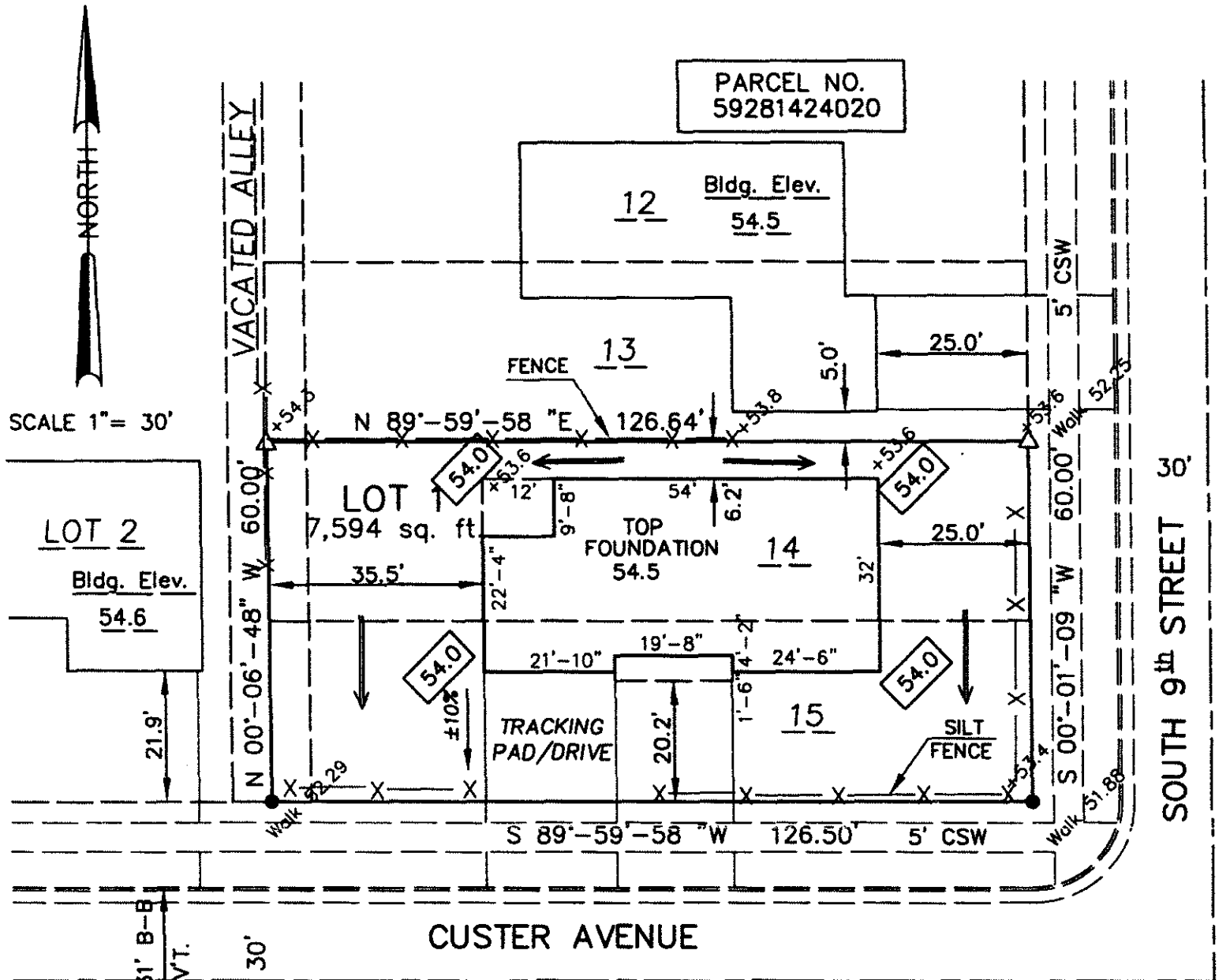


**\*\*\*ATTACHMENTS\*\*\***

# PLAT OF SURVEY

Lot 1 of a Certified Survey Map reorded in Volume 28 of Certified Survey Maps, pages 305 & 306, being Lot 14, Lot 15, and the east half of vacated alley, Ramaker Terhorst & Hesse's Division located in the NW 1/4 of Section 35, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin

December 3, 2018

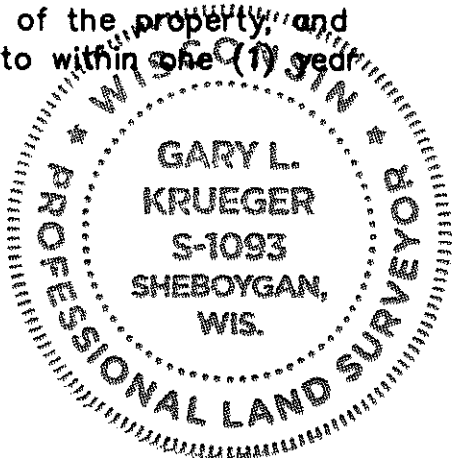


- LEGEND**
- = PROP. FINISH YARD GRD.
  - = EXIST. ELEVATION
  - = FND. 1" IRON PIPE
  - = FND. 3/4" IRON PIPE

I have surveyed the above described property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures thereon, fences, apparent easements and roadways, and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from the date hereof.

*Gary L. Krueger*  
 Gary L. Krueger, Wisconsin Professional Land Surveyor S-1093



**BENCH MARK**

"TOP NUT" HYDRANT SW COR CUSTER AVENUE  
 SOUTH 9th STREET, ELEV. 54.19

*app: Snot her  
 DPW - City of Sheboygan  
 12-27-18*

**KRUEGER LAND SURVEYING**

1521 SUPERIOR AVENUE  
 SHEBOYGAN, WISCONSIN 53081  
 (920) 234-2168

FOR: HILLCREST BUILDERS, Bk. E-12, pg. 22

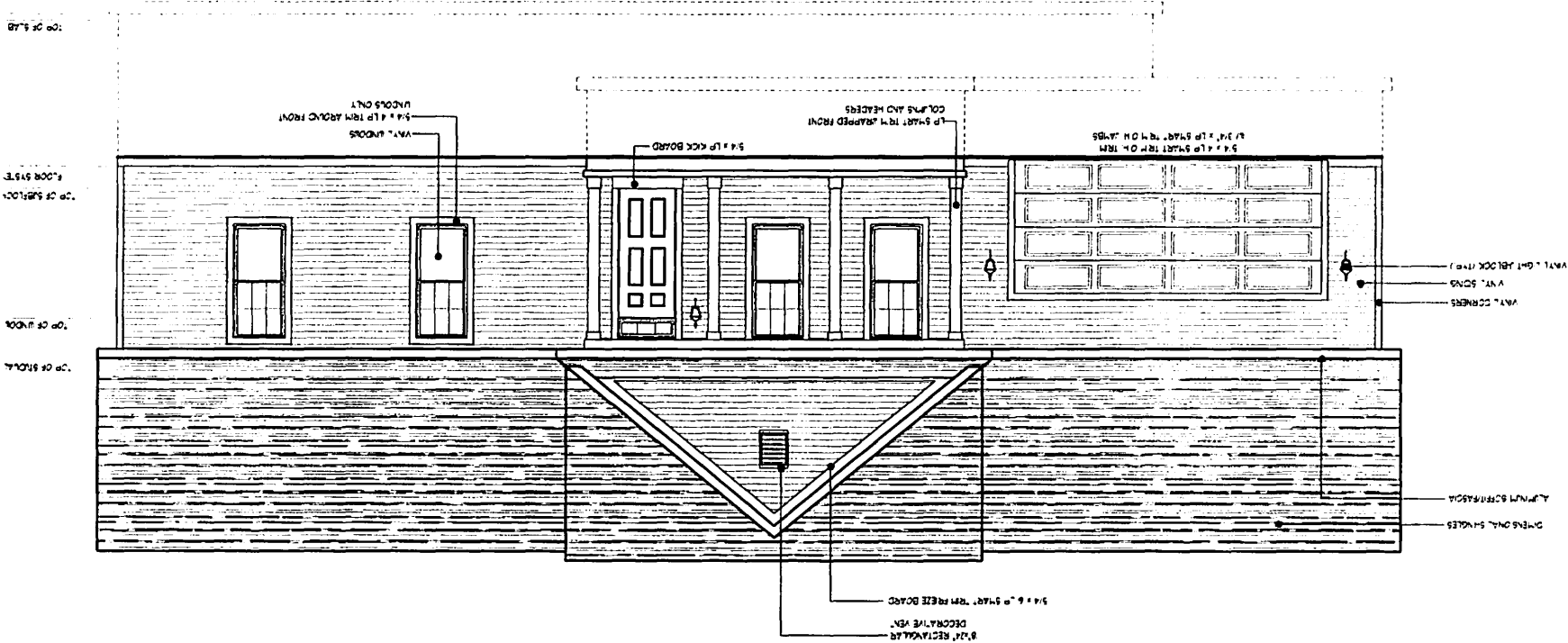
**NOTES**

- B FOUNDATION**
- HOUSE WALLS TO BE 8" x 8" OF Poured CONCRETE
  - WALLS UNLESS NOTED OTHERWISE
  - GARAGE AND STICOP WALLS TO BE 8" x 8" Poured CONCRETE
  - ALL CONCRETE FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE AND SET AS RECD BY SOL.
  - INTERIOR PARTITION WALLS ARE 2x4 @ 16" O.C.
  - EXTERIOR GARAGE WALLS ARE 2x4 @ 16" O.C.
  - EXTERIOR HOUSE WALLS ARE 1x6 @ 16" O.C.
  - AT 8" O.C.
  - ALL BEARING HEADERS ARE 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE
  - WINDOW AND DOOR SIZES ARE 4 FEET AND LOCAL CODES
  - ALL WINDOW SIZES TO BE 5/8" MIN WINDOW UNIT AND WINDOW SIZES TO FOLLOW ALL STATE AND LOCAL CODES
  - ALL WINDOW SIZES TO BE 5/8" MIN WINDOW UNIT AND WINDOW SIZES TO FOLLOW ALL STATE AND LOCAL CODES
  - FLOOR SYSTEM IS 1 1/2" JOIST UNLESS NOTED OTHERWISE. ALL BEARING HEADERS AND FLOOR SYSTEM SHALL BE VERIFIED BY ENGINEER OR PLAN CHECKER
  - ALL BEARING HEADERS TO BE 2x4 @ 16" UNLESS NOTED OTHERWISE
- GENERAL**
- EXTERIOR HOUSE WALLS ARE 1x6 @ 16" O.C.
  - AT 8" O.C.
  - EXTERIOR GARAGE WALLS ARE 2x4 @ 16" O.C.
  - GARAGE AND STICOP WALLS TO BE 8" x 8" Poured CONCRETE
  - ALL CONCRETE FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE AND SET AS RECD BY SOL.
  - INTERIOR PARTITION WALLS ARE 2x4 @ 16" O.C.
  - DOWNS ARE 5/8" TO 5/16"
  - ALL BEARING HEADERS ARE 2x4 @ 16" UNLESS NOTED OTHERWISE
  - WINDOW AND DOOR SIZES ARE 4 FEET AND LOCAL CODES
  - ALL WINDOW SIZES TO BE 5/8" MIN WINDOW UNIT AND WINDOW SIZES TO FOLLOW ALL STATE AND LOCAL CODES
  - FLOOR SYSTEM IS 1 1/2" JOIST UNLESS NOTED OTHERWISE. ALL BEARING HEADERS AND FLOOR SYSTEM SHALL BE VERIFIED BY ENGINEER OR PLAN CHECKER
  - ALL BEARING HEADERS TO BE 2x4 @ 16" UNLESS NOTED OTHERWISE

**APPLICABLE MUNICIPAL CODES**

- BLDG. STATE OF SCOTLAND BLDG CODE CHAPTER 100.15**
- ELECTRICAL STATE OF SCOTLAND BLDG CODE CHAPTER 36.30.15**
- MECHANICAL STATE OF SCOTLAND BLDG CODE CHAPTER 36.30.15**
- DECK STATE OF SCOTLAND BLDG CODE CHAPTERS 505.100.20**
- APPROX B**
- EXTERIOR / INTERIOR DOORS**
- OVERHEAD DOOR - DOOR - 7' x 7' CL. ADDED 3'
  - EXTERIOR DOORS - DOOR - 1 1/2'
  - INTERIOR DOORS (STANDARD) - DOOR - 1 1/2'
  - INTERIOR DOORS (W/STANDARD) - DOOR - 1 1/2'
  - DOUBLE DOOR (STANDARD) - DOOR - 1 1/2'
  - DOUBLE DOOR (W/STANDARD) - DOOR - 1 1/2'
  - POCKET DOOR - DOOR WITH 1/2" HGT - 64" W/
  - BIFOLD DOOR - DOOR WITH 1/2" HGT - 64" W/
- FINISH**
- FINE ARE FINISH, ROUGH OPENINGS OF COMMON DOORS SHALL BE FINISHED WITH 1/2" GYP BOARD ON 1x4 STUDS AND 1/2" GYP BOARD ON 1x4 STUDS
  - ALL FINISH ARE FINISH, ROUGH OPENINGS OF COMMON DOORS SHALL BE FINISHED WITH 1/2" GYP BOARD ON 1x4 STUDS AND 1/2" GYP BOARD ON 1x4 STUDS

**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**SQUARE FOOTAGE**

BLDG. CODE	AREA	SQ. FT.
100	BASEMENT AREA	411
100	SQUARE FEET	
100	FINISHED BASEMENT AREA	174
100	SQUARE FEET	
100	GARAGE AREA	450
100	SQUARE FEET	
100	FRONT PORCH AREA	14
100	SQUARE FEET	
100	REAR PORCH/DECK AREA	6
100	SQUARE FEET	
100	TOTAL FINISHED LIVING AREA	1122
100	SQUARE FEET	

**APPROVED**

DATE: \_\_\_\_\_

BY: \_\_\_\_\_

L18-041

JOB NO.

1 OF 7

CUSTOM

**PAUL SON RESIDENCE**

CLIENT NAME

PAULSON BERGHEBET & HESSIS DIVISIONS

CITY OF SHERBOURNE

**HILLCREST**

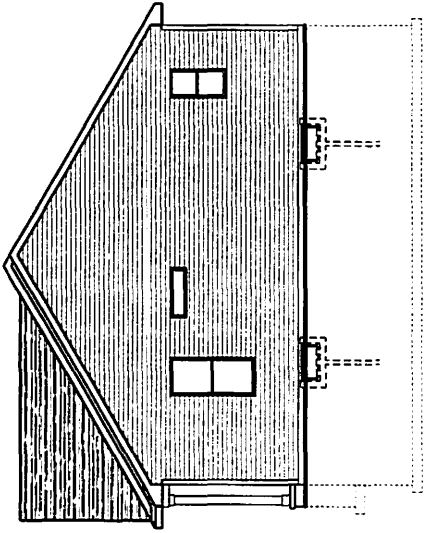
builders

VISIT US AT WWW.HILLCRESTBUILDERS.COM

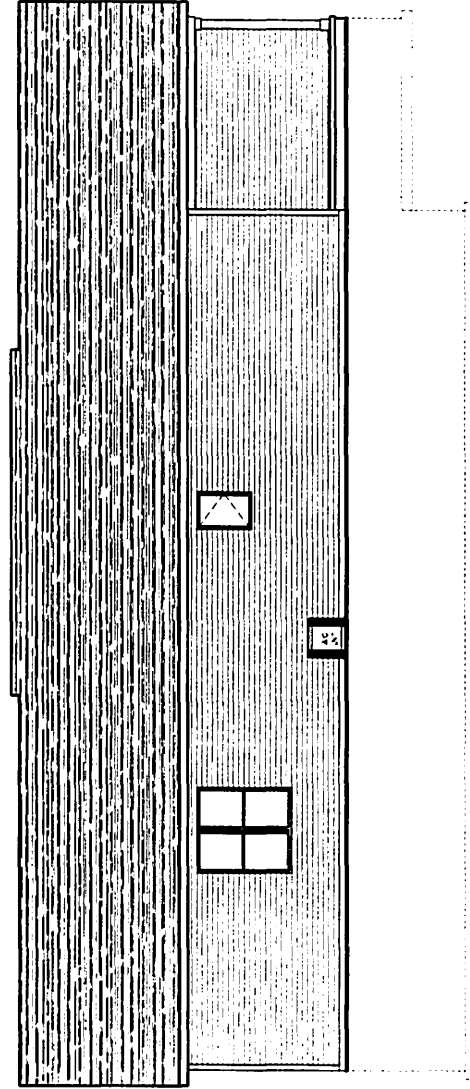
9-19-2018

TMA

BY WINNERS



**RIGHT ELEVATION**  
SCALE: 3/16" = 1'-0"



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

**APPROVED**  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_



DATE	TIME
9-15-2018	

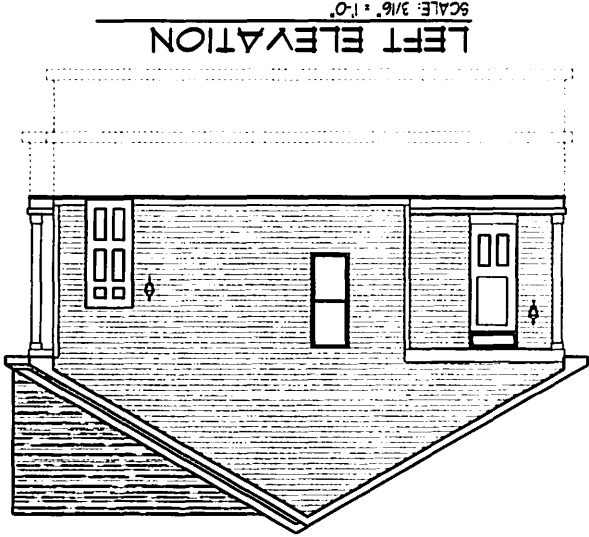
VISIT US AT [www.hillcrestbuilders.com](http://www.hillcrestbuilders.com)

**HILLCREST** builders

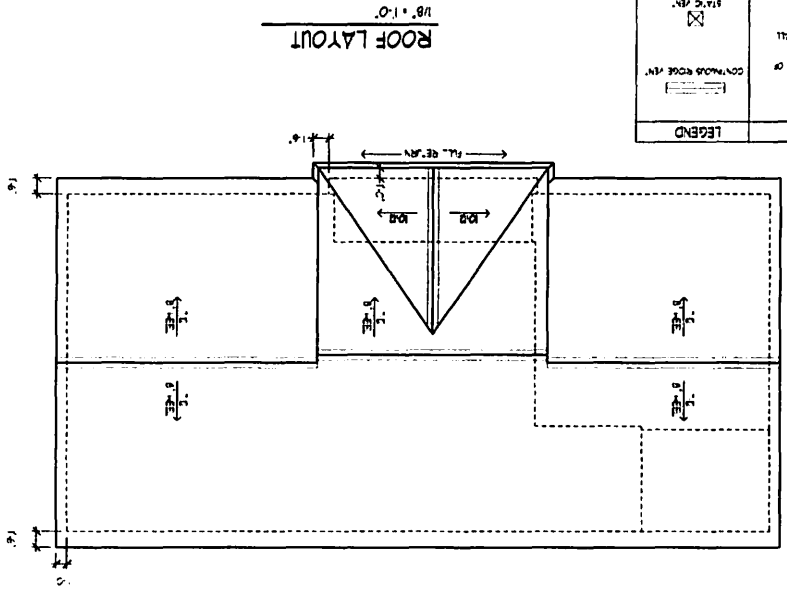
**PAULSON RESIDENCE**

CLUSTER AVE  
RAYMAKER TERHORST & HESSES DIVISIONS  
CITY OF SHEBOYGAN  
SHEBOYGAN

MATERIAL CUSTOM  
SHEET 2 OF 7  
JOB NO. L18-041



LEGEND	NOTES
 SLOPE 12/12	<ul style="list-style-type: none"> <li>* ACCORDING TO BUILDING CODES IN ALL JURISDICTIONS</li> <li>* ALL ROOF SHEATHING = 1/2" CDX-5</li> <li>* ALL ROOF BRACING = CLS</li> <li>* ALL ROOF TRUSSES &amp; JOIST VENTING IN ALL APPLICABLE LOCATIONS</li> <li>* ALL TRUSSES ARE SHIP TO STUD ONLY REFER TO FRAMING SCHEDULES FOR ROOF SHEATHING FOR RESPECTIVE LAYOUTS</li> <li>* ALL TRUSSES TO BE VERIFIED UPON FINAL LAYOUTS</li> </ul>
 CONTRACT EDGE FIN.	<ul style="list-style-type: none"> <li>* ALL TRUSSES ARE SHIP TO STUD ONLY REFER TO FRAMING SCHEDULES FOR ROOF SHEATHING FOR RESPECTIVE LAYOUTS</li> <li>* ALL TRUSSES TO BE VERIFIED UPON FINAL LAYOUTS</li> </ul>



BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**APPROVED**

L18-041  
JOB NO  
3 OF 7  
SHEET  
CUSTOM  
FRAMING

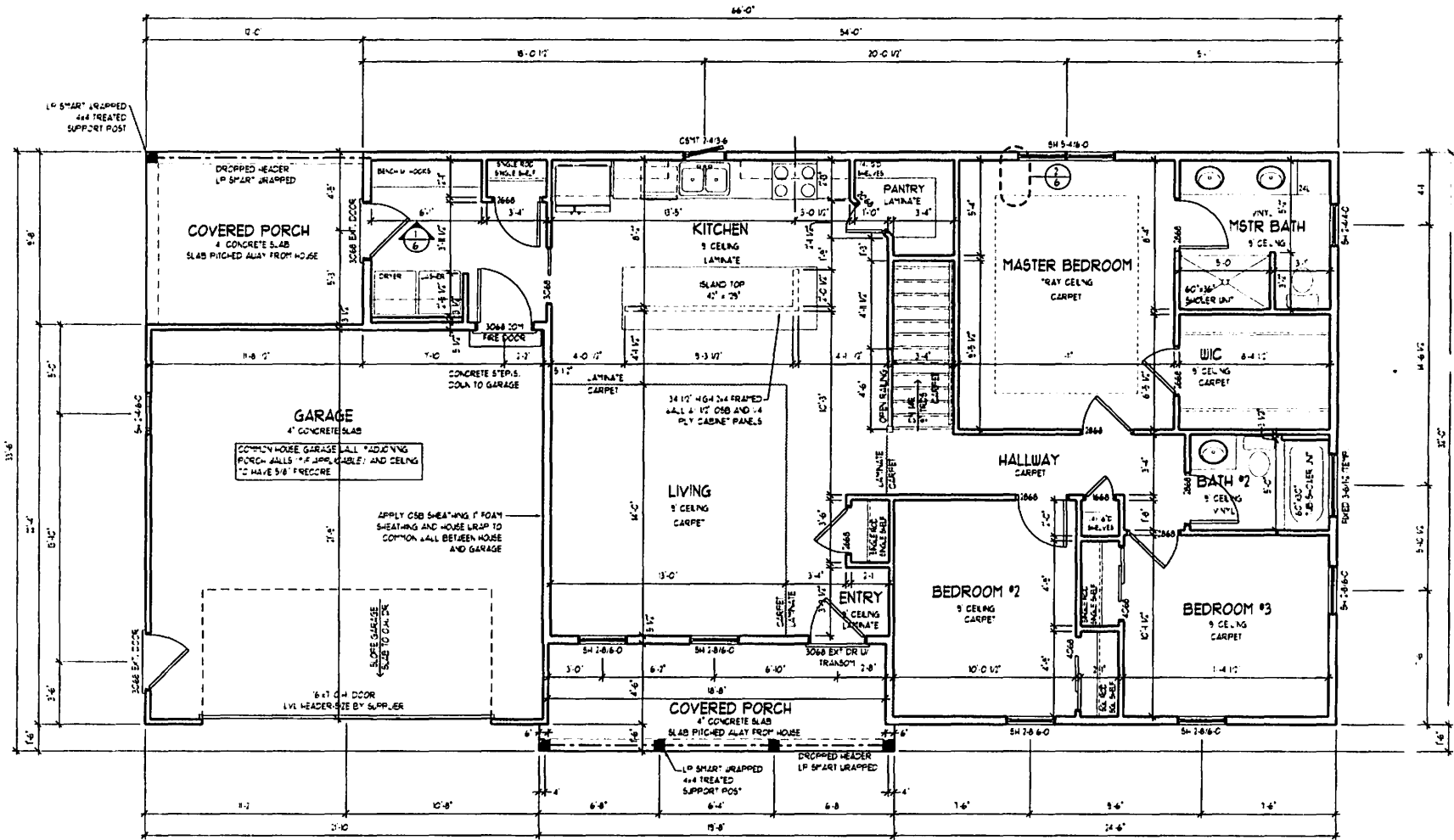
**PAULSON RESIDENCE**  
CUSTOMER: PAULSON RESIDENCE  
CUSTOMER AGENCY: HILLCREST BUILDERS  
CUSTOMER ADDRESS: 12345 MAIN ST, SHERBOURNE, ONTARIO



9-19-2018  
TM







**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**APPROVED**  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

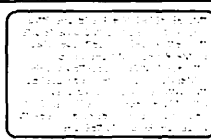

REVISIONS	
D-18-2018	TM

**HILLCREST**  
builders

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**PAULSON RESIDENCE**  
CUSTER AVE  
RAYMAKER TERRHORTH & HESSES DIVISIONS  
CITY OF SHERBOGAN  
SHERBOGAN


MADE  
CUSTOM  
SHEET  
5 of 7  
JOB NO  
**L18-041**

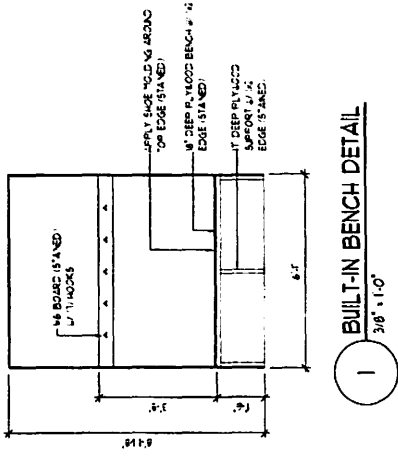


REVISION	DATE	BY

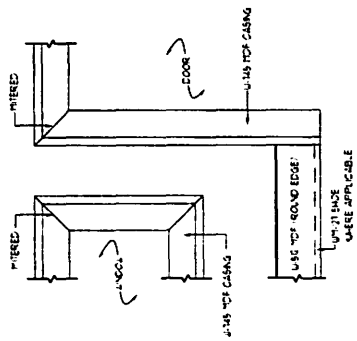


PAULSON RESIDENCE  
 CUSTOMER AVE  
 CITY OF SHEBOYGAN  
 RAYMAKER TERRHORST & HESSES DIVISIONS  
 SHEBOYGAN, WI

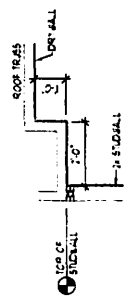
SHEET  
 CUSTOM  
 SHEET  
 6 OF 7  
 JOB NO  
 L-18-041



1 BUILT-IN BENCH DETAIL  
 3/8" = 1'-0"

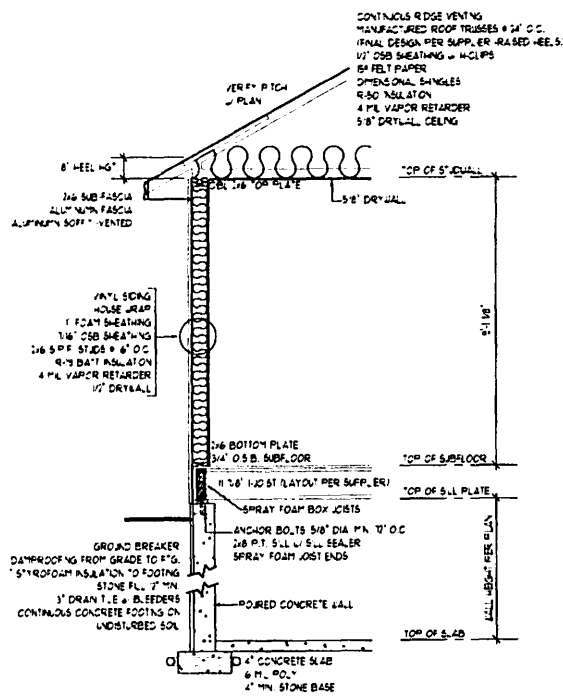


TRIM DETAIL  
 1/8" = 1'-0" (TRIM PACK 1)

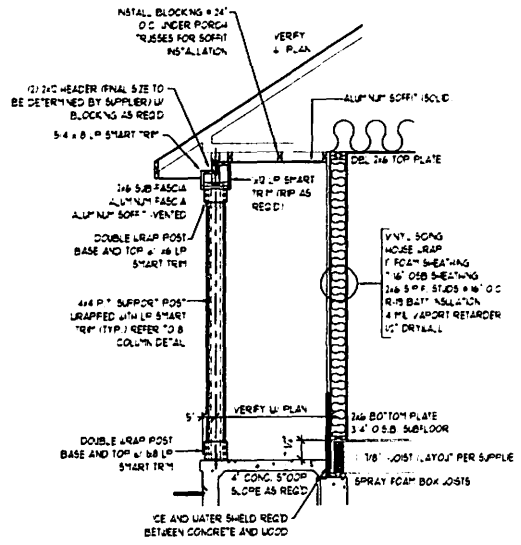


2 TRAY CEILING DETAIL  
 3/8" = 1'-0"

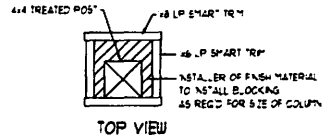
**APPROVED**  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**TYPICAL WALL SECTION**  
3/8" x 1'-0"



**TYPICAL PORCH SECTION**  
3/8" x 1'-0"



**8" EXT. PORCH COLUMN DETAIL**  
1/2" x 1'-0"


REVISIONS	
9-19-2018	TM

**HILLCREST**  
builders

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**PAULSON RESIDENCE**

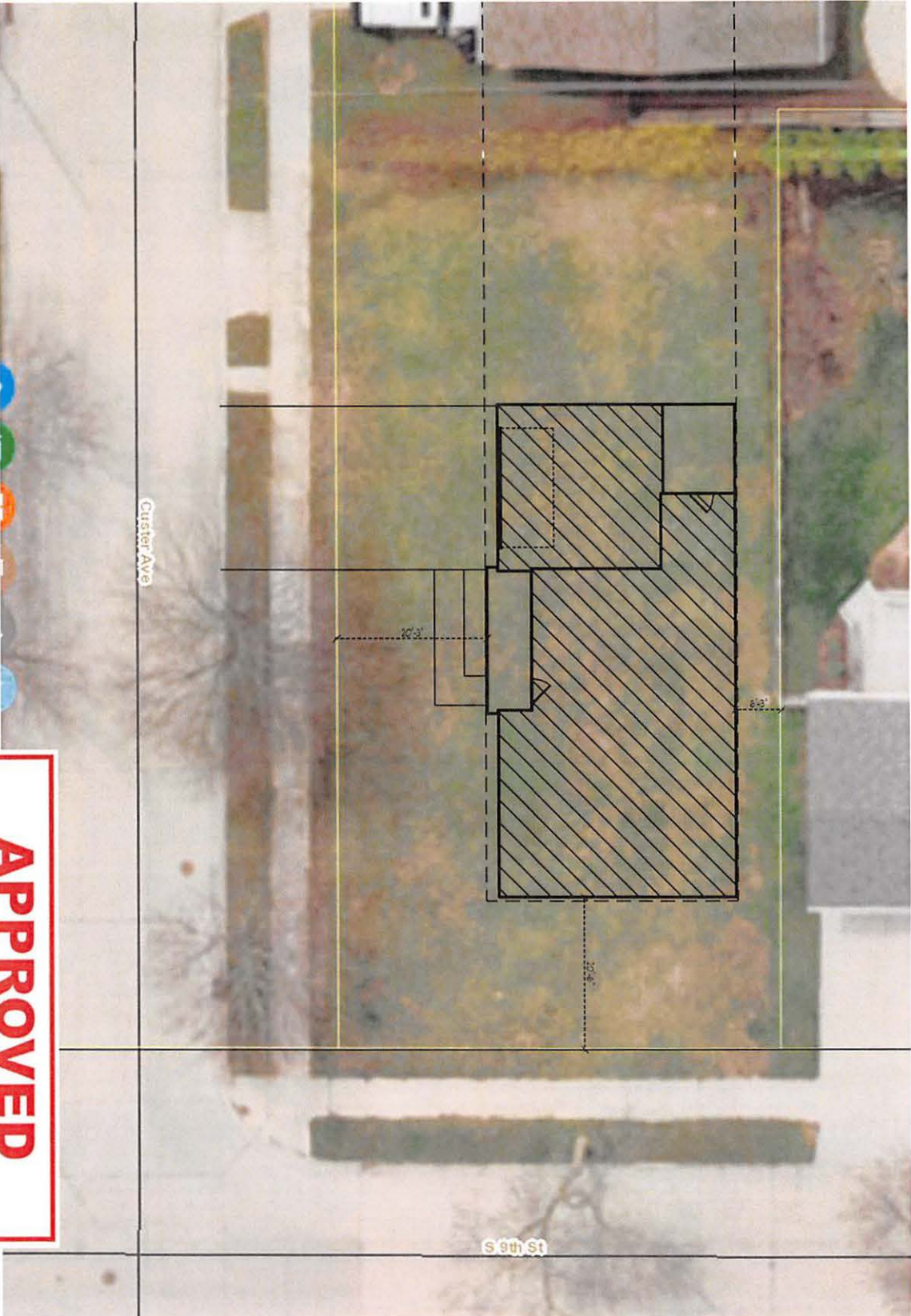
CUSTOMER: RAYMAYER TERHORST & HESSES DIVISIONS  
CITY OF SREBOTOGAN  
SREBOTOGAN

**APPROVED**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

M431  
CUSTOM  
SHEET  
7 of 7  
JOB NO  
**L18-041**

ALL DIMENSIONS ARE APPROXIMATE TO BE  
 VERIFIED UPON FINAL SURVEY

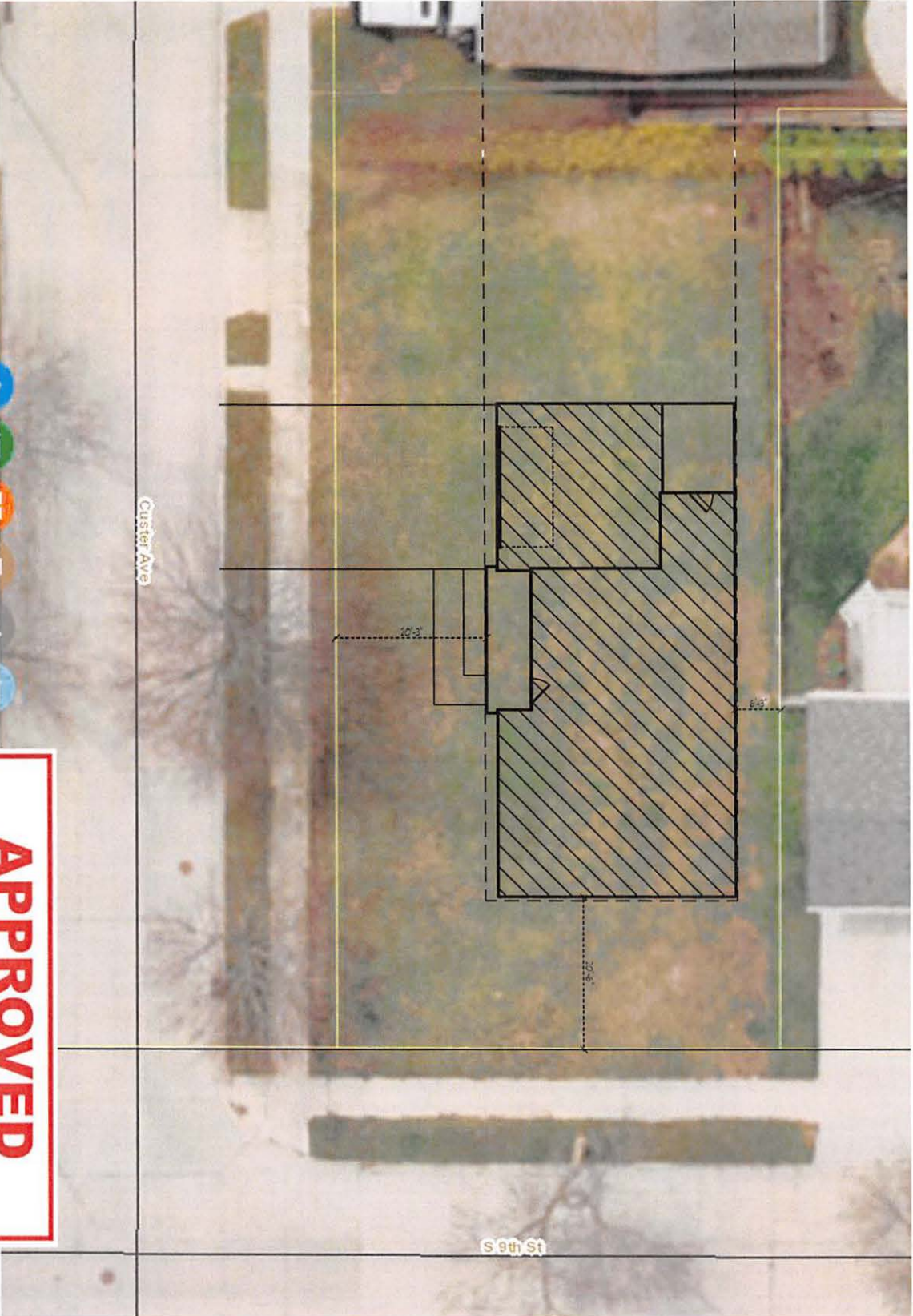


**APPROVED**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

 <b>HILLCREST</b> builders <small>VISIT US AT <a href="http://www.hillcrestbuilders.com">www.hillcrestbuilders.com</a></small>	HILLCREST BUILDERS P.O. BOX 28 GLENBEULAH, WI 53023 PH: (920) 526-3028 FAX: (920) 526-3501	REVISIONS:									
		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">DATE</th> <th style="width: 50%;">BY</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">9-19-2018</td> <td style="text-align: center;">TM</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	BY	9-19-2018	TM					<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 100%; text-align: center;">           LI8-041 PAULSON            RESIDENCE         </td> </tr> <tr> <td style="text-align: center;">           HOUSE PLACEMENT         </td> </tr> </table>
DATE	BY										
9-19-2018	TM										
LI8-041 PAULSON RESIDENCE											
HOUSE PLACEMENT											

ALL DIMENSIONS ARE APPROXIMATE TO BE  
 VERIFIED UPON FINAL SURVEY



**APPROVED**  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

 <b>HILLCREST</b> builders <small>VISIT US AT <a href="http://www.hillcrestbuilders.com">www.hillcrestbuilders.com</a></small>	HILLCREST BUILDERS P.O. BOX 28 GLENBEULAH, WI 53023 PH: (920) 526-3028 FAX: (920) 526-3301	REVISIONS:							
		L18-041 PAULSON RESIDENCE	<table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>9-19-2018</td> <td>TM</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	BY	9-19-2018	TM		
DATE	BY								
9-19-2018	TM								
HOUSE PLACEMENT									

PAWLING, WILLIAM C  
VINES, LAURALEE ANN  
2613 S 9TH ST  
SHEBOYGAN WI 53081

KERRY O DOYLE & MARCIA E DOYLE  
REVOCABLE TRUST OF 2018  
2522 S 9TH ST  
SHEBOYGAN WI 53081

THOMPSON, ALLISON E  
919 CUSTER AVE  
SHEBOYGANWI53081

GARCIA, ELOY E  
2523 S 9TH ST  
SHEBOYGANWI53081

HAEUSER, RYAN  
926 CUSTER AVE  
SHEBOYGANWI53081

NOEL, STEPHANIE S  
2518 S 9TH ST  
SHEBOYGANWI53081

WANG, XIAOHUA  
N6177 COLONIAL CT  
SHEBOYGANWI53083

TUZINKEWICH, KURT D  
TUZINKEWICH, SHELLEY A  
918 CUSTER AVE  
SHEBOYGANWI53081

PERKINS, NATHAN D  
MELANIE L.  
2607 S 10TH ST  
SHEBOYGAN WI 53081

EIDEN TRUST  
2606 S 9TH ST  
SHEBOYGAN WI 53081

ANDERSON, RYAN D  
ANDERSON, REBECCA A  
2603 S 10TH ST  
SHEBOYGANWI53081

KERRY O DOYLE & MARCIA E DOYLE  
REVOCABLE TRUST OF 2018  
2522 S 9TH ST  
SHEBOYGANWI53081

MEDINGER, SHAYNA L  
2517 S 9TH ST  
SHEBOYGANWI53081

SPADER, JONATHAN S  
JORGENSEN, SIGNE E  
2514 S 9TH ST  
SHEBOYGANWI53081

SPRINGS HOMES LLC  
2221 LINCOLN AVE  
TWO RIVERSWI54241

JUERS, PATRICIA M  
835 CUSTER AVE  
SHEBOYGAN WI 53081

SHIMENETTO, THOMAS M  
SHIMENETTO, COURTNEY A  
913 CUSTER AVE  
SHEBOYGANWI53081

STEFFEN, THOMAS J  
STEFFEN, BILLIE JO  
2527 S 9TH ST  
SHEBOYGANWI53081

OUR SAVIOR'S LUTHERAN CHURCH  
917 MEAD AVE  
SHEBOYGANWI53081

MALWITZ, CRAIG A  
2525 S 10TH ST  
SHEBOYGANWI53081

MATTERN, DAVID L  
2118 S 7TH ST  
SHEBOYGANWI53081

OUR SAVIOR'S LUTHERAN CHURCH  
917 MEAD AVE  
SHEBOYGANWI53081

APPLYING FOR A VARIANCE

Variances to zoning ordinances are considered by the CITY OF SHEBOYGAN Zoning Board of Appeals monthly at a public hearing. In order to be considered at the next meeting, applications must be received in the Building Inspection Department Office *no later* than NOON on:

Application deadline date (last working day of the month)

Date: January 16, 2019  
Board of Appeals Meeting

**All applications must include:**

1. Application forms, signed and dated, which are available at the Building Inspection Department Office.
2. A legal description of the property.
3. The non-refundable filing fee - \$250.00.
4. A site sketch, drawn to scale if possible, indicating the location of all existing structures and the proposed construction. Also indicate lot lines, size of lot, streets and other public ways, driveways, off-street parking, loading areas, and existing and proposed front, side and rear yards. Please consult with Building Inspection staff for more information.
5. Photographs of the property.

Note The applicant can present any additional information which is necessary to inform the Board of the facts.

**FAILURE TO SUPPLY ADEQUATE AND / OR ACCURATE INFORMATION AS REQUESTED ABOVE CAN BE GROUNDS FOR DISMISSAL OF THE APPEAL REQUEST.**

Applicants should be prepared to answer the following questions:

- \* *What **hardship** is created by the application of the Zoning Ordinance to this property? Is **reasonable use** of the property denied by the zoning regulations? In other words, is there an alternative plan that would **comply** with the ordinance?*
- \* *Is there a **unique physical characteristic** of the property which prevents development of the property in compliance with the Zoning Ordinance.*
- \* *Would granting the variance harm the **public interest** in any way? For example, would public safety be compromised? (Note: Lack of neighborhood opposition does not necessarily mean that a variance would not harm the public interest.)*

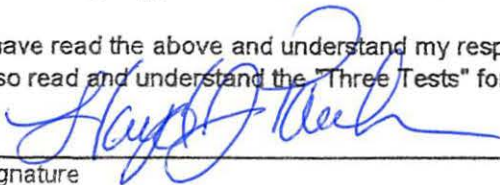
A notice of the date and time of the hearing will be mailed to all property owners within 100 feet of your property. Notice of hearing will also be sent to the City of Sheboygan Planning Department. It is important that you discuss your proposal with the Building Inspection Department and Planning Department.

The property owner or a representative shall be present at the public hearing to present his or her request to the Board and to answer any questions the Board members may have. Should an appearance not be made, or should insufficient information be presented, the appeal will not be considered and may be either placed on the agenda for the next meeting or be denied. The appellant will be required to pay the additional expense that is incurred because of postponement of the hearing. Appellants are reminded that the filing fee for a variance request is non-refundable.

I have read the above and understand my responsibilities regarding my appeal to the Zoning Board of Appeals. I have also read and understand the "Three Tests" for a Variance included with this form.

Signature

Date



01/04/2019

APPEAL FROM RULING OF THE BUILDING INSPECTOR  
AND/OR ZONING ADMINISTRATOR

CASE NO. 2.2  
FILING DATE 1-04-19  
RECEIPT NO. \_\_\_\_\_  
ZONING DIST. NR

TO: THE ZONING BOARD OF APPEALS, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WI

- 1). Appeal Location (address): Parcel # 317961
- 2). Applicant: Lloyd J. Paulson Telephone #: 715, 212-5965  
Address: 2817 S. 15th Street  
Sheboygan, WI 53081
- 3). Legal Property Description (Lot, Block, Subdivision, etc.) Lot #1 ZCCSM305-306 #2061265

4). Type of Building (Circle): Commercial - Industrial - Institutional - Residential - Apartment - Other (if other)  
please list: \_\_\_\_\_

5). Request for (Circle): New Construction - Repairs - Alterations - Addition - Nonconforming Use - Other  
(if other) please list: \_\_\_\_\_

6). If the request is for a nonconforming use:  
Your intended use: \_\_\_\_\_  
Date last occupied as a nonconforming use: \_\_\_\_\_  
By Whom: \_\_\_\_\_ Previous use: \_\_\_\_\_

7). Applicants interest in property: Owner

8). Describe the requested variance and grounds for refusal of a permit.  
I Am Building A New home on a corner Lot. I was Refused A Building permit As I cant meet the required 25' front setback. I Am seeking approval of A 20' front setback.

9). What unnecessary hardship or difficulty is caused by following the regulations or requirements of the ordinance?  
See the attached "The Three Tests" For A Variance" and be prepared to argue how you pass the THREE TESTS FOR A VARIANCE:  
It is difficult to meet All the setback Requirements to Build on this City corner Lot. A previous variances were obtained Granting A 60' wide corner Lot and a 6' Rear setback.

I HEREBY CERTIFY THAT THE ABOVE APPLICATION AND/OR APPEAL AND ALL ATTACHMENTS THERETO ARE TRUE, CORRECT AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Date: 01/04/2019

Signature: Lloyd J. Paulson  
Mailing Address: 2817 S. 15th St  
SHEBOYGAN, WI 53081

## THE THREE "TESTS" FOR A VARIANCE

The CITY OF SHEBOYGAN adheres to a set of Zoning Ordinances to make certain that your proposed construction is consistent with neighboring developments, that a development does not infringe on the enjoyment of property belonging to neighboring owners, that it does not detract from surrounding buildings or lots and is not out of character with the neighborhood, and that a project meets necessary public health and safety standards. If your proposed construction cannot meet the requirements of the zoning code or sign code, a **VARIANCE** is needed.

To obtain a variance, you must establish that, due to some peculiarity of the property's size, shape, topography, etc., it would be a hardship or practical difficulty to meet zoning code requirements. ***These circumstances must not be self-imposed or self-created.*** In short, your proposed construction must meet and pass the three "tests" for a variance listed below.

**IT IS RECOMMENDED THAT YOU MEET WITH THE STAFF IN THE CITY'S PLANNING DEPARTMENT AND BUILDING INSPECTION DEPARTMENT BEFORE SUBMITTING YOUR APPLICATION FOR A VARIANCE. BUILDING INSPECTION STAFF WILL REVIEW THE STANDARDS FOR A VARIANCE (BELOW) PRIOR TO YOUR FILLING OUT THE APPLICATION AND PAYING THE NON-REFUNDABLE FILING FEE.**

### **TEST #1: UNNECESSARY HARDSHIP**

The Wisconsin Supreme Court has ruled that unnecessary hardship only exists when the zoning ordinance denies ***all reasonable use*** of property. ***If there is an alternative plan that is within the bounds of the zoning ordinance, a variance is not warranted.***

The hardship experienced ***must not be self-imposed***; loss of profit, expense already incurred and additional expense incurred to comply with zoning ordinances ***are not*** unnecessary hardships.

### **TEST #2: UNIQUE PROPERTY LIMITATIONS**

Unique physical characteristics of your property must prevent you from completing your proposed construction in compliance with the ordinance. The property must qualify for the variance, ***not your particular situation.***

Additionally, existing violations on other properties or improper variances previously granted are not grounds for a variance.

### **TEST #3: NO HARM TO PUBLIC INTEREST**

The Board members will be taking into account the reason for the existence of the zoning ordinance in applying this test. Lack of opposition ***does not*** necessarily mean that the proposed construction would not harm the public interest.

The Board, in granting a variance, may impose conditions on the proposed construction to assure that the public's interests are protected. Board members may only grant the ***minimum relief*** necessary for the reasonable use of the property.

Your proposed construction must meet all three "tests" to qualify for a variance. Variances are meant to be an ***infrequent*** remedy where an ordinance imposes a unique and substantial burden. ***They are not intended as an accommodation for a property owner's convenience.*** A variance decision may be appealed within 30 days of the filing of the decision in the office of the board.

***Please contact the staff at the City's Planning Department and/or Building Inspection Department if you have any further questions.***