

*****ATTACHMENTS*****

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Lampert - Lee and Associates, Thomas J. Trzinski, for Time Equities, Inc.

ADDRESS: 10968 Hwy 54 East Wisconsin Rapids, WI 54494

E-MAIL: ttrzinski@lampertlee.com

PHONE: (715) 424-3131 FAX NO. (715) 423-8774

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Taylor Heights Shopping Center/Noodles & Co.

ADDRESS OF PROPERTY AFFECTED: 521 – 581 South Taylor Drive Sheboygan

LEGAL DESCRIPTION: Lot 3 of CSM Recorded in Volume 8 on Page 260 as Document No. 1175983

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Mixed use shopping center and a stand-alone restaurant

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Mixed use shopping center and a stand-alone restaurant, no proposed changes to the existing use.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: See attached.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? _____

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Time Equities, Inc.

ADDRESS: 55 Fifth Avenue 14th Floor New York, NY 10003 **E-MAIL:** gscott@timeequities.com

ARCHITECT: N/A

ADDRESS: N/A **E-MAIL:** N/A

CONTRACTOR: N/A

ADDRESS: N/A **E-MAIL:** N/A

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Thomas J. Trzinski

APPLICANT'S SIGNATURE

March 2, 2021

DATE


PRINT ABOVE NAME

Time Equities, Inc. Conditional Use Permit Application Narrative

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

The owners of the property consisting of the Taylor Heights Shopping Center and the Noodles & Co. building is looking to split the existing parcel into two parcels, one containing the Noodles & Co. restaurant, Lot 2 of the proposed Certified Survey Map, CSM, the remainder of the shopping center on a separate lot, Lot 1 of the proposed CSM. By separating the two existing buildings into two separate lots, the lots become more sellable, a potential buyer could buy one or both lots. The buildings are already operated independently of one another, with each having their own access and utilities via already established ingress/egress easements and utility easements for sanitary sewer, storm sewer and water.

In order to obtain approval and record the Certified Survey Map, CSM, creating the two requested lots a couple of variances to the zoning code are needed and are being requested through the City's Conditional Use Permit process.

The property is zoned Suburban Commercial (SC) which requires a lot size of a minimum of one acre (1 acre) and paving setbacks along the front, rear and side yards. As part of this application we are requesting a variance from the one acre minimum lot size for the proposed Noodles & Co. lot, proposed lot size of 0.588 acres. We are also requesting a variance for the pavement setbacks along the non-street sides of the proposed Noodles & Co. lot. The three sides of the proposed Noodles & Co. lot would have a pavement setback of zero (0') feet.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

The proposed Certified Survey Map and the Conditional Use requested are not changing the current use of the property or changing how the existing parcel is operating. Existing easements for utilities and access have been spelled out in a Reciprocal Easement Agreement, Document No. 1941364 and parking is sufficient on each proposed lot to meet the requirements of the zoning code. The Easement document shows utility and access easements across the adjacent properties serving the numerous properties within the entirety of the shopping complex. The existence of the access easements creates many instances within the entire shopping center of a pavement setback of zero (0') feet and the adjacent parcel to the Southeast does not meet the lot size requirement of one (1) acre.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

The proposed conditional use is not changing the way the existing shopping center is being operated only creating another lot using the same criteria applied to this shopping center and most shopping centers in the City.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

No additional development of this property is being proposed. There will be no additional impact on the neighborhood, changes to the operation of the entire shopping complex or needed improvements by the City.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

With no additional development on the property, the request is maintaining the status quo, therefore not changing the current land use relative to the surrounding properties.

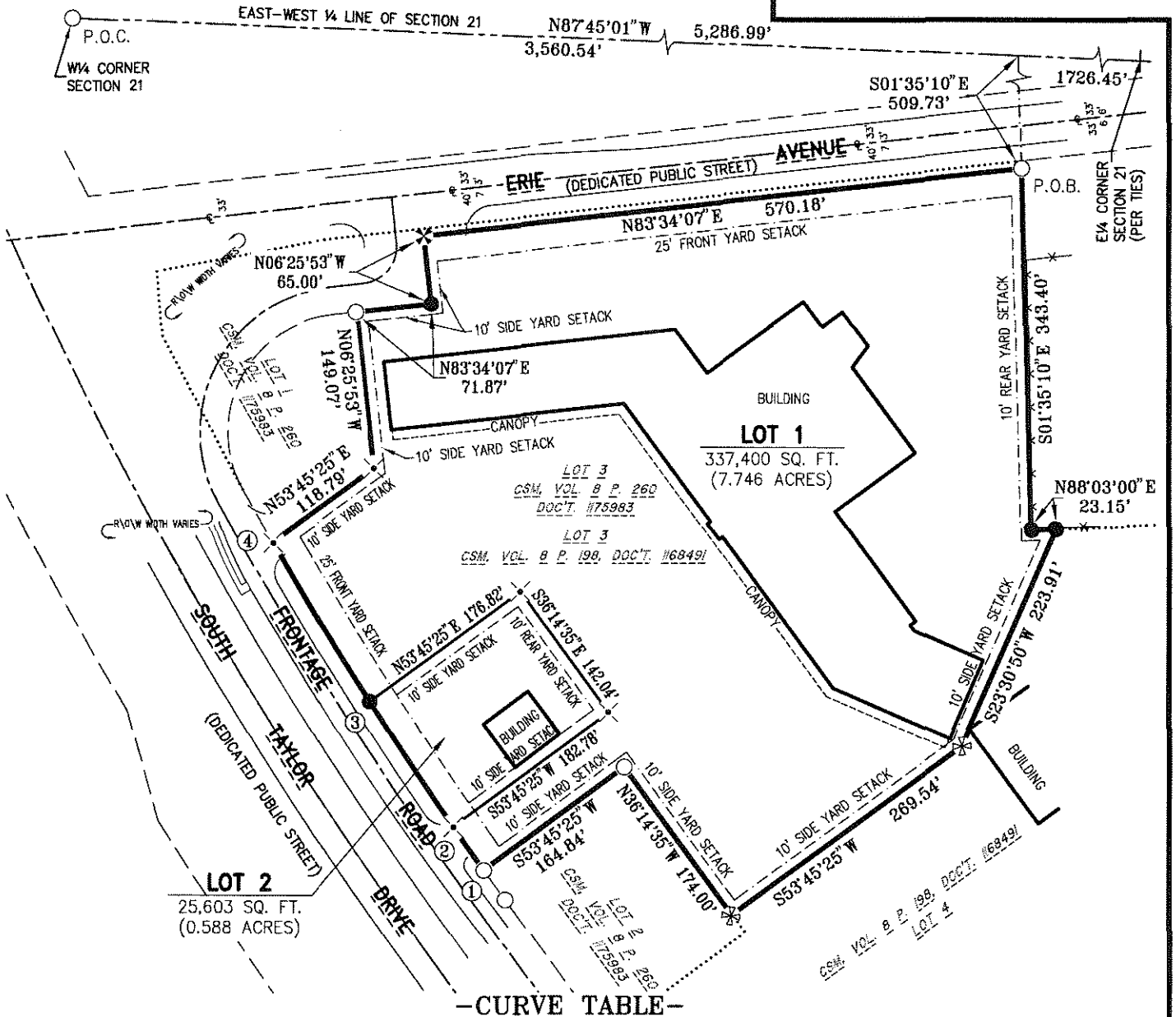
Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

No additional development is being proposed on the property. Both proposed lots, each containing a building are presently served by existing public utilities located within public right-of-ways or existing utility easements.

SHEBOYGAN COUNTY CERTIFIED SURVEY MAP NO. _____

FOR
Time Equities Inc.

All of Lot 3 CSM Recorded in Volume 8 on Page 260,
as Document No. 1175983, Being Part of the NW¼SE¼,
Section 21, T15N, R23E, City of Sheboygan,
Sheboygan County, Wisconsin



- CURVE TABLE -

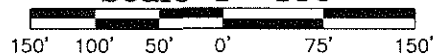
CURVE NO.	LOT NO.	RADIUS LENGTH	CHORD BEARING	TANGENT BEARING	TANGENT BEARING	CENTRAL ANGLE	ARC LENGTH	CHORD LENGTH
1-4		3,719.72'	N32°52'15"W	N35°42'34"W	S30°01'58"E	05°40'36"	368.54'	368.39'
1-2	1	3,719.72'	N35°19'22.5"W	-----	-----	00°46'23"	50.19'	50.19'
2-3	2	3,719.72'	N33°50'28"W	-----	-----	02°11'24"	142.17'	142.16'
3-4	1	3,719.72'	N31°23'22.5"W	-----	-----	02°42'49"	176.18'	176.16'



BASIS FOR BEARINGS:

THE NORTH LINE OF THE S½
OF SECTION 21, T15N, R23E,
ASSUMED TO BEAR N87°45'01"W.

Scale 1" = 150'



LEGEND:

- ⊙ 3/4" ROD FOUND
- 1" O.D. PIPE FOUND
- ✕ CROSS CUT FOUND
- 3/4"x24" REBAR SET-1.502 LB/FT.
- ✕ CROSS CUT IN CONCRETE
- ✕ P.K. NAIL SET
- ** FENCE
- PREVIOUSLY RECORDED AS (000)
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT

Dwg. No. 9191-E-1-A
Project No. 21-026
Drawn By: Pat Pazurek
Date: February 25, 2021
Sheet 1 of 5 Sheets



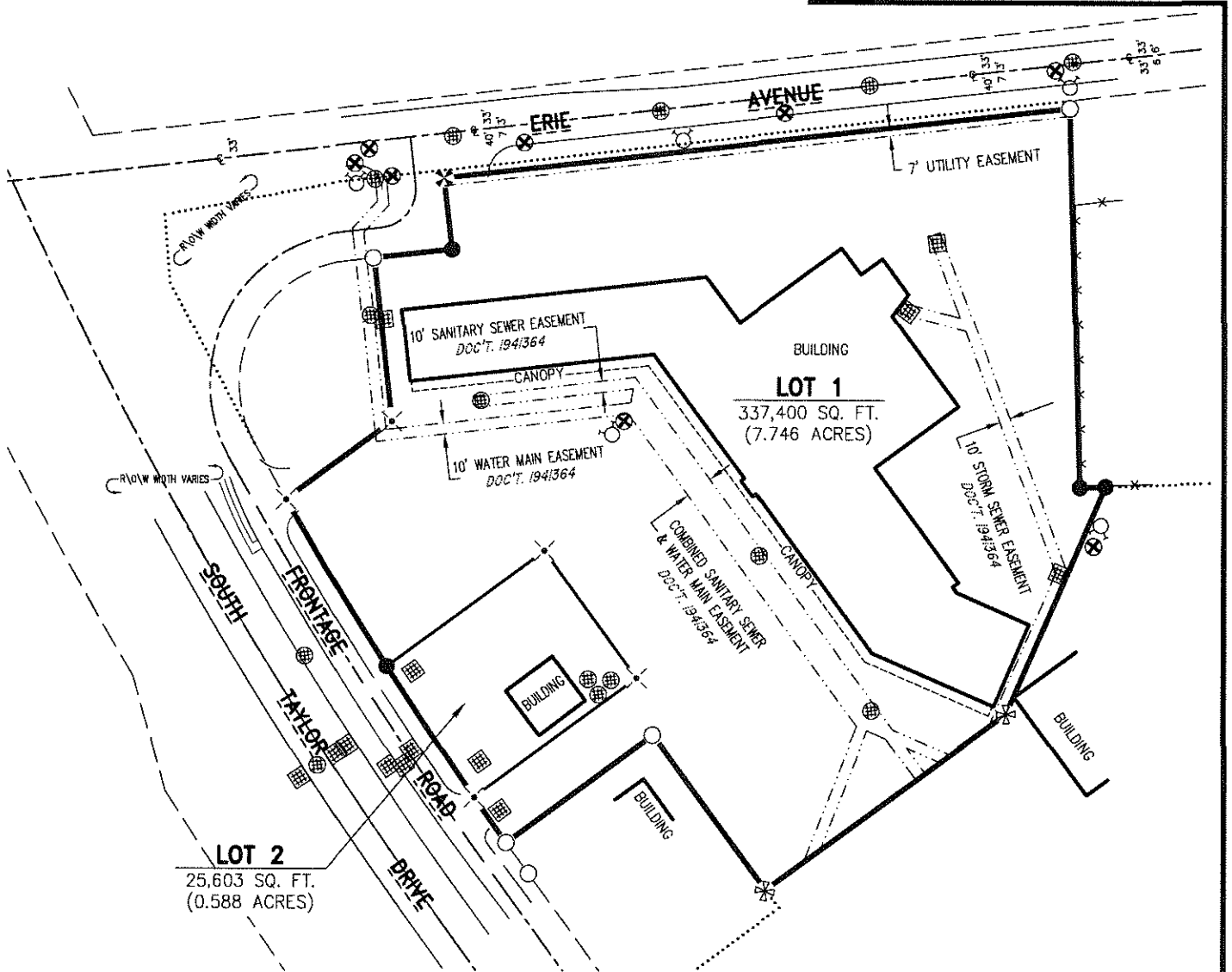
ESP GROUP, INC.
LAMPERT-LEE & ASSOCIATES
ENGINEERS • SURVEYORS • PLANNERS
10968 State Hwy. 54 East • Wisconsin Rapids, WI 54494-8718
715-424-3131 • FAX 715-423-8774

SHEBOYGAN COUNTY CERTIFIED SURVEY MAP NO. _____

FOR

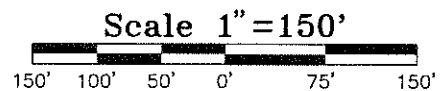
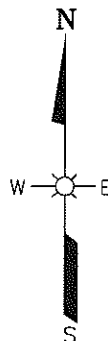
Time Equities Inc.

All of Lot 3 CSM Recorded in Volume 8 on Page 260,
as Document No. 1175983, Being Part of the NW¼SE¼,
Section 21, T15N, R23E, City of Sheboygan,
Sheboygan County, Wisconsin



NOTE:

SEE DOCUMENT NO. 1941364, RECIPROCAL EASEMENT AGREEMENT, EXHIBITS A-F FOR EXTENSIONS OF THE UTILITY EASEMENTS AND THE INGRESS-EGRESS EASEMENTS ACROSS THE ABUTTING PROPERTIES.



LEGEND:

- ⊙ 3/4" ROD FOUND
- 1" O.D. PIPE FOUND
- ⊗ CROSS CUT FOUND
- 3/4"x24" REBAR SET-1.502 LB/FT.
- ⊗ CROSS CUT IN CONCRETE
- ⊗ P.K. NAIL SET
- ⊕ MANHOLE
- HYDRANT
- ⊗ WATER MAIN VALVE
- ⊠ CATCH BASIN
- ⊗ FENCE
- ⋯ PREVIOUSLY RECORDED AS (000)

Dwg. No. 9191-E-2-A
Project No. 21-026
Drawn By: Pat Pazurek
Date: February 25, 2021
Sheet 2 of 5 Sheets

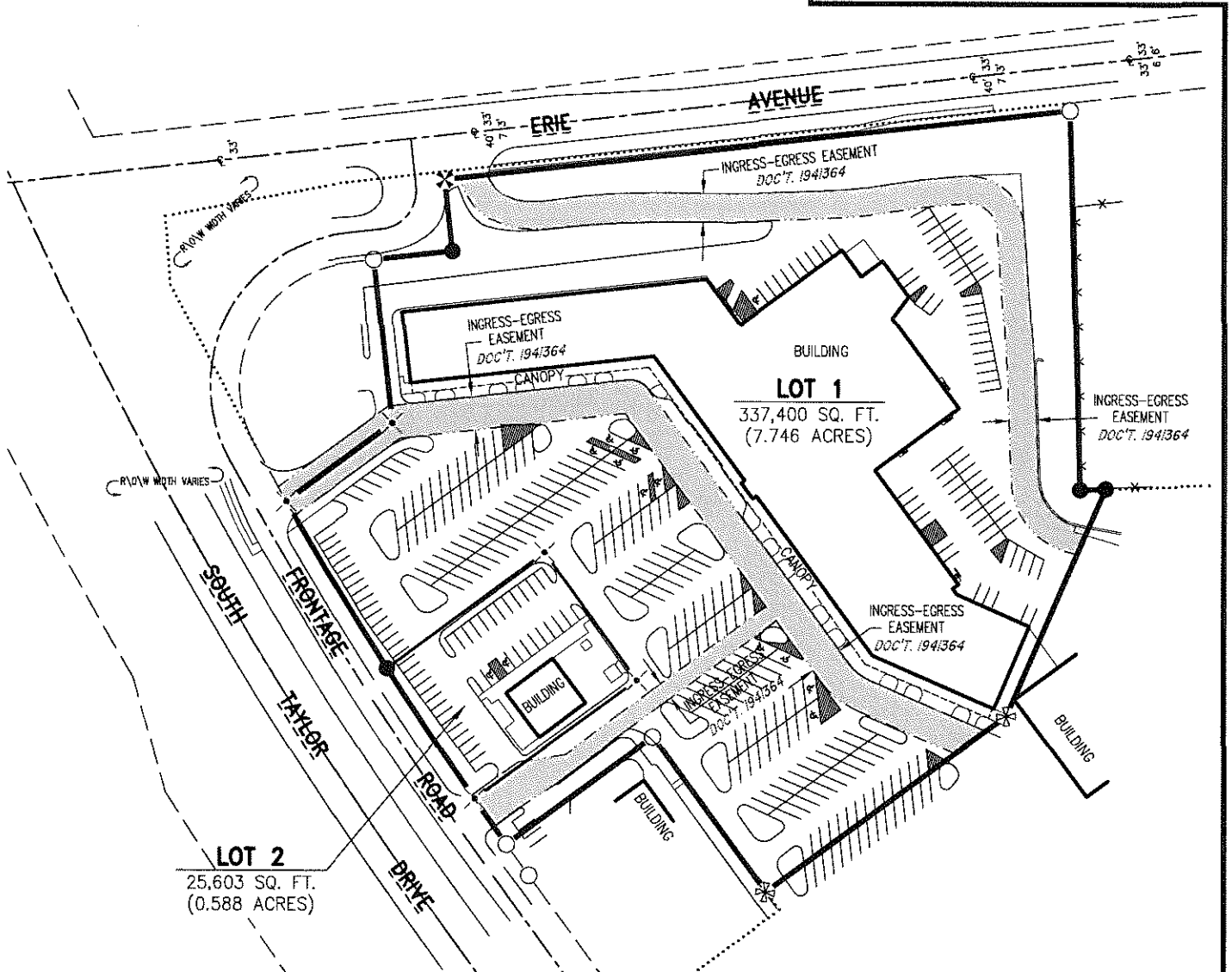


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SHEBOYGAN COUNTY CERTIFIED SURVEY MAP NO. _____
 FOR

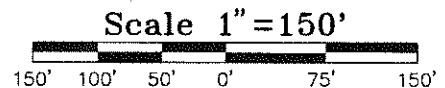
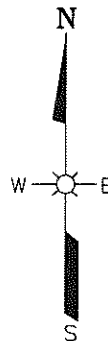
Time Equities Inc.

All of Lot 3 CSM Recorded in Volume 8 on Page 260,
 as Document No. 1175983, Being Part of the NW $\frac{1}{4}$ SE $\frac{1}{4}$,
 Section 21, T15N, R23E, City of Sheboygan,
 Sheboygan County, Wisconsin



NOTE:

SEE DOCUMENT NO. 1941364, RECIPROCAL EASEMENT AGREEMENT, EXHIBITS A-F FOR EXTENSIONS OF THE UTILITY EASEMENTS AND THE INGRESS-EGRESS EASEMENTS ACROSS THE ABUTTING PROPERTIES.



LEGEND:

- ⊙ 3/4" ROD FOUND
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- ⊗ P.K. NAIL SET
- ⊗ FENCE
- ⊗ PREVIOUSLY RECORDED AS (000)
- ▨ INGRESS-EGRESS EASEMENT AREAS PER DOC'T 1941364

Dwg. No. 9191-E-3-A
 Project No. 21-026
 Drawn By: Pat Pazurek
 Date: February 25, 2021
 Sheet 3 of 5 Sheets



ESP GROUP, INC.
LAMPERT-LEE & ASSOCIATES
 ENGINEERS • SURVEYORS • PLANNERS

10968 State Hwy. 54 East • Wisconsin Rapids, WI 54494-8718
 715-424-3131 • FAX 715-423-8774

SHEBOYGAN COUNTY CERTIFIED SURVEY MAP

All of Lot 3, CSM Recorded in Volume 8 on Page 260 as Document No. 1175983, Being Part of the NW1/4SE1/4, Section 21, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin

**STATE OF WISCONSIN)
SHEBOYGAN COUNTY)^{SS}**

I, Thomas J. Trzinski, Professional Land Surveyor, hereby certify:

That I have surveyed and mapped the property described and represented on this certified survey map.

That I have made such survey and map by the direction of Grant Scott of Time Equities, Inc.

That such survey and map is a correct representation of the exterior boundaries of the land surveyed, described as:

All of Lot 3, CSM Recorded in Volume 8 on Page 260 as Document No. 1175983, Being Part of the NW1/4SE1/4, Section 21, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin, containing 363,003 square feet or 8.334 acres.

That I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and Appendix C, Subdivision Code, of the City of Sheboygan Code of Ordinances in surveying, dividing and mapping the same.

Dated this 1st day of March, 2021.

**Thomas J. Trzinski
Professional Land Surveyor, S-2636**

SHEBOYGAN COUNTY CERTIFIED SURVEY MAP

All of Lot 3, CSM Recorded in Volume 8 on Page 260 as Document No. 1175983, Being Part of the NW1/4SE1/4, Section 21, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin

CORPORATE OWNER'S CERTIFICATE OF APPROVAL

Time Equities, Inc., a corporation duly organized and existing under and by virtue of the laws of the State of New York, as owner, does hereby certify that said corporation caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this certified survey map.

Time Equities, Inc., does further certify that this certified survey is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of Sheboygan Common Council

In witness whereof, the said Time Equities, Inc. has caused these presents to be signed by Grant Scott, Senior Associate, Nation Retail, at _____, New York, on this _____ day of _____, 2021.

In the presence of:

Time Equities, Inc.

Grant Scott, Senior Associate, National Retail

STATE OF _____)
_____ COUNTY)^{SS}

Personally came before me this _____ day of _____ 2021, Grant Scott, Senior Associate, National Retail, of the above named corporation, to me known to be the person who executed the foregoing instrument and that they executed the foregoing instrument per the deed of said corporation, by its authority.

Notary Public, _____ County, State of _____

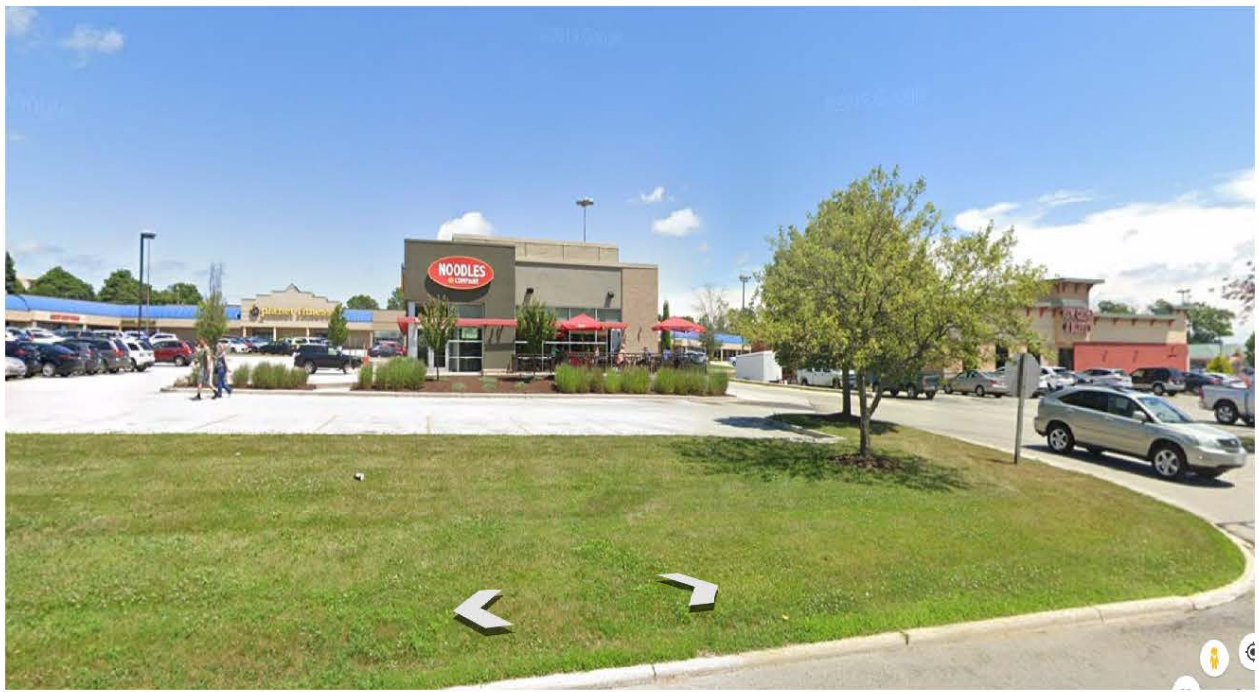
My commission expires _____

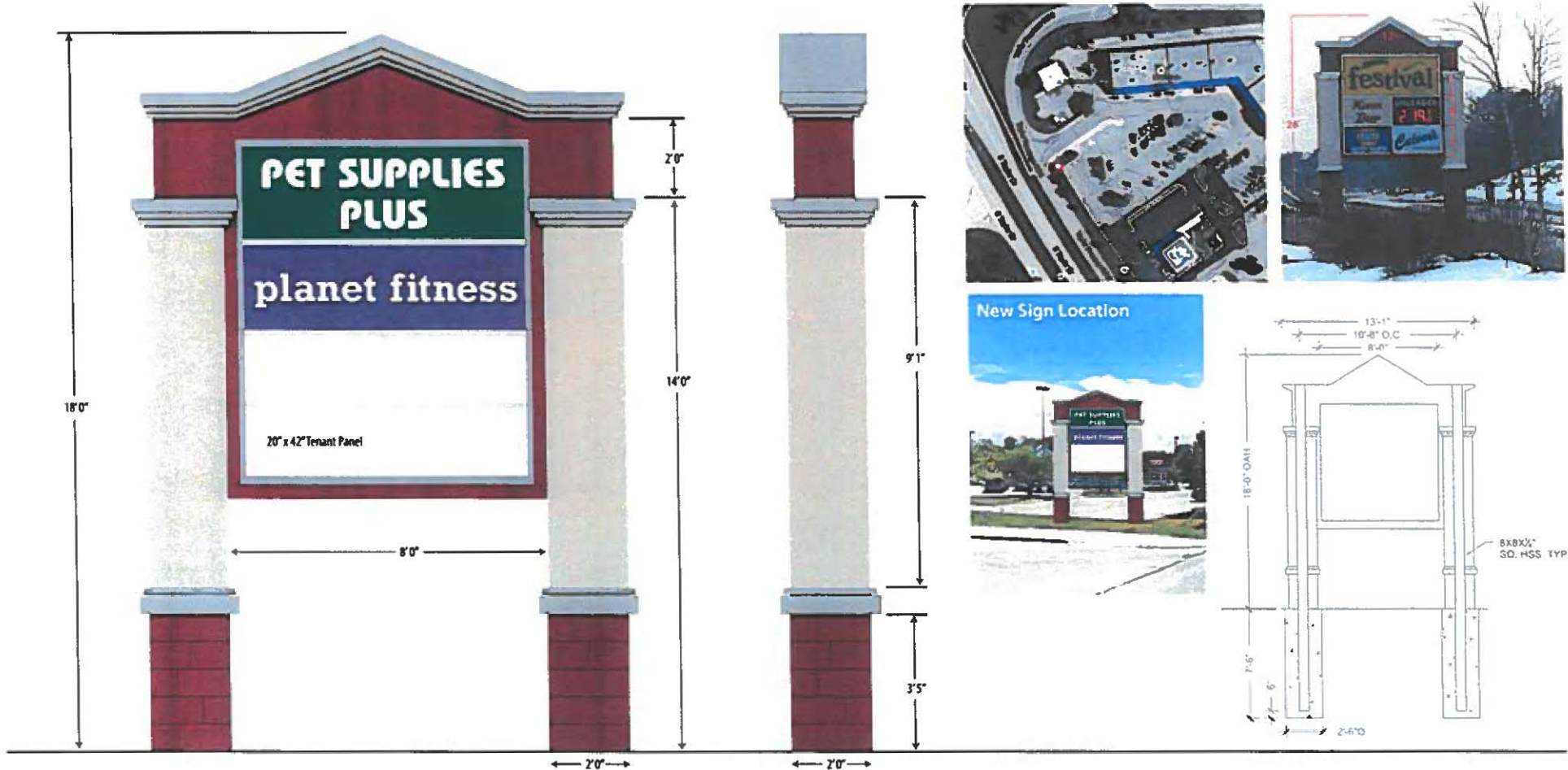
CITY OF SHEBOYGAN COMMON COUNCIL APPROVAL CERTIFICATE

This Certified Survey Map has been reviewed and approved by the City of Sheboygan Common Council.

Certified this _____ day of _____, 2021.

Michael Vandersteen, City of Sheboygan M





Client
**Taylor Heights
 Monument**
 EST/ORD #
 EST - 5570

Size 1 2 3 4 5 88
 Sides S/S D/S
 Quantity

Materials & Specs
 Pylon / Monument
 LED Illuminated Cabinet Boxes
 Translucent Graphics
 Painted Trim & Pole Covers w/ Texture Paint
 Block Lower Pole Bases - Painted

Colors
 Red
 Beige
 White
 Green
 Purple

Project Manager
 Brad H.
 Designer - Date
 Nick Mason
 11/9/2020



CITY OF SHEBOYGAN

REQUEST FOR LICENSING, HEARINGS AND PUBLIC SAFETY CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions and Certified Survey Map by 645 South Taylor Owner Equities, LLC to create a new Noodles parcel at Taylor Heights Shopping Center located at 549 S. Taylor Drive. SC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 19, 2021

MEETING DATE:

March 23, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes:
Municipal Code: N/A

BACKGROUND / ANALYSIS:

645 South Taylor Owner Equities, LLC is proposing to create two (2) parcels of property at their Taylor Heights Shopping Center property located at 549 S. Taylor Drive. The applicant states the following:

- The owner has submitted a Certified Survey Map (CSM) proposing to create two (2) parcels – one (1) for the Taylor Heights Shopping Center and one (1) for the Noodles and Company Restaurant.
- Lot 1 – is proposed to be 7.7 acres and will include a majority of the property that includes the main Taylor Heights Shopping Center facility, parking lot, etc.
- Lot 2 – is proposed to be .59 acres and includes the Noodles and Company Restaurant at 555 S. Taylor Dr.
- From a use perspective everything will remain as is and nothing is changing.

STAFF COMMENTS:

The applicant has included a note on the CSM referencing a previous reciprocal easement agreement pertaining to shared parking, access, utilities, etc. This note will also cover the creation of the new lots and will incorporate those easements and agreements.

An issue that will need to be addressed prior to the City signing the CSM pertains to the recent installation of a new pylon sign. Taylor Heights Shopping Center recently received approval for a new pylon sign. However, the pylon sign was not constructed as the sign was submitted an approved. Thus, the owner and/or sign company will construct the pylon sign as approved prior to the City signing the CSM.

The applicant is requesting the following variances:

- Requesting a variance to have a zero (0) foot sideyard paving setback along the new common property lines - The minimum side yard paving setback is five (5) feet.

A shared parking and access agreement will need to be shown on the proposed CSM.

- Requesting a variance to exceed the .5 footcandles at the common property lines – Maximum permitted .5 footcandles at the property line.

Based on the existing layout and lighting configuration it is likely that lighting at the common property lines may now exceed .5 footcandles.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit, exceptions and CSM subject to the following conditions:

1. Applicant shall submit a Certified Survey Map (CSM) that meets the City of Sheboygan Subdivision Ordinance.
2. Prior to the City signing the proposed CSM, the applicant will provide all shared agreements between proposed Lot 1 and Lot 2 (parking, access, signage, storm drainage, landscaping, utilities, etc.).
3. Prior to the City signing the proposed CSM, the applicant shall construct the pylon sign as submitted by the sign company and as approved by the City of Sheboygan.
4. If there are any amendments to the approved CSM, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application, CSM and required attachments.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions and Certified Survey Map by SmitCo Eateries, Inc. to create new lots and construct/operate a Popeyes Drive Thru Restaurant at 3207 S. Business Drive (former Ryder Truck). UC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 19, 2021

MEETING DATE: March 23, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes:
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Smits Eateries, Inc. is proposing to construct a new Popeyes Restaurant at 3207 S. Business Drive (former Ryder Truck facility). The applicant states the following about the project:

- Smits Eateries, Inc. is proposing construction of a 2,600sf Popeyes Restaurant on a newly created parcel at the former Ryder Truck facility.
- Popeyes, also known as Popeyes Louisiana Kitchen, is a fast food restaurant chain originally from Louisiana that mainly sells fried chicken. Some of the most popular chicken dishes include the famous Popeyes chicken sandwich, wings, tenders, nuggets, and legs, but you can also find popcorn shrimp and a variety of sides like mashed potatoes with gravy, Cajun fries, Cajun rice, green beans, and biscuits on their menu.
- Popeyes will be open daily from 10:30 AM – 10 PM.
- The anticipated number of employees is 12-15 per shift with 2 shifts daily.
- The anticipated number of customers is 300 per day or 2,000 per week. This site was selected due to its prominent location on S. Business Drive.
- Weekly deliveries will include two (2) from Sysco (main deliveries) and two (2) from WPS (just poultry). A delivery loading zone is proposed in the rear (east side) of the facility, and an adjoining access easement is proposed for routing delivery trucks through the south

drive entrance and into the loading zone. Deliveries typically occur prior to opening between 8AM and 11AM.

Specific site improvements include:

- The proposed restaurant will be 2,600sf in size.
- Provided parking spaces is 32. Required spaces is 32.
- The existing north driveway will be utilized for site access with the existing curb cut and approach remaining in its current state.
- There will be a shared access agreement with the new lot to the south to provide for shared access between the two (2) properties.
- Sidewalk within the right-of-way along S. Business Drive is remaining unchanged. Private sidewalk around the building is proposed to allow access for customers to the main entrance doors.
- Constructing drive thru menu boards, canopies, curbs, etc.
- A waste enclosure is proposed to the northeast of the building. Applicant indicates there will be no outdoor sales and/or storage.
- Stormwater from the site will be directed to onsite storm sewer which will drain to the existing storm sewer located on the south property.
- Landscaping will be provided in accordance with the City ordinance, in an approach which ensures species resiliency and complimentary aesthetics.
- Site lighting will meet the City ordinance in a fashion that provides appropriate light intensity for safety with cut-off fixtures for minimal light trespass.

The applicant states the following about the restaurant architecture:

- Most of the existing buildings near the proposed development are constructed with brick, EIFS and fiber cement. The proposed development follows suit with this exterior façade.
- The front elevation facing S. Business drive is roughly half EIFS and half fiber cement in a wood look vertical panel.
- The side elevations have “brick” towers that will be fiber cement along with the rest being constructed out of EIFS. Awnings and the brick towers provide relief from having a continuous material elevation.
- The buildings primary colors are white and brown with the Popeyes Brand Orange and Red providing accents.
- Three (3) roof top mechanical units to be screened by building parapets.
- The waste enclosure will be constructed out of split faced block painted to match the building along with black composite wood gates.

The applicant states the following about signage:

- A ground mounted monument sign is proposed to the west of the proposed building.
- Building signage will be included on the front elevation as you enter the property from S Business Drive.
- Building signage will also be located above the main entrance as you enter the restaurant.

The applicant has provided a Certified Survey Map (CSM) that creates two (2) lots:

- Lot 1 – is proposed to be 1.8 acres and will include the new Popeyes Restaurant.
- Lot 2 – is proposed to be 2 acres and will be available for future development.

- The two (2) lots will likely share access and utilities so there will need to be agreements/easements in place for shared access utilities, etc.

Other general information about the project:

- Construction is planned to commence as soon as possible with an opening in mid-July.
- Redevelopment of the former Ryder Truck property, will upgrade the property and will increase the City's tax base. This is estimated to be a \$1.2 million investment.
- The applicant believes that Popeyes will add another vibrant business and attractive building to this section of the S. Business drive commercial corridor.
- Founded in 1972, Popeyes® has more than 40 years of history and culinary tradition. Popeyes® owes its beginnings to entrepreneur and culinary innovator, Al Copeland. With one small restaurant and a big idea, Copeland introduced the New Orleans–style fried chicken that has now made the brand famous throughout the world. Popeyes® culinary heritage is built upon the rich Cajun and creole flavor profiles that are unmistakably Louisiana. We continuously draw upon and celebrate this heritage to inspire new, authentic menu creations the world craves. Popeyes distinguishes itself with a unique New Orleans style menu featuring spicy chicken, chicken tenders, fried shrimp and other regional items. This unique and flavorful food has allowed Popeyes to become one of the world's largest chicken quick service restaurants, with over 2,700 restaurants in the U.S. and around the world.

STAFF COMMENTS:

Applicant will be demolishing existing Ryder Truck facilities located on the north side of the property to construct the new drive thru restaurant. The property will need to be in a dustless condition if construction of the restaurant does not immediately take place.

Access to the site is proposed to come from the existing S. Business Drive driveway and will also have a shared access agreement with the new Lot 2 parcel to the south.

The applicant shows conceptual signage and no other sign information. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

How does the Plan Commission feel about the conceptual "Love that Chicken" tag line signage on the "Main Entry" south side of the building? It would appear that a Popeyes individual letter sign and/or logo would be more appropriate. The Plan Commission should have the applicant can explain this proposed signage.

Presently the property is one (1) parcel (Parcel #'s 59281431170). The applicant will be required to create the parcels as proposed and show that they own the new lot prior to building permit issuance. If there are any changes to the parcels or site plan those would need to come back to the Plan Commission for review/approval.

Appears there are some contaminated soils on the east end of the property that are intended to remain covered/capped with concrete. Maybe the applicant can address what is taking

place on the east end of the property and the timeframe for those contaminants to be mitigated. Once mitigated staff would like to see this property landscaped and/or grassed instead of remaining paved surface.

There is a six (6) foot chain link fence on the north side of the property running from east to west. Is this on the Popeye's parcel or the parcel to the north? If on the Popeye's property is this fence being removed?

There is a bit of miscellaneous pallets along the east property line that the applicant will be required to clean up.

What will be the status of the property to the south – will that remain hard surfaced with the old Ryder Truck building?

The Plan Commission may want the applicant to explain the following:

- A little explanation about the Popeyes Menu?
- How did Popeyes select Sheboygan?
- Explanation of drive thru business compared to sit down business.

The proposed Popeyes Restaurant is a nice redevelopment on this former Ryder Truck property and appears to be a nice fit with many of the other commercial restaurants and retail/service establishments located along S. Business Drive. Creating the 2nd parcel will also allow for future commercial development of this property.

Applicant is requesting the following exceptions:

- Requesting a paving variance to be zero (0) feet to the south property line – minimum paving setback is five (5) feet.
- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational and bufferyard landscaping requirements.

ACTION REQUESTED:

Staff recommends approval of the conditional use and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary razing permits for all structures to be demolished. Once structures have been demolished, the applicant will maintain the site(s) in a clean and dust free condition.
3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance. If properties are sharing stormwater facilities, the proper agreements/easements shall be officially documented and recorded prior to building permit issuance.
4. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met

- (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
5. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
 6. Outdoor storage of materials, products or equipment shall be prohibited.
 7. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
 8. Any unused mechanical boxes, equipment, etc. shall be removed from the site.
 9. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
 10. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
 11. Applicant shall install individual letter signs – no cabinet or flat panel signs.
 12. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is eight (8) feet.
 13. All areas used for parking/maneuvering of vehicles shall be paved.
 14. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
 15. The parking lot and drive-through facilities shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.
 16. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
 17. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
 18. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
 19. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
 20. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
 21. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
 22. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
 23. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
 24. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to water and sewer.
 25. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.

26. The Conditional use permit is approved if and only if the City of Sheboygan Department of City Development and/or Planning Commission approve the Certified Survey Map (CSM) reconfiguring lot lines and/or creating the parcels as proposed.
27. City Development staff will sign the proposed CSM only if the proposal exactly matches the approved development plan/property layout. If there are any amendments to the approved site plan and/or parcel configuration, the applicant will have to submit an amended conditional use permit for review by the City of Sheboygan Plan Commission that accurately reflects any and all changes.
28. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, shared access, parking, stormwater facilities, utilities, etc. This easement document shall be officially recorded by Sheboygan County.
29. Building permits will only be issued at such time as the applicant can provide documentation from Sheboygan County that the CSM has been officially recorded and the applicant can demonstrate that they are the owner of newly created lot.
30. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
31. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments

PARCEL NO. 431170
MAP NO. _____
ZONING CLASSIFICATION: UC

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: 3/23/21

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: SmitCo Eateries, Inc - Marc Rodriguez

ADDRESS: 155 E Fantinel Dr, Suite D, Springdale, AR E-MAIL: MRodriguez@smitcoinc.com

PHONE: (479) 422-6985 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Popeyes Sheboygan

ADDRESS OF PROPERTY AFFECTED: 3207 S Business Dr, Sheboygan, WI

LEGAL DESCRIPTION: See attached

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____

Truck rental/repair.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: _____

Quick-Serve Restaurant with Double Drive-Through. See attached narrative.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: _____

See attached narrative.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? _____

See attached narrative.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

See attached narrative.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

See attached narrative.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

See attached narrative.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Ryder Truck Rental Inc

ADDRESS: PO Box 25719, Miami, FL 33102-5719 **E-MAIL:** _____

ARCHITECT: Excel Engineering, Inc - Tom Schermerhorn

ADDRESS: 100 Camelot Dr, Fond du Lac, WI **E-MAIL:** tom.s@excelengineer.com

CONTRACTOR: Bayland Buildings - Nate Roberts

ADDRESS: PO Box 13571, Green Bay, WI 54307-3571 **E-MAIL:** nroberts@baylandbuildings.com

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Marc Rodriguez

APPLICANT'S SIGNATURE

Marc Rodriguez

PRINT ABOVE NAME

Feb 26, 2021

DATE

March 2, 2021

CUP Project Description

PROJECT NAME AND ADDRESS:

Popeyes Louisiana Kitchen
3207 S Business Dr
Sheboygan, Wisconsin 53081

PARCEL INFORMATION/ZONING CLASSIFICATION/SITE DATA

- The parcel is defined as tax parcel 59281431170
- UC-Urban Commercial District
- Total Lot area is 164461 SF (prior to CSM)

EXISTING SITE CONDITIONS/LAND USE:

- The property is currently owned by Ryder Truck Rental Inc and functioned as a truck rental/repair facility. The facility is currently vacant and the north building will be demolished, with the south building remaining until that site is redeveloped. The existing site is 83.1% impervious.

PROPOSED LOT CREATION (ACCESS EASEMENTS, UTILITY EASEMENTS, STORMWATER EASEMENTS):

- The existing parcel (1.81 acres) will be split into two (2) lots via Certified Survey Map. The draft Certified Survey Map is included in the CUP submittal package.
- The proposed North Lot 1 development is a Popeyes Louisiana Kitchen quick-serve restaurant with double drive-thru.
- The contaminated soil area is contained solely on the north property with the south future development property having no contamination.
- Development plans for the South Lot 2 is undetermined at this time, however, the potential plan is for a restaurant or multi-tenant retail development. The existing building is to remain at this time until future redevelopment of the site.
- A cross-access easement is proposed between the parcels as well as an access easement from the south property into the loading zone of the north property.
- Utility easements are also anticipated to be required depending on what route the sanitary service is decided to run.
- A drainage easement is proposed to direct drainage to the existing storm sewer in the south property.

SITE SELECTION:

- Current location was selected due to S Business Drive being a heavily traveled commercial corridor through the City with excellent visibility and access.

EXPLANATION BUSINESS ACTIVITIES:

- Popeyes will be open daily from 10:30 AM – 10 PM.
- No on-site outside storage will occur.
- The anticipated number of employees is 12-15 per shift with 2 shifts daily.
- The anticipated number of customers is 300 per day or 2,000 per week.
- Weekly deliveries will include 2 from Sysco (main deliveries) and 2 from WPS (just poultry).

- A delivery loading zone is proposed in the rear (east side) of the facility, and an adjoining access easement is proposed for routing delivery trucks through the south drive entrance and into the loading zone.
- Deliveries typically occur prior to opening between 8 AM and 11 AM.

DESCRIPTION OF PROPOSED BUILDING AND ALL NEW SITE IMPROVEMENTS:

- The site area for the proposed Popeyes is 78,828 sf.
- The disturbed area for the proposed Popeyes is 0.89 acres.
- The building will be 2,604 sf.
- The project is a redevelopment site with no increase in exposed parking or roads and is therefore exempt from stormwater requirements. Stormwater from the site will be directed to onsite storm sewer which will drain to the existing storm sewer located on the south property.
- Landscaping will be provided in accordance with the City ordinance, in an approach which ensures species resiliency and complimentary aesthetics.
- No site fencing is proposed with this project.
- Site lighting will meet the City ordinance in a fashion that provides appropriate light intensity for safety with cut-off fixtures for minimal light trespass.
- The existing north driveway will be utilized for site access with the existing curb cut and approach remaining in its current state.
- Provided parking spaces is 29. Required spaces is 28.
- The building is set back from all property lines a minimum of 59'. All required setback requirements are met.
- Sidewalk within the ROW along S Business Drive is remaining unchanged. Private sidewalk around the building is proposed to allow access for customers to the main entrance doors.
- A waste enclosure is proposed to the northeast of the building.
- Three roof top mechanical units to be screened by building parapets.
- The existing sanitary service to the site is a 4" line which comes from the south, out of the Washington Ave ROW and goes underneath the existing commercial building south of the Ryder Truck facility. Investigation is taking place into the most suitable sanitary route and any subsequent easement work required.

HOW WILL SITE BE SERVICED WITH STREETS AND UTILITIES:

- The existing 2" water service which extends into the south parcel is being utilized to service the proposed Popeyes. The future south tenant will be able to use either the existing 1.5" service or put in a new service connection into S Business Drive.
- The existing sanitary service to the site is a 4" line which comes from the south, out of the Washington Ave ROW and goes underneath the existing commercial building south of the Ryder Truck facility. Investigation is taking place into the most suitable sanitary route and any subsequent easement work required. Any new/modified service will be sized such that the future south tenant will be able to utilize this service.
- Driveway access is provided off of S Business Drive, consistent with the existing use.

PROPOSED TRAFFIC IMPACTS TO ADJOINING STREETS IN THE NEIGHBORHOOD BASED ON THIS DEVELOPMENT:

- As a commercial corridor, S Business Drive is designed for a high volume of traffic. There are no adjoining streets to the development and no negative traffic impacts to the neighborhood are anticipated.

DESCRIPTION OF THE PROPOSED ARCHITECTURAL STYLE AND MATERIALS AND HOW IT IS COMPATIBLE WITH THE DEVELOPMENT AND REDEVELOPMENT IN AND AROUND THE AREA:

- Most of the existing buildings near the proposed development are constructed with Brick, EIFS, & fiber cement. The proposed development follows suit with this exterior façade. The front elevation facing S. Business drive is roughly half EIFS and half fiber cement in a wood look vertical panel. The side elevations have “brick” towers that will be fiber cement along with the rest being constructed out of EIFS. Awnings and the brick towers provide relief from having a continuous material elevation. The buildings primary colors are white and brown with the Popeyes Brand Orange and Red providing accents. The waste enclosure will be constructed out of split faced block painted to match the building along with black composite wood gates.

HOW DOES THIS IMPROVEMENT ENHANCE THE PROPERTY AND THIS VERY VISIBLE S. BUSINESS DRIVE COMMERCIAL CORRIDOR LOCATION:

- The current Ryder Truck use is industrial looking in nature. The proposed Popeyes will include high quality architecture and landscaping features improving the overall appearance of the property.

PROPOSED SIGNAGE:

- A ground mounted monument sign is proposed to the west of the proposed building. Additionally, building signage will be included on the front elevation as you enter the property from S Business Drive. Building signage will also be located above the main entrance as you enter the restaurant.

ESTIMATED VALUE OF PROJECT:

- Approximately \$1.2M not including the land.

CONSTRUCTION TIMELINE:

- Construction is planned to commence as soon as possible with an opening in mid-July.

POTENTIAL NUISANCES TO ADJOINING PROPERTY OWNERS:

- As a commercial corridor, S Business Drive is designed for a high volume of traffic. The proposed development will have no negative impacts to the neighborhood.
- No outside storage is proposed.
- All waste will be stored in waste enclosure located northeast of the building.
- Site lighting will meet City light intensity requirements and cut-off fixtures will be used for minimal light trespass.
- The architectural style of the building will fit in and compliment surrounding commercial developments.

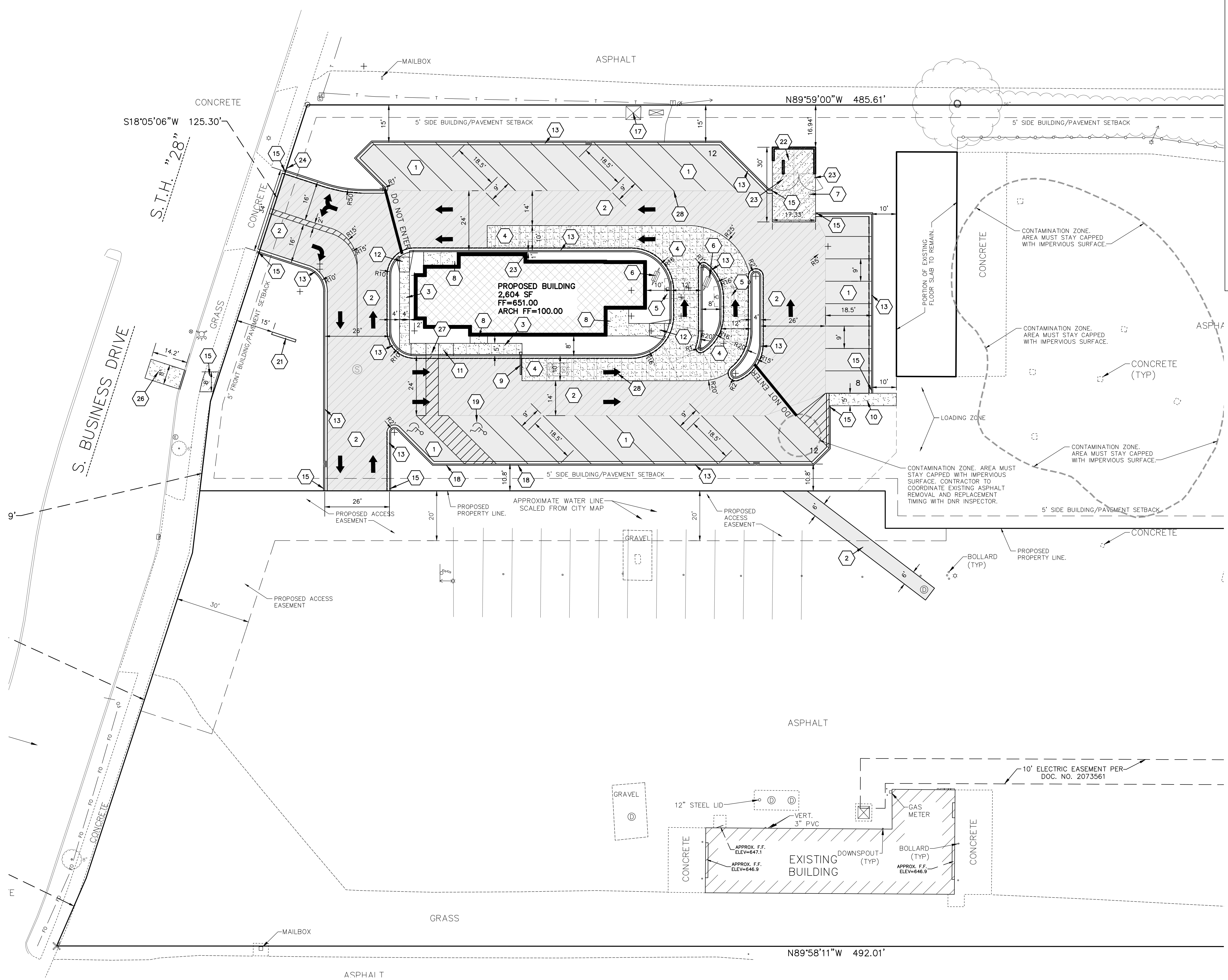
SITE INFORMATION:
PROPOSED PROPERTY AREA: AREA = 78,828 S.F. (1.81 ACRES).
(POPEYES SITE)
EXISTING ZONING: URBAN COMMERCIAL DISTRICT (UC)
PROPOSED ZONING: URBAN COMMERCIAL DISTRICT (UC)
PROPOSED USE: QUICK-SERVE RESTAURANT W/ DOUBLE DRIVE-THRU
AREA OF SITE DISTURBANCE: 0.89 ACRES
SETBACKS: BUILDING: FRONT = 0'
SIDE = 5'
REAR = 10'
PAVEMENT: FRONT = 5'
SIDE = 5'
REAR = 5'
PROPOSED BUILDING HEIGHT: 22'-4" (MAX. HEIGHT ALLOWED: 50')
PARKING REQUIRED: 1 SPACE PER 50 S.F. (1,000 SF SERVICE)
PLUS 12 EMPLOYEES = 32 STALLS TOTAL
PARKING PROVIDED: 32 SPACES (2 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2
HOURS OF OPERATION: 10:30AM-10:00PM, 7 DAYS
BUILDING OCCUPANCY CLASSIFICATION = ASSEMBLY A2 (RESTAURANT)
CLASS OF BUILDING CONSTRUCTION = VB

EXISTING SITE DATA (WITHIN PROJECT AREA)			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.89	38,850	
BUILDING FLOOR AREA	0.22	9,485	24.4%
PAVEMENT (ASP. & CONC.)	0.58	25,051	64.5%
TOTAL IMPERVIOUS	0.79	34,536	88.9%
LANDSCAPE/ OPEN SPACE	0.10	4,314	11.1%

PROPOSED SITE DATA (WITHIN PROJECT AREA)			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.89	38,850	
BUILDING FLOOR AREA	0.06	2,604	6.7%
PAVEMENT (ASP. & CONC.)	0.55	23,803	61.3%
TOTAL IMPERVIOUS	0.61	26,407	68.0%
LANDSCAPE/ OPEN SPACE	0.29	12,443	32.0%

SITE PLAN KEYNOTES

1	STANDARD ASPHALT SECTION (TYP.)
2	HEAVY DUTY ASPHALT SECTION (TYP.)
3	CONCRETE SIDEWALK (TYP.)
4	DRIVE THRU CONCRETE (TYP.)
5	MENUBOARD CANOPY, SPEAKER POST AND OCB (TYP)
6	MENUBOARD (TYP) SEE ELECTRICAL PLANS FOR CONDUITS TO MENUBOARD.
7	DUMPSTER PAD/APRON CONCRETE (TYP)
8	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
9	CLEARANCE POLE (TYP) SIGN FOOTING TO BE INTEGRAL TO SIDEWALK
10	FLUSH WALK (TYP.)
11	ADA RAMP (TYP.)
12	CURB RAMP (TYP.)
13	18" CURB & GUTTER (TYP.)
15	CURB TAPER (TYP.)
17	EXISTING TRANSFORMER PAD (CONTRACTOR TO VERIFY IF EXISTING CAN BE USED OR IF NEW TRANSFORMER AND PAD IS NECESSARY)
18	HANDICAP SIGN (TYP.)
19	HANDICAP STALL & STRIPING PER STATE CODES.
21	PROPOSED MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
22	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
23	6" CONCRETE BOLLARDS (SEE DETAIL ON ARCH. PLAN)
24	STOP SIGN (TYP.)
25	REPLACE EXISTING SIDEWALK PER CITY STANDARDS.
26	REPLACE EXISTING CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER PER CITY STANDARDS.
27	DETECTABLE WARNING PLATE
28	TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.



NOTE:
CONCRETE STOOPS AND EXTERIOR SIDEWALK CONCRETE ADJACENT TO ENTRANCES TO BE BLACK COLORED CONCRETE. VERIFY FINAL COLOR/SHADE WITH OWNER.

NOTE:
ALL CURB HEADS LOCATED ONSITE TO BE PAINTED BLACK. SEE CURB DETAIL.

NOTE:
CONTRACTOR TO POWER WASH ENTIRE SITE SURFACES AFTER ALL WORK IS COMPLETE.

NOTE:
NOTIFY OWNER AND VERIFY STRIPING WITH OWNER PRIOR TO PLACING ALL ARROWS TO VALIDATE PLACEMENT.

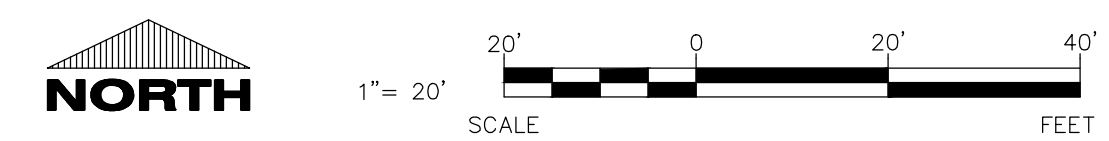
PAVEMENT HATCH KEY:

- STANDARD ASPHALT
- HEAVY DUTY ASPHALT
- SIDEWALK CONCRETE
- DRIVE THRU CONCRETE
- DUMPSTER PAD CONCRETE

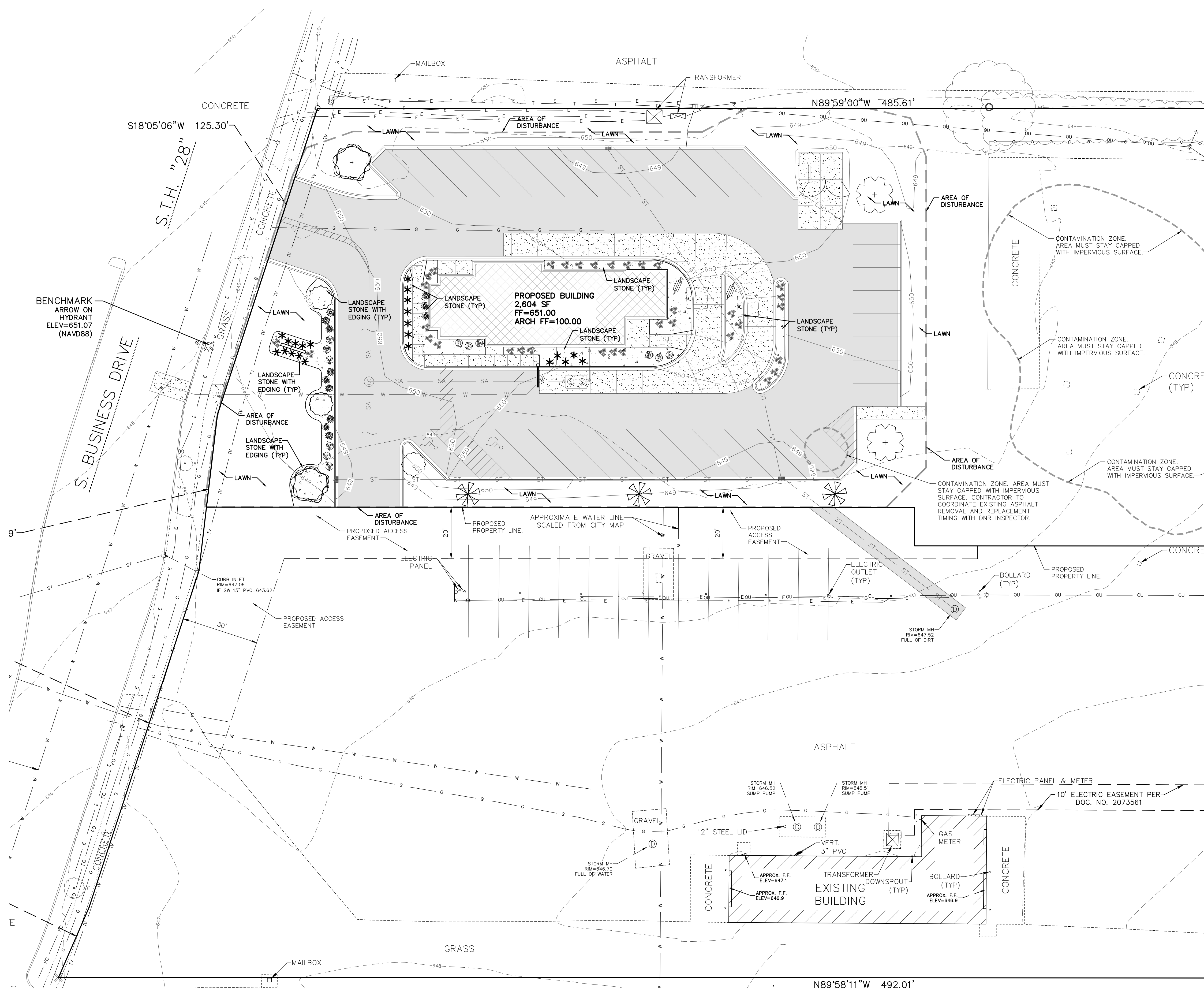
CURB & GUTTER MARKING KEY:

- INVERTED CURB & GUTTER
- SHEDDING CURB & GUTTER

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

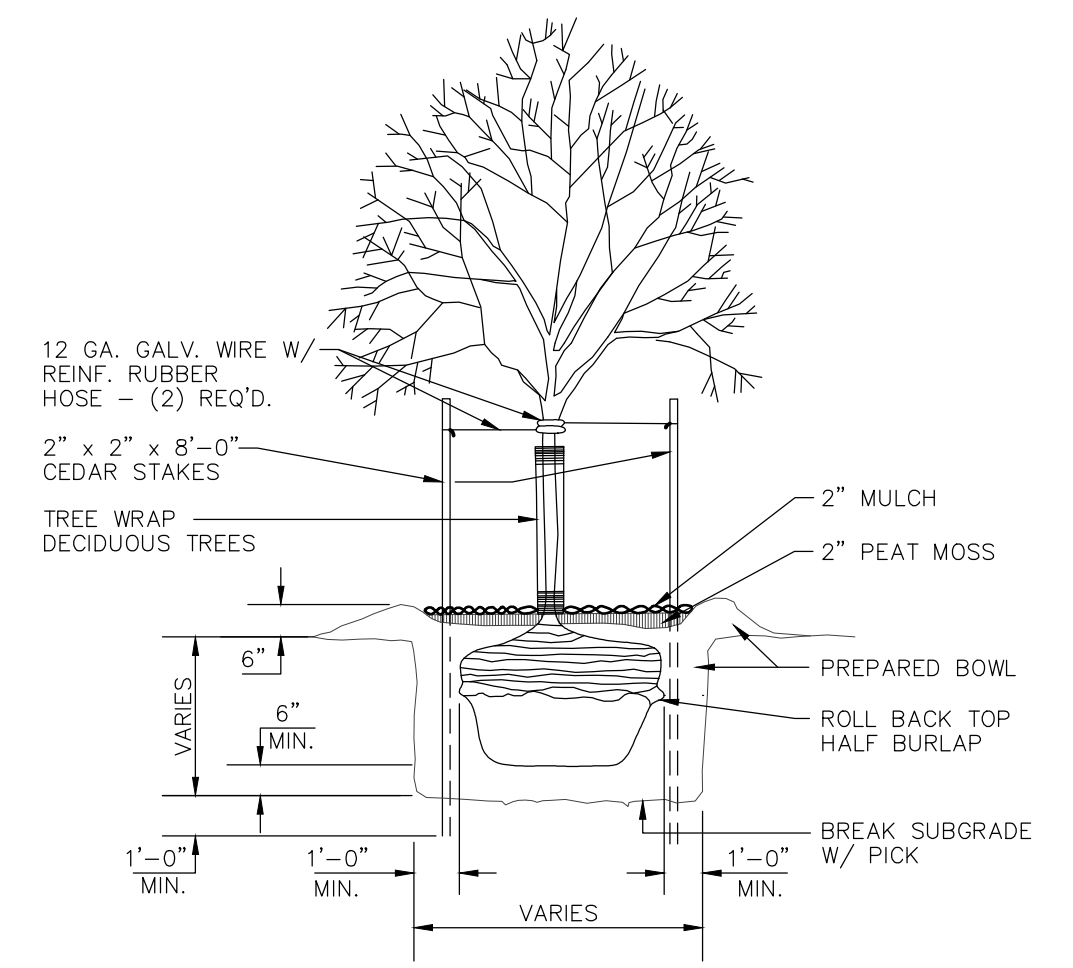


CIVIL SITE PLAN

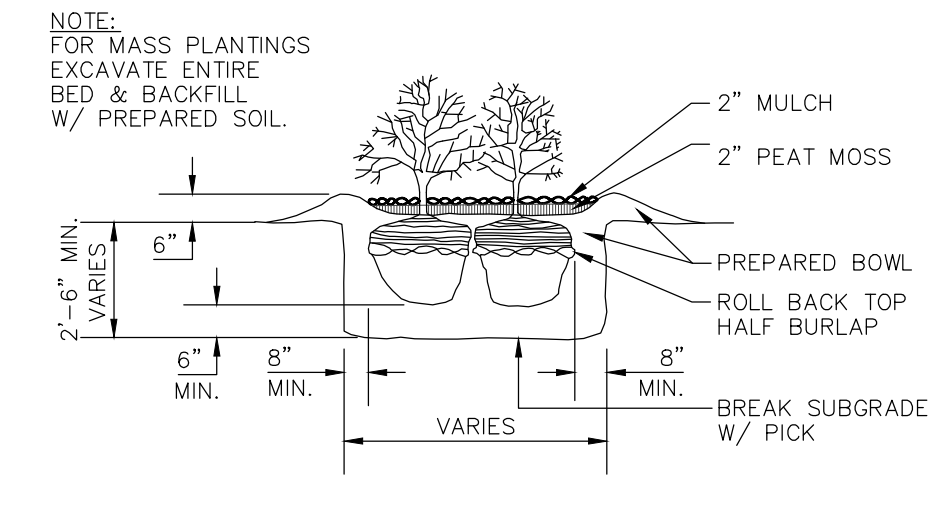


LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
STREET	20 POINTS/100 L.F. FRONTAGE X 162 LF FRONTAGE = 33 POINTS	
BUILDING	20 POINTS/100 LF FOUNDATION X 253 LF = 51 POINTS + 5 POINTS/1000 SF GFA X 2804 SF = 14 POINTS TOTAL = 65 POINTS	
PARKING LOT	40 POINTS/10,000 SF OR 20 STALLS X 21,000 SF = 84 POINTS	
TOTAL	182 TOTAL POINTS REQ 50% MIN CLIMAX/TALL TREES X 182 POINTS REQ = 91 POINTS 30% MIN SMALL TREES X 182 POINTS REQ = 55 POINTS	12 LOW DECIDUOUS SHRUBS (12 POINTS) 12 MEDIUM DECIDUOUS SHRUBS (36 POINTS) 6 LOW DECIDUOUS TREES (60 POINTS) 4 TALL DECIDUOUS TREES (120 POINTS) 56 PERENNIAL PLANTINGS 228 POINTS TOTAL (MEETS REQ) 120 POINTS TALL TREES (MEETS REQ) 60 POINTS SMALL TREES (MEETS REQ)

LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
☉	Skyline Honeylocust	Gleditsia triacanthos "Skyline"	2"	2
☉	Red Maple	Acer rubrum	2"	2
☉	Flowering Crabapple (Spring Snow)	Malus x hybrid (Spring Snow)	2"	3
☉	Serviceberry	Amelanchier canadensis	2"	3
DECIDUOUS SHRUBS				
☉	Froebel Spirea	Spiraea japonica	15"-18"	12
☉	Virginia Roses	Rosa virginiana	1 gal pot	12
PERENNIALS				
☉	Daylilies "Stella de Oro"	Hemerocallis "Stella de Oro"	1 gal pot	22
☉	Karl Foerster Reed Grass	Clamagrostis x acutiflora "Karl Foerster"	1 gal pot	34



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



CIVIL LANDSCAPE AND RESTORATION PLAN

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ARCHITECTS • ENGINEERS • SURVEYORS
Always a Better Plan
100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
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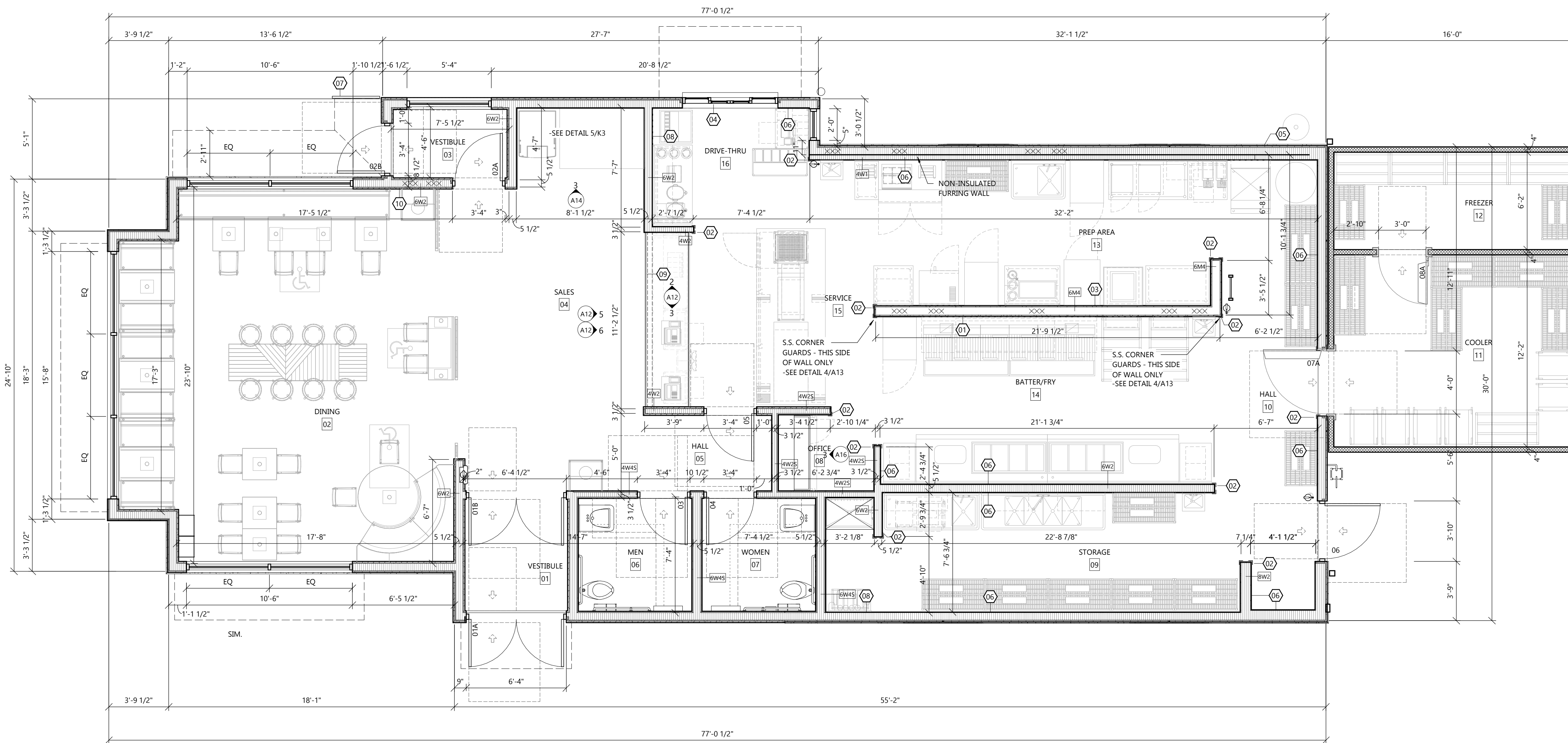
PROJECT INFORMATION

PROPOSED BUILDING FOR:
POPEYES LOUISIANA KITCHEN
3207 S. BUSINESS DRIVE • SHEBOYGAN, WI 53081

PRELIMINARY DATES
MAR. 2, 2021

JOB NUMBER
2029700

SHEET NUMBER
C1.4



FIRST FLOOR PLAN
 NORTH SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND

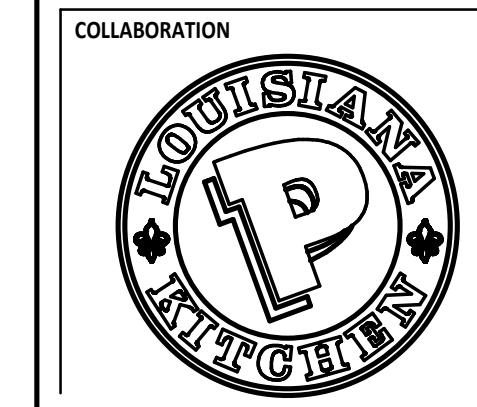
- 1291 — SEE SHEET A18 FOR WALL TYPES
- EXT SIGNAGE
- FIRE EXTINGUISHER - SEE A18 SHEETS
- FIRE EXTINGUISHER w/ CABINET - SEE A18 SHEETS
- GP-X GUARD POST DESIGNATION -SEE CIVIL FOR DETAILS

GENERAL NOTES

- GYPSUM BOARD / EXTERIOR SHEATHING NOTES:**
- EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR PLYWOOD NAILED IN ACCORDANCE WITH THE STRUCTURAL NAILING SCHEDULE. REFER TO SHEETS 5-4.
 - GYPSUM BOARD SHALL BE TYPE "MOISTURE RESISTANT" IN ALL AREAS TO RECEIVE WALL TILE OR FRP PANELS.
- INSULATION NOTES:**
- ALL EXTERIOR WALLS TO RECEIVE FIBERGLASS BATT INSULATION TO MATCH DEPTH OF WALL CAVITY.
- BLOCKING NOTES:**
- "xxxxxx" INDICATES BLOCKING REQUIRED IN WALL FOR PLUMBING LINES AND RESTROOM ACCESSORIES. BLOCKING SHALL BE FIRE RETARDANT WHERE REQUIRED BY CODE.
 - CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR OBTAINING MANUFACTURERS' CUT SHEETS AND LOCATING BLOCKING AS REQUIRED. THIS INCLUDES KITCHEN EQUIPMENT AND ITEMS FURNISHED AND INSTALLED BY OTHERS.
- FRAMING NOTES:**
- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD
 - CONTRACTOR MAY SUBSTITUTE METAL STUDS FOR INTERIOR WALL AND SOFFIT FRAMING IF REQUIRED. WHERE USED, METAL FRAMING TO BE 25 GA. UNLESS OTHERWISE SPECIFIED (U.N.O.).
 - REFER TO FRAMING NOTES FOR WALL SECTIONS.
 - ALL INTERIOR WOOD FRAMING TO BE #2 SPRUCE, FIR OR WHITE PINE. WHERE REQUIRED BY CODE, FRAMING SHALL BE #2 FIRE RETARDANT YELLOW PINE. CONTRACTOR TO VERIFY REQUIREMENTS WITH LOCAL BUILDING OFFICIALS PRIOR TO BIDDING.
 - ALL WOOD IN CONTACT WITH THE SLAB MUST BE PRESSURE TREATED.
 - ALL INTERIOR WALLS TO BE FRAMED TO UNDERSIDE OF TRUSS U.N.O.
 - ALL INTERIOR WALLS THAT ARE NOT SHEAR WALLS TO BE ANCHORED W/ 5/8" DIA. EXPANSION ANCHORS AT 6'-0" O.C. SEE STRUCTURAL DWGS. FOR SHEAR WALL ANCHORS.
- FINISH NOTES:**
- ALL GYPSUM WALL BOARD BELOW FINISHED CEILING HEIGHT IS TO BE PREPARED FOR PAINTING OR WALLCOVERING AS INDICATED ON INTERIOR DECOR DRAWINGS AND FINISH SCHEDULE. SEE GEN. CONSTR. NOTES FOR DINING AREA
 - SEE INTERIOR DECOR DRAWINGS FOR WALL FINISHES
 - ALL WOOD TRIM PROVIDED BY VENDOR MUST BE FINE SANDED AND SEALED WITH CLEAR POLYURETHANE FINISH BY THE GC TO MATCH THE ADJACENT CAR SIDING.
- DOOR NOTES:**
- THE ARCHITECT AND ENGINEERS OF RECORD SHALL VERIFY ALL ACCESSIBLE APPROACHES AND ENTRANCES TO VERIFY THAT THEY COMPLY WITH ALL APPLICABLE CODES. G.C. TO ENSURE THAT ALL DIRECTIONS AND DIMENSIONS GIVEN ARE STRICTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS MAKE THE DRAWINGS NOT APPLICABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY.
 - ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT, AND COMPLY WITH ALL CODES. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS SHALL NOT BE USED.
- GLAZING NOTES:**
- ALL GLAZING WITHIN A 24" ARC OF DOORS WHOSE BOTTOM IS LESS THAN 60" ABOVE THE FLOOR AND ALL GLAZING IN DOORS SHALL BE SAFETY TEMPERED.

CONSTRUCTION KEY NOTES

- INSTALL FULL HEIGHT 18 GA STAINLESS STEEL PANEL BEHIND OVENS AND FRYERS. S/S SHALL EXTEND 18" BESIDE EQUIPMENT. REFER TO INTERIOR KITCHEN ELEVATIONS AND EQUIPMENT PLAN FOR LOCATIONS.
- GENERAL CONTRACTOR (G.C.) TO PROVIDE 2"x2" FULL HEIGHT CORNER GUARDS ON ALL OUTSIDE CORNERS @ KITCHEN WALLS.
- HOOD WALL TO BE CONSTRUCTED WITH 6" METAL STUD STUDS AT 16" O.C. INSTALL 2 LAYERS 5/8" MOISTURE RESISTANT TYPE X GYPSUM WALL BOARD ON BOTH WALL SIDES FROM FINISHED FLOOR TO BEYOND CEILING.
- ELECTRIC DRIVE-THRU WINDOW TO BE INSTALLED AT THE LOCATION SHOWN. VERIFY REQUIRED ROUGH-IN AND ELECTRICAL REQUIREMENTS WITH MANUFACTURER BEFORE PROCEEDING.
- GC SHALL COORDINATE WITH KOLPAK TO PROVIDE THE INSTALLATION KIT TO MOUNT THE WIB ON THE OUTSIDE OF THE BUILDING.
- PROVIDE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON ALL INTERIOR KITCHEN WALL SURFACES FROM FINISHED FLOOR TO 24" ABOVE FINISHED FLOOR. UNO. PROVIDE 1/2" PLYWOOD FROM 24" AFF TO BEYOND CEILING ON ALL KITCHEN WALLS.
- INSTALL GUARDRAIL ACCORDING TO THE MANUFACTURER'S SPECIFICATION
- SEE P1 SHEET FOR SODA LINE CHASES. VERIFY LOCATIONS WITH BEVERAGE PROVIDER.
- INSTALL THE HALF WALL AND FRONT COUNTER AFTER THE KITCHEN EQUIPMENT HAS BEEN BROUGHT IN. PROVIDE 1/2" GYPSUM WALL BOARD ON THE SIDE FACING THE DINING. PROVIDE 1/2" PLYWOOD WITH FRP ON THE SIDE FACING THE KITCHEN.
- WALL MOUNTED TV LOCATION. PROVIDE 5/8" PLYWOOD SHEATHING ENTIRE WALL FOR MOUNTING OF TV.



PROJECT INFORMATION

PROPOSED BUILDING FOR:
POPEYES LOUISIANA KITCHEN
 3207 S. BUSINESS DRIVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

PRELIMINARY DATES

MAR. 2, 2021

NOT FOR CONSTRUCTION

JOB NUMBER

2029700

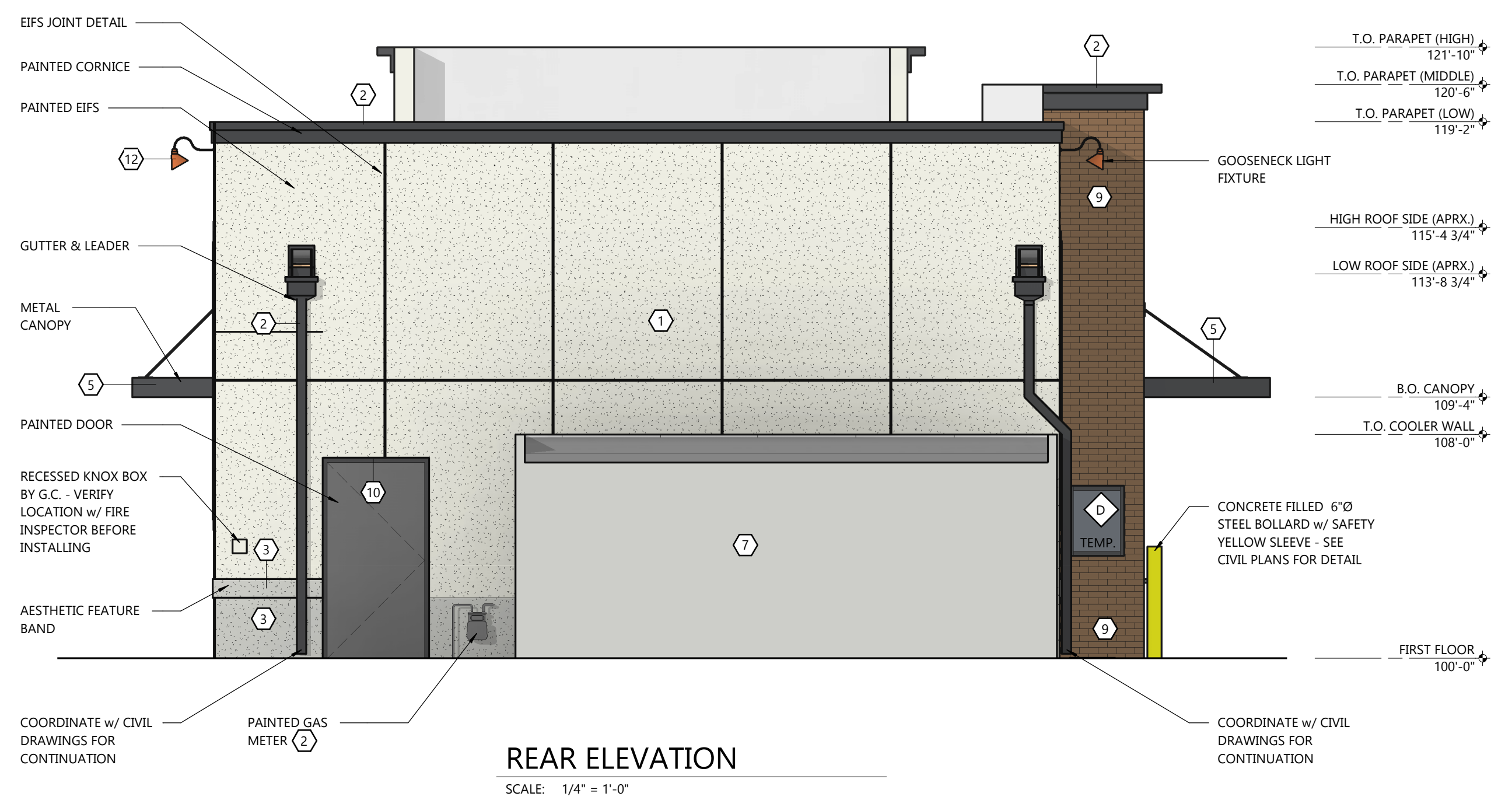
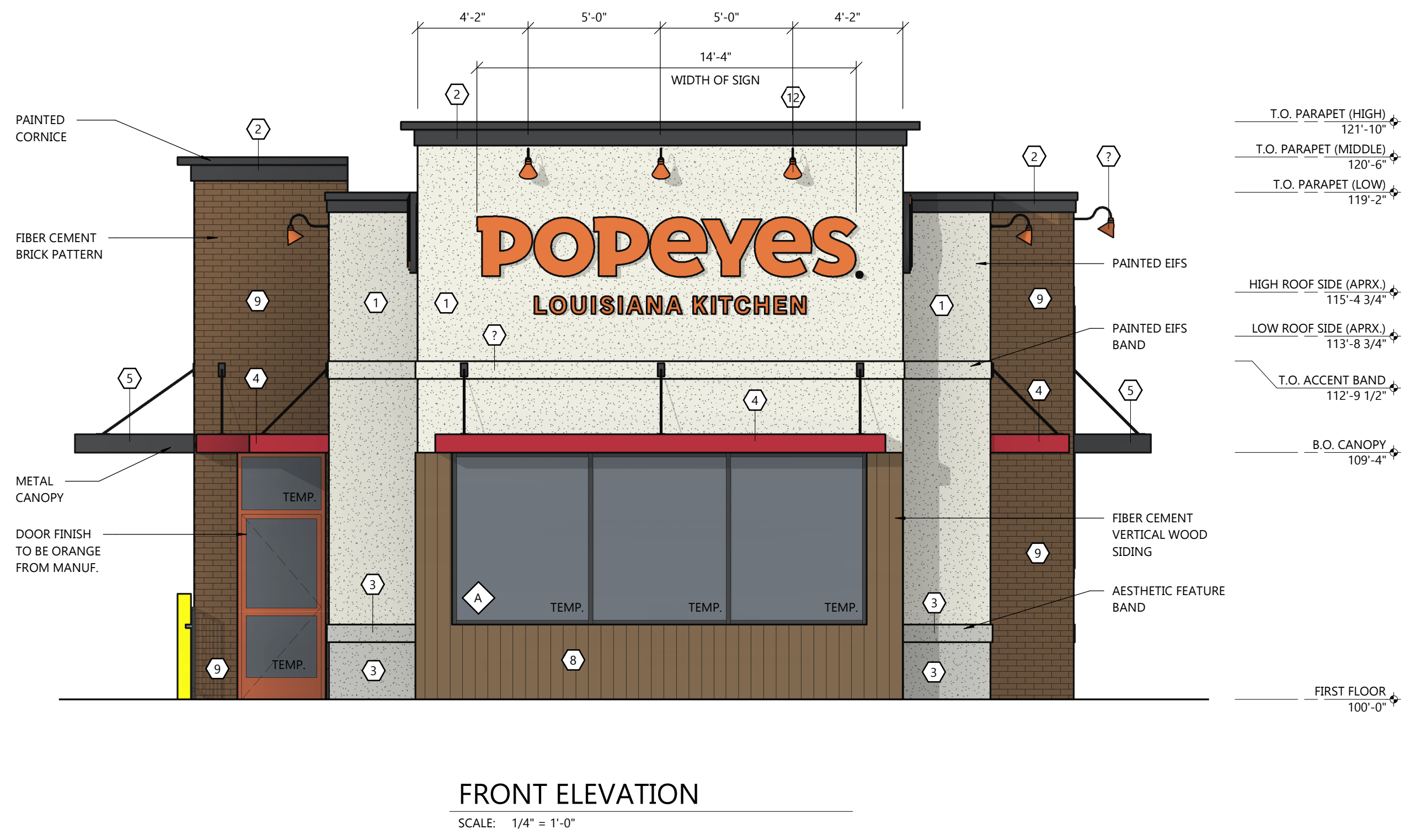
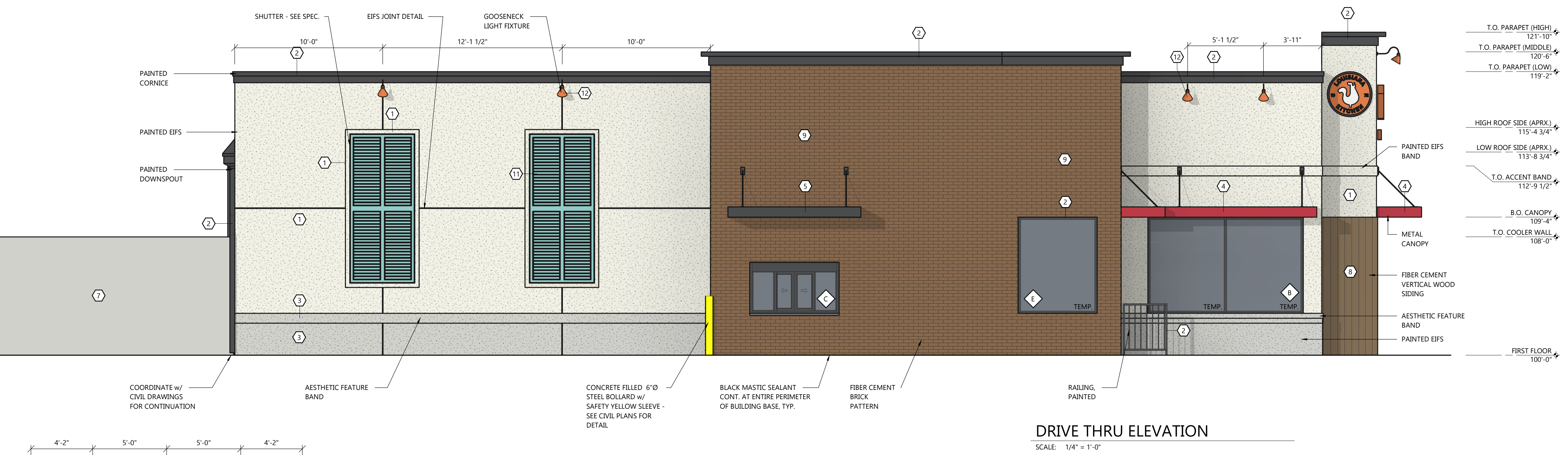
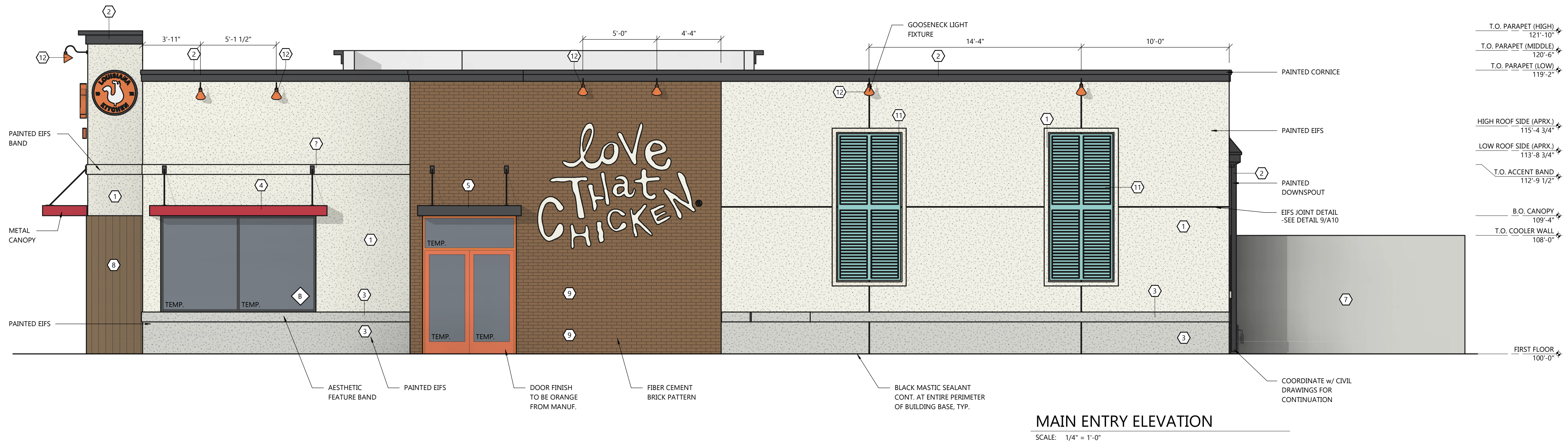
SHEET NUMBER

A1.1

BENJAMIN MOORE CONTACT:
 CONTACT: RODGER LIPPMAN, ARCHITECTURAL ACCOUNT EXECUTIVE
 PHONE: (800) 344-0400 EXT. 5240
 EMAIL: rodger.lippman@benjaminmoore.com

1	MAIN WALL SURFACE ABOVE WAINSCOT ACCENT TRIM BENJAMIN MOORE "WHITE" OC-125 MOONLIGHT WHITE
2	PARAPET TRIM BENJAMIN MOORE "BLACK" 2120-20 BLACK IRON
3	WAINSCOT ACCENT TRIM & BELOW BENJAMIN MOORE "GRAY" HC-170 STONINGTON GRAY
4	ALUMINUM ACCENT BAND & CANOPY BENJAMIN MOORE "RED" 2086-10 EXOTIC RED
5	DRIVE THRU WINDOW CANOPY PRIMER: PRO INDUSTRIAL PRO-CRYL PRIMER B66-310 PAINT: PRO INDUSTRIAL HIGH PERFORMANCE ACRYLIC B66-660 EGGSHELL FACTORY FINISH BLACK
6	DUMPSTER GATES PRIMER: PRO INDUSTRIAL PRO-CRYL PRIMER B66-310 PAINT: PRO INDUSTRIAL HIGH PERFORMANCE ACRYLIC B66-600 GLOSS FACTORY FINISH BLACK
7	FREEZER/COOLER WALLS BENJAMIN MOORE "GRAY" HC-170 STONINGTON GRAY (VERIFY W/ OWNER)
8	FRONT ELEVATION TOWER NICHEHA VINTAGE WOOD CEDAR
9	SIDE ELEVATION TOWERS NICHEHA VINTAGE BRICK ALEXANDRIA BUFF
10	EXTERIOR DOOR BENJAMIN MOORE "DARK GRAY" 2133-20 BLACK JACK
11	BENJAMIN MOORE "TEAL" OC-669 OCEANIC TEAL
12	SHERWIN WILLIAMS "ORANGE" SW 6886 INVIGORATE
	ALL EXTERIOR WALLS BENJAMIN MOORE - 2 COATS ON FULL FACADE SURFACE ALIPHATIC ACRYLIC URETHANE - CLEAR GLOSS ANTI-GRAFFITI PAINT M74-00 / M75

EXTERIOR MATERIALS SCHEDULE



EXCEL
 ARCHITECTS • ENGINEERS • SURVEYORS
Always a Better Plan
 100 Camelot Drive
 Fond Du Lac, WI 54935
 Phone: (920) 926-9800
 www.EXCELENGINEER.com

COLLABORATION

PROJECT INFORMATION

PROPOSED BUILDING FOR:
POPEYES LOUISIANA KITCHEN
 3207 S. BUSINESS DRIVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

PRELIMINARY DATES

FEB. 4, 2021
MAR. 2, 2021

NOT FOR CONSTRUCTION

JOB NUMBER
 2029700

SHEET NUMBER
 A2.0







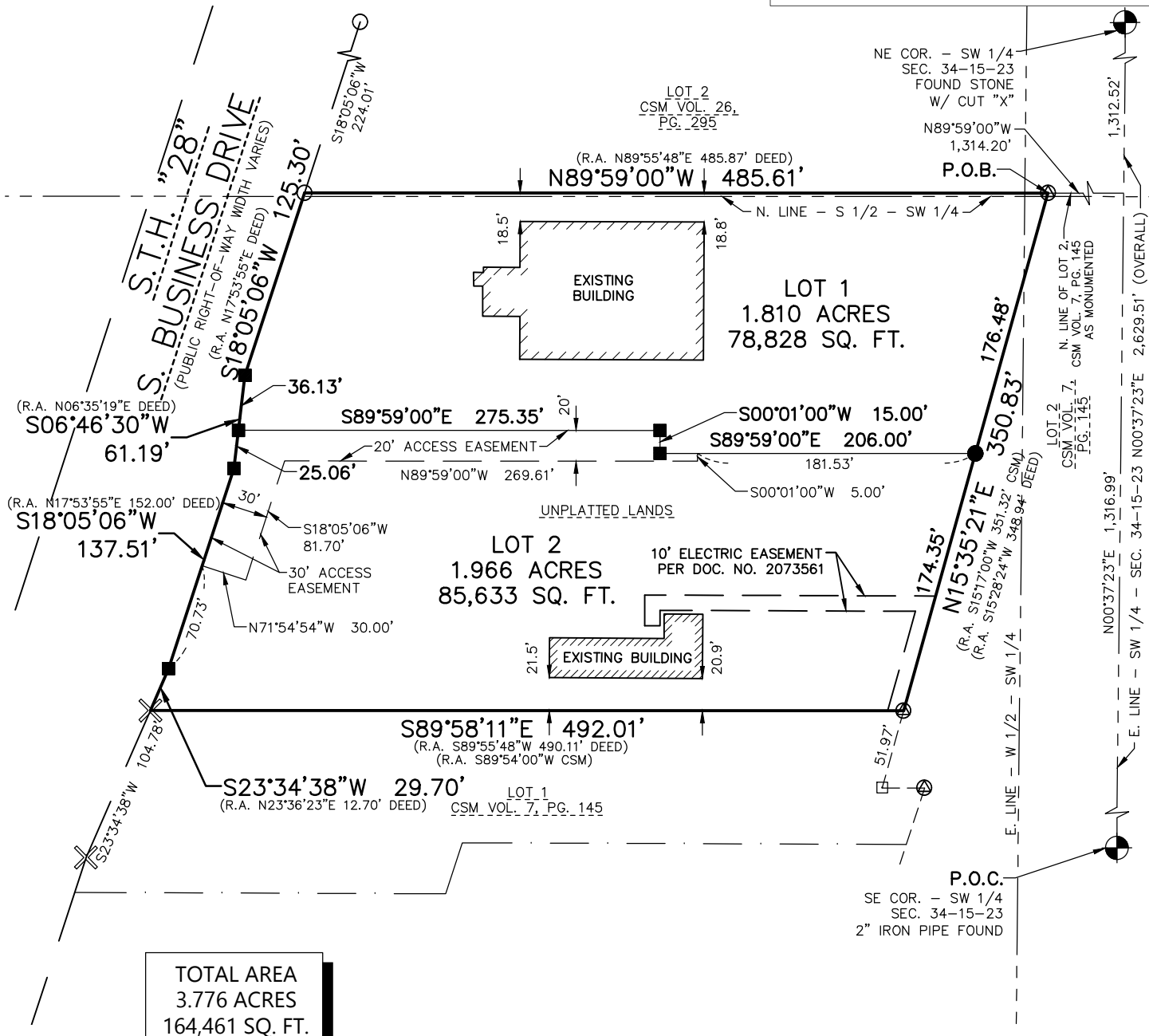






CERTIFIED SURVEY MAP

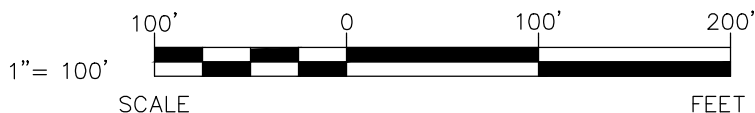
FOR
HEAVEN SENT INVESTMENTS, LLC
 PART OF THE NORTHWEST 1/4, NORTHEAST 1/4,
 SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST
 1/4, SECTION 34, TOWNSHIP 15 NORTH, RANGE 23 EAST,
 CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.



LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- - MAG NAIL SET
- - 3/4" REBAR FOUND
- ⊙ - 3/4" IRON PIPE FOUND
- - MAG NAIL FOUND
- ✕ - CUT "X" FOUND
- ⊕ - SECTION CORNER MONUMENT FOUND

NORTH POINT REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, SHEBOYGAN COUNTY. THE EAST LINE OF THE SOUTHWEST 1/4 OF SECTION 34 HAS A BEARING OF NORTH 00°-37'-23" EAST.



OWNER:
 HEAVEN SENT INVESTMENTS, LLC
 2800 E. ENTERPRISE AVENUE, STE 333
 APPLETON, WI 54913

SHEET 1 OF 4 SHEETS



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 ARCHITECTS • ENGINEERS • SURVEYORS
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100 Camelot Drive
 Fond Du Lac, WI 54935
 Phone: (920) 926-9800
 www.EXCELENGINEER.com
JOB NO. 2029700

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, SECTION 34, TOWNSHIP 15 NORTH, RANGE 23 EAST, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Heaven Sent Investments, LLC bounded and described as follows:

Part of the Northwest 1/4, Northeast 1/4, Southwest 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 34, Township 15 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin being more particularly described as follows:

Commencing at Southeast corner of the Southwest 1/4 of said Section 34; thence North 00°-37'-23" East along the East line of said Southwest 1/4, a distance of 1,316.99 feet; thence North 89°-59'-00" West, a distance of 1,314.20 feet to the Northwest corner of Lot 2 of Certified Survey Map recorded in the Sheboygan County Register of Deeds Office in Volume 7 of Certified Survey Maps on Page 14 as Document No. 1116245, said point being the point of beginning; thence continuing North 89°-59'-00" West along the South line of Lot 2 of Certified Survey Map recorded in the Sheboygan County Register of Deeds Office in Volume 26 of Certified Survey Maps on Page 295 as Document No. 2000886, a distance of 485.61 feet to the Southwest corner of said Lot 2 of CSM Volume 26, Page 295; thence South 18°-05'-06" West along the Easterly right-of-way line of S. Business Drive, a distance of 125.30 feet; thence South 06°-46'-30" West along said Easterly line, a distance of 61.19 feet; thence South 18°-05'-06" West along said Easterly line, a distance of 137.51 feet; thence South 23°-34'-38" West along said Easterly line, a distance of 29.70 feet to the North line of Lot 1 of CSM Volume 7, Page 145; thence South 89°-58'-11" East along said North line, a distance of 492.01 feet to the Northeast corner of said Lot 1; thence North 15°-35'-21" East along a Westerly line of Lot 2 of CSM Volume 26, Page 295, a distance of 350.83 feet to the point of beginning and containing 3.776 acres (164,461 sq. ft.) of land more or less.

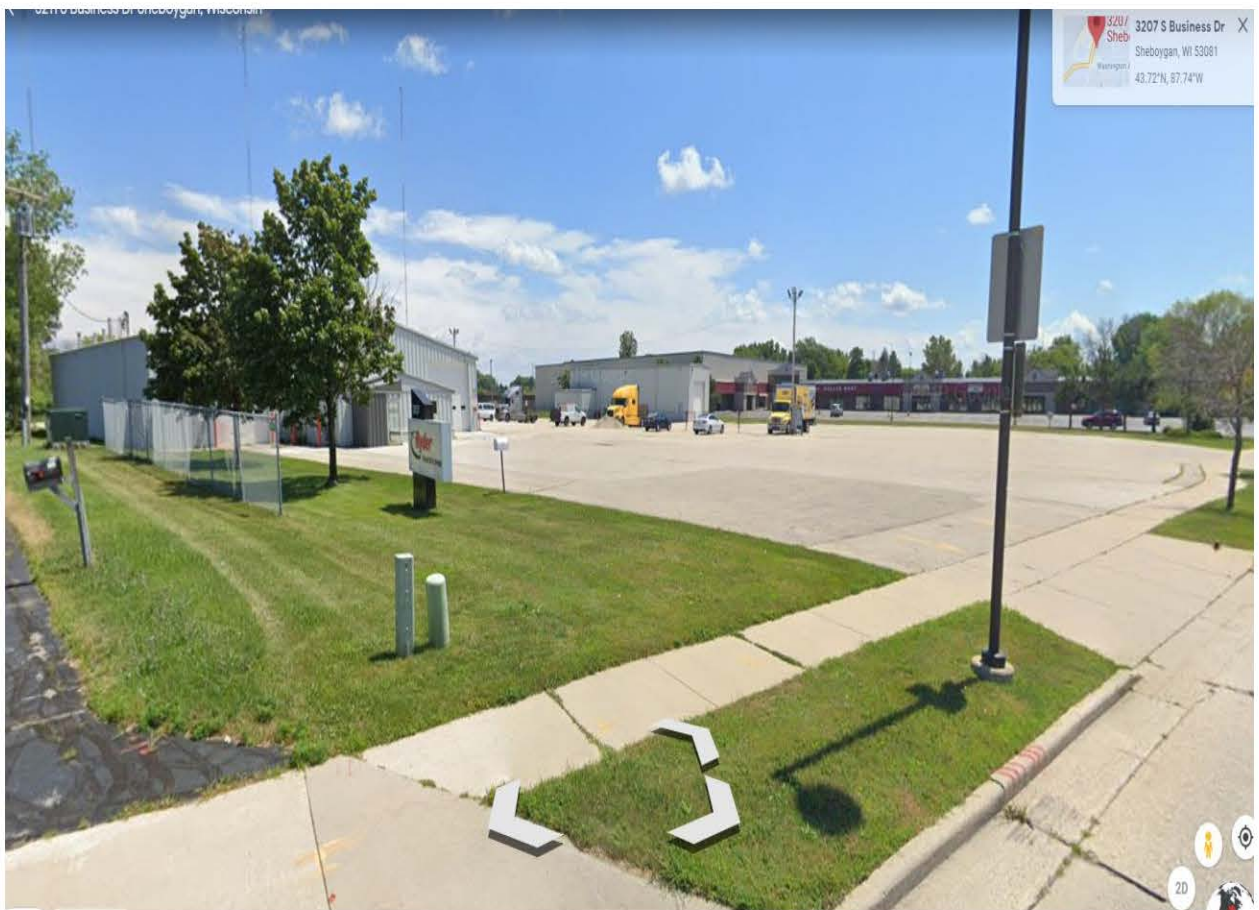
That such is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Sheboygan in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 2029700

search results for 320...





SINCE
1972

About Popeyes®

Founded in New Orleans in 1972, the Popeyes® brand has more than 45 years of history and culinary tradition. Popeyes® distinguishes itself with a unique New Orleans style menu featuring spicy chicken, chicken tenders, fried shrimp, and other regional items. The chain's passion for its Louisiana heritage and flavorful authentic food has allowed the Popeyes brand to become one of the world's largest chicken quick service restaurants with over 3,300 restaurants in the U.S. and around the world.



The POPEYES Difference

Chicken marinated for 12 hours in bold Louisiana flavors, hand breaded for that unique shatter-crunch texture.

BOLD FLAVOR + SHATTER-CRUNCH TEXTURE = PARTY IN MY MOUTH

12 hours of bold Louisiana flavors

We marinate our chicken for 12 hours in the bold and flavorful Cajun seasonings of Louisiana.

Hand-made, no shortcuts

Our unique shatter-crunch texture comes from chicken being hand battered, breaded and fried, with no shortcuts - cooked with love and pride from generation to generation.

Love that chicken.

Popeyes tastes like a delicious celebration of all that is good in life, no matter what's going on.



Our new restaurant image shows we are a proudly eclectic brand, inspired by our roots and celebrating our food craft.



Together, these elements create a contemporary and comfortable environment for our guests, no matter the party size.

Concept "wilding".
Featuring Popeyes® new photography
style and visual identity emphasizes the
quality and taste inherent in their food.
The newly developed brand pattern
reinforces Popeyes® brand heritage and
equities.

POPEYES

Bonafide
worldwide.

FAMOUS
Louisiana
CHICKEN



Love that
chicken.



POPEYES

Coming Soon to a
Neighborhood Near You

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by Meradita Moreno to operate a daycare from the facility located at 1720 N. 8th Street. NC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 19, 2021

MEETING DATE: March 23, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Meradita Moreno is proposing to operate a new daycare facility at 1720 N. 8th Street. The applicant states the following about the buildings, property and uses:

- 1720 N. 8th Street was recently purchased by Meradita Moreno on January 11, 2021.
- The existing building is divided in two (2) separate parcels (the building is attached with a zero lot line). The north half of the building is identified as 1720 N. 8th Street.
- The north half of the property is vacant and was previously occupied by The Wisconsin Spine Center on the upper level and Midwest Home Health Care on the lower level. The south half of the property is presently occupied by Samaritan's Hands, Inc. — Faith based Drug and Alcohol Outpatient Clinic.
- The existing building has two (2) levels, a partial basement level with windows at grade level and a first floor above grade level.
- The property has an existing parking lot on the west/back side of the building with two independent entrances, one (1) located at the north end and another in the south end of the property. Thus, both buildings have accessible driveways.

The applicant states the following about the project:

- The proposed project calls for the occupancy of the north half of the building to operate a children's day care on both levels.

- The proposed children's day care in this building will operate from 6:00 a.m. to 6:00 pm., Monday to Friday. The clients will arrive and park their cars in the existing parking lot in the back of the building and will drop off and pick up their children from their classroom with the assistance of the child care worker in each classroom.
- This site was selected because the building is in good condition, has plenty of off-street parking and plenty of space for an outdoor children's play area.
- The property is located near two (2) schools and the proposed day care will assist the working families with the child care for infants and small children.
- The growing Hispanic population has an urgent need of day care assistance with bilingual and cultural support. The proposed day care will target underserved Hispanic families in the area and all other families in need of small children's care in the vicinity.
- The existing building provides adequate space indoors to accommodate 30 small children between the ages of 4 to 12 years old in the lower level, and 33 children between the ages of 6 weeks to 3 years old in the upper level.
- The day care center will have seven (7) child care assistants and the owner.
- Three (3) classrooms in the lower level with a child care assistant in each room.
- Four (4) classrooms in the upper level with a child care assistant in each room.
- The indoor activities will concentrate on the care of the children entrusted to the day care, with emphasis on the bilingual language, cultural, social, emotional and cognitive areas.
- There is adequate space for an outdoor playground area adjacent to the rear of the building.
- The outdoor activities will concentrate of the motor skills of the arms, legs, hands and basic mental cognition such as sensation, attention, perception and reasoning.
- The outdoor playground area will be in the back of the building with a fence around the area for safety and control of the children's activities.
- The playground area will be used in three (3) shifts to allow adequate space for the different child age groups. The playground area will be monitored by the child care assistant from each classroom.
- 4'-0" high bollards will be installed around the fenced playground area for protection of automobile traffic in the vicinity.
- The owner of the property, Meradita Moreno, has her city and state licenses to operate an existing family day care at 2235 S. 5 St., Milwaukee, Wisconsin. The four years of experience and State approvals for inspections and recertification of her facility, plus four (4) additional years employed as a child care provider working for another children's day care center, provides the necessary credentials to operate and obtain the State

certifications at this property, after she is able to obtain the necessary approvals and permits from the City of Sheboygan.

- The child care providers will have the following certifications that are reviewed and granted by the State:
 - Introduction to day care procedures
 - Care of infants and toddlers
 - Fundamentals of family

The applicant states the following about the proposed building improvements:

- A new handicap accessible ramp to provide access to the first floor level will be included.
- A new exterior door in the rear of the building will be located to allow access to the handicap ramp, entrance and exit to the first floor level.
- A new interior fire rated wall between the two properties will be constructed within the existing common area between the two buildings.
- Interior removal of several walls to increase the floor area of each proposed new classroom/children area. New interior walls to be constructed.
- Removal of existing toilet facilities and construction of new ADA toilet facilities at each level.

The applicant states the following about the site improvements:

- A new dumpster enclosure will be included.
- A new six (6) foot wood fence will be installed on the north and south sides of the property to provide privacy to adjacent neighbors and safety for the day care center.
- A new six (6) chain link fence with safety bollards will be installed in the outdoor children's playground area.
- A new exterior sign will be installed in the building. The sign will be equal to the size and location where the existing sign of the previous occupants of the building is located
- The existing parking lot area in the back of the building provides 18 parking spaces.
- The property has an existing driveway to enter and exit the parking lot without infringing on the property rights or privacy of the adjacent neighbors.
- There is adequate space for the snow management and for an enclosed trash enclosure.
- No exterior lights will be installed.

The children's day care center will become a safe and family oriented anchor in this building, and it will help to provide some stability to the nearby neighbors. The added pedestrian traffic will surely enhance the feeling of safety and security around the property.

If the Plan Commission and the neighborhood can support and live in harmony with the existing services being provided to adults by Samaritan's Hands, Inc. on this property, it is proper and reasonable to think that the proposed children's day care center on this property will bring law abiding, working families and happy children to the area.

STAFF COMMENTS:

1720 N. 8th Street had previously been used by health clinics. The applicant is now converting this space on each floor into the daycare facility and will be required to meet all building codes and State of Wisconsin requirements to operate a new daycare from this building/property.

Applicant will need to submit all the required permits and licenses required to operate the daycare prior to occupancy.

The applicant understands that the adjoining building to the south at 1714 N. 8th Street is presently occupied by Samaritan's Hands, Inc. which is a faith based drug and alcohol outpatient clinic. Samaritan's Hands operations at this site include but are not limited to business offices, intake, treatment, meetings etc.

The applicant is proposing to fence the south property line which presently is open and permits cross access and parking to each of the buildings. Once the fence is installed, access and parking between neighboring buildings/properties will no longer be possible. It is up to the applicant to verify that there are no access/parking easements that exists between these properties that permits cross access and/or parking. If such an easement agreement exists, then the fencing as proposed would not be permitted. It is the responsibility of the applicant to verify this information.

Each building/property will have individual driveway access and parking lots on each lot.

The applicant is proposing:

- A six (6) foot high chain link fence with privacy slats around the perimeter of the new outdoor 1,843sf (30 x 54) playground located between the west end of the building and the parking lot. The applicant does show four (4) foot tall bollards and five (5) feet on center to protect the playground from vehicles in the parking lot and drive aisles.
- The applicant is proposing a six (6) foot high solid wood fence around the perimeter of the north, south and west property lines.
- Appears that much of the common lot line between 1720 N. 8th Street and the neighboring residence at 1726 N. 8th Street is paved surface. Prior to installing the new fence, the applicant is responsible for knowing exactly where the property lines are located (all property lines).
- In addition, the driveway of the residence at 1726 N. 8th Street appears to be located right on the property line. The applicant shall not be permitted to install fencing and/or landscaping taller than four (4) feet tall in this area because we do not want such fencing/landscaping to negatively impact vision of vehicles pulling out of the neighboring driveway – blocked vision that could negatively impact site distances to see pedestrian, vehicles, etc.
- Applicant is constructing a new dumpster enclosure at the northwest corner of the property. Appears the trash enclosure will be similarly designed to the wood fence along the property lines. Plan Commission should verify the design, materials, colors, etc. of the proposed dumpster enclosure.
- Applicant is proposing a new handicap ramp. Plan Commission should verify the design, materials, colors, etc. of the proposed handicap ramp.

Applicant is requesting an exception to maintain the existing zero (0) foot paving setback to the north and south property lines.

ACTION REQUESTED:

Staff recommends approval of the conditional use and exceptions subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, State of Wisconsin, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant is responsible to ensure that the proposed daycare uses are meeting all Federal, State and Local codes and licensing requirements.
3. If using dumpsters, the dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
4. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
5. Outdoor storage of materials, products or equipment shall be prohibited.
6. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
7. Fence shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance.
8. Applicant may install six (6) foot high solid fence along the north, south and west property lines. Applicant is required to submit specific fence details to staff. If staff has any concerns with the fence design, the matter may be brought back to the Plan Commission for their consideration.
9. Prior to installation of the fence along the south property line, the applicant shall verify there are no access easements/agreements that would prevent the installation of such fence.
10. Fence/landscaping at the northeast corner of the site shall be no higher than four (4) feet high and 50% opaque for a distance of 20 feet from the street property lines.
11. Applicant shall install a six (6) foot tall chain link fence with privacy slats for the playground area. Applicant is required to submit specific fence details to staff. If staff has any concerns with the fence design, the matter may be brought back to the Plan Commission for their consideration.
12. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
13. Applicant shall install individual letter signs – no cabinet or flat panel signs.
14. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is eight (8) feet.
15. Applicant shall remove all signage referring to previous uses.
16. All areas used for parking/maneuvering of vehicles shall be paved.
17. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
18. The parking lot and drive-through facilities shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.

19. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
20. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
21. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
22. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
23. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to water and sewer.
24. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
25. Applicant is responsible for verifying that there are no easements and/or agreements with the building to the south at 1714 N. 8th Street (zero lot line neighbor to the south).
26. If there are any exterior alterations, those alterations will be reviewed by the City of Sheboygan Architectural Review Board.
27. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. _____
MAP NO. _____
ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: LUIS BARBOSA- ARCHITECT.
ADDRESS: BMR DESIGN GROUP INC E-MAIL: BMRDESIGNLDB@BIZWI.RO.COM
503 W. LINCOLN AV.
MILWAUKEE WI 53207
PHONE: (414) 384-2990 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: NEW CHILDREN'S DAYCARE
ADDRESS OF PROPERTY AFFECTED: 1720 N. 8th ST SHEBOYGAN WI.
LEGAL DESCRIPTION: SEE ATTACHED PLAT OF SURVEY
WITH LEGAL DESCRIPTION

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: SEE ATTACHED LETTER
WITH DESCRIPTION OF EXISTING PROPERTY, PROPOSED PROJECT- SITE & BUILDING
IMPROVEMENTS

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: SEE ATTACHED LETTER WITH
DESCRIPTION OF PROPOSED OPERATION

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: REQUEST FOR CONDITIONAL USE PERMIT.
SEE ATTACHED LETTER WITH DESCRIPTION OF PROPOSED PROJECT
SITE AND BUILDING IMPROVEMENTS

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? _____

SEE ATTACHED letter WITH RESPONSE

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

SEE ATTACHED letter WITH RESPONSE

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

SEE ATTACHED letter WITH RESPONSE

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

SEE ATTACHED letter WITH RESPONSE

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: MERADITA MORENO

ADDRESS: 2235 S. 5th Milwaukee WI E-MAIL: ESTRADA7754@GMAIL.COM

ARCHITECT: LUIS BARBOSA - BMR DESIGN GROUP INC

ADDRESS: 503 W. LINCOLN AV E-MAIL: BMRDESIGNLBBIZWI.RR.
MILWAUKEE WI 53207 COM

CONTRACTOR: NOT SELECTED YET.

ADDRESS: _____ E-MAIL: _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Luis Barbosa

APPLICANT'S SIGNATURE

MARCH-1-2021

DATE

LUIS BARBOSA

PRINT ABOVE NAME



March 1, 2021

Steve Sokolowsky
Manager of Planning & Zoning
Planning & Development Dept.
City Hall – Suite 208
828 Center Ave.
Sheboygan, WI 53081

Property: 1720 North 8th St.
Sheboygan, WI 53081

Owner: Meradita Moreno
2235 S. 5th St.
Milwaukee, WI 53207
414-614-0334

Subject: - Request for Conditional Use Review to Operate a Day Care
- Architectural Review for Renovation to Existing Building

Description of Existing Property

- The property located at 1720 N. 8th St., Sheboygan, WI, was purchased by Meradita Moreno on January 11, 2021
- The existing building is divided in two separate parcels
- The north half of the building is identified as 1720 N. 8th St.
- The north half of the property is vacant and was previously occupied by the following entities:
 - The Wisconsin Spine Center on the upper level
 - Midwest Home Health Care on the lower level
- The south half of the property is presently occupied by Samaritan's Hands, Inc. – Faith based Drug & Alcohol Outpatient Clinic
- The existing building has two levels, a partial basement level with windows at grade level, and a first floor above grade level
- The property has an existing parking lot on the west side in the back of the building with two independent entrances, one located in the north and another in the south end of the property

Description of Proposed Project

- The proposed project calls for the occupancy of the north half of the building to operate a children's day care on both levels
- This site was selected because the building is in good condition, has plenty of parking spaces off the street and plenty of space for an outdoor children's play area
- The property is located near two schools and the proposed day care will assist the working families with the child care for infants and small children
- The growing Hispanic population has an urgent need of day care assistance with bilingual and cultural support

- The proposed day care will target underserved Hispanic families in the area and all other families in need of small children's care in the vicinity
- The existing building provides adequate space indoors to accommodate 30 small children between the ages of 4 to 12 years old in the lower level, and 33 children between the ages of 6 weeks to 3 years old in the upper level
- The existing parking area in the back of the building provides 18 parking spaces off the street
- There is adequate space for the snow management and for an enclosed trash enclosure
- There is adequate space for an outdoor playground area adjacent to the rear of the building
- The property has an existing driveway to enter and exit the parking lot without infringing on the property rights or privacy of the adjacent neighbors
- The indoor activities will concentrate on the care of the children entrusted to the day care, with emphasis on the bilingual language, cultural, social, emotional and cognitive areas
- The outdoor activities will concentrate of the motor skills of the arms, legs, hands and basic mental cognition such as sensation, attention, perception and reasoning
- The proposed children's day care on this property is ideal because the property has a very good vacant building, plenty of parking and playground area
- The property is in the vicinity of the growing Hispanic population
- There is a need for a children's day care center that offers bilingual and bicultural services
- The children's day care center will bring law abiding and working families, added safety to the nearby neighbors, and will help to mitigate some of the stigma associated with vacant and partially occupied buildings with drug and alcohol outpatients nearby
- The children's day care center will become a safe and family oriented anchor in this building, and it will help to provide some stability to the nearby neighbors
- If the Plan Commission and the neighborhood can support and live in harmony with the existing services being provided to adults by Samaritan's Hands, Inc. on this property, it is proper and reasonable to think that the proposed children's day care center on this property will bring law abiding, working families and happy children to the area
- The added pedestrian traffic will surely enhance the feeling of safety and security around the property
- The proposed children's day care in this building will operate from 6:00 a.m. to 6:00 pm., Monday to Friday.
- The day care center will have 7 child care assistants and the owner
- 3 classrooms in the lower level with a child care assistant in each room
- 4 classrooms in the upper level with a child care assistant in each room
- The clients will arrive and park their cars in the existing parking lot in the back of the building and will drop off and pick up their children from their classroom with the assistance of the child care worker in each classroom
- The outdoor playground area will be in the back of the building with a fence around the area for safety and control of the children's activities
- 4'-0" high bollards will be installed around the fenced playground area for protection of automobile traffic in the vicinity
- The playground area will be used in 3 shifts to allow adequate space for the different child age groups
- The playground area will be monitored by the child care assistant from each classroom
- The child care providers will have the following certifications that are reviewed and granted by the State:
 - Introduction to day care procedures
 - Care of infants and toddlers
 - Fundamentals of family
- The owner of the property, Meradita Moreno, has her city and state licenses to operate an existing family day care at 2235 S. 5th St., Milwaukee, Wisconsin

- The four years of experience and State approvals for inspections and recertification of her facility, plus 4 additional years employed as a child care provider working for another children's day care center, provides the necessary credentials to operate and obtain the State certifications at this property, after she is able to obtain the necessary approvals and permits from the City of Sheboygan

Proposed Building and Site Improvements

Site Improvements:

- A new handicap accessible ramp to provide access to the first floor level will be included
- A new dumpster enclosure will be included
- A new 6'-0" wood fence will be installed on the north and south sides of the property to provide privacy to adjacent neighbors and safety for the day care center
- No exterior lights will be installed
- A new 6'-0" chain link fence with safety bollards will be installed in the outdoor children's playground area
- A new exterior sign will be installed in the building. The sign will be equal to the size and location where the existing sign of the previous occupants of the building is located

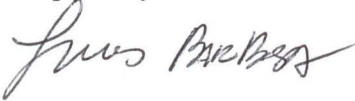
Building Improvements:

- A new exterior door in the rear of the building will be located to allow access to the handicap ramp, entrance and exit to the first floor level
- A new interior fire rated wall between the two properties will be constructed within the existing common area between the two buildings
- Interior removal of several walls to increase the floor area of each proposed new classroom/children area
- New interior walls
- Removal of existing toilet facilities
- Construction of new ADA toilet facilities at each level

We have included the following documents for reference:

1. Preliminary Architectural drawings of existing conditions and proposed site and building alterations
2. Pictures of existing building conditions
3. Legal plat of survey of existing conditions
4. Copy of existing signs in front of the building

Prepared by:



Luis Barbosa, AIA, ALA
Architect - Principal
BMR Design Group, Inc.
503 W. Lincoln Ave.
Milwaukee, WI 53207
414-384-2996

PROJECT

Proposed New
 Day Care
 At:
 1720 N. 8th St
 Sheboygan, WI

PROJECT NO. 2021-08

DATE 03/01/2021

REVISIONS

NO.	DESCRIPTION

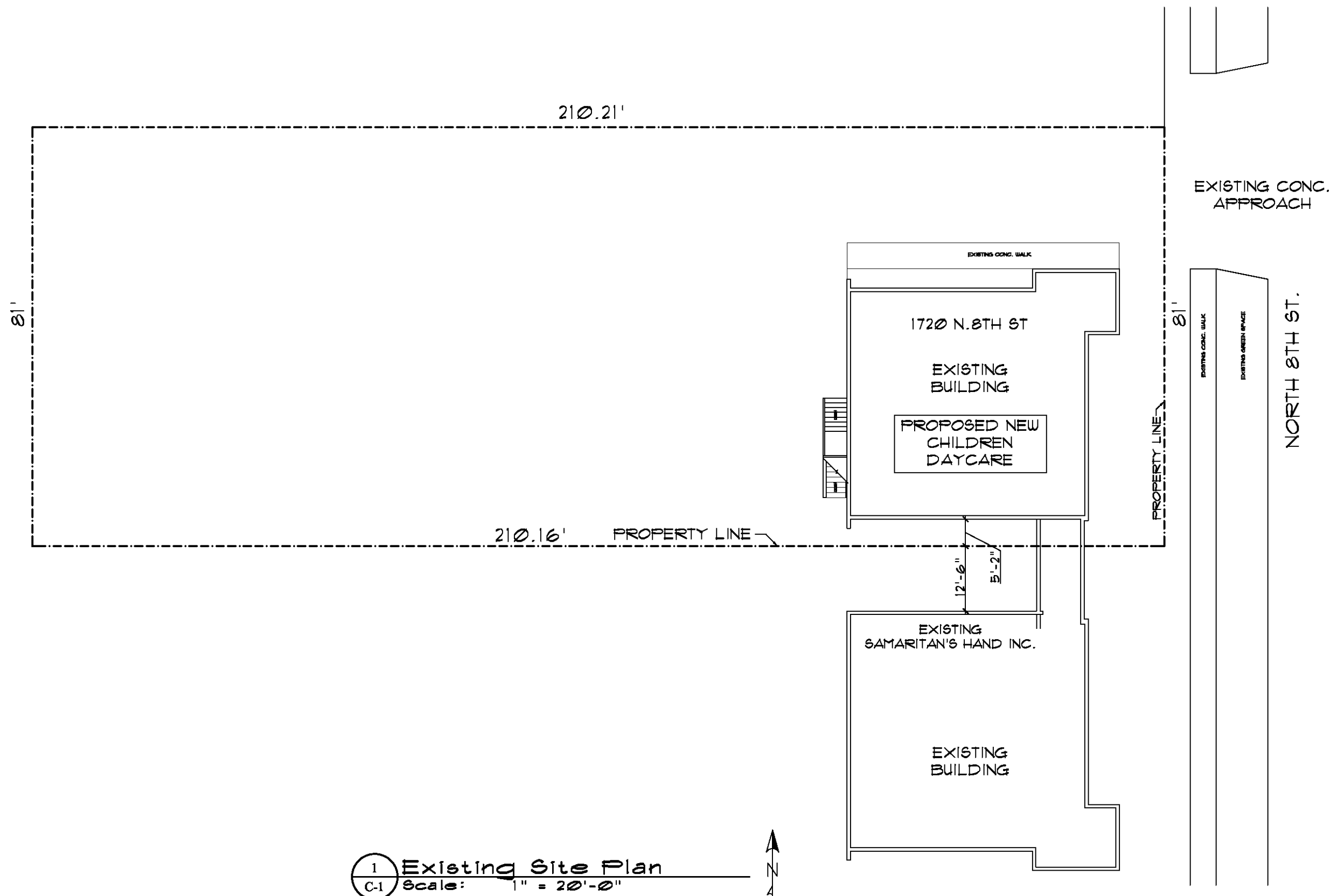
CHECKED BY L.B.

DRAWN BY R.A.

SCALE as noted

SHEET NO. C-1

SHEET TITLE



1 Existing Site Plan
 C-1 Scale: 1" = 20'-0"

PROJECT

Proposed New
Day Care
At:
1720 N. 8th St
Sheboygan, WI

PROJECT NO. 2021-08

DATE 03/01/2021

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CHECKED BY L.B.

DRAWN BY R.A.

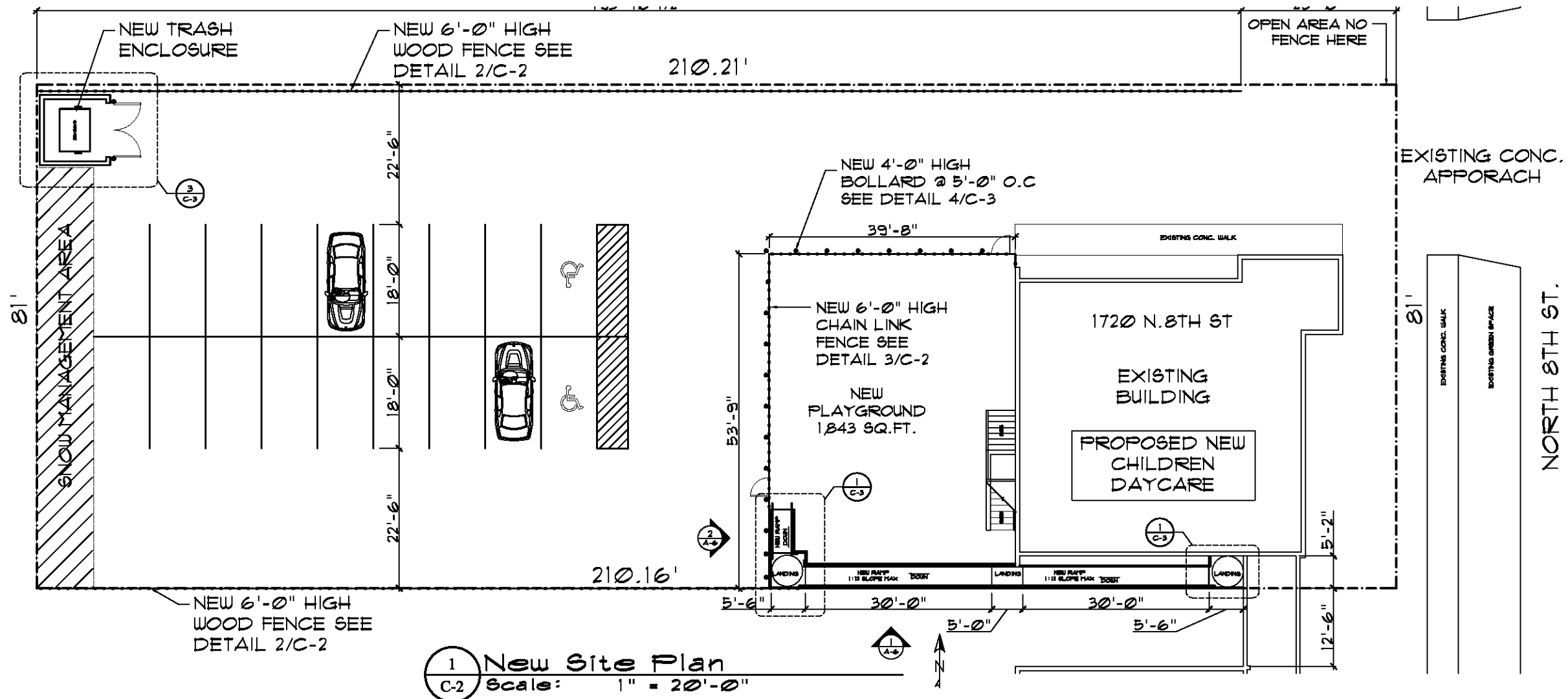
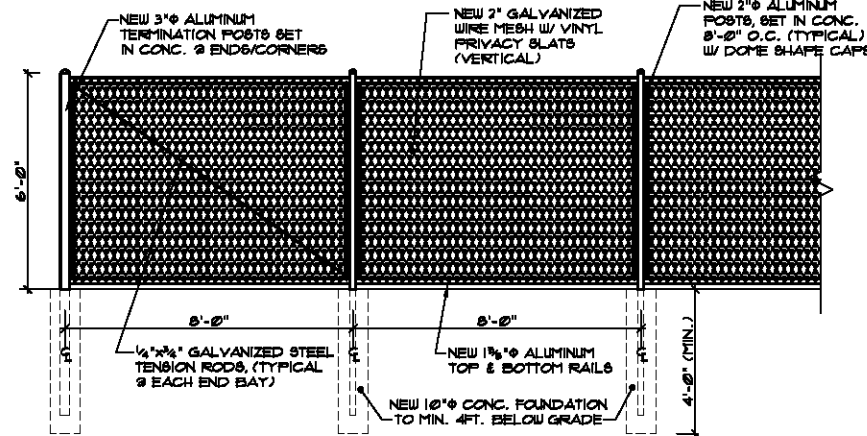
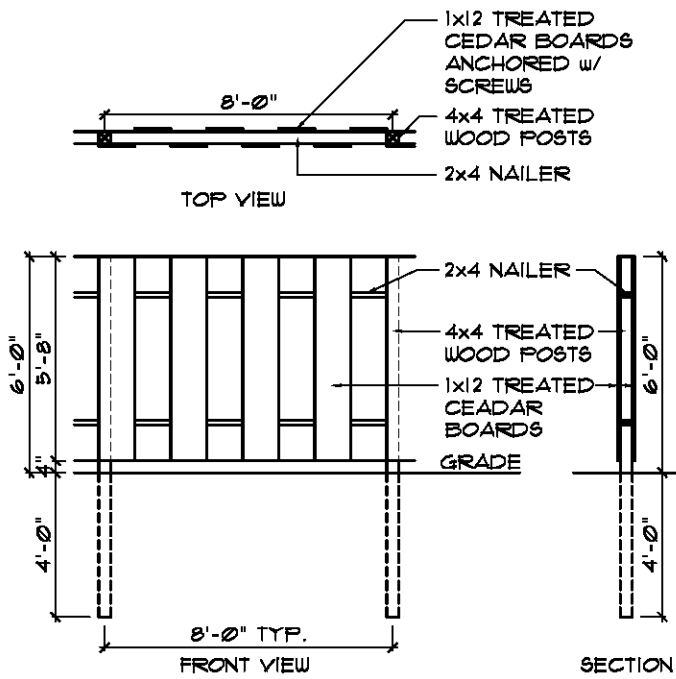
SCALE as noted

SHEET NO. C-2

SHEET TITLE

OUTDOOR PLAY SPACE REQUIREMENTS (1,843 SQ. FT.)					
ROOM	CHILDREN AGE	CHILDREN QTY	SQFT PER CHILD	SQFT REQUIRED	SQFT PROVIDED
ROOM A-1	6 WEEKS TO 12 MONTHS	4	35	140	
ROOM A-2	6 WEEKS TO 12 MONTHS	4	35	140	
ROOM A-3	2 1/2 TO 3 YEARS	5	75	375	
ROOM A-4	2 1/2 TO 3 YEARS	4	75	300	
ROOM A-5	2 1/2 TO 3 YEARS	7	75	525	
ROOM A-6	3 TO 4 YEARS	9	75	675	
ROOM B-1	4 TO 5 YEARS	10	75	750	
ROOM B-2	5 TO 6 YEARS	9	75	675	
ROOM B-3	7 TO 12 YEARS	11	75	825	
TOTAL		63		4,405	1,843

PLAYGROUND TO BE USED IN 3 SHIFTS
 ONE SHIFT FOR ROOM A-1-A-2-A-3-A-4-A-5 = 1,480 SQ.FT.
 ONE SHIFT FOR ROOM A-6, B-1 = 1,425 SQ.FT.
 ONE SHIFT FOR ROOM B-2, B-3 = 1,500 SQ.FT.



PROJECT
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PROJECT NO. 2021-08

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NO.	DESCRIPTION

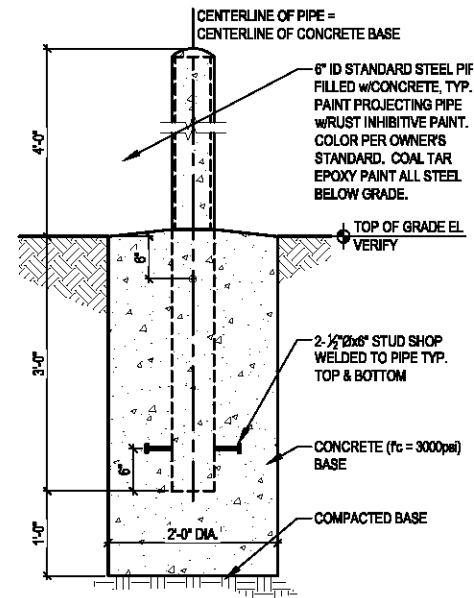
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DRAWN BY R.A.

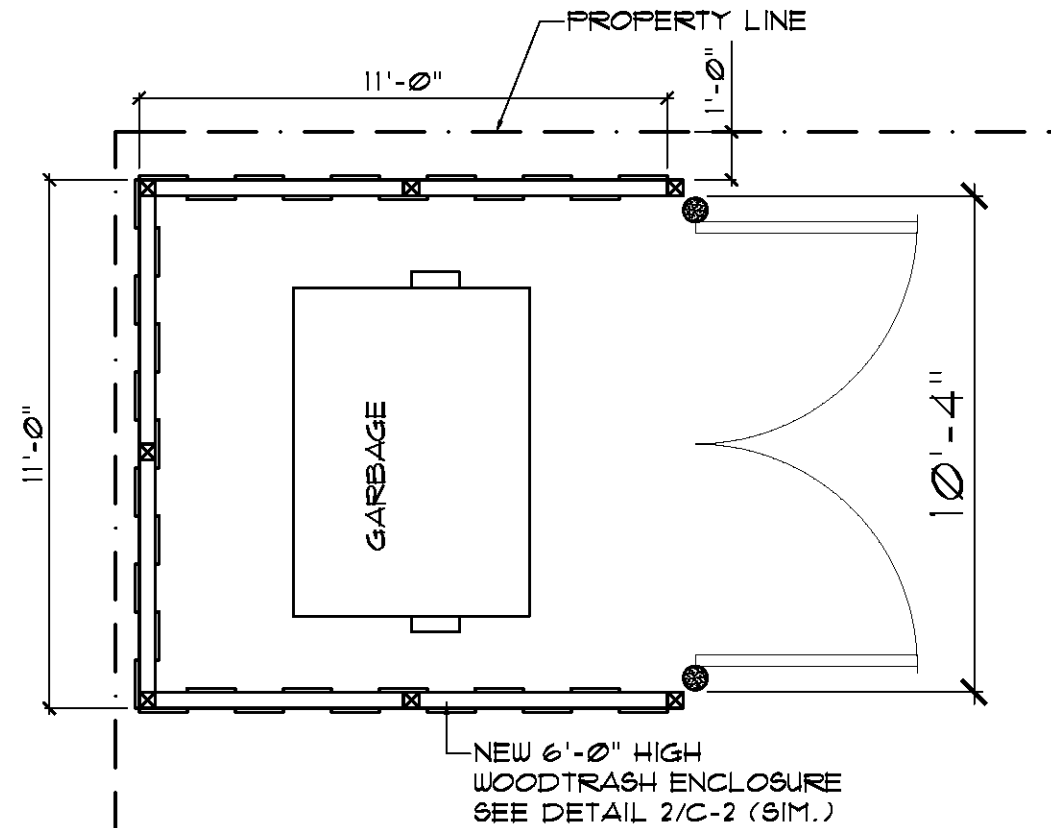
SCALE as noted

SHEET NO. C-3

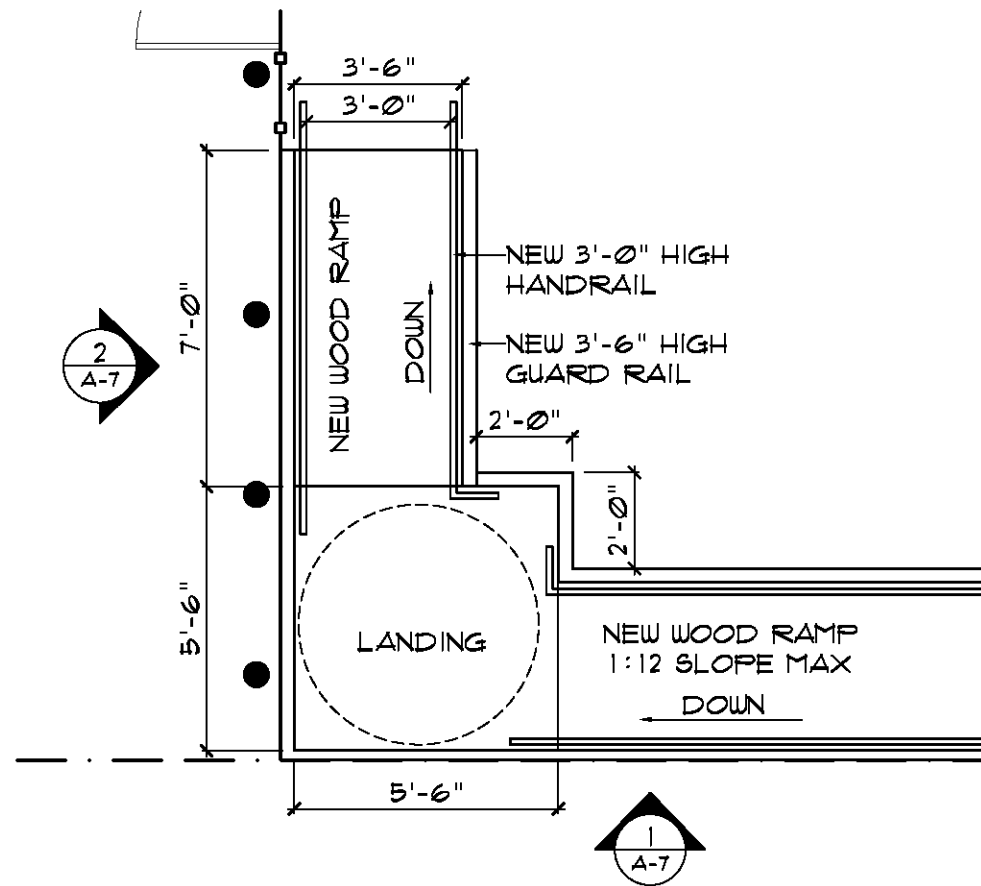
SHEET TITLE



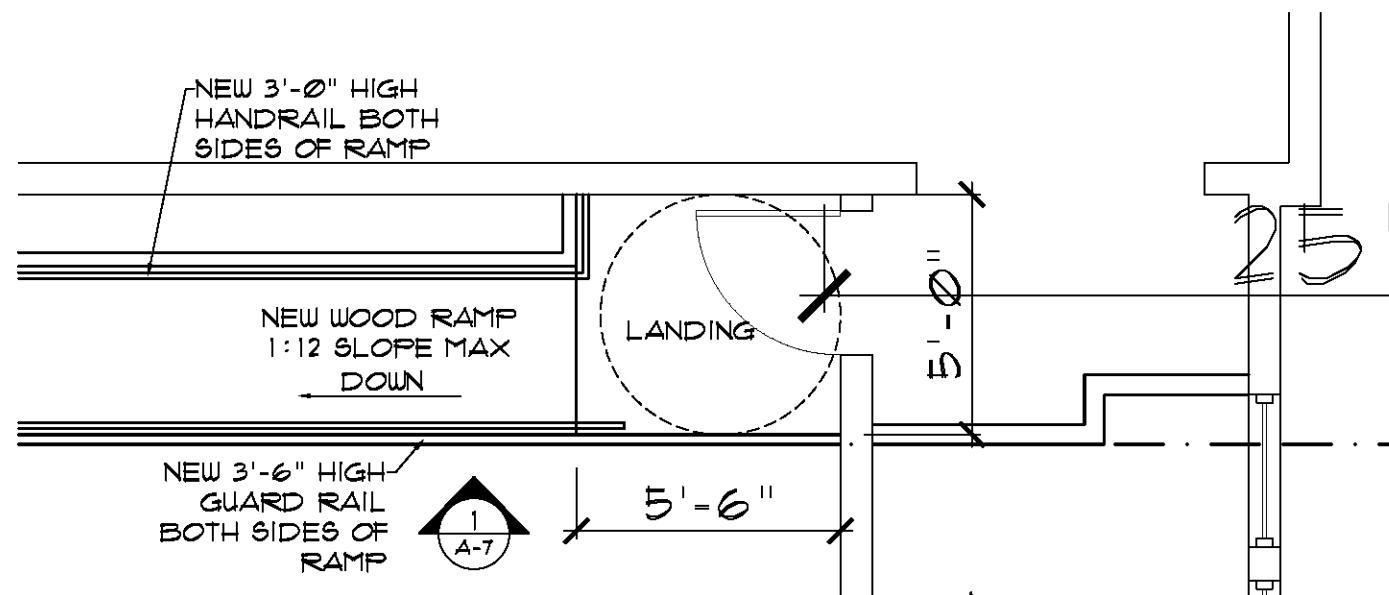
4 Bollard Detail
C-3 Scale: n.t.s.



3 Trash Enclosure Floor Plan
C-3 Scale: 1/4" = 1'-0"



1 Partial Ramp Floor Plan
C-3 Scale: 1/4" = 1'-0"



2 Partial Ramp Floor Plan
C-3 Scale: 1/4" = 1'-0"



WOOD FENCE



CHAIN LINK FENCE W/ PRIVACY SLATS

BMR
 DESIGN GROUP, INC.
 Architects - Engineers

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 Milwaukee, Wisconsin 53207
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 Fax - (414) 384-3904

PROJECT

Proposed New
 Day Care
 At:
 1720 N. 8th St
 Sheboygan, WI

PROJECT NO. 2021-08

DATE 02/03/2021

REVISIONS

CHECKED BY L.B.

DRAWN BY R.A.

SCALE as noted

SHEET NO. P-2

SHEET TITLE

PROJECT

Proposed New
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At:
1720 N. 8th St
Sheboygan, WI

PROJECT NO. 2021-08

DATE 03/01/2021

REVISIONS

NO.	DESCRIPTION

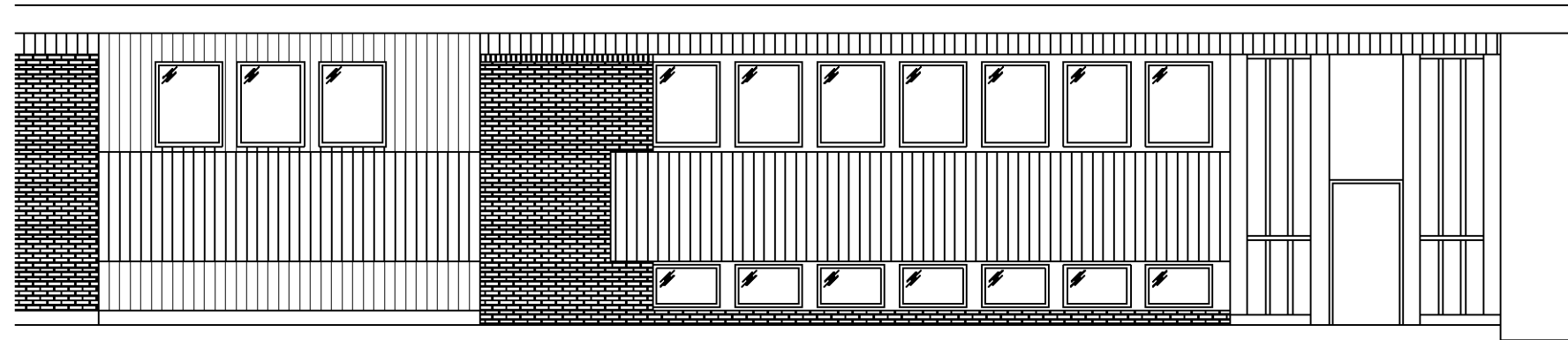
CHECKED BY L.B.

DRAWN BY R.A.

SCALE as noted

SHEET NO. A-3

SHEET TITLE



1 Existing East Elevation (Front)
A-3 Scale: 1/8" = 1'-0"

SOUTH WALL WINDOW PERCENTAGE

PER TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENING
BASED ON FIRE SEPARATION DISTANCE AND
DEGREE OF OPENING PROTECTION

FIRE SEPARATION DISTANCE 5'-0" TO LESS THAN 10'-0" ON NORTH WALL
ALLOWABLE AREA: 25%

SOUTH WALL AREA : 467 SQ.FT.

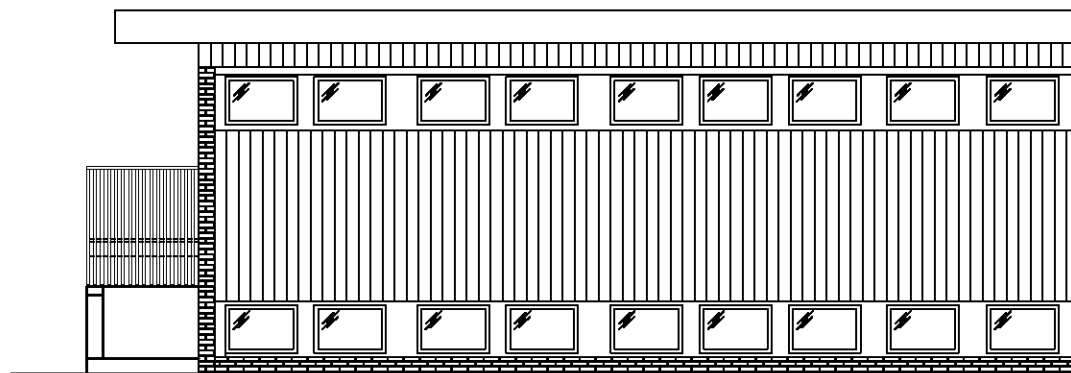
ALLOWABLE WALL OPENING AREA = 25%

NORTH WALL ALLOWABLE OPENING AREA: 467 SQ.FT. X 25% = 116.75 SQ.FT.

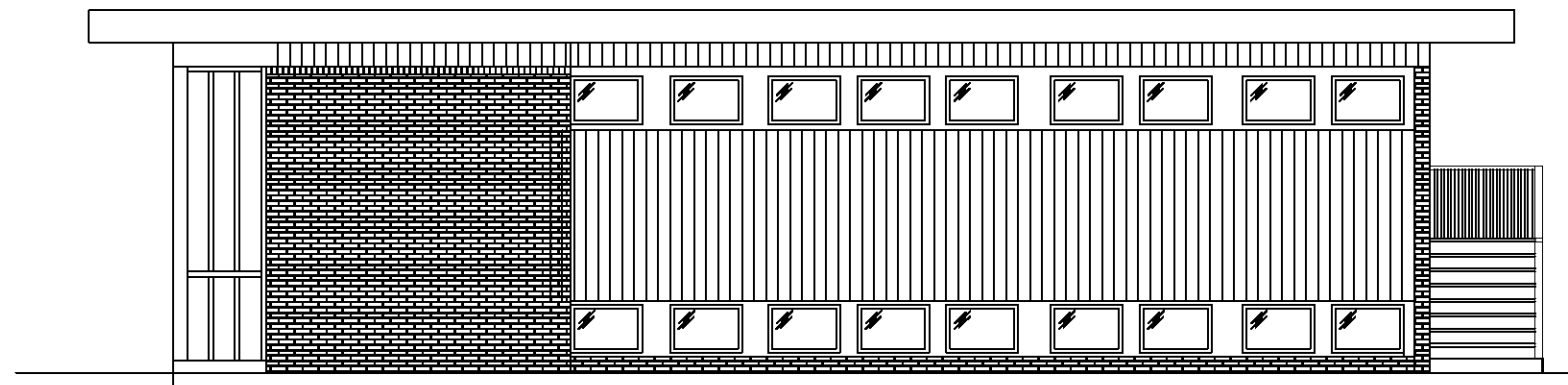
WINDOW SIZES	AREA:	QTY:	TOTA AREA
WINDOW: 3'-0" X 2'-0" =	6 SQ.FT.	18	108 SQ.FT.
TOTAL WINDOW AREA FOR ALL WINDOWS ON SOUTH WALL:			108 SQ.FT.

SOUTH WALL ALLOWABLE
OPENING AREA = 116.75 SQ.FT.

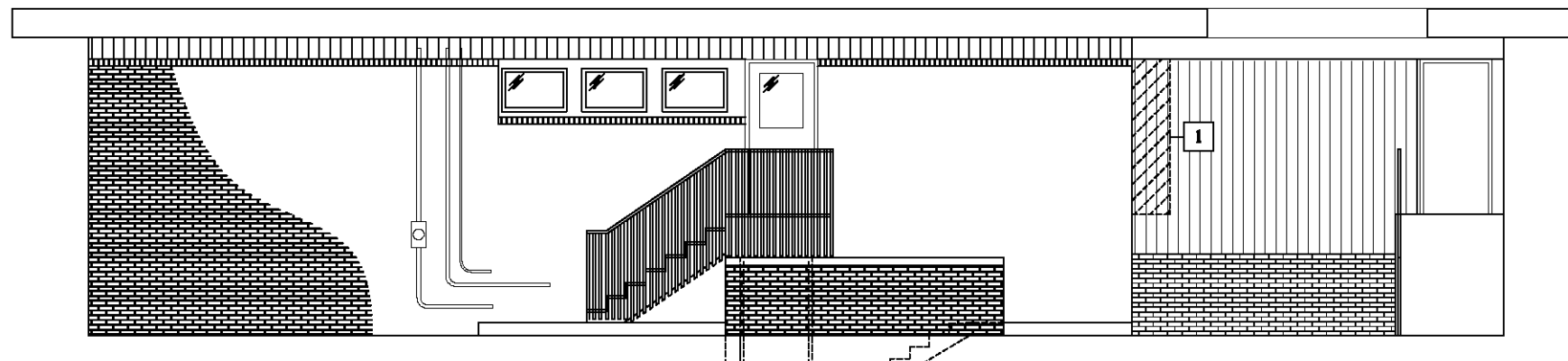
SOUTH WALL WINDOW OPENING
AREA = 108 SQ.FT. **OK!**



2 Existing South Elevation (Side)
A-3 Scale: 1/8" = 1'-0"



3 Existing North Elevation (Side)
A-3 Scale: 1/8" = 1'-0"



4 Existing West Elevation (Rear)
A-3 Scale: 1/8" = 1'-0"

NOTES

- 1 EXISTING WALL TO BE REMOVED
FOR NEW DOOR OPENING

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CHECKED BY L.B.

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SCALE as noted

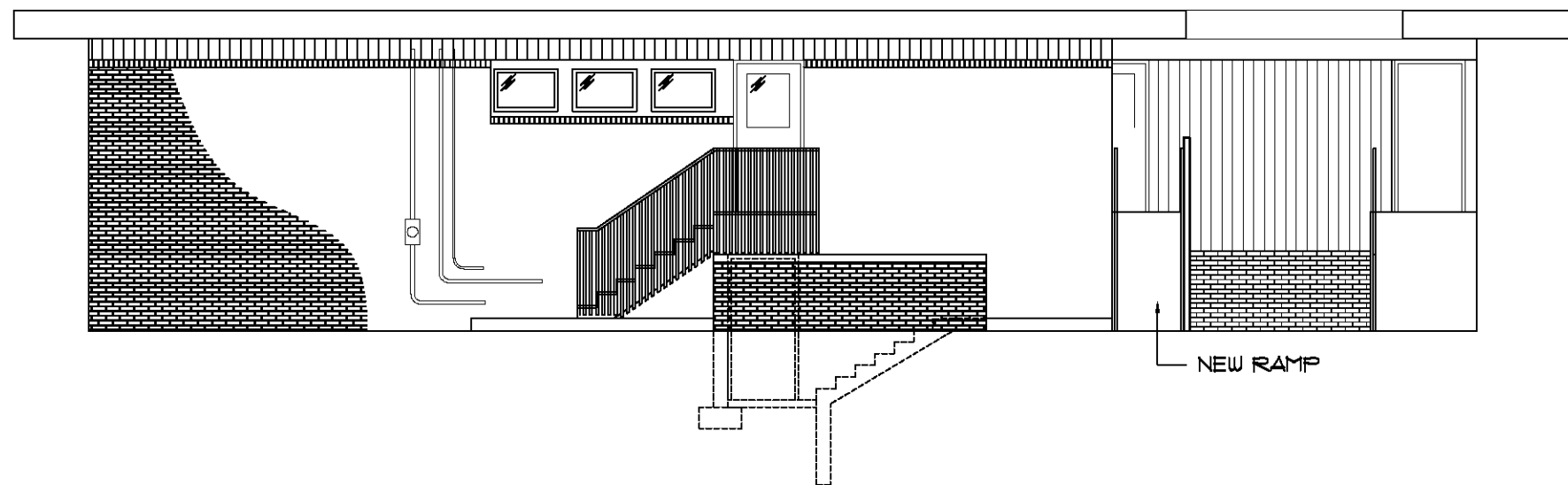
SHEET NO. A-6

SHEET TITLE



2 New Ramp / Fence Elevation
 A-6 Scale: 1/8" = 1'-0"

1 New Ramp / Fence Elevation
 A-6 Scale: 1/8" = 1'-0"



3 New West Elevation (Rear)
 A-6 Scale: 1/8" = 1'-0"

PROJECT
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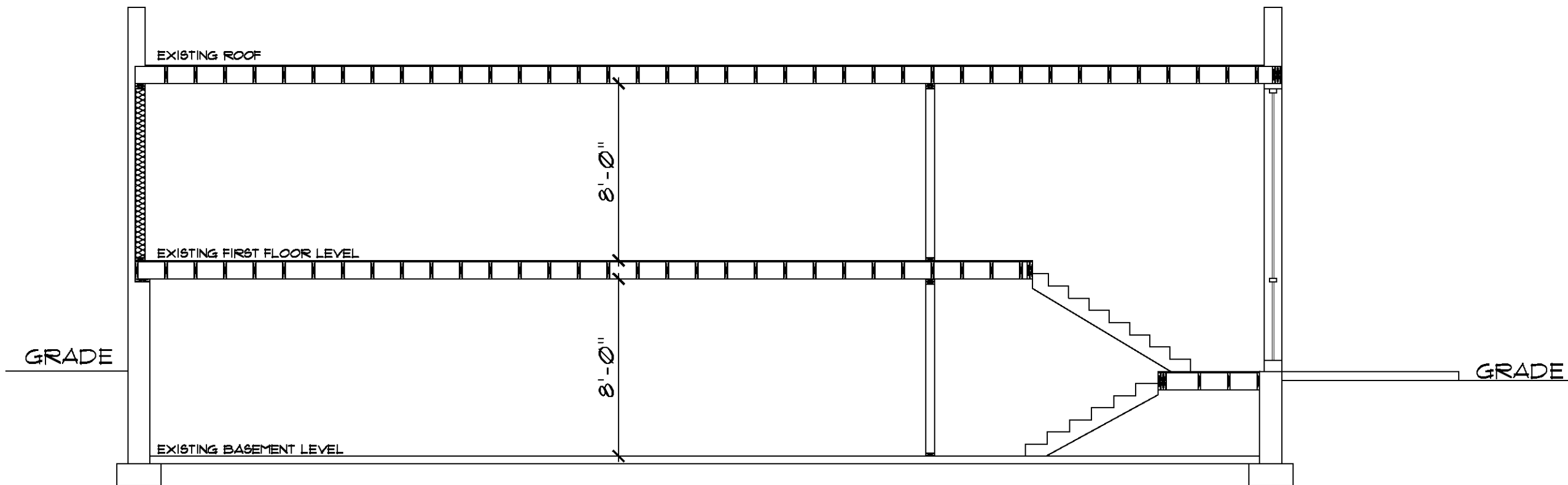
CHECKED BY L.B.

DRAWN BY R.A.

SCALE as noted

SHEET NO. A-3.1

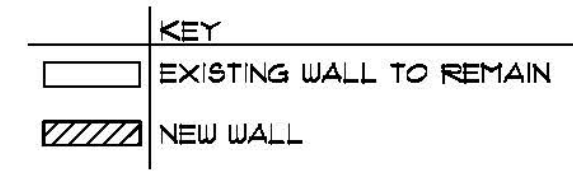
SHEET TITLE



1 Existing Building Section
 A-3.1 Scale: 3/16" = 1'-0"

BASEMENT LEVEL

INDOOR SPACE REQUIREMENTS (TOTAL CHILDREN: 30)					
ROOM	CHILDREN AGE	CHILDREN QTY	SQFT PER CHILD	SQFT REQUIRED	SQFT PROVIDED
ROOM B-1	4 TO 5 YEARS	10	35	350	353
ROOM B-2	5 TO 6 YEARS	9	35	315	334
ROOM B-3	7 TO 12 YEARS	11	35	385	398
BASEMENT TOTAL CHILDREN		30			



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DRAWN BY R.A.

SCALE as noted

SHEET NO. A-4

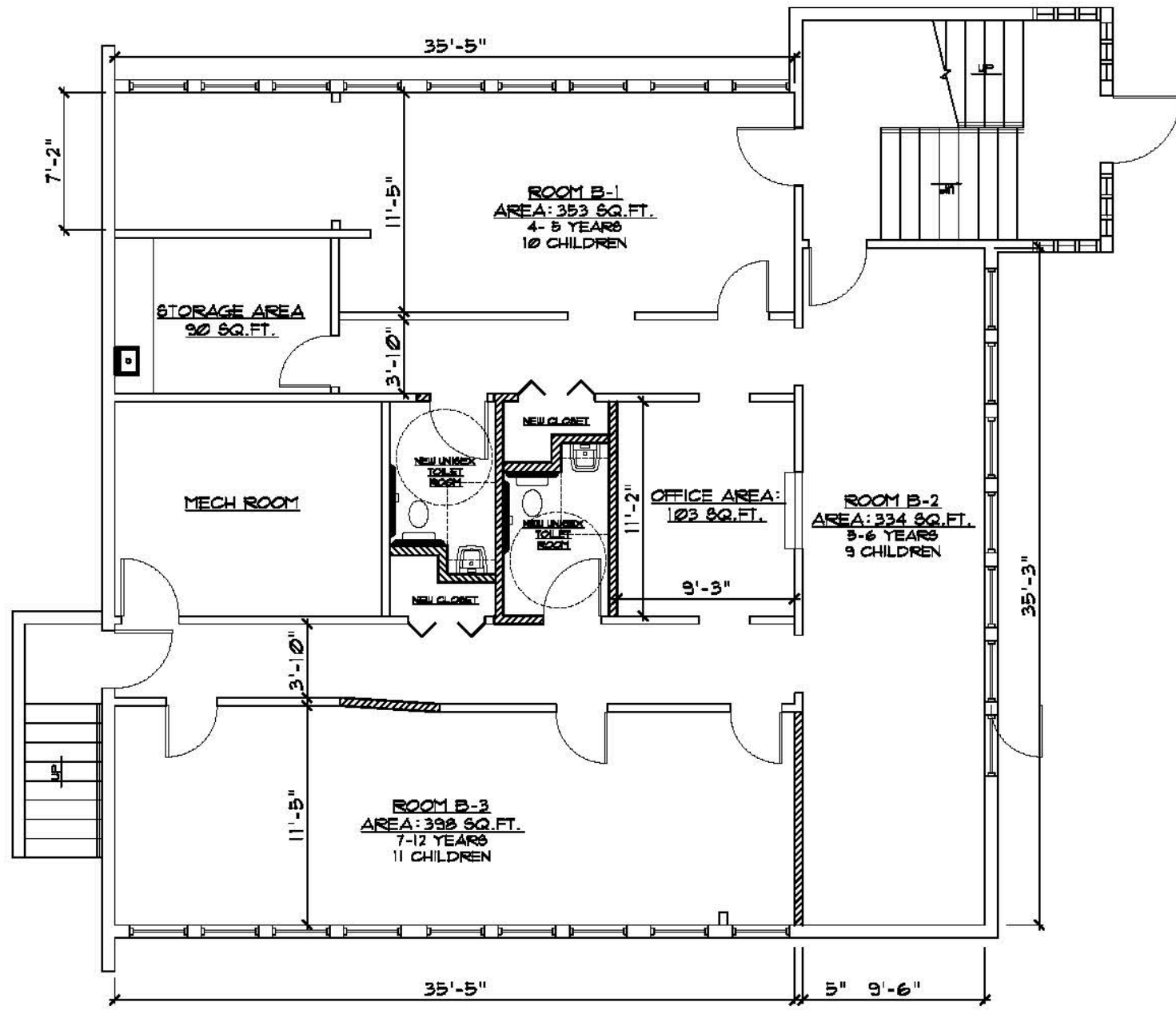
SHEET TITLE

TABLE 251.06
Minimum Number of Washbasins and Toilets
Required in Group Child Care Centers

Maximum Number of Children for Which the Center is Licensed	Number of Toilets	Number of Washbasins
9 or 10	1	1
11 to 25	2	1
26 to 40	3	2
41 to 55	4	2
56 to 70	5	3

TABLE DCF 251.05-D
Maximum Group Size and Minimum Number of
Child Care Workers in Group Child Care Centers

Age of Children	Minimum Number of Child Care Workers to Children	Maximum Number of Children in a Group
Birth to 2 Years	1:4	8
2 years to 2½ Years	1:6	12
2½ Years to 3 Years	1:8	16
3 Years to 4 Years	1:10	20
4 Years to 5 Years	1:13	24
5 Years to 6 Years	1:17	34
6 Years and Over	1:18	36



1 New Basement Floor Plan
A-4 Scale: 1/8" = 1'-0"

FIRST FLOOR

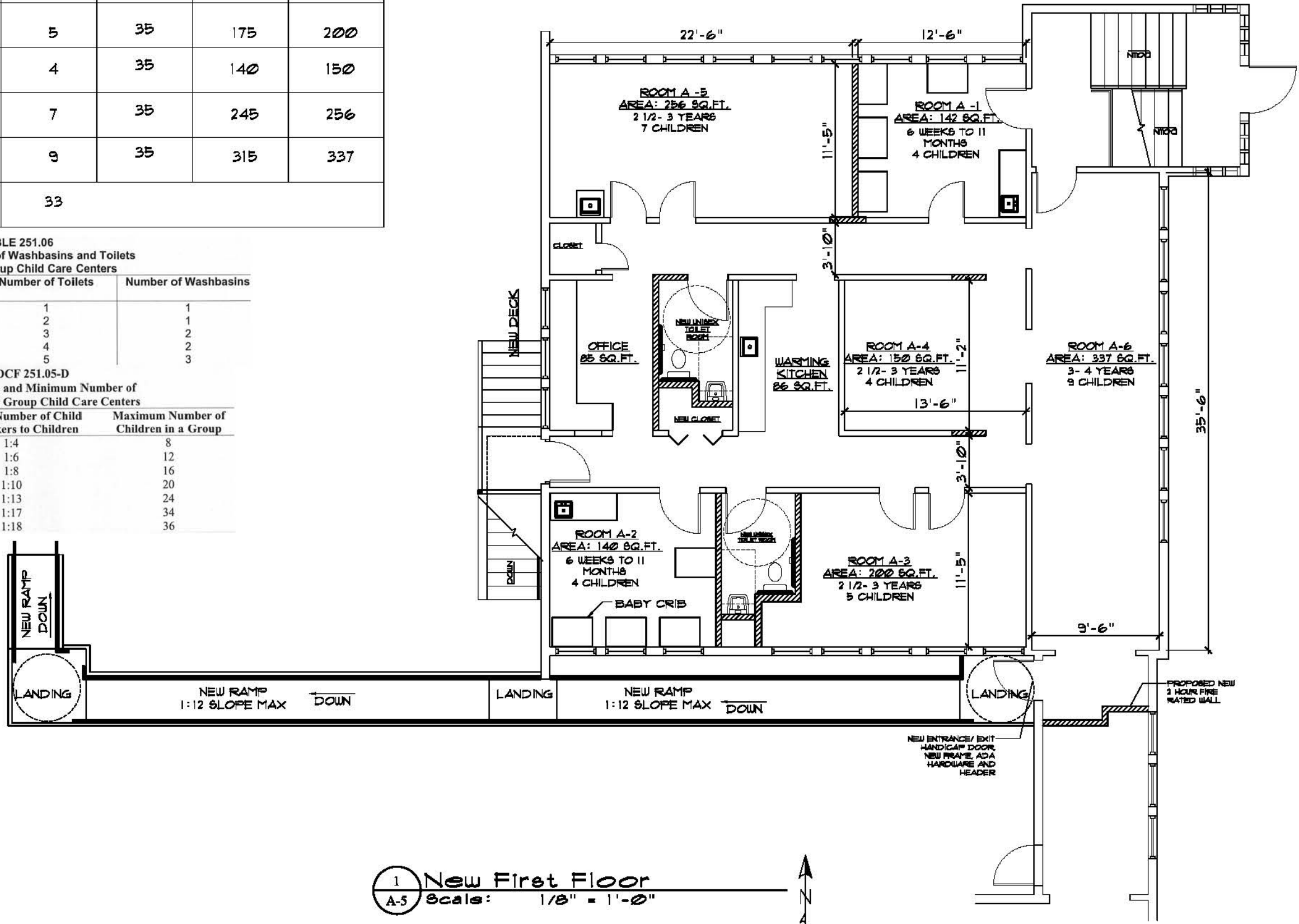
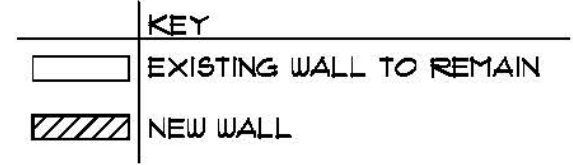
INDOOR SPACE REQUIREMENTS (TOTAL CHILDREN: 32)					
ROOM	CHILDREN AGE	CHILDREN QTY	SQFT PER CHILD	SQFT REQUIRED	SQFT PROVIDED
ROOM A-1	6 WEEKS TO 12 MONTHS	4	35	140	142
ROOM A-2	6 WEEKS TO 12 MONTHS	4	35	140	140
ROOM A-3	2 1/2 TO 3 YEARS	5	35	175	200
ROOM A-4	2 1/2 TO 3 YEARS	4	35	140	150
ROOM A-5	2 1/2 TO 3 YEARS	7	35	245	256
ROOM A-6	3 TO 4 YEARS	9	35	315	337
FIRST FLOOR TOTAL CHILDREN		33			

TABLE 251.06
Minimum Number of Washbasins and Toilets
Required in Group Child Care Centers

Maximum Number of Children for Which the Center is Licensed	Number of Toilets	Number of Washbasins
9 or 10	1	1
11 to 25	2	1
26 to 40	3	2
41 to 55	4	2
56 to 70	5	3

TABLE DCF 251.05-D
Maximum Group Size and Minimum Number of
Child Care Workers in Group Child Care Centers

Age of Children	Minimum Number of Child Care Workers to Children	Maximum Number of Children in a Group
Birth to 2 Years	1:4	8
2 years to 2 1/2 Years	1:6	12
2 1/2 Years to 3 Years	1:8	16
3 Years to 4 Years	1:10	20
4 Years to 5 Years	1:13	24
5 Years to 6 Years	1:17	34
6 Years and Over	1:18	36



1 New First Floor
A-5 Scale: 1/8" = 1'-0"

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1720 N. 8th St
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REVISIONS

NO.	DESCRIPTION

CHECKED BY L.B.

DRAWN BY R.A.

SCALE as noted

SHEET NO. A-5

SHEET TITLE

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REVISIONS

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SCALE as noted

SHEET NO. P-1

SHEET TITLE



LOOKING WEST



LOOKING SOUTH WEST



LOOKING SOUTH



LOOKING SOUTH EAST



LOOKING EAST



LOOKING NORTH EAST



CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by Tim Fettig to operate a Verlo Mattress Store from the multi-tenant facility located at 4315 S. Taylor Drive. SI Zone and Sheboygan Business Park

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: March 19, 2021

MEETING DATE: March 23, 2021

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Tim Fettig is proposing to operate Verlo Mattress Store from 4315 S. Taylor Drive (vacant space in Multi-tenant building). The applicant states the following:

- Verlo Mattress Factory Stores of Greater Sheboygan, Inc. has been serving the City of Sheboygan for 23 years opening on October 1, 1998 starting at the Taylor Heights location and then moving to our current location November 1, 2001.
- Verlo is proposing to use a 5,000sf tenant space for unloading of raw materials, warehousing, manufacturing/assembly of products for delivery to customers, retail sales and wholesale sales (south end of the building previously used by Diamond Vogel paint).
- Verlo manufactures and assembles the products they sell on a daily basis. The showroom will be integrated with our production area which requires a conditional use to perform industrial and retail in the same space (no dividing wall).
- Verlo Mattress Factory Stores is proposing a store where the mattresses are produced in the showroom space. Verlo will combine manufacturing and assembly of mattresses with the showroom space helping customers understand Verlo is factory direct. Verlo will receive raw materials, sort materials, move materials on carts to production tables located in the showroom area. The completed mattress will be moved to the warehouse for delivery to the customer.

Verlo selected this site because:

- This location is ideally positioned to offer both the manufacturing and sales in the showroom space for Verlo Mattress products and services. Verlo will receive raw materials. Mattresses will be assembled and manufactured for delivery to customers. Showroom will combine manufacturing and retail space
- The location is perfect for a manufacturing/showroom space.
- The wide-open design of the space is perfect for the layout of the combined assembly and retail space in the showroom.
- The availability of a loading dock and drive-in access for unloading raw materials and loading finished goods for delivery to the customer.

The applicant states:

- Hours of operation will be:
 - Manufacturing – M-F 5am to 10am
 - Store Hours – M-F 10am to 6pm; Saturday 10am to 5pm; and Sunday 12pm to 5pm.
- There will be four (4) employees.
- We do not believe this new development will negatively impact or be a nuisance to the surrounding tenants or overall development. This is an expansion of a long-standing established use and is consistent with the nature of the surrounding businesses in this development. The traffic patterns are already established and will not be affected by the new development.
- Verlo Mattress Factory Stores of Greater Sheboygan, Inc. is extremely excited about the opportunity to expand the way we do business in Sheboygan. The relocation to 4315 S. Taylor Drive provides the space we need to integrate our production of mattresses and our showroom space. We believe that Verlo is unique in its business model, offering hand crafted mattress, built locally and sold directly to the public. City of Sheboygan will benefit from our growth and the residents will benefit from our ability to better serve them!

STAFF COMMENTS:

The applicant has provided some conceptual drawings on signage but no formal sign package has been presented. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

Applicant has provided some conceptual drawings regarding how Verlo might renovate the exterior of the building. Applicant shall work with staff and will need to receive approval from the City of Sheboygan Architectural Review Board for any proposed exterior renovations/remodeling.

Applicant is requesting the following variances:

- To have the Plan Commission approve Verlo's proposed plans for its combined manufacturing and retail showroom – The total area devoted to sales activity shall not exceed 25 percent of the total area of the buildings on the property.
- To have the Plan Commission approve Verlo's proposed plans for its combined manufacturing and retail showroom (there is dedicated space warehousing and production in the back of the facility) – Retail sales area shall be physically separated by a wall from other activity areas.

Approximately 35% of the rear/back of the tenant space is dedicated to warehousing, production, racking, loading/unloading, etc.

Approximately 65% of the area is the combined showroom and production tables/assembly areas

ACTION REQUESTED:

Staff recommends approval of the Conditional Use and exceptions subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. If using dumpsters, the dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
3. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
6. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
7. Proposed signage will be individual letter signs (no flat panel or interior lit cabinet signs).
8. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
9. If there is to be any renovation to the exterior of the facility, the applicant will be required to obtain approval from the Architectural Review Board prior to receiving a building permit for such renovation.
10. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. _____
MAP NO. _____
ZONING CLASSIFICATION: _____

Office Use Only

APPLICATION/FILE NO. _____
REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**
Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT:

- Tim Fettig & Verlo Mattress Factory Stores of Greater Sheboygan Inc

ADDRESS:

- 2217 S 44th St Manitowoc WI 54220

E-MAIL:

- tim.fettig@verlo.com

PHONE:

- (920) 457-2337

FAX NO.

- (920) 684-7866

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS:

- Verlo Mattress Factory Stores of Greater Sheboygan Inc

ADDRESS OF PROPERTY AFFECTED:

- 4315 S Taylor Sheboygan WI 53081

LEGAL DESCRIPTION:

- SHEBOYGAN BUSINESS CENTER THAT PRT OF LOT 6 AND THAT PRT OF VAC PLATTED S TAYLOR DR DESC AS: COM AT THE CENTER OF SEC 4 T.14 R.23 BEING A PT IN THE N LINE OF SHEBOYGAN BUSINESS CENTER, TH N-88-DEG-35'-56"W 1583.28' ALG SD N LINE, TH S-41-DEG-26'-37"W 261.12' ALG THE NWLY LINE OF LOT 6 TO PT OF BEG, TH CONT S-41- DEG-26'-37"W 526.00' ALG SD NWLY LINE & ITS SWLY EXTENSION TO THE NELY LINE OF RELOCATED S TAYLOR DR, TH S-43-DEG-32'-04"E 88.43' ALG THE NELY LINE OF S TAYLOR DR TH SELY 386.38' ALG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 950.00', THE CHORD OF WHICH BEARS S- 31-DEG-52'-58"E 383.73' ALG THE ELY LINE OF S TAYLOR DR, TH N-58-DEG-51'-02"E 478.03', TH N-31-DEG-08'- 58"W 627.42' TO POINT OF BEG

BRIEF DESCRIPTION OF EXISTING OPERATION OR USE:

- Vacant tenant space, was the Vogel Diamond Paint retail store

DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE:

- Verlo Mattress Factory Stores is proposing a store where the mattresses are produced in the showroom space. Verlo will combine manufacturing and assembly of mattresses with the showroom space helping customers understand Verlo is factory direct. Verlo will receive raw materials, sort materials, move materials on carts to production tables located in the showroom area. The completed mattress will be moved to the warehouse for delivery to the customer. (See page 6 for visual of the process)

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

- Verlo is seeking a Conditional Use Permit or a Variance to operate a factory/showroom mattress business

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

- Verlo Mattress Factory Stores of Greater Sheboygan Inc has been serving the City of Sheboygan for 23 years opening on October 1, 1998 starting at the Taylor Heights location and then moving to our current location November 1, 2001.
 - Verlo manufactures and assembles the products they sell on a daily basis
 - The showroom will be integrated with our production area which requires a conditional use to perform industrial and retail in the same space (no dividing wall)
 - With the mixed use showroom it is difficult to quantify 25% devoted to sales activity
- How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

- The Comprehensive Master Plan is the “long-range guide for sustainable future community growth, development, redevelopment and preservation.” Verlo has been operating in Sheboygan since 1998, growing with the community. In 2001 we worked to develop the new retail area along S Business Drive being one of the first “out lot” buildings along what is now a booming commercial corridor. With our new location combining local manufacturing and assembly with our factory direct presence we will preserve our legacy.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

- Verlo’s conditional use of 4315 S Taylor Drive will not create any adverse impacts to our immediate co-tenants, the Suburban Industrial District or the City of Sheboygan. It will not change the character of the neighborhood, have a negative impact on the environment or disrupt traffic, parking, public improvements, public property or any rights-of-way. In fact, we believe it will improve the business strength in the area and be a perfect fit for the space.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

- The conditional use for Verlo to operate a business that combines manufacturing and assembly of mattresses within the showroom environment keeps with the suburban industrial look and feel while meeting retail customer needs.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

- Yes, the location provides everything the conditional use would require.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: WBP, LLC

ADDRESS: 1232 N Edison Street Milwaukee WI 53202

E-MAIL: jbarry@berrycre.com

ARCHITECT: N/A

ADDRESS: _____ **E-MAIL:** _____

CONTRACTOR: R. A. Pinno & Sons Construction, Inc.

ADDRESS: W8856 County Road T Rosendale, WI 54974

E-MAIL: rickc@rapinno.com

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

February 26, 2021

DATE

Tim Fettig

PRINT ABOVE NAME

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
 - All lands for which the conditional use is proposed.
 - All other lands within 100 feet of the boundaries of the subject property.
 - The current zoning of the subject property and its environs (200 feet),

Pictures of the Verlo Process



Receiving raw materials



Putting materials away



Production in showroom



Materials on Cart



Assembly of mattresses



Finished goods prepared for delivery



Build tables behind mattress pods

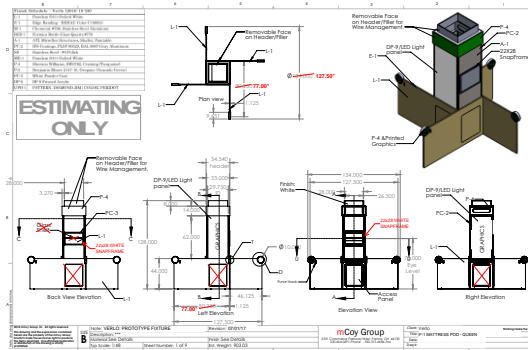
Proposed Use Documentation

- An explanation of the existing uses (multi-tenant facility, etc.).
 - o 4315 S Taylor Drive is a multi-tenant building with the following companies:
 - Ferguson, residential and commercial plumbing products
 - Parker Kunding, seller of fluid power products
- An explanation of the Verlo Mattress proposed use (is this a new tenant, is this replacing existing tenants, what is the square footage of space, where is it being located, etc.)
 - o Proposed use is a Verlo Mattress Factory Store where mattresses are manufactured and sold direct in 5000 square feet of the 40,000 square foot building
 - o Verlo is replacing a tenant at 4315 S Taylor Drive Sheboygan WI 53081
- An explanation of the Verlo Mattress proposal - explanation of all proposed uses/services and all business activities to take place onsite, location in building, management of facility, manufacturing, retail, etc.
 - o Proposed uses
 - Unloading raw materials
 - Warehouse
 - Manufacture/assembly of products for delivery to customers
 - Retail Sales
 - Wholesale Sales
- Why was this site selected?
 - o The location is perfect for a manufacturing/showroom space
 - o The wide-open design of the space is perfect for the layout of the combined assembly and retail space in the showroom
 - o The availability of a loading dock and drive-in access for unloading raw materials and loading finished goods for delivery to the customers
- Is this a new tenant or is it replacing existing tenants?
 - o Previous tenant was Diamond Vogel, vacant for the last 9 months
 - o Verlo is replacing an existing tenant
- A description as to why the proposed Verlo Mattress use is being proposed from this location and why the plan commission should consider approving the proposal in the Sheboygan Business Park (Why was this site selected, proposed tenants, types of uses/activities are expected, when will you begin construction, etc.)?
 - o This location is ideally positioned to offer both the manufacturing and sales in the showroom space for Verlo Mattress products and services.
 - o Verlo will receive raw materials
 - o Mattresses will be assembled and manufactured for delivery to customers
 - o Showroom will combine manufacturing and retail space
- Description of proposed facilities - Description of proposed building and all new site improvements square footage of proposed tenant spaces, exterior remodeling, storm drainage, landscaping, lighting, traffic, ingress/egress, parking, sidewalk, retaining walls, dumpster enclosure, screening of mechanicals, etc.).
 - o Verlo is proposing to remodel the existing building, adding dividing wall from the receiving doors and the production/showroom area
 - o Verlo is proposing a façade with individually lettered signage on the front of the building (see Page 12 for plans and drawings)
 - o No changes to storm drainage, landscaping, lighting, traffic, ingress/egress, parking, sidewalk, retaining walls, dumpster enclosure, screening of mechanicals, etc.

- A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Proposed building is very visible so the building will need to be constructed accordingly (aesthetic look for each building elevation). An explanation of the proposed architectural style and materials and how it is compatible with the development in and around the area.
 - o Walking in the front door there will be a small reception area to the left near the handicap accessible public rest room



- o To the right there will be 5 retail “pods”



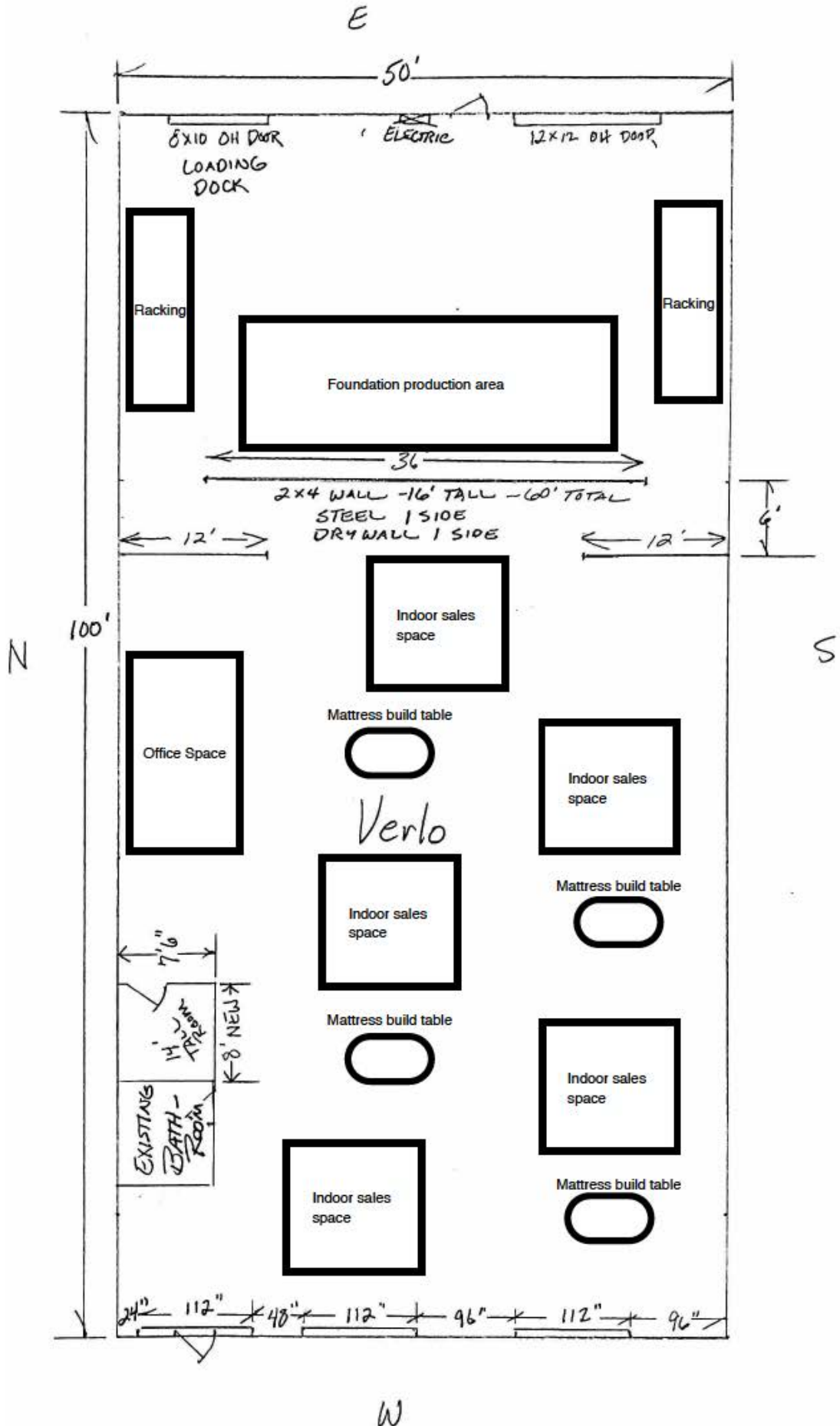
- o Near the pods will be assembly tables for the mattress manufacturing



- o Past the bathroom on the left is where the desk/office area will be located

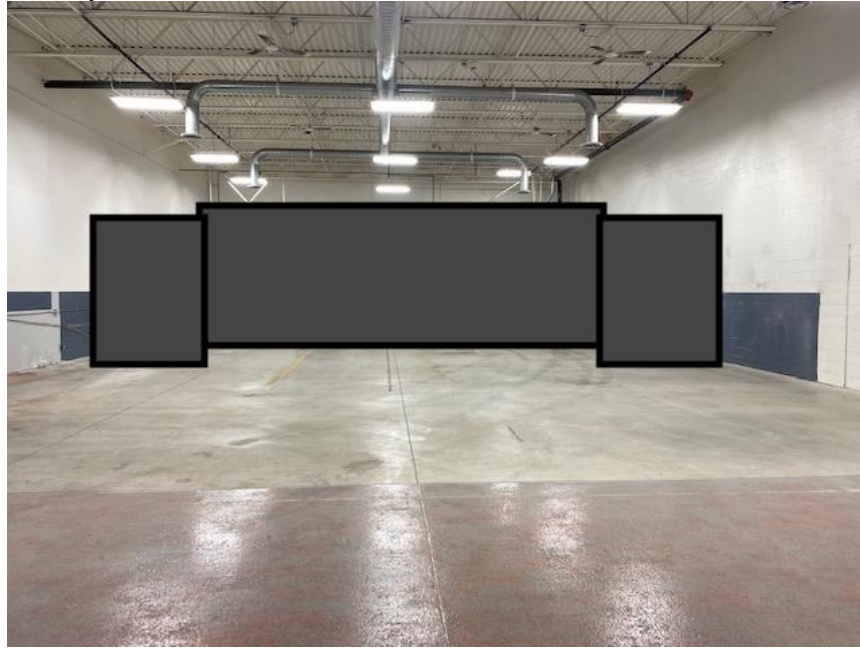


- o A three-part wall will create a division between the raw material/finished goods warehouse and the production/showroom
- o See floor plan layout on pages 9 & 10



W

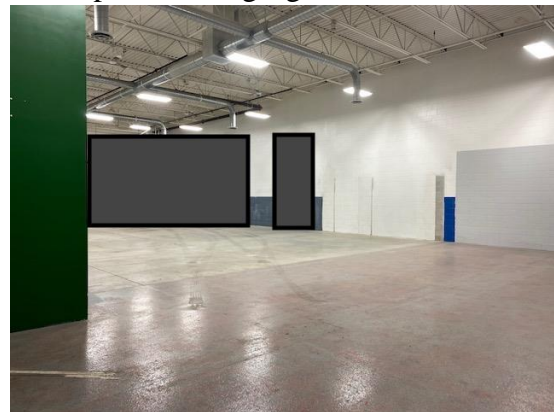
New space with rendered walls



New space looking left



New space looking right



New space looking right



New space looking left



- What are the days and hours of operation?
 - o Monday – Friday 5 am – 10 am manufacturing
 - o Monday – Friday 10-6
 - o Saturday 10-5
 - o Sunday 12-5
- How many employees do you have and how many may use these additional tenant spaces?
 - o There will be up to 4 employees at any given time using the tenant space
- How will building be managed/operated?
 - o The common areas will be managed by the management firm MRED
 - o They currently manage the building at this time
- How will tenant spaces be accessed?
 - o Front door
 - o Back door
 - o Loading dock access
 - o Garage door access
- How will you insure that the proposal will not become a nuisance to adjoining property owners (i.e. outdoor storage of materials, vehicles, equipment, lighting, noise, smells, architectural style, etc.)?
 - o Verlo will not be a nuisance to any adjoining properties. We will not be storing materials outside, any vehicles will be in designated parking locations, we don't have external equipment, using standard lighting, mattress production is very quiet and does not emit smells that would affect neighbors.
- Are you proposing any fencing and landscaping?
 - o No changes to the landscaping, parking lot or yard areas
- Number of parking spaces you have and the number of parking spaces required – is there enough onsite parking spaces for all existing and the new users.
 - o Normally we use no more than 5 parking spots and there are over 30 parking spots available for our tenant space
- Any other information that will be useful for the Plan Commission to understand your proposed business
 - o Verlo Mattress Factory Stores of Greater Sheboygan Inc is extremely excited about the opportunity to expand the way we do business in Sheboygan. The relocation to 4315 S Taylor Drive provides the space we need to integrate our production of mattresses and our showroom space. We believe that Verlo is unique in its business model, offering hand crafted mattress, built locally sold directly to the public. City of Sheboygan will benefit from our growth and the residents will benefit from our ability to better serve them!

Example of front Façade and signage



Colored rendering



Sketch on 4315 S Taylor Drive



Building owner's consent for conditional use application

I, James T. Bury Jr, authorized member of WTBP LLC
(owner/seller), Verloex Mattress of Manitowoc & Sheboygan authorize
t/buyer) (tenant)
to submit a conditional use permit application to
operate a Mattress showroom/warehouse
use from my property located at
4303-4315 S Taylor Drive, Sheboygan
(address of property buyer will operate from).
James T. Bury Jr 2-25-2020
Name WTBP LLC Date

--
Take care,
Tim Fettig
President
Verlo Mattress of Manitowoc & Sheboygan

Map, site survey

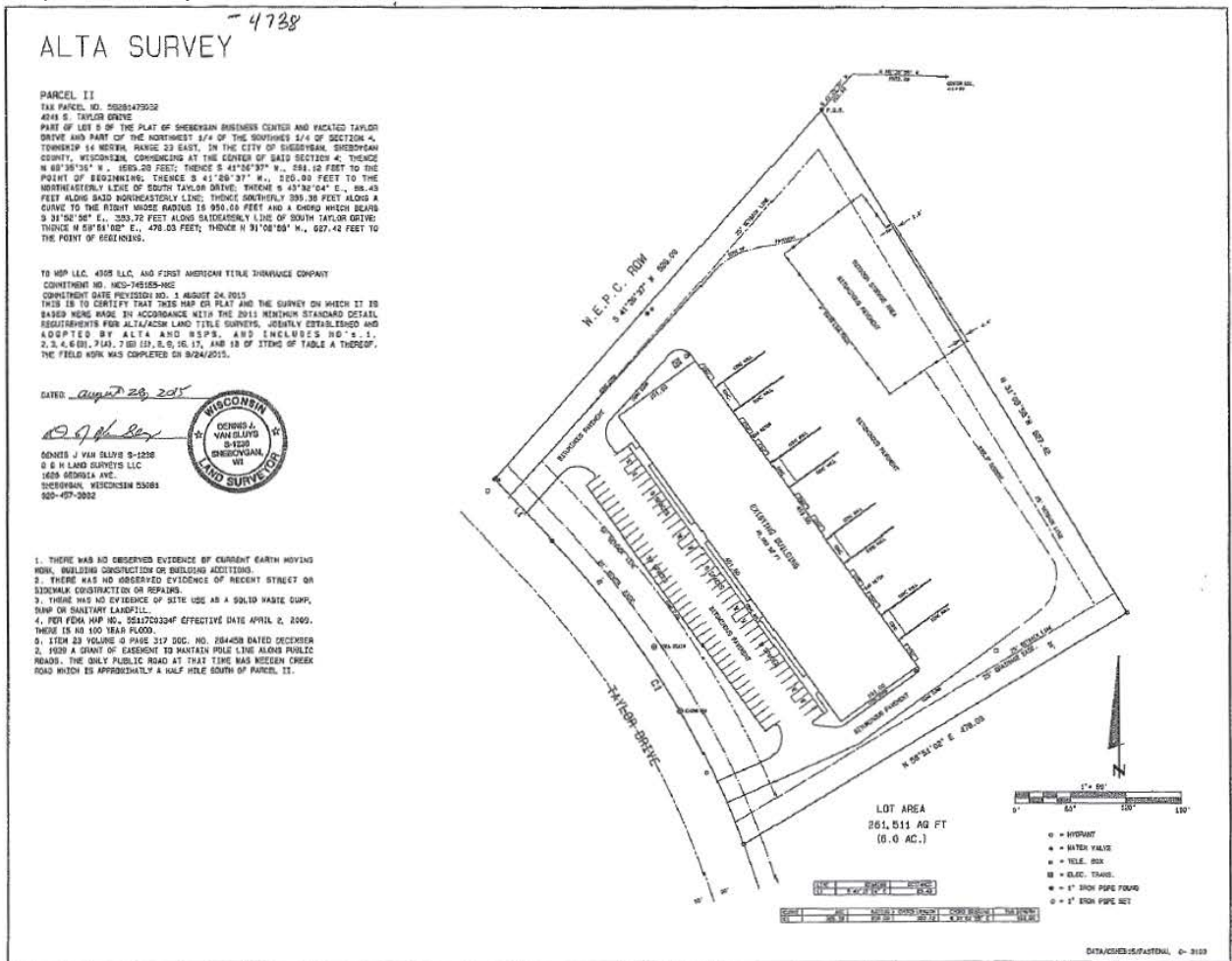
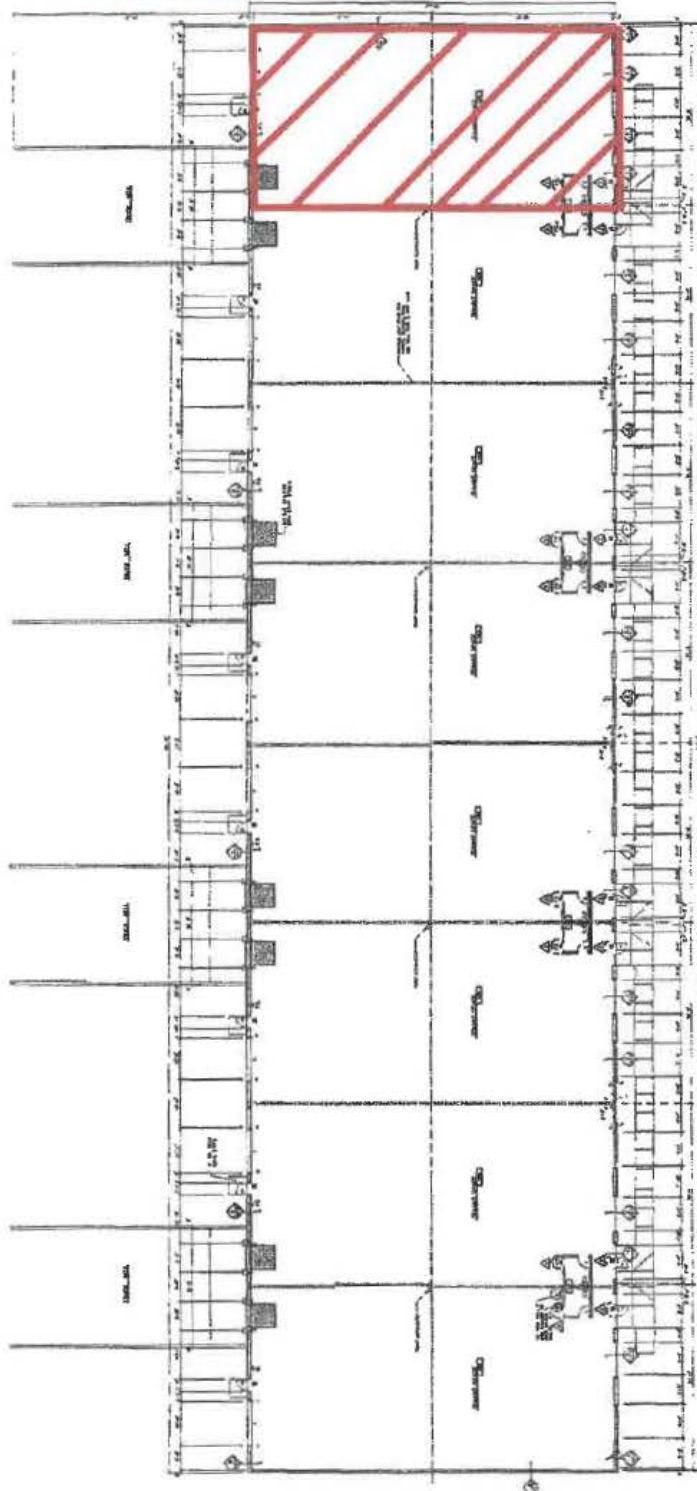


Exhibit A

 = Premises





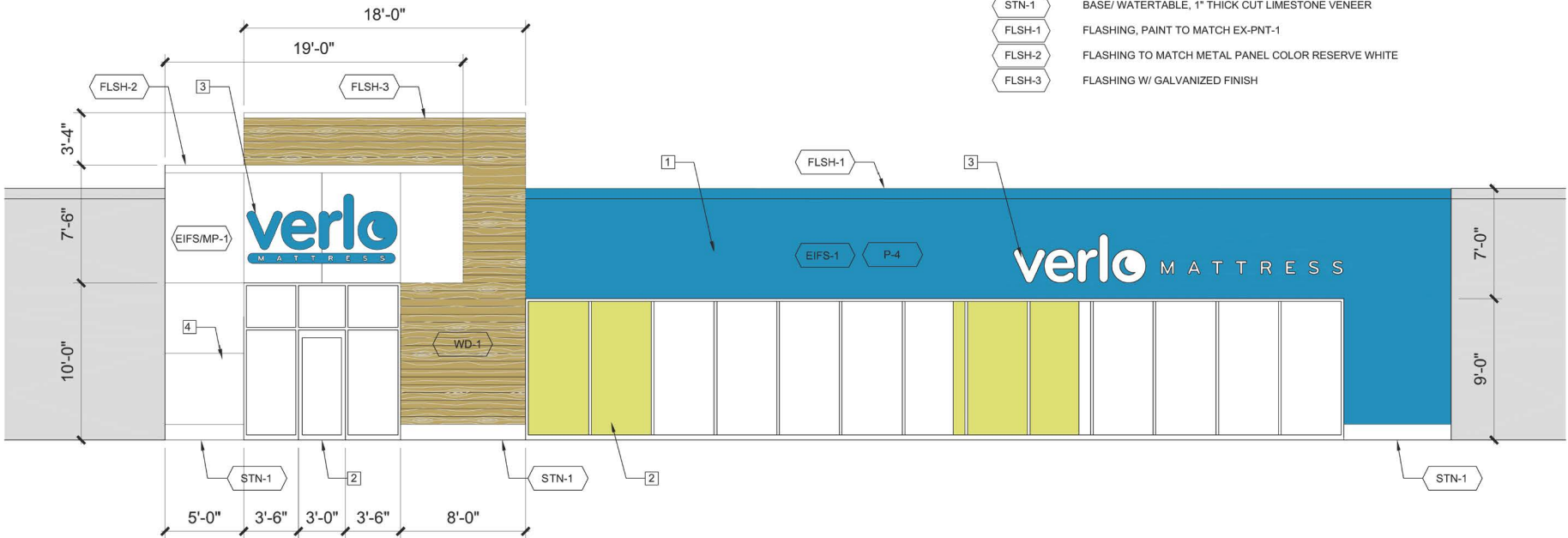
EXTERIOR ELEVATIONS GENERAL NOTES

1. ALL SIGNS SHOWN SYMBOLICALLY
2. VERIFY ALL WALL/ROOF PENETRATION LOCATIONS WITH OWNER
3. ALL EXISTING WALL SURFACES AND PARAPET FLASHING TO BE PAINTED

- 1 EIFS WALL SYSTEM PAINTED
- 2 CLEAR ANNOXIDIZED ALUMINUM STOREFRONT WINDOWS/DOOR
- 3 VERLO SIGN, ELECTRIC. GC TO VERIFY ELECTRIC REQ'S W/ OWNER. GC TO PROVIDE IN-WALL F.R.T. PLYWOOD BLOCKING BEHIND SIGNAGE AREA WHERE ACCESSIBLE.
- 4 JOINT DETAIL, SEE STANDARD MANF. DETAIL, TYP
- 5 PREFINISHED FLAT SEAM METAL ROOF FLASHING (SLOPED TOWARD EXTERIOR 1/4" PER FT. MIN.) ON HIGH TEMP ICE & WATER SHIELD

EXTERIOR FINISH SCHEDULE

- P-4 PAINT, SHERWIN WILLIAMS SW 6782 "CRUISING"
- EIFS/MP-1 DRYVIT EIFS or CITADEL ENVELOPE 200 RAIN SCREEN (RS) SYSTEM "DRY JOINT (NO CAULK JOINT) COLOR TO BE "RESERVE WHITE"
- WD-1 CEDAR SIDING, 1 X 6 T & G CEDAR SIDING W/ SQUARED EDGE(FLAT PROFILE), BOARDS TO BE END-MATCHED WITH A VERTICAL T & G JOINT. STAINED (SHERWIN WILLIAMS, WOODSCAPES EXTERIOR POLYURETHANE SEMI-TRANSPARENT STAIN, COLOR SW 3518 "HAWTHORNE") WITH MITER JOINTS AT EXTERIOR CORNERS
- STN-1 BASE/ WATERTABLE, 1" THICK CUT LIMESTONE VENEER
- FLSH-1 FLASHING, PAINT TO MATCH EX-PNT-1
- FLSH-2 FLASHING TO MATCH METAL PANEL COLOR RESERVE WHITE
- FLSH-3 FLASHING W/ GALVANIZED FINISH



verlo
MATTRESS

CORPORATE OFFICE
301 N. Broadyway, Suite 300
Miwaukee, WI 53202
414.585.8900

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STOREFRONT DESIGN
VERLO MATTRESS ARCHITECTURAL BRAND STANDARDS

PAGE 6 OF 30
TOTAL PAGES

ISSUED 03/08/2019

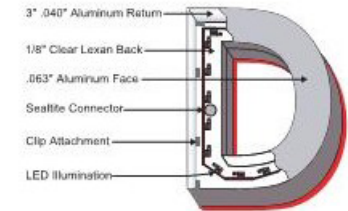
STACKED Building Sign:

- The **STACKED Verlo logo** is the preferred usage for the main entrance building sign.
- The **VERLO** portion of the sign should be individual or channel letters. These letters should match our blue (PMS314) with trim caps and returns to match. The moon hole should be cut through, same as the "e".
- The **MATTRESS** portion should be an illuminated light box with vinyl faces in translucent white lettering and translucent blue to match PMS314.
- Some developments have very specific signage bylaws. If there is any doubt about what your building can host, please verify with your landlord and consult with the Verlo Mattress Corporate. ANY exceptions to these recommendations must seek written approval by Verlo Mattress Corporate.
- Actual sign size to be determined on an individual basis as allowed by the development and the local jurisdiction have authority. When at all possible, existing electrical connections will be taken into consideration.
- Any signage usage that does not meet the aforementioned designs and uses needs to be vetted with the Verlo Mattress Corporate.
- Real estate bylaws and unique building situations may call for sign usage not outlined in this document.
- We will always work with you to determine the best solution when the norm is not an option.

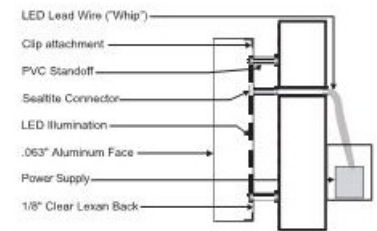


EXAMPLE DETAIL

Front Lit Channel Letters (Flush Mounted)



FRONT VIEW



SIDE VIEW

DAYTIME



NIGHTTIME



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EXTERIOR SIGNAGE - STACKED
VERLO MATTRESS ARCHITECTURAL BRAND STANDARDS

PAGE 7 OF 30
TOTAL PAGES

ISSUED 03/08/2019

ELONGATED Building Sign:

- The LONG Verlo logo is the preferred usage for use as a secondary sign or primary sign where length of a facade is most prevalent over height. This works best on the back or side of building facing a main thorough fair.
- In most cases, this sign will hang in a field of the PMS314 match. Any instances that do not follow that recommendation should seek prior approval.
- Front lit channel letters with layered printed perforated first surface (white) and transparent blue (PMS314) second surface. Should view as WHITE during day and back-lit BLUE at night with white halo.
- Actual sign size to be determined on an individual basis as allowed by the development and the local jurisdiction have authority. When at all possible, existing electrical connections will be taken into consideration. If you wish to host a secondary sign, but do not have a long wall, a smaller version of the primary or a box insert may be considered on a per site basis.
- Any signage usage that does not meet the aforementioned designs and uses needs to be vetted with the Verlo Mattress Corporate.
- Real estatel bylaws and unique building situations may call for sign usage not outlined in this document.
- We will always work with you to determine the best solution when the norm is not an option.

verlo M A T T R E S S

DAYTIME



NIGHTTIME



Arvada, CO



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Milwaukee, WI 53202
414.585.8900

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EXTERIOR SIGNAGE - ELONGATED
VERLO MATTRESS ARCHITECTURAL BRAND STANDARDS

PAGE 8 OF 30
TOTAL PAGES

ISSUED 03/08/2019