

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by Quick Signs to install new signage at St. Nicholas Hospital located at 3100 Superior Avenue and St. Nicholas Hospital Medical Arts Building located at 2920 Superior Avenue. SO Zone.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 7, 2021

MEETING DATE: May 11, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Quick Signs is proposing to install new signage at St. Nicholas Hospital located at 3100 Superior Avenue and St. Nicholas Hospital Medical Arts Building located at 2920 Superior Avenue. The applicant states:

- O'Connor Sign Planning & Design, in partnership with HSHS St. Nicholas Administration are requesting additional signage on the St. Nicholas Hospital Campus to enhance the current sign system designed in 2016 and implemented in 2017. The needs and usage of the facility have changed and therefore we find it necessary to label the main Taylor hospital entrance, update the directional sign at the driveway on Taylor Drive and update the 1998 Medical Arts Building sign on Superior Avenue with the new HSHS Corporate colors and tenant listings.
- The existing Campus exterior package was completed in the Spring of 2017 and since that time St. Nicholas Hospital and Medical Arts Building functions have evolved. HSHS Corporate branding colors have changed, the use of ancillary buildings have changed, and Superior Avenue has recently been enhanced to better meet the needs of vehicular traffic. The need for updating the signage at these two (2) locations is to provide clear and easy access for patients and visitors and to keep traffic moving safely.
- The 2016 wayfinding package submitted to the city contained a more cohesive directional system with a simplified traffic pattern for clientele to navigate as efficiently as possible. They increased the size of signs and copy for greater visibility. Patients will be told what entry or address to use and will follow signage meeting that directive. For the visitor, we will have signage that clearly marks all primary destination points.

- This is a hospital facility where the needs of the client vary from that of other facilities in Sheboygan. We work with young and old, sick and healthy, handicapped and mobile. It is important to their health and safety that we get them to the proper local of this large facility the first time.
- The campus is large and spread out. To best meet the needs of the public, signage is necessary to easily navigate it, which creates less stress/hardship for the visitor of the campus environment.
- Our signage is routed aluminum construction, so very little light emanates toward any residential housing.

The signs proposed are:

Taylor Entrance Wall Sign (#9 on site map)

- A new 24sf (1.5 x 16) interior lit channel letter sign located on the west side of the main entrance canopy facing Taylor Drive. Sign advertises “Taylor Entrance.”
- Sign is similar in appearance to the new entrance signs recently installed on the south side of the hospital.

Taylor Entrance Directional Sign (#7 on site map)

- The existing sign is a 23sf (5.5 x 4), internally illuminated directional sign located along the west property line facing Taylor Drive (there are a number of these same directional signs located throughout the campus). Each of these directional signs is eight (8) feet tall and advertises St. Nicholas Hospital and directs people to specific locations on the campus.
- The reface of this Taylor Drive directional sign is to the dark brown portion only that directs people to the Taylor Entrance, the Chapel and the Hospital. The dimensions of this portion of the sign is approximately 12sf (3 x 3.9).

Medical Art’s Building Monument Sign (#25 on site map)

- Applicant is proposing to replace the existing monument sign with a new monument sign in the same location. The new sign will be similar to the St. Nicholas rebranded signs in terms of design, however, this sign will be a different color, blue.
- This is an 80sf (8 x 10) internally lit monument sign that advertises St. Nicholas Hospital, Prevea Therapy, Sheboygan Internal Medicine and Sheboygan Pediatrics.
- The sign is proposed to be located with a setback of 13 feet to the property line and approximately 26 feet to the face of the Superior Avenue curb.

STAFF COMMENTS:

The proposed signage is similar to the design of the existing St. Nicholas signage throughout the campus.

Applicant is requesting the following variance:

- Applicant is requesting to install 23sf directional signs - Maximum square footage of directional signs is 9sf.

The portion of the directional sign being changed is approximately 12sf (3 x 3.9).

- Applicant is requesting to install 10 foot tall monument sign - Maximum height of a monument sign is eight (8) feet tall.

The existing monument sign being replaced is 10 feet tall.

- Applicant is requesting to install new wall, monument and directional signage – installing more signage than the maximum number of signs permitted.

Applicant states St Nicholas is a very large and spread out campus. To best meet the needs of the public, signage is necessary to easily navigate it, which creates less stress/hardship for the visitor of the campus environment. It is important for the health and safety of their patients that we get them to the proper location of this large facility the first time.

ACTION REQUESTED:

Staff recommends approval of the conditional use, exceptions and sign permits subject to the following conditions:

1. Applicant shall obtain the necessary sign permits prior to installation.
2. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
3. Maximum height of monument is 10 feet tall (top of sign to grade).
4. Monument sign shall meet minimum 12 foot setback to the property line.
5. Directional signs shall be located on private property and shall not create any pedestrian/vehicular conflicts.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

Office Use Only

PARCEL NO. _____
MAP NO. _____
ZONING CLASSIFICATION: _____

APPLICATION/FILE NO. _____
REVIEW DATE: _____

FILING FEE: \$250.00

(Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Quick Signs
525 S. M. Hardy Ave
ADDRESS: Green Bay WI 54303 E-MAIL: jess@quicksigns-wi.com
PHONE: (920) 494-4226 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: St. Nicholas Hospital
ADDRESS OF PROPERTY AFFECTED: 3100 Superior Ave

LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: _____
Hospital, medical facility

DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Hospital

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: Sign sq. footage, wall signs

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate. *See attached from O'Connor Sign Planning*

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

See attached from Quick Signs

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

see attached from Quick Signs

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

see attached from Quick Signs

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes

N/A

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: HSHS St. Nicholas Hospital

ADDRESS: 3100 Superior Ave E-MAIL: _____

ARCHITECT: N/A

ADDRESS: _____ E-MAIL: _____

CONTRACTOR: N/A

ADDRESS: _____ E-MAIL: _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

O'CONNOR
Sign Planning & Design, Ltd.

N65 W35056 Baltic Pass
Oconomowoc WI 53066

T: 262.966.0037
E: signplan@wlrr.com

April 8, 2021

**HSHS St. Nicholas Hospital Campus
Enhancements to the Exterior Wayfinding Signage Package for
St. Nicholas Hospital Taylor Entrance and St. Nicholas Hospital Medical Arts Building**

O'Connor Sign Planning & Design, in partnership with HSHS St. Nicholas Administration are requesting additional signage on the St. Nicholas Hospital Campus to enhance the current sign system designed in 2016 and implemented in 2017. The needs and usage of the facility have changed and therefore we find it necessary to label the Taylor Entrance and update the directional sign at the driveway on Taylor Drive and update the 1998 Medical Arts Building sign on Superior Avenue with the new HSHS Corporate colors and tenant listings.

St. Nicholas Hospital and the Medical Arts Building are located generally south of Saemann Avenue, East of Taylor Drive, North of Superior Avenue and West of 29th Street.

The existing Campus exterior package was completed in the Spring of 2017 and since that time St. Nicholas Hospital and Medical Arts Building functions have evolved. HSHS Corporate branding colors have changed, the use of ancillary buildings have changed, and Superior Avenue has recently been enhanced to better meet the needs of vehicular traffic. The need for updating the signage at these two locations is to provide clear and easy access for patients and visitors and to keep traffic moving safely.

The 2016 wayfinding package we submitted to the city contained a more cohesive directional system with a simplified traffic pattern for clientele to navigate as efficiently as possible. We increased the size of signs and copy for greater visibility. Patients will be told what entry or address to use and will follow signage meeting that directive. For the visitor, we will have signage that clearly marks all primary destination points.

In your review if you should have any questions regarding the signage please feel free to contact Cheryl O'Connor at 262-966-0037.

Thank you for your time and attention to our project.





3. Justification of the Proposed Conditional Use

Q. How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

A. This is a hospital facility where the needs of the client vary from that of other facilities in Sheboygan. We work with young and old, sick and healthy, handicapped and mobile. It is important to their health and safety that we get them to the proper local of this large facility the first time.

Q. Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on the nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

A. No, our signage is routed aluminum construction, so very little light emanates toward any residential housing. The TAYLOR ENTRANCE letters are set back from the roadway.

Q. How does the proposed conditional use maintain the desired consistency of the land uses in relation to the setting within which the property is located?

A. The campus is large and spread out. To best meet the needs of the public, signage is necessary to easily navigate it, which creates less stress/hardship for the visitor of the campus environment.



OFFICE USE ONLY

PARCEL NO.: _____

MAP NO.: _____

ZONING CLASSIFICATION: _____

OFFICE USE ONLY

REVIEW DATE: _____

APPROVAL: _____
Steve Sokolowski, City Planner

**CITY OF SHEBOYGAN
DEPARTMENT OF CITY DEVELOPMENT**

828 Center Avenue Suite 104, Sheboygan, WI 53081
Phone: (920) 459-3377 Fax: (920) 459-7302
E-Mail: development@ci.sheboygan.wi.us

SIGN PERMIT APPLICATION

(November, 2009)

*Copy Taylor
Entrance*

Completed application and all required attachments are to be filed with the Department of City Development, 828 Center Avenue, Suite 104 for review by the City Planner.

1. APPLICANT INFORMATION

APPLICANT: Quick Signs

ADDRESS: 525 S. Military Ave Green Bay WI 54303

E-MAIL ADDRESS: jess@quicksigns-wi.com

PHONE: (920) 494-4226 FAX NO: ()

2. OWNER INFORMATION

OWNER OF SITE: HSHS St. Nicholas Hospital

ADDRESS: 3100 Superior Ave Sheboygan WI 53081

PHONE: (920) 459-8300 FAX NO: ()

3. DESCRIPTION OF THE PROPOSED SIGN AND USE OF THE SUBJECT SITE

NAME OF PROPOSED/EXISTING BUSINESS: St. Nicholas Hospital

ADDRESS OF PROPERTY AFFECTED: 3100 Superior Ave

USE OF PROPERTY: Hospital - Medical facility

TYPE OF SIGN: Directional & Entrance

DESCRIPTION OF PROPOSED SIGN: Changing faces on existing sign & illuminated sign over Taylor Entrance

Taylor Entrance

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 17' 1/2" X WIDTH: 16' ^(192") = TOTAL SQUARE FOOTAGE: 24'

AMOUNT OF PUBLIC STREET FRONTAGE: _____

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: _____

SETBACK: _____

METHOD OF ATTACHMENT: Wall Brackets / Raceway

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: Acrylic, Aluminium

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 1,219.85' AFTER PROPOSED SIGN: 1507.85'

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Mark Bergstrom
APPLICANT'S SIGNATURE

4/15/21
DATE

MARK BERGSTROM
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- a. For new development, the approved site plan for the subject location and dimensions of all buildings, structures, signs, property boundaries and dimensions; and the location of § 50
- b. For existing development, a site plan approved by the Manager, showing the location and dimensions of all buildings on the subject property, property boundaries and dimensions of the proposed sign.
- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.

Sign Face 50x50

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 3' X WIDTH: 4' = TOTAL SQUARE FOOTAGE: 12 x 12 = 24

AMOUNT OF PUBLIC STREET FRONTAGE: _____

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: _____

SETBACK: _____

METHOD OF ATTACHMENT: SCREWS

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: Aluminum, vinyl, polycarb

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 1,219.85' AFTER PROPOSED SIGN: 1,219.85'

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Mark Bergstrom
APPLICANT'S SIGNATURE

4/15/21
DATE

MARK BERGSTROM
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- a. For new development, the approved site plan for location and dimensions of all buildings, structures, property boundaries and dimensions; and the location of the proposed sign.
- b. For existing development, a site plan approved by the Planning Manager, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.



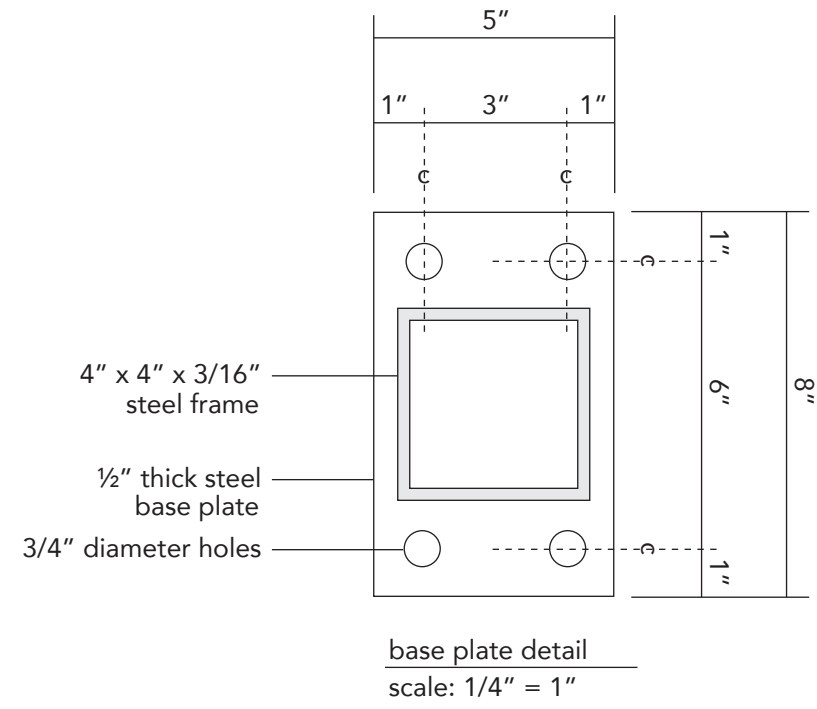
location 9
west elevation

O'Connor Sign Planning
& Design, Ltd.

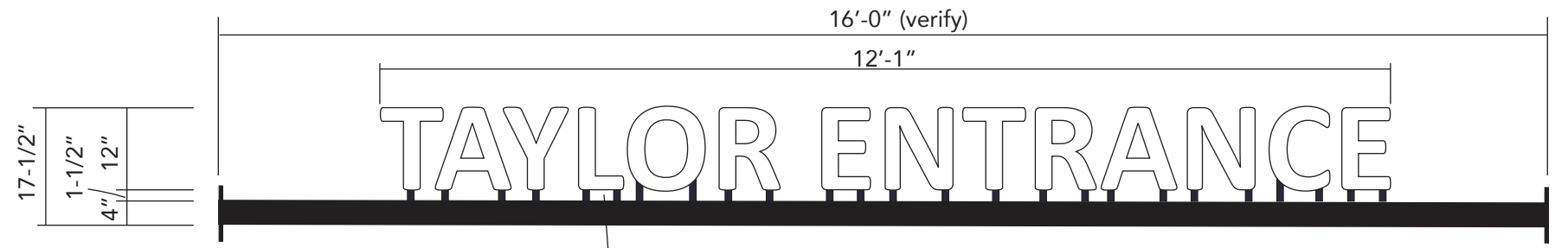
T: 262.966.0037
E: signplan@wi.rr.com

CLIENT NAME
St. Nicholas Hospital
Sheboygan, WI

PROJECT
Exterior Campus Plan



SteelArt Design 102
2" deep edgelit letters.



2" deep edgelit letters. trim less white acrylic faces, smooth back and returns painted dark bronze. stud mounted with 1" diameter aluminum tube spacer painted dark bronze. 4" x 4" raceway mounted on 2 columns.

all measurements to be field verified
drawing to be engineering by sign fabricator

VERSION/DATE
v3 2/5/2021

SCALE
1/2" = 1'-0"

DRAWN BY
s.spry

SIGNTYPE
5.4



TAYLOR ENTRANCE

quick signs
The Great Sign Place!

• 820.484.4228 • 820.484.4232
 quicksigns-wi.com • facebook.com/quicksigns-wi
 525 S. MILITARY AVE • GREEN BAY, WI 54303

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CUSTOMER: St Nicholas Hospital
CONTACT:
PROJECT LOCATION: Taylor Entrance
SALESPERSON: Jess Bergstrom
ARTIST: James Lyon
DRAWING: A **SCALE:** 1/2"=1'
DATE: 4/15/21 **REVISION #:**

APPROVAL FOR PRODUCTION

INITIALS:
DATE:

PROJECT DESCRIPTION	NOTES
17.5" x 192" West Elevation	

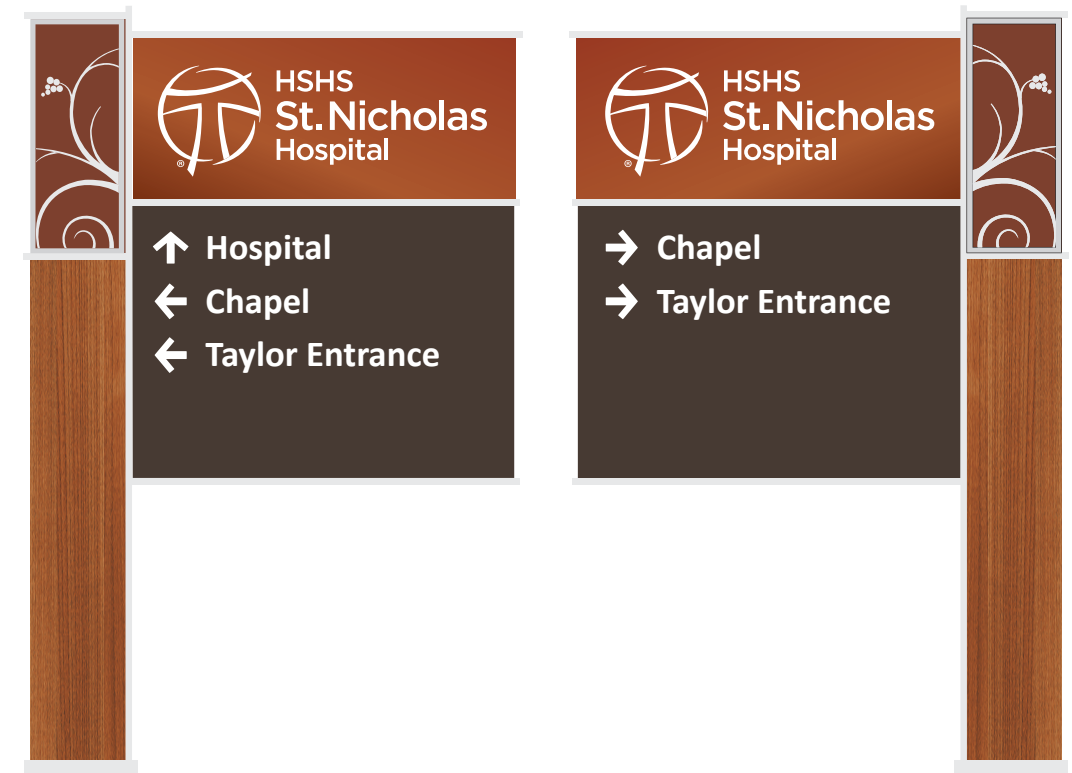


West Elevation



Not to scale

2" deep edge-lit letters, pin-free white acrylic faces, smooth back and returns painted dark bronze, stud mounted with 1" diameter aluminum tube spacer painted dark bronze, 4" x 4" recessed mounted on 2 columns.



location 7 - North

location 7 - South

location 7 sign exists. replace both sides of the directional section only



quicksigns
The Great Sign Place

• BRD-494-4229 quicksigns-wi.com • BRD-494-4232 fax:608-299-8194
525 S. MILITARY AVE • GREEN BAY, WI 54303

CUSTOMER: St. Nicholas Hospital
CONTACT:
PROJECT LOCATION: Taylor Entrance
SALESPERSON: Todd Piontek
ARTIST: James Lyon
DRAWING: B SCALE: 1/2"=1'
DATE: 4/15/21 REVISION #:

PROJECT DESCRIPTION
location 7 - North
35.5" x 47.125"

APPROVAL FOR PRODUCTION
INITIALS:
DATE:

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525 S. MILITARY AVE • GREEN BAY, WI 54303

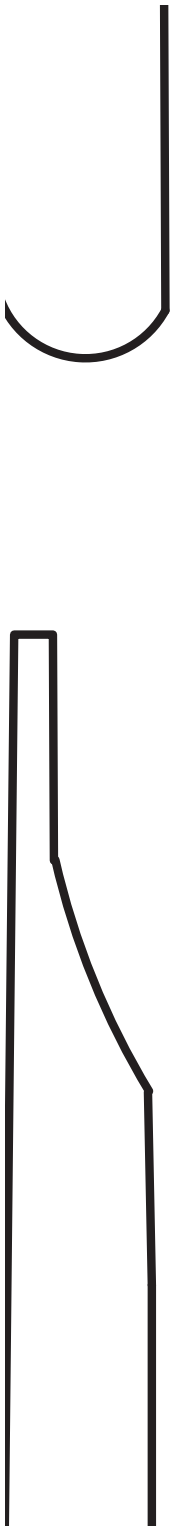
CUSTOMER: St. Nicholas Hospital
CONTACT:
PROJECT LOCATION: Taylor Entrance
SALESPERSON: Todd Piontek
ARTIST: James Lyon
DRAWING: C SCALE: 1/2"=1'
DATE: 4/15/21 REVISION #:

PROJECT DESCRIPTION
location 7 - South
35.5" x 47.125"

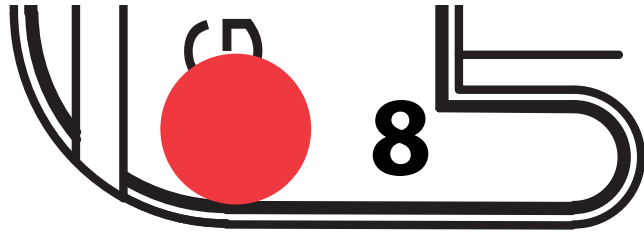
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DATE:

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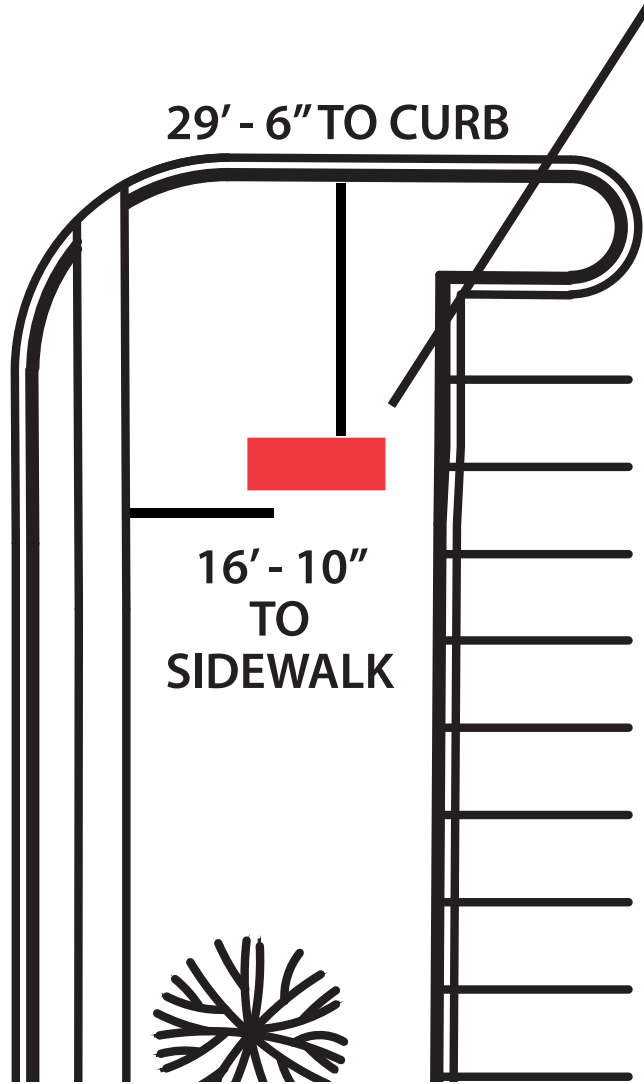


NORTH TAYLOR DRIVE

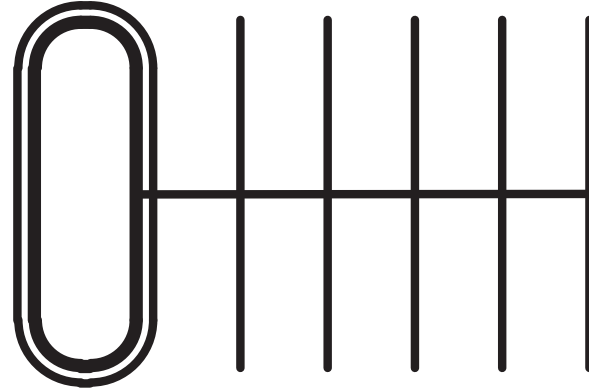
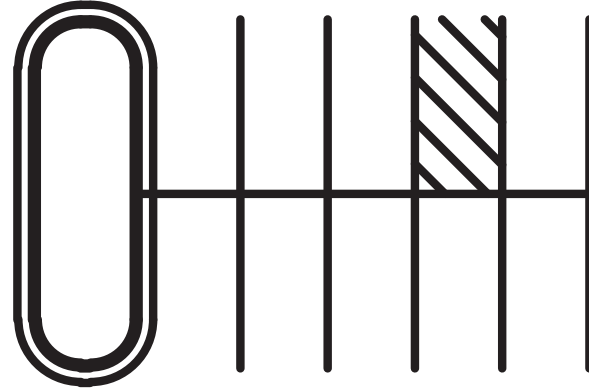
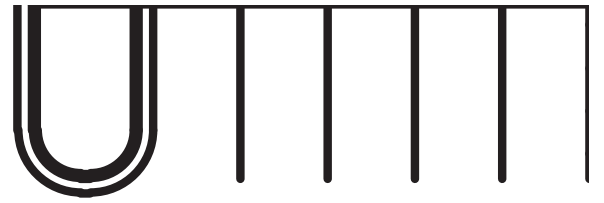


EXISTING DIRECTIONAL SIGN

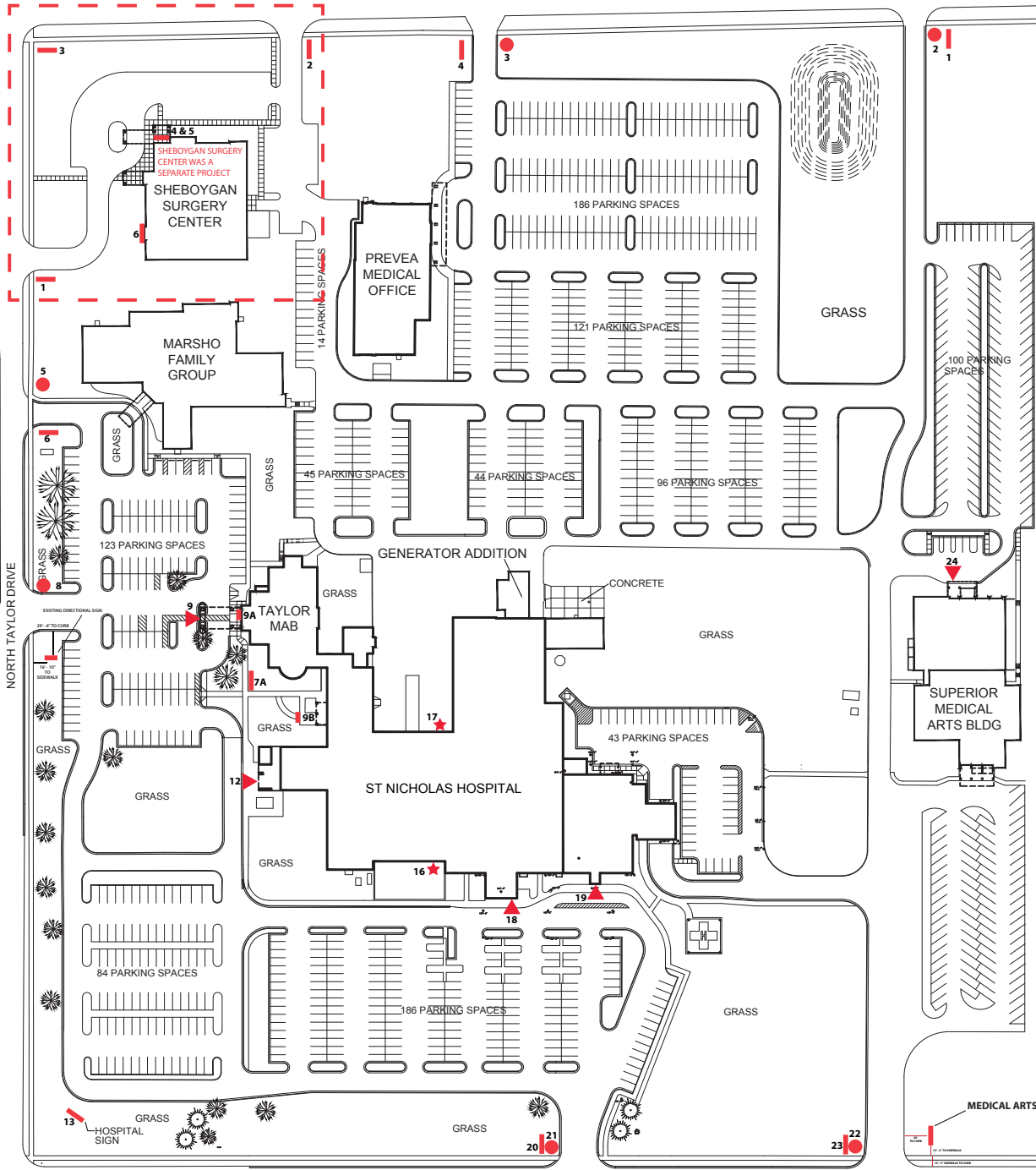
29' - 6" TO CURB



16' - 10" TO SIDEWALK



SAEMANN AVENUE



- KEY**
- Stop Sign
 - ◻ Do Not Enter
 - Major ID with Directional info to Main/ER Entries
 - Primary Directional
 - - - Secondary Directional
 - ★ Logo Lettering
 - ▲ Entrance Labeling

NORTH 29TH STREET

MEDICAL ARTS BLDG SIGN

HOSPITAL SIGN

10' x 10' SIGNAGE
12' x 12' SIGNAGE

OFFICE USE ONLY

PARCEL NO.: _____
MAP NO.: _____
ZONING CLASSIFICATION: _____

OFFICE USE ONLY

REVIEW DATE: _____
APPROVAL: _____
Steve Sokolowski, City Planner

Med Arts

**CITY OF SHEBOYGAN
DEPARTMENT OF CITY DEVELOPMENT**

828 Center Avenue Suite 104, Sheboygan, WI 53081
Phone: (920) 459-3377 Fax: (920) 459-7302
E-Mail: development@ci.sheboygan.wi.us

SIGN PERMIT APPLICATION

(November, 2009)

Completed application and all required attachments are to be filed with the Department of City Development, 828 Center Avenue, Suite 104 for review by the City Planner.

1. APPLICANT INFORMATION

APPLICANT: Quick Signs
ADDRESS: 525 S. Military Ave Green Bay WI 54303
E-MAIL ADDRESS: jess@quicksigns-wi.com
PHONE: (920) 494-4226 FAX NO: ()

2. OWNER INFORMATION

OWNER OF SITE: HSHS St. Nicholas Hospital
ADDRESS: 3100 Superior Ave Sheboygan WI 53081
PHONE: (920) 459-8300 FAX NO: ()

3. DESCRIPTION OF THE PROPOSED SIGN AND USE OF THE SUBJECT SITE

NAME OF PROPOSED/EXISTING BUSINESS: St. Nicholas Medical Arts Bldg.
ADDRESS OF PROPERTY AFFECTED: 2920 Superior Ave
USE OF PROPERTY: Medical Facility
TYPE OF SIGN: Main ID, Monument
DESCRIPTION OF PROPOSED SIGN: Illuminated blue main building ID sign

CLIENT NAME

St. Nicholas Hospital
Sheboygan, WI

PROJECT

Exterior Campus Plan



Remove old id sign and dispose of off site.
Electrical hook up is the responsibility of the sign vendor.
Sign vendor to discuss any landscape problems/issues prior to installation so client is fully aware of what to expect

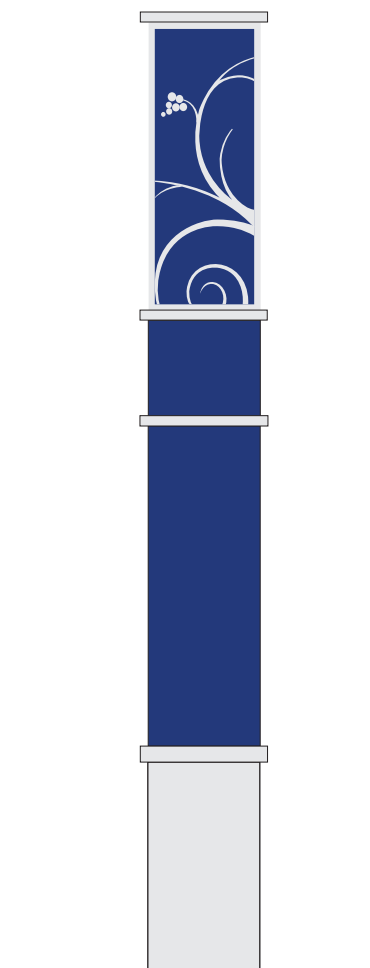


CLIENT NAME

St. Nicholas Hospital
Sheboygan, WI

PROJECT

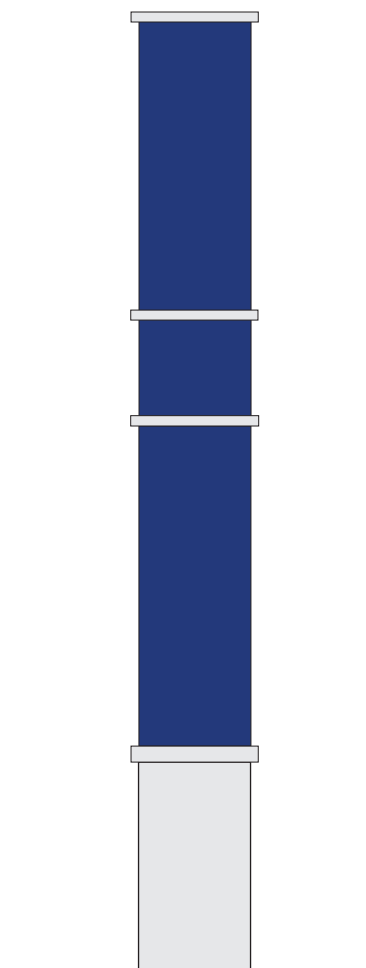
Exterior Campus Plan



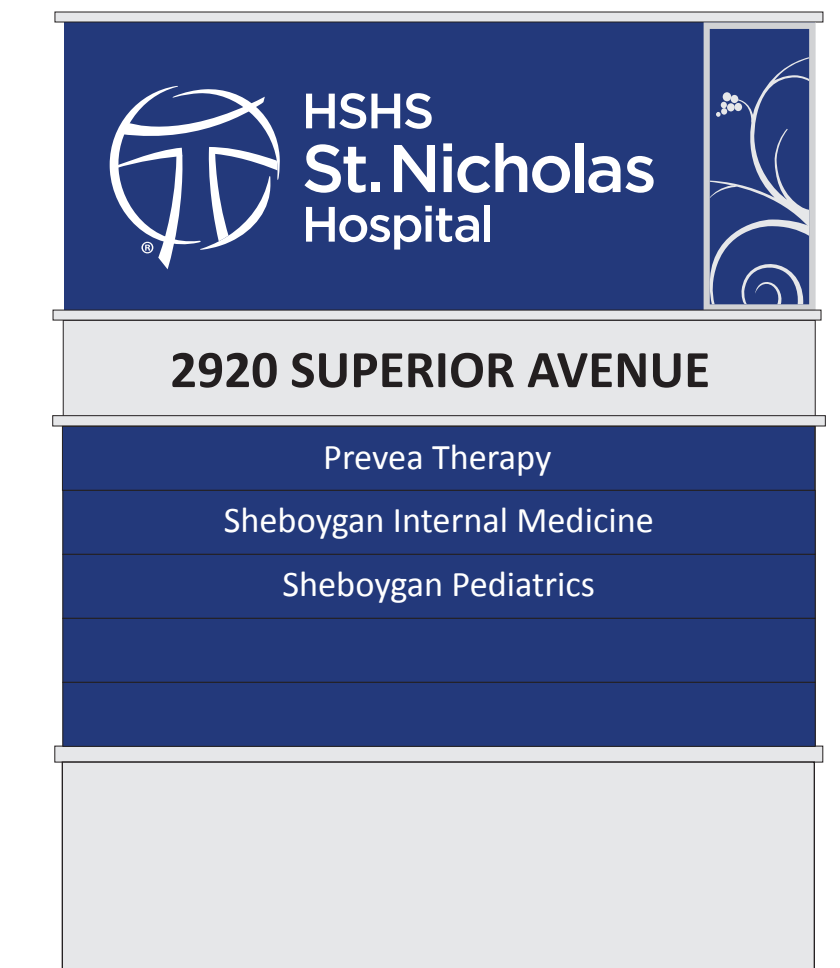
south elevation



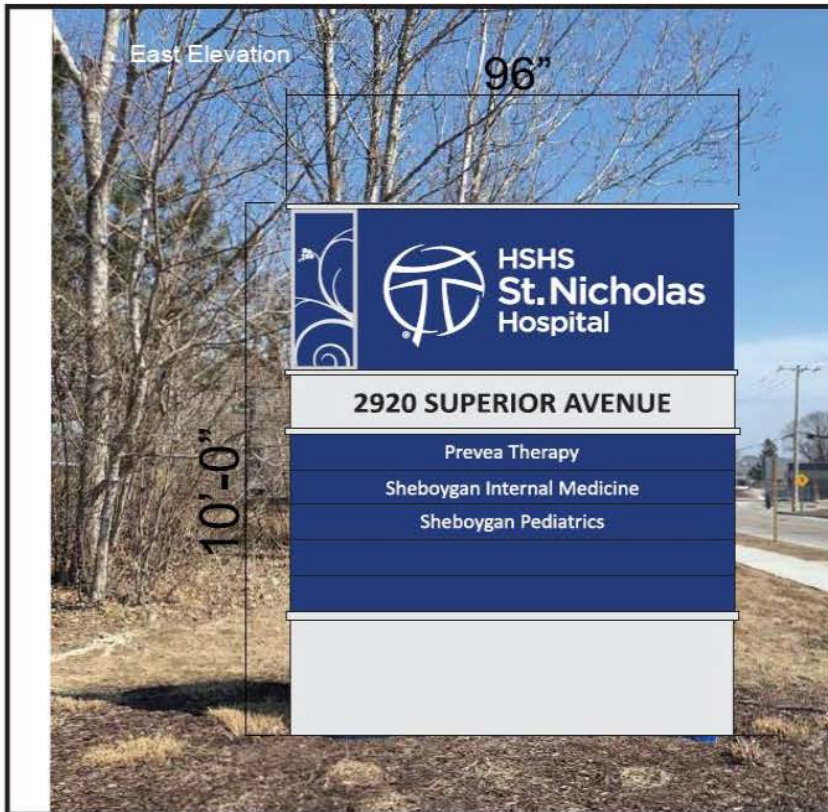
east elevation



north elevation



west elevation
location 25



quick signs
The Great Sign Place!

☎ 920.494.4226 📠 920.494.4232
 quicksigns-wi.com facebook.com/quicksigns-wi
 525 S. MILITARY AVE - GREEN BAY, WI 54303

CUSTOMER: St. Nicholas Hospital

CONTACT:

PROJECT LOCATION: Medical Arts - Superior Ave
SALESPERSON: Jess Bergstrom
ARTIST: James Lyon

DRAWING: A **SCALE:** 1/2"=1'
DATE: 4/15/21 **REVISION #:**

PROJECT DESCRIPTION

120" x 96"
East Elevation

APPROVAL FOR PRODUCTION

INITIALS: _____

DATE: _____

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quick signs
The Great Sign Place!

☎ 920.494.4226 📠 920.494.4232
 quicksigns-wi.com facebook.com/quicksigns-wi
 525 S. MILITARY AVE - GREEN BAY, WI 54303

CUSTOMER: St. Nicholas Hospital

CONTACT:

PROJECT LOCATION: Medical Arts - Superior Ave
SALESPERSON: Jess Bergstrom
ARTIST: James Lyon

DRAWING: B **SCALE:** 1/2"=1'
DATE: 4/15/21 **REVISION #:**

PROJECT DESCRIPTION

120" x 96"
West Elevation

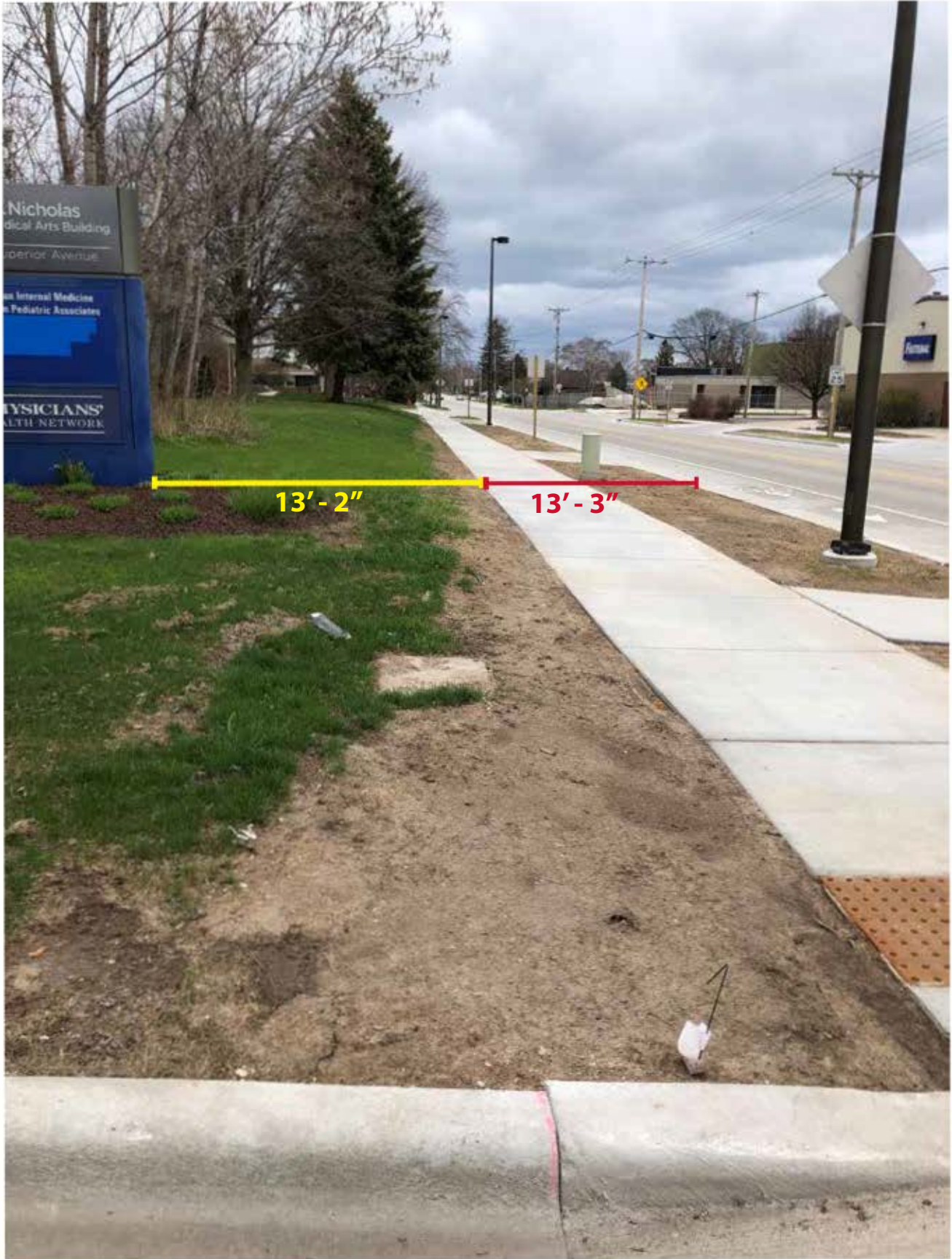
APPROVAL FOR PRODUCTION

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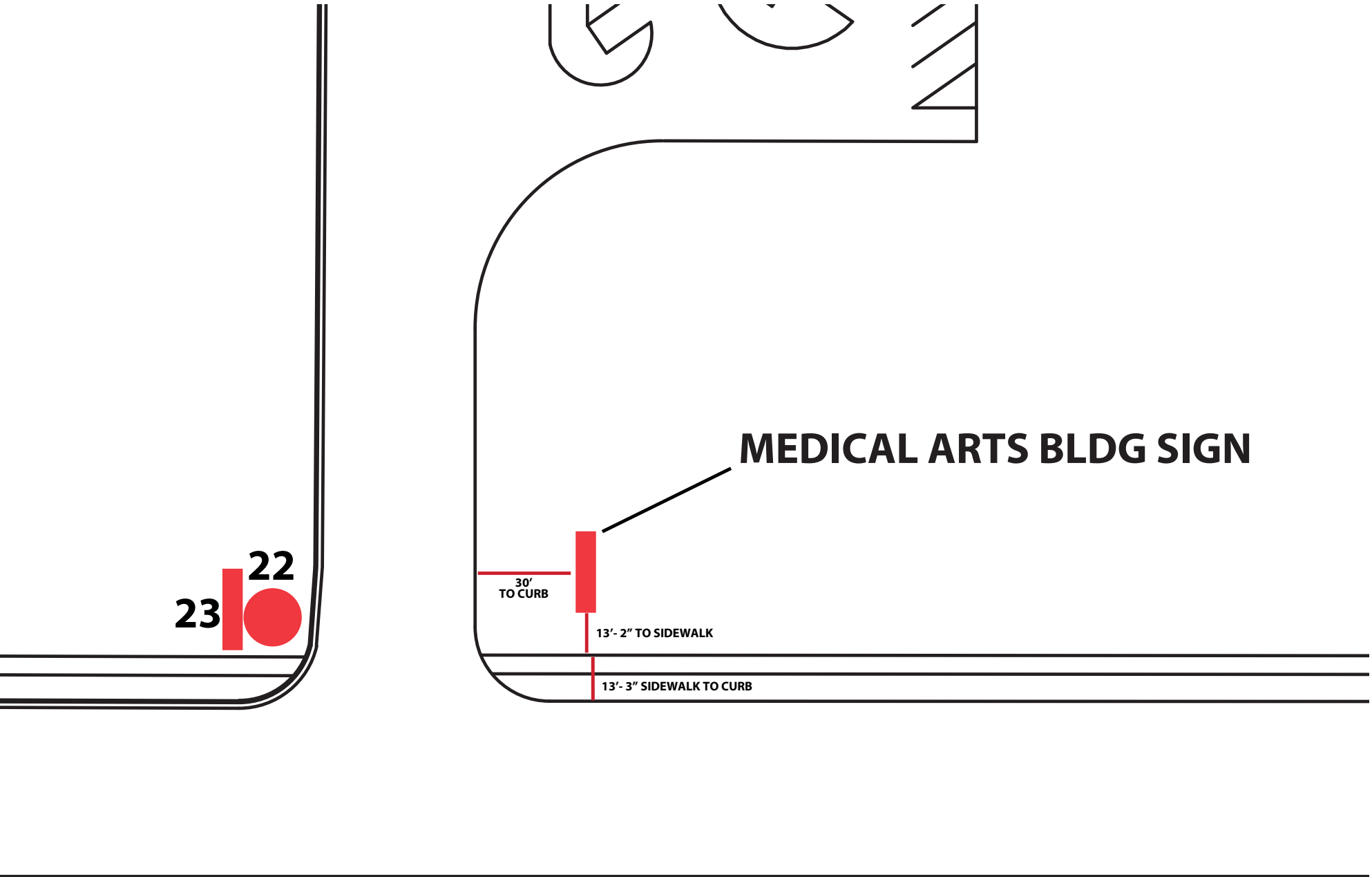
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Nicholas
Medical Arts Building
Superior Avenue
Internal Medicine
Pediatric Associates
PHYSICIANS'
HEALTH NETWORK

13' - 2"

13' - 3"



23 | 22
●

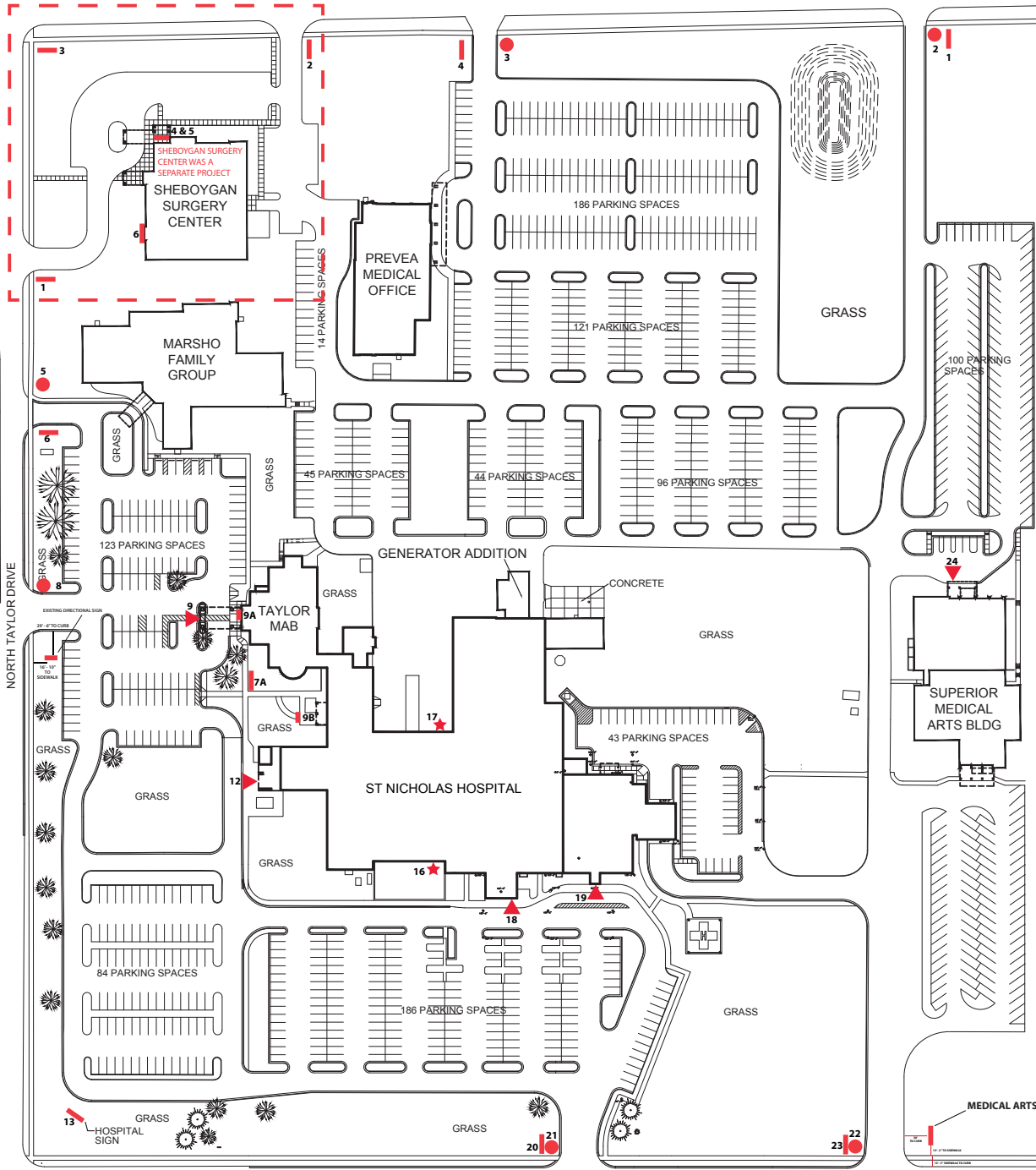
MEDICAL ARTS BLDG SIGN

30'
TO CURB

13'-2" TO SIDEWALK

13'-3" SIDEWALK TO CURB

SAEMANN AVENUE



- KEY**
- Stop Sign
 - Do Not Enter
 - Major ID with Directional info to Main/ER Entries
 - Primary Directional
 - Secondary Directional
 - ★ Logo Lettering
 - ▲ Entrance Labeling

NORTH 29TH STREET

MEDICAL ARTS BLDG SIGN

13 HOSPITAL SIGN

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PARCEL NO. _____
MAP NO. _____
ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Bao Her

ADDRESS: 1017 Michigan Ave E-MAIL: her.bao92@gmail.com

PHONE: (914) 502-5216 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Nava Subs & Sweets

ADDRESS OF PROPERTY AFFECTED: 1017 Michigan Ave.

LEGAL DESCRIPTION: Cafe / Eatery

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: None.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Cafe / Eatery. We plan to

build a kitchen & sitin area. We will be selling sandwiches & tea/
desserts.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: N/A

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE (see attachment)

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? _____

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Soua Vue

ADDRESS: 1017 Michigan Ave. E-MAIL: souavwj@gmail.com

ARCHITECT: N/A

ADDRESS: _____ E-MAIL: _____

CONTRACTOR: N/A

ADDRESS: _____ E-MAIL: _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.


APPLICANT'S SIGNATURE

4/18/21
DATE

Bao Her
PRINT ABOVE NAME

Nava Subs & Sweets Business Proposal

Initial Menu:

- Customizable Banh Mi sandwiches
- Bagged chips
- Boba and milk tea drinks
- Macaroons and other bakery items

Nava, LLC, proposes to utilize the commercial space on 1017 Michigan Ave., Sheboygan, WI, 53081, to buildout a small eatery/café.

Formerly, this location was a furniture outlet store. There is no current use of the commercial space. The building has since transferred over to new ownership. The upper is an apartment/living quarter, which now also has tenants.

This site was specifically selected as the desired location for the Nava eatery business because of it being within walking distance from surrounding neighborhoods and also located next to downtown. We hope it will continue to attract more residents to this side of town.

Nava is looking to sell both Banh Mi (Vietnamese-styled) sandwiches along with Boba tea (a popular Taiwanese drink). We will also have other desserts/drinks on the menu and will potentially add other side dishes as the business grows. We do not plan to carry an expansive menu in the future.

The floor plan will have the seating area near the entrance and the kitchen and service counter towards the back. There will be two built-in bathrooms alongside the kitchen. Nava would also like to provide additional seating/dining outside by the pavement, if there is adequate room and if authorized.

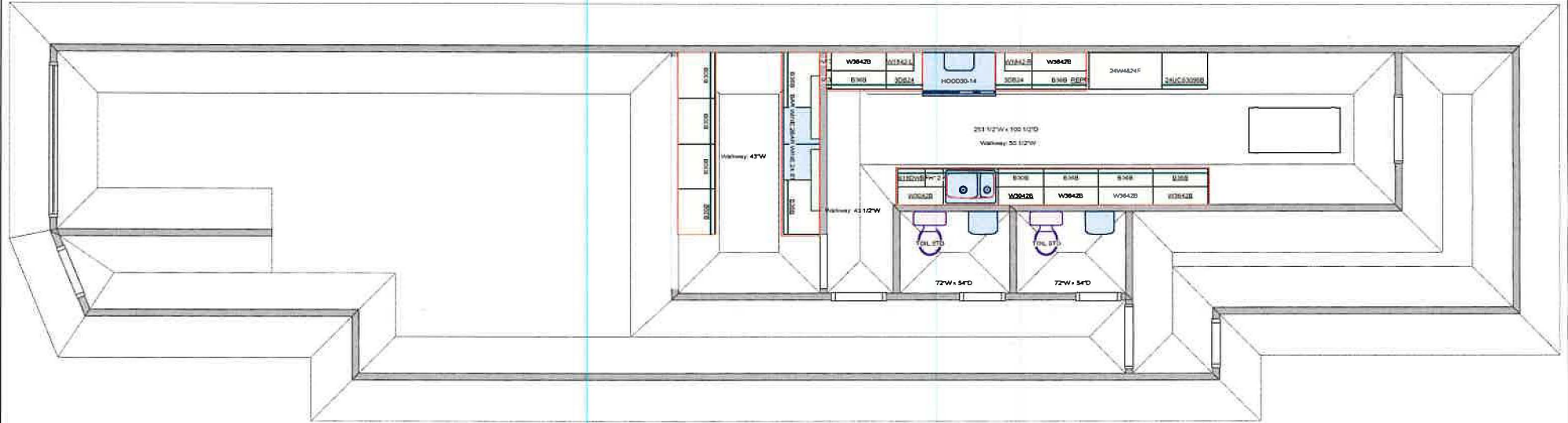
Nava plans to begin construction as soon as possible following approval and obtainment of all necessary permits from the city. There is an estimated 1440 sq. ft. of space that can be used for interior buildout/construction/renovation. There are plans to contract with an electrician to create additional outlets and install light fixtures. Plumbing will also be required for installation of grease trap, kitchen sinks and bathrooms. At this time, Nava does not plan to do any exterior remodeling/renovations except installation of signage and a commercial front entrance.

The proposed interior design is a mix between warm rustic and midcentury modern for a unique and exciting experience. We do not have a finalized arrangement at this time, but we will be working with a designer to work out the details.

As mentioned above, we plan to sell Banh Mi sandwiches and Boba tea. We will also sell desserts on the side and eventually introduce other side dishes. We plan to be open daily between the hours of 10am and 7pm. Hours may change depending on business. On opening day, we will have about 5 staff members. This number may be adjusted to fit the needs of the company. At this time, there is no off-street parking sign designated for Nava customers. We

will seek for authorization for off-street parking next to our neighbor, Key Insurance. We will keep all outdoor lighting and indoor noise to a minimum so as not to disturb our neighbors.

There will be one non-illuminated storefront placed on top of the store. It will be the logo of the business.

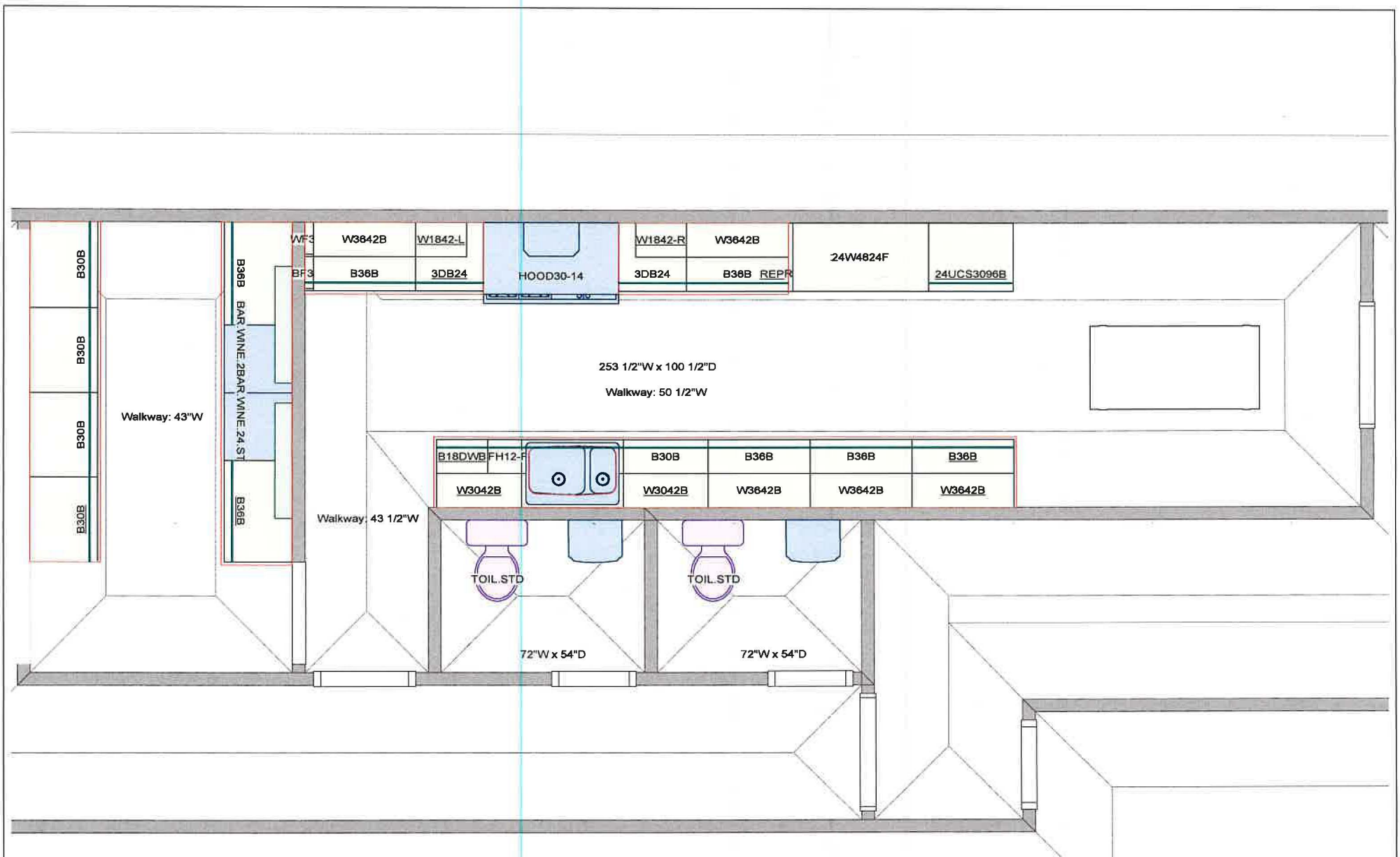


All dimensions _size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 4/12/2021
Printed: 4/13/2021



All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 4/12/2021
Printed: 4/13/2021



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

2020

Designed: 4/12/2021
Printed: 4/13/2021

NV_kitchen2v2.kit

All (no dims) Drawing #: 1



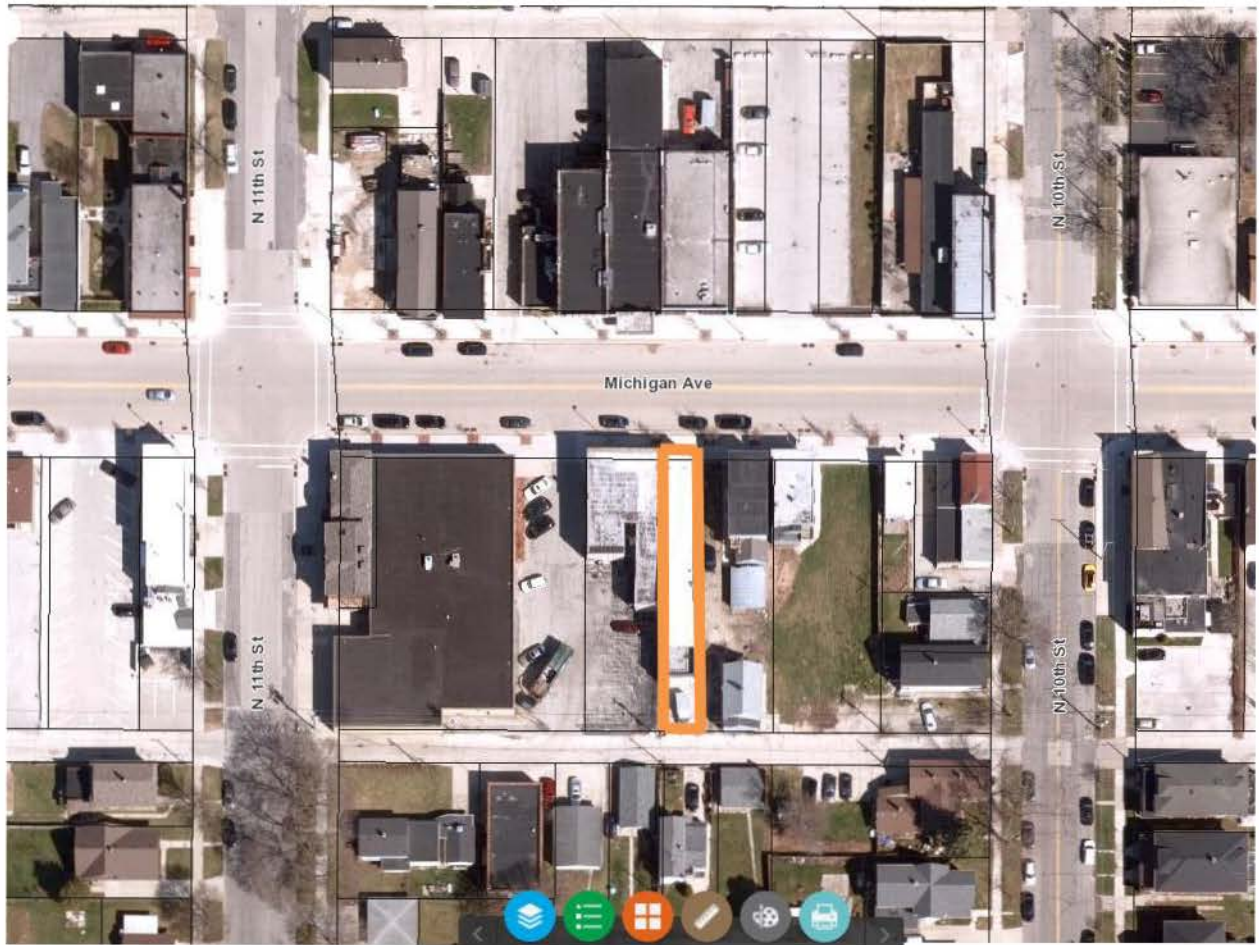
Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

2020

Designed: 4/12/2021
Printed: 4/13/2021

NV_kitchen2v2.kit

All (no dims) Drawing #: 1



1013 Michigan Ave Sheboygan, Wisconsin



CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by Bao Her to operate Nava Subs and Sweets at 1017 Michigan Avenue. CC Zone.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 7, 2021

MEETING DATE: May 11, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Bao Her is proposing to operate Nava Subs and Sweets at 1017 Michigan Avenue. The applicant states:

- The tenant space will be used as a small restaurant/cafe. Nava is looking to sell both Banh Mi (Vietnamese-styled) sandwiches along with Boba tea (a popular Taiwanese drink). Nava will also have other desserts/drinks on the menu and will potentially add other side dishes as the business grows.
- This site was specifically selected as the desired location for the Nava eatery business because it is within walking distance from surrounding neighborhoods and is also close to downtown. We hope to attract more residents to this side of town.
- The proposed interior design is a mix between warm rustic and midcentury modern for a unique and exciting experience. We do not have a finalized arrangement at this time, but we will be working with a designer to work out the details.
- The floor plan will have the seating area near the entrance and the kitchen and service counter towards the back. There will be two (2) built-in bathrooms alongside the kitchen. Nava would also like to provide additional seating/dining outside by the pavement, if there is adequate room and if authorized.
- Nava plans to begin construction as soon as possible following approval and obtainment of all necessary permits from the city. There is an estimated 1,440 sq. ft. of space that can be used for interior buildout/construction/renovation.

- We plan to be open daily between the hours of 10am and 7pm. Hours may change depending on business.
- On opening day, we will have about five (5) staff members. This number may be adjusted to fit the needs of the company.
- There will be one non-illuminated storefront placed on top of the store. It will be the logo of the business.
- This 1st floor commercial tenant space is vacant and was previously used as furniture store. The upper is an apartment/living quarter, which now also has tenants.

STAFF COMMENTS:

The applicant mentions potential outdoor seating along the Michigan Avenue sidewalk. Applicant would be required to obtain the required Sidewalk Café permit prior to being able to serve customers in this Michigan Avenue sidewalk area.

The applicant mentions possible signage but no formal sign package has been submitted. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

Appears there is no dumpster enclosure at this site. The dumpsters and/or grease receptacles shall be screened and enclosed and the applicant will work with staff with regards to the design and location of dumpster.

The applicant will need to work with the Sheboygan County Health Department and the City Inspections Department regarding required permits and occupancy.

The Plan Commission may want to have the applicant address:

- Will you be serving alcohol and/or liquor?
- Will there be any rooftop or ground mechanicals to be installed?
- Have they thought about the location of the dumpster enclosure?

Nava Subs and Sweets is a nice way of filling this vacant Michigan Avenue commercial tenant space.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, food, alcohol, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.

2. Applicant shall obtain the necessary liquor license in order to serve alcohol. Applicant may serve alcohol if and only if all required liquor licenses are obtained.
3. Dumpsters and/or grease receptacles shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slating (PDS) material in order to effectively screen the dumpster. Dumpsters shall be screened and enclosed prior to issuance of an occupancy permit.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All ground level and rooftop mechanicals shall be screened/enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All kitchen exhaust shall vent through the roof.
7. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
8. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
9. Proposed signage will be individual letter signs (no flat panel or interior lit cabinet signs).
10. No outdoor seating is permitted in the Michigan Avenue sidewalk area without obtaining the required Sidewalk Café permit.
11. If there are to be any renovation to the exterior of the facility, the applicant will be required to obtain approval from the Architectural Review Board prior to receiving a building permit for such renovation.
12. If there are any amendments to the approved use and/or floor/site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by American Transmission Company to make improvements at the electrical substation located at 2020 Kohler Memorial Drive. SO Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 7, 2021

MEETING DATE: May 11, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

American Transmission Company (ATC) is proposing to make improvements at the electrical substation located at 2020 Kohler Memorial Drive. The applicant states:

- This is an existing electrical substation where both Wisconsin Power & Light and ATC have facilities to own, operate, maintain, construct the site to provide power to the Sheboygan area. The existing electrical substation which provides safe, reliable power to customers in the area and the scheduled work will improve reliability and power quality in the Sheboygan area.
- The site will be expanded approximately 20 feet west to accommodate new substation equipment and control enclosure expansion.
- The substation fence will also be replaced for better security and public safety. To meet safety standards and protect the integrity of the electric transmission facilities enclosed, the fence will be 10 feet tall and an exception is requested.
- The existing control enclosure/structure that protects substation electronics and communications equipment will be expanded 16 feet west to accommodate additional equipment. This enclosure is not typically occupied and does not have on-site facilities (restrooms, etc.). The enclosure expansion will match the existing building materials, color, height, roof pitch, foundation color, etc.

- Storm drainage will be modified to accommodate site expansion and will account for any additional runoff generated at the site due to the expansion.
- The substation is accessed infrequently with employees entering the substation only once or twice per month, unless there are maintenance issues that need to be addressed. There is sufficient parking for a couple of vehicles in the driveway to the substation.

STAFF COMMENTS:

Site improvements include:

- Existing substation perimeter is to be enlarged on the property by approximately 20 feet to the west to accommodate new substation equipment and control enclosure expansion. The fenced in perimeter of the substation is approximately .9 acres (252 x 148).
- The applicant is proposing to remove the existing fencing and install a new 10 foot tall chain link fence with mesh to screen the substation from adjoining properties.
- Existing 392sf (14 x 28) control building to be added onto. The addition is 224sf (14 x 16). Thus, the control building will now be 616sf (14 x 44). The addition will match the existing structure in terms of design, materials and colors.

The Plan Commission should have the applicant address the following:

- What is the proposed color of the mesh to be installed to screen the substation from the adjoining properties? Applicant has provided a photo that shows an existing substation that is grey in color. The Plan Commission approved a previous substation improvement on S. 19th Street with mesh that was green in color. Does the Plan Commission prefer the green compared to the grey?
- What areas of the substation are to be paved (building foundation, driveway/parking, etc.)?

The applicant is requesting the following variance:

- To install a 10 foot tall fence – Maximum nine (9) foot tall fence permitted.

ATC's has adopted a 10 foot tall, no-cut no-climb fence standard at substations. This been developed in response to critical infrastructure protection needs balancing security and cost. This no-cut no-climb fence standard protects the station from damage, the public from injury and maintains the community's energy reliability.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and exception subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, storm drainage, hazardous materials, etc.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
4. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
5. Fence shall be installed per Section 15.720(3)(c) of the City Zoning Ordinance. Maximum height of fence shall be 10 feet tall.
6. The applicant shall install Privacy Decorative Slating (PDS) or mesh screening material into the chain link fencing in order to effectively screen the substation facilities. Color shall be _____.
7. Outdoor storage of materials, products or equipment shall be prohibited.
8. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent streets and/or properties.
9. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
10. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
11. Applicant will provide adequate public access along streets and will take all appropriate actions to minimize the time period that these streets will be closed/affected.
12. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
13. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
14. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
15. Absolutely no portion of the new building and/or site improvements shall cross the property line (buildings, parking, retaining walls, signs, landscaping, etc.).
16. Applicant shall construct the building addition to match the existing building in terms of design, materials, colors, etc.
17. If there are any amendments to the approved site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. 59281214130

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: American Transmission Co.

ADDRESS: W234 N2000 Ridgeway Parkway Ct, Waukesha WI 53188

E-MAIL: psherman@atcllc.com

PHONE: (920) 265-6347 (cell) FAX NO. (920) 338-6501

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: 20th Street Substation

ADDRESS OF PROPERTY AFFECTED: 2020 Kohler Memorial Dr, Sheboygan WI 53081 (see attached map)

LEGAL DESCRIPTION: SEC 22 T15N R23E PART OF THE E 1/2 OF THE NW SEC 22 DESC AS: COM AT THE NE CORNER OF LOT 8 OF ELLEN M. BATES SUBD., TH N-89-DEG- 39'-00"E 370.30', TH S-00- DEG-20'-00"E 168.12', TH WLY 368.26' TO A POINT IN E LINE OF SD LOT 8 S-00-DEG-14'- 00"E 167.78' OF THE POINT OF BEG., TH N-00-DEG-14'-00"W 167.78' ALONG SD E LINE TO BEG.

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: **SEE ATTACHED SUMMARY**

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: **SEE ATTACHED SUMMARY**

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: **SEE ATTACHED SUMMARY**

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? **SEE ATTACHED SUMMARY**

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? NO

Same as above

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? YES

This is an existing substation that will continue to operate the same and serve the City of Sheboygan.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

This is the utility that provides the service.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Wisconsin Power & Light Co. (NOTE: ATC holds a recorded easement granting the right to operate, maintain, construct facilities over the property for transmission facilities).

ADDRESS: 4902 N. Biltmore Ln., Madison WI 53718

E-MAIL: briancooke@alliantenergy.com (Brian Cooke)

ARCHITECT: NA – The control building is a pre-fab building.

ADDRESS: _____ E-MAIL: _____

CONTRACTOR: To be determined: Either Systems Control or Electrical Power Products: Oversight by MJ Electric, Tom Garceau

ADDRESS: 1325 S Broadway St. De Pere WI 54115

E-MAIL: TGarceau@mjelectric.com

CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



CITY OF SHEBOYGAN – CONDITIONAL USE PERMIT – SUMMARY

20TH STREET SUBSTATION

DESCRIPTION OF EXISTING AND PROPOSED USE:

The current and proposed use does not change with the improvements.

This is an existing electrical substation where both Wisconsin Power & Light and ATC have facilities to own, operate, maintain, construct the site to provide power to the Sheboygan area. The scheduled work will improve reliability and power quality in the Sheboygan area. The site will be expanded approximately 20 feet west to accommodate new substation equipment and control enclosure expansion.

The substation fence will also be replaced for better security and public safety. To meet safety standards and protect the integrity of the electric transmission facilities enclosed, the fence will be 10' and an exception permit will be submitted.

The existing control enclosure that protects substation electronics and communications equipment will be expanded 16 feet west to accommodate additional equipment. This enclosure is not typically occupied and does not have on-site facilities (restrooms, etc.).

Storm drainage will be modified to accommodate site expansion and will account for any additional runoff generated at the site due to the expansion.

JUSTIFICATION OF THE PROPOSED CONDITIONAL USE AND FENCE VARIANCE

This is an **existing** electrical substation which provides safe, reliable power to customers in the area and will **continue** to operate the same and serve the City of Sheboygan.

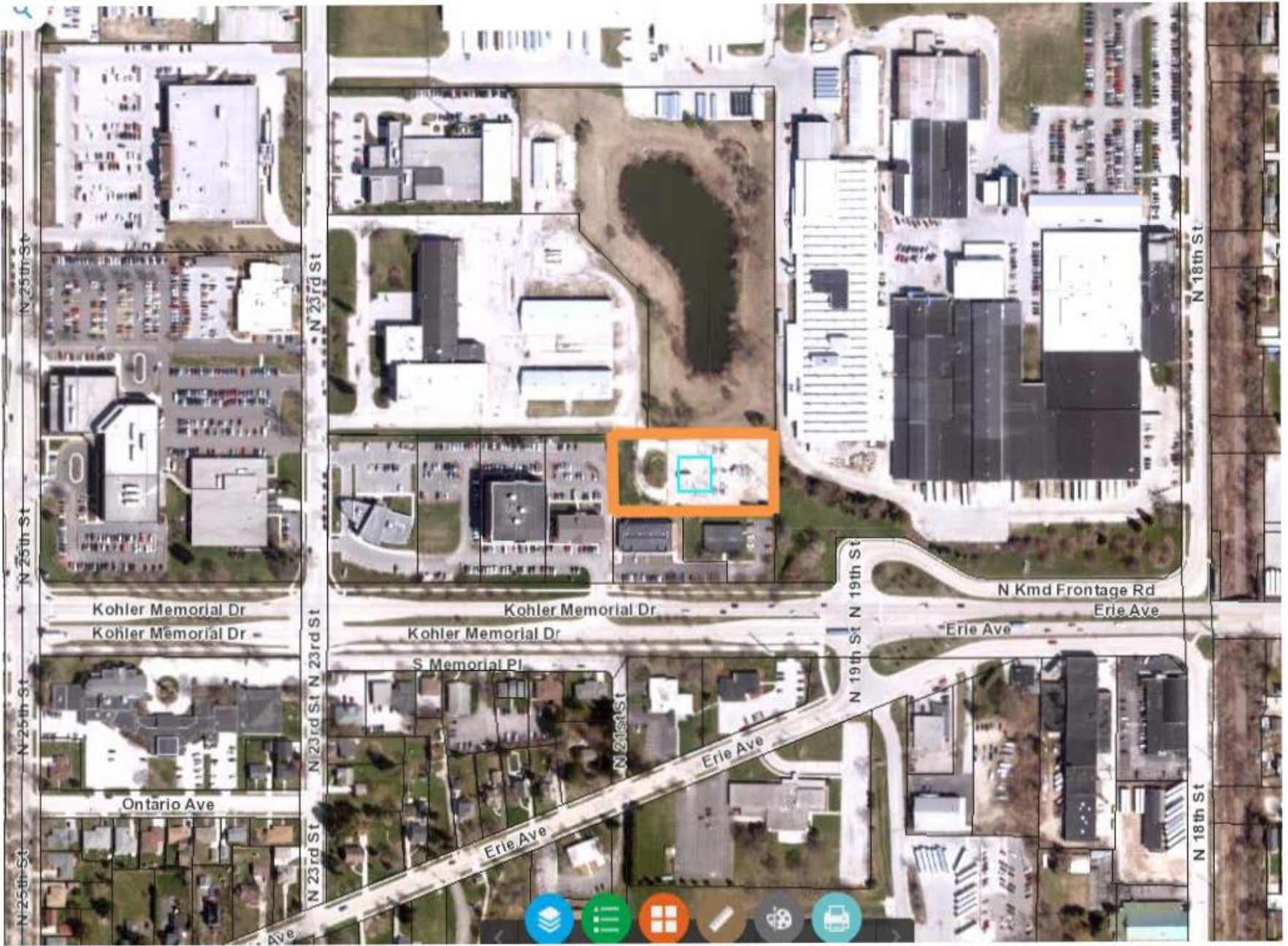
As discussed on the meeting with ATC, City of Sheboygan & ATC Contractors – the enclosure expansion will match the existing building materials, color, height, roof pitch, foundation color, etc. (Photo and drawings included). As such **NO ARCHITECTUREAL REVIEW is required.**

FENCE VARIANCE:

ATC's has adopted a standard fence at substations to be 10' no-cut no-climb fence. This been developed in response to critical infrastructure protection needs balancing security and cost. It makes fence cut or climbing break-ins extremely unlikely which protects the station from damage, the community's energy reliability, and the public from injury.

INSURE PROPOSAL WILL NOT BECOME A NUISANCE TO ADJOINING PROPERTY:

Construction activities are planned Monday through Friday between 6 am – 6 pm. No weekends are expected but all construction is dependent on the ability to schedule outages that would affect the substation.



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N 25th St

N 25th St

N 25th St

N 23rd St

N 23rd St

N 23rd St

N 21st St

N 19th St

N 19th St

N 18th St

N 18th St

Kohler Memorial Dr
Kohler Memorial Dr

Kohler Memorial Dr
Kohler Memorial Dr

Ontario Ave

S Memorial Pl

Erie Ave

Erie Ave

Erie Ave

N Kmd Frontage Rd
Erie Ave



NOTES

- COORDINATES SHOWN ARE BASED ON THE WISCONSIN SOUTH STATE PLANE COORDINATE SYSTEM (4803); HORIZONTAL DATUM: NAD83 (2011), US SURVEY FEET; VERTICAL DATUM: NAVD 88.
- TOPOGRAPHIC SURVEY PROVIDED BY ATC JULY 2020.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION BY CONTACTING MISSDIG811.
- CONTOURS ARE TOP OF FINAL SURFACE GRADE. CONTRACTOR TO SUBTRACT SURFACING THICKNESS TO OBTAIN SUBGRADE ELEVATION.
- NEW SUBSTATION PAD SURFACING SHALL BE INSTALLED INSIDE NEW FENCE EXPANSION AND A 5' PERIMETER OUTSIDE THE NEW FENCE. TOP LAYER SHALL BE 8" OF ASTM D448 SIZE 57 STONE. REFER TO ATC STANDARD CONSTRUCTION SPECIFICATION MANUAL (2016) SECTION 31.10.10.2.1 FOR ADDITIONAL AGGREGATE MATERIAL REQUIREMENTS.
- NEW SUBSTATION PERIMETER ROAD/PARKING SHALL CONSIST OF AN 8" AGGREGATE BASE LAYER CONFORMING TO ASTM D2940 TABLE 1. REFER TO ATC STANDARD CONSTRUCTION SPECIFICATION MANUAL (2016) SECTIONS 31.10.10.2.1 AND 31.10.10.3.12 FOR ADDITIONAL AGGREGATE MATERIAL REQUIREMENTS.
- PAD AND PERIMETER ROAD/PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ATC STANDARD CONSTRUCTION SPECIFICATIONS MANUAL (2016).
- SILT FENCE SHALL BE INSTALLED PER WISCONSIN DNR STANDARD NUMBER 1056 ON THE DOWN SLOPE SIDE OF ALL EARTH DISTURBING ACTIVITIES.
- ALL DISTURBED AREAS NOT RECEIVING AGGREGATE FINISH SHALL BE SEEDED. PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH WISCONSIN DNR STANDARD 1059.
- SUBGRADE SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AT A MAXIMUM OF +/- 3% OPTIMUM MOISTURE CONTENT.
- EXISTING SUBSTATION FENCE AND GATES SHALL BE REMOVED IN ITS ENTIRETY. NEW SUBSTATION FENCE AND GATES SHALL BE PLACED ACCORDING TO THIS DRAWING. SEE 20S-02-03 FOR FENCE DETAILS AND NOTES.
- CONSTRUCTION BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITIES.
- SITE EARTH DISTURBING ACTIVITIES SHALL FOLLOW THIS CONSTRUCTION SEQUENCE: CLEARING, TOP SOIL STRIPPING, ROUGH GRADING, BELOW GRADE CONSTRUCTION, ABOVE GRADE CONSTRUCTION, AND FINAL GRADING AND SEEDING.
- ALL DISTURBED GROUND LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND MULCHED DURING THE PERIOD APRIL 15 TO SEPTEMBER 15. IF FINAL RESTORATION IS NOT COMPLETED BY OCTOBER 15, THE CONTRACTOR SHALL USE STRAW MATTING OR ANIONIC POLYACRYLAMIDE SPRAY TO PREVENT EROSION DURING THE WINTER AND EARLY SPRING MONTHS.

LEGEND

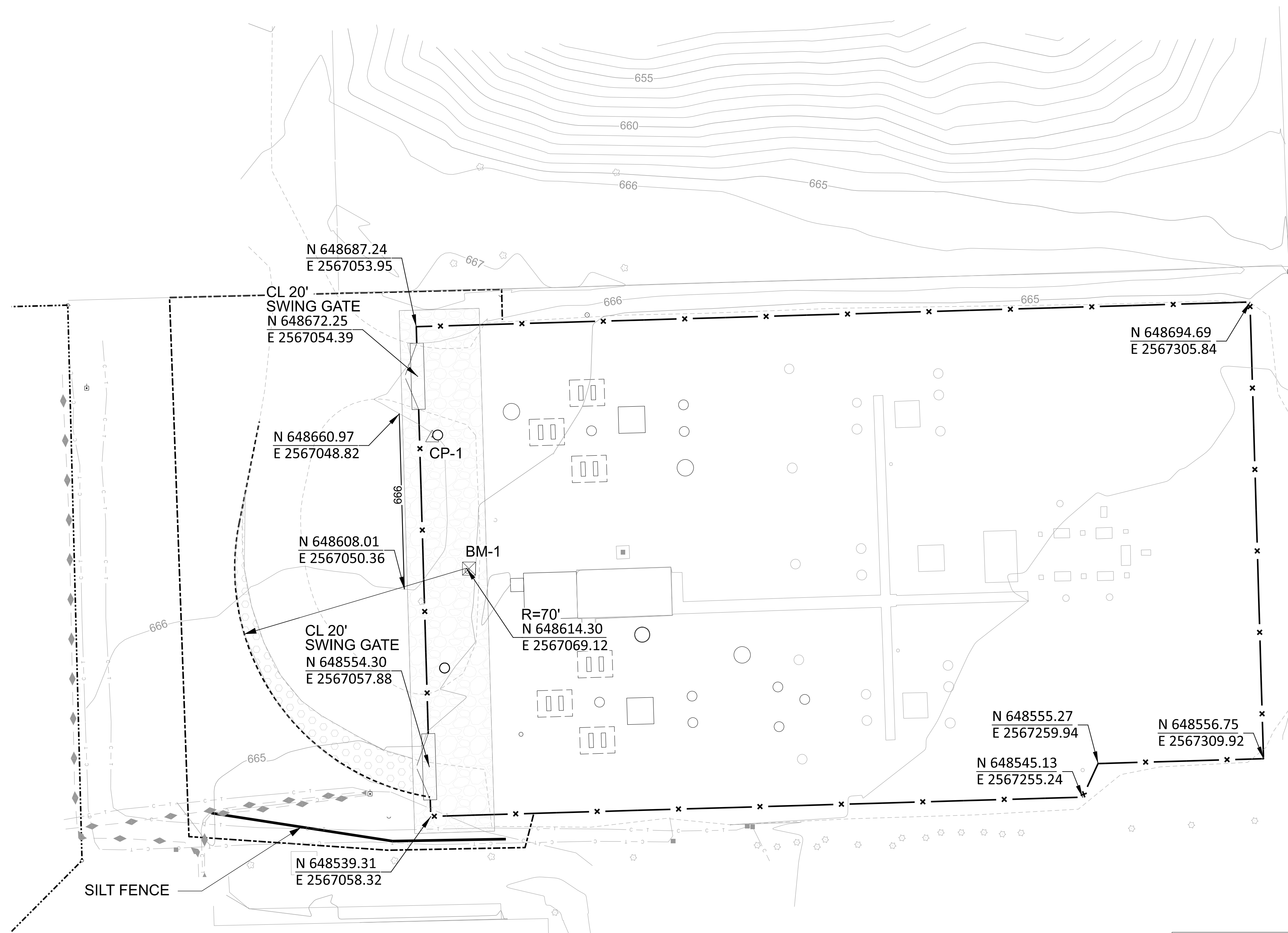
- PROPERTY LINE
- 111—— NEW CONTOUR
- 111—— EXISTING CONTOUR
- x - x - x - NEW SUBSTATION FENCE
- EXISTING EDGE OF AGGREGATE
- NEW EDGE OF AGGREGATE
- C — T — EXISTING CABLE/TELEPHONE
- ◆ — EXISTING FIBER OPTIC
- SILT FENCE
- LIMITS OF DISTURBANCE
- △ SURVEY CONTROL POINTS
- ⊠ SURVEY BENCHMARK
- ⊞ SUBSTATION AGGREGATE
- ⊞ ROAD AGGREGATE
- EXISTING POLE

DRAWING APPROVAL
PLEASE CIRCULATE DRAWING(S)
IN ORDER SHOWN BELOW:
Comments are needed by : B&V, 02/25/21

Name	Initial	Code	Date
PLN			
OPS			
PROT			
SCADA			
MAINT			
DE			
IT			
OTHER			

Codes: A = Approved for final
B = Approved with comments
C = Revise and resubmit

REFERENCE DRAWINGS
20S-02-02 SIGNAGE AND PLACEMENT
20S-02-03 FENCE DETAILS
20S-03-01 FOUNDATION PLAN



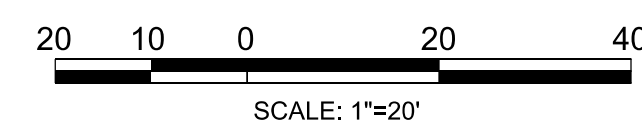
CONSTRUCTION SCHEDULE		
PHASE	START	END
BELOW GRADE	06/01/2021	09/13/2021
ABOVE GRADE	09/14/2021	12/08/2021

SURVEY CONTROL MONUMENT LOCATIONS

MONUMENT ID	STATE PLANE COORDINATES		ELEVATION
	NORTHING	EASTING	
CP-1	648654.09	2567058.76	666.09
BM-1	648614.17	2567069.89	666.30

REFERENCE ONLY

04/15/2021 8:18:24 PM



REV	DATE	W.D.	DESCRIPTION	DRAWN	CHK'D	APP'D	CMFY
0	02-04-21	603808	ISSUED FOR PERMITTING	JAC	JDA	JRR	BV

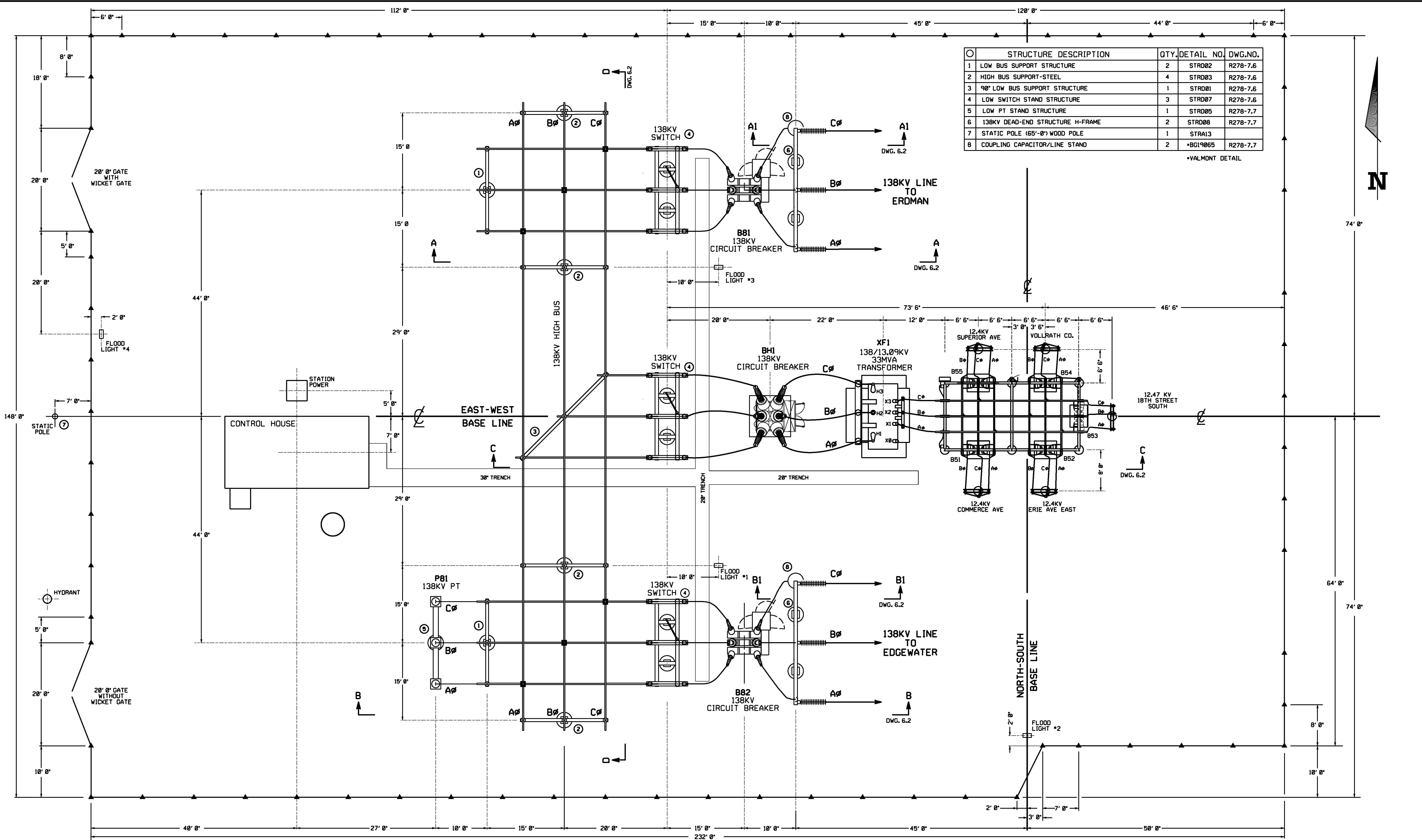


SITE PLAN
GRADING & DRAINAGE
20TH STREET SUBSTATION

SCALE: 1" = 20'-0"

DRAWING No.

20S-02-04



QTY.	DETAIL NO.	DWG. NO.
2	STR002	R278-7.6
4	STR003	R278-7.6
1	STR001	R278-7.6
3	STR007	R278-7.6
1	STR005	R278-7.7
2	STR008	R278-7.7
1	STRA13	
2	*BGI9065	R278-7.7

*VALMONT DETAIL

REFERENCE ONLY

04/15/2021 6:34:06 PM

SEE R278-6.2 FOR BILL OF MATERIAL AND NOTES

G		F		E		D		C		B		A	
M		L		K		J		I		H		G	
N		M		L		K		J		I		H	
DATE		BY		ENG.		DESCRIPTION		DATE		BY		ENG.	
DATE		BY		ENG.		DESCRIPTION		DATE		BY		ENG.	

STRUCTURE LAYOUT

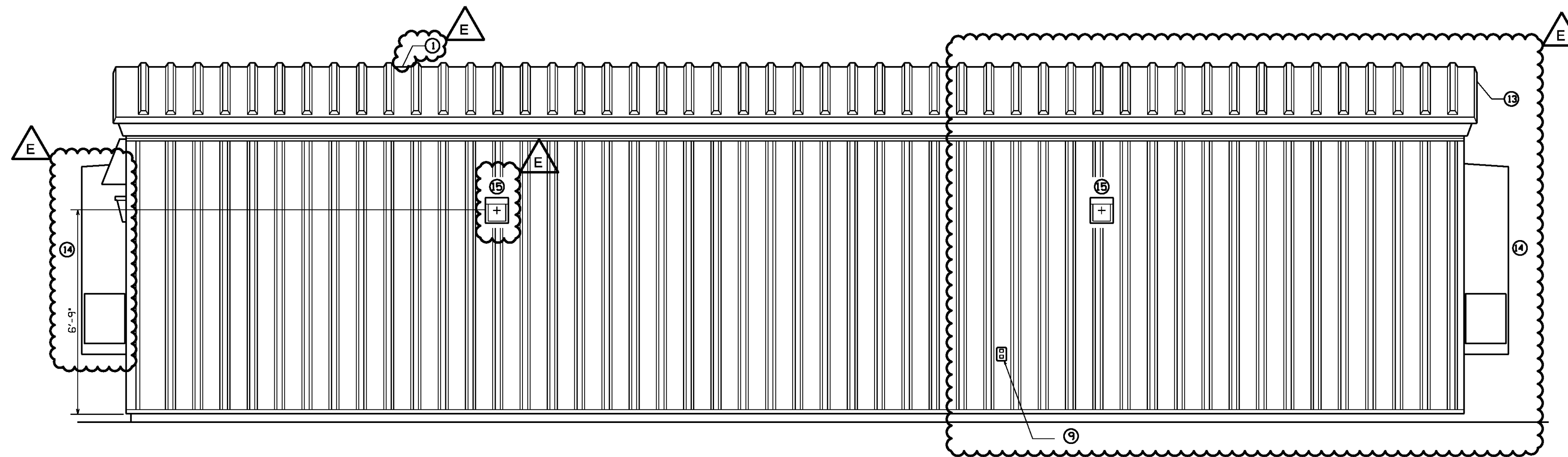
DRAWN BY: RCB DATE: 1/8/96
 ENG. L.T. HILLIER DATE: 2/1/96
 APPROVED: SCALE: 1/8"=1'-0"
 LOCATION: 20TH STREET

CONFIDENTIAL FOR THE USE OF WPL ONLY. USE BY ANYONE OTHER THAN WPL IS AT THEIR OWN RISK.

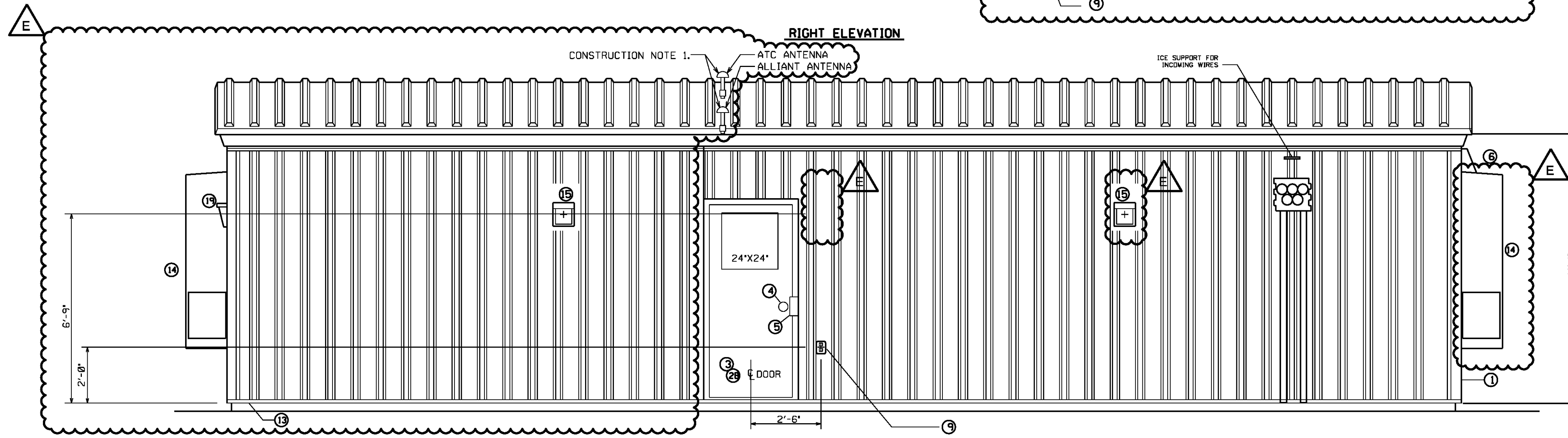
R278-6.1

DRAWING NO.

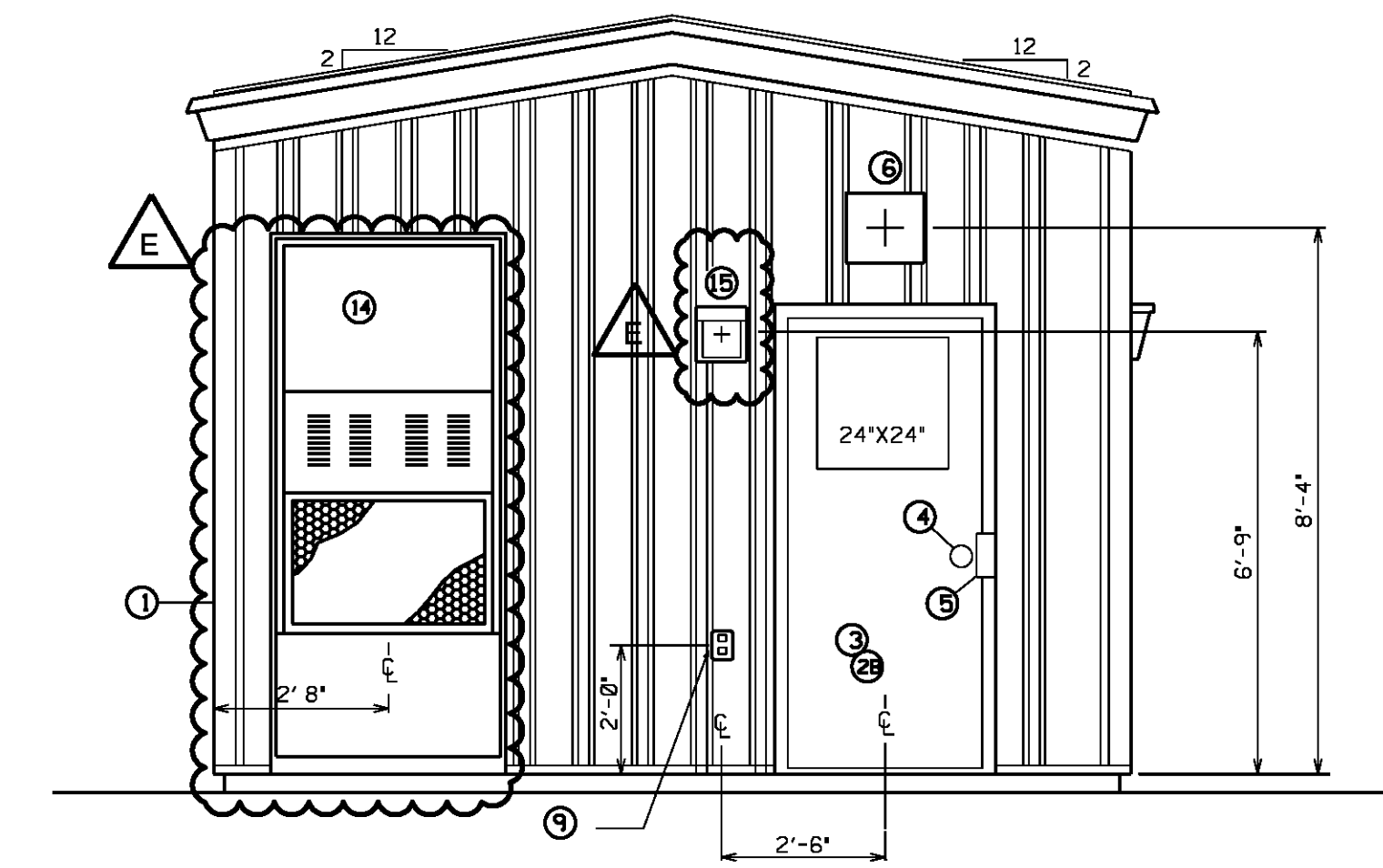




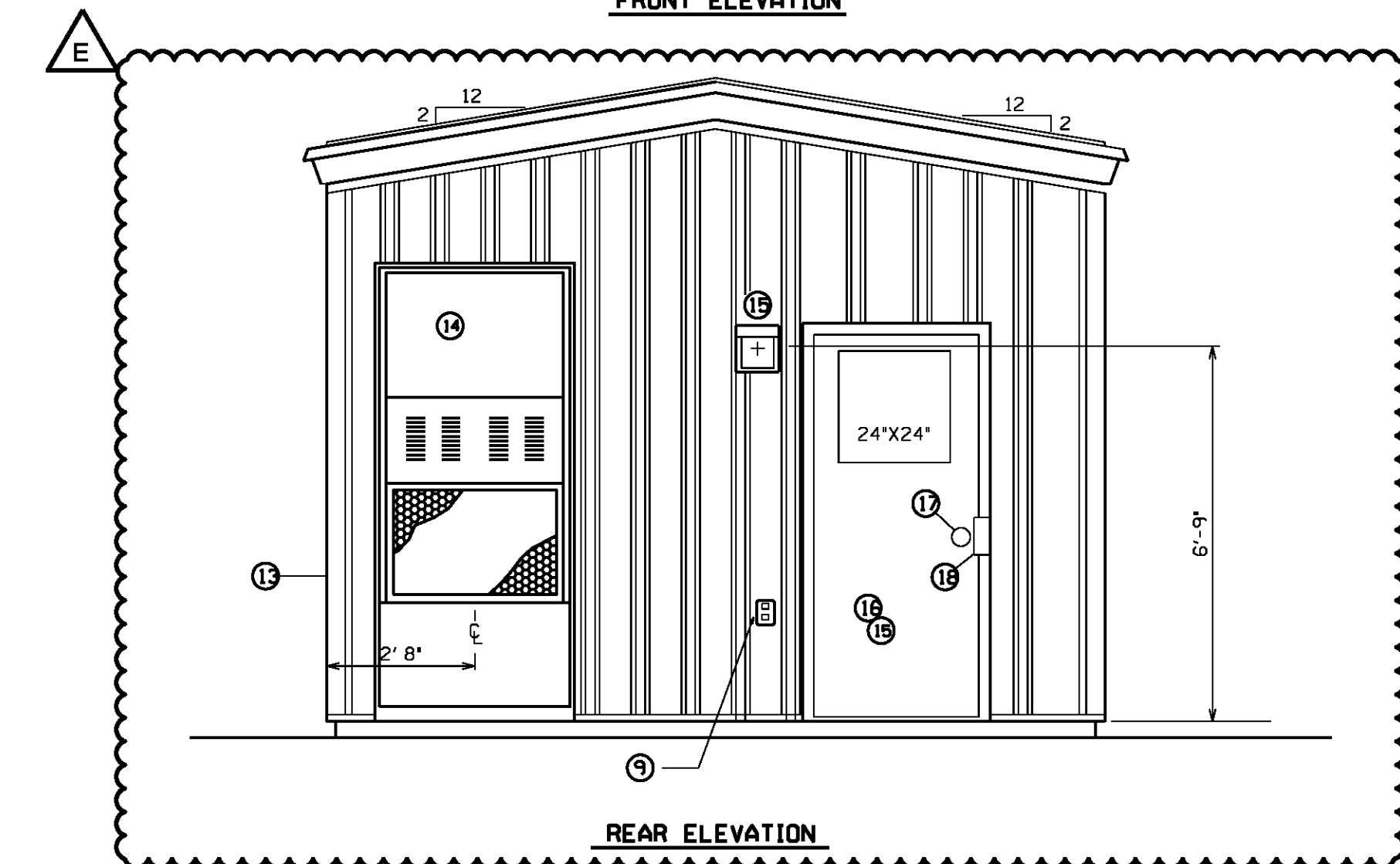
RIGHT ELEVATION



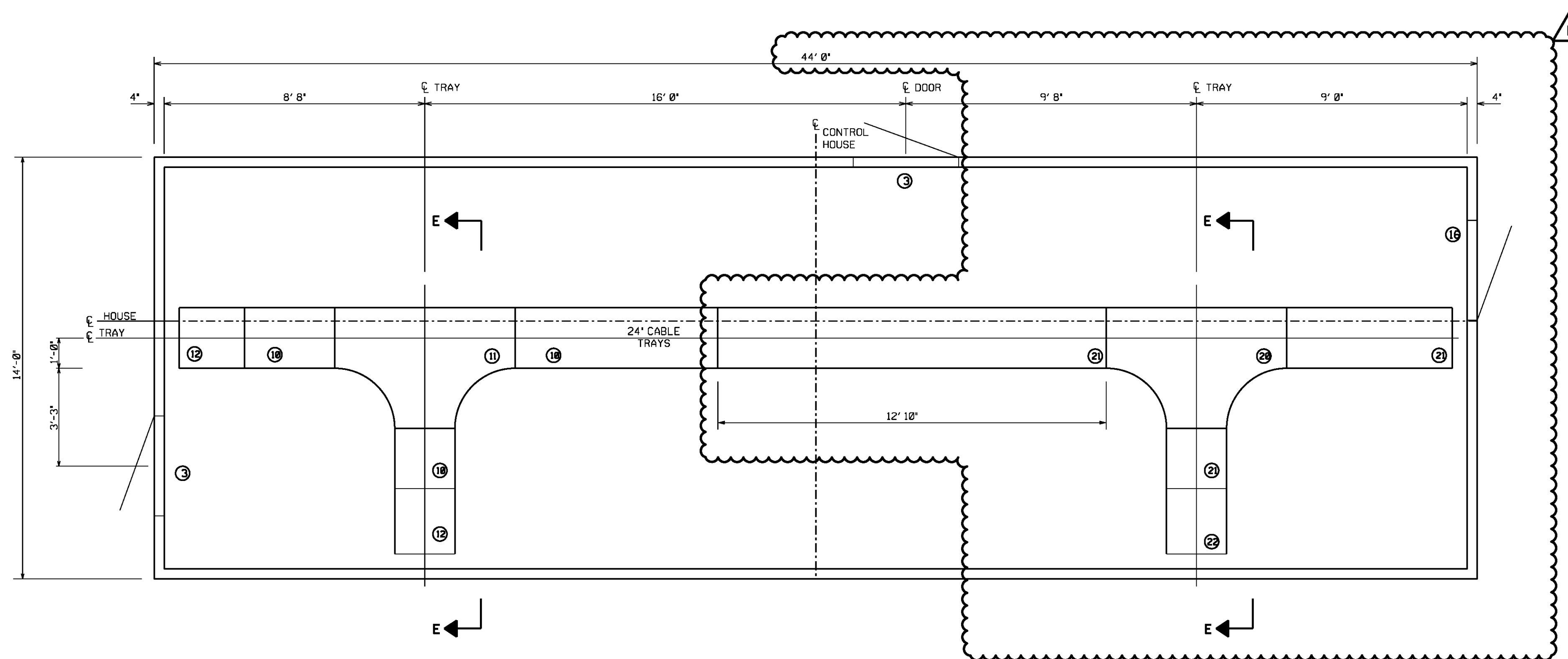
LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



CABLE TRAY/PLAN ELEVATION

CONTROL HOUSE BUILDING MATERIAL LIST
(MATERIAL SUPPLIED BY CONTROL HOUSE VENDOR)

ITEM #	DESCRIPTION	STOCK #	QTY
1	14' x 28' x 10' STEEL BUILDING, WPL SPEC. #0061	DC	1
2A	STEEL INSULATED DOOR, RHRB, 39 1/2" x 84" x 1 3/4", W/24" SQ. SAFETY GLASS		1
2B	STEEL INSULATED DOOR, LHRB, 39 1/2" x 84" x 1 3/4", W/24" SQ. SAFETY GLASS		1
3	DOOR CLOSER, LCN MODEL #484N-H OR EQUIVALENT		2
4	LOCKSET, KEYPED WPL #1, BEST CYLINDRICAL	28-7828	2
5	STEEL LATCHGUARD, GLYNN JOHNSON LP-1 OR EQUIVALENT		2
6	12" VENTILATING FAN, 1398 CFM FREE AIR OR 1268 CFM 1/8 HP, 120V, W/FAN GUARD, GRAVITY CONTROLLED LOUVER, HOOD, AND INSECT SCREEN; MULTIFAN MODEL #4CB59		1
7			
8			
9	1 20A GFI RECEPTACLE, WEATHER PROOF COVER, (INCL. MOUNTING AND BOX)		2
10	1 24" W CABLE TRAY, 9" RUNG SPACING, ALUMINUM		16'
11	1 72" x 48" CABLE TRAY HORIZONTAL TEE, 24" RADIUS, ALUMINUM		DC
12	1 24" x 12", 98" OUTSIDE VERTICAL CABLE TRAY BEND, ALUMINUM		DC

* WIRING IS NOT REQUIRED FOR THESE DEVICES
SEE MTG. DETAILS ON DWG. 5.3

CONTROL HOUSE BUILDING EXPANSION MATERIAL LIST
(MATERIAL SUPPLIED BY CONTROL HOUSE VENDOR)

ITEM #	DESCRIPTION	STOCK #	QTY
13	14' x 18' x 10' STEEL BUILDING EXPANSION		1
14	HYAC UNIT, BARD		2
15	38W LED EXTERIOR LIGHT W/PHOTOCONTROL, EATON XTOR48-PCI		8
16			
17			
18			
19	1 72" x 48" CABLE TRAY HORIZONTAL TEE, 24" RADIUS, ALUMINUM		1
21	1 24" W CABLE TRAY, 9" RUNG SPACING, ALUMINUM		22'
22	1 24" x 12", 98" OUTSIDE VERTICAL CABLE TRAY BEND, ALUMINUM		1

* WIRING IS NOT REQUIRED FOR THESE DEVICES
SEE MTG. DETAILS ON DWG. 5.3

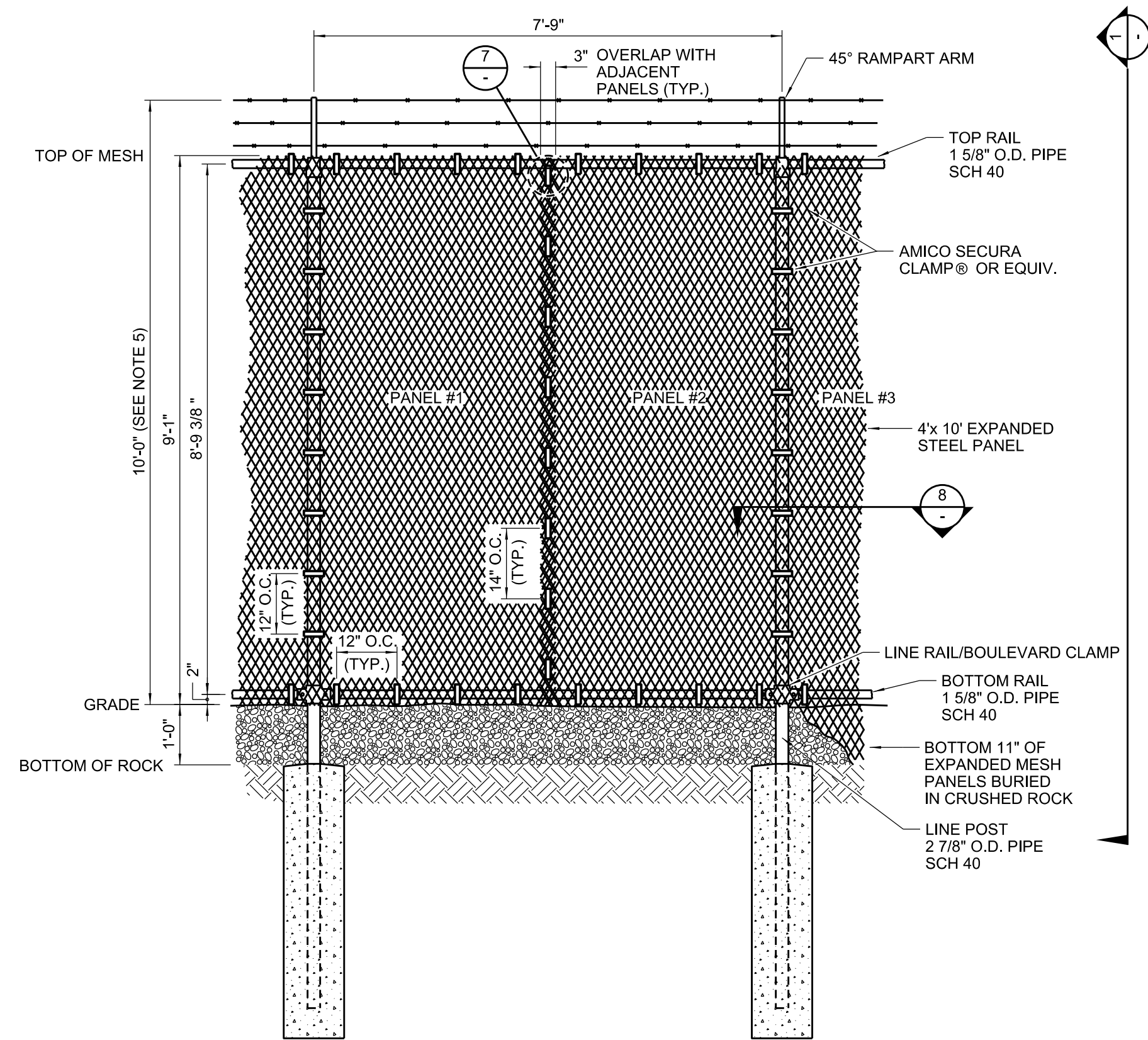
CONSTRUCTION NOTES:
1. ATC AND ALLIANT ANTENNAS WILL NEED REMOVED FROM THE BUILDING FOR CONSTRUCTION CONTROL BUILDING EXPANSION, BUT REATTACHED NEAR PRIOR LOCATION WHEN THE CONTROL BUILDING STRUCTURE IS FINISHED.

REFERENCE ONLY

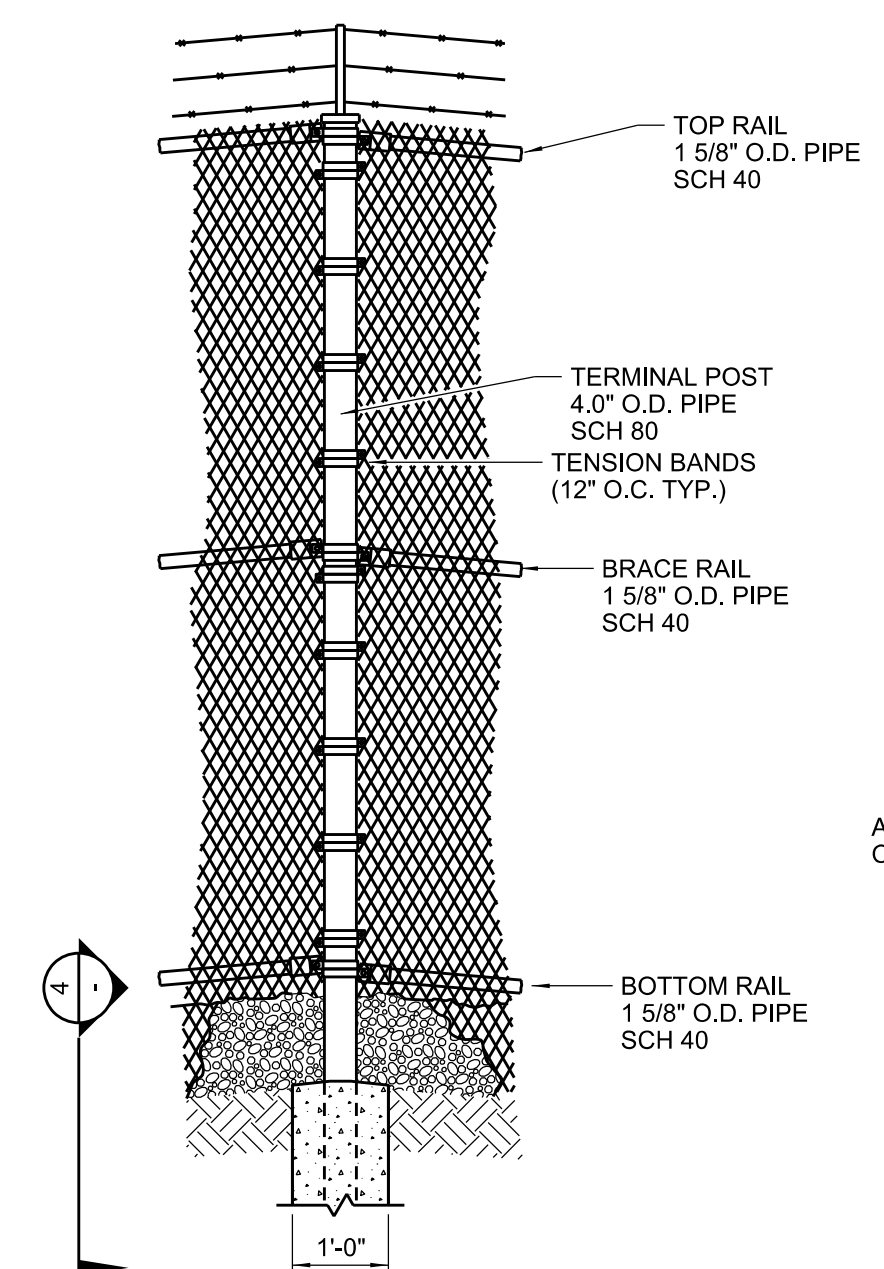
04/15/2021 5:56:50 PM

Wisconsin Power & Light Company

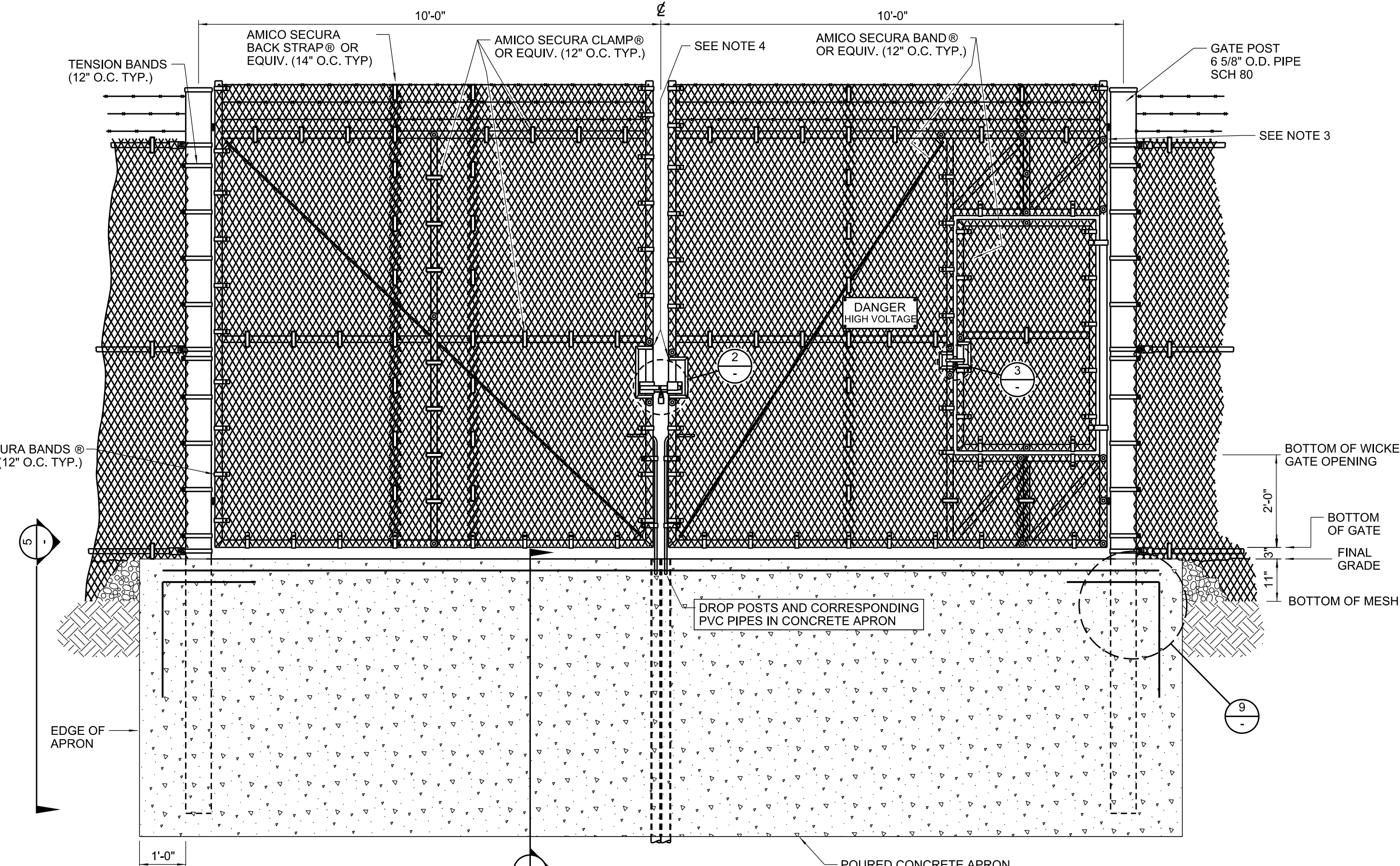
14'x28' CONTROL HOUSE			
CABLE TRAY PLAN AND EXTERIOR ELEVATIONS VIEWS			
DATE	BY	ENG.	DESCRIPTION
04-14-21	BAB/JRR		RTU RELAY ASSET RENEWAL
10-05-18	ECI/LTH		ASSETS BUILT REV C
10-31-16	ECI/LTH		BREAKER REPLACEMENT (WR*37904751)FC
01/24/13	CJA/CJA		ASSETS BUILT 3439969
12/13/10	SNL/TSC		CONST. WR*3439969
DRAWN BY: TJA (NEI)		DATE: 01-10-96	
ENG: LTH/LER		DATE: 01-10-96	
APPROVED:		SCALE: 3/8" = 1'-0"	
DATE:		LOCATION: 20TH STREET	
BY:		DRAWING NO. R278-5.1	
ENG. DESCRIPTION:		DRAWING NO.	



LINE POST SPAN



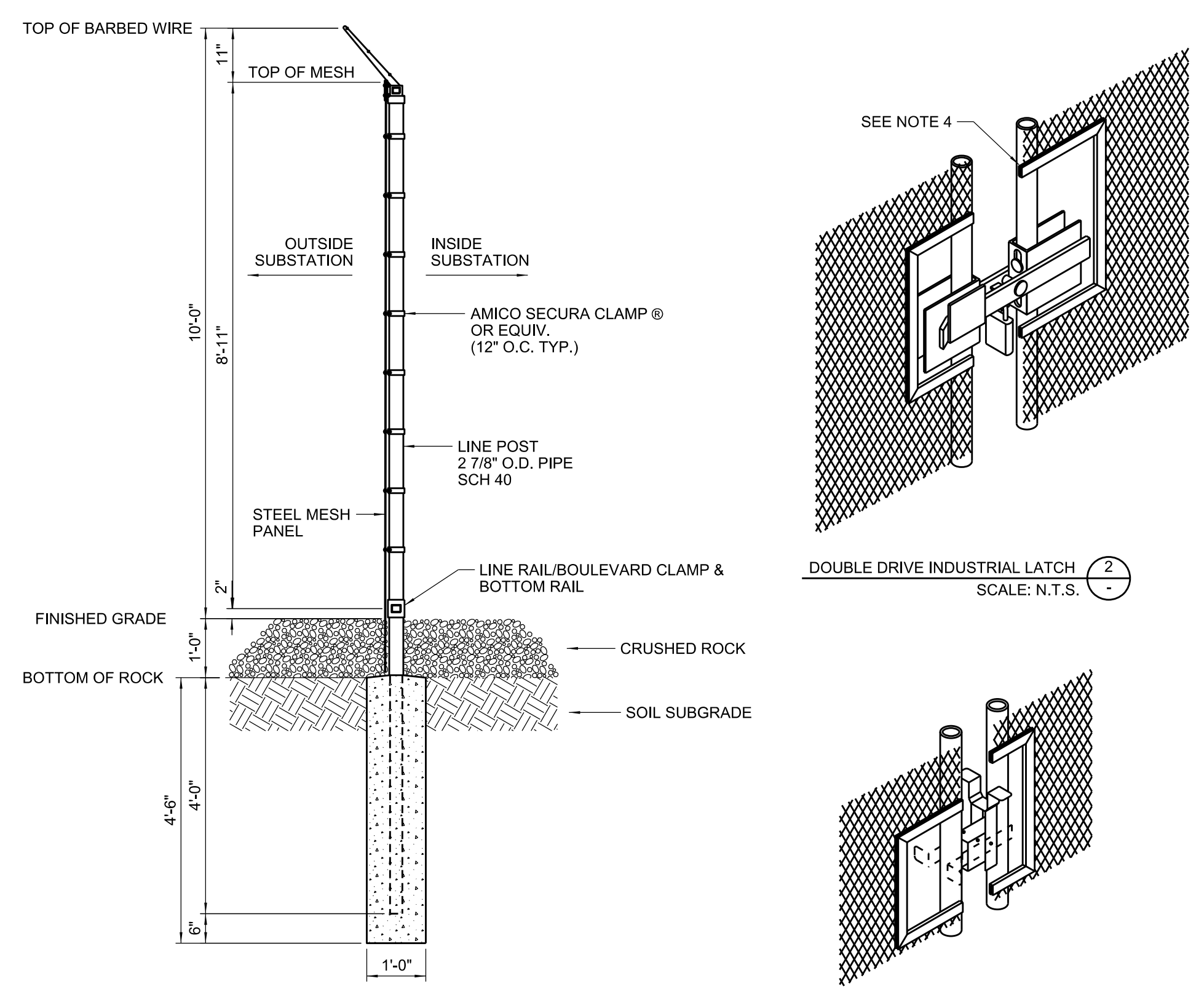
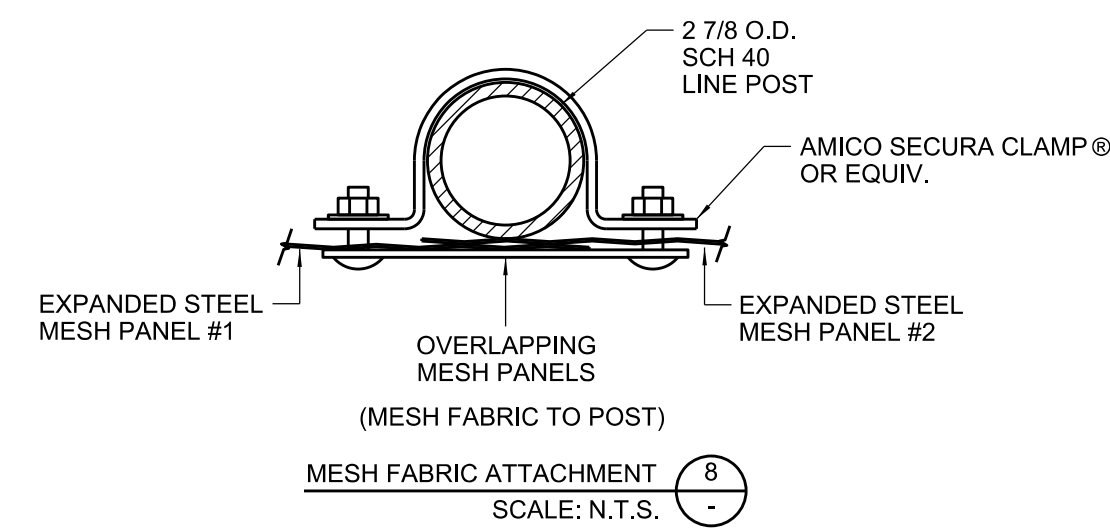
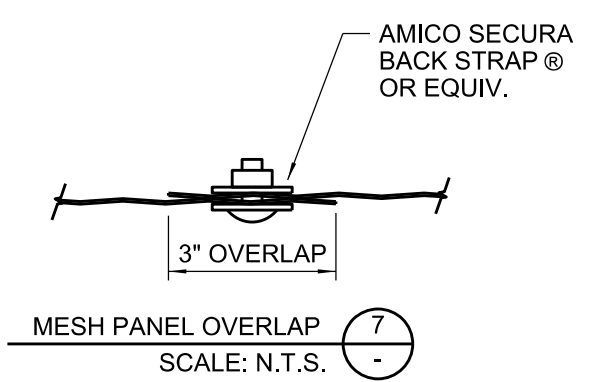
CORNER/TERMINAL POST



DOUBLE DRIVE GATES AND WICKET GATE (2 PLACES, SEE NOTE 8)

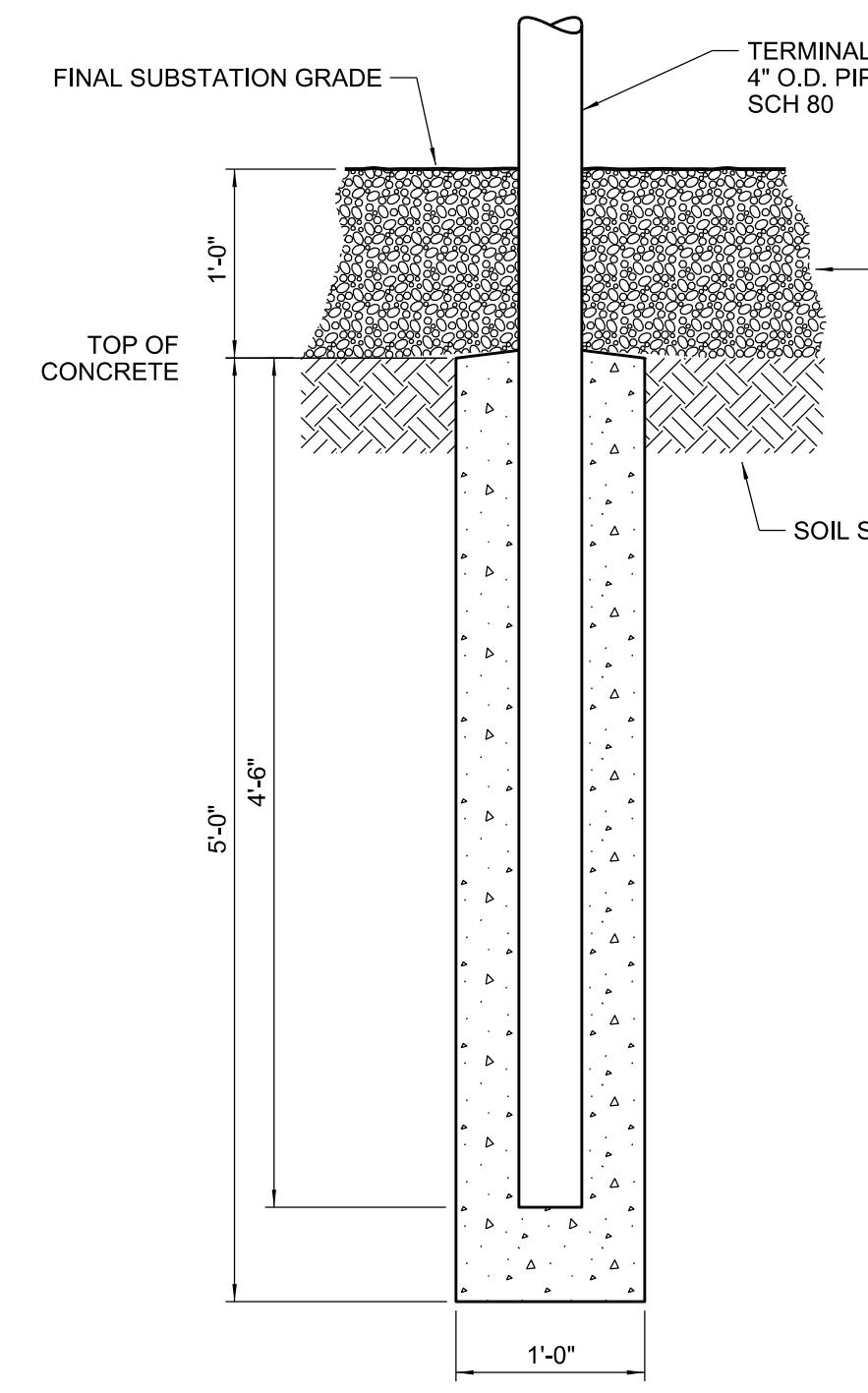
REFERENCE ONLY

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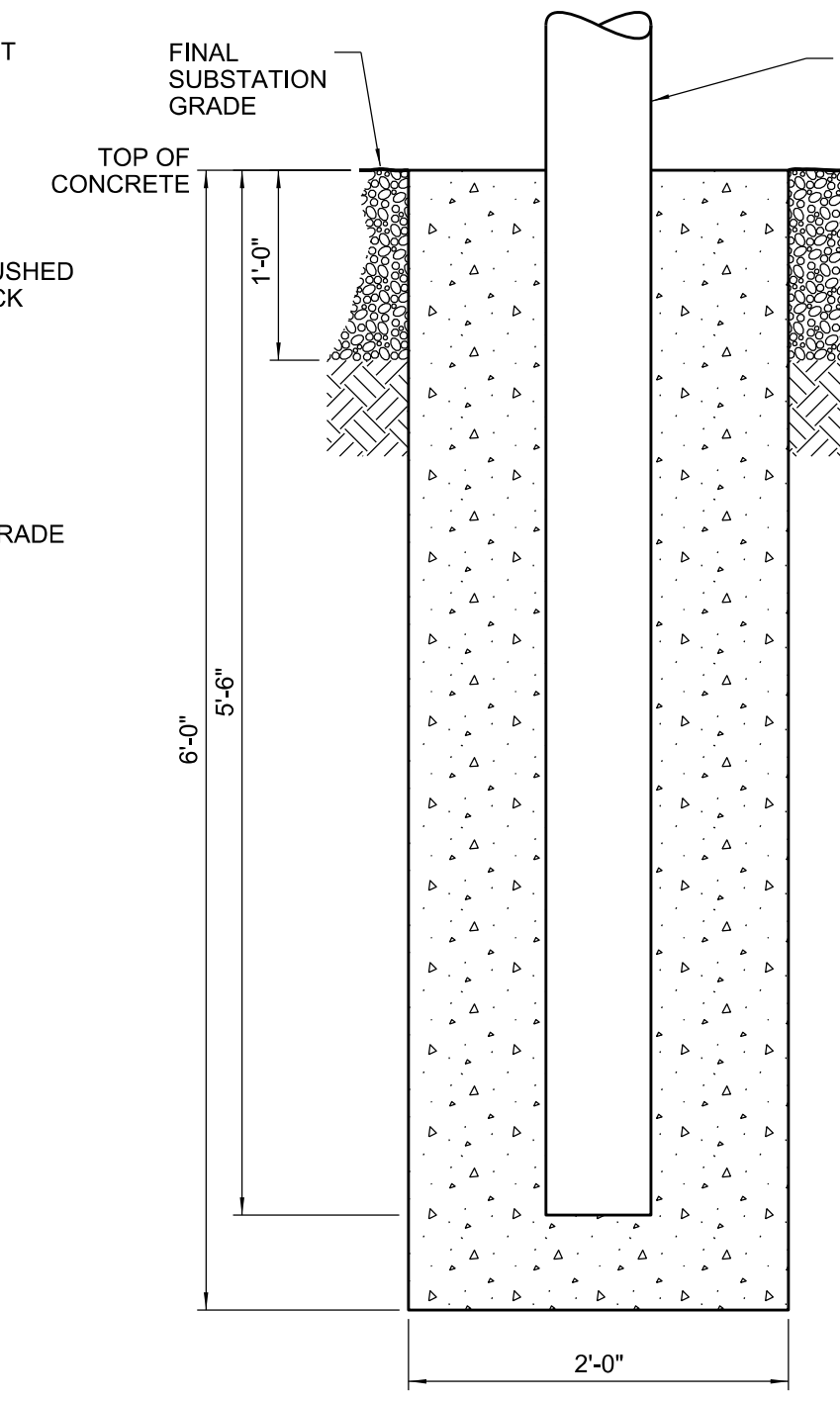


LINE POST FENCE PROFILE SCALE: AS NOTED

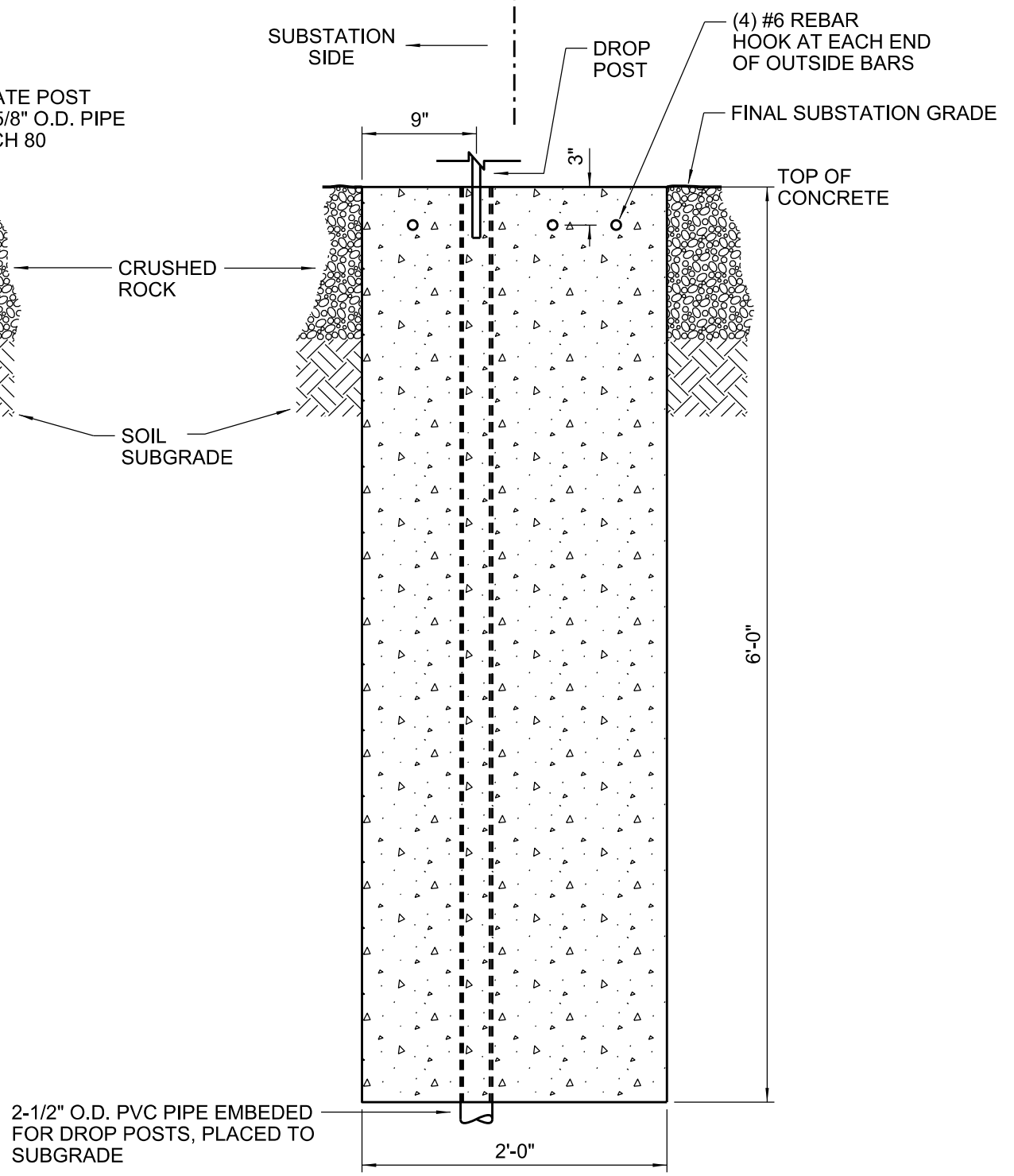
STEP-THROUGH GATE LATCH SCALE: N.T.S.



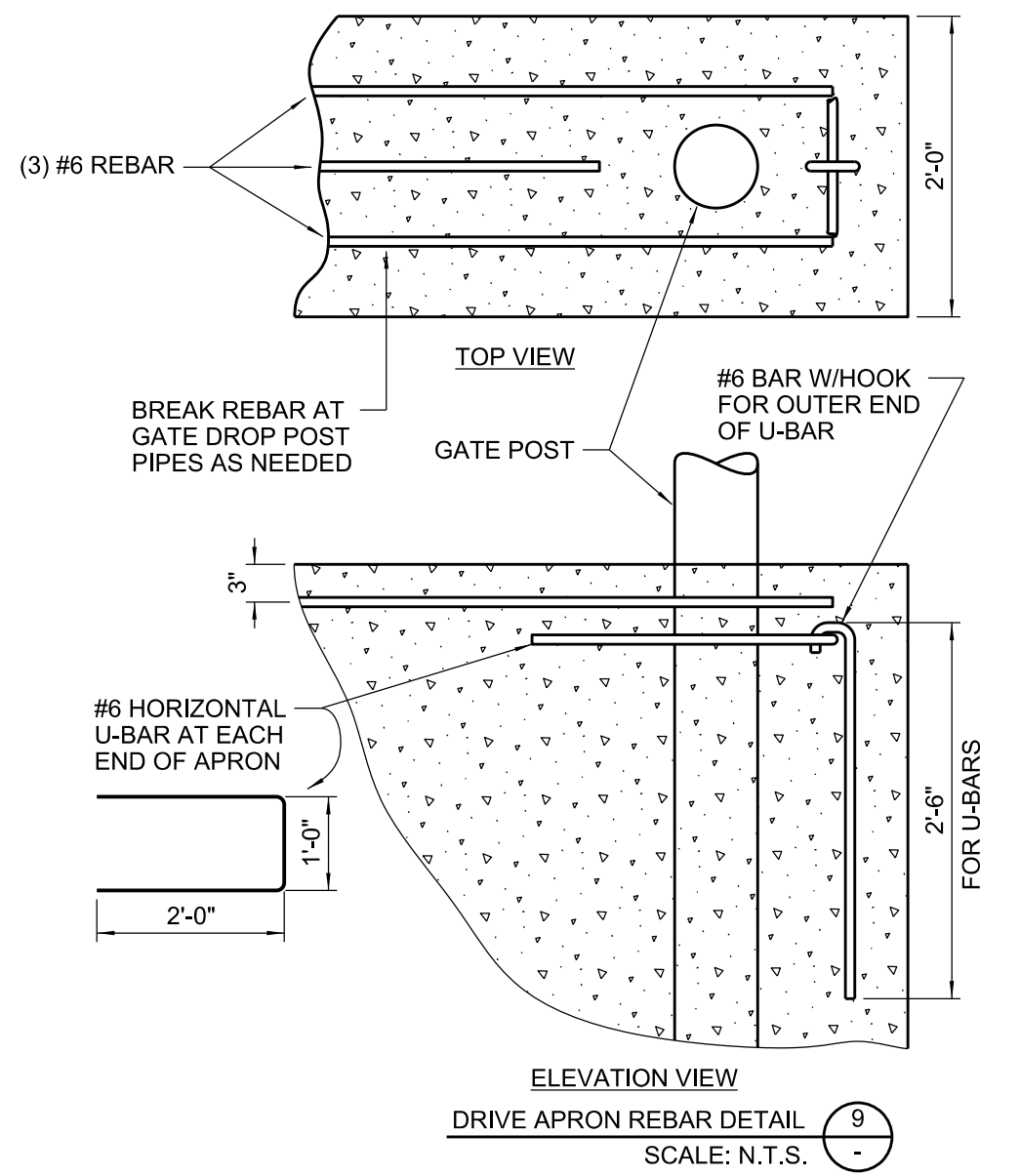
CORNER/TERMINAL POST FOUNDATION SCALE: N.T.S.



DRIVE APRON FOUNDATION SCALE: N.T.S.



DROP POST RECESS SCALE: N.T.S.



GENERAL NOTES

- THIS DWG CREATED FROM ATC STANDARD DWG SSST-02-52 REV. 3 .
- ELEVATIONS SHOWN AS VIEWED FROM OUTSIDE SUBSTATION FENCE.
- WHERE SPACE FOR CLAMPS IS LIMITED, SECURE STEEL MESH TO GATE FRAME WITH TAMPER RESISTANT SCREW TYPE FASTENERS.
- INSTALL SHARP EDGE PROTECTION TO CUT EDGE OF STEEL MESH AROUND GATE LATCH AREAS.
- 10' ABOVE GRADE HEIGHT NOT PERMITTED IN SOME MUNICIPALITIES. SEE FENCE SPECIFICATION FOR DETAILS.
- CONCRETE APRON SHOULD EXTEND 12" FROM EACH SIDE OF FENCE ALONG FENCELINE.
- CONCRETE SPECIFIED FOR DRIVE GATE APRON SHALL BE 4000 PSI.
- NORTHERN GATE TO BE THE ONLY PLACE WITH A WICKET GATE, SOUTHERN GATE IS A STANDARD DOUBLE DRIVE GATE

RTU RELAY ASSET RENEWAL				RJS	MJC	JRR	B&V	AMERICAN TRANSMISSION COMPANY	SCALE: 1/2"=1'-0"	DRAWING NO. 20S-02-03
REV	DATE	W.O.#	DESCRIPTION	DRAWN	CHKD	APPD	CMFY	AMERICAN TRANSMISSION COMPANY		
0		603808						THE DOCUMENT IS FOR THE USE OF AMERICAN TRANSMISSION COMPANY. AMERICAN TRANSMISSION COMPANY DISCLAIMS ANY WARRANTIES, EXPRESS AND IMPLIED, USE BY ANYONE OTHER THAN AMERICAN TRANSMISSION COMPANY AT THEIR OWN RISK.		



CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by American Transmission Company to make improvements at the electrical substation located off of S. Business Drive between the Sheboygan Business Park and the Butzen Sports Complex (Parcel # 59281430844). SI Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 7, 2021

MEETING DATE: May 11, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

American Transmission Company (ATC) is proposing to make improvements at the electrical substation located at located off of S. Business Drive between the Sheboygan Business Park and the Butzen Sports Complex (Parcel # 59281430844). The applicant states:

- This is an existing electrical substation where both Wisconsin Power & Light and ATC have facilities to own, operate, maintain, construct the site to provide power to the Sheboygan area. The existing electrical substation which provides safe, reliable power to customers in the area and the scheduled work will improve reliability and power quality in the Sheboygan area.
- The site will be expanded approximately 30 feet east to accommodate new substation equipment.
- The substation fence will be replaced for better security and public safety. To meet safety standards and protect the integrity of the electric transmission facilities enclosed, the fence will be 10 feet tall and an exception is requested.
- There will be no changes to the control house/structure on this site.

- The substation will be accessed infrequently with employees entering the substation only once or twice per month, unless there are maintenance issues that need to be addressed. There is sufficient parking for a couple of vehicles in the driveway to the substation.

STAFF COMMENTS:

Site improvements include:

- Existing substation perimeter is to be enlarged on the property by approximately 25 feet to the east to accommodate new substation equipment. The pre-expansion fenced in perimeter of the substation is approximately 1.3 acres (230 x 250). The new expansion is 1.5 acres (230 x 275).
- The applicant is proposing to remove the existing fencing and install a new 10 foot tall chain link fence with mesh to screen the substation from adjoining properties.

The Plan Commission should have the applicant address the following:

- What is the proposed color of the mesh to be installed to screen the substation from the adjoining properties? Applicant has provided a photo that shows an existing substation that is grey in color. The Plan Commission approved a previous substation improvement on S. 19th Street with mesh that was green in color. Does the Plan Commission prefer the green compared to the grey?
- What areas of the substation are to be paved (building foundation, driveway/parking, etc.)?

The applicant is requesting the following variance:

- To install a 10 foot tall fence – Maximum nine (9) foot tall fence permitted.

ATC's has adopted a 10 foot tall, no-cut no-climb fence standard at substations. This been developed in response to critical infrastructure protection needs balancing security and cost. This no-cut no-climb fence standard protects the station from damage, the public from injury and maintains the community's energy reliability.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and exception subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, storm drainage, hazardous materials, etc.

2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
4. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
5. Fence shall be installed per Section 15.720(3)(c) of the City Zoning Ordinance. Maximum height of fence shall be 10 feet tall.
6. The applicant shall install Privacy Decorative Slating (PDS) or mesh screening material into the chain link fencing in order to effectively screen the substation facilities. Color shall be _____.
7. Outdoor storage of materials, products or equipment shall be prohibited.
8. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent streets and/or properties.
9. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
10. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
11. Applicant will provide adequate public access along the streets and private properties and will take all appropriate actions to minimize the time period that these streets will be closed/affected.
12. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
13. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
14. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
15. Absolutely no portion of the new building and/or site improvements shall cross the property line (buildings, parking, retaining walls, signs, landscaping, etc.).
16. If there are any amendments to the approved site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. 59281430844

MAP NO. _____

ZONING CLASSIFICATION: _____

bner

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: American Transmission Co.

ADDRESS: W234 N2000 Ridgeway Parkway Ct, Waukesha WI 53188

E-MAIL: psherman@atcllc.com

PHONE: (920) 265-6347 (cell) FAX NO. (920) 338-6501

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Huebner Substation

ADDRESS OF PROPERTY AFFECTED: 4120 S. Business Drive, Sheboygan, WI 53081 (see attached map)

LEGAL DESCRIPTION: LOT 1 CSM V15 P 9-10 #1497070; IN SW NE, SEC 4, T14N, R23E.5 City of Sheboygan, Sheboygan County, Wisconsin

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: **SEE ATTACHED SUMMARY**

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: **SEE ATTACHED SUMMARY**

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: **SEE ATTACHED SUMMARY**

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? _____

This is an existing electrical substation which provides safe, reliable power to customers in the area and will continue to operate the same and serve the City of Sheboygan.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

Same as above

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

This is an existing substation that will continue to operate the same and serve the City of Sheboygan.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

This is the utility that provides the service.

4. NAMES AND ADDRESS (Indicate N/A for “Not Applicable” items)

OWNER OF SITE: Wisconsin Power & Light Co. (NOTE: ATC holds a recorded easement granting the right to operate, maintain, construct facilities over the property for transmission facilities).

ADDRESS: 4902 N. Biltmore Ln., Madison WI 53718

E-MAIL: briancooke@alliantenergy.com (Brian Cooke)

ARCHITECT: NA – Only expanding fence within property line. No control house expansion.

ADDRESS: _____ E-MAIL: _____

CONTRACTOR: MJ Electric, Tom Garceau

ADDRESS: 1325 S Broadway St. De Pere WI 54115

E-MAIL: tgarceau@mjelectric.com 906-776-4664

CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



CITY OF SHEBOYGAN – CONDITIONAL USE PERMIT – SUMMARY HUEBNER SUBSTATION

DESCRIPTION OF EXISTING AND PROPOSED USE:

The current and proposed use does not change with the improvements.

This is an existing electrical substation where both Wisconsin Power & Light and ATC have facilities to own, operate, maintain, construct the site to provide power to the Sheboygan area. This work will include new substation equipment (NO CHANGE TO CONTROL HOUSE).

This work will improve reliability and power quality in the Sheboygan area. The site will be expanded approximately 30 feet east to accommodate new substation equipment. The substation fence will be replaced for better security and public safety. To meet safety standards and protect the integrity of the electric transmission facilities enclosed, the fence will be 10' and an exception permit will be submitted.

Storm drainage will be modified to accommodate site expansion and will account for any additional runoff generated at the site due to the expansion.

Environmental permitting is being coordinated separately.

JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

This is an **existing** electrical substation which provides safe, reliable power to customers in the area and will **continue** to operate the same and serve the City of Sheboygan.

FENCE VARIANCE:

ATC's has adopted a standard fence at substations to be 10' no-cut no-climb fence. This been developed in response to critical infrastructure protection needs balancing security and cost. It makes fence cut or climbing break-ins extremely unlikely which protects the station from damage, the community's energy reliability, and the public from injury.

Standards for higher fences meet criteria for protecting integrity of the electric transmission facilities within the fenced area.

INSURE PROPOSAL WILL NOT BECOME A NUISANCE TO ADJOINING PROPERTY:

Construction activities are planned Monday through Friday between 6 am – 6 pm. No weekends are expected but all construction is dependent on the ability to schedule outages that would affect the substation.



Huebner SS Overview Map

Transmission Lines	
	69 kV
	230 kV
	115 kV
	345 kV
	138 kV
	Underground
	161 kV
	Double Circuit

Electric Facilities	
	Substation; Terminal
	Tap; Switching Structure; Riser

1:4,514

The information contained herein is advisory and intended for reference purposes only. ATC owned and operated facilities are approximated.



NOTES

- COORDINATES SHOWN ARE BASED ON THE WISCONSIN SOUTH STATE PLANE COORDINATE SYSTEM (4803); HORIZONTAL DATUM: NAD83 (2011), US SURVEY FEET; VERTICAL DATUM: NAVD 88.
- TOPOGRAPHIC SURVEY PROVIDED BY ATC JULY 2020.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION BY CONTACTING MISSDIG811.
- CONTOURS ARE TOP OF FINAL SURFACE GRADE. CONTRACTOR TO SUBTRACT SURFACING THICKNESS TO OBTAIN SUBGRADE ELEVATION.
- NEW SUBSTATION PAD SURFACING SHALL BE INSTALLED INSIDE NEW FENCE EXPANSION AND A 5' PERIMETER OUTSIDE THE NEW FENCE. TOP LAYER SHALL BE 8" OF ASTM D448 SIZE 57 STONE. REFER TO ATC STANDARD CONSTRUCTION SPECIFICATION MANUAL (2016) SECTION 31.10.10.2.1 FOR ADDITIONAL AGGREGATE MATERIAL REQUIREMENTS.
- PAD AND PERIMETER ROAD/PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ATC STANDARD CONSTRUCTION SPECIFICATIONS MANUAL (2016).
- SILT FENCE SHALL BE INSTALLED PER WISCONSIN DNR STANDARD NUMBER 1056 ON THE DOWN SLOPE SIDE OF ALL EARTH DISTURBING ACTIVITIES.
- DITCH CHECKS SHALL BE INSTALLED PER WISCONSIN DNR STANDARD NUMBER 1062.
- ALL DISTURBED AREAS NOT RECEIVING AGGREGATE FINISH SHALL BE SEEDED. PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH WISCONSIN DNR STANDARD 1059.
- SUBGRADE SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AT A MAXIMUM OF +/- 3% OPTIMUM MOISTURE CONTENT.
- EXISTING SUBSTATION FENCE AND GATES SHALL BE REMOVED IN ITS ENTIRETY. NEW SUBSTATION FENCE AND GATES SHALL BE PLACED ACCORDING TO THIS DRAWING. SEE 16169-02-03 FOR FENCE DETAILS AND NOTES.
- DRAINAGE SWALE TO THE EAST OF FENCE EXPANSION SHALL BE LINED WITH AN 8 OZ. NON-WOVEN GEOTEXTILE LINER (MIRAFI 180N OR APPROVED EQUIVALENT) AND COVERED WITH 8" OF 4" D50 RIP RAP.
- CONSTRUCTION BEST MANAGEMENT PRACTICES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBING ACTIVITIES.
- SITE EARTH DISTURBING ACTIVITIES SHALL FOLLOW THIS CONSTRUCTION SEQUENCE: CLEARING, TOP SOIL STRIPPING, ROUGH GRADING, BELOW GRADE CONSTRUCTION, ABOVE GRADE CONSTRUCTION, AND FINAL GRADING AND SEEDING.
- ALL DISTURBED GROUND LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND MULCHED DURING THE PERIOD APRIL 15 TO SEPTEMBER 15. IF FINAL RESTORATION IS NOT COMPLETED BY OCTOBER 15, THE CONTRACTOR SHALL USE STRAW MATTING OR ANIONIC POLYACRYLAMIDE SPRAY TO PREVENT EROSION DURING THE WINTER AND EARLY SPRING MONTHS.

LEGEND

	PROPERTY LINE
	NEW CONTOUR
	EXISTING CONTOUR
	NEW SUBSTATION FENCE
	EXISTING ROAD/PARKING EDGE
	UNDERGROUND ELECTRICAL
	TREE LINE
	SILT FENCE
	LIMITS OF DISTURBANCE
	SURVEY CONTROL POINTS
	SURVEY BENCHMARK
	SUBSTATION AGGREGATE
	DITCH CHECK

CONSTRUCTION SCHEDULE		
PHASE	START	END
BELOW GRADE	05/01/2021	09/02/2021
ABOVE GRADE	09/23/2021	12/17/2021

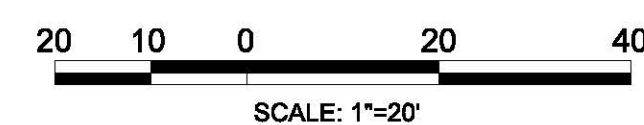
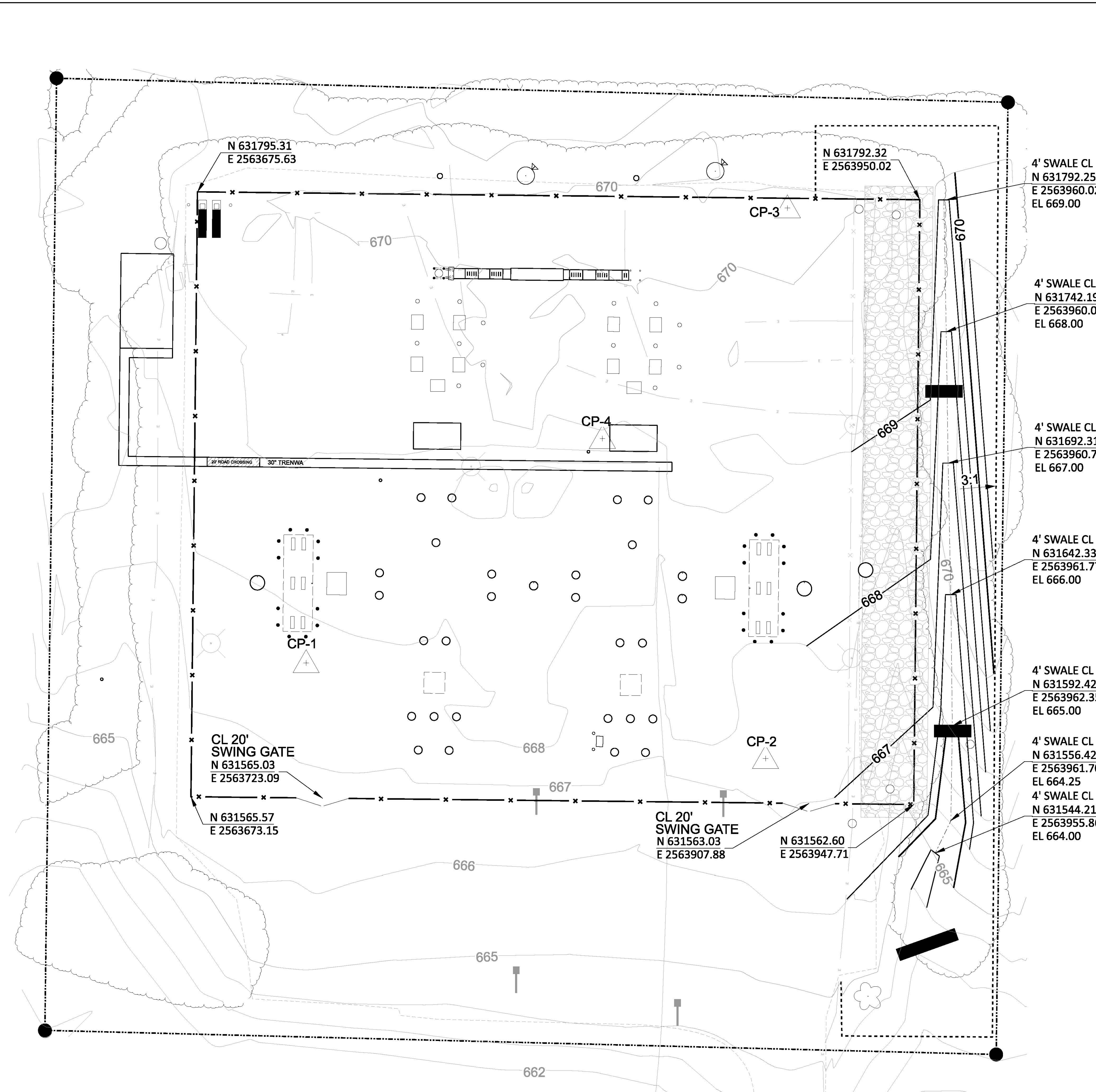
SURVEY CONTROL MONUMENT LOCATIONS			
MONUMENT ID	STATE PLANE COORDINATES		ELEVATION
	NORTHING	EASTING	
CP-1	631635.45	2563740.95	667.73
CP-2	631599.09	2563915.45	667.28
CP-3	631808.19	2563923.76	670.29
CP-4	631720.85	2563853.50	668.95

Reference Only

04/16/2021 4:13:24 PM

REFERENCE DRAWINGS

FENCE DETAILS, SUBSTATION SIGNAGE & PLACEMENT 16169-02-03
FOUNDATION PLAN 16169-03-01



NO.	DATE	REVISION	BY	CHKD	APVD

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WISCONSIN POWER AND LIGHT COMPANY
HUEBNER SUBSTATION SHEBOYGAN, WI

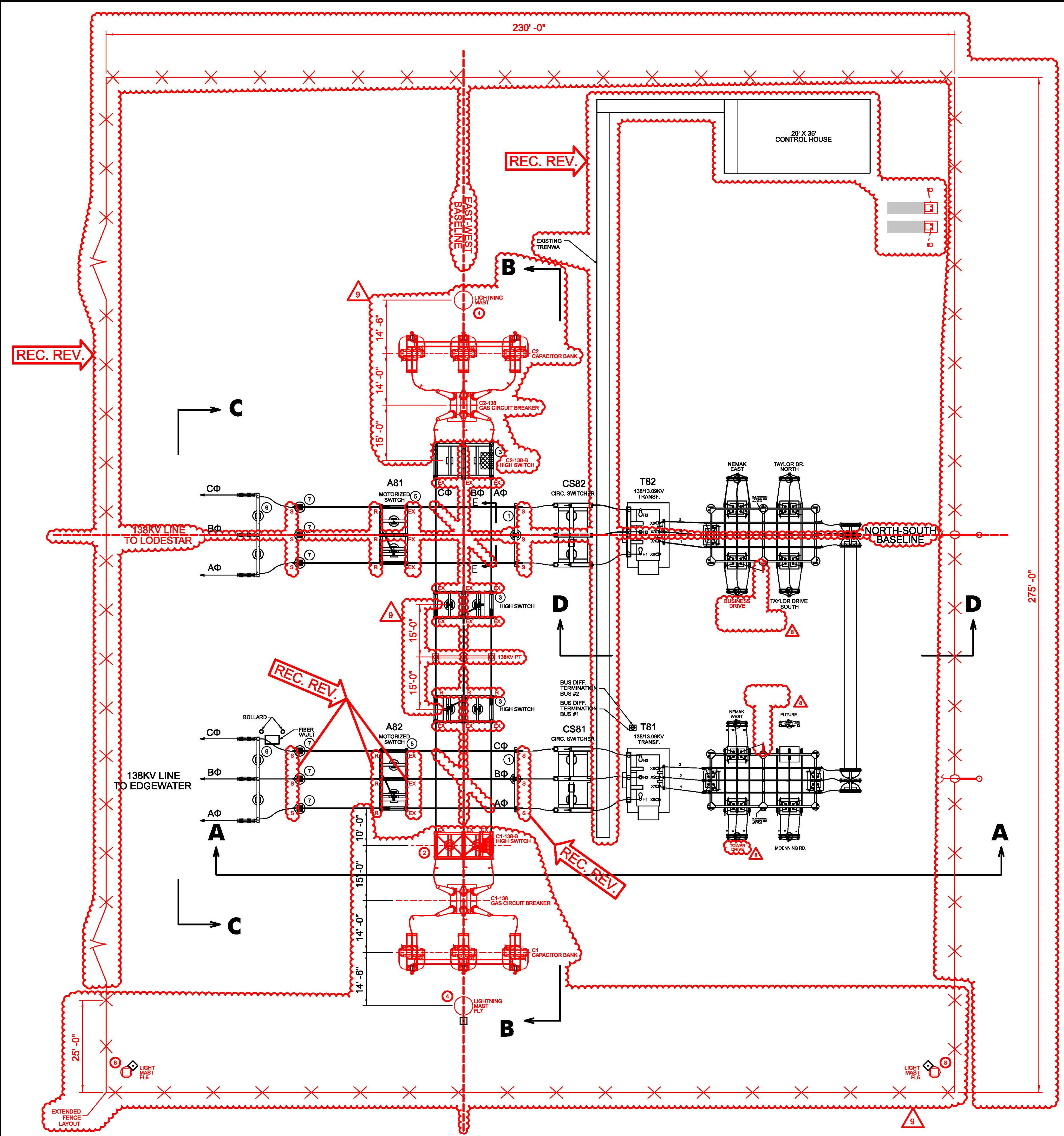
**SITE PLAN
GRADING & DRAINAGE**

SCALE: 1" = 20'

DWG. NO.

16169-02-04

16-APR-2021 10:48:03 AM
 File: pw://pwrprod-en-haci.kc.bv.com/BVE_PowerDelivery/Documents/Projects/ATC/PA04075-ATC-SS-Huebner SS - Install 2 Cap Banks/Drawings/16169-06-01.dgn



QTY.	DETAIL NO.	DWG. NO.	DWG. NO.
2	STRD02	R443-7.6	R443-8.8
1	AT01	16169-07-17	16169-08-20
3	STRD06	R443-7.6	R443-8.8
2	AT04	16169-07-20	16169-08-27
2	STRD07	R443-7.7	R443-8.7
2	STRD08	R443-7.7	R443-8.8
6	STRD09	R443-7.7	R443-8.8
2	AT02	16169-07-18	16169-08-25
1	AT03	16169-07-19	16169-08-22

LEGEND:
 R - RIGID BUS SUPPORT OR BUS TERMINAL
 S - SLIP BUS SUPPORT
 EX - EXPANSION BUS TERMINAL OR BUS SUPPORT



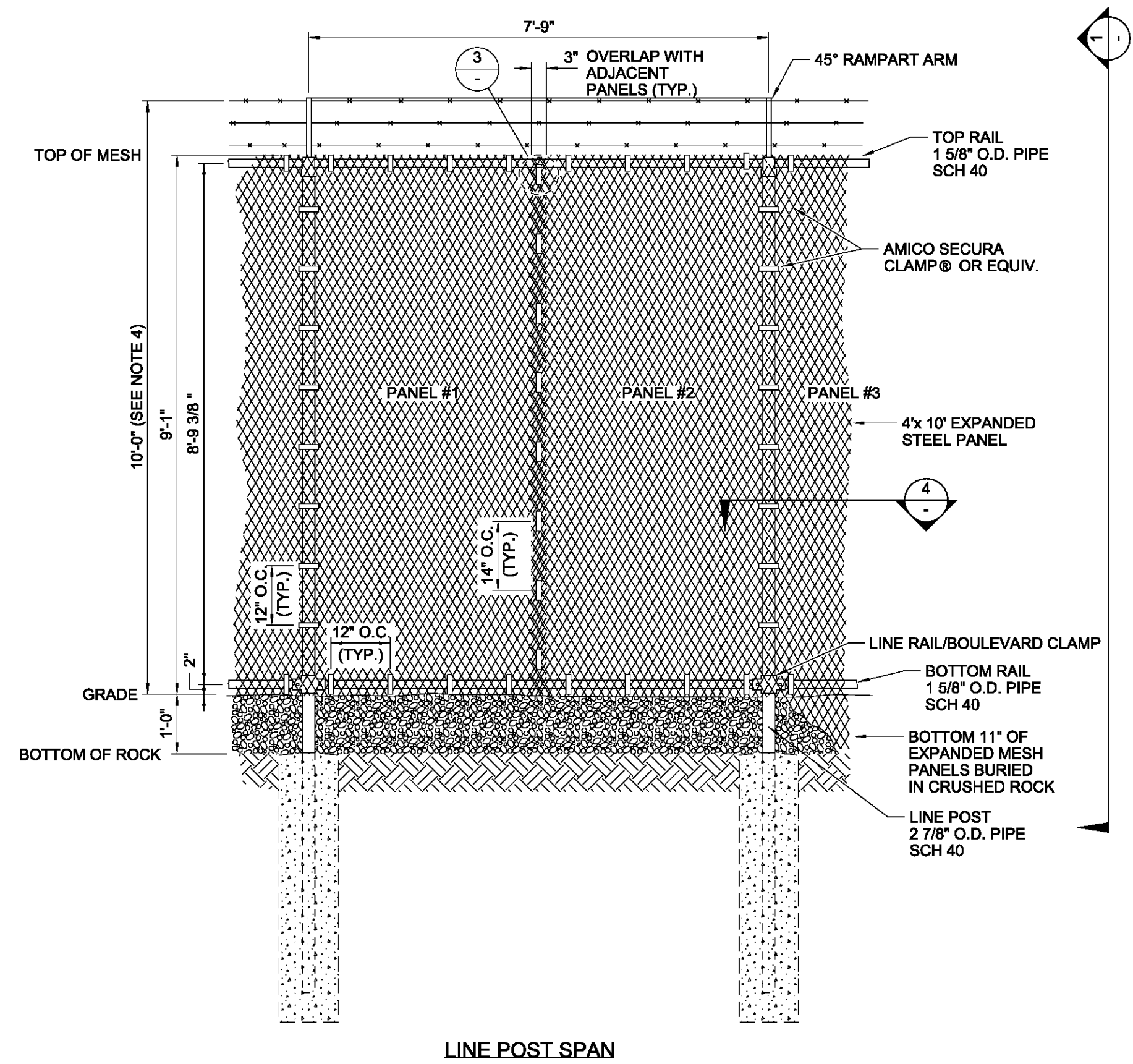
Reference Only
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NO.	DATE	REVISION	BY	CHKD	APPVD
6	06/20/19	SCADA UPGRADE (W.R. #4164646) FOR CONSTRUCTION	DEB	JPG	JPG
7	07-20-19	LINE X-1 OPGW TERM. ATC W.O. #601961, AS BUILT	DKD		SAL
8	12-04-18	UPDATED REV BLK (#118887) AS BUILT	LMB	AJS	AJS
9	05-22-18	FOR RECONFIG HUEBNER (#118887) FOR CONSTRUCTION	LMB	AJS	AJS
0	05-25-88	INSTALL 2 CAP BANKS (W.O. #603891)	BV-RJS	BV-JDB	BV-JRR
0		ORIGINAL ISSUE	PBW		HELLEY

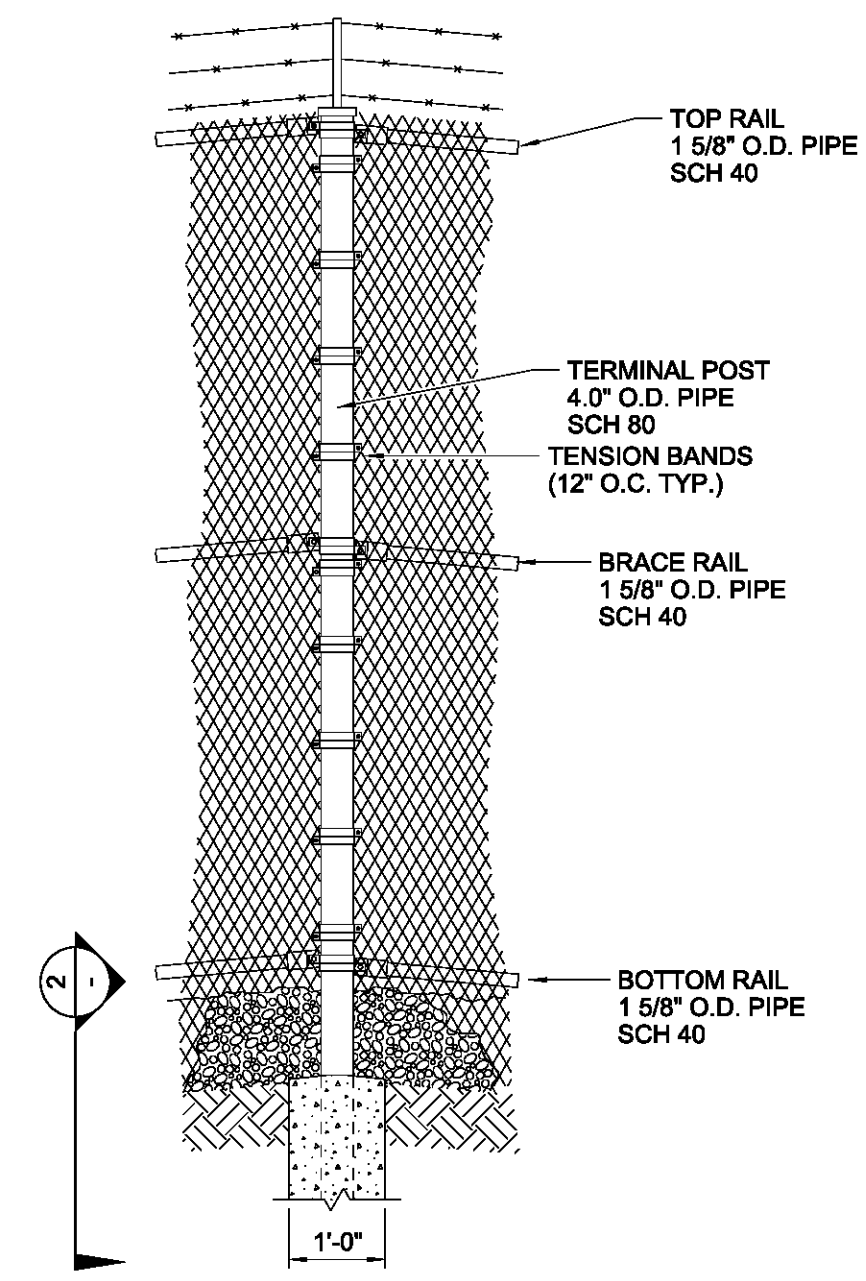
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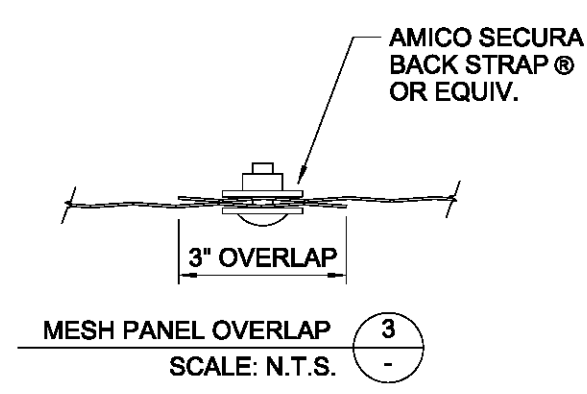
WISCONSIN POWER AND LIGHT COMPANY
 HUEBNER SUBSTATION SHEBOYGAN, WI
 PLAN VIEW OF SUBSTATION
 138/12.4KV
 SCALE: 3/32" = 1'-0"
 DWG. NO. 16169-06-01



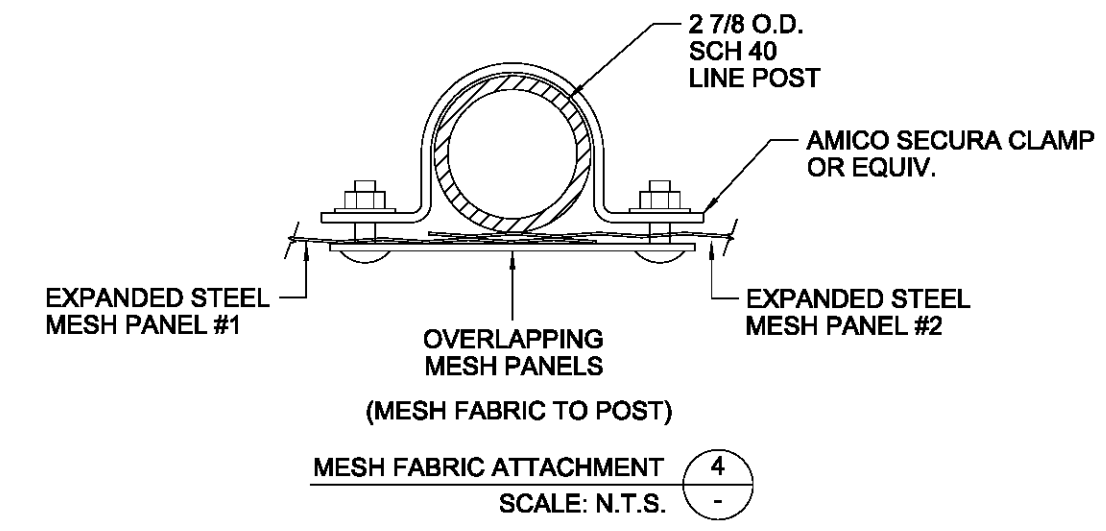
LINE POST SPAN



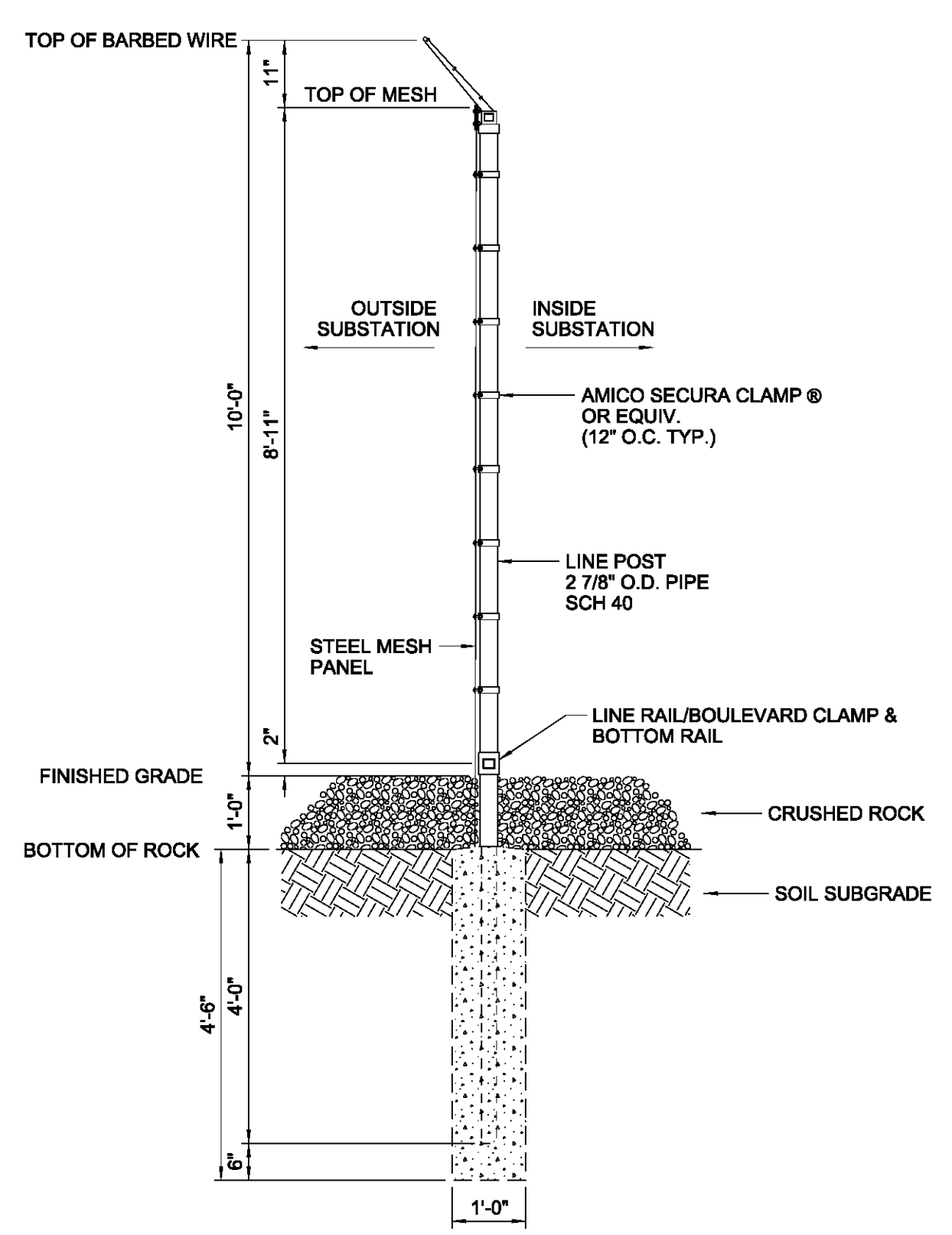
CORNER/TERMINAL POST



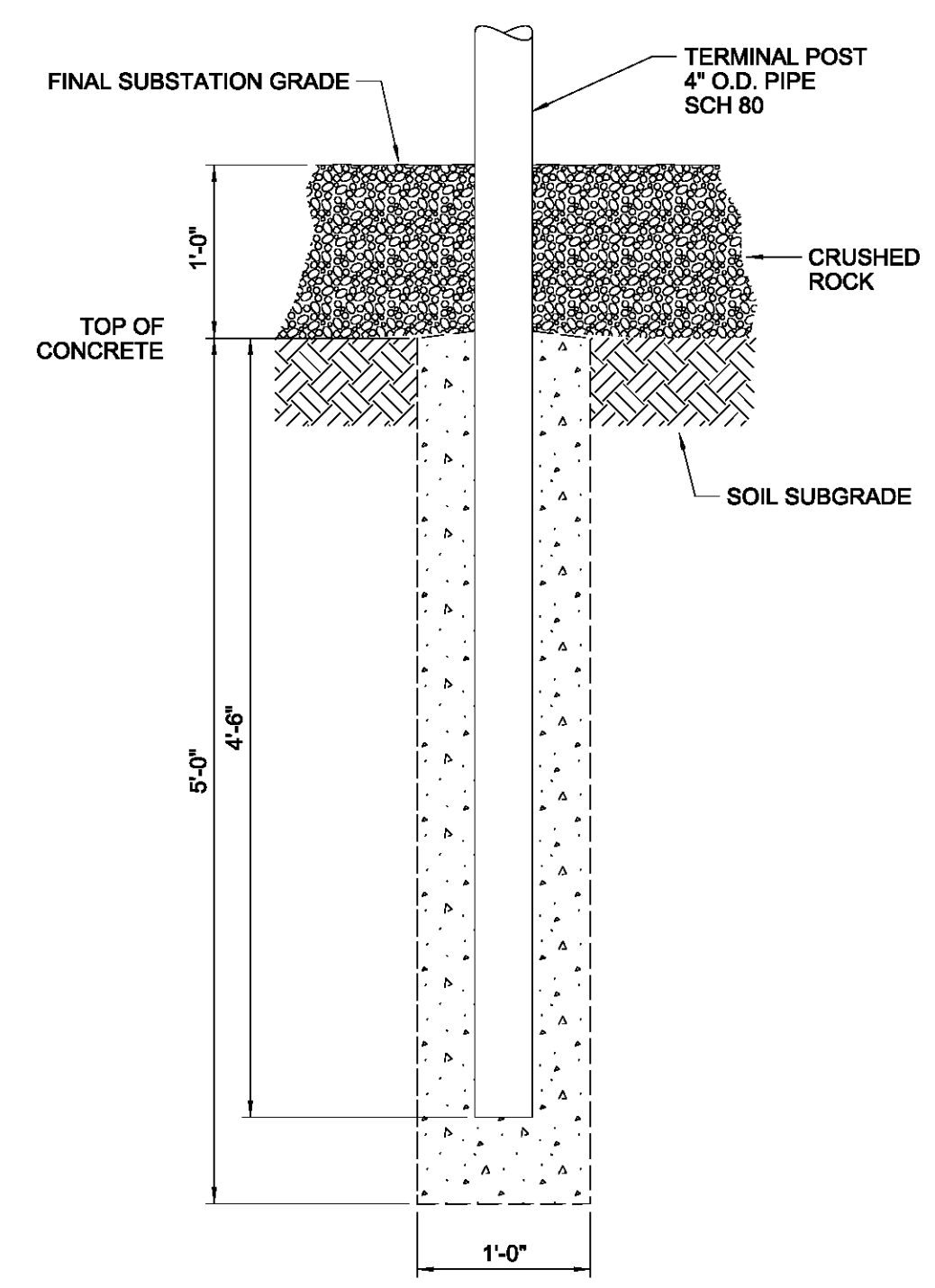
MESH PANEL OVERLAP
SCALE: N.T.S.



MESH FABRIC ATTACHMENT
SCALE: N.T.S.



LINE POST FENCE PROFILE
SCALE: AS NOTED



CORNER/TERMINAL POST FOUNDATION
SCALE: N.T.S.

Reference Only
04/16/2021 4:13:40 PM

- GENERAL NOTES:**
1. THIS DWG WAS CREATED FROM ATC STANDARD DWG SSST-02-52 REV. 3.
 2. ELEVATIONS SHOWN AS VIEWED FROM OUTSIDE SUBSTATION FENCE.
 3. WHERE SPACE FOR CLAMPS IS LIMITED, SECURE STEEL MESH TO GATE FRAME WITH TAMPER RESISTANT SCREW TYPE FASTENERS.
 4. 10' ABOVE GRADE HEIGHT NOT PERMITTED IN SOME MUNICIPALITIES. SEE FENCE SPECIFICATIONS FOR DETAILS.
 5. CONCRETE APRON SHOULD EXTEND 12" FROM EACH SIDE OF FENCE ALONG FENCELINE.

WISCONSIN POWER AND LIGHT COMPANY

HUEBNER SUBSTATION SHEBOYGAN, WI

FENCE DETAILS
HIGH SECURITY FENCE EXPANSION

SCALE: 1/2" = 1'-0"

DWG. NO. 16169-03-08

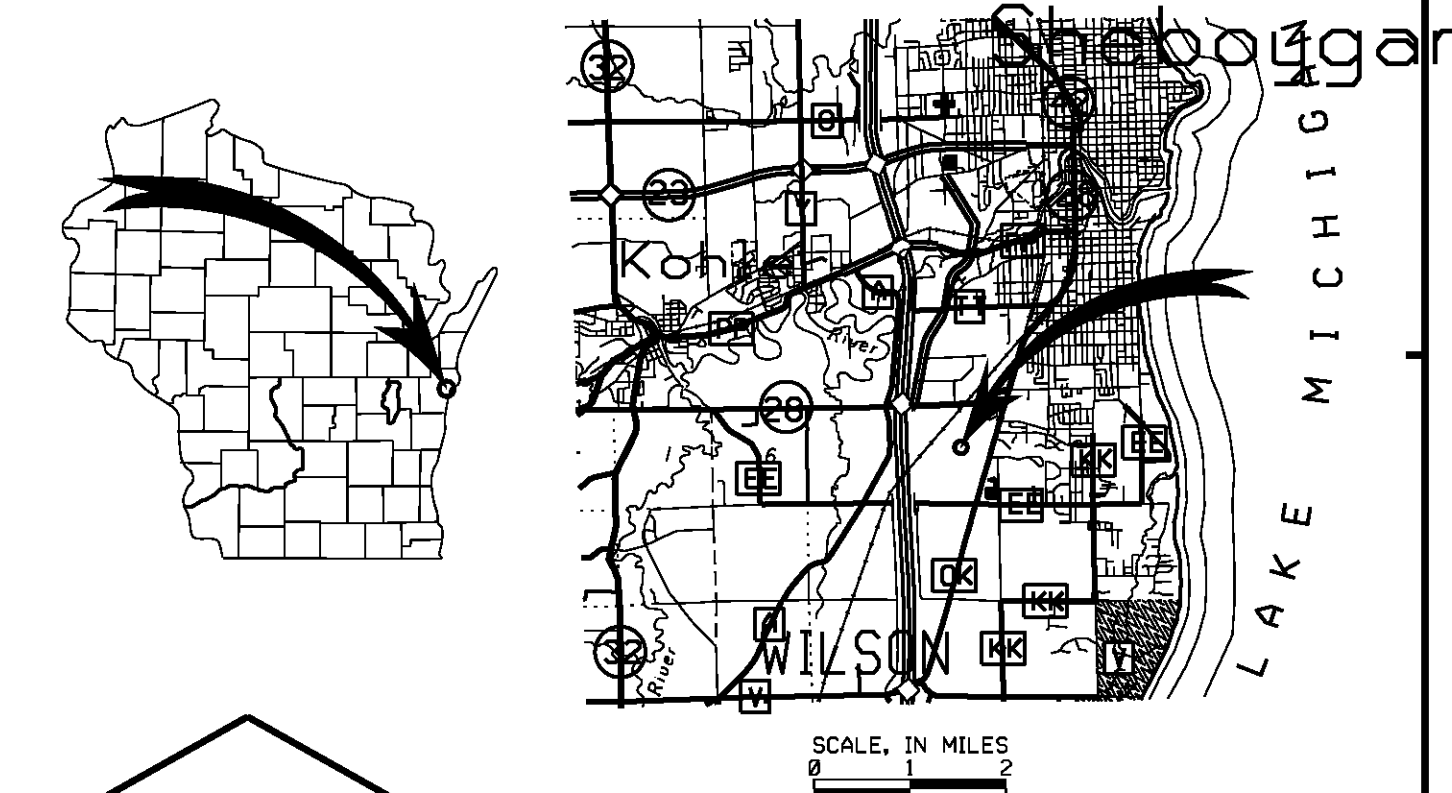
NO.		DATE	REVISION	BY	CHKD	APVD
0			INSTALL 2 CAP BANKS (W.D. R038891)	BV-RJS	BV-MJC	BV-JRR

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PROJECT LOCATION



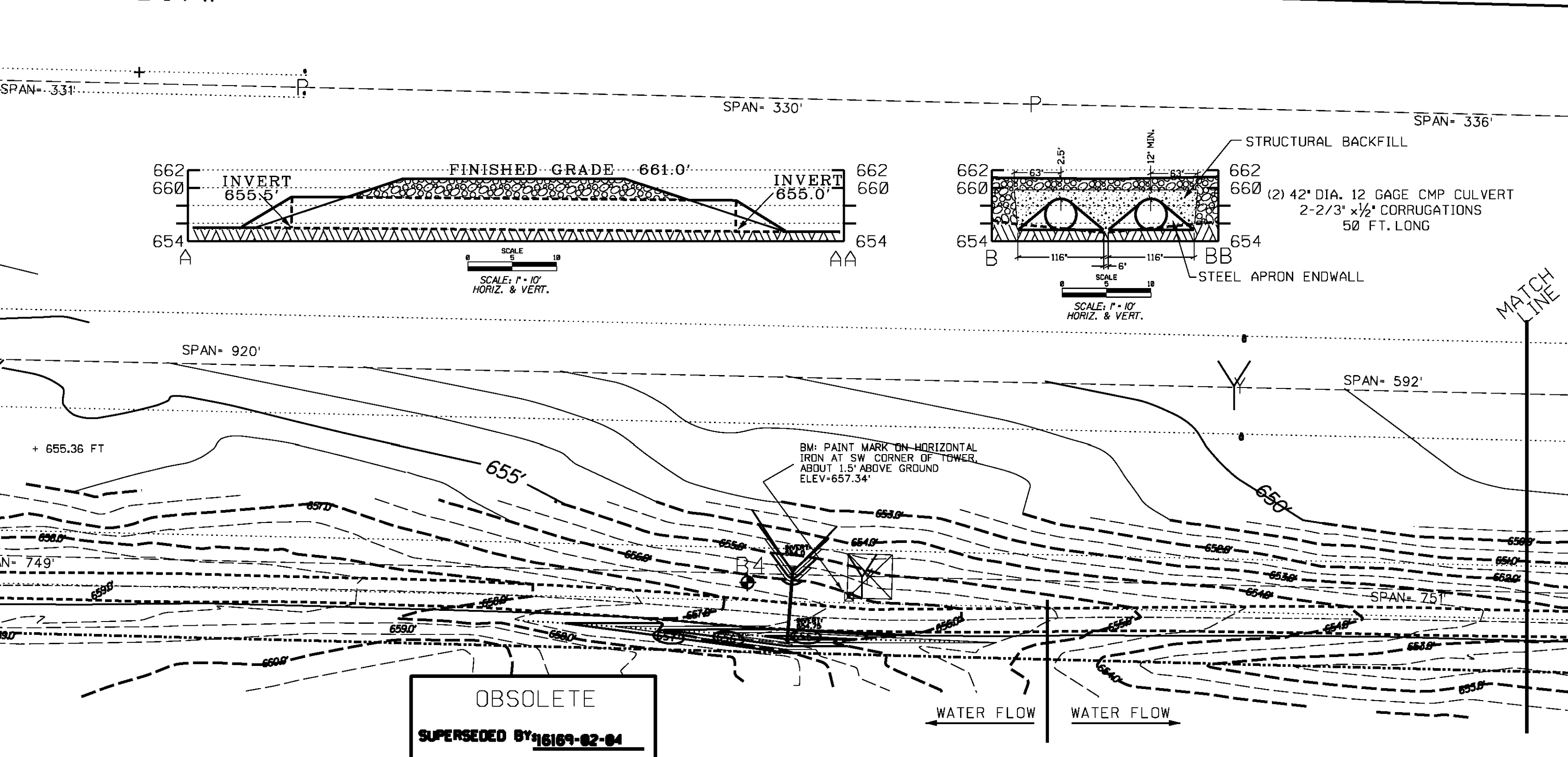
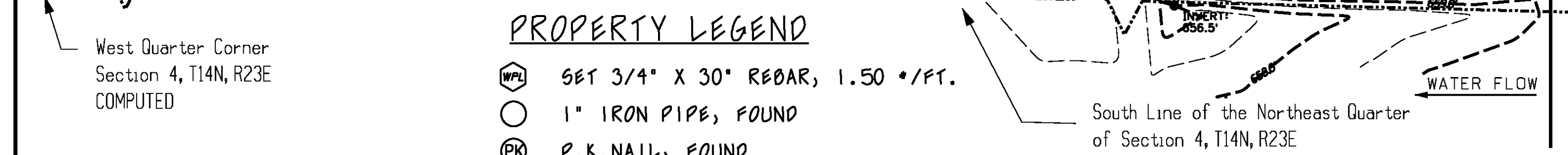
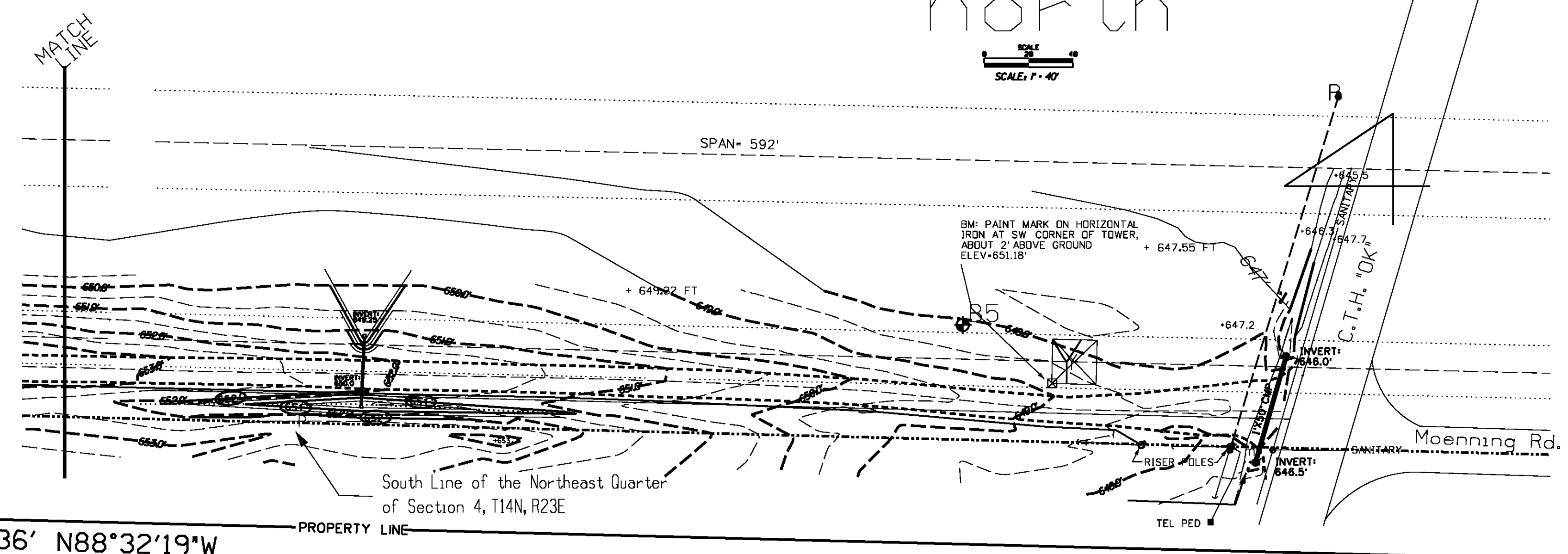
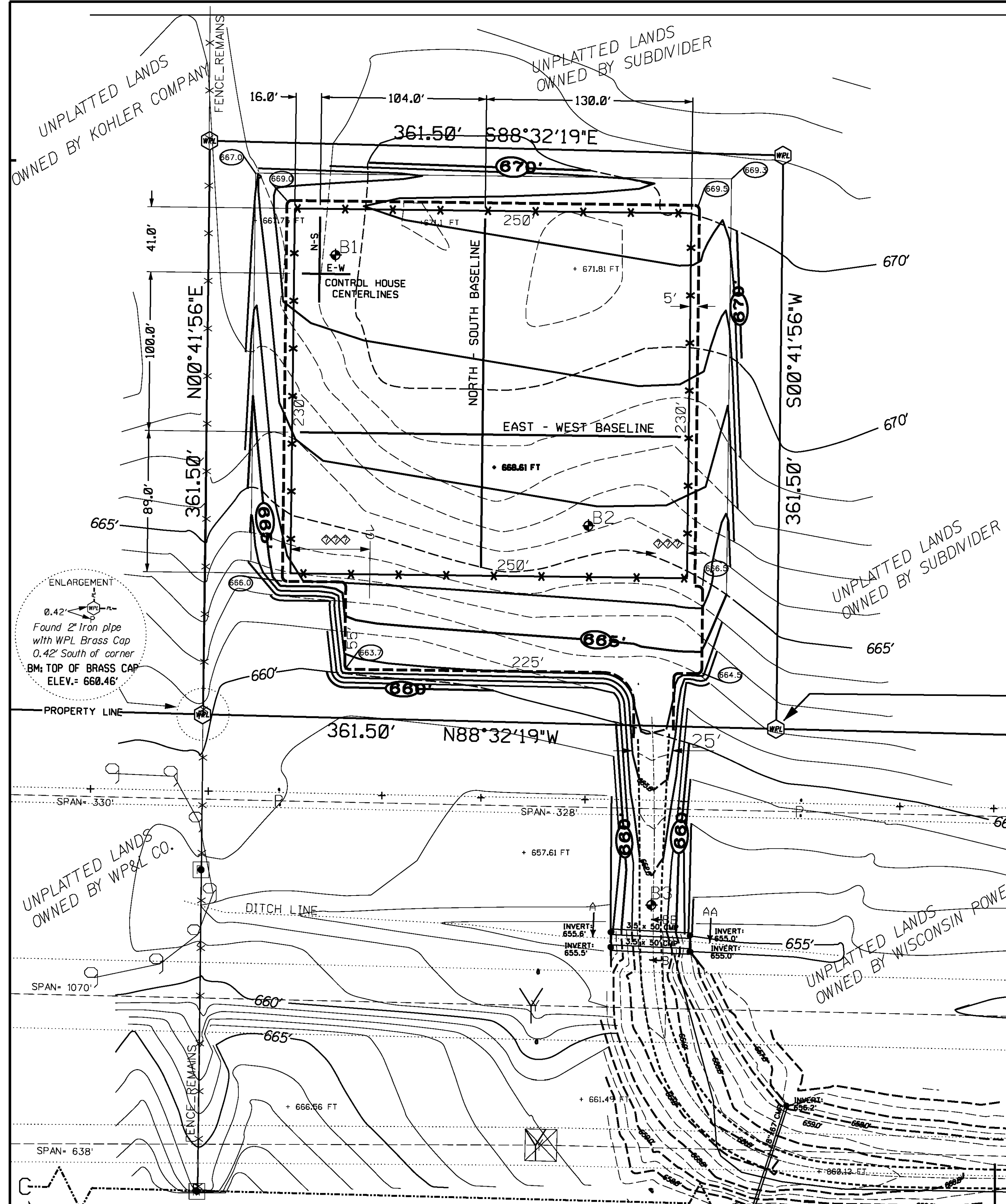
LEGEND

- 963 — EXISTING GROUND CONTOUR
- 953 — PROPOSED GROUND CONTOUR
- X — X — PROPOSED FENCE
- - - - - EXTENT OF GRAVEL BASE
- B1 SOIL BORING LOCATION
- + 979.5' EXISTING SPOT ELEVATION
- 979.5' PROPOSED SPOT ELEVATION
- UNDERGROUND ELECTRIC CIRCUIT

NOTES: 138KV Line X38 conductor elevations are at 34' F
Pole tag prefix is 14-23-4.2

SITE PREP NOTES:

- 1.) STRIP TOPSOIL FOR SUBSITE AND DRIVEWAY.
- 2.) SUB AREA AND ENTRANCE PAD ARE TO BE BUILT UP WITH COMPACTED FILL WITHIN 6 INCHES OF FINAL GRADE.
- 3.) ALL SIDESLOPES SHOULD BE 3 FOOT HORIZONTAL TO 1 FOOT VERTICAL (3:1).
- 4.) DRIVEWAY SHALL BE BUILT UP 1 FOOT WITH 1½ INCH CRUSHED AGGREGATE BASECOVER TO PREVENT RUTTING.
- 5.) COVER ENTIRE SITE WITH A 6 INCH LAYER OF ¾ INCH CRUSHED AGGREGATE, INCLUDING DRIVEWAY.
- 6.) TOPSOIL SHALL BE PLACED ON THE SIDESLOPES FOLLOWING COMPLETION OF GRADING.



West Quarter Corner Section 4, T14N, R23E COMPUTED

PROPERTY LEGEND

- WPL SET 3/4" X 30" REBAR, 1.50' / FT.
- 1" IRON PIPE, FOUND
- PK P.K. NAIL, FOUND
- C COMPUTED SECTION CORNER
- P 2" IRON PIPE WITH WPL BRASS CAP, FOUND
- CONCRETE MONUMENT WITH CAST IRON CAP, FOUND

South Line of the Northeast Quarter of Section 4, T14N, R23E

CONSTRUCTION NOTES:

1. CLEAN & RE-GRADE DITCH AS NECESSARY FOR WATER FLOW.
2. TOPDRESS, GRADE AND COMPACT DRIVEWAY.
3. DITCH DOES HAVE UNDERGROUND ELECTRIC CIRCUIT.

Reference Only

04/16/2021 4:14:24 PM

OBSOLETE
SUPERSEDED BY 16189-02-04

GRID NAD83(91) COORDINATES; DISTANCES SHOWN ARE GROUND - CGF = 0.999921

Wisconsin Power & Light Company

SITE PLAN AND LAYOUT

LOCATED IN THE SW 1/4 OF THE NE 1/4, SECTION 4, T14N-R23E, WILSON TOWNSHIP, SHEBOYGAN COUNTY, WISCONSIN

DRAWN BY P. NIERODE DATE 3-2-98
ENG. R. SCHNEIDER DATE 3-2-98
APPROVED HUEBNER SUBSITE R443 - 2.1

LOCATION SHEBOYGAN COUNTY WISCONSIN
DRAWING NO. FILE: ...huevhu02.1



CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by 2720 BUS, LLC to construct/operate a Cousins Drive Thru Restaurant at 2720 S. Business Drive. SC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 7, 2021

MEETING DATE: May 11, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes:
Municipal Code: N/A

BACKGROUND / ANALYSIS:

2720 BUS, LLC is proposing to construct/operate a Cousins Drive Thru Restaurant at 2720 S. Business Drive. The applicant states the following about the project:

- This site is the former Gilly's Custard restaurant/custard store. Gilley's is no longer in operation and the site is currently vacant. The previous owner (Paradise Auto) passed away and all of the personal property is currently being liquidated from the estate or removed from the premises.
- The proposed redevelopment will include a new 2,400 square foot Cousins Subs restaurant with a full service drive-thru and seasonal patio dining.
- The existing building and canopy will be demolished as part of the redevelopment. The new building will shift approximately 60 feet to the east (closer to the road) from the existing building structure. In addition, the existing canopy at the site will be demolished creating approximately 60 feet of new space between the road and the front of the new store.
- A typical, corporate Cousins Subs store hires 15-25 full and part time employees.
- Store hours vary from location to location, but typical store hours are 10 a.m. to 10 p.m. daily.
- Cousins Subs will typically serve 200-250 customers per day at a full service, drive-thru location.

- This will be a corporate operated store. Cousins Submarines, Inc. owns and operates 33 of the roughly 100 total stores. Cousins is a Wisconsin based company that is a trusted partner in the communities they operate in.
- Cousins looks to redevelop the site giving it a new and vibrant, life in hopes of contributing for years to come to the solid commercial foundation already in place on S. Business Dr. Cousins looks to build upon its reputation as a solid partner and clean, friendly destination for Sheboygan to enjoy.

Specific site improvements include:

- The proposed restaurant will be 2,400sf in size.
- Provided parking spaces is 34.
- The existing driveway connection to S. Business Dr. will remain, as-is in its current location and configuration.
- There is a cross access easement recorded between the property to the north allowing vehicles access to curb cuts/connections on both properties minimizing traffic stacking and impacts.
- The drive-thru lane provides for a minimum 150' stack from the "pass through" window. Code requires a minimum 100' stack. The site plan also allows for 60' of post window stack. Code requires a minimum of 40'.
- Cousins will utilize fully digital pre-menu order boards and menu order boards and a speaker system creating a clearer connection to customers without the old "squawk box" sound.
- The existing garage and dumpster enclosure will remain and be cleaned up. In addition, the CMU wall and pilasters will be painted to match the building colors. The dumpster enclosure will also get a new metal coping to match the building.
- The paved area to the north of the existing garage/trash enclosure will be removed and turned into new greenspace.
- Landscaping will be upgraded to add a variety of foundation and ground plantings to enhance the site, while preserving a majority of the mature trees around the parking lot and drive through. Additional decorative trees are also added to complement the site.
- Light pole bases and light poles will be reused on site. They will be sanded, painted and fitted with new, modern LED heads. The current two head, halogen fixtures are tipped up at angles to give a wide glow and typically give off the old "high school gym" look. The new LED fixtures will create a bright, inviting light with reduced energy consumption and with a stylish, clean look.

The applicant states the following about the restaurant architecture:

- The project will entail the demolition of the existing facility and construction of a new 2,400sf Cousins Subs drive thru restaurant with an outdoor patio.
- The building will feature several of Cousins rebranding materials to create a fresh, new look reflecting the brands cuisine philosophy and rich history.
- The main façade materials will consist of brick masonry with aluminum storefront punched openings and a porcelain tile eyebrow with clearstory above. In addition, the

porcelain tile is designed to give the appearance of a wood.

- Other materials, inside and outside, include corrugated metal accents. All of these materials are blended together to create the new Cousins image.

The applicant states the following about signage:

Cousins is proposing to install several wall signs, a monument sign and several small miscellaneous informational signs on their site. The applicant is requesting the following:

- 36sf (2.6 x 13.3) interior lit individual letter "Cousins Subs Grilled & Deli Fresh" on the front/east elevation facing S. Business Drive
- Two, 24sf (2.8 x 8.5) interior lit individual letter "Cousins Subs" on the north and south sides of the building.
- An eight (8) foot high, 67sf, interior lit "Cousins Subs" monument sign to be located at the southeast corner of the property along S. Business Drive (replacing old Gilly's sign).
- Wall panel west side of north elevation - The "Running Sub" is a heritage mural, paying homage to the original Cousins Submarine's logo from 1972. It is an interior/exterior substrate with an aluminum frame that includes blind mounting system so hardware isn't visible. It is illuminated via the light bar above the mural (not internally illuminated).

Other general information about the project:

- Cousins Subs has been in operating in Sheboygan since opening its first location in November, 1989 on Taylor Drive.
- Cousins has had a location on South Business Drive dating back to June, 2001.
- The previous location at 2139 Business Drive was closed at the end of its lease because it needed a full reinvestment and remodel, but the location could not accommodate a full service drive-thru and it did not have adequate parking for its guests.
- This site was selected because of its close proximity to the old store and it allows Cousins to accommodate its full service drive-thru and adequate parking for its customers.
- The overall investment is expected to be just over \$1.5 million dollars. This includes the land purchase, new building shell and tenant buildout, ready for business.

Cousins story, values and mission:

- Our story began in 1972 when two Cousins, Bill Specht and Jim Sheppard, set out to bring their favorite style of sub sandwich from the East Coast to their new hometown of Milwaukee, Wis. Staying true to our founders' legacy of *Better Bread. Better Subs.*, we continue to *Believe in Better* — both in the quality of food we serve and, in the communities, we support.
- As a family-owned company, it's important that we respect our roots, do things the right way and create positive change. We view every opportunity as a chance to be *Better at Heart* and treat each obstacle as a chance to grow and better serve you.

- We *Believe in Better* through the continual improvement in everything we do. When it comes to the food we serve, quality has no substitute. While others seek to create value by cutting back, we choose to improve and offer more. When our communities are in need, we offer our support.
- When it comes to the food we serve, we believe that Quality Has No Substitute. That's why after 45+ years, we continue to serve *Better Bread. Better Subs.* using only the freshest ingredients on our signature bread baked daily.
- Our local sub shop owners believe in being *Better at Heart* and have a long-standing tradition of giving back to the communities they serve. Whether it's supporting reading programs, hosting donation nights for local schools, providing nonprofits with healthier food options or donating food to local shelters, they are passionate about making it better.

STAFF COMMENTS:

Applicant will be demolishing existing Gilly's facilities to construct the new drive thru restaurant. The property will need to be in a dustless condition if construction of the restaurant does not immediately take place.

Access to the site is proposed to come from the existing S. Business Drive driveway and will also have a shared access agreement with the existing restaurant parcel to the north.

The Plan Commission may want the applicant to explain the following:

- A little explanation about the Cousins Menu?
- Explanation of drive thru business compared to sit down business.
- When is construction proposed to begin and when might the restaurant open?

The proposed Cousins Restaurant is a nice redevelopment of this former Gilly's Restaurant and appears to be a nice fit with many of the other commercial restaurants and retail/service establishments located along S. Business Drive.

Applicant is requesting the following exceptions:

- Requesting a paving variance to be zero (0) feet to the north property line – minimum paving setback is five (5) feet.

This is at the existing driveway that connects the Cousin's parcel to the Sheboygan Family Restaurant parcel to the north.

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational and bufferyard landscaping requirements.
- Requesting a variance to exceed the .5 footcandles at the common property lines — Maximum permitted .5 footcandles at the property line.

Light pole bases and light poles will be reused on site. They will be sanded, painted and fitted with new, modern LED heads. The new LED fixtures will create a bright, inviting light with reduced energy consumption and with a stylish, clean look. Applicant indicates

Cousins will have some spillover light into the street. Applicant indicates that based on the existing layout and lighting configuration it is likely Cousins lighting at the common property lines may now exceed .5 footcandles.

ACTION REQUESTED:

Staff recommends approval of the conditional use, exceptions and signage subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary razing permits for all structures to be demolished. Once structures have been demolished, the applicant will maintain the site(s) in a clean and dust free condition.
3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance. If properties are sharing stormwater facilities, the proper agreements/easements shall be officially documented and recorded prior to building permit issuance.
4. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
5. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
6. Outdoor storage of materials, products or equipment shall be prohibited.
7. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
8. Any unused mechanical boxes, equipment, etc. shall be removed from the site.
9. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets (except those areas receiving the variance).
10. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
11. Applicant shall install individual letter signs – no cabinet or flat panel signs.
12. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is eight (8) feet.
13. All areas used for parking/maneuvering of vehicles shall be paved.
14. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
15. The parking lot and drive-through facilities shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.
16. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.

17. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
18. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
19. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
20. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
21. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
22. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
23. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
24. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to water and sewer.
25. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
26. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, shared access, parking, stormwater facilities, utilities, etc. This easement document shall be officially recorded by Sheboygan County.
27. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
28. Building permits shall be issued only at such times as the applicant provides official documentation that they are the owner of the property located at 2720 S. Business Drive.
29. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments

PARCEL NO. 59281431720

MAP NO. _____

ZONING CLASSIFICATION: SC

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: 2720 BUS, LLC

ADDRESS: 802 N 109th St. Milwaukee, WI 53072

E-MAIL: jholborow@evodevoinc.com

PHONE: (414) 393-1800 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Cousins Subs

ADDRESS OF PROPERTY AFFECTED: 2720 S. Business Dr.

LEGAL DESCRIPTION: Lot 2 of the Certified Survey Map recorded in volume 7 on page 116, being a part of the south 1/2 of the south 1/2 of the northwest 1/4 of section 34, town 15 north, range 23 east, in the City of Sheboygan, Sheboygan County, Wisconsin.

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: This site is the former Gilly's Custard. Gilly's is no longer open and operating.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: The use will include the demolition of the existing principal building on site to make way for a new 2,400 sq. ft. Cousins Subs restaurant with outdoor patio and drive-thru window. The site was previously used for a Gilly's Custard restaurant which included seasonal "car hop" service as well as walk-in service. The building has also been used for consignment sales as well as used car sales more recently. The new Cousins Subs will serve as a fast casual restaurant serving deli fresh and grilled to order sub sandwiches. The site will include a seasonal patio area and full drive-thru window. Cousins Subs typically

hires 15-25 full and part time employee's per store and will typically operate during the hours of 10 a.m. to 10 p.m. Mon.-Sun. Some employee counts and store hours may vary by location.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: NONE

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? Cousins Subs will provide deli fresh and grilled to order sub sandwiches to its brand enthusiasts in this area. This will be a corporately operated store. Cousins Submarines, Inc. currently owns and operates approximately 33 of the 100 units. Cousins Subs first opened a store in this market in 2001. That store was located at 2139 S. Business Dr. and was operated by a franchisee. In a commitment to the community and its customers, Cousins Subs chose to relocate to 2720 S. Business Dr. to provide a new Cousins Subs restaurant with all of its modern amenities including adequate parking, a full service drive thru window and an updated dining room. Cousins Subs makes a difference in all of the communities it serves through its "Make it Better Foundation" which supports hunger, health & wellness and youth education organizations. Cousins Subs also uses high quality finishes and materials in the construction of its restaurants and operates them at a high standard. All of these factors should benefit the community and its customers for years to come.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? No. The site was carefully selected and engineered to provide customers with a comfortable, easy traffic pattern. Plus, the site now provides adequate parking and the proper car stacking for safe and optimal drive thru window function.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? The conditional use is consistent with a number of other commercial, drive-thru restaurants along S. Business Dr. The conditional use does not impede or take away from the use. Rather the drive thru provides another convenience for brand enthusiast to enjoy Cousins deli fresh and grilled to order subs.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Cheryl Eggen – Personal Representative (Seller)

ADDRESS: _____

E-MAIL: SHEBOYGANCOUNTYHOMES@gmail.com (Heather Kiehl – Agent for Seller)

ARCHITECT: Perspective Design, Inc. – Brad Kropp

ADDRESS: 11525 W. North Ave. Wauwatosa, WI 53226

E-MAIL: bkropp@pdi-arch.com

CONTRACTOR: _____ N/A

ADDRESS: _____ **E-MAIL:** _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

4/20/2021
DATE

John Holborow - Member
PRINT ABOVE NAME

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
 - All lands for which the conditional use is proposed.
 - All other lands within 100 feet of the boundaries of the subject property.
 - The current zoning of the subject property and its environs (200 feet),
3. A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development or if the proposed conditional use is a cluster development (per Section 15.206(1)(b) or a group development (per Section 15.208). A proposed preliminary plat or conceptual plat may be substituted for the final site plan, provided that the preliminary plat contains all information required on a site plan.
 - Submit TWO (2) copies of the site plan.
 - Submit .pdf file of all drawings either by email or CD

2720 BUS, LLC

SITE NARRATIVE - CONDITIONAL USE APPLICATION

April 20, 2021

PROJECT NAME AND ADDRESS:

Cousins Subs, Redevelopment
2720 S. Business Dr.
Sheboygan, WI 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

The parcel is defined as tax parcel 59281431720

The legal description is:

Lot 2 of the Certified Survey Map recorded in volume 7 on page 116, being a part of the south ½ of the south ½ of the northwest ¼ of section 34, town 15 north, range 23 east, in the City of Sheboygan, Sheboygan County, Wisconsin.

The entire lot area = 1.37 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

SC – Suburban Commercial Zoning District

Non-Residential MINIMUM Setbacks

Building to Front or Street Side Lot Line: 25 Feet

Building to Residential Side Lot Line: 25 Feet

Building to Residential Rear Lot Line: 25 Feet

Building to Non-Residential Side Lot Line: 10 Feet or 0 Feet on Zero Lot Line Side

Building to Non-Residential Rear Lot Line: 10 Feet

EXISTING SITE CONDITIONS/LAND USE:

This site is the former Gilly's Custard restaurant/custard store. Gilley's is no longer in operation and the site is currently vacant. The previous owner passed away and all of the personal property is currently being liquidated from the estate or removed from the premises. The existing building and canopy will be demolished as part of the redevelopment.

PROPOSED LAND USE/LOT COVERAGE SITE DATA:

- The proposed redevelopment will include a new, 2,400 square foot Cousins Subs restaurant with a full service drive-thru and seasonal patio dining.
- The new building will shift approximately 60' feet to the east (closer to the road) from the existing building structure. In addition, the existing canopy at the site will be demolished creating approximately 60' of new space between the road and the front of the new store.
- Total Property Area = 59,688 s.f. (1.37 acres)

- Existing Site:

Impervious area = 35,736 s.f. (0.82 ac.), 60%
[1982 s.f. of bldg. + 33,754 s.f. of pavement]
Open / Green space = 23,952 s.f. (0.55 ac.) 40%

- Proposed Site:

Impervious area = 30,950 s.f. (0.71 ac.) , 52%
[2408 s.f. pf bldg. + 28,542 s.f. of pavement]
Open / Green space = 28,738 s.f. (0.66 ac.) 48%

- **The new site will reduce the impervious area of the site by 4786 s.f. (0.11 acres).**
- The site will contain 34 parking stalls total. 2 ADA accessible stalls.
- The existing driveway connection to S. Business Dr. will remain, as-is in its current location and configuration.
- There is a cross access easement recorded between the property to the north allowing vehicles access to curb cuts/connections on both properties minimizing traffic stacking and impacts.
- The drive-thru lane provides for a minimum 150' stack from the "pass through" window. Code requires a minimum 100' stack. The site plan also allows for 60' of post window stack. Code requires a minimum of 40'.
- Cousins will utilize fully digital pre-menu order boards and menu order boards.
- The new building pad area will be graded to tie into existing parking lot grades at certain points.
- The front portion of the site will continue to drain to the catch basin located at the NEC of the site, as it does today.
- The rooftop rain water will be collected at the rear (west side) of the building in a gutter/downspout configuration that will tie back into the existing storm water pipe as the canopy does today.
- The rear portion of the site will sheet drain to the large open green space at the rear of the site, as it does today.

- The site is currently serviced by a 1" water lateral and sanitary lateral. The plan is to reuse the existing laterals on site. The sanitary lateral will be televised to ensure it is in sound condition and good working order. This will be coordinated by the GC during construction.
- The existing garage and dumpster enclosure will remain and be cleaned up. In addition, the CMU wall and pilasters will be painted to match the building colors. The dumpster enclosure will also get a new metal coping to match the building.
- The paved area to the north of the existing garage/trash enclosure will be removed and turned into new greenspace.

BUILDING AND MATERIALS:

- The building will feature several of Cousins rebranding materials to create a fresh, new look reflecting the brands cuisine philosophy and rich history.
- The main façade materials will consist of brick masonry with aluminum storefront punched openings and a porcelain tile eyebrow with clearstory above. In addition, the porcelain tile is designed to give the appearance of a wood.
- Other materials, inside and outside, include corrugated metal accents. All of these materials are blended together to create the new Cousins image.

SITE SELECTION:

- Cousins has had a location on South Business Drive dating back to June, 2001
- The old location at 2139 S. Business Drive could not accommodate a full service drive-thru.
- This site was selected because of its close proximity to the old store and it allows Cousins to accommodate its full service drive-thru and adequate parking for its customers.
- The overall investment is expected to be just over \$1.5 million dollars. This includes the land purchase, new building shell and Tenant buildout, ready for business.

HISTORY IN THE MARKETPLACE:

- Cousins Subs has been in operating in Sheboygan since opening its first location in November, 1989 on Taylor Drive
- Up until this year, Sheboygan has been operated by franchisees of Cousins Subs
- The previous location on Business Drive was closed at the end of its lease because it needed a full reinvestment and remodel, but the location could not accommodate a full service drive-thru and it did not have adequate parking for its guests.

SITE OPERATION/SITE IMPACTS/POTENTIAL NUISANCES:

- A typical, corporate Cousins Subs store hires 15-25 full and part time employees.
- Store hours vary from location to location, but typical store hours are 10 a.m. to 10 p.m. daily.
- Cousins Subs will typically serve 200-250 customers per day at a full service, drive-thru location.
- Cousins will utilize its new, digital menu order boards and speaker system creating a clearer connection to customers without the old “squawk box” sound.
- Landscaping will be upgraded to add a variety of foundation and ground plantings to enhance the site, while preserving a majority of the mature trees around the parking lot and drive through. Additional decorative trees are also added to complement the site.
- Light pole bases and light poles will be reused on site. They will be sanded, painted and fitted with new, modern LED heads. The current two head, halogen fixtures are tipped up at angles to give a wide glow and typically give off the old “high school gym” look. The new LED fixtures will create a bright, inviting light with reduced energy consumption and with a stylish, clean look.
- This will be a corporate operated store. Cousins Submarines, Inc. owns and operates 33 of the roughly 100 total stores.
- Cousins is a Wisconsin based company that is a trusted partner in the communities they operate in.
- Cousins gives back to local charities and communities through its “Make it Better Foundation” which supports hunger, health & wellness and youth education.
- As this is an already developed commercial area with abutting train tracks on the west side there are not too many concerns with regards to becoming a nuisance. Rather, Cousins looks to redevelop the site giving it a new and vibrant, life. In hopes of contributing for years to come to the solid commercial foundation already in place on S. Business Dr. Cousins looks to build upon its reputation as a solid partner and clean, friendly destination for Sheboygan to enjoy.

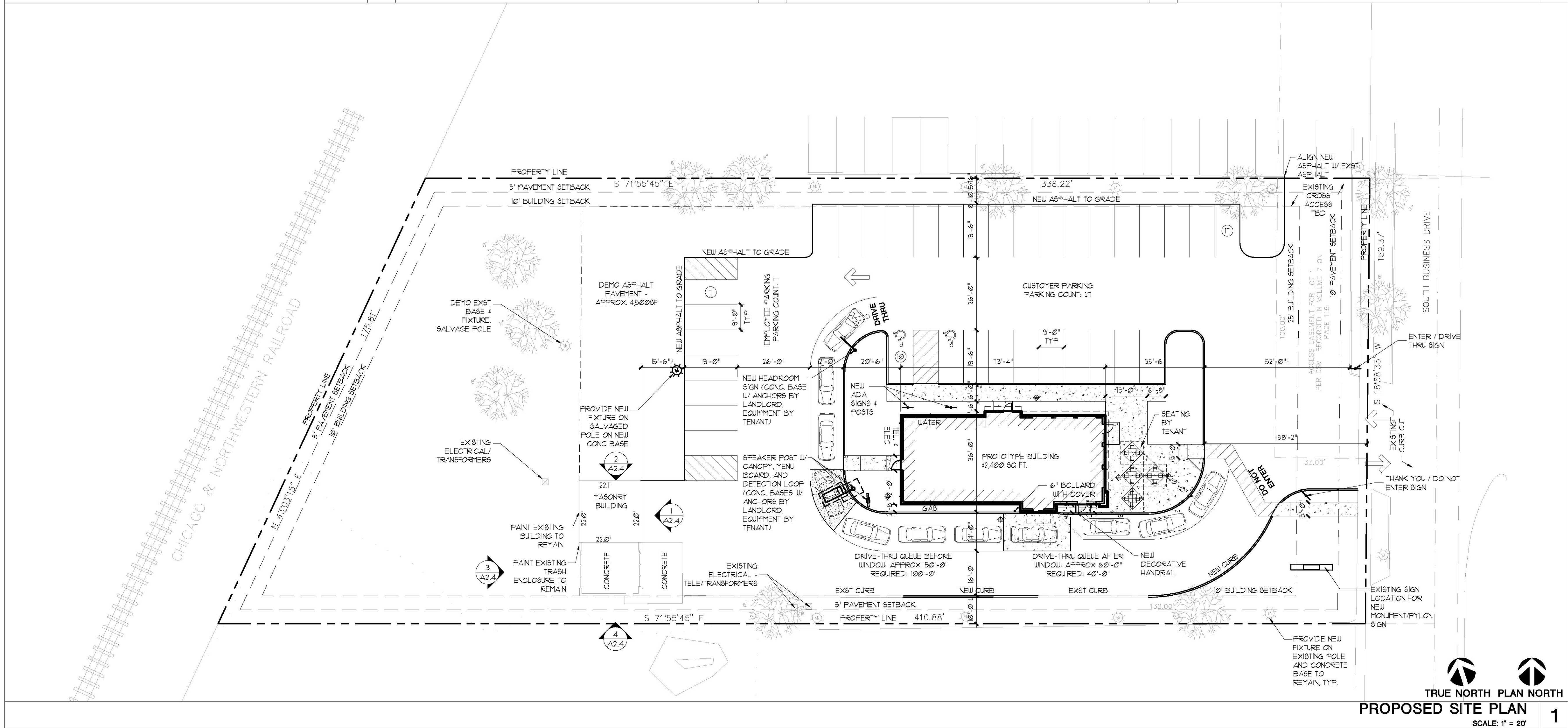
SITE PLAN NOTE:
 - SITE PLAN IS APPROXIMATE, SHOWN FOR REFERENCE ONLY. FOR THE MOST ACCURATE INFORMATION REFER TO CIVIL PLANS.
 - SITE IS ZONED (SC) SUBURBAN COMMERCIAL.
 - PROPERTY AREA = 59,688 SQ. FT. (1.31 ACRES.)

EXISTING SITE:
 IMPERVIOUS AREA = 35,136 SQ. FT. (0.82 AC) = 60%
 1982 SQ. FT. OF BLDG., 133,154 SQ. FT. OF PAVEMENT
 OPEN / GREEN SPACE = 23,952 SQ. FT. (0.55 AC) 40%

PROPOSED SITE:
 IMPERVIOUS AREA = 30,350 SQ. FT. (0.71 AC) = 52%
 1982 SQ. FT. OF BLDG., 133,154 SQ. FT. OF PAVEMENT
 OPEN / GREEN SPACE = 28,138 SQ. FT. (0.66 AC) 48%

TOTAL IMPERVIOUS AREA OF THE SITE REDUCED BY 4,186 SQ. FT. (0.11 AC).

- PARKING STALLS: 34 PROVIDED (INCLUDES 2 ADA STALLS)
 - DRIVE THRU LANE:
 - 150' PROVIDED BEFORE THE WINDOW
 - 100' PROVIDED AFTER THE WINDOW
 - BUILDING SET BACKS (PROPOSED DEVELOPMENT COMPLIES):
 - FRONT LOT LINE: 25 FT
 - SIDE LOT LINE: 10 FT
 - REAR LOT LINE: 10 FT
 - PARKING SETBACK, ALL NEW WORK COMPLIES
 - FRONT SETBACK: 10 FT
 - SIDE AND REAR SETBACK: 5 FT



PROPOSED SITE PLAN
 SCALE: 1" = 20'
 1

FULL SIZE PRINT = 24" x 36" SHEET

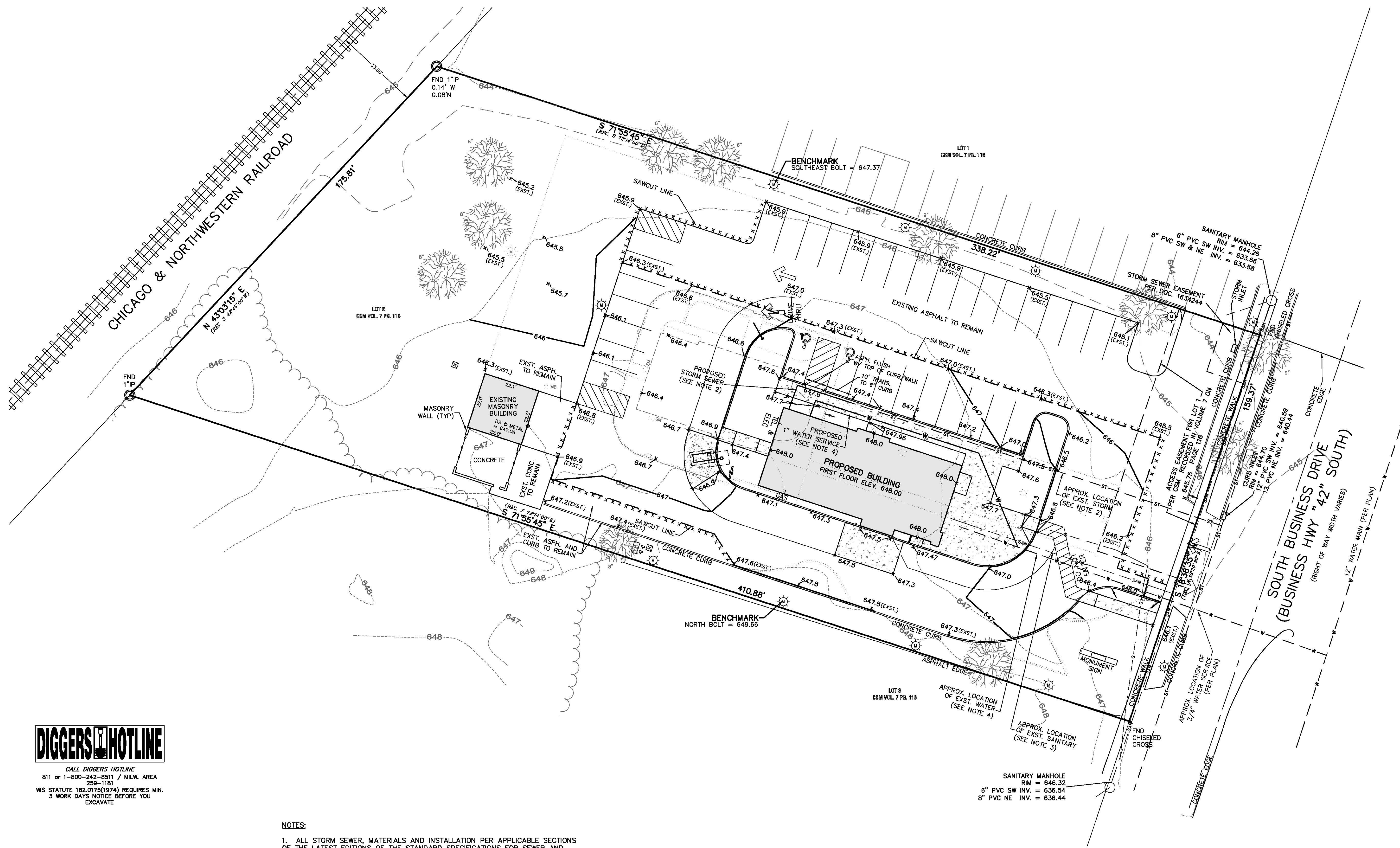
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PROPOSED BUILDING FOR: 2720 BUS, LLC. 2720 S Business Dr, Sheboygan, WI 53081		REV. # 04/20/21	REV. DATE 04/20/21	DESCRIPTION PLANNING COMMISSION SET	REV. BY S.J.F.
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781		Drawing Title: PROPOSED SITE PLAN			
Date: 04/20/21		THIS BOX IS 1/2" x 1/2"			
Scale: NOTED		Drawn: S.J.F.			
Job: 21-TBD		Sheet: (SHELL)			
SP1.1		NOT FOR CONSTRUCTION			

- PRELIMINARY -
 FOR ESTIMATING AND REVIEW ONLY



2720 BUS, LLC
2720 S BUSINESS DR. SHEBOYGAN, WI



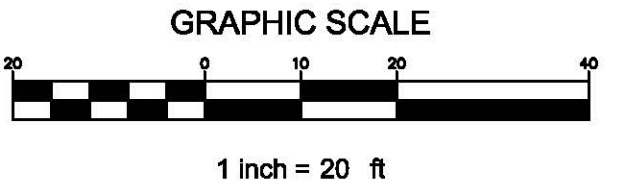
CALL DIGGERS HOTLINE
811 or 1-800-242-8511 / MILW. AREA
269-1181
WS STATUTE 182.0175(1974) REQUIRES MIN.
3 WORK DAYS NOTICE BEFORE YOU
EXCAVATE

LEGEND

- 648 --- EXISTING CONTOUR
- 647 — PROPOSED CONTOUR
- x 646.5 PROPOSED ELEVATION
- ST --- EXISTING STORM SEWER
- ST --- PROPOSED STORM SEWER
- SAN --- EXISTING SANITARY SEWER
- SAN --- PROPOSED SANITARY SEWER
- W --- EXISTING WATER MAIN
- W --- PROPOSED WATER MAIN
- C --- UNDERGROUND GAS MAIN
- TEL --- UNDERGROUND TELEPHONE
- E --- UNDERGROUND ELECTRIC
- SAWCUT LINE

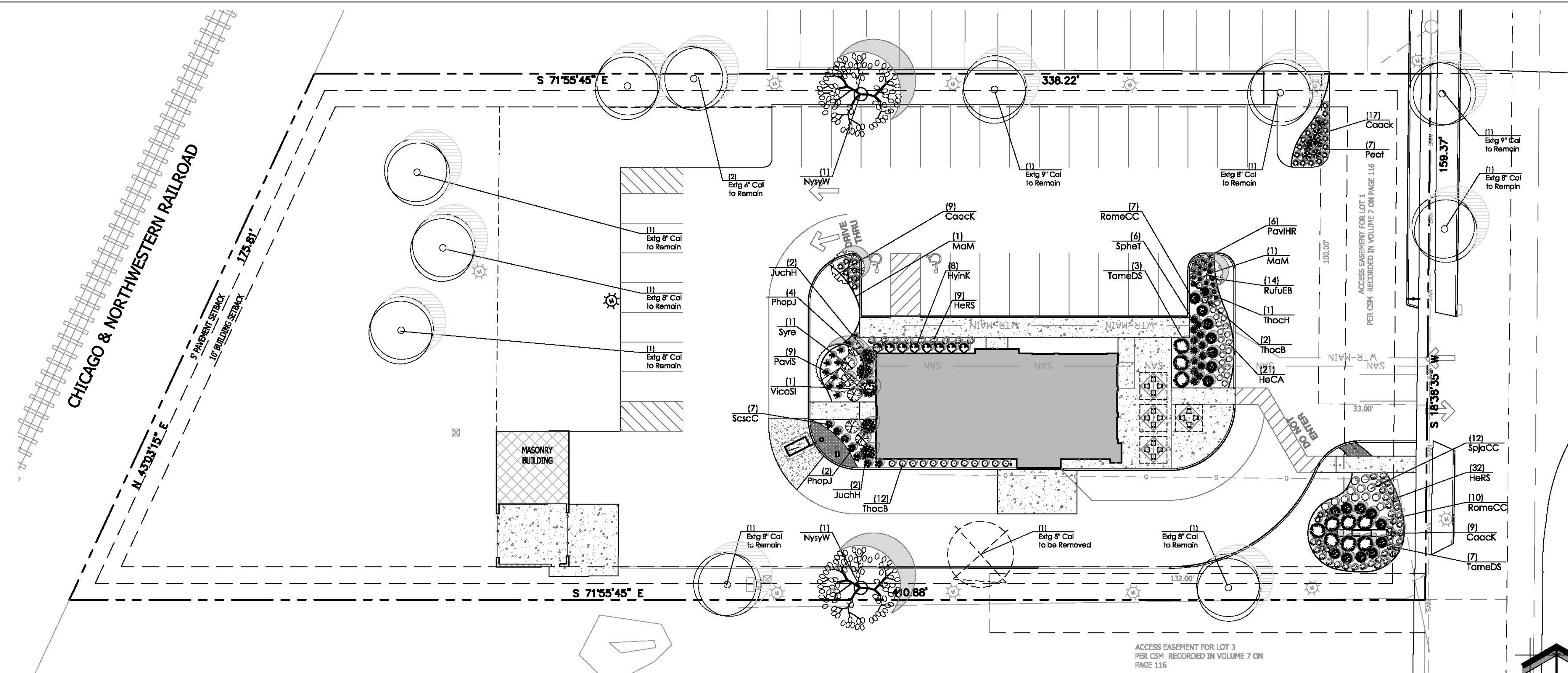
NOTES:

1. ALL STORM SEWER, MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF SHEBOYGAN REQUIREMENTS.
2. CONTRACTOR TO LOCATE EXISTING STORM SEWER FROM THE EXISTING CANOPY AND REUSE FOR THE ROOF DRAINS FROM THE NEW BUILDING. EXISTING CANOPY AREA 3300 S.F. NEW BUILDING AREA 2400 S.F. EXTEND / RELOCATE SEWER TO PICK UP ROOF DRAIN AT THE WEST END OF THE BUILDING.
3. CONTRACTOR TO VERIFY EXISTING SANITARY SEWER LATERAL LOCATION, SIZE AND CONDITION AND REUSE FOR THE NEW BUILDING.
4. EXISTING WATER IS A 3/4" IN R.O.W. AND 1" IN THE SITE PER INFORMATION PROVIDED BY THE CITY. PLUMBER TO DETERMINE IF THE EXISTING WATER CAN BE REUSED OR IF IT NEEDS TO BE REPLACED. CONTACT CJ ENGINEERING IF A NEW SERVICE IS REQUIRED. IF THE EXISTING WATER SERVICE CAN BE REUSED, CONNECT A NEW 1" WATER SERVICE AND EXTEND THE NEW SERVICE TO THE NORTHWEST CORNER OF THE BUILDING AS SHOWN.
5. EXISTING ASPHALT TO REMAIN SHALL BE RESURFACED AND STRIPED AT THE DIRECTION OF THE DEVELOPER.
6. DISTURBED AREA: 27,300 S.F. (0.63 ACRES)
7. THE REDEVELOPMENT OF THIS SITE WILL RESULT IN A DECREASE IN THE AMOUNT OF IMPERVIOUS AREA.
8. SPOT GRADES ALONG THE CURB ARE AT THE BOTTOM OF THE CURB.



**SITE GRADING
AND UTILITY PLAN C1.0**

CJE NO.: 2115RI
APRIL 20, 2021



1 PROPOSED LANDSCAPE PLAN

LANDSCAPE PLAN GENERAL NOTES

- PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.
- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNERS REPRESENTATIVE. ALSO REVIEW OWNERS' MARK SETS OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING CONSTRUCTION. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
 - ALL PLANTINGS SPECIFIED FOR THE COUSINS SHEBOYGAN PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
 - ALL DEVIATIONS FROM THE APPROVED COUSINS SHEBOYGAN PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
 - ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
 - PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
 - ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
 - CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
 - QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
 - CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
 - WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
 - ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
 - GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
 - ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
 - FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AS QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CU YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
 - ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL B AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DET ON LSP1.2 FOR FURTHER INFORMATION.
 - PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
 - ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
 - WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER). APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TUI IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
 - DELUXE 50 GRASS SEED MIX REINDERS (800) 785-3301
20% KENTUCKY BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% RapidCure Perennial Ryegrass
10% Fiesta 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.
 - DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPORTING OR THRIVING SHALL IMMEDIATELY BE REPLANT NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTES:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
• NECESSARY IRRIGATION (IF REQUIRED)
• INTEGRATED PEST MANAGEMENT,
• PROPER FERTILIZATION
• TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
• REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF 1 FOLLOWING PLANTING SEASON IN PERPETUITY.
• WEED MANAGEMENT AND BED CARE.
 - ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPORTATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPORTATION. IT IS RECOMMEND AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
 - MAINTENANCE: THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING DAMAGED BEFORE RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
 - LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

SITE INFORMATION

USDA PLANT HARDINESS ZONE: 5b [-15 to -10 Degrees F]
 LOT ZONING: SC - Suburban Commercial District
 LOT AREA: 59,688 SQ. FT. (1.37 Acres)
 SITE BUILDING AREA: 2,408 SQ. FT.
 TOTAL IMPERVIOUS PAVEMENT: 30,950 SQ. FT. (0.71 Acres)
 TOTAL GREENSPACE: 28,738 SQ. FT. (.66 Acres)
 SITE LANDSCAPE PERCENTAGE: 48.0%
 TOTAL PARKING STALLS: 34 STALLS

DESIGN COMPLIANCE: THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE CITY OF SHEBOYGAN LANDSCAPE REQUIREMENTS SET FOR IN SECTION 15.403 LANDSCAPING POINTS, SAMPLE LANDSCAPING SCHEMES AND MEASUREMENT FOR LANDSCAPING REQUIREMENTS.

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE CITY OF SHEBOYGAN. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THE FINAL WITH THE CITY OF SHEBOYGAN

LANDSCAPE REQUIREMENT INFORMATION FOR BUILDING FOUNDATIONS

FOR EACH 100 FEET OF BUILDING FOUNDATION PERIMETER, THE FOLLOWING NUMBER OF LANDSCAPING POINTS (40) SHALL BE PROVIDED ON A PROXORATED BASIS.

FOUNDATION LENGTH	226' LINEAL FEET
LANDSCAPE POINTS REQUIRED	91 POINTS
LANDSCAPE POINTS PROVIDED	95 POINTS

LANDSCAPE REQUIREMENT INFORMATION FOR DEVELOPED LOTS

FOR EVERY 1,000 SQUARE FEET OF GROSS FLOOR AREA, THE FOLLOWING NUMBER OF LANDSCAPING POINTS (10) SHALL BE PROVIDED ON A PROXORATED BASIS.

BUILDING AREA	2,400 SQ. FT.
LANDSCAPE POINTS REQUIRED	24 POINTS
LANDSCAPE POINTS PROVIDED	65 POINTS

LANDSCAPE REQUIREMENT INFORMATION FOR STREET YARD FRONTAGE

FOR EACH 100 FEET OF STREET YARD FRONTAGE, THE FOLLOWING NUMBER OF LANDSCAPING POINTS (40) SHALL BE PROVIDED ON A PROXORATED BASIS.

STREET YARD LENGTH	159.4' LINEAL FEET
LANDSCAPE POINTS REQUIRED	64 POINTS
LANDSCAPE POINTS PROVIDED	77 POINTS

LANDSCAPE REQUIREMENT INFORMATION FOR TREE REPLACEMENT

TREE REPLACEMENT: EXISTING TREES TO BE REMOVED ARE AS FOLLOWS:
 EXISTING BROADLEAF DECIDUOUS TREES 1 @ 5"
 EXISTING BROADLEAF DECIDUOUS TREES TO BE REPLACED WITH:
 1 @ 5" = (2) 2" CALIPER REPLACEMENT TREES

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS W/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Points	Comments
2	NysyW	☉	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	2"-Cal - B&B	15	1
2	Extg	☉	Existing Tree to Remain	Existing Tree to Remain	Existing 6" Cal	30	2
6	Extg	☉	Existing Tree to Remain	Existing Tree to Remain	Existing 8" Cal	30	2
1	Extg	☉	Existing Tree to Remain	Existing Tree to Remain	Existing 9" Cal	30	2
1	Extg	☉	Existing Tree to be Removed	Existing Tree to be Removed	Existing 5" Cal	-	3

Broadleaf Deciduous Medium / Low Tree

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Points	Comments
2	Mam	☉	Malus 'Marilee'	Marilee Flowering Crab	1 1/2" Cal - B&B	10	1
1	Syre	☉	Syringa reticulata	Ivory Silk Tree Lilac	1 1/2" Cal - B&B	10	1

Conifer Evergreen Tree

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Points	Comments
4	JuchH	☉	Juniperus chinensis 'Hetzi'	Hetz Columnar Juniper	3' - 4' - B&B	5	4

Broadleaf Deciduous Shrub

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Points	Comments
8	HyK	☉	Hypericum x Inodorum 'Kolros'	FloralBerry Rose St. John's Wort	18" - Cont	1	5
6	PhopJ	☉	Physocarpus opulifolius 'Jelam'	First Edition Amber Jubilee Ninebark	24" - Cont	3	5
17	RomeCC	☉	Rosa 'Melihansolt'	Candy Cane Cocktail Rose	24" - Cont	3	5
12	SjpaCC	☉	Spiraea japonica 'NCSX1'	Double Play Candy Corn Spirea	18" - Cont	1	5
1	VicaSI	☉	Viburnum coccineum 'J.N. Select A'	Spice Island Kouspaspis viburnum	24" - Cont	3	5

Conifer Evergreen Shrub

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Points	Comments
10	TameDS	☉	Taxus x media 'Densiformis Select'	Select Dense Spreading Yew	24" - B&B	5	5
14	ThocB	☉	Thuja occidentalis 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - Cont	3	5
1	ThocH	☉	Thuja occidentalis 'Holmstrup'	Holmstrup Dwarf Arborvitae	2' - 3' - B&B	3	4

Perennial Grass

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Points	Comments
34	Coack	☉	Calamagrostis acutiflora 'Kar Forester'	Kar Forester Feather Reed Grass	1-Gal - Cont	0	6
6	PaviHR	☉	Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	0	6
11	PaviS	☉	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1-Gal - Cont	0	6
7	ScscC	☉	Schizachyrium scoparium 'Carousef'	Carousef Little Blue Stem	1-Gal - Cont	0	6
13	SpheI	☉	Sporobolus heterolepis 'Tara'	Tara Prairie Drossseed	1-Gal - Cont	0	6

Perennial

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Points	Comments
21	HeCA	☉	Hemerocallis x 'Chicago Apache'	Chicago Apache Daylily	4 1/2" pot	0	6
41	HeRS	☉	Hemerocallis x 'Ruby Spicler'	Ruby Spicler Daylily	4 1/2" pot	0	6
7	Peat	☉	Perovskia atriplicifolia	Russian Sage	4 1/2" pot	0	6
14	RufUEB	☉	Rudbeckia fulgida 'Early Bird Gold'	Early Bird Gold Gloriosa Daisy	4 1/2" pot	0	6

- Comments**
- Straight central leader, full & even crown. Prune only after planting.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and visibility for both pedestrians and motorists.
 - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove girdling ships and fill hole with topsoil and sow turf grass seed as required.
 - Evenly shaped upright tree with full branching to the ground.
 - Full, well rooted plant, evenly shaped.
 - 5-1/2" well rooted plant.

INSITE
 LANDSCAPE DESIGN
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Project:
2720 BUS, LLC
 2720 Business Drive
 Sheboygan, WI

Issuance and Revisions:

Date	Number	Description
04/15/21		Client Review Submittal
04/20/21		Plan Commission Submittal

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Sheet Title:
 PROPOSED LANDSCAPE PLAN,
 GENERAL NOTES,
 AND PLANT MATERIAL TABLE

Date of Drawing: 04/20/21
 Scale: 1" = 20'-0"
 Drawn By: MCD
 Job Number: L21-049
 Sheet Number:

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

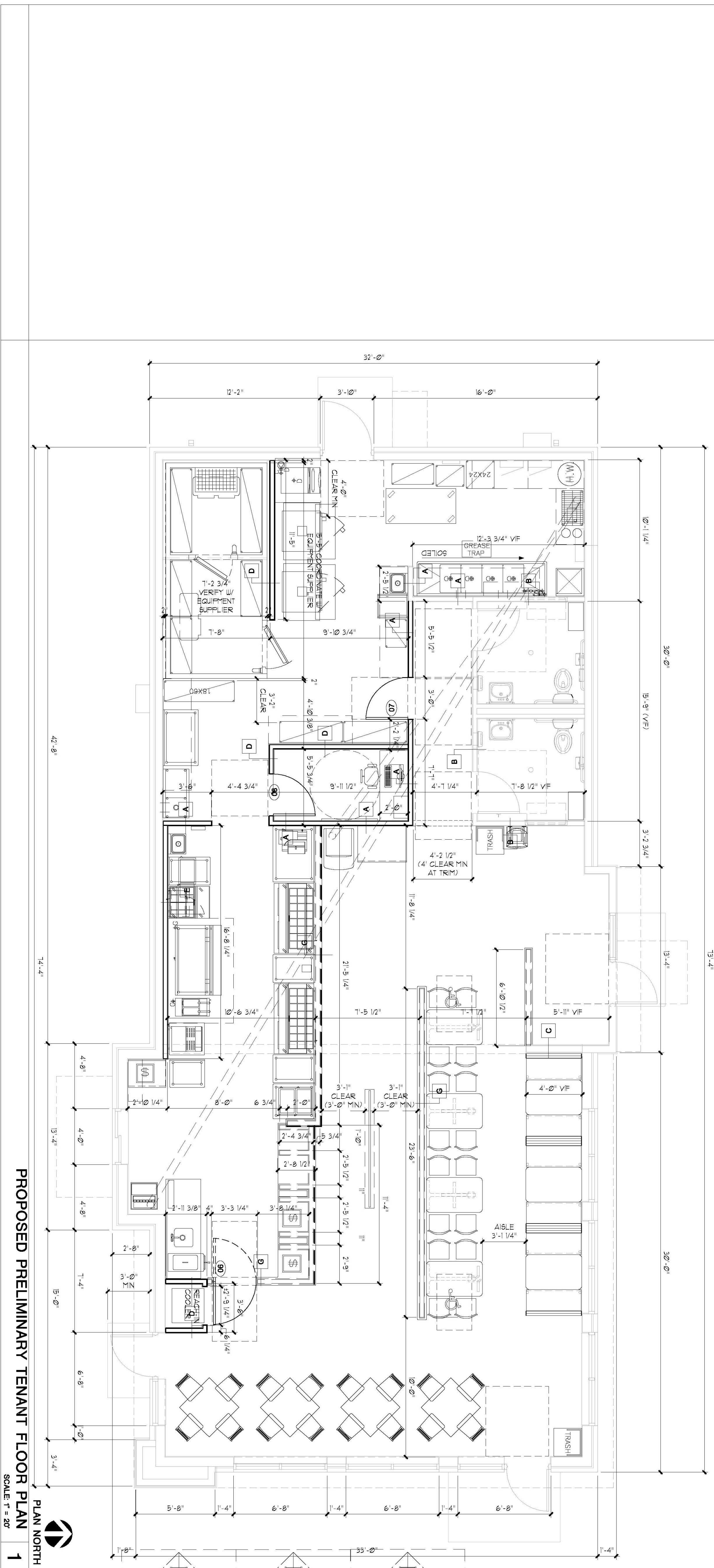
WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (877) 500-7972 www.DiggersHotline.com

811
 Know what's below.
 Call before you dig.

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PROPOSED PRELIMINARY TENANT FLOOR PLAN 1
SCALE: 1" = 20'

FLOOR PLAN NOTES
SCALE: 1" = 20'

FLOOR PLAN NOTE:
 - FLOOR PLAN IS PRELIMINARY IN NATURE. IT WAS PREPARED TO PORTRAY THE SCOPE OF WORK. NO EXTENSIVE BUILDING CODE RESEARCH WAS PERFORMED.
 - THE BUILDING CODE AND THE AMERICAN WITH DISABILITIES ACT (ADA) REQUIRE THAT BUILDINGS AND FACILITIES BE ACCESSIBLE TO AND USABLE BY INDIVIDUALS WITH DISABILITIES.

FULL SIZE PRINT = 24" x 36" SHEET

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Drawing Title: PROPOSED FLOOR PLAN	Date: 04/20/21 Scale: NOTED Drawn: SJF Job: 21-TBD Sheet: (TENANT)
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PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel (414) 302-1780 Fax (414) 302-1781

PROPOSED BUILDING FOR:
2720 BUS, LLC.
 2720 S Business Dr,
 Sheboygan, WI 53081

REV. #	REV. DATE	DESCRIPTION	REV. BY:
	04/20/21	PLANNING COMMISSION SET	SJF

A1.1

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

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A EXTERIOR MATERIALS				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
A	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(BASE AND ACCENTS) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
B	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") (CUT LENGTH AS REQUIRED) INSTALL ORIENTATION: ROWLOCK	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(ACCENTS AND WATER TABLE) BRICKS SHALL EXTEND 3/4" BEYOND TYPICAL FACE AT WATERTABLE. APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
C	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: ALASKA WHITE VELOUR FINISH: VELOUR	(TYPICAL ABOVE BASE) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE.
D	PRECAST SILL	PER GC.	FINISH "BLACK FOX" OR MATCH "B"	
E	WALL TILE	DAL TILE - ACACIA VALLEY. INSTALL PATTERN: LAID HORIZONTAL W/ 1/3 STAGGER	ARK 9" X 36" AV14 W/ #52- TOBACCO BROWN GROUT	
F	PREFINISHED METAL WALL PANELS	PAC-CLAD	HWP PRECISION METAL WALL PANEL/TRIM. COLOR: CITYSCAPE	HORIZONTAL INSTALLATION
G	PREFINISHED METAL TRIM	PAC-CLAD	COLOR: CITY SCAPE	BY PANEL SUPPLIER. TRIM STYLE VARIES. R/T SECTION & ELEVATIONS AS APPROPRIATE. HEM EDGES.
H	PREFINISHED METAL COPING	PAC-CLAD	TAPERED PARAPET COPING W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	VERIFY DEPTH WITH SECTION. 6-1/2" TYPICAL. 2-1/2" AT TILE. U.O.N.
J	PREFINISHED METAL FASCIA	PAC-CLAD	EXTENDED CANTED FASCIA W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	PROVIDE EXTENSIONS AND STIFFENERS AS RECOMMENDED BY MFG.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
K	PREFINISHED SOFFIT	PAC-CLAD	FLUSH SOFFIT. 12" O.C. COLOR: CITYSCAPE	VENTED SOFFIT. PROVIDE SOLID SOFFIT WHEN NOTED ON SECTIONS
L	COUNTER FLASHING	PAC-CLAD OR EQUAL	COLOR: CITY SCAPE	
M	PREFINISHED BRAKE METAL WRAPPED "COLUMN"	PER SUPPLIER	BLACK TO MATCH STOREFRONT	
N	CANOPY	SITE BUILT. BRAKE METAL WRAPPED PRE-FINISHED CANOPY BY SIGN SUPPLIER R/T RELATED SECTIONS AND STRUCTURAL.	BRAKE METAL WRAPPED, BLACK COLOR MATCH STOREFRONT.	TIE RODS & ATTACHMENT PLATES PAINTED TO MATCH. EXCEPT AS 'SIM'. PROVIDE SOLID SOFFIT & ACCESS PANEL AT BOTTOM FOR FUTURE ELECTRICAL
P	EXTERIOR INSULATION FINISH SYSTEM (EIFS)	OUTSULATION PLUS MD BY DRYVIT OR EQUAL DRAINAGE TYPE SYSTEM W/ COLOR MATCHED EXPANSION JOINTS PER MFG.	"LACEY PEARL" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
Q	EXPOSED EDPM	PER ROOFER. WHITE U.O.N.	R/T ROOF PLAN	MATCH ROOF MEMBRANE
R	PREFINISHED GUTTER AND DOWNSPOUT	SIZE AND GUTTER PROTECTION PER ROOFER. COORDINATE W/ PLUMBER.	COLOR: MATCH CITYSCAPE	SIZE BY ROOFER AT (1) PROVIDE FITTED CONNECTION TO STORM (VERIFY W/ PLUMBER) AND PAINT EXPOSED PIPING TO MATCH.
S	PRE-FINISHED FULL-LITE DOOR		WOODGRAIN FINISH. R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR. U.O.N.
T	PRE-FINISHED FULL-LIGHT DOOR		BLACK R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR. U.O.N.
U	PREFINISHED STOREFRONT	BY STOREFRONT SUPPLIER	BLACK	R/T STOREFRONT TYPES
V	FRAME	BY DOOR SUPPLIER	PAINTED BLACK FOX R/T SCHEDULE	EXTERIOR MATCHES INTERIOR. U.O.N.
W	DRAINAGE TYPE EIFS - TRIM	DRYVIT 'OUTSULATION PLUS MD'	"BLACK FOX" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
X	EMERGENCY EGRESS LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK	"SLIM" PROFILE. PROVIDE COLOR MATCHED MOUNTING BLOCK & J-BOX AS REQUIRED.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
Y	EMERGENCY EGRESS AND SECURITY LIGHT	BY D/B ELECTRICAL CONTRACTOR	WHITE OR SILVER. VERIFY W/ GC	"BUGEYE" PROFILE. PROVIDE MOUNTING BLOCK AS REQUIRED.
Z	RECESSED CAN LIGHTS	BY D/B BUILD ELECTRICAL CONTRACTOR 4". U.O.N.	BLACK OR MATCH ADJACENT SOFFIT	IN SOFFIT OR CANOPY. VERIFY LOCATION, AND QUANTITY W/ REFLECTED CEILING PLAN
AA	SCONCE LIGHT	BARN LIGHT ELEC. - ATOMIC TOPLESS STREAMLINE INDUSTRIAL GUARD SCONCE	975- GALVANIZED-FROSTED GLASS	FINAL DESIGN AND LOCATIONS BY ELECTRICAL D/B CONTRACTOR
BB	PAINT EXISTING	VERIFY BASE MATERIAL	BLACK FOX	SEE NOTE 5
CC	PAINT EXISTING	VERIFY BASE MATERIAL	LACEY PEARL	SEE NOTE 6
DD	HOSE BIB OR WALL HYDRANT	KEYED, FROST-FREE DESIGN. FINAL SELECTION, QUANTITY, AND LOCATION BY D/B PLUMBER		SURFACE MOUNTED U.O.N. COORDINATE W/ OWNER
EE	FLUSH DOOR		PAINTED BLACK FOX. R/T SCHEDULE	EXTERIOR MATCHES INTERIOR. U.O.N.
FF	EFIS REVEAL	DRYVIT 'OUTSULATION PLUS MD'	"LACEY PEARL" W/ FINE SAND FINISH	V GROOVE (1/2" DEEP, 1" WIDE)
GG	STRIP "ART" LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK OR SILVER	TBD
HH	WALL PACK	BY D/B ELECTRICAL CONTRACTOR	BLACK	PROVIDE MOUNTING BLOCK AS REQUIRED. BY SIGN SUPPLIER.
JJ	ADDRESS NUMBERS	SIGNAGE VENDOR	BLOCK LETTERS OR STENCILS ON GLAZING.	COORDINATE LOCATION AND STYLE WITH TENANT AND CITY REQUIREMENTS.

1. PROVIDE COLOR SAMPLES OF ALL EXT. MATERIALS TO OWNER/ARCH. FOR APPROVAL PRIOR TO INSTALLATION. R/T FINISH SCHEDULE FOR REFERENCED PAINT (PT) COLORS.
2. ELECTRICAL D/B CONTRACTOR TO PROVIDE ELECTRIC AS NEEDED
3. ALL SHARP EDGES OF METAL TRIM AND PANELS SHALL DEBURRED AND SMOOTHED, HEMMED, AND/OR COVERED, LEAVING NO EXPOSED SHARP EDGES.
4. CONTRACTOR TO PROVIDE CLEAN, TOOLED CAULK JOINTS, MATCHING METAL FINISH AT ALL METAL MITER JOINTS AND MOUNTING BLOCKS.
5. "BLACK FOX" (SW #7020) PAINT SHALL BE TWO COATS SHERWIN WILLIAMS "DURATION" EXTERIOR LATEX K33 TOP COAT, SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
6. "LACEY PEARL" (BM 2108-70) PAINT SHALL BE TWO COATS BENJAMIN MOORE "ULTRA SPEC" OR OTHER (APPROVE PAINT EQUAL TO NOTE 5), SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
7. COPING, FASCIA, AND BRAKE METAL SILLS SHALL BE CONSTRUCTED WITH APPROPRIATE GAUGE METAL, SLIP JOINTS, JOINT COVERS, ETC. PER MFG. INSTALLATION INSTRUCTIONS TO PROVIDE A CLEAN STRAIGHT APPEARANCE AND PREVENT OIL CANNING, TYP.

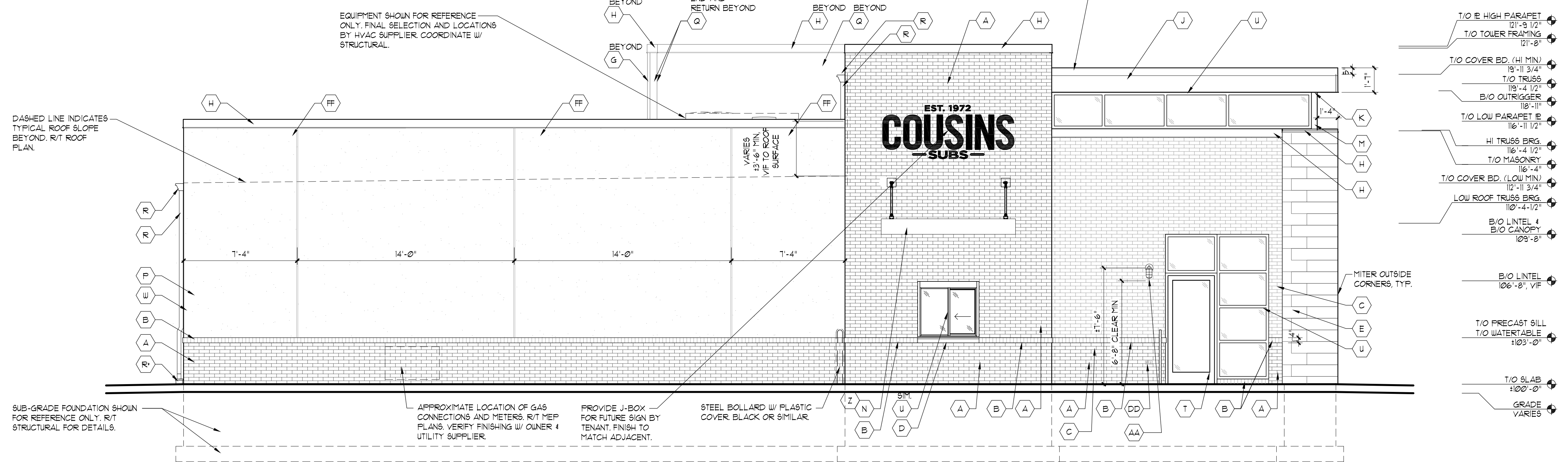
EXTERIOR MATERIAL SCHEDULE

SCALE: 1/4" = 1'-0"

2

STEEL LINTELS, WHEN EXPOSED, SHALL BE PAINTED EXTERIOR GRADE BLACK FOX. U.O.N. VERIFY W/ RELATED SECTIONS.

FLASHINGS NOT SHOWN SHALL BE PRE-FINISHED AS REQUIRED TO MATCH ADJACENT SURFACES. U.O.N. VERIFY W/ RELATED SECTIONS.



EXTERIOR ELEVATION - SOUTH FACE

SCALE: 1/4" = 1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

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REV. BY:	SJF
REV. DATE:	04/20/21
REV. #	
DESCRIPTION	PLANNING COMMISSION SET
PROPOSED BUILDING FOR: 2720 BUS, LLC. 2720 S Business Dr, Sheboygan, WI 53081	
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1751	
Drawing Title:	ELEVATIONS
Date:	04/20/21
Scale:	NOTED
Drawn:	SJF
Job:	21-TBD
Sheet:	(SHELL)
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> THIS BOX IS 1/2" x 1/2" </div>	
<div style="font-size: 2em; font-weight: bold;">A2.1</div>	

NOT FOR CONSTRUCTION

- PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

A EXTERIOR MATERIALS				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
A	FULL SIZE MASONRY BRICK VENEER.	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(BASE AND ACCENTS) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
B	FULL SIZE MASONRY BRICK VENEER.	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") (CUT LENGTH AS REQUIRED) INSTALL ORIENTATION: ROWLOCK	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(ACCENTS AND WATER TABLE) BRICKS SHALL EXTEND 3/4" BEYOND TYPICAL FACE AT WATERTABLE. APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
C	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: ALASKA WHITE VELOUR FINISH: VELOUR	(TYPICAL ABOVE BASE) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE.
D	PRECAST SILL	PER GC.	FINISH "BLACK FOX" OR MATCH "B"	
E	WALL TILE	DAL TILE- ACACIA VALLEY. INSTALL PATTERN: LAID HORIZONTAL W/ 1/3 STAGGER.	ARK 9" X 36" AV14 W/ #52- TOBACCO BROWN GROUT	
F	PREFINISHED METAL WALL PANELS	PAC-CLAD	HWP PRECISION METAL WALL PANEL/TRIM. COLOR: CITYSCAPE	HORIZONTAL INSTALLATION
G	PREFINISHED METAL TRIM	PAC-CLAD	COLOR: CITY SCAPE	BY PANEL SUPPLIER. TRIM STYLE VARIES. R/T SECTION & ELEVATIONS AS APPROPRIATE. HEM EDGES.
H	PREFINISHED METAL COPING	PAC-CLAD	TAPERED PARAPET COPING W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	VERIFY DEPTH WITH SECTION. 6-1/2" TYPICAL. 2-1/2" AT TILE, U.O.N.
J	PREFINISHED METAL FASCIA	PAC-CLAD	EXTENDED CANTED FASCIA W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	PROVIDE EXTENSIONS AND STIFFENERS AS RECOMMENDED BY MFG.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
K	PREFINISHED SOFFIT	PAC-CLAD	FLUSH SOFFIT. 12" O.C. COLOR: CITYSCAPE	VENTED SOFFIT. PROVIDE SOLID SOFFIT WHEN NOTED ON SECTIONS
L	COUNTER FLASHING	PAC-CLAD OR EQUAL	COLOR: CITY SCAPE	
M	PREFINISHED BRAKE METAL WRAPPED "COLUMN"	PER SUPPLIER	BLACK TO MATCH STOREFRONT	
N	CANOPY	SITE BUILT, BRAKE METAL WRAPPED PRE-FINISHED CANOPY BY SIGN SUPPLIER R/T RELATED SECTIONS AND STRUCTURAL.	BRAKE METAL WRAPPED, BLACK COLOR. MATCH STOREFRONT.	TIE RODS & ATTACHMENT PLATES PAINTED TO MATCH. EXCEPT AS 'SIM'. PROVIDE SOLID SOFFIT & ACCESS PANEL AT BOTTOM FOR FUTURE ELECTRICAL.
P	EXTERIOR INSULATION FINISH SYSTEM (EIFS)	OUTSULATION PLUS MD BY DRYVIT OR EQUAL DRAINAGE TYPE SYSTEM W/ COLOR MATCHED EXPANSION JOINTS PER MFG.	"LACEY PEARL" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
Q	EXPOSED EDPM	PER ROOFER. WHITE U.O.N.	R/T ROOF PLAN	MATCH ROOF MEMBRANE
R	PREFINISHED GUTTER AND DOWNSPOUT	SIZE AND GUTTER PROTECTION PER ROOFER. COORDINATE W/ PLUMBER.	COLOR: MATCH CITYSCAPE	SIZE BY ROOFER AT ("). PROVIDE FITTED CONNECTION TO STORM (VERIFY W/ PLUMBER) AND PAINT EXPOSED PIPING TO MATCH.
S	PRE-FINISHED FULL-LITE DOOR		WOODGRAIN FINISH. R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR, U.O.N.
T	PRE-FINISHED FULL-LIGHT DOOR		BLACK R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR, U.O.N.
U	PREFINISHED STOREFRONT	BY STOREFRONT SUPPLIER	BLACK	R/T STOREFRONT TYPES
V	FRAME	BY DOOR SUPPLIER	PAINTED BLACK FOX R/T SCHEDULE.	EXTERIOR MATCHES INTERIOR, U.O.N.
W	DRAINAGE TYPE EIFS - TRIM	DRYVIT 'OUTSULATION PLUS MD'	"BLACK FOX" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
X	EMERGENCY EGRESS LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK	"SLIM" PROFILE. PROVIDE COLOR MATCHED MOUNTING BLOCK & J-BOX AS REQUIRED.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
Y	EMERGENCY EGRESS AND SECURITY LIGHT	BY D/B ELECTRICAL CONTRACTOR	WHITE OR SILVER. VERIFY W/ GC	"BUGEYE" PROFILE. PROVIDE MOUNTING BLOCK AS REQUIRED.
Z	RECESSED CAN LIGHTS	BY D/B BUILD ELECTRICAL CONTRACTOR 4". U.O.N.	BLACK OR MATCH ADJACENT SOFFIT	IN SOFFIT OR CANOPY. VERIFY LOCATION, AND QUANTITY W/ REFLECTED CEILING PLAN
AA	SCONCE LIGHT	BARN LIGHT ELEC. - ATOMIC TOPLESS STREAMLINE INDUSTRIAL GUARD SCONCE	975- GALVANIZED-FROSTED GLASS	FINAL DESIGN AND LOCATIONS BY ELECTRICAL D/B CONTRACTOR
BB	PAINT EXISTING	VERIFY BASE MATERIAL	BLACK FOX	SEE NOTE 5
CC	PAINT EXISTING	VERIFY BASE MATERIAL	LACEY PEARL	SEE NOTE 6
DD	HOSE BIB OR WALL HYDRANT	KEYED, FROST-FREE DESIGN. FINAL SELECTION, QUANTITY, AND LOCATION BY D/B PLUMBER		SURFACE MOUNTED U.O.N. COORDINATE W/ OWNER
EE	FLUSH DOOR		PAINTED BLACK FOX R/T SCHEDULE.	EXTERIOR MATCHES INTERIOR, U.O.N.
FF	EFIS REVEAL	DRYVIT 'OUTSULATION PLUS MD'	"LACEY PEARL" W/ FINE SAND FINISH	V GROOVE (1/2" DEEP, 1" WIDE)
GG	STRIP "ART" LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK OR SILVER	TBD
HH	WALL PACK	BY D/B ELECTRICAL CONTRACTOR	BLACK	PROVIDE MOUNTING BLOCK AS REQUIRED. BY SIGN SUPPLIER.
JJ	ADDRESS NUMBERS	SIGNAGE VENDOR	BLOCK LETTERS OR STENCILS ON GLAZING.	COORDINATE LOCATION AND STYLE WITH TENANT AND CITY REQUIREMENTS.

1. PROVIDE COLOR SAMPLES OF ALL EXT. MATERIALS TO OWNER/ARCH. FOR APPROVAL PRIOR TO INSTALLATION. R/T FINISH SCHEDULE FOR REFERENCED PAINT (PT) COLORS.
 2. ELECTRICAL D/B CONTRACTOR TO PROVIDE ELECTRIC AS NEEDED
 3. ALL SHARP EDGES OF METAL TRIM AND PANELS SHALL DEBURRED AND SMOOTHED, HEMMED, AND/OR COVERED, LEAVING NO EXPOSED SHARP EDGES.
 4. CONTRACTOR TO PROVIDE CLEAN, TOOLED CAULK JOINTS, MATCHING METAL FINISH AT ALL METAL MITER JOINTS AND MOUNTING BLOCKS.
 5. "BLACK FOX" (SW #7020) PAINT SHALL BE TWO COATS SHERWIN WILLIAMS "DURATION" EXTERIOR LATEX K33 TOP COAT, SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
 6. "LACEY PEARL" (BM 2108-70) PAINT SHALL BE TWO COATS BENJAMIN MOORE "ULTRA SPEC" OR OTHER (APPROVE PAINT EQUAL TO NOTE 5), SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
 7. COPING, FASCIA, AND BRAKE METAL SILLS SHALL BE CONSTRUCTED WITH APPROPRIATE GAUGE METAL, SLIP JOINTS, JOINT COVERS, ETC. PER MFG. INSTALLATION INSTRUCTIONS TO PROVIDE A CLEAN STRAIGHT APPEARANCE AND PREVENT OIL CANNING, TYP.

EXTERIOR MATERIAL SCHEDULE

SCALE: 1/4" = 1'-0"

2



EXTERIOR ELEVATION - SOUTH FACE

SCALE: 1/4" = 1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION
	04/20/21	PLANNING COMMISSION SET

PROPOSED BUILDING FOR:
2720 BUS, LLC.
 2720 S Business Dr,
 Sheboygan, WI 53081

PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel (414) 302-1780 Fax (414) 302-1751

Drawing Title:
COLOR ELEVATIONS

Date: 04/20/21
 Scale: NOTED
 Drawn: SJF
 Job: 21-TBD
 Sheet: (SHELL)

R2.1

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

A EXTERIOR MATERIALS				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
A	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(BASE AND ACCENTS) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
B	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") (CUT LENGTH AS REQUIRED) INSTALL ORIENTATION: ROWLOCK	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(ACCENTS AND WATER TABLE) BRICKS SHALL EXTEND 3/4" BEYOND TYPICAL FACE AT WATERTABLE. APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
C	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: ALASKA WHITE VELOUR FINISH: VELOUR	(TYPICAL ABOVE BASE) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
D	PRECAST SILL	PER GC.	FINISH "BLACK FOX" OR MATCH "B"	
E	WALL TILE	DAL TILE- ACACIA VALLEY. INSTALL PATTERN: LAID HORIZONTAL W/ 1/3 STAGGER.	ARK 9" X 36" AV14 W/ #52 TOBACCO BROWN GROUT	
F	PREFINISHED METAL WALL PANELS	PAC-CLAD	HWP PRECISION METAL WALL PANEL/TRIM, COLOR: CITYSCAPE	HORIZONTAL INSTALLATION
G	PREFINISHED METAL TRIM	PAC-CLAD	COLOR: CITY SCAPE	BY PANEL SUPPLIER. TRIM STYLE VARIES. R/T SECTION & ELEVATIONS AS APPROPRIATE. HEM EDGES.
H	PREFINISHED METAL COPING	PAC-CLAD	TAPERED PARAPET COPING W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	VERIFY DEPTH WITH SECTION. 6-1/2" TYPICAL. 2-1/2" AT TILE, U.O.N.
J	PREFINISHED METAL FASCIA	PAC-CLAD	EXTENDED CANTED FASCIA W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	PROVIDE EXTENSIONS AND STIFFENERS AS RECOMMENDED BY MFG.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
K	PREFINISHED SOFFIT	PAC-CLAD	FLUSH SOFFIT. 12" O.C. COLOR: CITYSCAPE	VENTED SOFFIT. PROVIDE SOLID SOFFIT WHEN NOTED ON SECTIONS
L	COUNTER FLASHING	PAC-CLAD OR EQUAL	COLOR: CITY SCAPE	
M	PREFINISHED BRAKE METAL WRAPPED "COLUMN"	PER SUPPLIER	BLACK TO MATCH STOREFRONT	
N	CANOPY	SITE BUILT, BRAKE METAL WRAPPED PRE-FINISHED CANOPY BY SIGN SUPPLIER) R/T RELATED SECTIONS AND STRUCTURAL.	BRAKE METAL WRAPPED, BLACK COLOR. MATCH STOREFRONT.	TIE RODS & ATTACHMENT PLATES PAINTED TO MATCH, EXCEPT AS 'SIM'. PROVIDE SOLID SOFFIT & ACCESS PANEL AT BOTTOM FOR FUTURE ELECTRICAL.
P	EXTERIOR INSULATION FINISH SYSTEM (EIFS)	OUTSULATION PLUS MD BY DRYVIT OR EQUAL DRAINAGE TYPE SYSTEM W/ COLOR MATCHED EXPANSION JOINTS PER MFG.	"LACEY PEARL" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
Q	EXPOSED EDPM	PER ROOFER. WHITE U.O.N.	R/T ROOF PLAN	MATCH ROOF MEMBRANE
R	PREFINISHED GUTTER AND DOWNSPOUT	SIZE AND GUTTER PROTECTION PER ROOFER. COORDINATE W/ PLUMBER	COLOR: MATCH CITYSCAPE	SIZE BY ROOFER AT (*) PROVIDE FITTED CONNECTION TO STORM (VERIFY W/ PLUMBER) AND PAINT EXPOSED PIPING TO MATCH.
S	PRE-FINISHED FULL-LITE DOOR		WOODGRAIN FINISH. R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR, U.O.N.
T	PRE-FINISHED FULL-LIGHT DOOR		BLACK. R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR, U.O.N.
U	PREFINISHED STOREFRONT	BY STOREFRONT SUPPLIER	BLACK	R/T STOREFRONT TYPES
V	FRAME	BY DOOR SUPPLIER	PAINTED BLACK FOX R/T SCHEDULE.	EXTERIOR MATCHES INTERIOR, U.O.N.
W	DRAINAGE TYPE EIFS - TRIM	DRYVIT 'OUTSULATION PLUS MD'	"BLACK FOX" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
X	EMERGENCY EGRESS LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK	"SLIM" PROFILE. PROVIDE MOUNTING BLOCK & J-BOX AS REQUIRED.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
Y	EMERGENCY EGRESS AND SECURITY LIGHT	BY D/B ELECTRICAL CONTRACTOR	WHITE OR SILVER. VERIFY W/ GC	"BUGEYE" PROFILE. PROVIDE MOUNTING BLOCK AS REQUIRED.
Z	RECESSED CAN LIGHTS	BY D/B BUILD ELECTRICAL CONTRACTOR 4", U.O.N.	BLACK OR MATCH ADJACENT SOFFIT	IN SOFFIT OR CANOPY. VERIFY LOCATION, AND QUANTITY W/ REFLECTED CEILING PLAN
AA	SCONCE LIGHT	BARN LIGHT ELEC - ATOMIC TOPLESS STREAMLINE INDUSTRIAL GUARD SCONCE	975- GALVANIZED-FROSTED GLASS	FINAL DESIGN AND LOCATIONS BY ELECTRICAL D/B CONTRACTOR.
BB	PAINT EXISTING	VERIFY BASE MATERIAL	BLACK FOX	SEE NOTE 5
CC	PAINT EXISTING	VERIFY BASE MATERIAL	LACEY PEARL	SEE NOTE 6
DD	HOSE BIB OR WALL HYDRANT	KEYED, FROST-FREE DESIGN. FINAL SELECTION, QUANTITY, AND LOCATION BY D/B PLUMBER.		SURFACE MOUNTED U.O.N. COORDINATE W/ OWNER
EE	FLUSH DOOR		PAINTED BLACK FOX R/T SCHEDULE.	EXTERIOR MATCHES INTERIOR, U.O.N.
FF	EFIS REVEAL	DRYVIT 'OUTSULATION PLUS MD'	"LACEY PEARL" W/ FINE SAND FINISH	V GROOVE (1/2" DEEP, 1" WIDE)
GG	STRIP "ART" LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK OR SILVER	TBD
HH	WALL PACK	BY D/B ELECTRICAL CONTRACTOR	BLACK	PROVIDE MOUNTING BLOCK AS REQUIRED. BY SIGN SUPPLIER.
JJ	ADDRESS NUMBERS	SIGNAGE VENDOR	BLOCK LETTERS OR STENCILS ON GLAZING.	COORDINATE LOCATION AND STYLE WITH TENANT AND CITY REQUIREMENTS.

1. PROVIDE COLOR SAMPLES OF ALL EXT. MATERIALS TO OWNER/ARCH. FOR APPROVAL PRIOR TO INSTALLATION. R/T FINISH SCHEDULE FOR REFERENCED PAINT (P,T) COLORS.
2. ELECTRICAL D/B CONTRACTOR TO PROVIDE ELECTRIC AS NEEDED
3. ALL SHARP EDGES OF METAL TRIM AND PANELS SHALL DEBURRED AND SMOOTHED, HEMMED, AND/OR COVERED. LEAVING NO EXPOSED SHARP EDGES.
4. CONTRACTOR TO PROVIDE CLEAN, TOOLED CAULK JOINTS, MATCHING METAL FINISH AT ALL METAL MITER JOINTS AND MOUNTING BLOCKS.
5. "BLACK FOX" (SW #7020) PAINT SHALL BE TWO COATS SHERWIN WILLIAMS "DURATION" EXTERIOR LATEX K33 TOP COAT, SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
6. "LACEY PEARL" (BM 2108-70) PAINT SHALL BE TWO COATS BENJAMIN MOORE "ULTRA SPEC" OR OTHER (APPROVE PAINT EQUAL TO NOTE 5), SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
7. COPING, FASCIA, AND BRAKE METAL SILLS SHALL BE CONSTRUCTED WITH APPROPRIATE GAUGE METAL, SLIP JOINTS, JOINT COVERS, ETC. PER MFG. INSTALLATION INSTRUCTIONS TO PROVIDE A CLEAN STRAIGHT APPEARANCE AND PREVENT OIL CANNING, TYP.

EXTERIOR MATERIAL SCHEDULE

SCALE 1/4" = 1'-0"

2



EXTERIOR ELEVATION - NORTH FACE

SCALE 1/4" = 1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION
	04/20/21	PLANNING COMMISSION SET

PROPOSED BUILDING FOR:
2720 BUS, LLC.
2720 S Business Dr,
Sheboygan, WI 53081

PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1751

Drawing Title:
COLOR ELEVATIONS

Date: 04/20/21
Scale: NOTED
Drawn: SJF
Job: 21-TBD
Sheet: (SHELL)

R2.2

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

A EXTERIOR MATERIALS				
TAG	MATERIAL DESCRIPTION	MFR / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
A	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(BASE AND ACCENTS) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
B	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") (CUT LENGTH AS REQUIRED) INSTALL ORIENTATION: ROWLOCK	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(ACCENTS AND WATER TABLE) BRICKS SHALL EXTEND 3/4" BEYOND TYPICAL FACE AT WATERTABLE APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
C	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: ALASKA WHITE VELOUR FINISH: VELOUR	(TYPICAL ABOVE BASE) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE.
D	PRECAST SILL	PER GC.	FINISH "BLACK FOX" OR MATCH "B"	
E	WALL TILE	DAL TILE - ACACIA VALLEY. INSTALL PATTERN: LAID HORIZONTAL W/ 1/3 STAGGER.	ARK 9" X 36" AV14 W/ #52- TOBACCO BROWN GROUT	
F	PREFINISHED METAL WALL PANELS	PAC-CLAD	HWP PRECISION METAL WALL PANEL/TRIM. COLOR: CITYSCAPE	HORIZONTAL INSTALLATION
G	PREFINISHED METAL TRIM	PAC-CLAD	COLOR: CITYSCAPE	BY PANEL SUPPLIER. TRIM STYLE VARIES. R/T SECTION & ELEVATIONS AS APPROPRIATE. HEM EDGES.
H	PREFINISHED METAL COPING	PAC-CLAD	TAPERED PARAPET COPING W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	VERIFY DEPTH WITH SECTION. 6-1/2" TYPICAL. 2-1/2" AT TILE. U.O.N.
J	PREFINISHED METAL FASCIA	PAC-CLAD	EXTENDED CANTED FASCIA W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	PROVIDE EXTENSIONS AND STIFFENERS AS RECOMMENDED BY MFG.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
K	PREFINISHED SOFFIT	PAC-CLAD	FLUSH SOFFIT. 12" O.C. COLOR: CITYSCAPE	VENTED SOFFIT. PROVIDE SOLID SOFFIT WHEN NOTED ON SECTIONS
L	COUNTER FLASHING	PAC-CLAD OR EQUAL	COLOR: CITYSCAPE	
M	PREFINISHED BRAKE METAL WRAPPED "COLUMN"	PER SUPPLIER	BLACK TO MATCH STOREFRONT	
N	CANOPY	SITE BUILT, BRAKE METAL WRAPPED PRE-FINISHED CANOPY BY SIGN SUPPLIER) R/T RELATED SECTIONS AND STRUCTURAL.	BRAKE METAL WRAPPED, BLACK COLOR. MATCH STOREFRONT.	TIE RODS & ATTACHMENT PLATES PAINTED TO MATCH EXCEPT AS 'SIM'. PROVIDE SOLID SOFFIT & ACCESS PANEL AT BOTTOM FOR FUTURE ELECTRICAL
P	EXTERIOR INSULATION FINISH SYSTEM (EIFS)	OUTSULATION PLUS MD BY DRYVIT OR EQUAL DRAINAGE TYPE SYSTEM W/ COLOR MATCHED EXPANSION JOINTS PER MFG.	"LACEY PEARL" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
Q	EXPOSED EDPM	PER ROOFER. WHITE U.O.N.	R/T ROOF PLAN	MATCH ROOF MEMBRANE
R	PREFINISHED GUTTER AND DOWNSPOUT	SIZE AND GUTTER PROTECTION PER ROOFER. COORDINATE W/ PLUMBER.	COLOR: MATCH CITYSCAPE	SIZE BY ROOFER AT ("); PROVIDE FITTED CONNECTION TO STORM (VERIFY W/ PLUMBER) AND PAINT EXPOSED PIPING TO MATCH.
S	PRE-FINISHED FULL-LITE DOOR		WOODGRAIN FINISH. R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR. U.O.N.
T	PRE-FINISHED FULL-LIGHT DOOR		BLACK R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR. U.O.N.
U	PREFINISHED STOREFRONT	BY STOREFRONT SUPPLIER	BLACK	R/T STOREFRONT TYPES
V	FRAME	BY DOOR SUPPLIER	PAINTED BLACK FOX/R/T SCHEDULE	EXTERIOR MATCHES INTERIOR. U.O.N.
W	DRAINAGE TYPE EIFS - TRIM	DRYVIT 'OUTSULATION PLUS MD'	"BLACK FOX" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
X	EMERGENCY EGRESS LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK	"SLIM" PROFILE. PROVIDE COLOR MATCHED MOUNTING BLOCK & J-BOX AS REQUIRED.

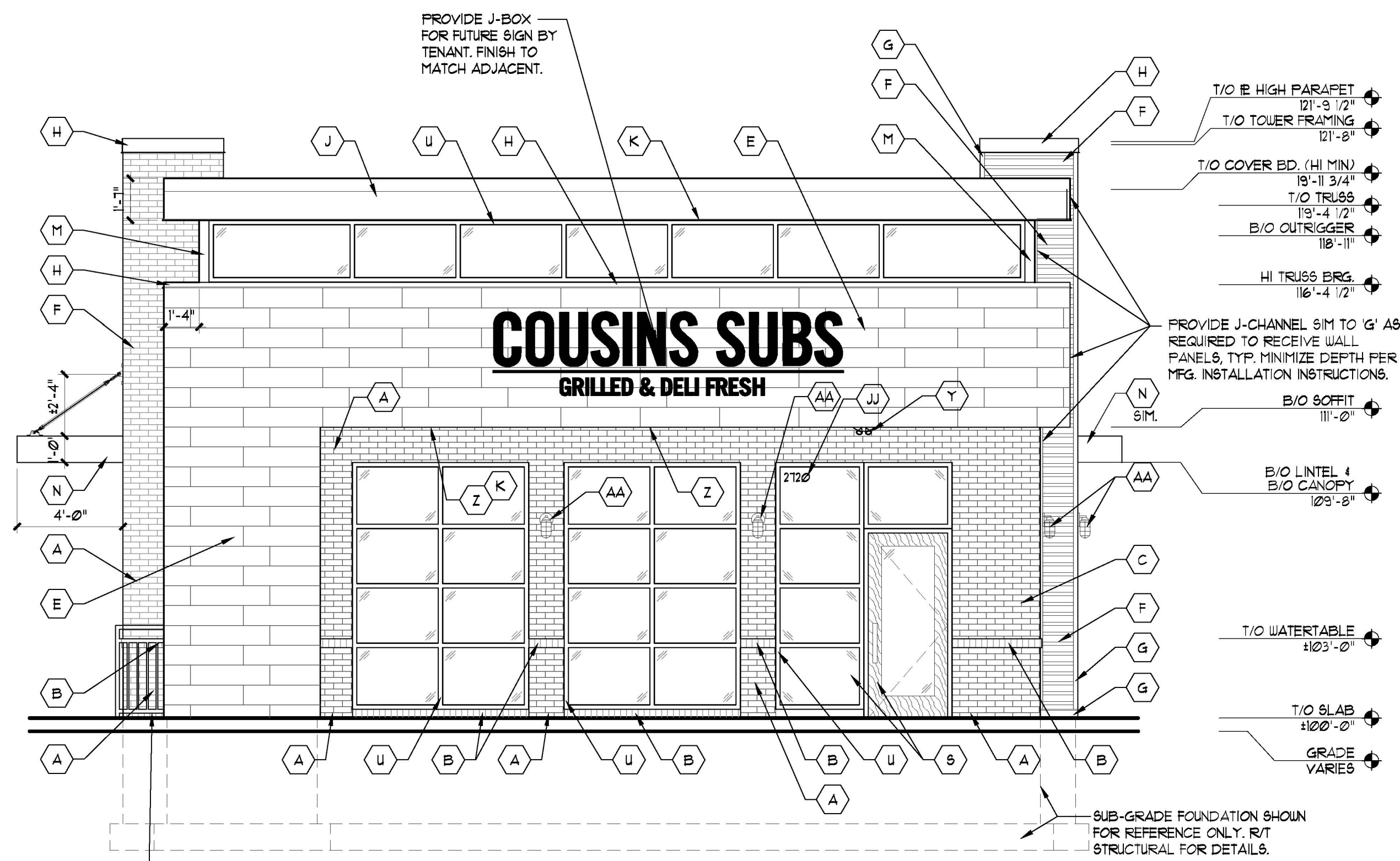
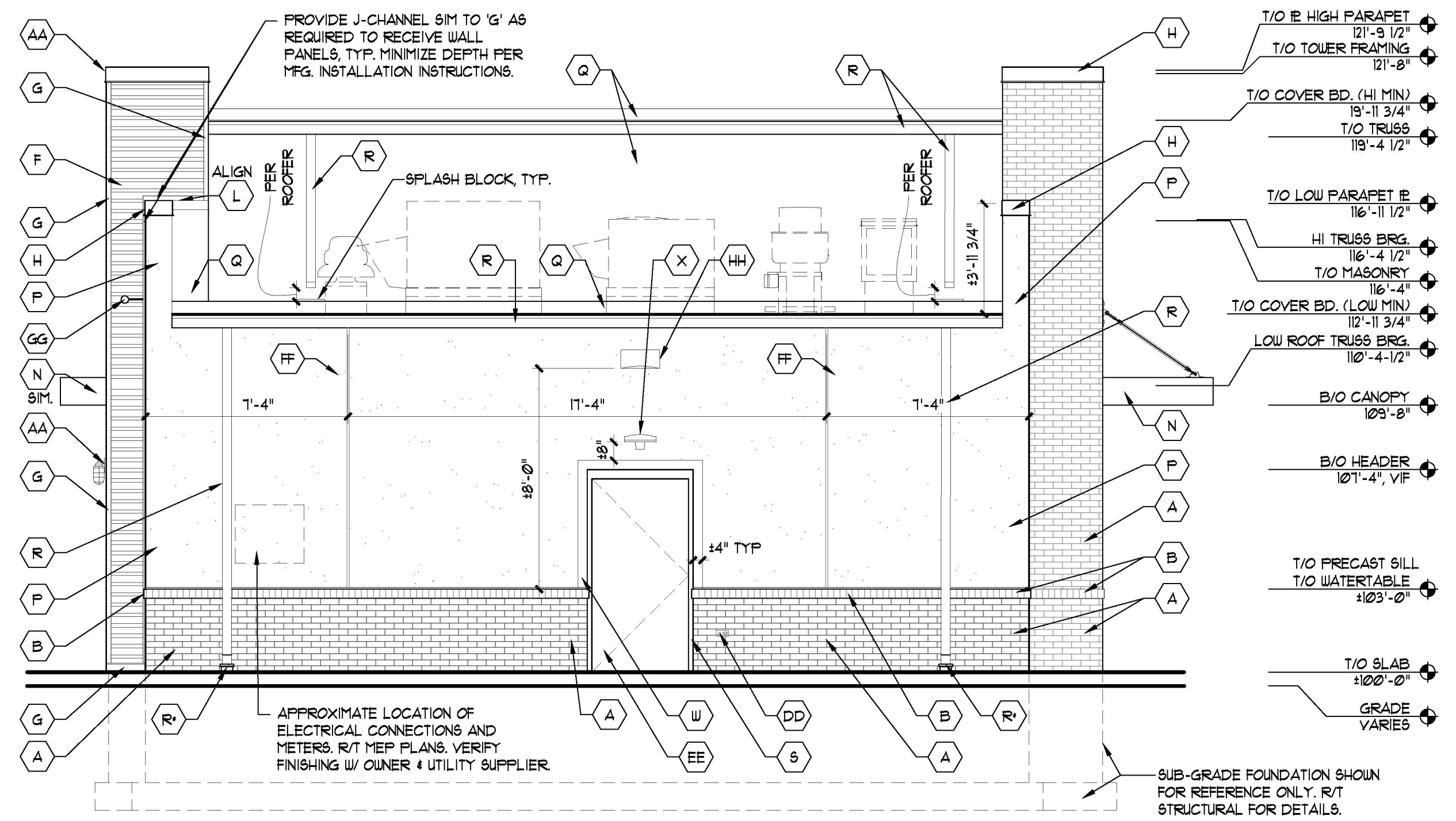
A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
Y	EMERGENCY EGRESS AND SECURITY LIGHT	BY D/B ELECTRICAL CONTRACTOR	WHITE OR SILVER. VERIFY W/ GC	"BUGEYE" PROFILE. PROVIDE MOUNTING BLOCK AS REQUIRED.
Z	RECESSED CAN LIGHTS	BY D/B BUILD ELECTRICAL CONTRACTOR 4", U.O.N.	BLACK OR MATCH ADJACENT SOFFIT	IN SOFFIT OR CANOPY. VERIFY LOCATION, AND QUANTITY W/ REFLECTED CEILING PLAN
AA	SCONCE LIGHT	BARN LIGHT ELEC. - ATOMIC TOPLESS STREAMLINE INDUSTRIAL GUARD SCONCE	975- GALVANIZED-FROSTED GLASS	FINAL DESIGN AND LOCATIONS BY ELECTRICAL D/B CONTRACTOR
BB	PAINT EXISTING	VERIFY BASE MATERIAL	BLACK FOX	SEE NOTE 5
CC	PAINT EXISTING	VERIFY BASE MATERIAL	LACEY PEARL	SEE NOTE 6
DD	HOSE BIB OR WALL HYDRANT	KEYED, FROST-FREE DESIGN. FINAL SELECTION, QUANTITY, AND LOCATION BY D/B PLUMBER.		SURFACE MOUNTED U.O.N. COORDINATE W/ OWNER
EE	FLUSH DOOR		PAINTED BLACK FOX R/T SCHEDULE.	EXTERIOR MATCHES INTERIOR. U.O.N.
FF	EFIS REVEAL	DRYVIT 'OUTSULATION PLUS MD'	"LACEY PEARL" W/ FINE SAND FINISH	V GROOVE (1/2" DEEP, 1" WIDE)
GG	STRIP "ART" LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK OR SILVER	TBD
HH	WALL PACK	BY D/B ELECTRICAL CONTRACTOR	BLACK	PROVIDE MOUNTING BLOCK AS REQUIRED. BY SIGN SUPPLIER.
JJ	ADDRESS NUMBERS	SIGNAGE VENDOR	BLOCK LETTERS OR STENCILS ON GLAZING.	COORDINATE LOCATION AND STYLE WITH TENANT AND CITY REQUIREMENTS.

1. PROVIDE COLOR SAMPLES OF ALL EXT. MATERIALS TO OWNER/ARCH. FOR APPROVAL PRIOR TO INSTALLATION. R/T FINISH SCHEDULE FOR REFERENCED PAINT (PT) COLORS.
2. ELECTRICAL D/B CONTRACTOR TO PROVIDE ELECTRIC AS NEEDED
3. ALL SHARP EDGES OF METAL TRIM AND PANELS SHALL DEBURRED AND SMOOTHED, HEMMED, AND/OR COVERED, LEAVING NO EXPOSED SHARP EDGES.
4. CONTRACTOR TO PROVIDE CLEAN, TOOLED CAULK JOINTS, MATCHING METAL FINISH AT ALL METAL MITER JOINTS AND MOUNTING BLOCKS.
5. "BLACK FOX" (SW #020) PAINT SHALL BE TWO COATS SHERWIN WILLIAMS "DURATION" EXTERIOR LATEX K33 TOP COAT. SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
6. "LACEY PEARL" (BM 2108-70) PAINT SHALL BE TWO COATS BENJAMIN MOORE "ULTRA SPEC" OR OTHER (APPROVE PAINT EQUAL TO NOTE 5). SATIN SHEEN OVER APPLIED OVER "LOXON" LX02W0050 PRIMER.
7. COPING, FASCIA, AND BRAKE METAL SILLS SHALL BE CONSTRUCTED WITH APPROPRIATE GAUGE METAL, SLIP JOINTS, JOINT COVERS, ETC. PER MFG. INSTALLATION INSTRUCTIONS TO PROVIDE A CLEAN STRAIGHT APPEARANCE AND PREVENT OIL CANNING, TYP.

EXTERIOR MATERIAL SCHEDULE

SCALE: 1/4" = 1'-0"

2



FULL SIZE PRINT = 24" x 36" SHEET

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PROPOSED BUILDING FOR:
2720 BUS, LLC.
2720 S Business Dr,
Sheboygan, WI 53081

DESCRIPTION
PLANNING COMMISSION SET

REV. # REV. DATE
04/20/21

REV. BY: S.J.F.

Drawing Title:
ELEVATIONS

Date: 04/20/21

Scale: NOTED

Drawn: SJF

Job: 21-TBD

Sheet: (SHELL)

A2.3

PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

NOT FOR CONSTRUCTION

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

A EXTERIOR MATERIALS				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
A	FULL SIZE MASONRY BRICK VENEER.	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(BASE AND ACCENTS) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
B	FULL SIZE MASONRY BRICK VENEER.	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") (CUT LENGTH AS REQUIRED) INSTALL ORIENTATION: ROWLOCK	COLOR: BLACK DIAMOND VELOUR FINISH: VELOUR	(ACCENTS AND WATER TABLE) BRICKS SHALL EXTEND 3/4" BEYOND TYPICAL FACE AT WATERTABLE. APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE
C	FULL SIZE MASONRY BRICK VENEER	MFG.: BELDEN BRICK OR APPROVED EQ. SIZE: "STANDARD MODULAR" (3-5/8" x 2-1/4" x 8") INSTALL PATTERN: STRETCHER RUNNING BOND	COLOR: ALASKA WHITE VELOUR FINISH: VELOUR	(TYPICAL ABOVE BASE) APPROVED EQUAL SHALL HAVE MATCHING COLOR AND TEXTURE.
D	PRECAST SILL	PER GC.	FINISH "BLACK FOX OR MATCH "B"	
E	WALL TILE	DAL TILE- ACACIA VALLEY. INSTALL PATTERN: LAID HORIZONTAL W/ 1/3 STAGGER.	ARK 9" X 36" AV14 W/ #52- TOBACCO BROWN GROUT	
F	PREFINISHED METAL WALL PANELS	PAC-CLAD	HWP PRECISION METAL WALL PANEL/TRIM, COLOR: CITYSCAPE	HORIZONTAL INSTALLATION
G	PREFINISHED METAL TRIM	PAC-CLAD	COLOR: CITY SCAPE	BY PANEL SUPPLIER. TRIM STYLE VARIES, R/T SECTION & ELEVATIONS AS APPROPRIATE. HEM EDGES.
H	PREFINISHED METAL COPING	PAC-CLAD	TAPERED PARAPET COPING W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	VERIFY DEPTH WITH SECTION. 6-1/2" TYPICAL, 2-1/2" AT TILE, U.O.N.
J	PREFINISHED METAL FASCIA	PAC-CLAD	EXTENDED CANTED FASCIA W/ CONCEALED FASTENERS. COLOR: CITYSCAPE	PROVIDE EXTENSIONS AND STIFFENERS AS RECOMMENDED BY MFG.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
K	PREFINISHED SOFFIT	PAC-CLAD	FLUSH SOFFIT. 12" O.C. COLOR: CITYSCAPE	VENTED SOFFIT. PROVIDE SOLID SOFFIT WHEN NOTED ON SECTIONS
L	COUNTER FLASHING	PAC-CLAD OR EQUAL	COLOR: CITY SCAPE	
M	PREFINISHED BRAKE METAL WRAPPED "COLUMN"	PER SUPPLIER	BLACK TO MATCH STOREFRONT	
N	CANOPY	SITE BUILT, BRAKE METAL WRAPPED PRE-FINISHED CANOPY BY SIGN SUPPLIER) R/T RELATED SECTIONS AND STRUCTURAL.	BRAKE METAL WRAPPED, BLACK COLOR. MATCH STOREFRONT.	TIE RODS & ATTACHMENT PLATES PAINTED TO MATCH, EXCEPT AS 'SIM'. PROVIDE SOLID SOFFIT & ACCESS PANEL AT BOTTOM FOR FUTURE ELECTRICAL
P	EXTERIOR INSULATION FINISH SYSTEM (EIFS)	OUTSULATION PLUS MD BY DRYVIT OR EQUAL DRAINAGE TYPE SYSTEM W/ COLOR MATCHED EXPANSION JOINTS PER MFG.	"LACEY PEARL" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
Q	EXPOSED EDPM	PER ROOFER. WHITE U.O.N.	R/T ROOF PLAN	MATCH ROOF MEMBRANE
R	PREFINISHED GUTTER AND DOWNSPOUT	SIZE AND GUTTER PROTECTION PER ROOFER. COORDINATE W/ PLUMBER.	COLOR: MATCH CITYSCAPE	SIZE BY ROOFER. AT ("): PROVIDE FITTED CONNECTION TO STORM (VERIFY W/ PLUMBER) AND PAINT EXPOSED PIPING TO MATCH.
S	PRE-FINISHED FULL-LITE DOOR		WOODGRAIN FINISH. R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR, U.O.N.
T	PRE-FINISHED FULL-LIGHT DOOR		BLACK R/T DOOR TYPES.	EXTERIOR MATCHES INTERIOR, U.O.N.
U	PREFINISHED STOREFRONT	BY STOREFRONT SUPPLIER	BLACK	R/T STOREFRONT TYPES
V	FRAME	BY DOOR SUPPLIER	PAINTED BLACK FOX R/T SCHEDULE.	EXTERIOR MATCHES INTERIOR, U.O.N.
W	DRAINAGE TYPE EIFS - TRIM	DRYVIT 'OUTSULATION PLUS MD'	"BLACK FOX" W/ FINE SAND TEXTURE	SEE NOTE 6. VERIFY THICKNESS AND PROFILE W/ SECTIONS.
X	EMERGENCY EGRESS LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK	"SLIM" PROFILE. PROVIDE COLOR MATCHED MOUNTING BLOCK & J-BOX AS REQUIRED.

A EXTERIOR MATERIALS (CONT.)				
TAG	MATERIAL DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR/SPECS.	NOTES
Y	EMERGENCY EGRESS AND SECURITY LIGHT	BY D/B ELECTRICAL CONTRACTOR	WHITE OR SILVER, VERIFY W/ GC	"BUGEYE" PROFILE. PROVIDE MOUNTING BLOCK AS REQUIRED.
Z	RECESSED CAN LIGHTS	BY D/B BUILD ELECTRICAL CONTRACTOR 4", U.O.N.	BLACK OR MATCH ADJACENT SOFFIT	IN SOFFIT OR CANOPY. VERIFY LOCATION, AND QUANTITY W/ REFLECTED CEILING PLAN
AA	SCONCE LIGHT	BARN LIGHT ELEC. ATOMIC TOPLESS STREAMLINE INDUSTRIAL GUARD SCONCE	975- GALVANIZED-FROSTED GLASS	FINAL DESIGN AND LOCATIONS BY ELECTRICAL D/B CONTRACTOR.
BB	PAINT EXISTING	VERIFY BASE MATERIAL	BLACK FOX	SEE NOTE 5
CC	PAINT EXISTING	VERIFY BASE MATERIAL	LACEY PEARL	SEE NOTE 6
DD	HOSE BIB OR WALL HYDRANT	KEYED, FROST-FREE DESIGN. FINAL SELECTION, QUANTITY, AND LOCATION BY D/B PLUMBER.		SURFACE MOUNTED U.O.N. COORDINATE W/ OWNER
EE	FLUSH DOOR		PAINTED BLACK FOX R/T SCHEDULE.	EXTERIOR MATCHES INTERIOR, U.O.N.
FF	EFIS REVEAL	DRYVIT 'OUTSULATION PLUS MD'	"LACEY PEARL" W/ FINE SAND FINISH	V GROOVE (1/2" DEEP, 1" WIDE)
GG	STRIP "ART" LIGHT	BY D/B ELECTRICAL CONTRACTOR	BLACK OR SILVER	TBD
HH	WALL PACK	BY D/B ELECTRICAL CONTRACTOR	BLACK	PROVIDE MOUNTING BLOCK AS REQUIRED. BY SIGN SUPPLIER.
JJ	ADDRESS NUMBERS	SIGNAGE VENDOR	BLOCK LETTERS OR STENCILS ON GLAZING.	COORDINATE LOCATION AND STYLE WITH TENANT AND CITY REQUIREMENTS.

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EXTERIOR MATERIAL SCHEDULE

SCALE: 1/4" = 1'-0"

2



EXTERIOR ELEVATION - WEST FACE

SCALE: 1/4" = 1'-0"

3



EXTERIOR ELEVATION - EAST FACE

SCALE: 1/4" = 1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION
04/20/21		PLANNING COMMISSION SET

PROPOSED BUILDING FOR:
2720 BUS, LLC.
2720 S Business Dr,
Sheboygan, WI 53081

PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1750 Fax (414) 302-1751

Drawing Title:
COLOR ELEVATIONS

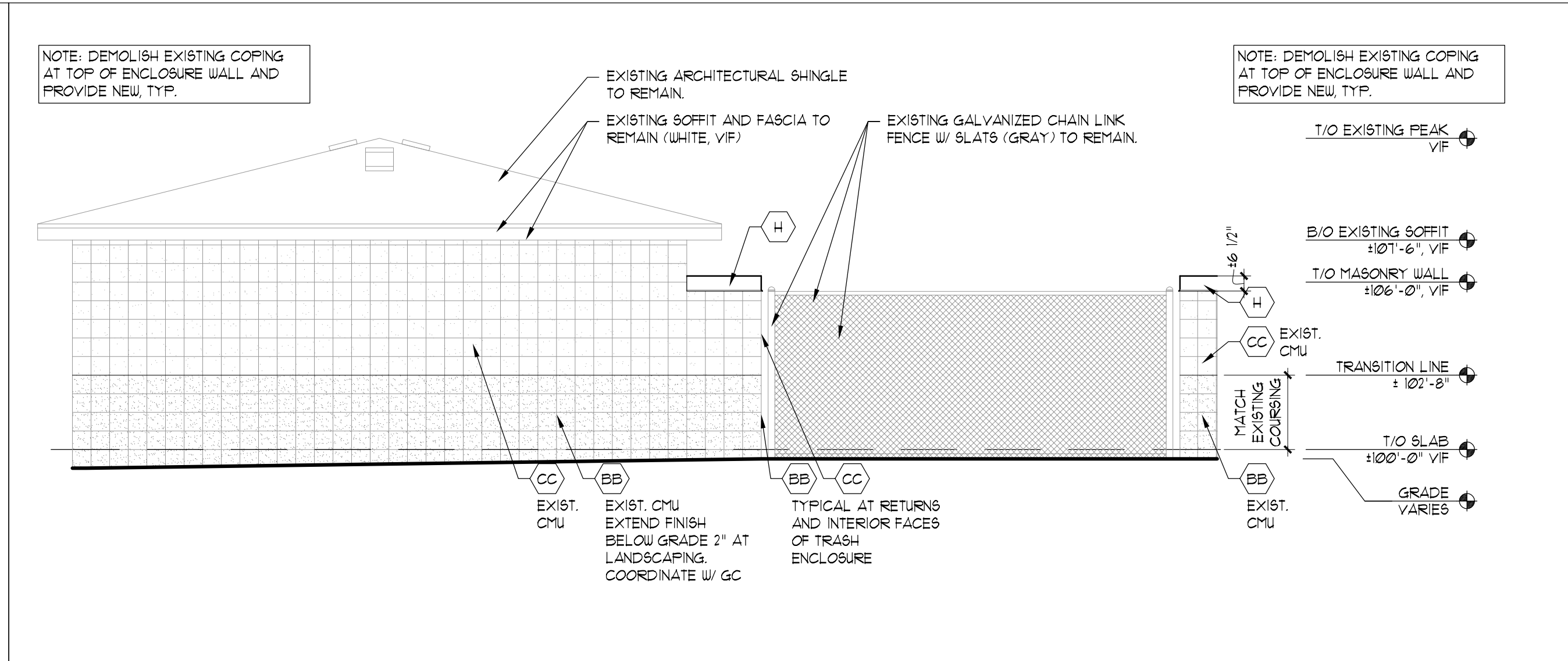
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Scale: NOTED
Drawn: SJF
Job: 21-TBD
Sheet: (SHELL)

R2.3

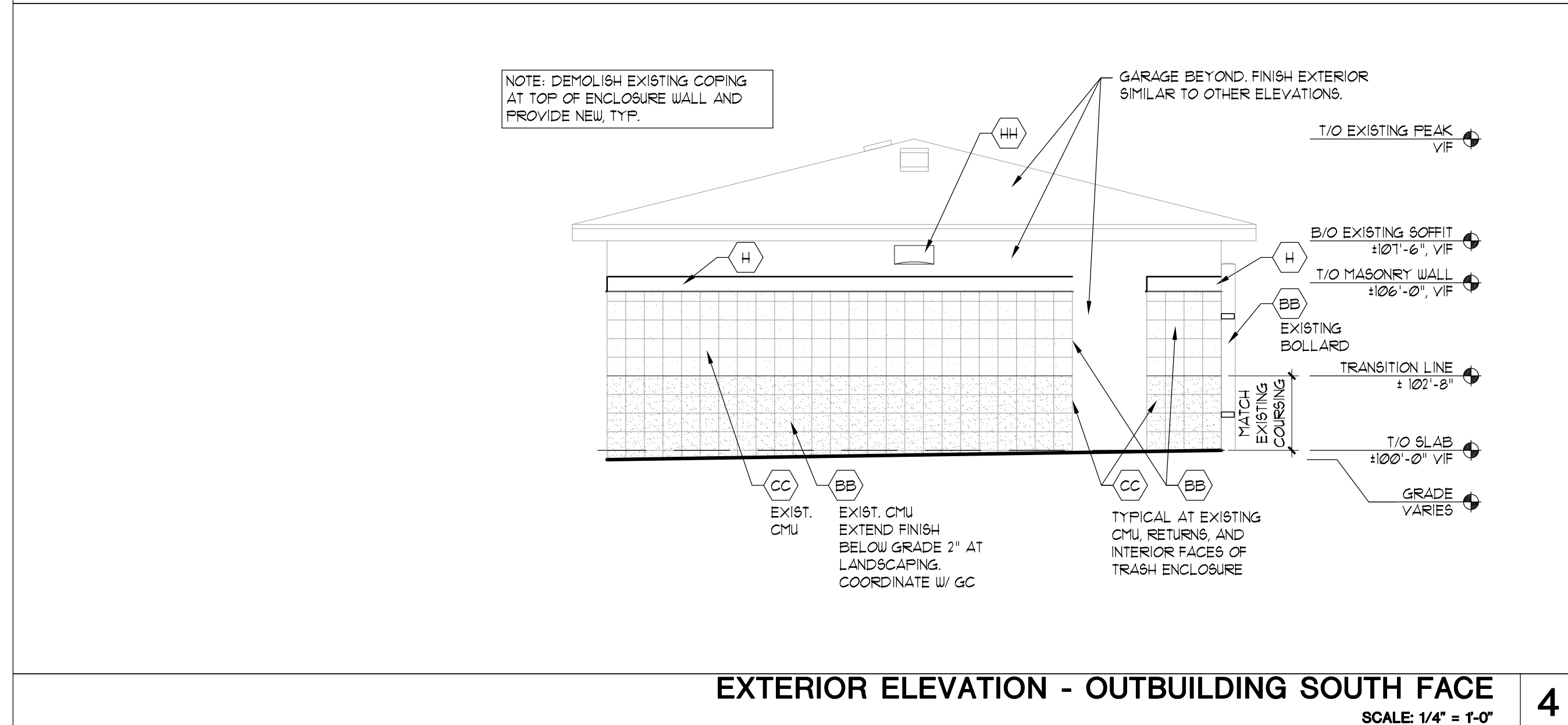
- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY



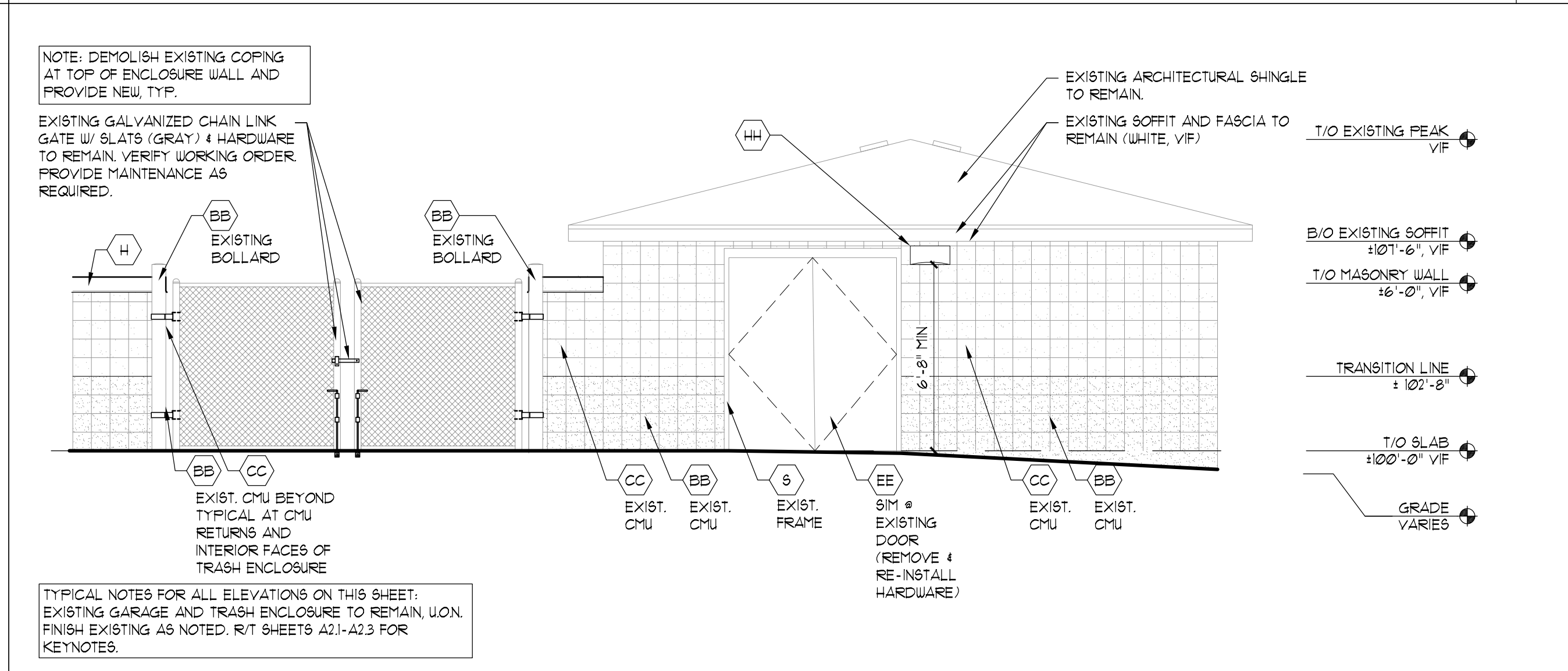
EXTERIOR ELEVATION - OUTBUILDING WEST FACE
SCALE: 1/4" = 1'-0" **3**



EXTERIOR ELEVATION - OUTBUILDING NORTH FACE
SCALE: 1/4" = 1'-0" **2**



EXTERIOR ELEVATION - OUTBUILDING SOUTH FACE
SCALE: 1/4" = 1'-0" **4**



EXTERIOR ELEVATION - OUTBUILDING EAST FACE
SCALE: 1/4" = 1'-0" **1**

FULL SIZE PRINT = 24" x 36" SHEET

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Drawing Title:	
OUTBUILDING ELEVATIONS	
Date:	04/20/21
Scale:	NOTED
Drawn:	SJF
Job:	21-TBD
Sheet:	(SHELL)
A2.4	











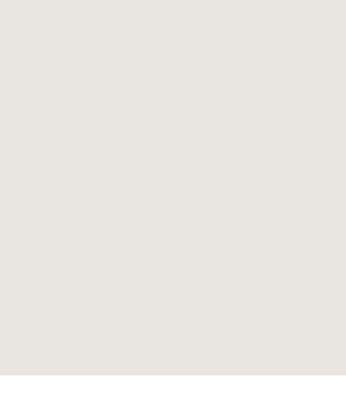

PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

PROPOSED BUILDING FOR:
2720 BUS, LLC.
2720 S Business Dr,
Sheboygan, WI 53081

REV. #	REV. DATE	DESCRIPTION	REV. BY:
04/20/21		PLANNING COMMISSION SET	SJF

- PRELIMINARY -
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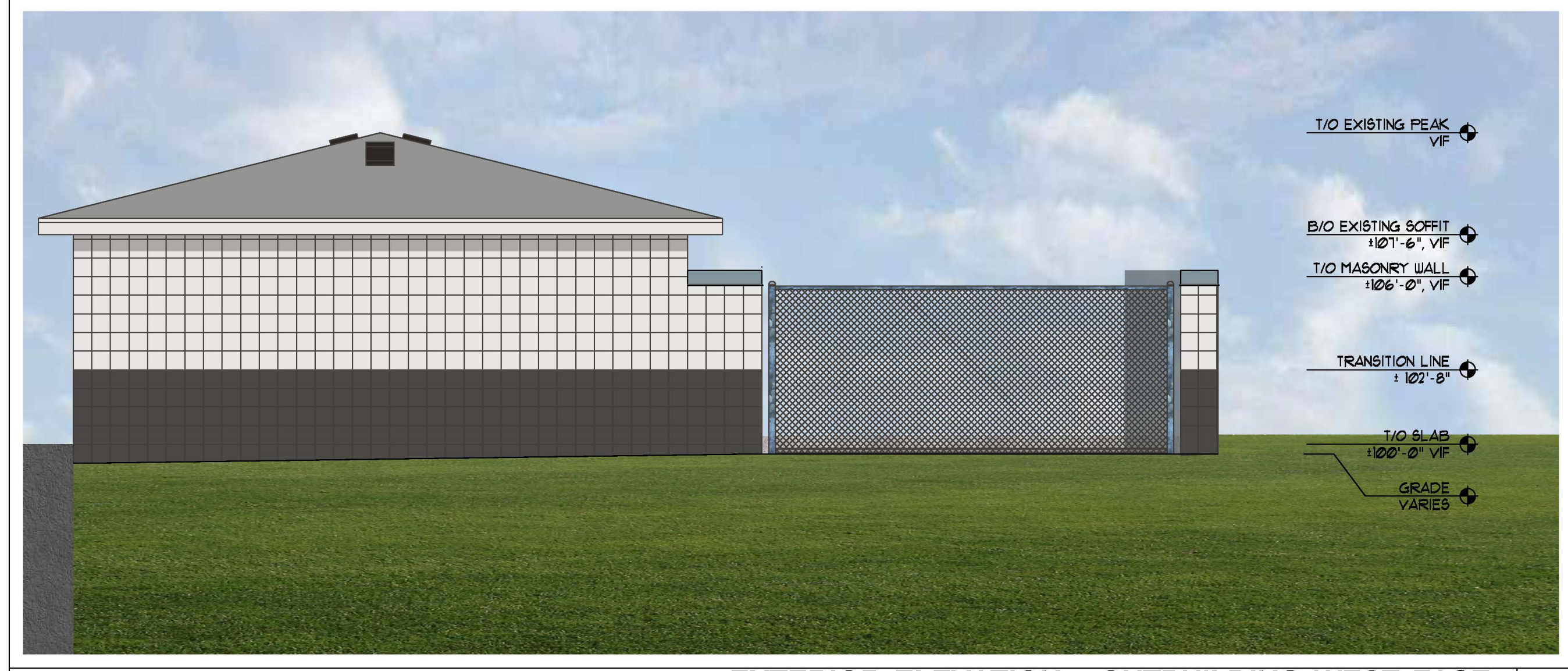
NOT FOR CONSTRUCTION

			
Brick ('A' & 'B') Mfg Belden Brick Color Black Diamond Velour	Metal Wall Panel ('F') Mfg Pac Clad Style HWP 12 Color Cityscape	Wall Tile ('E') Mfg Dal Tile Style Acacia Valley Size 9"x36" Grout Tobacco Brown	Prefinished Door ('S') Mfg Steelcraft Finish Grantech Walnut Custom 'Est. 1912' Pull and Graphics per Tenant
			
Brick ('C') Mfg Belden Brick Color Alaska White Velour	Metal Trim, Soffit, & Gutters ('G'-L, 'R') Mfg Pac Clad or Eq. Color Match 'Cityscape'	Storefront Frames ('U') Canopies ('N') Similar Mfg Per Supplier Color Black	Scones Light 'AA' Mfg Barn Light Elec. Style Atomic Topless Streamline w/ Frosted Glass Color 915 Galvanized
			
Exterior Insulation Finish System ('EIFS') 'W' Mfg Dryvit or Eq. Color Lacey Pearl (2108-10) Finish Fine Sand Texture	PAINT 'AA' (DOORS, FRAMES & EXISTING CMU) Mfg. Sherwin Williams Color Black Fox (7020) Sheen Satin, U.O.N.	PAINT 'BB' (EXISTING CMU) Mfg. Benjamin Moore Color Lacey Pearl (2108-10) Sheen Satin, U.O.N.	Recessed Can Light 'Z' Mfg. Per Supplier Size 4" Trim Color Black (or Match Soffit)

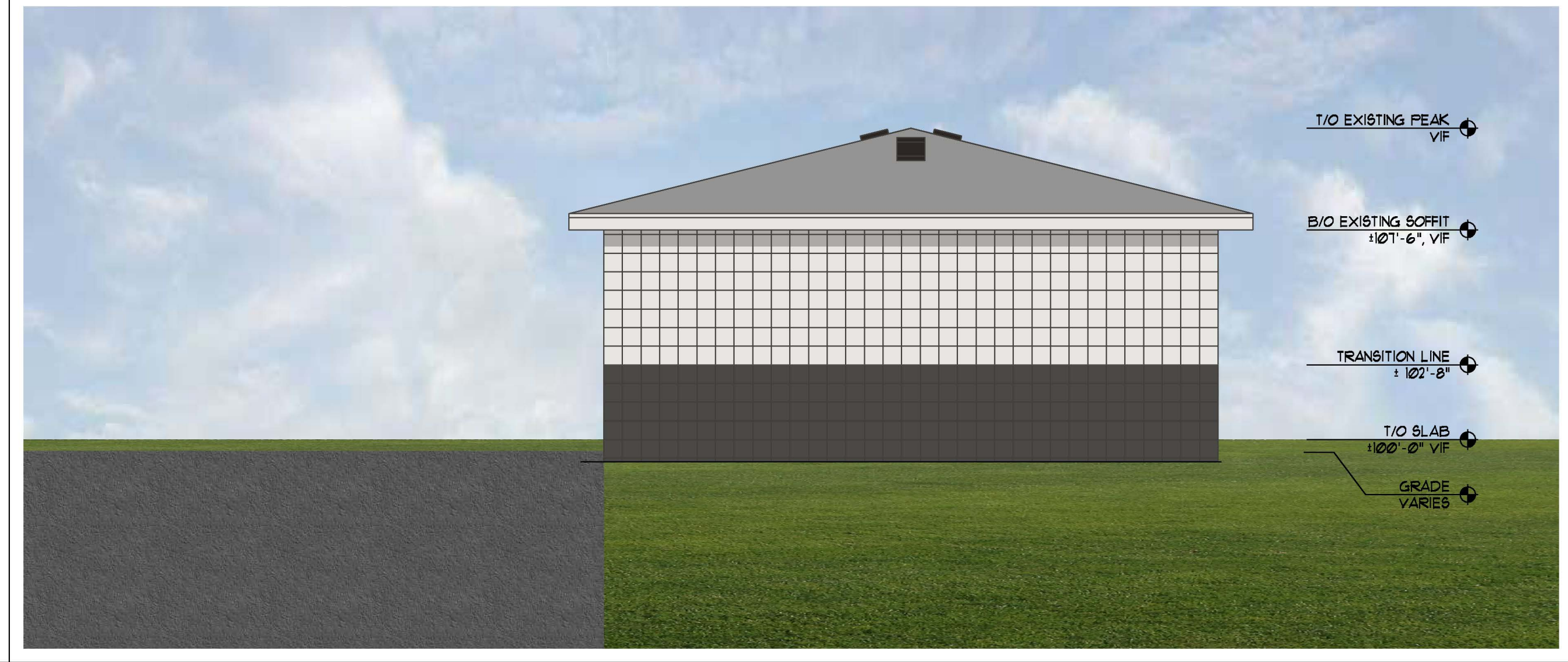
EXTERIOR ELEVATION - OUTBUILDING SOUTH FACE
SCALE: 1/4" = 1'-0" **5**



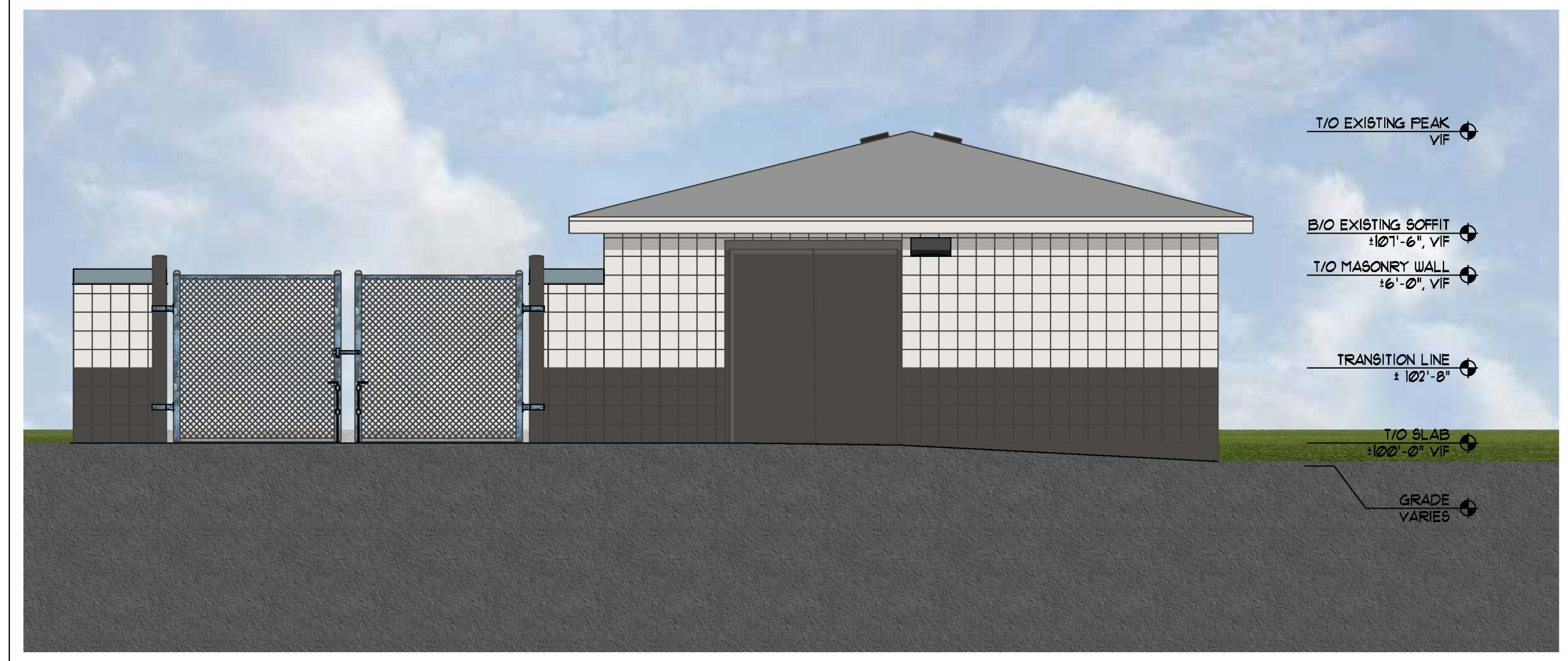
EXTERIOR ELEVATION - OUTBUILDING SOUTH FACE
SCALE: 1/4" = 1'-0" **4**



EXTERIOR ELEVATION - OUTBUILDING WEST FACE
SCALE: 1/4" = 1'-0" **3**



EXTERIOR ELEVATION - OUTBUILDING NORTH FACE
SCALE: 1/4" = 1'-0" **2**



EXTERIOR ELEVATION - OUTBUILDING EAST FACE
SCALE: 1/4" = 1'-0" **1**

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REV. #	REV. DATE	DESCRIPTION	REV. BY:
	04/20/21	PLANNING COMMISSION SET	SJF
PROPOSED BUILDING FOR: 2720 BUS, LLC. 2720 S Business Dr, Sheboygan, WI 53081			
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
Drawing Title: COLOR OUTBUILDING ELEVATIONS & MATERIALS			
Date:	04/20/21	THIS BOX IS 1/2" x 1/2"	
Scale:	NOTED		
Drawn:	SJF		
Job:	21-TBD		
Sheet:	(SHELL)		
R2.4			

- PRELIMINARY -
 FOR ESTIMATING AND REVIEW ONLY

Similar Cousins Sub in Southeast Wisconsin



Similar Cousins Sub in Southeast Wisconsin



OFFICE USE ONLY

PARCEL NO.: _____

MAP NO.: _____

ZONING CLASSIFICATION: _____

OFFICE USE ONLY

REVIEW DATE: _____

APPROVAL: _____
Steve Sokolowski, City Planner

**CITY OF SHEBOYGAN
DEPARTMENT OF CITY DEVELOPMENT**

828 Center Avenue Suite 104, Sheboygan, WI 53081
Phone: (920) 459-3377 Fax: (920) 459-7302
E-Mail: development@ci.sheboygan.wi.us

SIGN PERMIT APPLICATION

(November, 2009)

Completed application and all required attachments are to be filed with the Department of City Development, 828 Center Avenue, Suite 104 for review by the City Planner.

1. APPLICANT INFORMATION

APPLICANT: Innovative Signs

ADDRESS: 21795 Doral Rd. Suite B Waukesha, WI 53186

E-MAIL ADDRESS: melissa@innovative-signs.com

PHONE: (262-432-1330) FAX NO: (262-432-1331)

2. OWNER INFORMATION

OWNER OF SITE: Daniel C. Wilson

ADDRESS: 2420 ELM AVE SHEBOYGAN WI 53081-5528

PHONE: () FAX NO: ()

3. DESCRIPTION OF THE PROPOSED SIGN AND USE OF THE SUBJECT SITE

NAME OF PROPOSED/EXISTING BUSINESS: Cousins Subs

ADDRESS OF PROPERTY AFFECTED: 2720 S. Business Dr. Sheboygan, WI 53081

USE OF PROPERTY: Restaurant

TYPE OF SIGN: Lit channel letter set

DESCRIPTION OF PROPOSED SIGN: Cousins Grilled & Deli Fresh
Channel letter set--to be installed on east elevation, facing Business Dr.

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 32-3/8" X WIDTH: 159" = TOTAL SQUARE FOOTAGE: 35.75sf

AMOUNT OF PUBLIC STREET FRONTAGE: 153'

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: _____

SETBACK: 150'

METHOD OF ATTACHMENT: _____

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: aluminum, polycarbonate, vinyl

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: 35.75sf

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

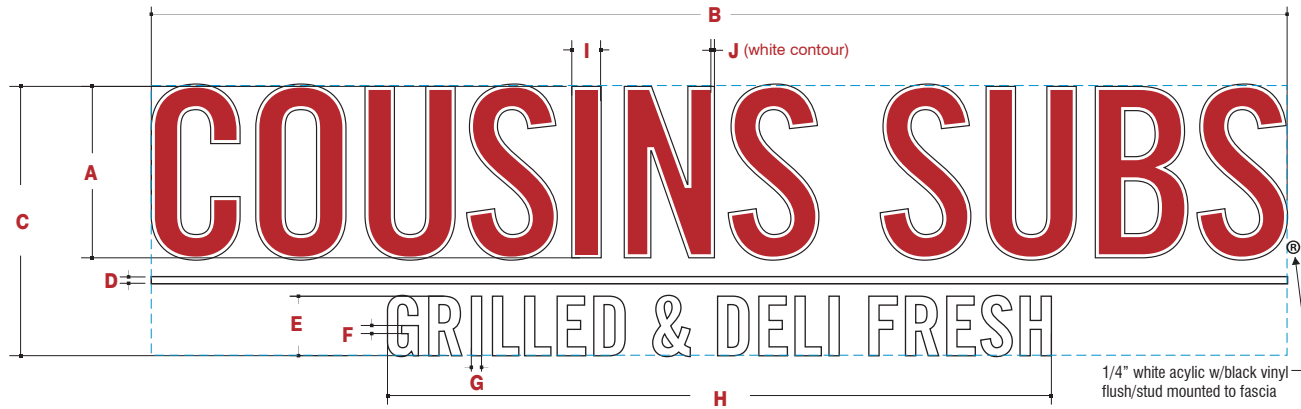
Melissa Cataldo
APPLICANT'S SIGNATURE

4.19.21
DATE

Melissa Cataldo
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- a. For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- b. For existing development, a site plan approved by the City Planner & Zoning Manager, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.



A LETTER SET LAYOUT

VARIOUS SIZES										
A	B	C	D	E	F	G	H	I	J	AREA - Sq.Ft.
24 ^{3/2}	13'-3"	3'-1 3/4"	1"	8 3/8"	1 1/8"	1 3/8"	7'-9"	4"	1/2"	41.67

GENERAL SPECIFICATIONS

"COUSINS SUBS":
5" deep fabricated aluminum channels with Black trim cap & returns. White Acrylic faces w/RED Vinyl applied to first surface.

Underscore (non-illuminated):
1" x 2" deep Underscore to be constructed from aluminum tube painted White. Flush mounted to wall.

"GRILLED & DELI FRESH":
3" deep fabricated aluminum channels with White trim cap, Black returns White Acrylic faces.

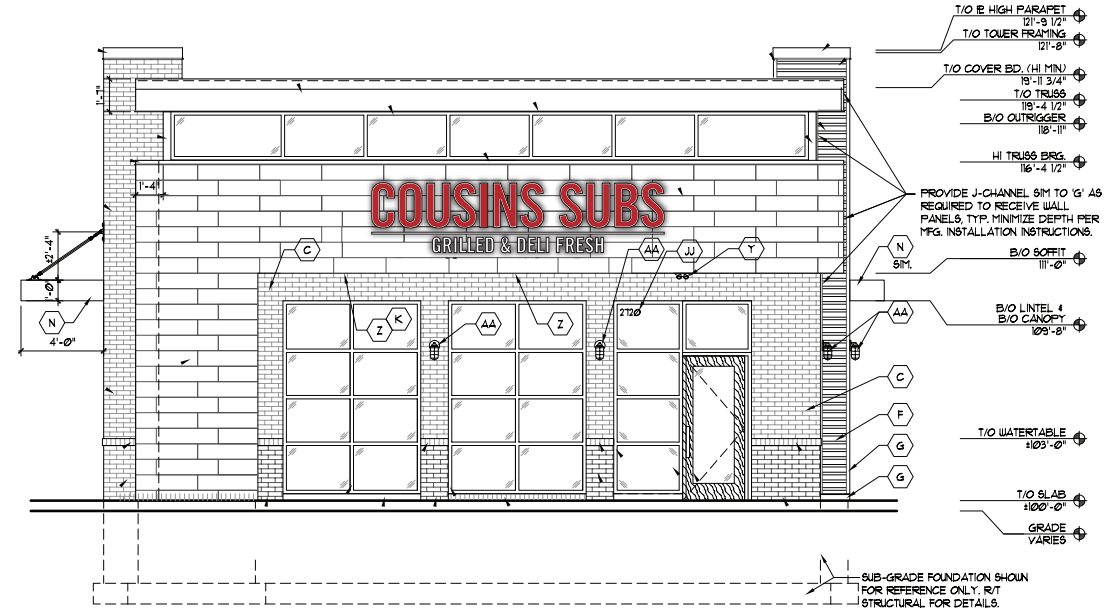
COLOR SPECIFICATIONS

- 'COUSINS SUBS'** Paint - ALL LETTERS
- White acrylic Faces
 - Black Returns**
- 'GRILLED & DELI FRESH'**
- White acrylic Faces
 - White Trim Cap

LED Illuminated Channel Letters - REMOTE

A Illumination	LED Type	PER MANUF.
	Color	White
B Power Supply	Type	PER MANUF.
C Face	Material	#2447 ACRYLIC
	Color	White
	VINYL	RED-3M # 3730-73L
D Retainer	Type	1" TRIM CAP
	Color	BLACK (COUSINS SUBS)
	Type	3/4" TRIM CAP
	Color	WHIT (GRILLED & DELI FRESH)
E Return	Material	6063 T6 ALUMINUM
	Color	BLACK
	Depth	SEE GENERAL SPECS.
F Back	Gauge	.063
G Mounting	Type	aluminum
	Fastener	PER SITE CONDITIONS
H Electrical	Type	CASS. THRU
	Type	Disconnect/Loggale
I Switch	Location	BY ELECTRICIAN

*KEEP HOLE(S) PER MFG. STANDARDS
*CAULK REQUIRED
*UL LISTED PRODUCT
*ALL ELECTRICAL OUTS LOCATED FOR RACEWAY OR REMOTE APPLICATION



www.Innovative-Signs.com

Client
Cousins Subs,
Sheboygan Business Dr.

EST/INV #
ISI - 7246

Size
See Above

Quantity
 1 2 3 4 5 88

Revisions

- REVISION
- REVISION
- REVISION
- REVISION
- REVISION

Representative
Beth D.
Designer
Brian Harrigan
Date: 04/19/2021

OFFICE USE ONLY

PARCEL NO.: _____

MAP NO.: _____

ZONING CLASSIFICATION: _____

OFFICE USE ONLY

REVIEW DATE: _____

APPROVAL: _____
Steve Sokolowski, City Planner

**CITY OF SHEBOYGAN
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USE OF PROPERTY: Restaurant

TYPE OF SIGN: Lit channel letter set

DESCRIPTION OF PROPOSED SIGN: 'Cousins Subs'

Lit channel letter set(s)--one installed on NORTH elevation, one installed on SOUTH elevation

4. CONFIGURATION OF PROPOSED SIGN:

HEIGHT: 33.15" X WIDTH: 102" = TOTAL SQUARE FOOTAGE: 23.5sf

AMOUNT OF PUBLIC STREET FRONTAGE: 153'

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: _____

SETBACK: 150'

METHOD OF ATTACHMENT: _____

METHOD OF ILLUMINATION: LED

SIGN MATERIALS: aluminum, polycarbonate, vinyl

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: 47sf

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

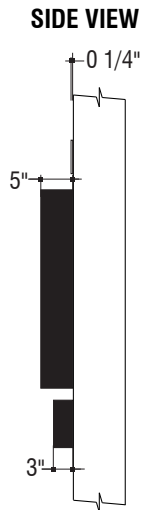
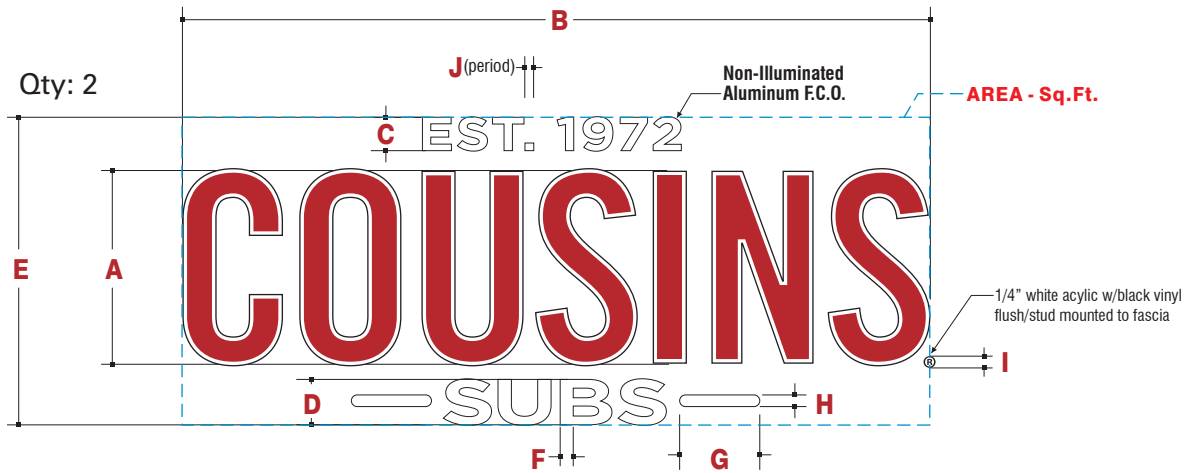
Melissa Cataldo
APPLICANT'S SIGNATURE

4.19.21
DATE

Melissa Cataldo
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- a. For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- b. For existing development, a site plan approved by the City Planner & Zoning Manager, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.



B LETTER SET LAYOUT

VARIOUS SIZES										
A	B	C	D	E	F	G	H	I	J	AREA - Sq.Ft.
26"	8'-6"	4 1/2"	6.15"	3'-5 7/8"	1 3/4"	10 7/8"	1.57"	1.6"	1.2"	30

GENERAL SPECIFICATIONS

"EST. 1972":

1/4" thick FLAT CUT OUT ALUMINUM LETTERS painted semi-gloss White. Flush mounted to the wall.

"COUSINS SUBS":

5" deep fabricated aluminum channels with Black trim cap & returns. White Acrylic faces w/RED Vinyl applied to first surface.

"- SUBS -":

3" deep fabricated aluminum channels with White trim cap, Black returns. White Acrylic faces. See COLOR SPECIFICATIONS.

COLOR SPECIFICATIONS

'COUSINS SUBS'

White acrylic Faces

RED 3M #3730-73L (to match PMS 1805)

Black Trim Cap

Black Painted Returns - 'COUSINS SUBS', '-SUBS-'

Black Trim Cap 'COUSINS SUBS'

White Trim Cap '-SUBS-'

ALUMINUM Flat Cut Out Letters

(A) F.c.o.	Material	1/4" ALUMINUM
	Color	WHITE
	Finish	Semi-Gloss
(B) Mounting	Type	10-32 NF STUDS
	Fastener	N/a

LED Illuminated Channel Letters - REMOTE

(A) Illumination	LED TYPE	PER MANUF.
	Color	White
(B) POWER SUPPLY	Type	PER MANUF.
	Type	
(C) Face	Material	#2447 ACRYLIC
	Color	White
	VINYL	RED-3M #3730-73L
(D) Retainer	Type	1" TRIM CAP
	Color	BLACK (COUSINS SUBS)
	Type	3/4" TRIM CAP
	Color	white (-subs-)
(E) Return	Material	.040 x 5.3" ALUMINUM
	Color	BLACK
	Depth	SEE GENERAL SPECS.
(F) Back	Gauge	.063
		aluminum
(G) Mounting	Type	Mechanical
	Fastener	PER SITE CONDITIONS
(H) Electrical	Type	PASS THRU
	Type	
(I) Switch	Type	Disconnect/toggle
	Location	BY ELECTRICIAN

* WEEP HOLE(S) PER MFG. STANDARDS
 * CAULK REQUIRED
 * UL LISTED PRODUCT
 * ALL ELECTRICAL OUTS LOCATED FOR RACEWAY OR REMOTE APPLICATION



www.Innovative-Signs.com

Client
Cousins Subs,
 Sheboygan Business Dr.

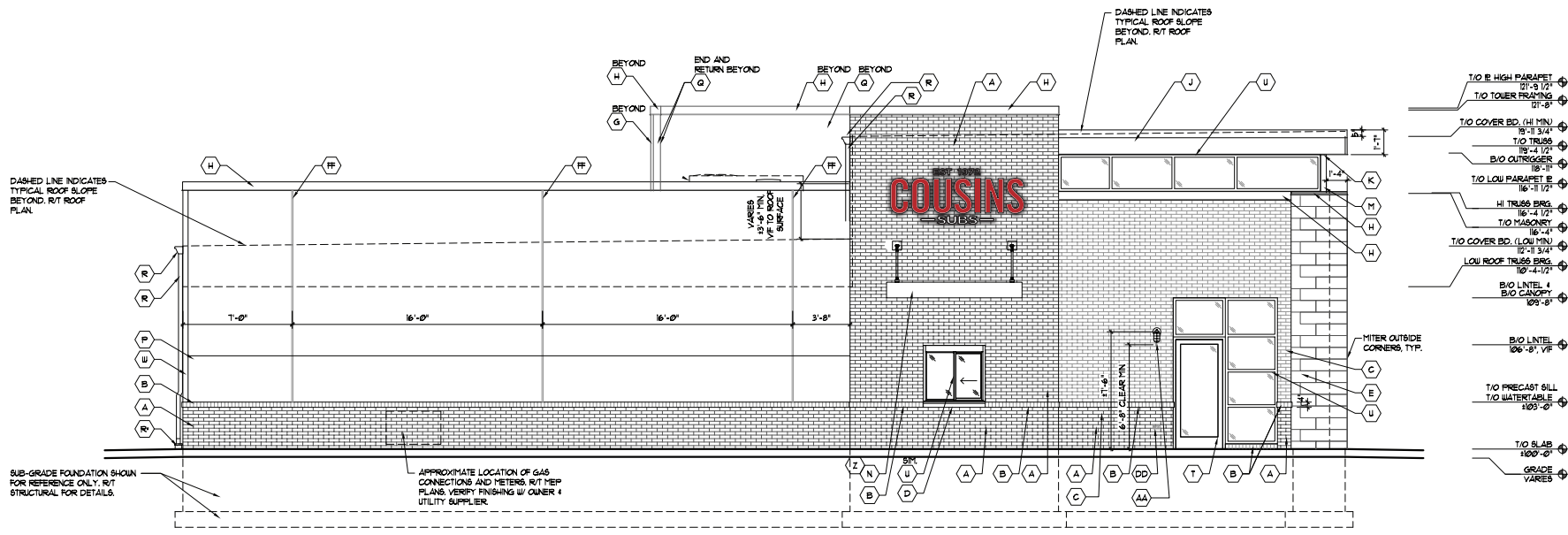
EST/INV #
ISI - 7246

Size
 See Above

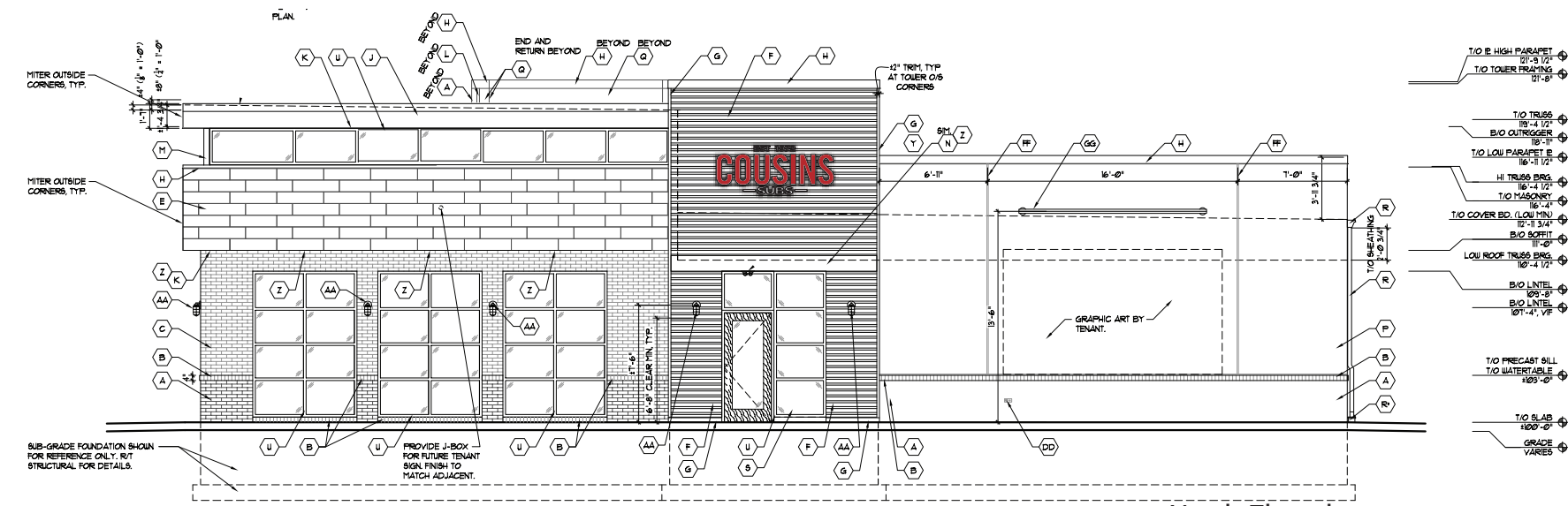
Quantity
 1 2 3 4 5 88

Revisions
 REVISION
 REVISION
 REVISION
 REVISION
 REVISION

Representative
 Beth D.
 Designer
 Brian Harrigan
 Date: 04/19/2021



South Elevation



North Elevation



www.Innovative-Signs.com

Client
Cousins Subs,
 Sheboygan Business Dr.

EST/INV #
ISI - 7246

Size
 See Above

Quantity
 1 2 3 4 5 88

Revisions
 REVISION
 REVISION
 REVISION
 REVISION
 REVISION

Representative
 Beth D.
 Designer
 Brian Harrigan
 Date: 04/19/2021

OFFICE USE ONLY

PARCEL NO.: _____

MAP NO.: _____

ZONING CLASSIFICATION: _____

OFFICE USE ONLY

REVIEW DATE: _____

APPROVAL: _____
Steve Sokolowski, City Planner

**CITY OF SHEBOYGAN
DEPARTMENT OF CITY DEVELOPMENT**

828 Center Avenue Suite 104, Sheboygan, WI 53081
Phone: (920) 459-3377 Fax: (920) 459-7302
E-Mail: development@ci.sheboygan.wi.us

SIGN PERMIT APPLICATION

(November, 2009)

Completed application and all required attachments are to be filed with the Department of City Development, 828 Center Avenue, Suite 104 for review by the City Planner.

1. APPLICANT INFORMATION

APPLICANT: Innovative Signs

ADDRESS: 21795 Doral Rd. Suite B Waukesha, WI 53186

E-MAIL ADDRESS: melissa@innovative-signs.com

PHONE: (262-432-1330) FAX NO: (262-432-1331)

2. OWNER INFORMATION

OWNER OF SITE: Daniel C. Wilson

ADDRESS: 2420 ELM AVE SHEBOYGAN WI 53081-5528

PHONE: () FAX NO: ()

3. DESCRIPTION OF THE PROPOSED SIGN AND USE OF THE SUBJECT SITE

NAME OF PROPOSED/EXISTING BUSINESS: Cousins Subs

ADDRESS OF PROPERTY AFFECTED: 2720 S. Business Dr. Sheboygan, WI 53081

USE OF PROPERTY: Restaurant

TYPE OF SIGN: Pylon/pole sign

DESCRIPTION OF PROPOSED SIGN: New double sided pylon sign advertising Cousins Subs

4. CONFIGURATION OF PROPOSED SIGN:

Oval= 50" H x 120" W= 41.67sf

Base HEIGHT: 51" X WIDTH: 72" (25.5sf) TOTAL SQUARE FOOTAGE: 67.17sf

AMOUNT OF PUBLIC STREET FRONTAGE: 153'

AMOUNT OF EXPOSED EXTERIOR WALL LENGTH: _____

SETBACK: 150'

METHOD OF ATTACHMENT: _____

METHOD OF ILLUMINATION: _____

SIGN MATERIALS: aluminum, polycarbonate, vinyl

TOTAL SQUARE FOOTAGE OF SIGNS ON SUBJECT PROPERTY:

BEFORE PROPOSED SIGN: 0 AFTER PROPOSED SIGN: 67.17sf

5. CERTIFICATE

I hereby certify that all of the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

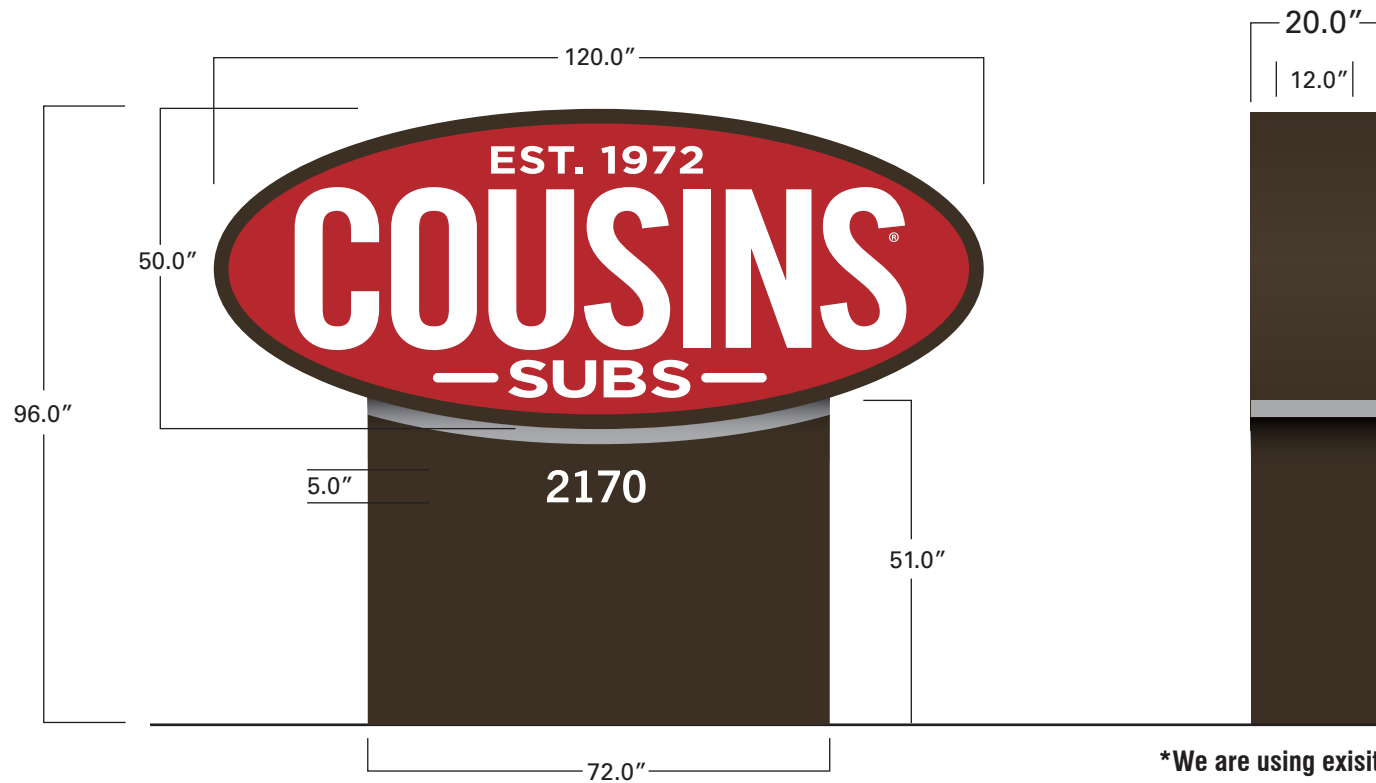
Melissa Cataldo
APPLICANT'S SIGNATURE

4.20.21
DATE

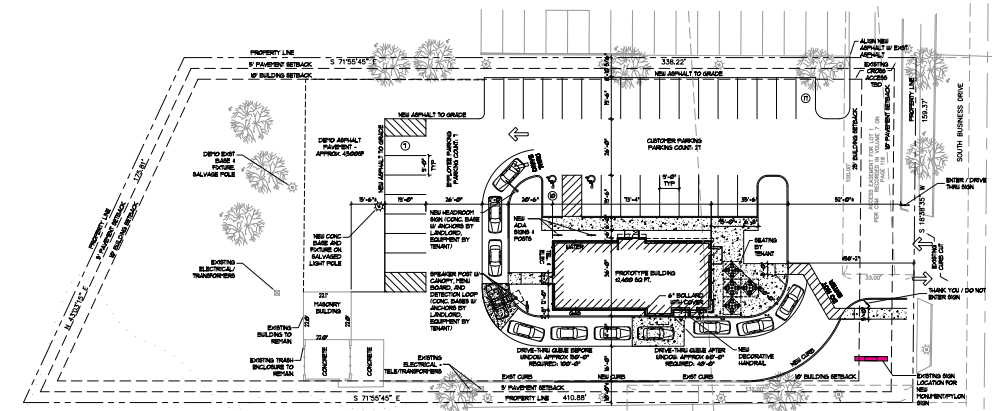
Melissa Cataldo
PRINT ABOVE NAME

6. APPLICATION SUBMITTAL REQUIREMENTS

- a. For new development, the approved site plan for the subject property, showing the location and dimensions of all buildings, structures, signs on the subject property, property boundaries and dimensions; and the location of the proposed sign.
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- c. A scale drawing of the proposed sign listing the height, width, total square footage, method of attachment, method of illumination, sign materials, design and appearance.



*We are using existing match plates for new pylon



COLOR SPECIFICATIONS

'COUSINS' Oval

RED 3M #3630-73
(to match PMS 1805)

White Polycarbonate Face's

Shroud

Duranotic Bronze

White Cut Vinyl



www.Innovative-Signs.com

Client
Cousin Subs
Sheboygan
EST/ORD #
EST - 7246

Quantity
 1 2 3 4 5 88

Size
See Above

Sides
 S/S D/S

Materials & Specs
New Pylon Sign
- Double Sided
- Polycarbonate Face's
- Translucent Cut Vinyl Graphics
- Shroud and Cabinet painted Duranotic Bronze
- White Cut Vinyl for shroud text

Project Manager
Beth D.
Designer - Date
Brian Harrigan
04/20/2021



EST. 1972

MILWAUKEE, WI



WE BELIEVE IN BETTER®

1 CHOOSE YOUR SUB

2 SELECT YOUR BREAD OR BOWL

ITALIAN • MULTI-GRAIN (3/6 ADDED CAL)
PARMESAN ASIAGO (85/170 ADDED CAL) • GARLIC HERB (5/10 ADDED CAL)

3 ADD ADDITIONAL TOPPINGS

Table with 3 columns: Dressings (Mayo, Oil, Red Wine Vinegar, Brown Mustard, Yellow Mustard, Marinara, Ranch), Toppings (Lettuce, Spring Mix, Tomatoes, Green Peppers, Mushrooms, Pickles, Black Olives, Cucumbers), and Extras (Onions, Jalapeños, Pepperoncini, Hot Pepper Relish, Salt, Oregano, Black Pepper) with their respective added calories.

Table with 2 columns: Extra Toppings (Cheese, Bacon, DBL Portion, DBL Portion Chicken/Steak Sub) with their respective added calories.



GRILLED TO ORDER

CHOICE OF CHICKEN OR STEAK

CHEESE STEAK

CHICKEN 560/1120/310 CAL STEAK 540/1080/290 CAL
CHICKEN OR STEAK, PROVOLONE, LETTUCE, ONIONS, TOMATOES & SALT
7 1/2" 15" BOWL

PHILLY

CHICKEN 670/1340/410 CAL STEAK 650/1300/390 CAL
CHICKEN OR STEAK, AMERICAN, SAUTÉED GREEN PEPPERS & ONIONS
7 1/2" 15" BOWL

BACON CHEDDAR

CHICKEN 620/1240/370 CAL STEAK 600/1200/350 CAL
CHICKEN OR STEAK, BACON, CHEDDAR, LETTUCE, ONIONS & TOMATOES
7 1/2" 15" BOWL

DOUBLE CHEESE STEAK

CHICKEN 840/1680/590 CAL STEAK 800/1600/550 CAL
DOUBLE CHICKEN OR STEAK AND PROVOLONE, LETTUCE, ONIONS, TOMATOES & SALT
7 1/2" 15" BOWL

CLASSICS

CLUB

670/1340/220 CAL
HAM, TURKEY BREAST, PROVOLONE, LETTUCE, ONIONS, TOMATOES, OREGANO & MAYO
7 1/2" 15" BOWL

ITALIAN SPECIAL

830/1660/390 CAL
CAPPACOLLA HAM, COTEGHINO BOLOGNA, GENOA SALAMI, PROVOLONE, LETTUCE, ONIONS, TOMATOES, SALT, OREGANO & OIL
7 1/2" 15" BOWL

PEPPERONI MELT

750/1500/300 CAL
HAM, PEPPERONI, PROVOLONE, LETTUCE, ONIONS, TOMATOES, OREGANO & MAYO
7 1/2" 15" BOWL

MEATBALL & PROVOLONE

820/1640/560 CAL
MEATBALLS, PROVOLONE & MARINARA SAUCE
7 1/2" 15" BOWL

TUNA

650/1300/390 CAL
A BLEND OF TUNA & MAYO WITH LETTUCE, ONIONS, TOMATOES & OREGANO
7 1/2" 15" BOWL

DELI FRESH

HAM & PROVOLONE

630/1260/180 CAL
HAM, PROVOLONE, LETTUCE, ONIONS, TOMATOES, OREGANO & MAYO
7 1/2" 15" BOWL

TURKEY BREAST

550/1100/100 CAL
TURKEY BREAST, LETTUCE, ONIONS, TOMATOES, SALT & MAYO
7 1/2" 15" BOWL

VEGGIE

370/740/120 CAL
PROVOLONE, SPRING MIX, CUCUMBERS, GREEN PEPPERS, ONIONS & TOMATOES
7 1/2" 15" BOWL

ROAST BEEF & CHEDDAR

740/1480/290 CAL
ROAST BEEF, CHEDDAR, LETTUCE, ONIONS, TOMATOES, SALT & MAYO
7 1/2" 15" BOWL

CHICKEN CHEDDAR DELUXE

730/1460/280 CAL
SLICED CHICKEN BREAST, BACON, CHEDDAR, LETTUCE, ONIONS, TOMATOES & MAYO
7 1/2" 15" BOWL

2,000 CALORIES A DAY IS USED FOR GENERAL NUTRITION ADVICE, BUT CALORIE NEEDS VARY. WRITTEN NUTRITION INFORMATION IS AVAILABLE UPON REQUEST.

DRINKS

REGULAR 0-300 CAL LARGE 0-490 CAL



BOTTLED 0-240 CAL WATER

SHAKES



VANILLA OR CHOCOLATE 720/920 CAL

FLOATS



ROOT BEER OR SODA 320-560 CAL

SUB IN A BOWL

MAKE ANY SUB, A SUB IN A BOWL

ALL BOWLS ARE SERVED OVER A SPRING MIX,
EXCEPT THE PHILLY AND MEATBALL & PROVOLONE.

SOUPS OF THE DAY

CUP 70-170 CAL BOWL 110-270 CAL

MAKE IT A MEAL

ADD A REGULAR DRINK & CHIPS
OR REGULAR FRIES TO ANY SUB



SIDES

FRIES

REGULAR 260 CAL LARGE 520 CAL

WISCONSIN MAC & CHEESE

CUP 290 CAL BOWL 410 CAL

ADD CHOICE OF HAM, TURKEY BREAST,
SLICED CHICKEN BREAST, OR BACON 20-60 CAL

WISCONSIN CHEESE CURDS

REGULAR 690 CAL LARGE 1360 CAL

CHIPS

21 0-310 CAL

FRESH BAKED COOKIES

180-200 CAL/COOKIE, 3 COOKIES

CATERING

PARTY PACK

INCLUDES 20 PIECE PARTY BOX,
PARTY CHIPS & DOZEN COOKIES

PARTY BOX

12 PIECE 20 PIECE

PARTY SALAD

SERVES 4-5

PARTY MAC

10 CUPS

PARTY SOUP

10 CUPS

BOX LUNCH

7½ SUB, CHIPS & COOKIE

DOZEN COOKIES

PARTY CHIPS

Advance notice appreciated on catering
orders. Menu items and individual
ingredients may vary by location. Prices
subject to change without notice.

11/19



SKIP THE LINE® AND ORDER ONLINE
COUSINSSUBS.COM





03/22/2021



03/22/2021

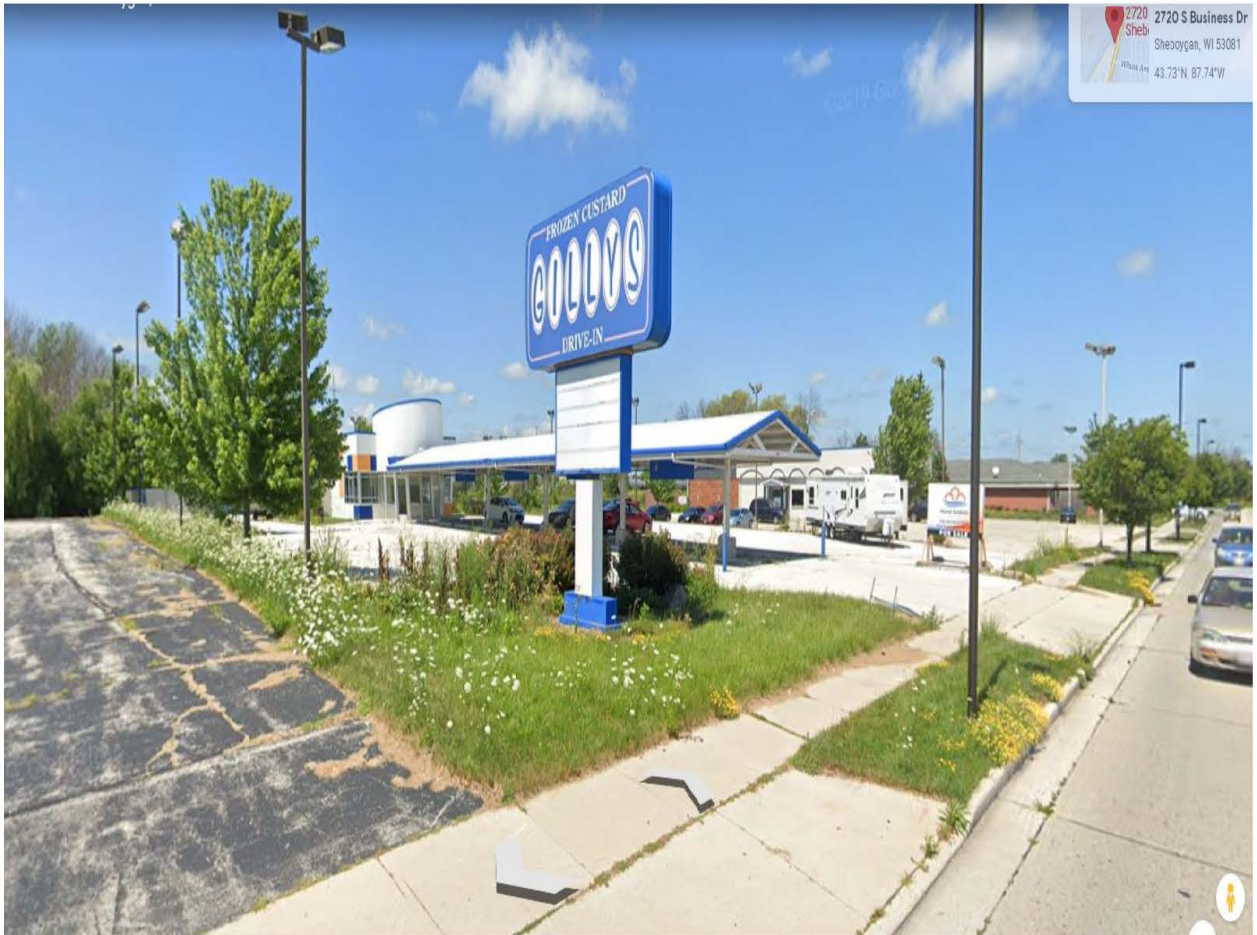












CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by the City of Sheboygan to operate the Sheboygan Senior Activity Center from the existing facility located at 1817 N. 8th Street. NC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 7, 2021

MEETING DATE: May 11, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The City of Sheboygan is proposing to operate the Sheboygan Senior Activity Center from the existing facility located at 1817 N. 8th Street. The applicant states the following:

- In September 2019, the Friends of the Senior Activity Center of Sheboygan (SACS) Board of Directors and the City of Sheboygan Administration met for strategic planning to set a direction for the growth of the Senior Activity Center. The priority outcome was to assess the physical and programming needs of the current building located at 428 Wisconsin Avenue.
- The feasibility study was commissioned with Groth Design Group. This study began in early 2020, prior to the COVID-19 outbreak. Work continued on the feasibility study throughout the closure of the center due to COVID-19 in March. In July, a significant failure of building systems was discovered. The HVAC system was known to be outdated and failing, as well as the roof system. The costs to repair both the HVAC and roof, as well as bringing the building into ADA compliance were found to be estimated at more than \$700,000, which did not address the additional programming needs of the building.
- These building costs created an immediate and urgent need to determine if repairing the building was a better option versus finding a new location for the center. Three (3) options were presented to the Common Council, the Friends of SACS, and the SACS Commission. The first was to repair the current structure, the second was to investigate a move to a temporary location, and the third was to purchase a new site.

- Based on these building issues and as an outcome of strategic planning and a feasibility study, the City Council and the City of Sheboygan Senior Activity Center of Sheboygan Board of Directors, determined that a new building site was necessary for the Senior Activity Center.
- The former Save-A-Lot building at 1817 N. 8th Street was for sale and was identified as a potential new home for the Sheboygan Senior Activity Center. The Common Council unanimously confirmed their commitment to provide senior services for the community and purchased the former Save A-Lot store earlier this year.
- The 30,000-square-foot former Save-A-Lot and Pet Supplies Plus was vacated in 2018. Plans for the new space include a phased build-out to address the current needs of the Senior Activity Center of Sheboygan, with future needs for expansion, and potential community partnerships. The City plans to upgrade the façade to be a more suitable fit for the residential neighborhood.
- The Senior Activity Center of Sheboygan continues to provide programming through social media and at appropriate venues which allow for social distancing. Partnering with the Department of Public Works has allowed for the use of park shelters; other community partners have offered space programming while renovation of the new facility is under construction.

The applicant states the following about the exterior remodel architecture:

- The current exterior is a painted CMU “big box” retail building with an accent band of painted EIFS. The building does not have many window openings or doors to the street, and the façade is not articulated or broken up with any rhythm or material changes along its entire perimeter. The existing materials have not been maintained in recent years and the building is showing some age.
- This remodel is to include updating the materials and design of the exterior facades including new projecting window boxes, other windows, updated entries, and newly painted block, with accents of wood look panels and corrugated metal.
- The proposed updates to the exterior materials and design will include several wood look panel projections for window boxes and new entry areas. There will also be several new punched opening windows added. The rhythm and repetition of these elements is meant to reflect the smaller residential lots and spacing of the surrounding streetscape.
- The exiting CMU will be repainted and the EIFS band will be replaced on the north, west, and south sides with a corrugated metal panel system to update and modernize the look of the facades.
- All exterior materials are to be low maintenance materials which will ensure that the updates to the building continue to enhance the neighborhood for years to com
- The exterior landscaping will also be enhanced to include outdoor seating areas, planters, and a reworking of the drop off and accessible parking spaces.

The applicant states the following about the interior buildout:

- The remodeling of the interior spaces will include a lounge/café space for socializing with food and drinks, a game room, ping-pong areas, a dance studio, an arts and crafts studio and a set of connected hallways intended to be used as a walking track.
- Future spaces will include a large gym/physical activity space, a weight room and a large kitchen and multipurpose/reception space.
- There are also plans to have a separate tenant occupy a small section of the building in the north east corner. The SAC is still exploring options for the specific tenant at this time.

Specific site improvements include:

- Asphalt is being removed on the east side of the building and a 40' x 125' garden is being created.
- Existing parking lot lights are being retrofitted with LED fixtures creating better efficiency and creating a more uniform light pattern.
- Existing concrete is being removed between the sidewalk and curb and will be replaced with grass and street trees creating a much more aethetic streetscape.
- The entire parking lot will be seal coated and some areas will be resurfaced creating a better riding service and more aethetic parking lot.
- The entire parking lot will be striped to create a more efficient parking lot in relation to traffic flow.
- An outside patio will be constructed at the southwest corner of the parking lot.
- Driveway openings will be relocated on N. 8th Street to create a more efficient parking lot in relation to traffic flow.

Other general comments about the project and services:

- The new building will provide space for seniors age 55+ to socialize, enjoy recreation activities, express themselves creatively, and participate in physical exercise. The square footage of the new building is double the previous building, which will serve this population as it continues to grow over the next twenty+ years.
- Existing activities include exercise classes, creative classes, travel opportunities, educational programs.
- The Senior Activity Center will now be able to offer include an indoor walking track. This is going to be huge for our seniors, since the mall was torn down, as well as the general public, for which we plan to have the walking track available. The added square footage of the building will allow us to accommodate so many more seniors than we could previously.
- The Senior Activity Center will now be able to offer include a new gymnasium which will allow us to play basketball and other sports that were not conducive to the old building.
- We're hoping that the neighborhood will take advantage of the café, open to the public, for casual meals or coffee to-go. We also hope that organizations that don't necessarily

serve seniors will take advantage of rental opportunities, like boy scout & girl scout troops.

- The added traffic to our center should bring attention to the Habitat for Humanity ReStore, and the enhancements to our building should curb the dumping that is currently happening at the site, as well as improve the neighborhood in general.

The Senior Activity Center of Sheboygan encourages citizens to expand their horizons and even step outside their comfort zones by offering a variety of programs which include:

- Fitness Opportunities - Get involved with your mind and body connection. Whether you are a beginner or experienced, these classes will help you gain a better understanding of physical awareness, flexibility, and strength.
- Create Opportunities - Get in touch with your creative side. Open to all, these groups are the perfect place to find the inner artist or crafter that is just aching to get out.
- Social Opportunities - Whether you are meeting up with old friends or meeting new friends, SACS is the perfect place! Join an activity and hangout with us!
- Play Opportunities - Come for the excitement and competition, stay for the good time and company of others. All of our games are open to everyone.

STAFF COMMENTS:

The City's 2020-2024 Consolidated Plan identifies two (2) goals that would benefit from this project:

- 1) Neighborhood revitalization and stabilization and the support of community facilities that improve quality of life in low to moderate income neighborhoods, and
- 2) Expanding public facilities in eligible census tracts.

In its most recent strategic plan, the revitalization of our neighborhoods and the City's investment in them, was identified as a key focus area. By developing this blighted, vacant building into an active hub serving multiple segments of the community - including seniors - the City is working to proactively meet this strategic objective.

A couple of comments:

- No sign package has been submitted at this time just some general concepts. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.
- Applicant is proposing to accommodate projecting window boxes and entries on the south and west side of the building that will be located within the property boundary but will be close to the property lines along 8th Street.

- Applicant is proposing to have louvered sun shading awnings above several windows and doors on the south and west sides of the building that will project over the public walkway at a height of 10'-8" above the sidewalk level.
- The Sheboygan Senior Activity Center will be sharing the parking lot with the Habitat for Humanity Restore to the north. The parking lot has a total of 113 stalls and will be repaved.
- There are a number of properties located along the east property line who will also have access to this parking lot because it serves as their primary access to their detached garages (properties located along N. 7th Street).

The Plan Commission should have the applicant address the following:

- What is the proposed timeframe for occupancy/use of the facility?
- When the facility is at full capacity how many employees, children, adults, etc. will be at the site?
- Where will the screened and enclosed dumpsters be constructed on the property?

The applicant is requesting the following land use variances:

- Requesting a variance from the minimum parking requirements to maintain the existing parking at the site – The minimum number of onsite parking for a community center is one (1) space per 250 square feet of gross floor area, or one (1) space per four (4) patrons to the maximum capacity, whichever is greater, plus one (1) space per employee on the largest work shift.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm water, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal/approval of a proposed landscape plan prior to building permit issuance.
4. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit. Applicant shall work with staff with regards to appropriate location and design of enclosure.
5. Outdoor storage of materials, products or equipment shall be prohibited.
6. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
7. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent streets and/or properties.
8. Any fencing shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance. Applicant shall work with staff with regards to constructing appropriate and well-designed fence/retaining wall and shall obtain the necessary permits prior to

- installation. If staff has any concerns with proposed fence design, the matter may be brought back to the Plan Commission for their consideration.
9. Applicant shall paint the weathered light poles located throughout the site.
 10. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
 11. Applicant shall to install individual letter signs – no cabinet or flat panel signs.
 12. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is 8 feet. Sign shall be located outside of the 15 foot vision triangle.
 13. All areas used for parking/maneuvering of vehicles shall be paved.
 14. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
 15. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
 16. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
 17. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
 18. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
 19. Applicant will provide adequate public access along the streets and will take all appropriate actions to minimize the time period that these streets will be closed/affected.
 20. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
 21. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
 22. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
 23. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
 24. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
 25. If applicant leases space to additional tenants, the tenants shall obtain all necessary land use and building approvals/permits prior to occupancy.
 26. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve all proposed structures.
 27. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Senior Activity Center of Sheboygan / Sheboygan D.P.W.

ADDRESS: 828 Center Avenue E-MAIL: David.Biebel@sheboyganwi.gov

PHONE: (920)459-3290 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Senior Activity Center of Sheboygan

ADDRESS OF PROPERTY AFFECTED: 1817 N. 8th Street

LEGAL DESCRIPTION: Lots 4, 5, 6, and 7, Block 2 of Assessment Subdivision Number 9, Lots 5, 6, 7, and 8, Block 4 of Zimbal's Subdivision, also the vacated north/south alley between Lots 6, 7, and 8 of Zimbal's Subdivision, also the vacated portion of the east/west alley, lying between Lot 6, Block 2 of the Assessment Subdivision Number 9 and Lots 5 and 6, Block 4 of Zimbal's Subdivision, in the City of Sheboygan, Sheboygan County, Wisconsin

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Former Save-a-Lot Grocery Store and pet store _____

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Future Senior Activity Center to provide regular programming activities for residents age 55+ in the areas of physical exercise, recreation, education, and socialization.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

- Requesting a Conditional Use Permit to operate the Senior Center and do site improvements at 1817 N. 8th Street.
- Requesting permission to move two driveway curb cuts, one to the west onto S. 8th Street, and one to the south onto Zimbal Avenue.
- Requesting a variance to the property setbacks on the south and west side to accommodate projecting window boxes and entries that will be located within the property boundary but will not conform to current setback requirements.
- Requesting permission to have louvered sun shading awnings above several windows and doors on the south and west sides of the building that will project over the public walkway at a height of 10'-8" above the sidewalk level.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

The proposed use of the building relates directly to the Key Initiative of continuing to provide high quality public service by serving residents age 55+.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

No.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

The proposed use will be similar to how it was used previously, as a commercial/public space visited during daytime hours.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

Yes.

4. NAMES AND ADDRESS (Indicate N/A for “Not Applicable” items)

OWNER OF SITE: City of Sheboygan

ADDRESS: 828 Center Avenue, Sheboygan

E-MAIL: David.Biebel@sheboyganwi.gov

ARCHITECT: Groth Design Group – John Schwenzen – Project Manager

ADDRESS: N58W6181 Columbia Road, Cedarburg, WI 53012

E-MAIL: jschwenzen@gdg-architects.com

CONTRACTOR: To be Determined

ADDRESS: TBD E-MAIL: TBD

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

_____04/19/2021_____

DATE

John Schwenzen – Project Manager – Groth Design Group

PRINT ABOVE NAME

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
 - All lands for which the conditional use is proposed.
 - All other lands within 100 feet of the boundaries of the subject property.
 - The current zoning of the subject property and its environs (200 feet),
3. A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development or if the proposed conditional use is a cluster development (per Section 15.206(1)(b) or a group development (per Section 15.208). A proposed preliminary plat or conceptual plat may be substituted for the final site plan, provided that the preliminary plat contains all information required on a site plan.



EXISTING BUILDING VIEW FROM NORTHWEST - 8TH STREET



EXISTING BUILDING VIEW FROM SOUTHWEST - 8TH STREET & ZIMBAL AVE.

CITY SUBMITTAL PACKAGE:
**PROPOSED RENOVATION OF OLD
SAVE-A-LOT GROCERY STORE BLDG.
FOR NEIGHBORHOOD REVITALIZATION
AND NEW USE AS CITY OF SHEBOYGAN'S
ACTIVE SENIOR COMMUNITY CENTER**

NOTE:

- ARTIST'S RENDITION
- COLORS MAY HAVE SHIFTED FROM ORIGINAL MEDIA
- ORIGINAL SHEET SIZE: 30"X42"

GDG #: 20.115
APRIL 19, 2021

**RENOVATION OF 1817 NORTH 8TH STREET FOR:
ACTIVE SENIOR COMMUNITY CENTER**

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REMODELED BUILDING VIEW FROM NORTHWEST - 8TH STREET



REMODELED BUILDING VIEW FROM SOUTHWEST - 8TH STREET & ZIMBAL AVE.

NOTE:

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APRIL 19, 2021

**RENOVATION OF 1817 NORTH 8TH STREET FOR:
ACTIVE SENIOR COMMUNITY CENTER**

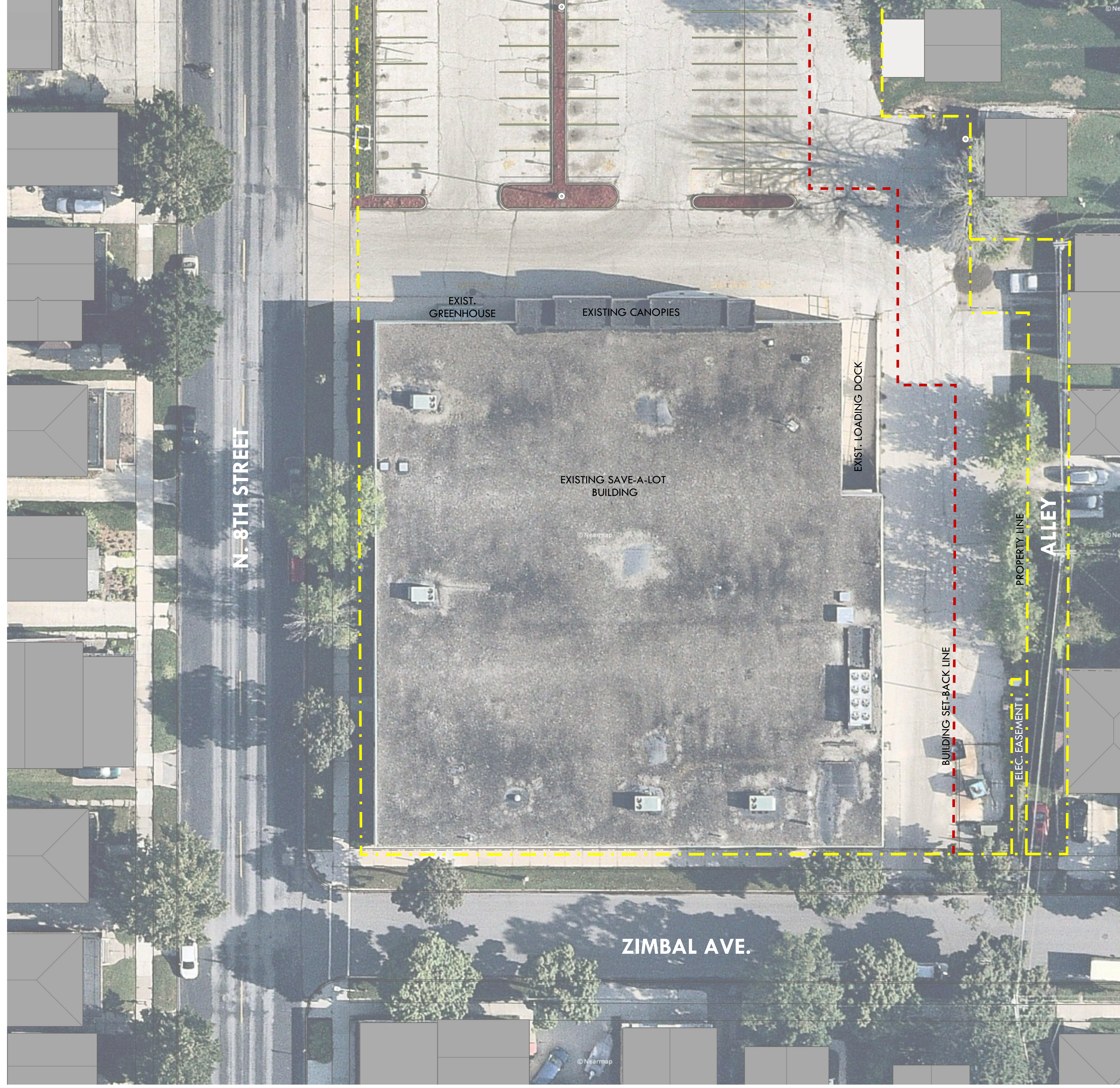
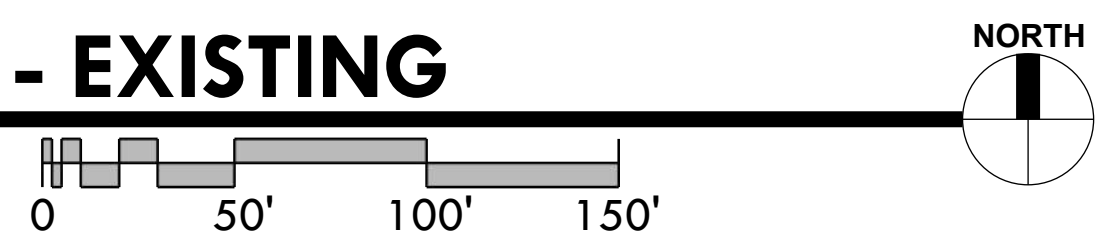
SHEBOYGAN, WI

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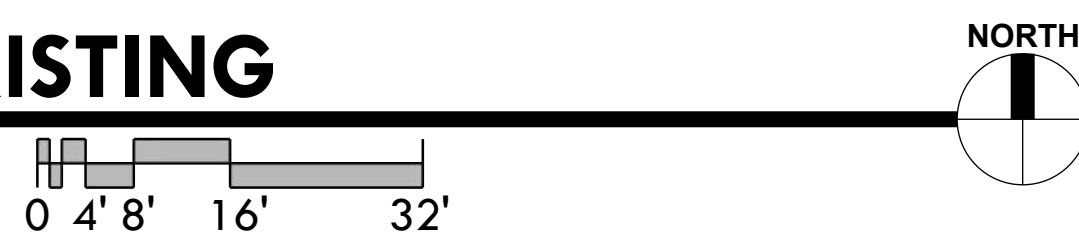
SITE CONTEXT - EXISTING

SCALE: 1" = 50'-0"
@ ORIGINAL SHEET SIZE



SITE PLAN - EXISTING

SCALE: 1/16" = 1'-0"
@ ORIGINAL SHEET SIZE



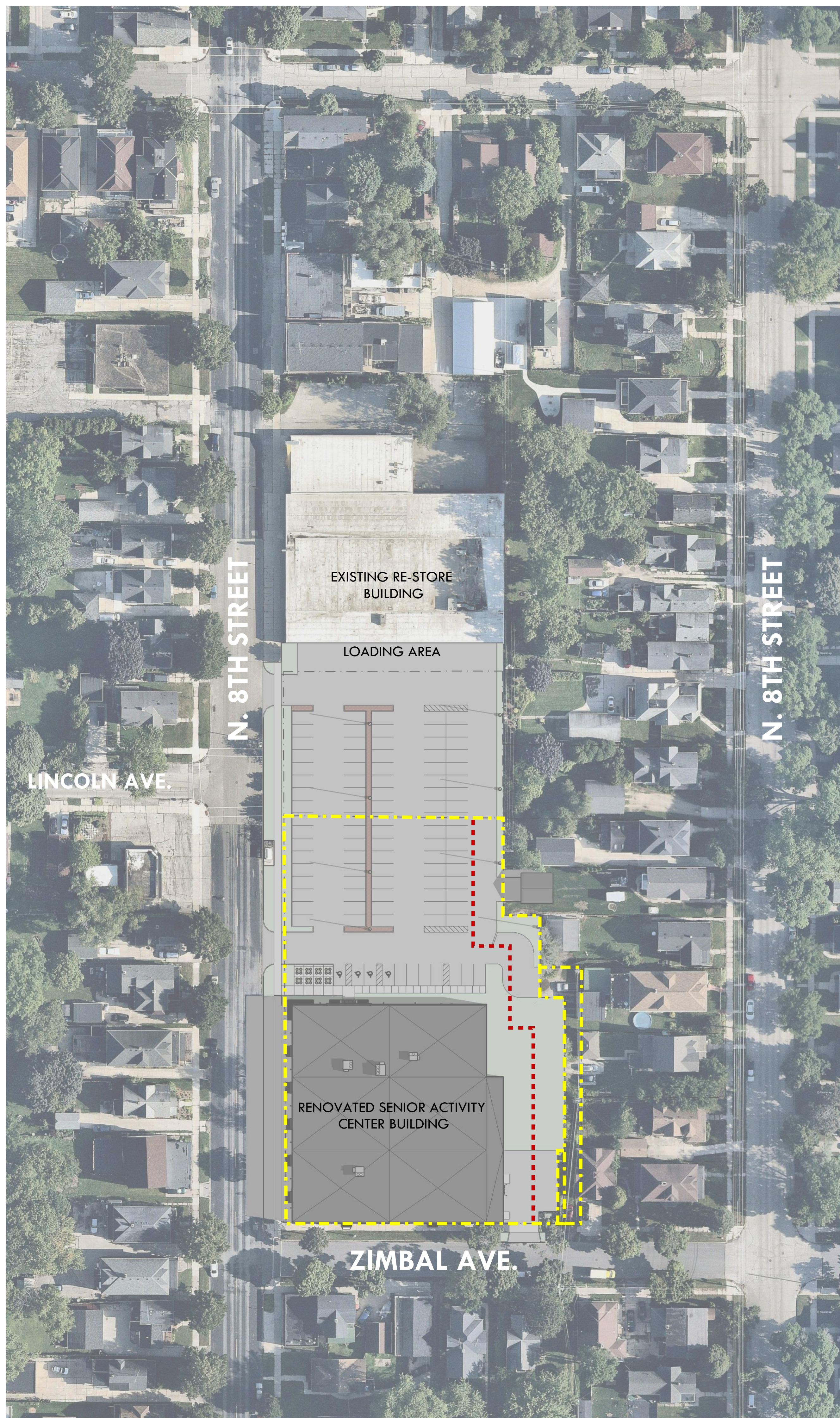
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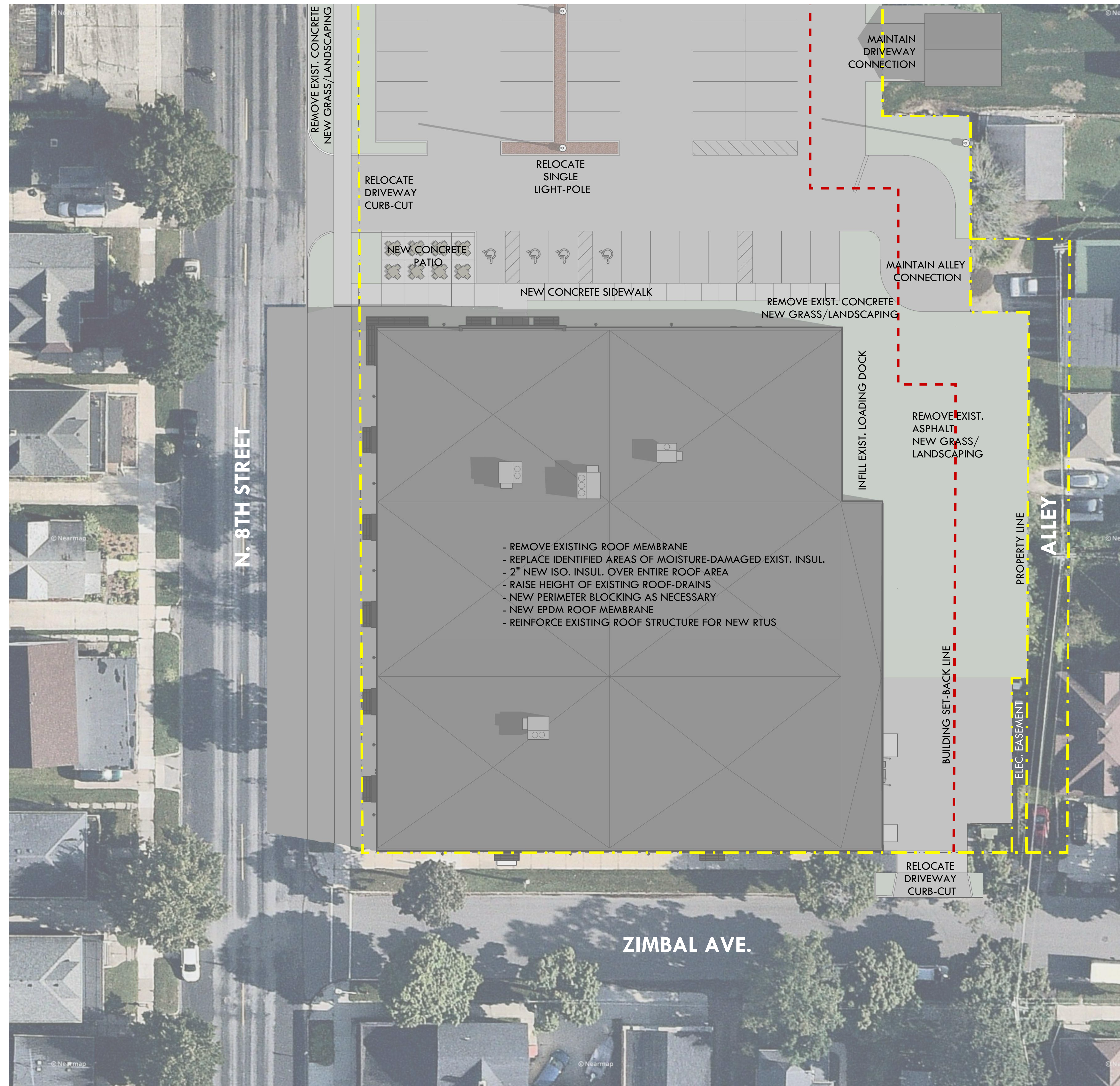
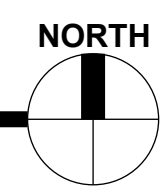
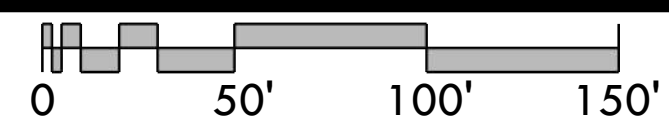
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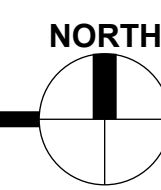
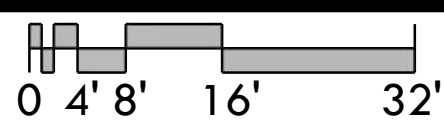
SITE CONTEXT - PROPOSED

SCALE: 1" = 50'-0"
@ ORIGINAL SHEET SIZE



SITE PLAN - PROPOSED

SCALE: 1/16" = 1'-0"
@ ORIGINAL SHEET SIZE



NOTE: CONCEPTUAL SITE PLANS

SEE CITY ENGINEERING PLAN SHEETS FOR ALL CIVIL AND LANDSCAPING INFORMATION

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**RENOVATION OF 1817 NORTH 8TH STREET FOR:
 ACTIVE SENIOR COMMUNITY CENTER**

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TOTAL PARKING:
 107 REGULAR STALLS
 6 HANDICAP STALLS
 113 TOTAL STALLS

**SHEBOYGAN SENIOR CENTER
 PARKING LOT LAYOUT
 ALTERNATIVE 2 - TWO SEPARATE DRIVEWAYS**

**CITY OF SHEBOYGAN
 PUBLIC WORKS**

City of Sheboygan
 Department of Public Works
 Engineering Division
 2026 New Jersey Avenue
 Sheboygan, WI 53081

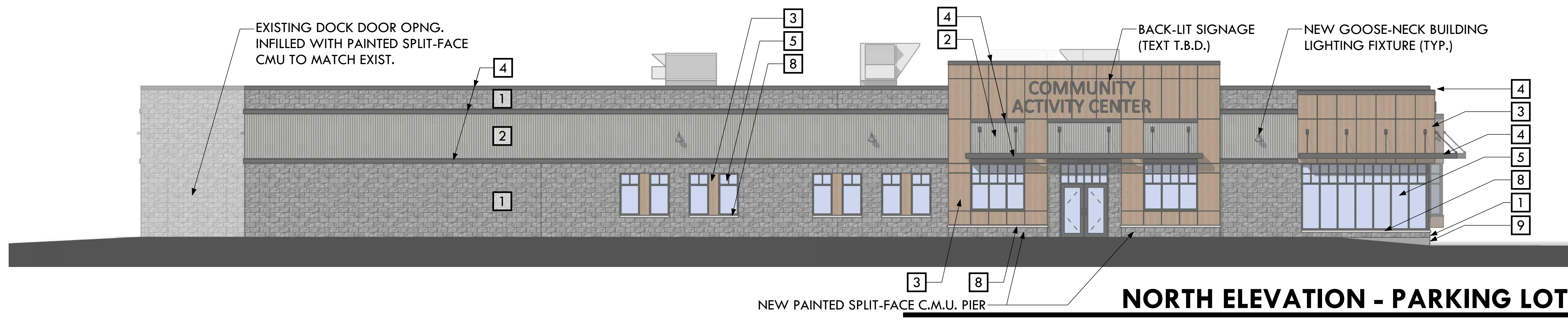
Ryan Sazama, PE - City Engineer

Designed By	TJM
Drawn By	TJM
Checked By	
Plot Date	4/19/2021
Bid No.	NA
Project Date	NA
Sheet No.	1
Drawing No.	PAVMK-2

Revision Number	Revision Description	Drawn By	Date

LEGEND SEE SAMPLE BOARD FOR ACTUAL COLORS

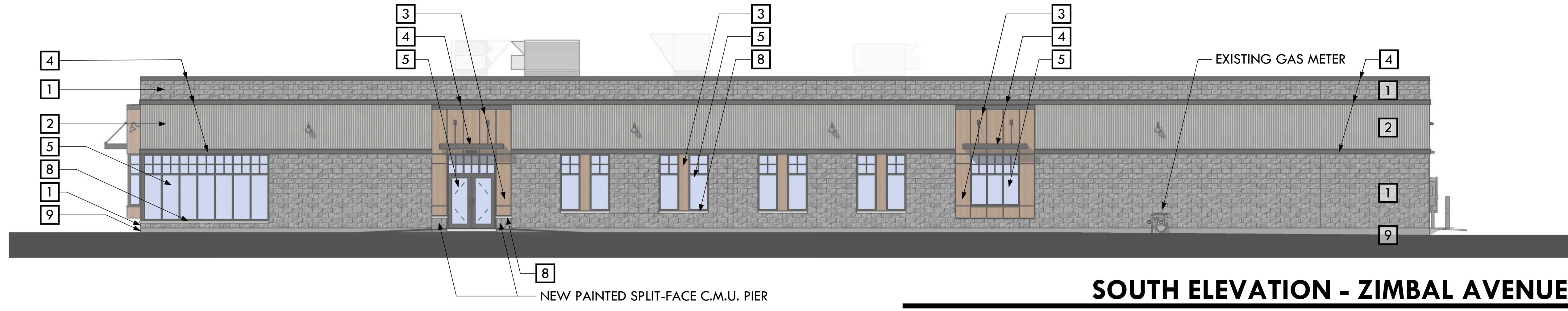
- 1 PAINTED EXIST. SPLIT-FACE C.M.U.
- 2 CORRUGATED METAL SIDING
- 3 WOOD-LOOK PHENOLIC PANELS
- 4 PRE-FINISHED METAL TRIM/FLASHING/ AWNINGS
- 5 LOW-E GLAZING IN DARK BRONZE ANODIZED ALUM. STOREFRONT
- 6 PAINTED EXIST. E.I.F.S. TRIM BAND
- 7 PAINTED EXIST. E.I.F.S. FIELD AREA
- 8 CAST STONE SILLS AT NEW PUNCHED OPENINGS AND TRIM BANDS
- 9 PAINTED EXIST. CONCRETE FNDN.
- 10 PAINTED EXIST. HOLLOW METAL DOOR/FRAME



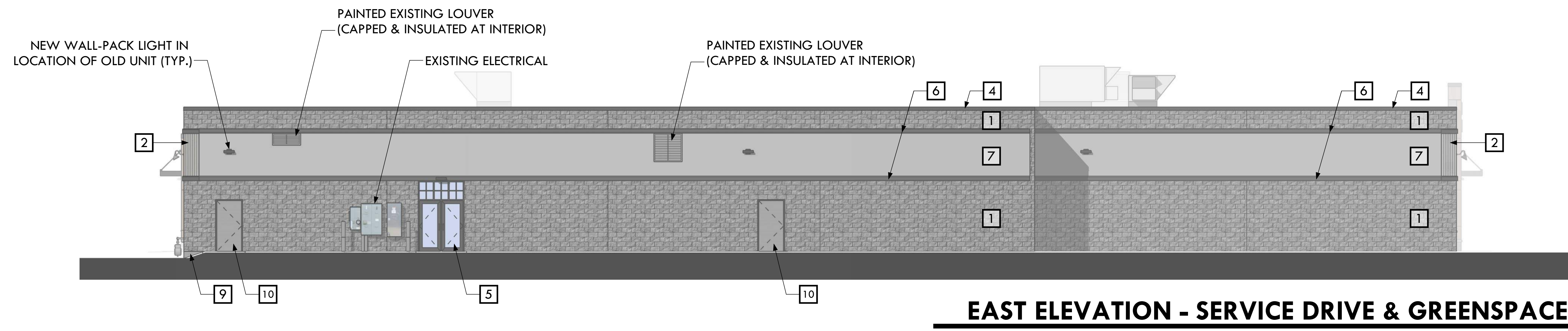
NORTH ELEVATION - PARKING LOT



WEST ELEVATION - N. 8TH STREET



SOUTH ELEVATION - ZIMBAL AVENUE



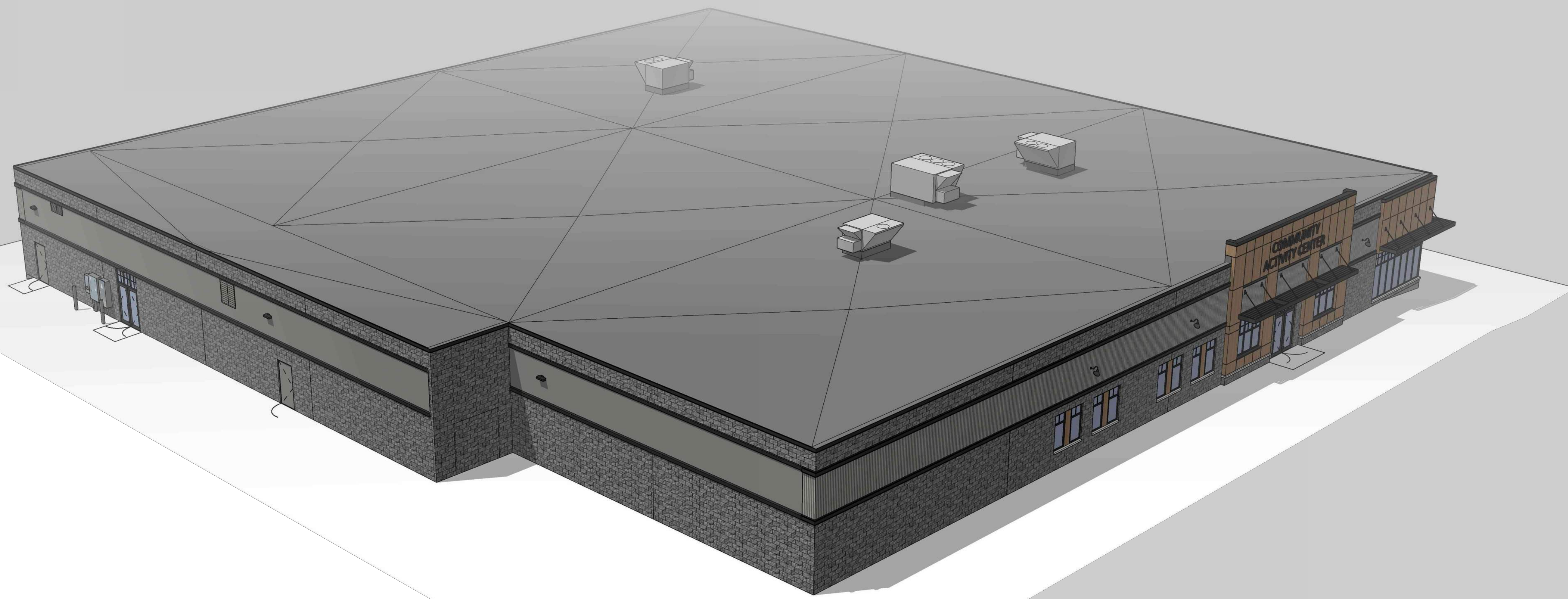
EAST ELEVATION - SERVICE DRIVE & GREENSPACE

NOTES:

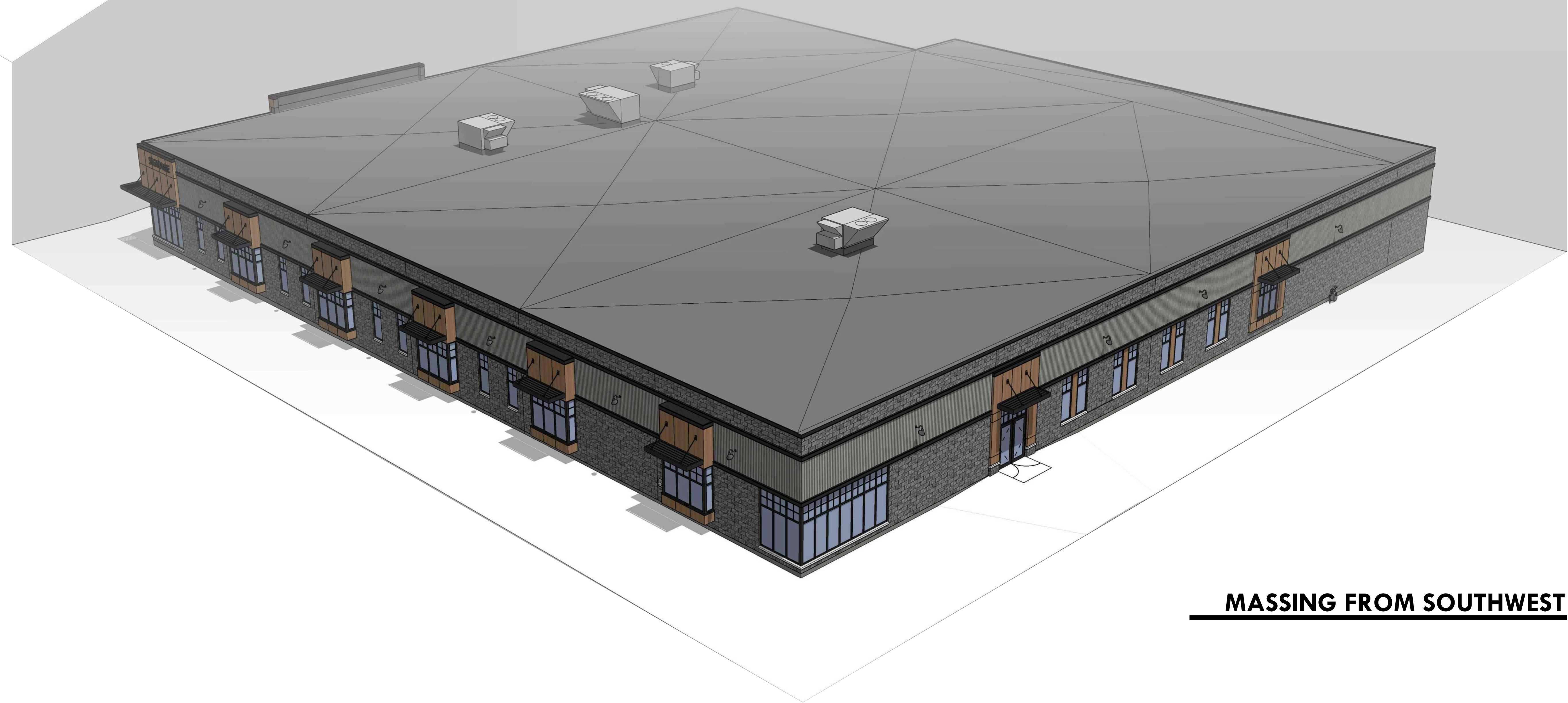
- ROOF-TOP H.V.A.C. UNITS (R.T.U.S) SHOWN IN DISTANCE IN ELEVATION VIEWS
- SEE ROOF PLAN FOR DISTANCE OF R.T.U.S FROM EDGE OF ROOF
- SEE SHEET OF VIEWS TO EVALUATE DISTANCE FROM BUILDING AT WHICH R.T.U.S START TO BECOME VISIBLE
- IF ADDITIONAL R.T.U. SCREENING IS NECESSARY, NEW STRUCTURAL SUPPORTS / ROOF PENETRATIONS WILL BE REQUIRED AT ADDITIONAL COST

BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"
@ ORIGINAL SHEET SIZE 0' 2' 4' 8' 16'



MASSING FROM NORTHEAST



MASSING FROM SOUTHWEST

NOTE:

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**RENOVATION OF 1817 NORTH 8TH STREET FOR:
ACTIVE SENIOR COMMUNITY CENTER**

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VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

VIEWS TO EVALUATE R.T.U. VISIBILITY

VIEWS TAKEN AT STANDING HEIGHT, NOT AT LOWER AUTOMOBILE VISIBILITY HEIGHT

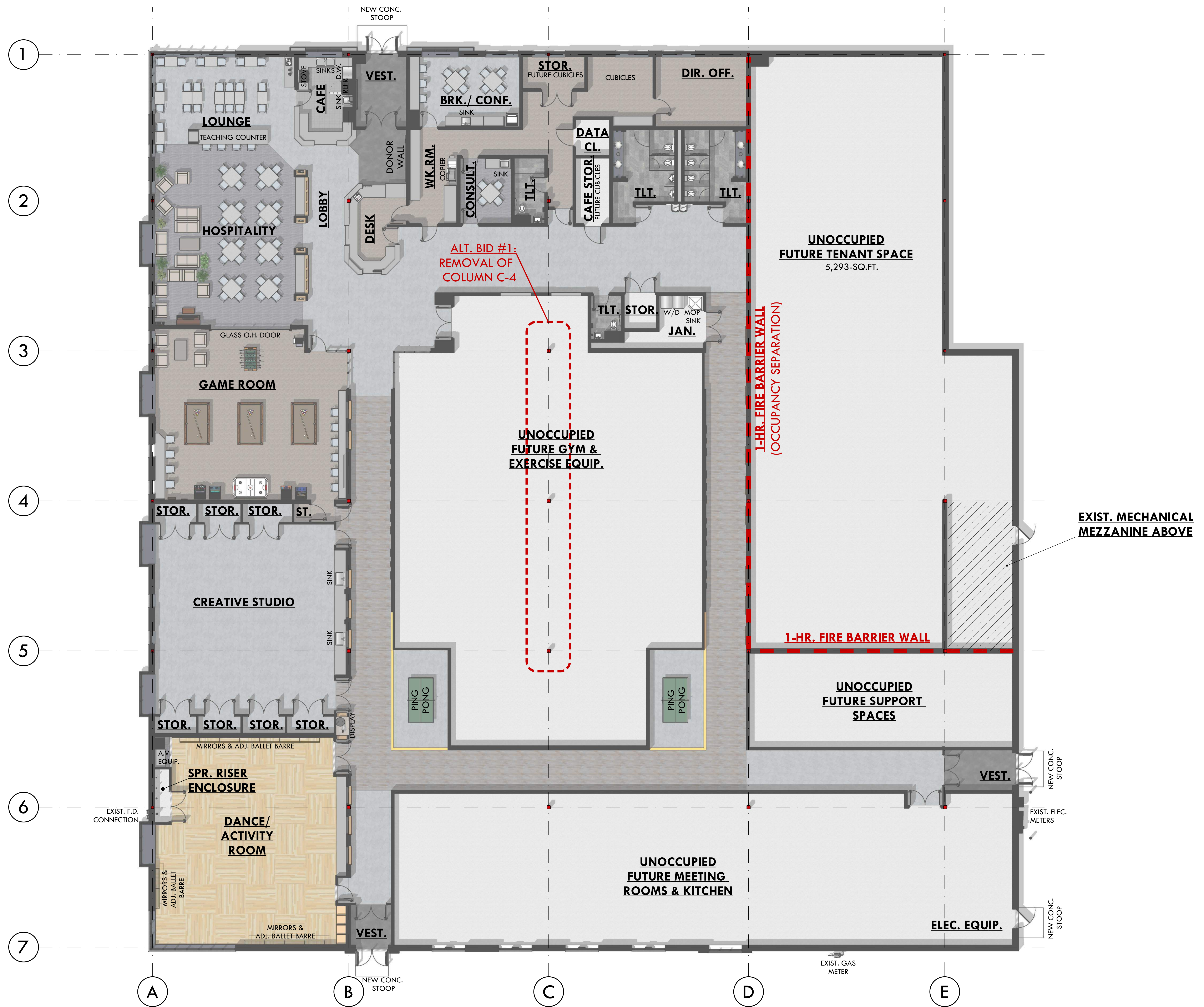
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GROTH Design Group
 GDG #: 20.115
 APRIL 19, 2021

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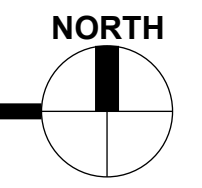
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NOTE:
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FLOOR PLAN

SCALE: 1/8" = 1'-0"
 @ ORIGINAL SHEET SIZE 0' 2' 4' 8' 16'



**RENOVATION OF 1817 NORTH 8TH STREET FOR:
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MAIN ENTRANCE VESTIBULE - LOOKING SOUTH



MAIN ENTRANCE LOBBY - LOOKING SOUTH



MAIN ENTRANCE LOBBY - LOOKING WEST



MAIN ENTRANCE LOBBY - LOOKING NORTHWEST

NOTE:
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 Design
 Group

GDG #: 20.115
 MAY 04, 2021

**RENOVATION OF 1817 NORTH 8TH STREET FOR:
 ACTIVE SENIOR COMMUNITY CENTER
 GYMNASIUM OPTION**

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LOUNGE - LOOKING NORTHWEST



LOUNGE - LOOKING SOUTHWEST



LOUNGE - LOOKING SOUTHWEST - TV DOWN



LOUNGE - LOOKING SOUTH

NOTE:

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GDG #: 20.115
MAY 04, 2021

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ACTIVE SENIOR COMMUNITY CENTER**
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HOSPITALITY - LOOKING SOUTHEAST



HOSPITALITY - LOOKING SOUTH



HOSPITALITY - LOOKING SOUTH



HOSPITALITY FIREPLACE AREA - LOOKING SOUTHEAST



NOTE:

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MAY 04, 2021

**RENOVATION OF 1817 NORTH 8TH STREET FOR:
ACTIVE SENIOR COMMUNITY CENTER**

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HOSPITALITY - LOOKING NORTH - TV DOWN



HOSPITALITY - LOOKING NORTH



HOSPITALITY - LOOKING NORTHEAST



HOSPITALITY - LOOKING NORTHEAST TO CAFE



NOTE:
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RECEPTION DESK - LOOKING WEST



RECEPTION DESK - LOOKING NORTH



RECEPTION DESK - LOOKING SOUTHEAST



RECEPTION DESK - LOOKING SOUTHWEST



NOTE:
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WEST HALLWAY - LOOKING SOUTH



WEST HALLWAY - LOOKING SOUTH



WEST PING-PONG ALCOVE - LOOKING NORTHEAST



EAST PING-PONG ALCOVE - LOOKING NORTHWEST

NOTE:
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GYM / MULTI-PURPOSE ROOM - LOOKING SOUTHEAST



MAIN LOBBY - LOOKING SOUTHEAST



GYM / MULTI-PURPOSE ROOM - LOOKING NORTHWEST



EXERCISE EQUIPMENT ROOM - LOOKING SOUTHWEST

NOTE:

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WEST HALLWAY - LOOKING NORTH



ACTIVITY STUDIO / CREATIVE STUDIO ENTRANCE ALCOVE - LOOKING WEST



ACTIVITY STUDIO / CREATIVE STUDIO ENTRANCE ALCOVE - LOOKING NORTHWEST



CREATIVE STUDIO / GAME ROOM ENTRANCE ALCOVE - LOOKING NORTHWEST



NOTE:
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 Design
 Group
 GDG #: 20.115
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ACTIVITY STUDIO - LOOKING NORTHWEST



ACTIVITY STUDIO - LOOKING NORTHEAST



ACTIVITY STUDIO - LOOKING SOUTHEAST



ACTIVITY STUDIO - LOOKING SOUTHWEST



NOTE:
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CREATIVE STUDIO - LOOKING NORTHWEST



CREATIVE STUDIO - LOOKING NORTHEAST



CREATIVE STUDIO - LOOKING SOUTHEAST



CREATIVE STUDIO - LOOKING SOUTHWEST

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GAME ROOM - VIEW FROM HOSPITALITY ROOM LOOKING SOUTH



GAME ROOM - VIEW FROM FIREPLACE SEATING AREA TO EAST



GAME ROOM - VIEW LOOKING NORTHWEST



GAME ROOM - VIEW LOOKING NORTHEAST

NOTE:

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Design
Group
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**OFFICE AREA
AXONOMETRIC LOOKING SOUTHEAST**



**OFFICE AREA
AXONOMETRIC LOOKING NORTHWEST**

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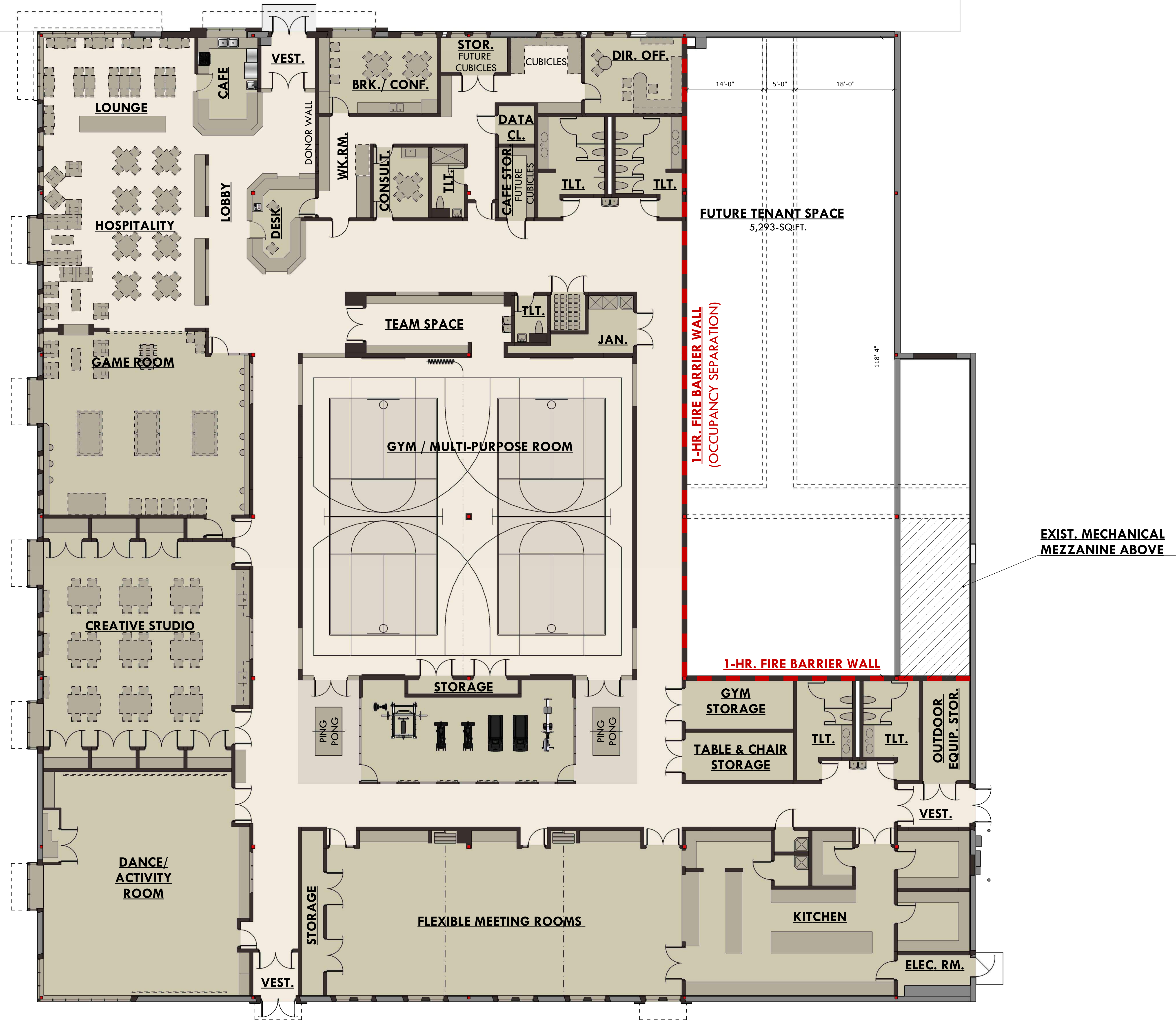
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GYMNASIUM OPTION

SHEBOYGAN, WI

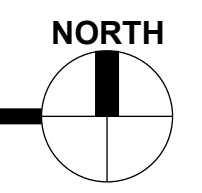
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FLOOR PLAN - FUTURE LAYOUTS

SCALE: 1/8" = 1'-0"
 @ ORIGINAL SHEET SIZE 0 2' 4' 8' 16'



**RENOVATION OF 1817 NORTH 8TH STREET FOR:
 ACTIVE SENIOR COMMUNITY CENTER**

GYMNASIUM OPTION

SHEBOYGAN, WI

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