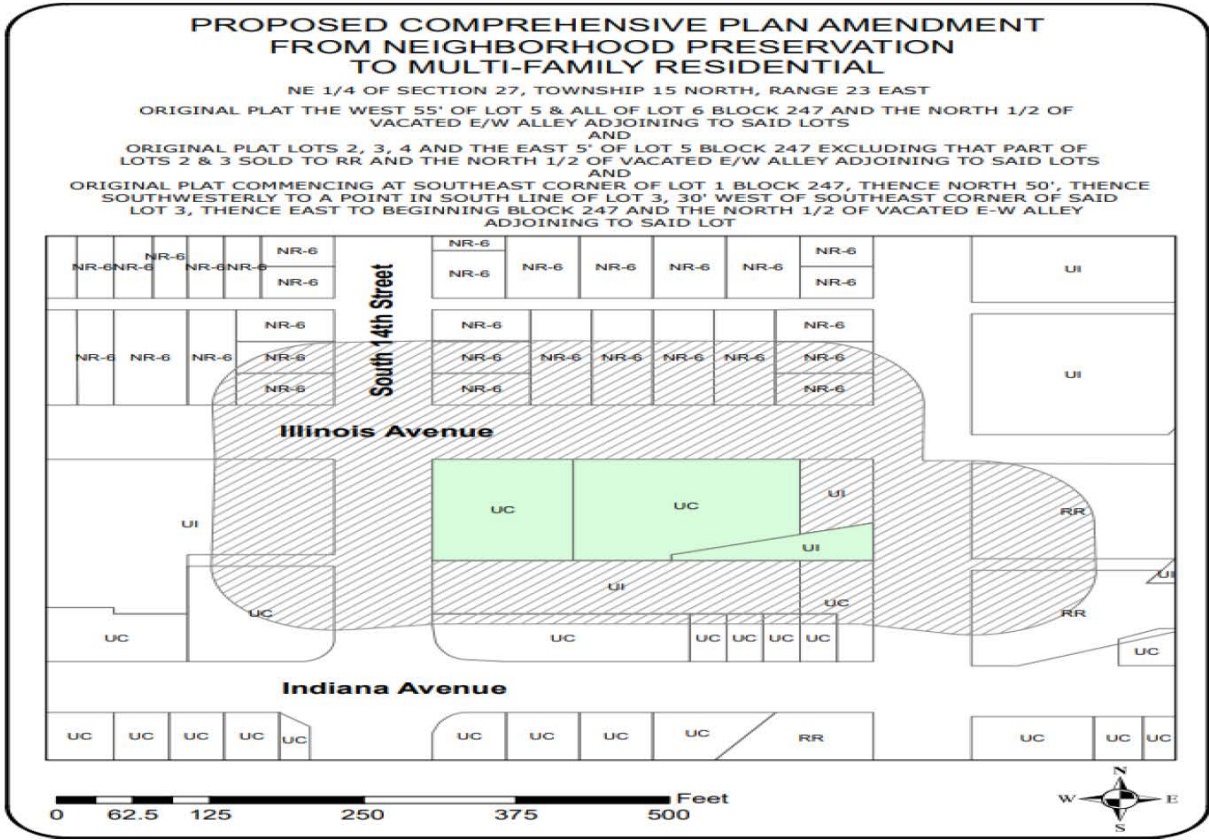
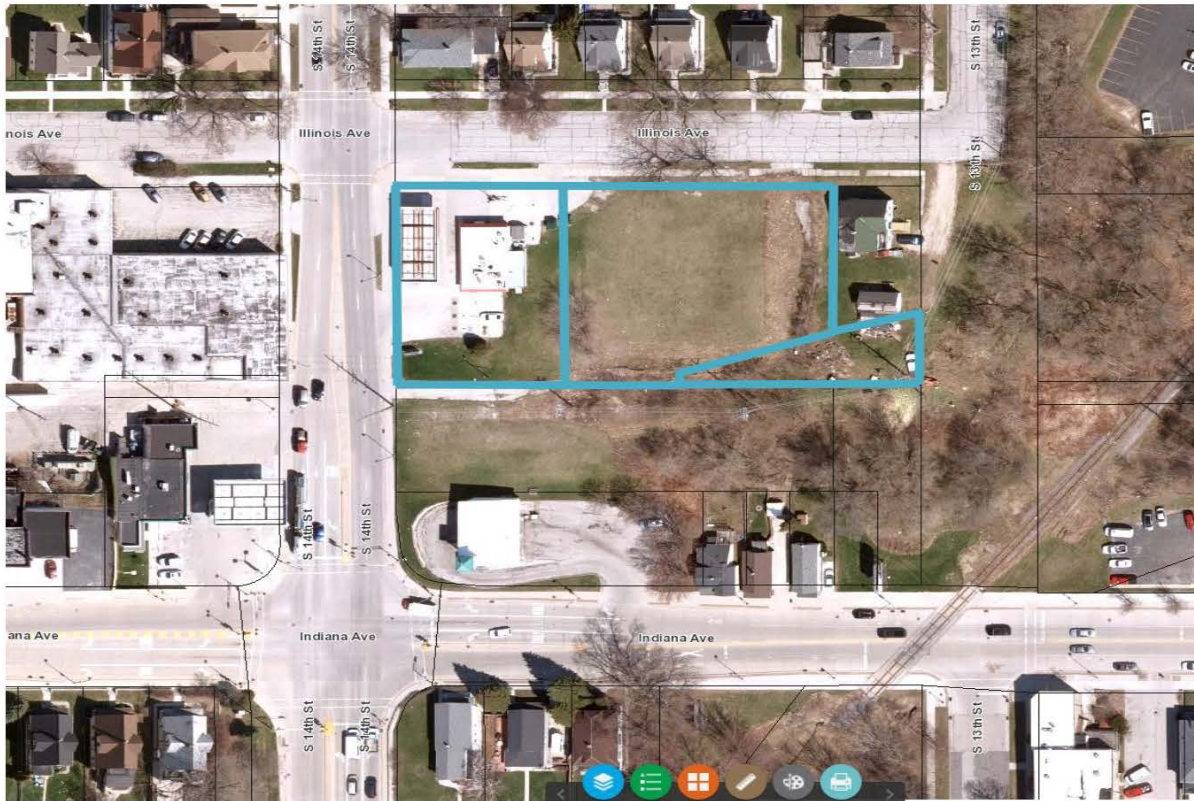
Rezone from Urban Industrial (UI) to Urban Residential (UR-12):

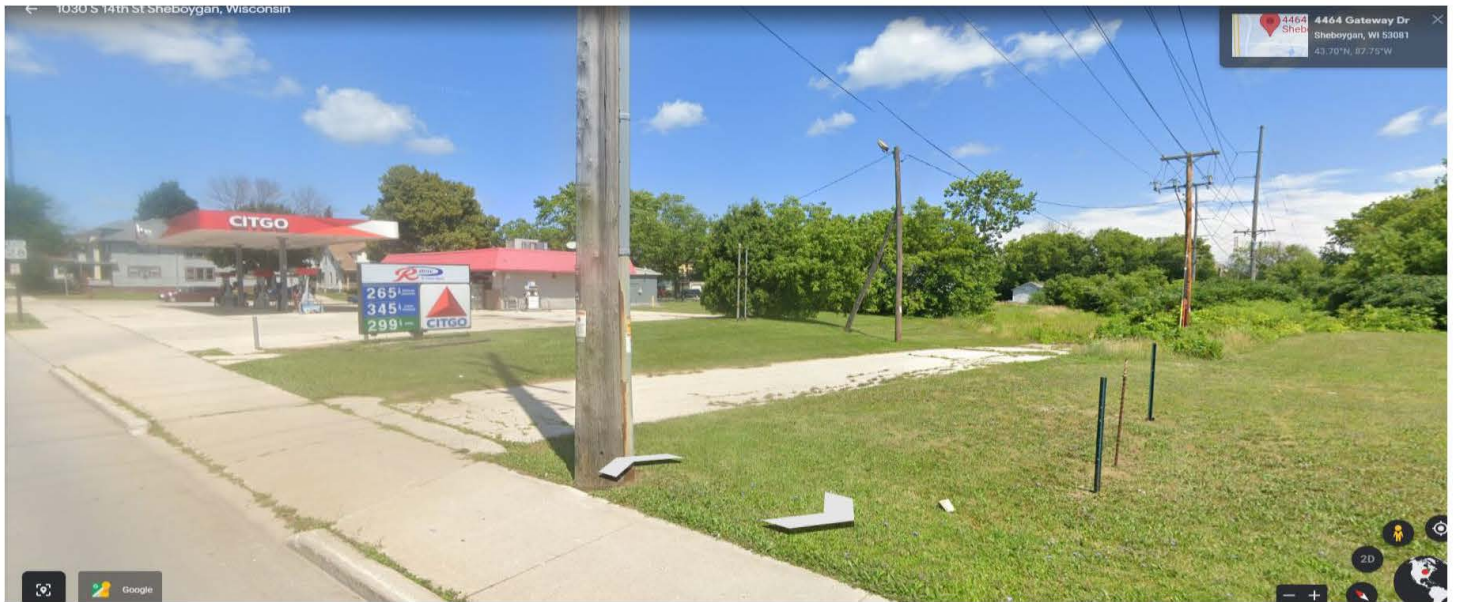


Rezone from Urban Commercial (UC) to Urban Residential (UR-12):



Comprehensive Plan Map Amendment from Neighborhood Preservation to Multi-Family Residential:





CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 0002010600 from Class Central Mixed Use to Class Multi-family Residential Classification.

Gen. Ord. No. 10-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel 00020106260, Parcel 00020106240, and Parcel 00020106200 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

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REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 6, 2021

MEETING DATE: August 10, 2021

FISCAL SUMMARY:

Budget Line Item	N/A
Budget Summary	N/A
Budgeted Expenditure	N/A
Budgeted Revenue	N/A

STATUTORY REFERENCE:

Wisconsin Statutes	N/A
Municipal Code	N/A

BACKGROUND / ANALYSIS:

The Commonwealth Companies is proposing to amend the comprehensive plan map and rezone map as follows

Comprehensive Plan Map

- Parcel s 0020106260, 0020106240 and 0020106200 from **Neighborhood Preservation** to **Multi-family Residential**.
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The applicant states the following

- Commonwealth is requesting to rezone the aforementioned parcels to Urban Residential (UR-12) to accommodate the development of 4 units of workforce housing.
- Given this site's location we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to an area of the city that has been stagnant the past several years in a manner that compliments the surrounding single-family houses.
- We believe our architects have captured this vision through various design elements such as the pitched roof, staggered columns presenting various dimensions, and first floor townhome-style units with individual entrances and door overhangs for the units facing Illinois Avenue.
- The proposed zoning map amendment aligns with multiple core City values expressed in Section 100, the comprehensive plan, and the recently conducted housing study. For starters, Section 100 emphasizes the reduction of street congestion. Evidence across urban municipalities comparable to Sheboygan demonstrate that multi-family buildings get more people out of their cars, and into public transit, while also boosting commuting by bicycle and walking. Denser developments closer to the urban centers place more residents closer to their jobs and cut down commuting distances. On top of that, the proposed development promotes the protection of the public safety for the future tenants by encompassing smart key technology with key-fobs specific for each unit, adequate site lighting, along with 24/7 video surveillance.
- In addition to section 100, the proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here for the 14th Street South Parcel. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional workforce housing that supports both existing local employers and the attraction of future employers to Sheboygan.

- Over time, growth patterns for nearly every municipality shift. This is something Commonwealth has experienced often in our 20 years of development experience. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021.
- The in-depth analysis performed by MSA Professional Services indicated a population decrease over the last decade within the City of Sheboygan by 2%. However, population in the region is projected to grow and employers are anticipating continued hiring. The study suggests that population change is directly tied to change in the number of households and the size of those households, both of which are influenced by availability of desirable units within desired markets. Commonwealth is confident this population decrease is not a reflection of Sheboygan being an undesirable market, rather the lack of desirable units. Our objective with the proposed development would be to bridge this gap by providing top-tier units that are truly desirable to the workforce community in efforts of promoting continued population growth for the City of Sheboygan.
- To ensure the proposed development encompasses “desirable-units” beyond construction style, Commonwealth was able to tailor our development by decreasing the overall density to incorporate 20 three-bedroom units as MSA indicated a significant shortage in three (3) Bedroom rental units.
- Another priority focus identified in the study is the utilization of infill development, given the City’s limited greenspace MSA suggests placing a priority on infill housing proposals across the City’s neighborhood enhancement nodes such as the site located on the corner of 14th and Illinois.
- The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable workforce housing units in the City as employment opportunities remain robust. For the variety of reasons outlined above, we believe a rezone to “Urban Residential” will achieve the highest and best use for this site and compliment the surrounding residential neighborhood.

The City of Sheboygan Comprehensive Plan identifies several key initiatives including the following:

- Promoting infill development and redevelopment to grow efficiently, strengthen existing business districts and neighborhoods, and leverage existing infrastructure and connectivity.
- Diversifying the City’s housing stock by supporting market rate infill and redevelopment housing aimed at empty nesters, seniors and young professionals.

The proposed hotel development will accomplish these key initiatives by:

- The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into market-rate housing which provide infill development and be complementary to the adjoining uses.

- Developing a vacant site (former gas station) into additional workforce housing is ideal as it directly borders on residential commercial and industrial zoning districts.
- This is accomplished by fulfilling the demand for housing with a location that balances proximity to urban spaces and amenities with easy and various transportation options.
- Additionally, the proposed development is consistent with the objectives and policies set forth in Chapter 4 Housing and Neighborhood Development of the City of Sheboygan Comprehensive Plan.
- The Sheboygan County Economic Development Corporation conducted a housing survey which concluded in part that there was a need for greater condominium development in the city.
- Support mixed-use development projects that integrate residential and non-residential uses into high-quality, unified places. Mixed-use areas provide nodes of concentrated activity and integrate people with jobs, services, and shopping in a pedestrian-friendly environment.
- Encourage redevelopment and infill development over greenfield development wherever feasible, while planning for long-term growth of office, industrial, commercial, and residential uses in the City.
- Partner with private property owners, developers, and neighbors to realize the greatest potential for each new development and redevelopment site envisioned under this Plan.

The proposed multi-family development will accomplish these key initiatives, allowing the redevelopment of a vacant, underutilized site into a workforce housing apartment complex which will provide infill development and be complementary to the adjoining uses.

The Urban Residential (UR-12) zone is identified as the most appropriate zoning for this type of multi-family development.

STAFF COMMENTS:

The surrounding neighborhood zoning is

- The properties to the north are zoned Neighborhood Residential (NR-6).
- The properties to the south are zoned Urban Commercial (UC).
- The properties to the west are zoned Urban Commercial (UC), Urban Industrial (UI) and Neighborhood Residential (NR-6).
- The properties to the east are zoned Urban Commercial (UC) and Urban Industrial (UI).

It is important for the Plan Commission to understand that if the property zoning designation is changed from UC and UI to UR-12, an applicant could apply to use the property for any use that is permitted and/or conditionally permitted in the UR-12 zone.

If the Common Council approves the rezone, the applicant needs to be aware that a conditional use will need to be submitted to and reviewed by the City of Sheboygan Plan Commission prior to construction of a new multi-family development.

In addition, the applicant is proposing to amend the comprehensive plan for these properties from Neighborhood Preservation and Central Mixed Use to Multi-Family Residential. The property will be designated Multi-Family Residential in the Future Land Use map in the City of Sheboygan Comprehensive Plan which is consistent with the proposed Urban Residential (UR-12) zoning designation being requested

ACTION REQUESTED:

Motion to recommend the Common Council approve Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 from Class Central Mixed Use to Class Multi-family Residential Classification.

Motion to recommend the Common Council approve Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel 00020106260, Parcel 00020106240, and Parcel 00020106200 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 16-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel 00020106260 and Parcel 00020106240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 17-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 and Parcel 00020106200 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

ATTACHMENTS:

Rezone Application and required attachments

I

6.3

Gen. Ord. No. 16 - 21 - 22. By Alderperson Perrella. August 2, 2021.

AN ORDINANCE amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel #59281506260 and Parcel #59281506240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Appendix A, Chapter 15 of the Sheboygan Zoning Ordinance establishing zoning districts and prescribing zoning standards and regulations is hereby amended by changing the Official Zoning Map thereof and Use District Classification of the following described lands from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification:

Property located off of S. 14th Street and Illinois Avenue - Parcel #59281506260 and Parcel #59281506240:

NE ¼ OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST. ORIGINAL PLAT THE WEST 55' OF LOT 5 & ALL OF LOT 6 BLOCK 247 AND THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS AND ORIGINAL PLAT LOTS 2, 3, 4 AND THE EAST 5' OF LOT 5 BLOCK 247 EXCLUDING THAT PART OF LOTS 2 & 3 SOLD TO RR AND THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS

Section 2. All ordinances or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and this ordinance shall be in effect from and after its passage and publication.

Copy

Gravo Perrella

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

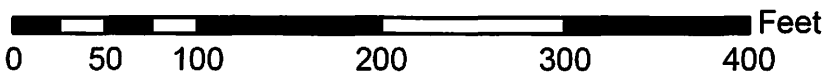
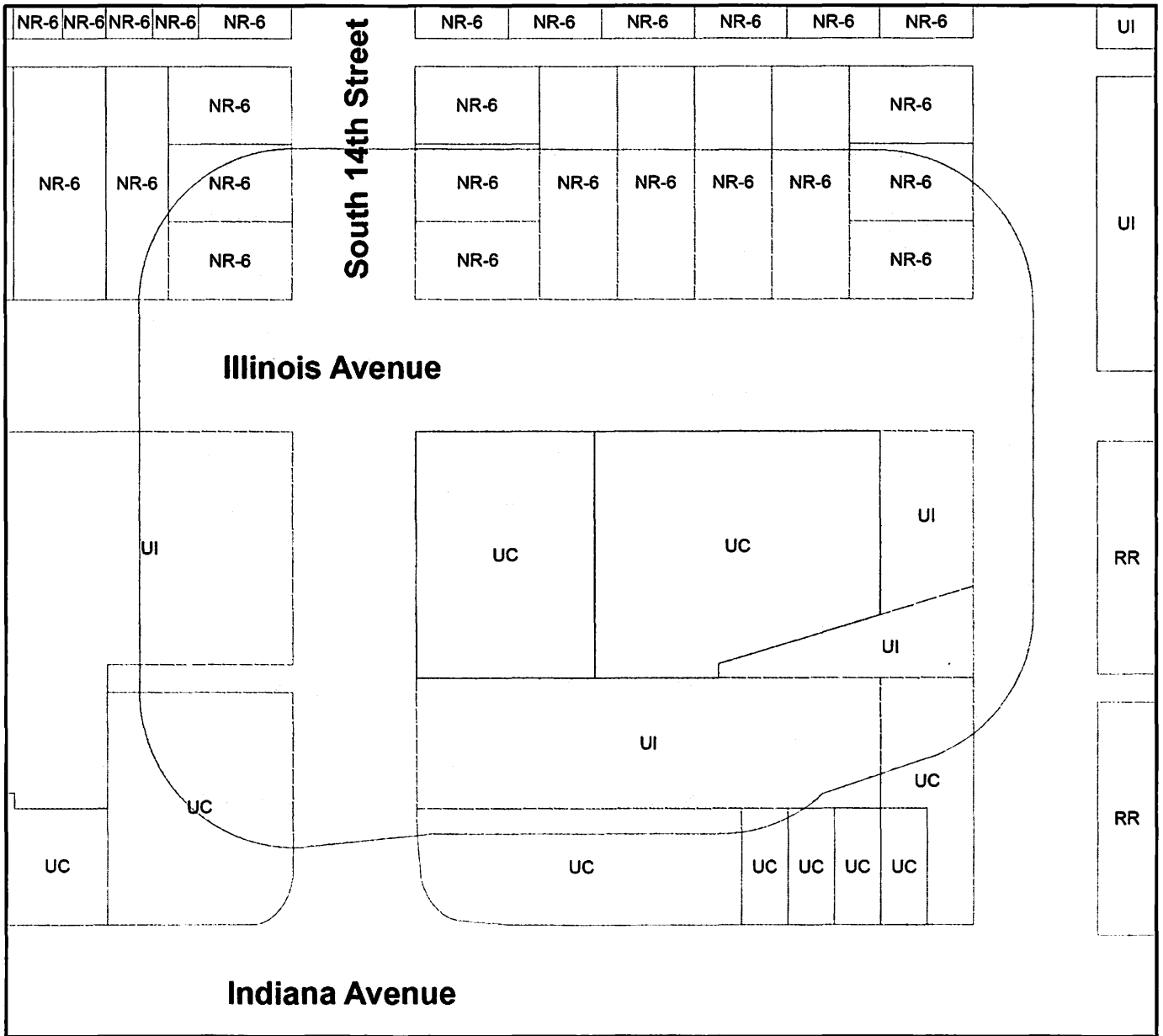
Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

PROPOSED REZONE FROM URBAN COMMERCIAL (UC) TO URBAN RESIDENTIAL (UR-12)

NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST

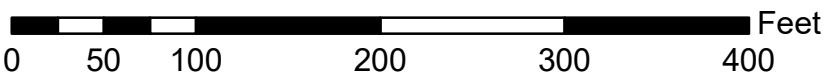
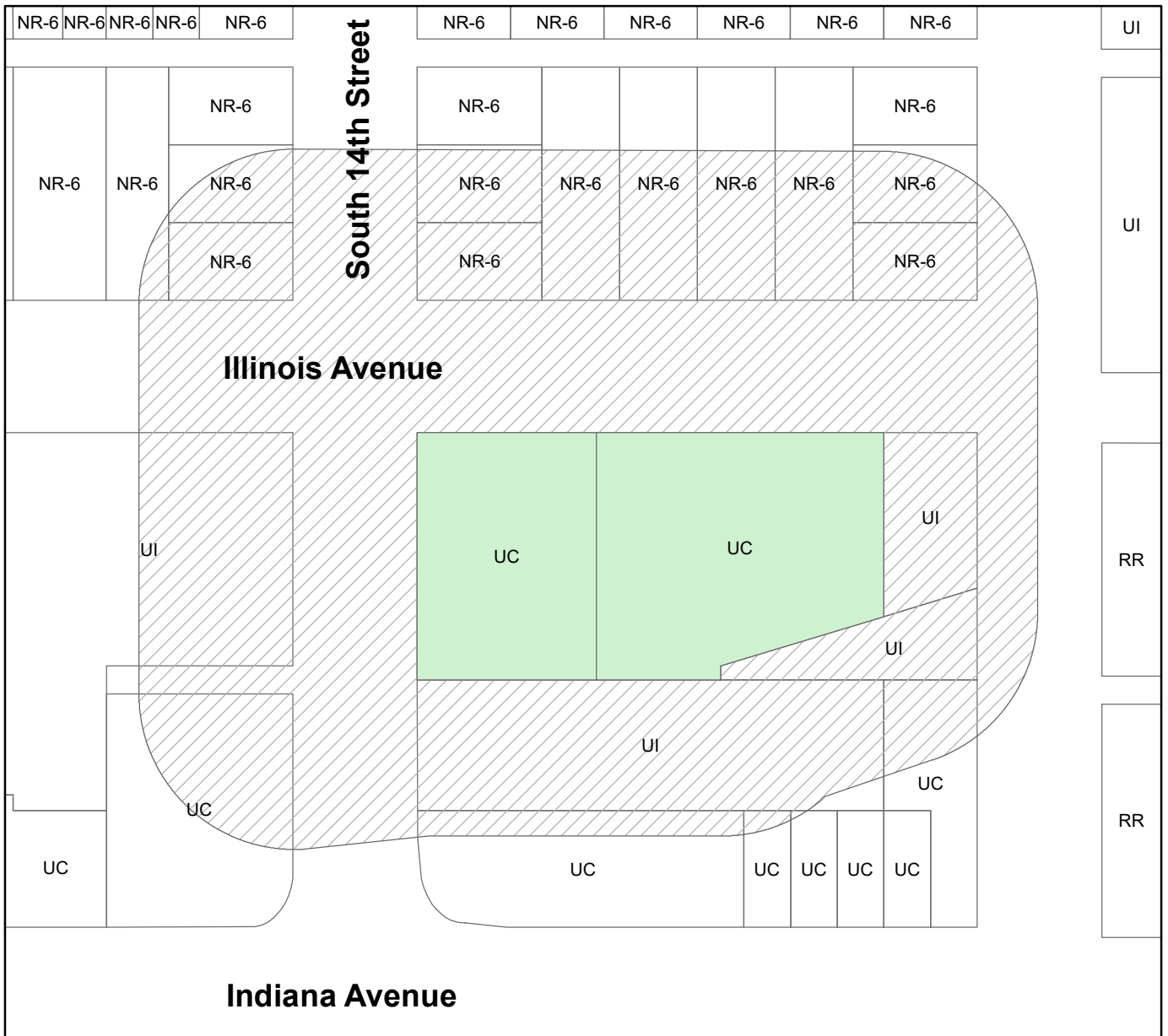
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THE NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS
AND
ORIGINAL PLAT LOTS 2, 3, 4 AND THE EAST 5' OF LOT 5 BLOCK 247
EXCLUDING THAT PART OF LOTS 2 & 3 SOLD TO RR AND THE
NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS



PROPOSED REZONE FROM URBAN COMMERCIAL (UC) TO URBAN RESIDENTIAL (UR-12)

NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST

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ORIGINAL PLAT LOTS 2, 3, 4 AND THE EAST 5' OF LOT 5 BLOCK 247
EXCLUDING THAT PART OF LOTS 2 & 3 SOLD TO RR AND THE
NORTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS



X

64

Gen. Ord. No. 17- 21 - 22. By Alderperson Perrella. August 2, 2021.

AN ORDINANCE amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel #59281506350 and Parcel #59281506230 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Appendix A, Chapter 15 of the Sheboygan Zoning Ordinance establishing zoning districts and prescribing zoning standards and regulations is hereby amended by changing the Official Zoning Map thereof and Use District Classification of the following described lands from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification:

Property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel #59281506350 and Parcel #59281506230:

NE ¼ OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST. ORIGINAL PLAT NORTH 1/2 OF LOTS 7,8,9,10 & 11, BLOCK 247 AND THE SOUTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS AND ORIGINAL PLAT COMMENCING AT SOUTHEAST CORNER OF LOT 1, BLOCK 247, THENCE NORTH 50', THENCE SOUTHWESTERLY TO A POINT IN SOUTH LINE OF LOT 3, 30' WEST OF SOUTHEAST CORNER OF SAID LOT 3, THENCE EAST TO BEGINNING BLOCK 247 AND THE NORTH 1/2 OF VACATED E-W ALLEY ADJOINING TO SAID LOT.

Section 2. All ordinances or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and this ordinance shall be in effect from and after its passage and publication.

City Plan

James Perrella

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

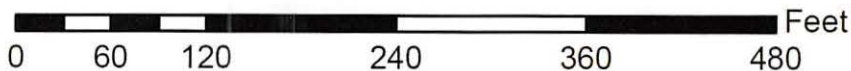
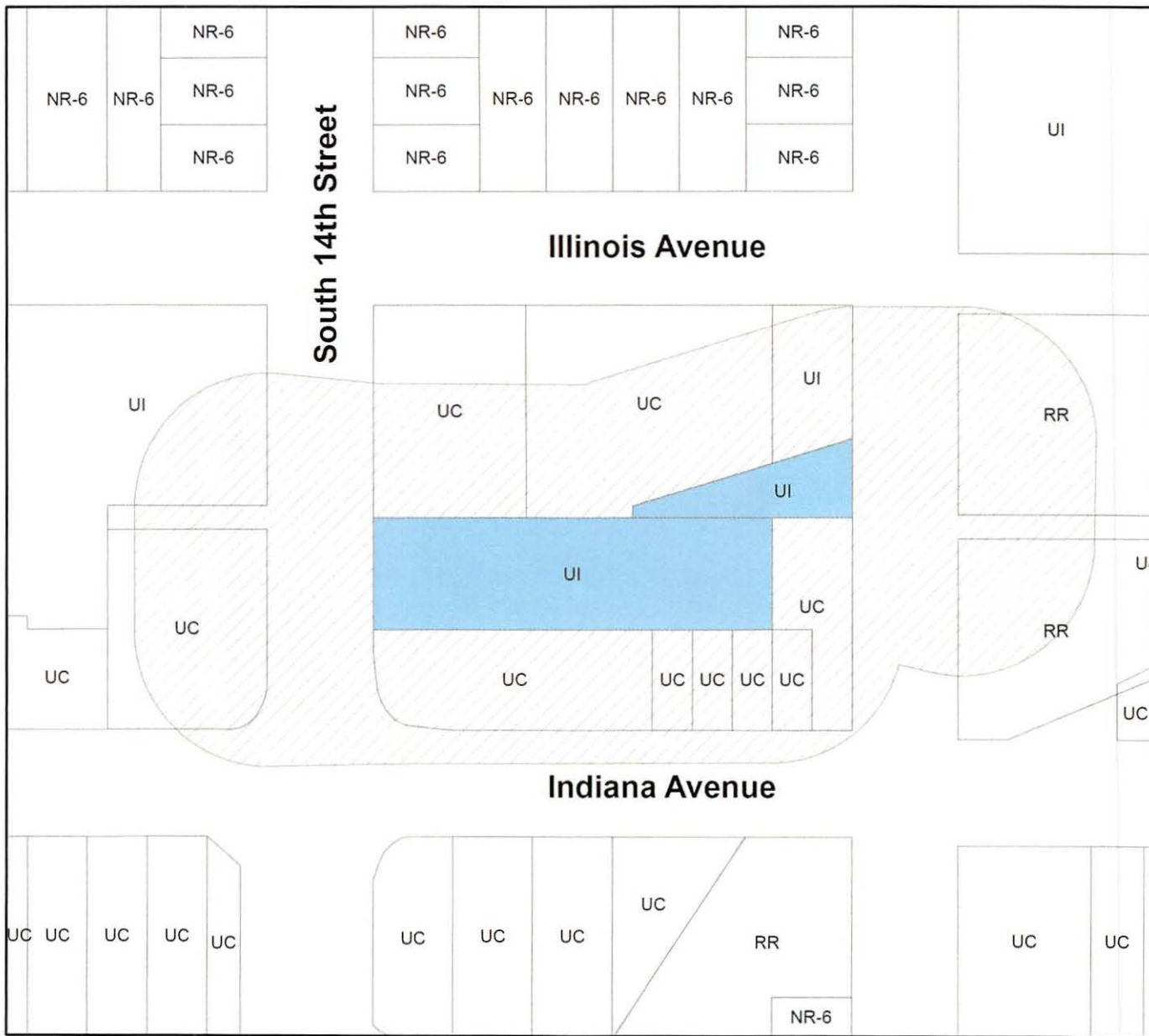
Approved _____ 20____. _____, Mayor

PROPOSED REZONE FROM URBAN INDUSTRIAL (UI) TO URBAN RESIDENTIAL (UR-12)

NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST

ORIGINAL PLAT NORTH 1/2 OF LOTS 7,8,9,10 & 11, BLOCK 247 AND THE
SOUTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS
AND

ORIGINAL PLAT COMMENCING AT SOUTHEAST CORNER OF LOT 1, BLOCK 247, THENCE NORTH
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THE NORTH 1/2 OF VACATED E-W ALLEY ADJOINING TO SAID LOT

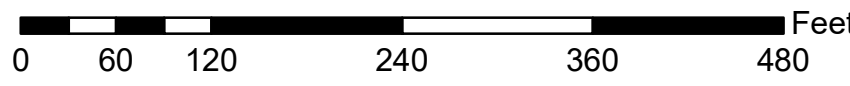
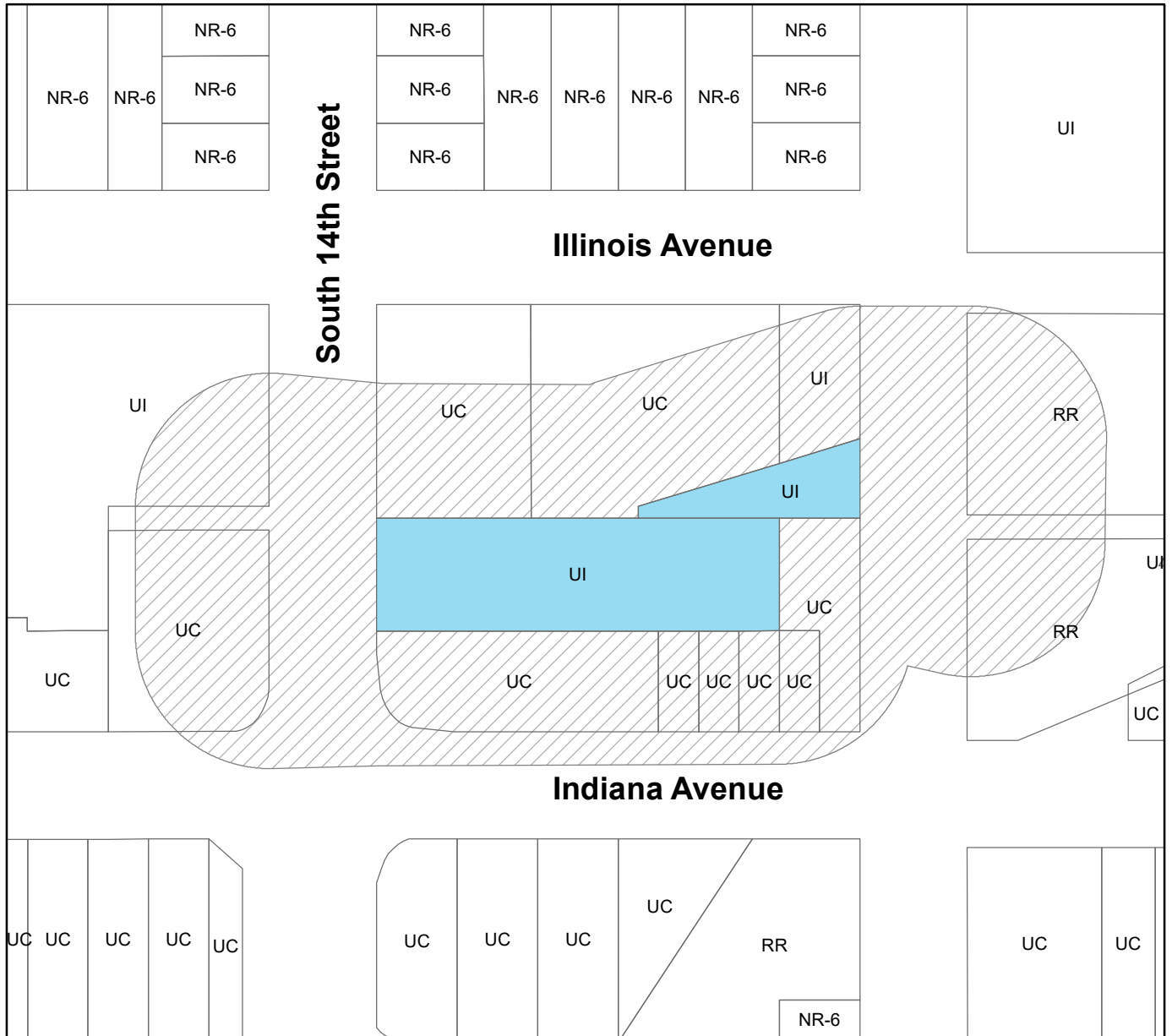


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THE NORTH 1/2 OF VACATED E-W ALLEY ADJOINING TO SAID LOT



CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 0002010600 from Class Central Mixed Use to Class Multi-family Residential Classification.

Gen. Ord. No. 10-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of the corner of S. 14th Street and Illinois Avenue - Parcel 00020106260, Parcel 00020106240, and Parcel 00020106200 from Class Neighborhood Preservation to Class Multi-family Residential Classification.

R.O. 04-21-22 and G.O. 16-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel 00020106260 and Parcel 00020106240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

R.O. 00-21-22 and G.O. 17-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 and Parcel 00020106200 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: August 6, 2021

MEETING DATE: August 10, 2021

FISCAL SUMMARY:

Budget Line Item	N/A
Budget Summary	N/A
Budgeted Expenditure	N/A
Budgeted Revenue	N/A

STATUTORY REFERENCE:

Wisconsin Statutes	N/A
Municipal Code	N/A

BACKGROUND / ANALYSIS:

The Commonwealth Companies is proposing to amend the comprehensive plan map and rezone map as follows

Comprehensive Plan Map

- Parcel s 0020106260, 0020106240 and 0020106200 from **Neighborhood Preservation** to **Multi-family Residential**.
- Parcel s 0020106000 from **Central Mixed Use** to **Multi-Family Residential**

Rezone

- Parcel s 0020106260 and 0020106240 from **Urban Commercial (UC)** to **Urban Residential (UR-12)**.
- Parcel s 0020106000 and 0020106200 from **Urban Industrial (UI)** to **Urban Residential (UR-12)**.

The applicant states the following

- Commonwealth is requesting to rezone the aforementioned parcels to Urban Residential (UR-12) to accommodate the development of 4 units of workforce housing.
- Given this site's location we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to an area of the city that has been stagnant the past several years in a manner that compliments the surrounding single-family houses.
- We believe our architects have captured this vision through various design elements such as the pitched roof, staggered columns presenting various dimensions, and first floor townhome-style units with individual entrances and door overhangs for the units facing Illinois Avenue.
- The proposed zoning map amendment aligns with multiple core City values expressed in Section 100, the comprehensive plan, and the recently conducted housing study. For starters, Section 100 emphasizes the reduction of street congestion. Evidence across urban municipalities comparable to Sheboygan demonstrate that multi-family buildings get more people out of their cars, and into public transit, while also boosting commuting by bicycle and walking. Denser developments closer to the urban centers place more residents closer to their jobs and cut down commuting distances. On top of that, the proposed development promotes the protection of the public safety for the future tenants by encompassing smart key technology with key-fobs specific for each unit, adequate site lighting, along with 24/7 video surveillance.
- In addition to section 100, the proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here for the 14th Street South Parcel. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional workforce housing that supports both existing local employers and the attraction of future employers to Sheboygan.

- Over time, growth patterns for nearly every municipality shift. This is something Commonwealth has experienced often in our 20 years of development experience. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021.
- The in-depth analysis performed by MSA Professional Services indicated a population decrease over the last decade within the City of Sheboygan by 2%. However, population in the region is projected to grow and employers are anticipating continued hiring. The study suggests that population change is directly tied to change in the number of households and the size of those households, both of which are influenced by availability of desirable units within desired markets. Commonwealth is confident this population decrease is not a reflection of Sheboygan being an undesirable market, rather the lack of desirable units. Our objective with the proposed development would be to bridge this gap by providing top-tier units that are truly desirable to the workforce community in efforts of promoting continued population growth for the City of Sheboygan.
- To ensure the proposed development encompasses “desirable-units” beyond construction style, Commonwealth was able to tailor our development by decreasing the overall density to incorporate 20 three-bedroom units as MSA indicated a significant shortage in three (3) Bedroom rental units.
- Another priority focus identified in the study is the utilization of infill development, given the City’s limited greenspace MSA suggests placing a priority on infill housing proposals across the City’s neighborhood enhancement nodes such as the site located on the corner of 14th and Illinois.
- The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable workforce housing units in the City as employment opportunities remain robust. For the variety of reasons outlined above, we believe a rezone to “Urban Residential” will achieve the highest and best use for this site and compliment the surrounding residential neighborhood.

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The proposed hotel development will accomplish these key initiatives by:

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- Developing a vacant site (former gas station) into additional workforce housing is ideal as it directly borders on residential commercial and industrial zoning districts.
- This is accomplished by fulfilling the demand for housing with a location that balances proximity to urban spaces and amenities with easy and various transportation options.
- Additionally, the proposed development is consistent with the objectives and policies set forth in Chapter 4 Housing and Neighborhood Development of the City of Sheboygan Comprehensive Plan.
- The Sheboygan County Economic Development Corporation conducted a housing survey which concluded in part that there was a need for greater condominium development in the city.
- Support mixed-use development projects that integrate residential and non-residential uses into high-quality, unified places. Mixed-use areas provide nodes of concentrated activity and integrate people with jobs, services, and shopping in a pedestrian-friendly environment.
- Encourage redevelopment and infill development over greenfield development wherever feasible, while planning for long-term growth of office, industrial, commercial, and residential uses in the City.
- Partner with private property owners, developers, and neighbors to realize the greatest potential for each new development and redevelopment site envisioned under this Plan.

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The Urban Residential (UR-12) zone is identified as the most appropriate zoning for this type of multi-family development.

STAFF COMMENTS:

The surrounding neighborhood zoning is

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- The properties to the south are zoned Urban Commercial (UC).
- The properties to the west are zoned Urban Commercial (UC), Urban Industrial (UI) and Neighborhood Residential (NR-6).
- The properties to the east are zoned Urban Commercial (UC) and Urban Industrial (UI).

It is important for the Plan Commission to understand that if the property zoning designation is changed from UC and UI to UR-12, an applicant could apply to use the property for any use that is permitted and/or conditionally permitted in the UR-12 zone.

If the Common Council approves the rezone, the applicant needs to be aware that a conditional use will need to be submitted to and reviewed by the City of Sheboygan Plan Commission prior to construction of a new multi-family development.

In addition, the applicant is proposing to amend the comprehensive plan for these properties from Neighborhood Preservation and Central Mixed Use to Multi-Family Residential. The property will be designated Multi-Family Residential in the Future Land Use map in the City of Sheboygan Comprehensive Plan which is consistent with the proposed Urban Residential (UR-12) zoning designation being requested

ACTION REQUESTED:

Motion to recommend the Common Council approve Gen. Ord. No. 14-21-22 by Alderperson Perrella amending the City's Future Land Use Map of the Sheboygan Comprehensive Plan to change the Land Use Classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 from Class Central Mixed Use to Class Multi-family Residential Classification.

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Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 16-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street and Illinois Avenue - Parcel 00020106260 and Parcel 00020106240 from Class Urban Commercial (UC) to Class Urban Residential (UR-12) Classification.

Motion to recommend the Common Council approve R.O. 14-21-22 and G.O. 17-21-22 by Alderperson Perrella amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel 00020106000 and Parcel 00020106200 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

ATTACHMENTS:

Rezone Application and required attachments

II

3.4

R. O. No. 55 - 21 - 22. By CITY CLERK. August 2, 2021.

Submitting an application from Commonwealth Development for a change in zoning classification of property located off of S. 14th Street between Illinois Avenue and Indiana Avenue - Parcel #59281506350 and Parcel #59281506230 from Class Urban Industrial (UI) to Class Urban Residential (UR-12) Classification.

CITY CLERK

City Plan



July 26, 2021

City of Sheboygan
828 Center Avenue
Sheboygan, WI

Re: 1003 14th South Street Proposed Rezone

Dear Mayor Sorenson and Council Members,

Commonwealth is writing this letter to formally request an amendment to the official zoning map for the parcels currently under our control located on the corner of 14th and Illinois (Parcels: 59281506260, 59281506240, 59281506350, 59281506230). We are requesting to rezone the aforementioned parcels to Urban Residential to accommodate the development of 48 units of workforce housing. Given this site's location we believe it presents a great opportunity for a new infill development as it is one of the main entrances to the downtown corridor. The proposed development will provide revitalization to an area of the city that has been stagnant the past several years in a manner that compliments the surrounding single-family houses. We believe our architects have captured this vision through various design elements such as the pitched roof, staggered columns presenting various dimensions, and first floor townhome-style units with individual entrances and door overhangs for the units facing Illinois street. *Please see the attached rendering for further detail.*

The proposed zoning map amendment aligns with multiple core City values expressed in Section 15.005, the comprehensive plan, and the recently conducted housing study. For starters, Section 15.005 emphasizes the reduction of street congestion. Evidence across urban municipalities comparable to Sheboygan demonstrate that multi-family buildings get more people out of their cars, and into public transit, while also boosting commuting by bicycle and walking. Denser developments closer to the urban centers place more residents closer to their jobs and cut down commuting distances. On top of that, the proposed development promotes the protection of the public safety for the future tenants by encompassing smart key technology with key-fobs specific for each unit, adequate site lighting, along with 24/7 video surveillance.

In addition to section 15.005, the proposed zoning amendment aligns with the City of Sheboygan's comprehensive plan to a great degree. For instance, the promotion of infill development aligns directly with the proposal being set forth here for the 14th Street South Parcel. Additional support for this rezone is supported by the comprehensive plan's goal of spurring economic development and job creation. This development will increase the City's tax base while also providing additional workforce housing that supports both existing local employers and the attraction of future employers to Sheboygan.

Over time, growth patterns for nearly every municipality shift. This is something Commonwealth has experienced often in our 20 years of development experience. The City of Sheboygan is no different as there continues to be a shortage in the supply of affordable housing which can be supported in the affordable housing market study conducted in April of 2021. The in-depth analysis performed by MSA Professional Services indicated a population decrease over the last decade within the City of Sheboygan by 2%. However, population in the region is projected to grow and employers are anticipating continued hiring. The study suggests that population change is directly tied to change in the number of households and the size of those households, both of which are influenced by availability of desirable units within desired markets. Commonwealth is confident this population decrease is not a reflection of Sheboygan being an undesirable market, rather the lack of desirable units. Our objective with the proposed development would be to bridge this gap by providing top-tier units that are truly desirable to the workforce community in efforts of promoting continued population growth for the City of Sheboygan.

To ensure the proposed development encompasses "desirable-units" beyond construction style, Commonwealth was able to tailor our development by decreasing the overall density to incorporate 20 three-bedroom units as MSA indicated a significant shortage in Three (3) Bedroom rental units. Another priority focus identified in the study is the utilization of infill development, given the City's limited greenspace MSA suggests placing a priority on infill housing proposals across the City's neighborhood enhancement nodes such as the site located on the corner of 14th and Illinois.

The City of Sheboygan has made a superb effort in its continued residential redevelopment efforts. This project will continue to address the need for more desirable workforce housing units in the City as employment opportunities remain robust. For the variety of reasons outlined above, we believe a rezone to "Urban Residential" will achieve the highest and best use for this site and compliment the surrounding residential neighborhood.

If you require any further information, feel free to contact me via email or by telephone at (608) 556-2939.



With appreciation,
Tyler Sheeran

OFFICE USE ONLY
APPLICATION NO.: _____
RECEIPT NO.: _____
FILING FEE: \$200.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN
APPLICATION FOR
AMENDMENT OF OFFICIAL ZONING MAP
(Requirements Per Section 15.903)
Revised May, 2012

Completed application is to be filed with the Office of the City Clerk, City Hall, 828 Center Avenue. Application will not be processed if all required attachments and filing fee of \$200 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: **Commonwealth Development** PHONE NO.: **(608) 556-2939**
ADDRESS: **7447 University Ave. Middleton, WI 53562**
E-MAIL: t.sheeran@commonwealthco.net

OWNER OF SITE: **Donald R. Draughon, Jr.** PHONE NO.: **(919) 608-0790.**

2. DESCRIPTION OF THE SUBJECT SITE

ADDRESS OF PROPERTY AFFECTED: **1003 South 14th Street**

LEGAL DESCRIPTION: NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST ORIGINAL PLAT NORTH 1/2 OF LOTS 7,8,9,10 & 11, BLOCK 247 AND THE SOUTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS AND ORIGINAL PLAT COMMENCING AT SOUTHEAST CORNER OF LOT 1, BLOCK 247, THENCE NORTH 50', THENCE SOUTHWESTERLY TO A POINT IN SOUTH LINE OF LOT 3, 30' WEST OF SOUTHEAST CORNER OF SAID LOT 3, THENCE EAST TO BEGINNING BLOCK 247 AND THE NORTH 1/2 OF VACATED E-W ALLEY ADJOINING TO SAID LOT

PARCEL NO. **59281506350 and 59281506230** MAP NO. _____

EXISTING ZONING DISTRICT CLASSIFICATION: **Urban Industrial (UI)**

PROPOSED ZONING DISTRICT CLASSIFICATION: **Urban Residential (UR-12)**

BRIEF DESCRIPTION OF THE EXISTING OPERATION OR USE: **Currently vacant**

BRIEF DESCRIPTION OF THE PROPOSED OPERATION OR USE: **A single 3-story**

multi-family building consisting of 48 apartment units.

3. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 15.005 and, for flood plains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources and the Federal Emergency Management Agency? **Please see attached narrative.**

Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Provide explanation in space provided below.)

- The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Master Plan.
- A mistake was made in mapping on the Official Zoning Map. (An area is developing in a manner and purpose different from that for which it is mapped.) *NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading.*
- Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
- Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.

Explain: **Please see attached narrative.**

How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property? **Please see attached narrative.**

Indicate reasons why the applicant believes the proposed map amendment is in harmony with the recommendations of the City of Sheboygan Comprehensive Plan.

Please see attached narrative.

4. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

Tyler Sheeran

PRINT ABOVE NAME

July 26, 2021

DATE

APPLICATION SUBMITTAL REQUIREMENTS

A copy of the current zoning map of the subject property and vicinity showing:

- The property proposed to be rezoned.
- All lot dimensions of the subject property.
- All other lands within 200 feet of the subject property.
- Map size not more than 11" X 17" and map scale not less than 1" = 600'.
- Graphic scale and north arrow.

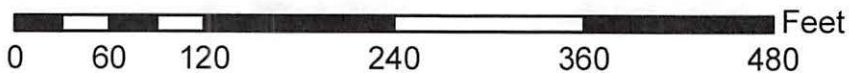
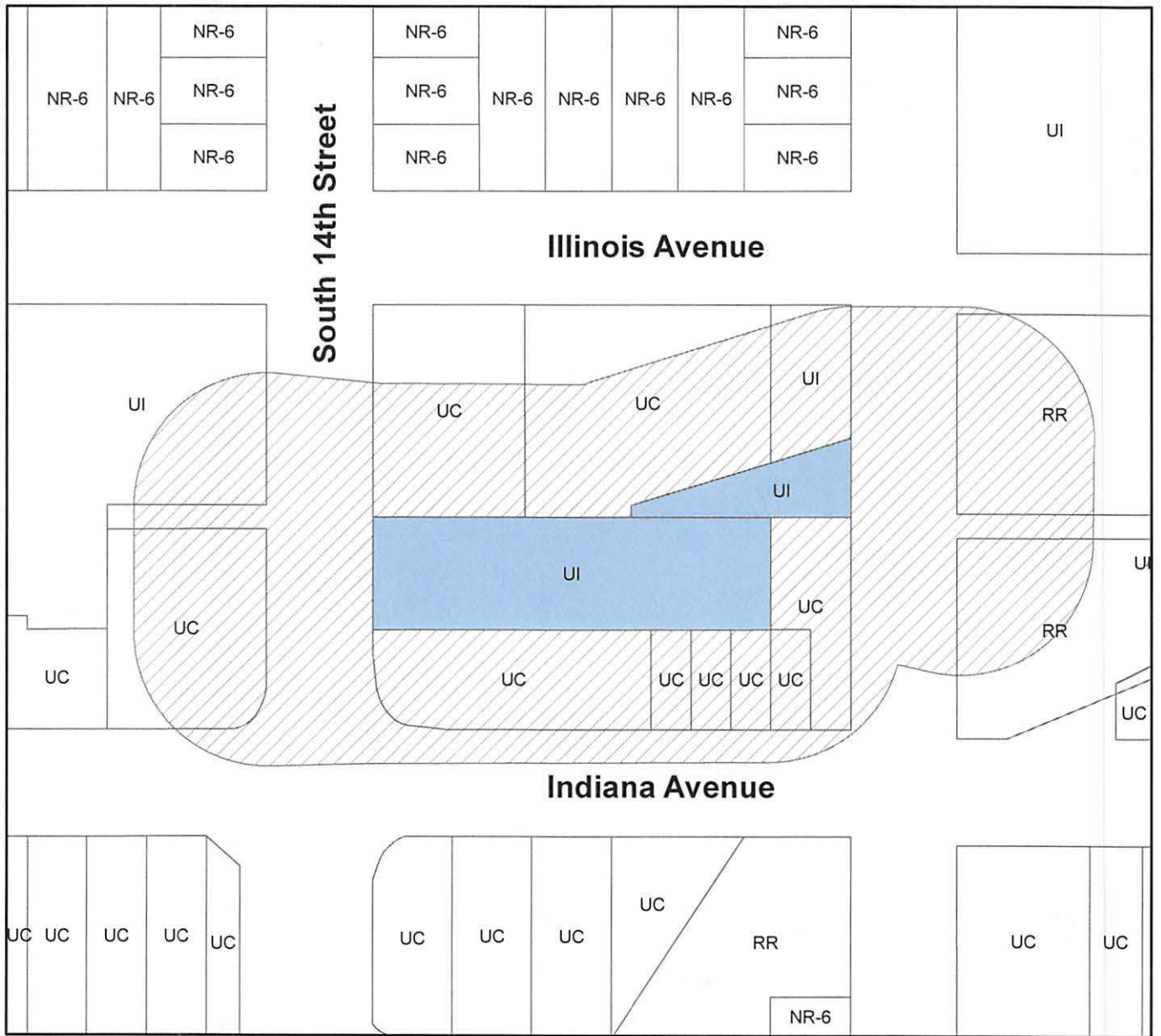
PROPOSED REZONE FROM URBAN INDUSTRIAL (UI) TO URBAN RESIDENTIAL (UR-12)

NE 1/4 OF SECTION 27, TOWNSHIP 15 NORTH, RANGE 23 EAST

ORIGINAL PLAT NORTH 1/2 OF LOTS 7,8,9,10 & 11, BLOCK 247 AND THE
SOUTH 1/2 OF VACATED E/W ALLEY ADJOINING TO SAID LOTS

AND

ORIGINAL PLAT COMMENCING AT SOUTHEAST CORNER OF LOT 1, BLOCK 247, THENCE NORTH
50', THENCE SOUTHWESTERLY TO A POINT IN SOUTH LINE OF LOT 3, 30' WEST OF
SOUTHEAST CORNER OF SAID LOT 3, THENCE EAST TO BEGINNING BLOCK 247 AND
THE NORTH 1/2 OF VACATED E-W ALLEY ADJOINING TO SAID LOT





PROPOSED APARTMENTS

14TH ST & ILLINOIS AVE
SHEBOYGAN, WI



Riiser Fuels, LLC
709 S. 20th Ave.
Wausau, WI

July 23, 2021

Sheboygan City Hall
828 Center Ave
Sheboygan, WI 53081

Re: Rezone Application 1003 S. 14th St

To Whom It May Concern,

I, Donald R. Draughon, Jr., President of Riiser Fuels, LLC (seller), authorize Commonwealth Development Corporation of America (buyer) to submit a rezone application for my property located at 1003 South 14th Street, Sheboygan, WI (Parcel #s 59281506260, 59281506240, 59281506350, 59281506230)

If you require any further information, feel free to contact me via email or by telephone at (919) 608-0790.

With appreciation,



Donald R. Draughon, Jr.
President
Riiser Fuels, LLC

CLK322B

City Of Sheboygan
City Clerk's Office

* General Receipt *

Receipt No: 211266

License No: 0000

Date: 07/28/2021

Received By: MMD

Received From: COMMONWEALTH DEVELOPMENT CORP

Memo: REZONE PARCEL #S 59281506350 AND 59281506230

Method of Payment: \$200.00 Check No. 2593

Total Received: \$200.00

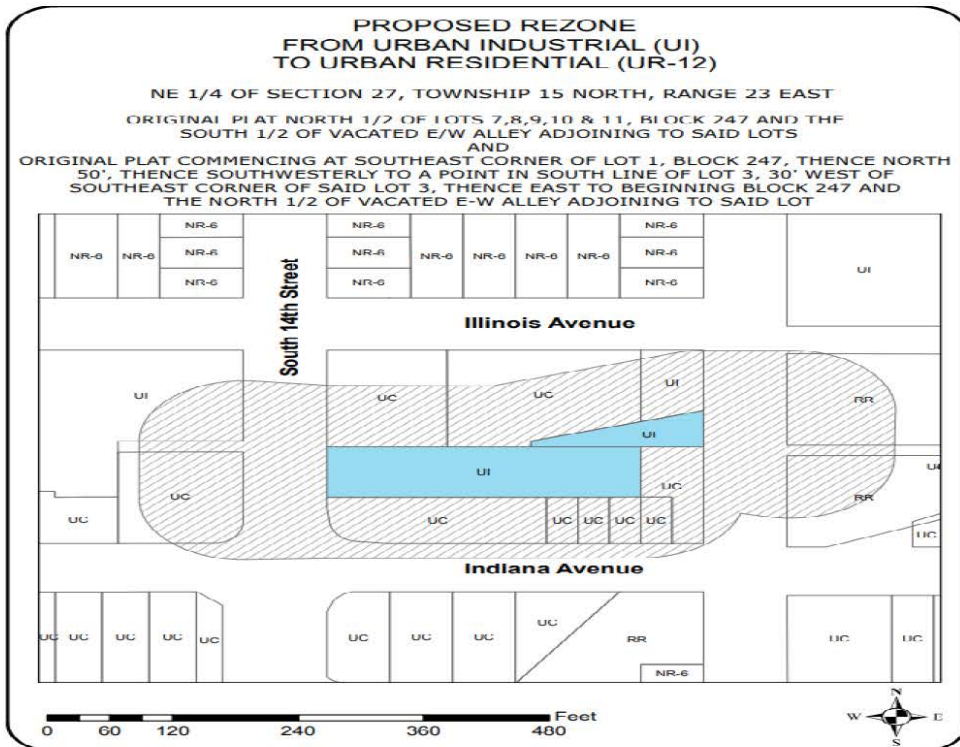
<u>Fee Description</u>	<u>Fee</u>
Zoning Change	200.00

This document signifies receipt of fees in the amount indicated above.

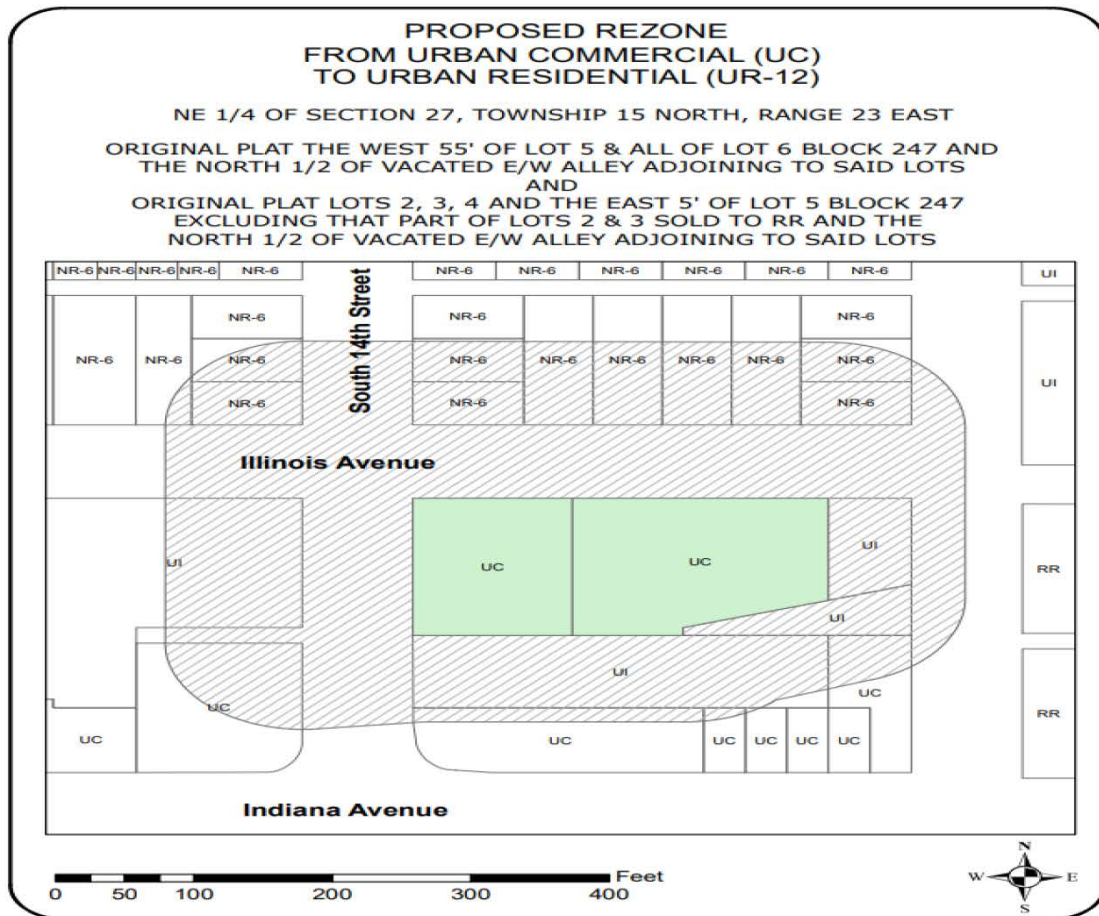
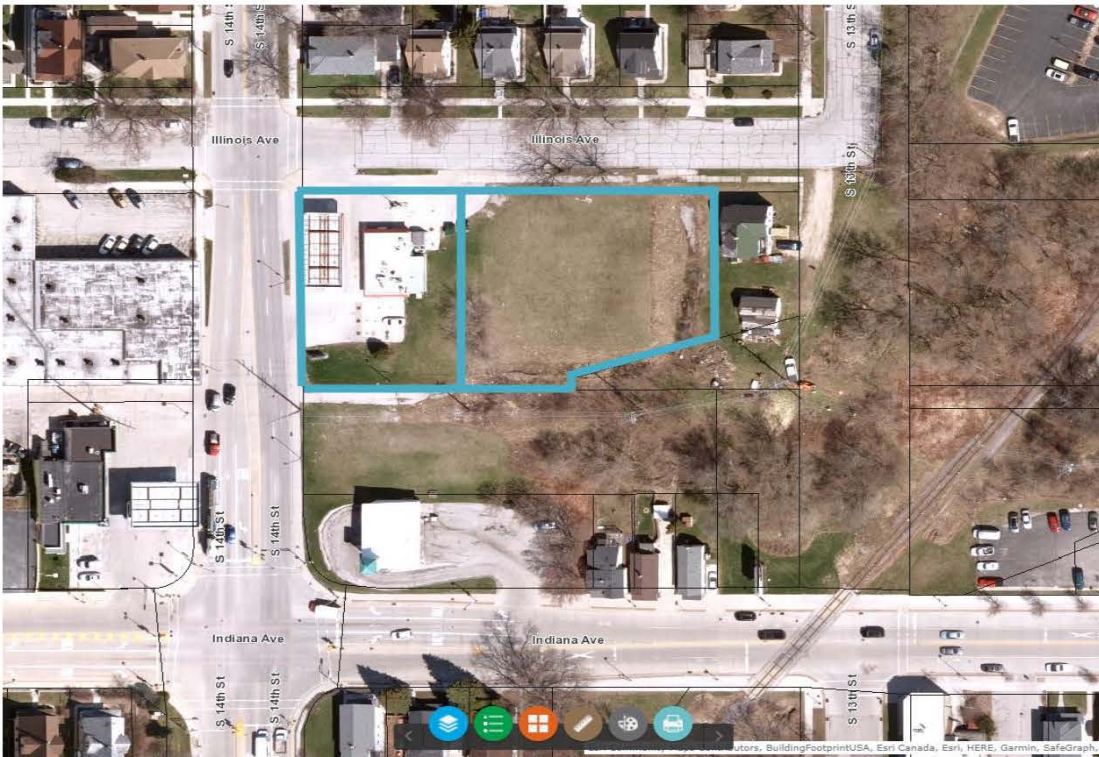
Properties Involved in Comprehensive Plan Map and Rezone Amendments:



Rezone from Urban Industrial (UI) to Urban Residential (UR-12):



Rezone from Urban Commercial (UC) to Urban Residential (UR-12):



Comprehensive Plan Map Amendment from Neighborhood Preservation to Multi-Family Residential:

