

*****ATTACHMENTS*****

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: An ordinance re-establishing the bulkhead line along a portion of Broughton Drive north of the Sheboygan River in the City of Sheboygan.

REPORT PREPARED BY: Chad Pelishek, Director of Planning and Development

REPORT DATE: May 5, 2020

MEETING DATE: May 12, 2020

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: Under Wisconsin State Statute 30.11, a municipality may, subject to approval by the Department of Natural Resources, by ordinance establish a bulkhead line and from time to time reestablish the same along any section of the shore of any navigable waters within the boundaries.

Based on comments received during December 2019- Public Works Committee, city staff has re-established the bulkhead line to follow the shoreline from Rotary Park to North Point Park.

STAFF COMMENTS: Re-establishment of the bulkhead line along Broughton Drive is important for future improvements and redevelopment initiatives in this section of the city.

ACTION REQUESTED: Motion to recommend the Common Council adopt G.O. No. 1-20-21 re-establishing the bulkhead line along a portion of Broughton Drive north of the Sheboygan River in the City of Sheboygan.

ATTACHMENTS:

- I. Gen. Ord. No. 1-20-21

~~X~~

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Gen. Ord. No. 1 - 20 - 21. By Alderpersons Wolf and Sorenson.
April 21, 2020.

AN ORDINANCE re-establishing the bulkhead line along a portion of Broughton Drive north of the Sheboygan River in the City of Sheboygan.

WHEREAS, historical records related to the Lake Michigan shore line are entirely inconsistent related to location of the line demarking the dry land jurisdiction from land within the historic lake bed, for the purpose of separating jurisdictions related to construction and riparian activities; and

WHEREAS, re-establishing a bulkhead line along the Lake Michigan shoreline, pursuant to Wis. Stats. § 30.11(3) is in the public interest for the purpose of protecting public interest in preserving the shoreline and infrastructure along the shoreline given the anticipated historic rise in lake levels and the need to clarify regulatory interests related to the public trust doctrine.

THEREFORE, THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. The Common Council hereby re-establishes in the public interest the bulkhead line along a portion of Broughton Drive north of the Sheboygan River in the City of Sheboygan, more particularly described below and shown upon the attached map, which consists of six (6) sheets and is attached and incorporated to this ordinance by reference:

An alignment described as and located in Government Lots 1, 2, 3 and 4, Section 23, Township 15 North, Range 23 East, also Government Lots 3 and 4, Section 14, Township 15 North, Range 23 East of the Fourth Principal Meridian lying and being in the City of Sheboygan, Sheboygan County, State of Wisconsin, described as:

Commencing at the southwest corner of the Southeast 1/4 of Section 23; Township 15 North, Range 23 East; Thence along the west line of said Southeast 1/4 section, N 00°19'50" W, 831.53 feet; Thence N 89°40'10" E, 93.78 feet to the point of beginning of this description, said point being 832.06 feet north of and 88.98 feet east of said southwest corner; Thence N 49°03'02" E, 317.69 feet; Thence S 41°11'31" E, 43.35 feet; Thence S 89°40'46" E, 972.55 feet; Thence S 78°49'59" E, 54.69 feet; Thence N 87°13'50" E, 327.82 feet; Thence N 25°35'38" W, 163.76 feet; Thence N 00°00'29" W, 148.31 feet; Thence N 17°09'07" W, 20.18 feet; Thence N 01°57'16" E, 149.49 feet; Thence N 89°19'49" E, 26.08 feet; Thence N 02°16'26" W, 62.42 feet; Thence 41.39 feet along the arc of a curve deflecting to the right having a radius of 71.50 feet and a chord bearing and distance of N 14°18'38" E, 40.82 feet; Thence N 30°53'41" E, 17.21 feet; Thence 15.01 feet along the arc of a curve deflecting to the right having a radius of 149.49 feet and a chord bearing and distance of N 33°45'39" E, 15.00 feet; Thence N 36°37'37" E, 55.41 feet; Thence N 16°20'43" E, 27.13 feet; Thence N 03°32'01" E,

Public Works

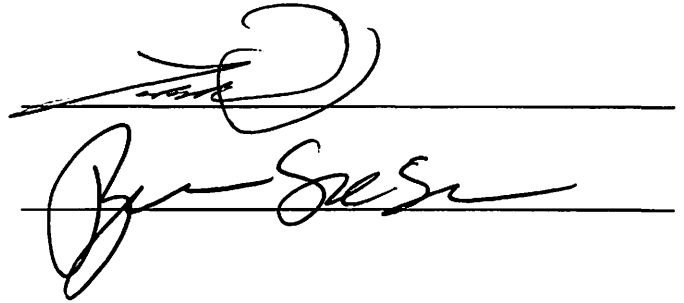
29.81 feet; Thence N 03°50'28" E, 86.57 feet; Thence N 86°35'20" W, 92.94 feet; Thence N 03°20'54" E, 117.09 feet; Thence S 86°31'25" E, 85.02 feet; Thence N 03°47'32" E, 162.10 feet; Thence 592.12 feet along the arc of a curve deflecting to the right having a radius of 551.00 feet and a chord bearing and distance of N 34°34'40" E, 564.03 feet; Thence N 65°21'48" E, 131.73 feet; Thence 241.00 feet along the arc of a curve deflecting to the left having a radius of 911.15 feet and a chord bearing and distance of N 57°47'10" E, 240.29 feet; Thence 90.39 feet along the arc of a curve deflecting to the left having a radius of 271.00 feet and a chord bearing and distance of N 40°39'14" E, 89.97 feet; Thence N 31°05'56" E, 8.78 feet; Thence 20.16 feet along the arc of a curve deflecting to the right having a radius of 18.25 feet and a chord bearing and distance of N 62°44'47" E, 19.15 feet; Thence 95.56 feet along the arc of a curve deflecting to the left having a radius of 32.25 feet and a chord bearing and distance of N 09°30'25" E, 64.24 feet; Thence N 75°22'47" W, 265.04 feet; Thence N 66°15'15" W, 65.70 feet; Thence N 75°23'54" W, 893.28 feet; Thence 79.72 feet along the arc of a curve deflecting to the right having a radius of 1098.50 feet and a chord bearing and distance of N 00°44'38" W, 79.70 feet; Thence N 01°20'07" E, 3.98 feet; Thence 415.58 feet along the arc of a curve deflecting to the right having a radius of 1753.50 feet and a chord bearing and distance of N 08°07'29" E, 414.61 feet; Thence N 14°54'51" E, 76.81 feet; Thence 75.53 feet along the arc of a curve deflecting to the right having a radius of 721.00 feet and a chord bearing and distance of N 17°54'55" E, 75.49 feet; Thence N 20°54'59" E, 21.04 feet; Thence 84.08 feet along the arc of a curve deflecting to the left having a radius of 1005.00 feet and a chord bearing and distance of N 18°31'10" E, 84.06 feet; Thence 161.78 feet along the arc of a curve deflecting to the right having a radius of 1324.38 feet and a chord bearing and distance of N 19°37'20" E, 161.68 feet; Thence N 23°07'18" E, 41.67 feet; Thence 320.81 feet along the arc of a curve deflecting to the right having a radius of 2573.00 feet and a chord bearing and distance of N 26°41'37" E, 320.60 feet; Thence N 30°15'56" E, 713.83 feet; Thence 1081.71 feet along the arc of a curve deflecting to the right having a radius of 1487.00 feet and a chord bearing and distance of N 51°06'19" E, 1058.01 feet; Thence N 71°56'42" E, 36.96 feet; Thence 176.27 feet along the arc of a curve deflecting to the right having a radius of 1540.00 feet and a chord bearing and distance of N 75°13'26" E, 176.18 feet; Thence N 78°30'11" E, 96.69 feet; Thence 720.89 feet along the arc of a curve deflecting to the left having a radius of 595.00 feet and a chord bearing and distance of N 43°47'39" E, 677.60 feet; Thence N 09°05'06" E, 125.31 feet; Thence 384.15 feet along the arc of a curve deflecting to the left having a radius of 282.00 feet and a chord bearing and distance of N 29°56'24" W, 355.13 feet; Thence N 68°57'54" W, 9.83 feet; Thence 96.94 feet along the arc of a curve deflecting to the left having a radius of 195.00 feet and a chord bearing and distance of N 83°12'23" W, 95.94 feet; Thence 49.22 feet along the arc of a curve deflecting to the right having a radius of 280.00 feet and a chord bearing and distance of S 87°35'16" W, 49.15 feet; Thence N 87°22'36" W, 50.00 feet to the end of this alignment,

said point being 6689.88 feet north of and 3242.22 feet east of said southwest corner of the Southeast 1/4 section.

Section 2. That four certified copies of this ordinance, together with four true and correct copies of a map of such proposed bulkhead line (copies of which are attached to this ordinance by reference) shall be submitted to the State of Wisconsin Department of Natural Resources for its approval.

Section 3. This ordinance shall be effective upon passage and publication, and approval by the State of Wisconsin Department of Natural Resources.

Section 4. Upon approval by the Wisconsin Department of Natural Resources, the City Clerk shall deliver the map and this ordinance to the office of the Sheboygan County Register of Deeds for recording, and shall submit a copy of the map and this ordinance to be filed in the office of the Sheboygan County Clerk and with the office of the Department of Natural Resources, and shall include the map and the ordinance as part of section 1-4 of the supplement to the Municipal Code kept on file in the City Clerk's office pursuant to section 1-3 of the Code.

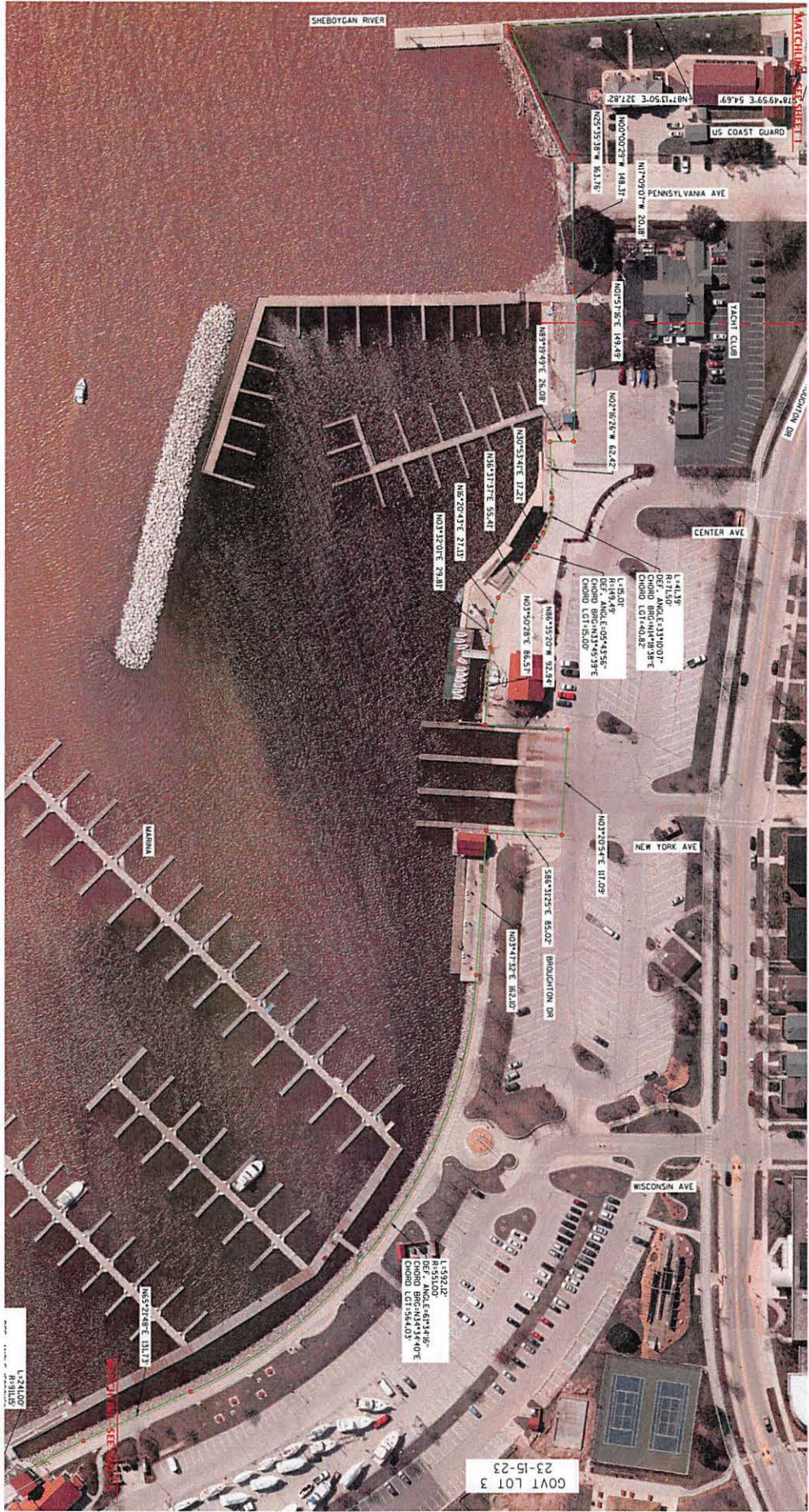


The image shows two handwritten signatures, one above the other, each written over a horizontal line. The top signature is more stylized and cursive, while the bottom signature is more legible and appears to be 'B. S. S.'.

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____, _____, City Clerk

Approved _____ 20____, _____, Mayor



**SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEBOYGAN RIVER & LK. N. SHELBYVILLE
CITY OF SHEBOYGAN**

DATE: 3/19/2020
SCALE: 1"=100'

PROJECT NO.	1306009
DATE	3/19/2020
BY	
CHECKED BY	
DATE	
REVISION	
NO.	2
OF	6

ENGINEERING LLC
1306009



SHORELAND BULKHEAD BULKHEAD RE-ESTABLISHMENT SHEER RVR & LN. MICH. SHORELINE CITY OF SHEBOYGAN	
DATE	3/12/2020
SCALE	AS SHOWN
PROJECT NO.	1906009
SHEET NO.	4
TOTAL SHEETS	6
ENGINEER	1906009
CHECKED	
DATE	
BY	



SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEER RVR & LN. MICH. SHORELINE
CITY OF SHEBOYGAN

DATE: 3/12/2020
SCALE: AS SHOWN
PROJECT NO.: 1906009
SHEET NO.: 4
TOTAL SHEETS: 6

ENGINEER: 1906009
CHECKED: [blank]
DATE: [blank]
BY: [blank]

SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEER RVR & LN. MICH. SHORELINE
CITY OF SHEBOYGAN

DATE: 3/12/2020
SCALE: AS SHOWN
PROJECT NO.: 1906009
SHEET NO.: 4
TOTAL SHEETS: 6

ENGINEER: 1906009
CHECKED: [blank]
DATE: [blank]
BY: [blank]

SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEER RVR & LN. MICH. SHORELINE
CITY OF SHEBOYGAN

DATE: 3/12/2020
SCALE: AS SHOWN
PROJECT NO.: 1906009
SHEET NO.: 4
TOTAL SHEETS: 6

ENGINEER: 1906009
CHECKED: [blank]
DATE: [blank]
BY: [blank]

SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEER RVR & LN. MICH. SHORELINE
CITY OF SHEBOYGAN

DATE: 3/12/2020
SCALE: AS SHOWN
PROJECT NO.: 1906009
SHEET NO.: 4
TOTAL SHEETS: 6

ENGINEER: 1906009
CHECKED: [blank]
DATE: [blank]
BY: [blank]

SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEER RVR & LN. MICH. SHORELINE
CITY OF SHEBOYGAN

DATE: 3/12/2020
SCALE: AS SHOWN
PROJECT NO.: 1906009
SHEET NO.: 4
TOTAL SHEETS: 6

ENGINEER: 1906009
CHECKED: [blank]
DATE: [blank]
BY: [blank]

SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEER RVR & LN. MICH. SHORELINE
CITY OF SHEBOYGAN

DATE: 3/12/2020
SCALE: AS SHOWN
PROJECT NO.: 1906009
SHEET NO.: 4
TOTAL SHEETS: 6

ENGINEER: 1906009
CHECKED: [blank]
DATE: [blank]
BY: [blank]

SHORELAND BULKHEAD
BULKHEAD RE-ESTABLISHMENT
SHEER RVR & LN. MICH. SHORELINE
CITY OF SHEBOYGAN



	
SHORE AND BULKHEAD BULKHEAD PERMITS SHEEP CREEK, LAKE SUPERIOR CITY OF SHEBOYGAN	
DATE	3/12/2020
SCALE	AS SHOWN
PROJECT NO.	1300003
DATE	5
NO.	6



	
SHORE AND BULHEAD ENGINEERING, LLC 1300039	
PROJECT NO.	1300039
DATE	3/17/2020
SCALE	1" = 100' 0"
PROJECT	SHORE AND BULHEAD ENGINEERING, LLC
CLIENT	SHERBORN & SHERBORN
LOCATION	CITY OF SHERBORN
DATE	3/17/2020
BY	
CHECKED	
APPROVED	
DATE	
SCALE	
PROJECT	
CLIENT	
LOCATION	
DATE	
BY	
CHECKED	
APPROVED	
DATE	

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: An ordinance authorizing placement of a stop sign at the southeast corner of North Point Drive and Broughton Drive.

REPORT PREPARED BY: Ryan Sazama, City Engineer

REPORT DATE: May 6, 2020

MEETING DATE: May 12, 2020

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: The intersection of North Point Drive and Broughton Drive is an intersection with no traffic control. To improve the safety of this intersection traffic traveling west bound on North Point Drive will stop at this intersection.

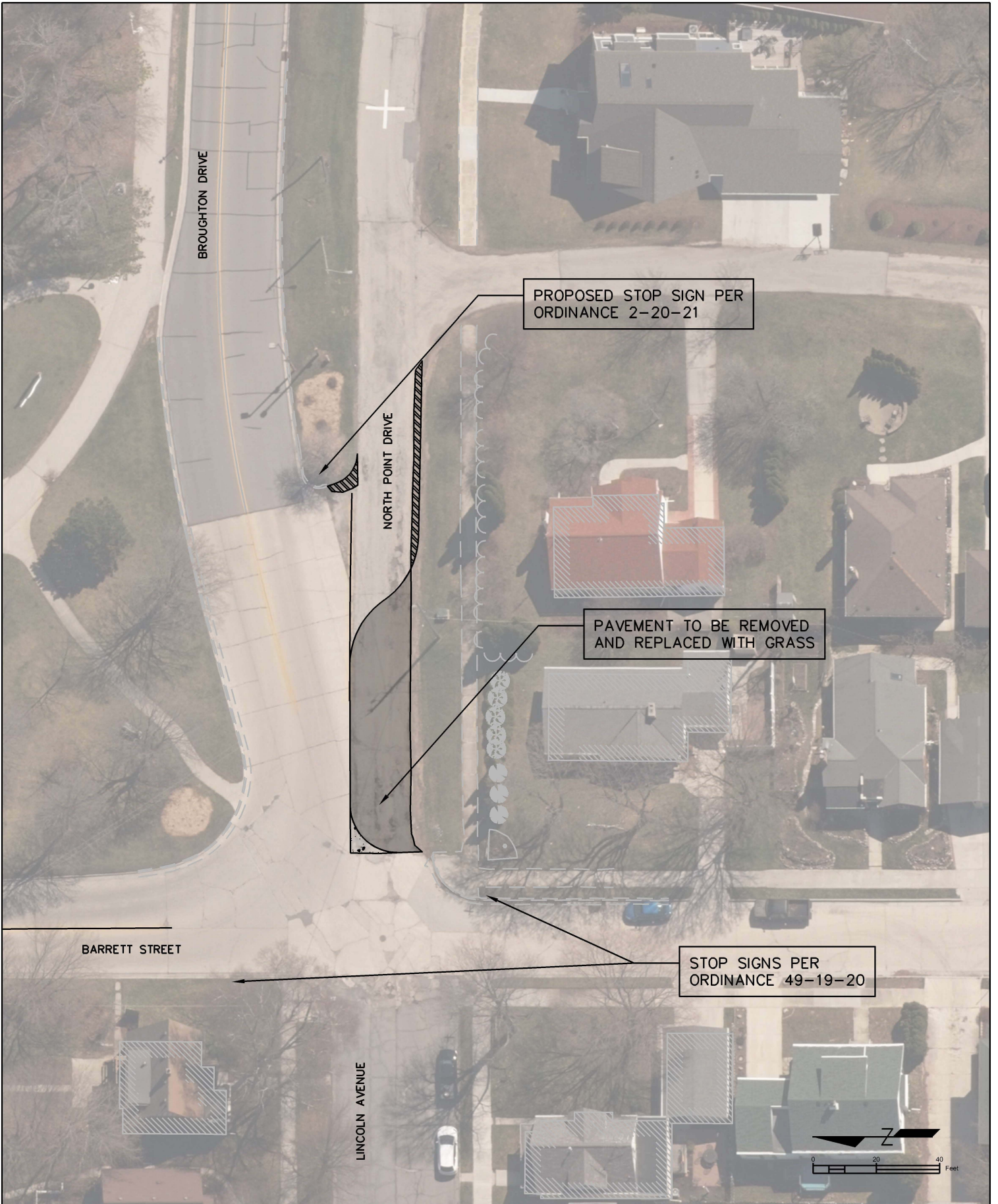
STAFF COMMENTS: As part of this permanent traffic control for this intersection the City of Sheboygan Department of Public Works crews will be constructing minor revisions to this intersection.

ACTION REQUESTED: Motion to recommend the Common Council adopt Gen. Ord. No. 2-20-21 authorizing placement of a stop sign at the southeast corner of North Point Drive and Broughton Drive.

ATTACHMENTS:

- I. Gen. Ord. 2-20-21
- II. Location Map

FILE NAME : P:\ENGINEERING\SURVEY\N POINT DR & BROUGHTON DR\INTERSECTION LAYOUT.DWG
 PLOTTED BY - Jump, Kevin
 PLOT DATE - 5/8/2020



**CITY OF SHEBOYGAN
 PUBLIC WORKS**
 City of Sheboygan
 Department of Public Works
 Engineering Division
 2026 New Jersey Avenue
 Sheboygan, WI 53081

North Point and Broughton Drive Intersection Changes

Designed By	___
Drawn By	___
Checked By	___
Plot Date	5/8/2020
Project Date	___
Sheet No.	1

X

6.1

Gen. Ord. No. 2 - 20 - 21. By Alderpersons Wolf and Sorenson.
May 4, 2020.

AN ORDINANCE authorizing placement of a stop sign at the southeast corner of North Point Drive and Broughton Drive.

WHEREAS, upon completion of construction resulting in a realignment of the intersection of North Point Drive, Broughton Drive, Lincoln Avenue, and Barrett Street, North Point Drive will now intersect with Broughton Drive just east of the intersections of Broughton Drive, Lincoln Avenue, and Barrett Street; and

WHEREAS, completion of said construction will occur prior to final approval of this ordinance, but a temporary stop sign will be installed at the intersection pursuant to police powers; and

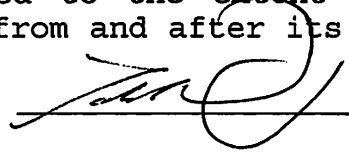
WHEREAS, given the realignment, it seems appropriate to control the intersection with a stop sign.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Pursuant to Section 118-51 of the Municipal Code entitled "Erection of Official Signs," stop signs shall be posted requiring northbound traffic on North Point Drive to stop at the intersection of North Point Drive and Broughton Drive.

Section 2. The Department of Public Works and the Police Department are hereby authorized and directed to add the signs to give notification of the aforementioned change.

Section 3. All ordinances or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and this ordinance shall be in effect from and after its passage and publication.



PW

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: An ordinance creating a no parking zone Wednesday and Thursday from 7:00 a.m. to 5:00 p.m. on the west side of North 9th Street between Ontario Avenue and Erie Avenue.

REPORT PREPARED BY: Ryan Sazama, City Engineer

REPORT DATE: May 6, 2020

MEETING DATE: May 12, 2020

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: On this section of South 9th Street, garbage pick-up is scheduled for Wednesdays and when there is a holiday during the week this section of South 9th Street has garbage pick-up on Thursdays. Due to the close proximity of the residences, to make garbage cart collection more efficient and safer on this section of South 9th Street, there will be No Parking from 7:00 a.m. to 5:00 p.m. on Wednesdays and Thursdays.

STAFF COMMENTS: As stated above this No Parking zone on Wednesdays and Thursdays from 7:00 am to 5:00 pm will make garbage cart collection for these residences more efficient and safer.

ACTION REQUESTED: Motion to recommend the Common Council adopt Gen. Ord. No. 3-20-21 creating a no parking zone Wednesday and Thursday from 7:00 a.m. to 5:00 p.m. on the west side of North 9th Street between Ontario Avenue and Erie Avenue.

ATTACHMENTS:

- I. Gen. Ord. 3-19-20
- II. Location Map

I

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Gen. Ord. No. 3 - 20 - 21. By Alderpersons Wolf and Sorenson.
May 4, 2020.

AN ORDINANCE creating a no parking zone Wednesday and Thursday from 7:00 a.m. to 5:00 p.m. on the west side of North 9th Street between Ontario Avenue and Erie Avenue.

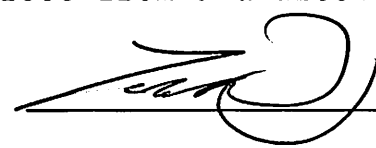
THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Pursuant to Section 118-126 of the Municipal Code entitled "Prohibitions and Restrictions Authorized," the west side of North 9th Street from 35 feet north of the north curb line of Ontario Avenue to 220 feet north of the north curb line of Ontario Avenue is hereby added to the list of locations where parking is not permitted between 7:00 a.m. and 5:00 p.m. on Wednesdays and Thursdays.

Section 2. The Department of Public Works and the Police Department are hereby authorized and directed to install the signs to give notification of the aforementioned parking restriction.

Section 3. All ordinances or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict, and this ordinance shall be in effect from and after its passage and publication.

pw



I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor



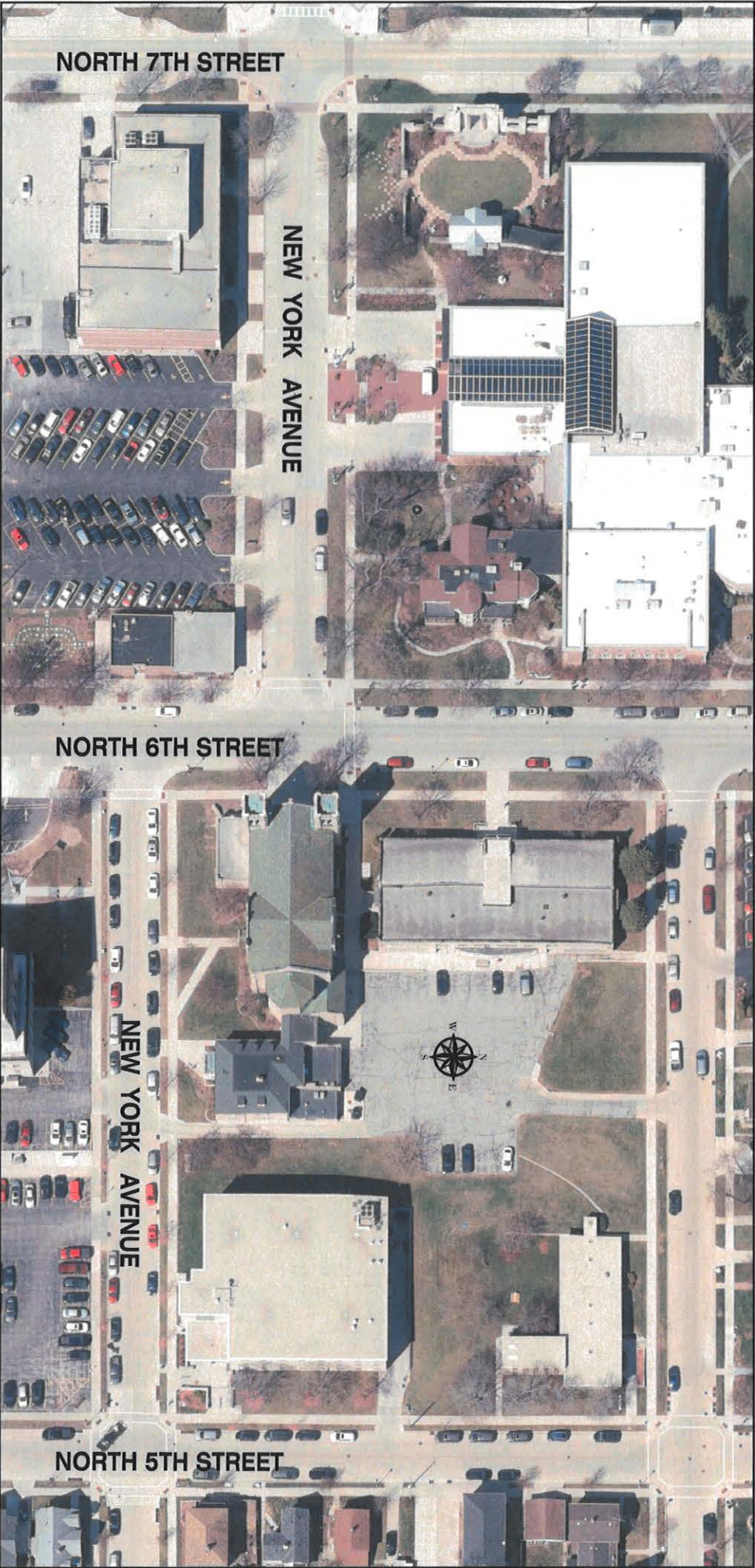
NORTH 9TH STREET

ERIE AVENUE

FOUNTAIN PARK

ONTARIO AVENUE

NORTH 8TH STREET



III

3.7

Res. No. 7 - 20 - 21. By Alderpersons Wolf and Sorenson.
April 21, 2020.

A RESOLUTION authorizing the City Engineer to enter into a Contract with JT Engineering, Inc. for a traffic study regarding the intersection of N. 6th Street and New York Avenue.

RESOLVED: That the City Engineer is hereby authorized to execute the attached Contract with JT Engineering, Inc.

BE IT FURTHER RESOLVED: That the appropriate City officials are authorized to draw funds not to exceed \$2,100.00 from Account No. 10132100-521900 (Contracted Services) pursuant to the terms of the Agreement.

Public Works



I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20 . _____, City Clerk

Approved _____ 20 . _____, Mayor

**CONTRACT AGREEMENT
BETWEEN
THE CITY OF SHEBOYGAN
AND
JT ENGINEERING, INC.**

**ENGINEERING SERVICES FOR THE COMPLETION OF
6TH STREET AND NEW YORK AVENUE INTERSECTION STUDY
CITY OF SHEBOYGAN**

This Contract Agreement is made and entered into this _____ day of _____ 2020 by and between the **CITY OF SHEBOYGAN**, hereinafter referred to as the **OWNER**, and **JT Engineering, Inc.**, 1077 Centennial Centre Blvd, Hobart, WI 54155 hereinafter referred to as the **CONSULTANT**.

The **CONSULTANT** acknowledges by endorsement of this Contract Agreement that: (a) the **CONSULTANT** has the expertise and has a thorough knowledge of the professional services required to complete the proposed work and is qualified to render such professional services, (b) **CONSULTANT** shall comply with all applicable laws, regulations, and orders in the performance of the work, and (c) the work shall be performed in a manner consistent with that level of care, quality and skill ordinarily exercised by others performing similar work under similar circumstances.

The parties agree as follows:

CONSULTANT shall furnish the Basic Services as outlined in the attached scope of services within 60 days (weather permitting for traffic counts) of receiving a Notice to Proceed from the City Engineer.

For all Basic Services, the **OWNER** agrees to compensate **CONSULTANT** as follows:

A Lump Sum Amount of \$2,100.00.

Section I – BASIC SERVICES

1.1 Basic Services

The services to be performed under this Contract include the evaluation of signal warrants to address the vehicular and pedestrian movements at the N. 6th Street and New York Avenue intersection.

Section II – RESPONSIBILITIES

2.1 OWNER's Responsibilities

- 2.1.1 Assist and cooperate with the **CONSULTANT** in completing the work in a timely and effective manner.
- 2.1.2 Make available to the **CONSULTANT** drawings, specifications and data that is currently available to the **OWNER** which the **CONSULTANT** considers pertinent to the **CONSULTANT's** responsibilities hereunder, all of which the **CONSULTANT** may rely upon in performing services hereunder except as may be specifically provided otherwise in writing.
- 2.1.3 Give prompt written notice to the **CONSULTANT** whenever the **OWNER** observes or otherwise becomes aware of any development that affects the scope, timing, or performance of services of the **CONSULTANT**.

Section III – TIME SCHEDULE

3.1 Authorization

The City Engineer shall provide a Notice to Proceed to **CONSULTANT**. The Parties expect that the Notice to Proceed will occur in Fall 2020, but recognize that the Basic Services require representative traffic patterns, which could be after Fall 2020.

3.2 Expeditious Performance

The CONSULTANT recognizes that the services under this Contract are to be performed as expeditiously as practical after Authorization to Proceed. Every reasonable effort will be made to substantially complete the Basic Services within the period described above.

Section IV – INVOICES AND PAYMENT

4.1 Invoices

Invoices shall be submitted once a month or upon completion of services, whichever occurs earlier, for services provided under Section 1.

4.2 Payment

4.2.1 The OWNER shall pay the CONSULTANT based on the monthly invoices.

4.2.2 It is expressly understood and agreed by both parties that the CONSULTANT will be paid by the OWNER within 30 days after receipt of the invoice provided by the CONSULTANT unless the OWNER contests part or all of the invoice within 30 days, in which case the 30 days deadline shall start when the issue has been resolved and/or a revised invoice has been issued. The OWNER agrees to process the CONSULTANT'S invoices promptly.

Section V – CHANGES

5.1 Written Authorization

THE OWNER may, at any time, by written order, make changes in the services or work to be performed within the general scope of this CONTRACT.

5.2 Equitable Adjustment

If such changes cause an increase or decrease in the CONSULTANT'S cost of, or time required for, performance of any services under this Contract, an equitable adjustment shall be made, and this Contract shall be modified in writing accordingly.

Section VI – DISPUTES

6.1 Resolution Procedure

Except as this Contract otherwise provides, in all claims, counter-claims, disputes, and other matters in question (**Dispute**) between the OWNER and CONSULTANT arising out of or relating to this Contract or the breach of it, the OWNER and CONSULTANT will negotiate a resolution of the Dispute at a reasonable time and location set by OWNER. Should negotiation be unsuccessful, mediation of the Dispute by a third party shall follow. Mediation shall be conducted in Sheboygan, WI. CONSULTANT and the OWNER agree that those disputes not settled by mediation will be decided in a court of competent jurisdiction.

6.1.1 **Negotiation** Following written notice of a Dispute, two (2) face-to-face meetings (or less if the Dispute is resolved) shall be held.

6.1.2 **Mediation** If negotiation is unsuccessful, a mutually acceptable third party (**Mediator**) having expertise in the subject of the dispute shall be engaged to mediate the Dispute. Should the OWNER and CONSULTANT be unable to reach agreement on a Facilitator, the parties will cooperate with JAMS, or another mutually agreed upon private alternative dispute resolution provider, and each other in selecting a mediator from a provided panel of neutrals and in scheduling the mediation proceedings. The fee and expenses of the Mediator shall be shared equally by the parties to the dispute.

If the mediation is unsuccessful in the resolution of said Dispute, the Dispute shall be resolved by judicial adjudication.

Section VII – SUSPENSION OF WORK

7.1 Convenience of the OWNER

After issuing a Notice to Proceed, the OWNER may order CONSULTANT to suspend, delay, or interrupt all or any part of the CONSULTANT’S services for such period of time as the OWNER may determine to be appropriate for the convenience of the OWNER.

7.2 Adjustment in Schedule

If the performance of all or any part of the CONSULTANT’S services is, for an unreasonable period of time, suspended, delayed, or interrupted by an act of the OWNER an appropriate extension of time shall be made for any such delay in the performance of this Contract necessarily caused by such unreasonable suspension, delay, or interruption, and the Contract modified in writing accordingly.

Section VIII – TERMINATION OF CONTRACT

8.1 Written Notice

It is expressly understood and agreed that the OWNER may terminate this Contract at any time by giving the CONSULTANT 10 days written notice either personally at one of the offices of the CONSULTANT or sent by registered mail, return receipt requested, to the principal office of the CONSULTANT. The CONSULTANT may terminate this Contract upon 30 days written notice in the event of nonpayment by the OWNER of CONSULTANT’S invoices rendered for a period of 60 days or in the event the OWNER otherwise substantially fails to fulfill its obligations under this Contract.

8.2 Adjustment for Services Performed

In the event that this Contract is terminated by either the OWNER or the CONSULTANT, the CONSULTANT shall be compensated for all services performed to the date of termination including reimbursable expenses then due. For those portions of services rendered to which this arrangement cannot be applied, payments shall be based upon reasonable rates for the CONSULTANTS actual time spent on the work.

Section IX – INSURANCE

9.1 Coverage

Prior to commencing work, the CONSULTANT shall obtain and maintain in effect for the duration of this Contract at its own expense the insurance with insurance companies licensed in the State where the project is located.

9.2 Minimum Coverage

The minimum required coverage is the following:

9.2.1 Worker’s Compensation and Employer’s Liability Worker’s Compensation and Employer’s Liability in compliance with the statutory requirements of the State of Wisconsin.

9.2.2 General Liability Commercial general liability insurance covering operations, completed operations, contractual agreements, and independent contractors, each with minimum limits of liability on an occurrence basis as set forth below:

General Aggregate	\$2,000,000
Each Occurrence	\$1,000,000
Operations Aggregate	\$2,000,000
Personal Injury	\$1,000,000

9.2.3 Professional Liability Liability insurance in an amount of at least \$1,000,000 total limit of liability per claim and aggregate with a maximum deductible amount of \$50,000.

Section X – GENERAL PROVISIONS

10.1 Independent

CONSULTANT represents that it is an independent contractor and is not an employee of the OWNER.

10.2 Indemnification

OWNER hereby agrees to indemnify, pay for defense, and hold CONSULTANT harmless from and against any and all losses, damages, settlement, costs, charges, or other expenses or liabilities of every kind and character arising out of or relating to any and all claims, liens, demands, obligations, actions, proceedings, or causes of action of every kind and character relating to the negligent acts, errors, and/or omissions of the OWNER, its employees, agents and third parties who perform any of the services of OWNER hereunder, and anyone else for whose acts the OWNER is responsible under this contract.

CONSULTANT hereby agrees to indemnify, pay for defense, and hold OWNER harmless from and against any and all losses, damages, settlement, costs, charges, or other expenses or liabilities of every kind and character arising out of or relating to any and all claims, liens, demands, obligations, actions, proceedings, or causes of action of every kind and character relating to the negligent acts, errors, and/or omissions of the CONSULTANT, its employees, agents and third parties who perform any of the services of CONSULTANT hereunder, and anyone else for whose acts the CONSULTANT is responsible under this contract.

10.3 Interpretation

Interpretation and enforcement of this Contract shall be in accordance with the laws of the State of Wisconsin.

10.4 Notices

Written notices may be delivered in person or by certified mail, or by facsimile, or by courier. All notices shall be effective upon the date of receipt by the party.

10.5 Applicable Law

If applicable to this Contract, CONSULTANT will comply with the requirements of:

10.5.1 The Equal Employment Opportunity clause in Section 202 of Executive Order 11246, as amended.

10.5.2 Utilization of Small and Disadvantaged Business Concerns (Public Law 95-507), and

10.5.3 All other federal, state and local laws and regulations or orders issued under such laws.

10.6 Entire Agreement

This Contract, including any schedules, attachments and referenced documents, is the entire agreement between the OWNER and the CONSULTANT. Any prior or contemporaneous agreements, promises, negotiations or representations not expressly stated herein are of no force and effect. Any changes to this Contract shall be in writing and signed by the OWNER and CONSULTANT.

10.7 Open Records

Both parties understand that OWNER is bound by the Wisconsin Public Records Law and, as such, this contract is subject to that law. CONSULTANT acknowledges that it is obligated to assist OWNER in retaining and producing records that are subject to the Wisconsin Public Records Law, and that the failure to do so shall constitute a material breach of the contract, and that in such event CONSULTANT must defend and hold the OWNER harmless from liability under that law. Except as otherwise authorized, those records shall be maintained for a period of seven years after receipt of final payment under this Contract.

10.8 Conflict of Interest

CONSULTANT declares that it has no present interest, nor shall it acquire any interest, direct or indirect, which would conflict with the performance of this Contract. CONSULTANT agrees that no person having any such interest shall be employed in the performance of this Agreement.

10.9 Waiver

No failure of either party to enforce a term of this Contract against the other shall be construed as a waiver of that term, nor shall it in any way affect the party's right to enforce that term. No waiver by any party of any term of this Contract shall be considered to be a waiver of any other term or breach thereof.

10.10 Severability

The invalidity, illegality, or unenforceability of any provision of this Contract or the occurrence of any event rendering any portion or provision of this Contract void shall in no way affect the validity or enforceability of any other portion or provision of this Contract. Any void provision shall be deemed severed from this Contract, and the balance of the Contract shall be construed and enforced as if it did not contain the particular provision held to be void. The parties further agree to amend this Contract to replace any stricken provision with a valid provision that comes as close as possible to the intent of the stricken provision. The provisions of this Section shall not prevent this Contract from being void should a provision which is of the essence of this Contract be determined void.

Execution Authority This Contract is a valid and authorized undertaking of the OWNER and CONSULTANT. The representatives of the OWNER and CONSULTANT who have signed below have been authorized to do so. IN WITNESS WHEREOF, the parties hereto have made and executed this Contract as of the day and year shown on the cover page.

JT Engineering, Inc.
1077 Centennial Centre Blvd
Hobart, WI 54155

City of Sheboygan
2026 New Jersey Avenue
Sheboygan, WI 53081

By: _____
Rich Glen, PE
Vice President

By: _____
Ryan Sazama
City Engineer

Date: _____

Date: _____

**EXHIBIT 1
SCOPE OF SERVICES COMMENTARY**

**N. 6TH STREET AND NEW YORK AVENUE INTERSECTION CONTROL TRAFFIC STUDY
CITY OF SHEBOYGAN**

GENERAL – This contract covers the traffic engineering services to evaluate the need and warrants to address the vehicular and pedestrian movements associated with the N. 6th St. and New York Avenue intersection.

For the total project costs, the scope is as follows:

I. Data Collection

- A. Collect two (2) 13-hour traffic turning movement counts at the N. 6th Street intersection with New York Avenue on weekdays from 6 AM to 7 PM.
 - 1. Conducted to WisDOT standards utilizing Miovision
 - 2. Cars, trucks, busses, bikes, and pedestrians counted separately in 15-minute intervals
 - 3. Videos of traffic available to the OWNER if requested
 - 4. City to provide dates when nearby church activities are occurring for one count. Typical weekday for the second count.
- B. Collect data from aerial internet imagery to determine intersection geometric data, distances between intersections and any turn bay lengths

II. Analysis

- A. Crash Analysis
 - 1. Review crash history to determine the existence of crash trends
 - a. City to provide the crash reports
 - b. Recommendations for improvements will be made if trends exist
- B. Warrant Analysis
 - 1. Analyze the study area intersection for the typical weekday AM and PM peak hours for the following conditions:
 - a. All Way Stop Warrant analysis consistent with guidance set forth in the Manual on Uniform Traffic Control Devices and as supplemented by the State of Wisconsin.
 - 2. Provide recommendations for the traffic control at the N. 6th Street and New York Avenue intersection.

III. Reporting

- A. Submit draft Intersection Control Analysis Report documenting the findings from the Analysis stage
 - 1. Submitted electronically to Owner for Review and Comment
 - 2. Includes text, tables, and appendix
 - 3. Owner to provide comments to Consultant
- B. Submit final Intersection Control Analysis Report to the City of Sheboygan
 - 1. No revisions to the final report are included in this contract. Any revisions will be considered additional work and will require a contract amendment.

- IV. Meetings– no formal meetings are included in this contract. Informal calls and discussions to coordinate the project will be held as needed.

V. Schedule

- A. Draft Intersection Control Analysis Report will be delivered to the City of Sheboygan within 2 weeks of receiving a Notice to Proceed from the City Engineer (weather permitting for traffic counts).**
- B. Final Intersection Control Analysis Report will be delivered to the City of Sheboygan within 2 working days of receiving comments from the City.**

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: A resolution authorizing the City Engineer to enter into a contract with JT Engineering, Inc. for a traffic study regarding the intersection of N. 6th Street and New York Avenue.

REPORT PREPARED BY: Ryan Sazama, City Engineer

REPORT DATE: May 6, 2020

MEETING DATE: May 12, 2020

FISCAL SUMMARY:

Budget Line Item: 10132100-521900
Budget Summary: Engineering –
Contracted Services
Budget Expenditure: \$2,100.00
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: Several of the businesses located near the intersection of North 6th Street and New York Avenue have asked for various traffic and pedestrian control implementations. Due to the uniqueness of this intersection DPW staff is going to have a consultant that specializes in traffic engineering analyze this intersection for potential new traffic and pedestrian control.

STAFF COMMENTS: The Department of Public Works has a worked with JT Engineering and their staff on several other projects throughout the City and this consultant is familiar with the existing traffic flows throughout the City.

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 7-20-21 authorizing the City Engineer to enter into a contract with JT Engineering, Inc. for a traffic study regarding the intersection of N. 6th Street and New York Avenue.

ATTACHMENTS:

- I. Res. No. 7-20-21
- II. JT Engineering, Inc. Agreement
- III. Location Map

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: Resolution authorizing the appropriate City officials to enter into a contract with Kaschak Roofing Inc. to replace a portion of the roof of the New Water Treatment Building at the Waste Water Treatment Plant and to make other expenditures related to the roof replacement.

REPORT PREPARED BY: Steve Jossart, Superintendent of Wastewater

REPORT DATE: March 20, 2020

MEETING DATE: May 12, 2020

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: 60138300-621200;
60138300-631100

Wisconsin Statutes: N/A
Municipal Code: N/A

Budget Summary: Wastewater –
Building
Improvements;
Wastewater –
Improvements other
than Building
Improvements

Budget Expenditure: \$100,000.00;
\$ 44,500.00

Budgeted Revenue: N/A

BACKGROUND / ANALYSIS: The roof over the east digester complex has been leaking for a number of years and is in need of replacement. This roof was installed when the plant was upgraded in 1980 and has been in service beyond its expected life. During an inspection last fall, core samples of the roof membrane and insulating material were taken to determine the extent of damage to the roof and whether or not it contained asbestos. The core samples showed that the layers below the top membrane were saturated with water and that the entire roof would need to be removed and replaced down to the concrete decking. Testing for asbestos containing materials in the roof membrane came back positive and all roofing materials will need to be removed by a contractor certified for asbestos abatement and properly disposed of.

STAFF COMMENTS: For the past number of years, during rain events water has leaked into the building creating areas of standing water. Repairs have been attempted, but none have corrected the issue. This building houses equipment which is critical to the operation of the anaerobic sludge digesters which includes pumps, digester gas and biosolids distribution piping and controls for these systems. This roof

is regularly accessed to maintain equipment on top of the digesters, so the new roof must be designed to handle regular foot traffic.

The project scope includes the removal and proper disposal of all existing roofing membranes, flashing and insulating materials from the east digester complex roof. The new roof will include a waterproof bottom membrane, an insulating layer, and an upper membrane which will be sealed with hot asphalt and topped with pea gravel.

Cost Breakdown:

Component/Service	Supplier/Contractor	Estimated Cost
Removal, Disposal and Installation of New Roof	Kaschak Roofing Inc.	\$ 80,035.00
Roofing Materials	Tremco	\$ 48,864.60
Electrical Removal and Installation	WWTP Staff	\$ 1,500.00
Removal and Installation of Stairs	WWTP Staff	\$ 1,000.00
Contingency (10%)		\$ 13,000.00
TOTAL		\$ 144,400.00

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 8-20-21 authorizing the appropriate City officials to enter into a contract with Kaschak Roofing Inc. to replace a portion of the roof of the New Water Treatment Building at the Waste Water Treatment Plant and to make other expenditures related to the roof replacement.

ATTACHMENTS:

- I. Res. No. 8-20-21
- II. Kaschak Roofing, Inc. Agreement

III

3.8

Res. No. 8 - 20 - 21. By Alderpersons Wolf and Sorenson.
April 21, 2020.

A RESOLUTION authorizing the appropriate City officials to enter into a contract with Kaschak Roofing Inc. to replace a portion of the roof of the New Water Treatment Building at the Waste Water Treatment Plant and to make other expenditures related to the roof replacement.

WHEREAS, pursuant to Res. No. 162-19-20, the City has advertised for bids for the replacement of a portion of the roof of the New Water Treatment Building at the Waste Water Treatment Plant (the "Work"); and

WHEREAS, the low bid for the Work was from Kaschak Roofing, Inc. in the amount of \$80,035.00 for labor and \$48,864.60 for materials; and

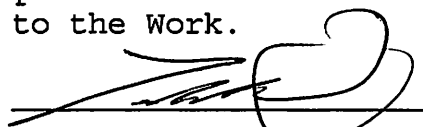
WHEREAS, the City will directly purchase the materials; and


WHEREAS, to avoid the appearance of serial contracting, there are additional expenditures related to the Work, at an estimated cost of \$15,500.00, which are not covered by the bid from Kaschak Roofing, Inc.

NOW, THEREFORE, BE IT RESOLVED: That the appropriate City officials are hereby authorized to enter into the attached contract with Kaschak Roofing, Inc. for the replacement of the Digester Cover Roof at the Wastewater Treatment Plant.

BE IT FURTHER RESOLVED: That the appropriate City officials are authorized to draw funds, not to exceed \$100,000.00 from Account No. 60138300-621200 and \$44,500.00 from Account No. 60138300-631100 for the contract with Kaschak Roofing, Inc., the purchase of the necessary materials, and the additional expenditures related to the Work.

Public Works





I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

**AGREEMENT
BETWEEN THE CITY OF SHEBOYGAN, WISCONSIN AND
KASCHAK ROOFING, INC.**

**REGARDING ROOF REPLACEMENT
AT
SHEBOYGAN REGIONAL WASTE WATER TREATMENT FACILITY
NEW WATER TREATMENT BUILDING**

This Agreement (“Agreement”) is made and entered into effective this ____ day of _____, 2020 (the “Effective Date”), by and between the City of Sheboygan (the “City”), a municipal corporation, and Kaschak Roofing, Inc. (“Contractor”).

WITNESSETH:

WHEREAS, the City is the owner of the Waste Water Treatment Plant at 3333 Lakeshore Drive, Sheboygan, Wisconsin (“Waste Water Treatment Plant”), which includes the New Water Treatment Building; and

WHEREAS, the City wishes to have the a portion of the roof of the New Water Treatment Building replaced; and

WHEREAS, the City issued Request for Bids # 1979-20 to obtain bids from qualified providers of the services needed to complete the desired roof replacement at the New Water Treatment Building (“Services”); and

WHEREAS, the City has opened the bids, and determined that the bid from Contractor (“Bid”) is the lowest responsive and responsible bid for the Services; and

WHEREAS, a copy of the Bid is attached to this Agreement and incorporated herein by reference; and

WHEREAS, Contractor desires to provide the City with the necessary Services under the terms set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the parties hereto agree as follows:

Article 1. Scope of Services

The Project Manual for the Roof Replacement Project is attached to this Contract as Exhibit 1.

Contractor shall complete the Services necessary to replace the roof at the New Water Treatment Building pursuant to the Project Manual. This includes the provision of all necessary labor, equipment, licenses, permits¹, bonds, and travel expenses.

In general terms, Contractor shall:

- Remove the existing asphalt built up roof membrane, existing insulation, tapered lightweight concrete, vapor retarder, existing perimeter sheet metal trims to expose existing concrete deck.
- Install areas of new vapor retarder, new tapered thermal insulation, new gypsum cover board, hot applied asphalt built up roof membrane, perimeter flashings, sheet metal details, and related components.
- Provide the City with a 20 year roof system warranty package as specified for roof replacement projects.

As part of the Services, Contractor shall do the following:

Itemized List of Materials: Contractor shall provide an itemized material list to the Owner's Representative. The City will purchase the materials necessary for the completion of the Services. The City will provide a tax exempt certificate to Contractor for any approved purchase made by Contractor from vendors related to the Services.

Protection of Remaining Roof Membranes: Contractor shall confine roof traffic to the actual work area to the greatest extent possible. Where hauling over other areas is necessary, Contractor shall protect the roofs with 1" insulation and plywood. Contractor shall be responsible for acceptable repair of damage and leaks in trafficked areas during and after the performance of the Services.

Repair of Damaged Grounds: Contractor is responsible for the acceptable repair of any lawn, trees, pavement, exterior walls, or any other building components damaged during the Services. The City reserves the right to a retainage of funds until damage is repaired to the satisfaction of the Owner's Representative.

Repair of Damage Caused by Water Infiltration: Damage, including all labor and other costs incurred by the City, caused by water infiltration resulting from the failure of Contractor to secure each day's work in a watertight manner will be corrected at Contractor's expense.

Final Inspection: Contractor shall arrange a final inspection with the Owner's Representatives and address any and all defects to the satisfaction of the Owner's Representatives prior to submission of a final invoice for payment.

¹ Contractor shall be responsible for obtaining any and all applicable City permits and paying any and all applicable permit fees prior to beginning work.

Article 2. Standard of Care

Contractor shall be responsible for completion of the Services in a manner consistent with that degree of care and skill ordinarily exercised by members of the same profession currently practicing under similar circumstances (“Standard of Care”). The Owner’s Representatives shall be the sole judge of the adequacy of Contractor’s work in meeting the Standard of Care; however, the Owner’s Representatives shall not unreasonably withhold its approval as to the adequacy of Contractor’s performance. Upon notice to Contractor and by mutual agreement between the parties, Contractor will, without additional compensation, correct or replace any and all Services not meeting the Standard of Care.

Contractor shall be solely responsible for all construction means, methods, techniques, sequences, and procedures, and for coordinating all portions of the Work under this Agreement.

Article 3. Responsibilities of the City

As set forth in the Detailed Specifications, the City designates Bernie Rammer and Steve Jossart as Owner’s Representative for purposes of this Agreement. If the Owner’s Representative deems it appropriate, the Owner’s Representative may consult with other employees of the City, or may retain an appropriate outside expert to assist with the management of this Project.

Upon receipt of the Itemized List of Materials from the Contractor, the City shall order the materials.

Article 4. Compensation

The City shall pay Contractor for the Services an amount not to exceed \$80,035.00. This does not include the cost of the Itemized List of Materials which, pursuant to Contractor’s Bid, will not exceed \$48,864.60.

Invoices shall be sent via first class mail postage prepaid. Payment will be remitted to Contractor within forty-five (45) days of receipt of invoice. Contractor shall submit an invoice to the City on a monthly basis and shall be based on the percentage of the Services described in Article 1 complete. The invoice shall be sent to:

Bernie Rammer
City of Sheboygan
828 Center Ave.
Sheboygan, Wisconsin 53081

Additional services not set forth in Article 1, or changes in the Services must be authorized in writing by the City or its Owner’s Representative prior to such work being performed, or expenses incurred. The City shall not make payment for any unauthorized work or expenses. In the event that additional labor is approved, each hour of additional labor will not exceed \$75.00. In the event that additional materials are approved and are purchased by Contractor, the markup on the materials shall not exceed 15%.

The City may withhold payment, in whole or in part, to the extent necessary to protect itself from a loss on account of any of the following:

- Defective work.
- Evidence indicating the probable filing of claims by other parties against Contractor which may adversely affect the City.
- Failure of Contractor to make payments due to subcontractors, material suppliers, or employees.
- Damage to the City or a third party.

The submission of any request for payment shall be deemed a waiver and release by Contractor of all liens and claims with respect to the work and period to which such payment request pertains except as specifically reserved and noted on such request.

Partial payment made under this Agreement is not evidence of the proper performance by Contractor either in whole or in part, and no payment made by the City shall be construed to be an acceptance of defective or improper work. Acceptance of the work by the City shall occur only upon Final Payment by the City which will occur after Final Acceptance. The Parties recognize that more than 45 days may elapse between the submission of the last invoice and Final Acceptance or Final Payment. The City agrees to make reasonable efforts to schedule its Final Inspection in a timely manner and to process the Final Payment in a timely manner upon Final Acceptance. (For the avoidance of doubt, the warranties and guarantees in this Agreement shall continue to apply even after Final Payment by the City.)

Article 5. Appropriation of Funds

Notwithstanding any other provision of this Agreement, if funds for the continued fulfillment of this Agreement by the City are at any time not forthcoming or are insufficient, through failure of any entity, including the City itself, to appropriate funds or otherwise, then the City shall have the right to terminate this Agreement without penalty. The City agrees that it will make its best effort to obtain sufficient funds for the Agreement to meet its obligations hereunder in full.

Article 6. Performance and Payment Bond

Contractor shall, within fifteen (15) days of the approval of this Agreement by the Common Council of the City of Sheboygan, provide the City with a Performance Bond and a Payment Bond in the amount of one hundred percent (100%) of the contract amount.

Failure by Contractor to perform the work in a timely or satisfactory fashion may result in forfeiture of Contractor's Performance Bond.

If the Surety on any bond furnished by Contractor becomes a party to supervision or liquidation, or its right to do business in the State of Wisconsin is terminated, Contractor shall, within thirty (30) calendar days thereafter, substitute another bond or surety, both of which must be acceptable to the City.

Article 7. Schedule

Contractor shall commence work after receiving a Notice to Proceed from the Owner's Representative. At that point, Contractor shall commence work promptly, and shall continue the prosecution of the Services as quickly as is practicable until the Services are completed.

The Parties anticipate that the Notice to Proceed will be issued in August 2020, with the Services to start in September 2020.

Contractor shall complete the services by October 30, 2020, or within such extra time as may have been allowed by a mutually agreed extension (the "Deadline"). The Owner's Representative shall have the authority to consent to an extension of the Deadline on behalf of the City.

Article 8. Liquidated Damages

In the event that Contractor does not complete the Services by the Deadline, there shall be deducted from any monies due or that may become due to Contractor, for each and every calendar day that the work remains uncompleted, a sum of Four Hundred and 00/100 Dollars (\$400.00) per calendar day.

This sum shall be considered and treated not as a penalty but as fixed, agreed, and liquidated damages due the City from Contractor by reason of inconvenience to the public, added cost of supervision, and other items which have caused an expenditure of public funds resulting from his failure to complete the work.

Permitting Contractor to continue and finish the work or any part of same after the time fixed for its completion, or after the date to which the time for completion may have been extended, shall in no way be construed as a waiver on the part of the City of any of its rights under this Agreement.

Article 9. Workmanship and Quality of Materials

Contractor's Warranty for the Services is set forth in the Project Manual.

Whenever, in any document, an article, material, or equipment is defined by describing a proprietary product, or by using the name of a manufacturer or vendor, the term "or equal" or the term "the equivalent" if not inserted, shall be implied, and it is done for the express purpose of establishing a basis of durability and efficiency and not for the purpose of limiting competition. Whenever material or equipment is submitted for approval as being equal to that specified, the submittal shall include sufficient information and data to demonstrate that the material or equipment conforms to all contractual requirements. The decision as to whether or not such material or equipment is equal to that specified shall be made by the Owner's Representative. The approval by the Owner's Representative of alternate material or equipment as being equivalent to that specified shall not in any way relieve Contractor of responsibility for failure of the material or equipment due to faulty design, material, or workmanship, to perform the function required by the contract documents. The Owner's Representative shall be the sole and final judge of equivalency.

Article 10. Safety Requirements

All materials, equipment, and supplies provided to the City must comply fully with all safety requirements set forth under state and federal law.

Contractor shall be responsible for the safety of employees at all times and shall provide all equipment necessary to insure their safety. Contractor shall ensure the enforcement of all applicable safety rules, regulations, ordinances and laws, whether federal, state, or local.

Contractor's Superintendent of Safety shall make daily inspections upon the arrival and leaving of the site at the close of each workday.

Article 11. Open Records

Both parties understand that the City is bound by the Wisconsin Public Records Law and, as such, this contract is subject to that law. Contractor acknowledges that it is obligated to assist the City in retaining and producing records that are subject to Wisconsin Public Records Law, and that the failure to do so shall constitute a material breach of the contract, and that Contractor must defend and hold the City harmless from liability under that law. Except as otherwise authorized, those records shall be maintained for a period of seven (7) years after receipt of Final Payment under the Agreement.

Article 12. Termination

The City may terminate or suspend performance of this Agreement at the City's prerogative at any time upon written notice to Contractor. Owner's Representative shall have the authority to provide this written notice. Contractor shall terminate or suspend performance of the Services on a schedule acceptable to the City and the City shall pay Contractor for all the Services performed up to the date that written notice is received, plus reasonable termination or suspension expenses. Upon restart, an equitable adjustment shall be made to Contractor's compensation and the schedule of services.

If Contractor defaults or fails to fulfill in a timely and proper manner its obligations pursuant to this Agreement, the City may, fifteen (15) days after written notice has been delivered to Contractor, and without prejudice to any other remedy it may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due to Contractor. In the alternative the City may, at its option, terminate this Agreement and take possession of the site and of all materials, equipment, tools, and construction equipment and machinery thereon owned by Contractor, and may finish the project by whatever method it may deem expedient. In case the expenses incurred by the City (including payments previously made to Contractor) shall be less than the sum which would have been payable under the Agreement if it had been completed by Contractor, Contractor shall be entitled to receive the difference. However, in case such expense shall exceed the sum which would have been payable under the Agreement, Contractor will be liable and shall pay to the City the amount of said excess. By taking over prosecution of the work, the City does not forfeit the right to recover damages from Contractor or its surety for failure to complete the work in the time specified.

Article 13. Default

If Contractor breaches this Agreement or fails to perform the work in an acceptable manner, it shall be considered in default. Any one or more of the following will be considered a default:

- Failure to begin the work under this Agreement within the time specified.
- Failure to perform the work with sufficient supervision, workers, equipment and materials to ensure prompt completion of said work within the time limits allowed.
- Unsuitable performance of the work as determined by City.
- Neglecting or refusing to remove defective materials or failure to perform anew such work as shall have been rejected.
- Discontinuing the prosecution of the work or any part of it.
- Inability to finance the work adequately.
- If, for any other reason, Contractor breaches this Agreement or fails to carry on the work in an acceptable manner.

The City shall send Contractor a written notice of default. If Contractor, within a period of fifteen (15) days after such notice, fails to remedy the default, then the City shall have full power and authority, without violation of the Agreement, to take the prosecution of the work out of the hands of Contractor, as set forth in this Agreement.

Article 14. Identity of Contractor

Contractor acknowledges that one of the primary reasons for its selection by the City to perform the Services is the qualifications and experience of Contractor. Contractor thus agrees that the Services to be performed pursuant to this Agreement shall be performed by Contractor. Contractor shall not subcontract any part of the Services without the prior written permission of the City. The Owner's Representative shall have the ability to provide this written permission. The City reserves the right to reject any of the Contractor's personnel or proposed outside professional sub-consultants, and the City reserves the right to request that acceptable replacement personnel be assigned to the project.

Article 15. Independent Contractor Status

During the entire term of this Agreement, Contractor shall be an independent contractor, and in no event shall any of its personnel, agents or sub-contractors be construed to be, or represent themselves to be, employees of the City. Contractor shall be solely responsible for the payment and reporting of all employee and employer taxes, including social security, unemployment, and any other federal, state, or local taxes required to be withheld from employees or payable on behalf of its employees.

Article 16. Indemnification

Contractor is responsible to the City for the acts and omissions of its employees, subcontractors, and any other persons performing any of the work under a contract with Contractor.

As such, Contractor shall indemnify and defend the City—including its Officials, Agents, and Employees—from all liability, including, but not limited to, losses, damages, costs, attorney's fees, expenses, causes of action, claims, or judgments resulting from claimed injury, death, damage to

property, or loss of use of property or any person or legal entity arising out of or in any way connected with the performance of work or work to be performed under this Agreement.

Contractor shall reimburse the City for any costs, expenses, judgments, and attorney's fees paid or incurred, by or on behalf of the City, its Officials, Agents, or Employees, or paid for on behalf of the City, its Officials, Agents, or Employees by insurance purchased or self-insurance provided by the City.

For the avoidance of doubt, Contractor shall further hold harmless the City, its Officials, Agents, and Employees from liability or claims for any injuries to or death of Contractor's employees (or the employees of any authorized subcontractor) arising out of or in any way connected with the work or work to be performed under this Agreement, including protection against any claim of the contractor or subcontractor for any payments under any worker's compensation law or any expenses of or any payments made by any worker's compensation insurance carrier on behalf of said contractor or sub-contractor, and the contractor shall indemnify the City for any costs, expenses, judgments, and attorney's fees with respect to any above referenced workers' compensation claims incurred or paid by the City or paid on its behalf or on behalf of its Officials, Agents, or Employees by insurance purchased or self-insurance provided by the City.

Article 17. Insurance

Contractor shall not commence work under this Agreement until it has obtained all insurance required under this Article. Additionally, Contractor shall not allow any approved subcontractor to commence work on its subcontract until the subcontractor has obtained all insurance required under this Article.

During the performance of any and all Services under this Agreement, Contractor shall maintain the following insurance in full force and effect, and shall provide proof of insurance to the Purchasing Agent listing the City of Sheboygan as an additional insured:

- a. **Workers' Compensation Insurance** – Contractor shall acquire and maintain, for the duration of the Agreement, Workers' Compensation Insurance that meets all statutory requirements. In the event this Agreement authorizes any work to be sublet, Contractor shall require any subcontractor to similarly provide Workers' Compensation Insurance in accordance with all statutory requirements.
- b. **Commercial General Liability Insurance** – Contractor shall acquire and maintain, for the duration of this Agreement, Commercial General Liability Insurance with a policy limit of at least \$2,000,000 per occurrence and \$2,000,000 in the aggregate.

The proof of insurance referenced above shall require the insurance company to notify the City at least thirty (30) days prior to the expiration, cancellation, non-renewal, or material change in the coverage. The Certificate Holder on the proof of insurance should be listed as:

City of Sheboygan, Wisconsin
828 Center Ave., Suite 110

Sheboygan, Wisconsin 53081

The proof of insurance must contain an original signature.

Approval of the insurance by the City shall not relieve or decrease the extent to which Contractor may be held responsible for payment of damages resulting from Contractor's provision of the Services or its operations under this Agreement. If Contractor fails or refuses to procure or maintain the insurance required by these provisions, or fails or refuses to furnish the City the required proof that the insurance has been procured and is in force and paid for, the City shall have the right at its election to terminate the Agreement.

Article 18. Conflict of Interest

Contractor declares that it has no present interest, nor shall it acquire any interest, direct or indirect, which would conflict with the performance of Services under this Agreement. Contractor agrees that no person having any such interest shall be employed in the performance of this Agreement.

Article 19. Waiver

No failure of either party to enforce a term of this Agreement against the other shall be construed as a waiver of that term, nor shall it in any way affect the party's right to enforce that term. No waiver by any party of any term of this Agreement shall be considered to be a waiver of any other term or breach thereof.

Article 20. Severability

The invalidity, illegality or unenforceability of any provision of this Agreement or the occurrence of any event rendering any portion or provision of this Agreement void shall in no way affect the validity or enforceability of any other portion or provision of this Agreement. Any void provision shall be deemed severed from this Agreement, and the balance of the Agreement shall be construed and enforced as if it did not contain the particular provision held to be void. The parties further agree to amend this Agreement to replace any stricken provision with a valid provision that comes as close as possible to the intent of the stricken provision. The provisions of this Article shall not prevent this entire Agreement from being void should a provision which is of the essence of this Agreement be determined void.

Article 21. Assignment

Neither the City nor Contractor shall assign any rights or duties under this Agreement without the prior written consent of the other party.

Article 22. Third Party Rights

Nothing in this Agreement shall be construed to give any rights or benefits to anyone other than the City and Contractor.

Article 23. Governing Law and Venue

This Agreement shall be governed by the laws of the State of Wisconsin. Venue of any disputes arising under this Agreement shall be in the Sheboygan County Circuit Court, Wisconsin.

Article 24. Non-Discrimination

In connection with the performance of work under this Agreement, Contractor agrees not to discriminate against any employee or applicant for employment because of age, race, religion, color, handicap, sex, physical condition, developmental disability (as defined in Wis. Stat. 51.01(5)), sexual orientation (as defined in Wis. Stat. 111.32(13m)), or national origin. This provision shall include, but not be limited to, the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, including apprenticeship. Contractor further agrees to take affirmative action to ensure equal employment opportunities.

Article 25. Compliance with Laws

In performing the Services under this Agreement, Contractor shall comply with any and all applicable federal, state and local statutes, ordinances, plans, and regulations.

The City reserves the right to cancel this Agreement if Contractor fails to follow the requirements of Wis. Stat. 77.66 and related statutes regarding certification for collection of sales and use tax. The City also reserves the right to cancel this Agreement with any state or federally debarred contractor.

Contractor shall have any and all licenses and permits required to perform the work specified, and shall furnish proof of such licensing authorization and permits upon request.

Article 26. Notices

Any notice required by this Agreement shall be made in writing to the individuals/addresses specified below:

City:

Contractor:

City Clerk		
City of Sheboygan		
828 Center Ave.		
Sheboygan, Wisconsin 53083		

Nothing contained in this Article shall be construed to restrict the transmission of routine communications between representatives of the City and Contractor.

Article 27. Intent to be Bound

The City and Contractor each binds itself and its successors, executors, administrators, permitted assigns, legal representatives and, in the case of a partnership, its partners to the other party to this Agreement, and to the successors, executors, administrators, permitted assigns, legal representatives and partners of such other party in respect to all provisions of this Agreement.

Article 28. Force Majeure

Neither party shall be in default by reason of any failure in performance of this Agreement in accordance with reasonable control and without fault or negligence on their part. Such causes may include, but are not restricted to, acts of nature or the public enemy, acts of the government in either its sovereign or contractual capacity, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather. In every case, the failure to perform must be beyond the reasonable control and without the fault or negligence of the party.

Article 29. Integration and Modification

This Agreement may be modified only by a written amendment signed by both parties hereto.

This Agreement consists of the following parts, each of which is as fully a part of this Agreement as if fully set out herein:

1. This Agreement and its Attachments
2. Any Written Amendment to the Agreement which may be delivered or issued after the Effective Date of the Agreement (including Change Orders)
3. Notice of Award
4. The Request for Bids (including all attachments)
5. All Addenda to the Request for Bids
6. Contractor's Bid Response (including the Items to be Attached)
7. All Other Submittals by Contractor
8. The Performance and Payment Bonds

(collectively "the Contract").

This Contract is the entire and integrated agreement between the City and Contractor regarding the subject matter of this Contract. It supersedes all prior and contemporaneous communications, representations and agreements that are not part of this Contract.

In resolving conflicts, errors, discrepancies and disputes concerning the Scope of Work to be performed by Contractor, the document expressing the greater quantity, quality, or other scope of work in question, or imposing the greater obligation upon Contractor and affording the greater right or remedy to the City shall govern. Otherwise, the documents shall be given precedence in the order set forth above.

Article 30. Non-Collusion

Contractor is certifying, under penalty of perjury, that to the best of its knowledge and belief:

1. The prices in its bid were arrived at independently, without collusion, consultation, communication, or agreement for the purpose of restricting competition as to any other matter relating to such prices with any other bidder, or with any other competitor.
2. The prices quoted in its bid were not knowingly disclosed—directly or indirectly—by the bidder prior to bid opening.
3. No attempt was made to induce any other person, partnership, or corporation to submit or not submit a bid for the purpose of restricting competition.

Article 31. Other Provisions

1. **Material Safety Data Sheet.** If any item(s) on an order(s) resulting from this Agreement is a hazardous chemical, as defined under 29 C.F.R. 1910.1200, Contractor shall provide one (1) copy of a Material Safety Data Sheet for each item with the shipped container(s) and one (1) copy with the invoice(s).
2. **Advertising and News Releases.** Reference to or use of the City, or any of its departments, officials, or employees, for commercial promotion is prohibited. News releases pertaining to this procurement shall not be made without prior approval of the Owner's Representative. Release of broadcast e-mails pertaining to this procurement shall not be made without prior written authorization of the Owner's Representative.
3. **Foreign Corporation.** A foreign corporation (any corporation other than a Wisconsin corporation) which becomes a party to this Agreement is required to conform to all the requirements of Wis. Stat. 180 relating to a foreign corporation, and must possess a certificate of authority from the Wisconsin Department of Financial Institutions, unless the corporation is transacting business in interstate commerce or is otherwise exempt from the requirement of obtaining a certificate of authority.
4. **Authority.** Each person executing this Agreement on behalf of a party hereto represents and warrants to the other party: That the execution and delivery of this Agreement has been duly authorized, that the person or persons executing this Agreement have the full power, authority, and right to do so, and that such execution is sufficient and legally binding on such party to enable this Agreement to be enforceable in accordance with its terms.
5. **Definitions.**
 - a. **Final Acceptance:** The event that occurs when Contractor issues to the City or the City issues to Contractor a written statement that Contractor has completed all Punch List items, has made all necessary submittals to the City, and has satisfied all of its obligations under the Agreement.

- b. **Final Inspection:** The inspection conducted by the City to determine what work must still be completed by Contractor in order for Completion of the Services to occur. After the Final Inspection, the City shall provide Contractor with a Punch List that Contractor must complete in order for Completion of the Services to occur.

- c. **Final Payment:** Payment by the City to Contractor after Completion of the Services the result of which is Contractor receiving all payments due under the terms of the Agreement for performing and completing the Services.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed the day and year first written above.

CITY OF SHEBOYGAN, WISCONSIN

KASCHAK ROOFING, INC.

BY: _____
Michael J. Vandersteen, Mayor

BY: _____

ATTEST: _____
Meredith DeBruin, City Clerk

ATTEST: _____

DATE: _____

DATE: _____

BID FORM

CITY OF SHEBOYGAN 2020 ROOFING PROJECT

WASTE WATER TREATMENT PLANT

NEW WATER TREATMENT BUILDING - ROOF REPLACEMENT PROJECT

Bids Close: 1:00 PM – Tuesday, March 17th, 2020

To: MR. BERNARD RAMMER
City of Sheboygan
828 Center Avenue, Suite 110
Sheboygan, Wisconsin 53081

We Kaschak Roofing Inc (a company)
(a partnership)
(company name) (an individual)

of Milwaukee WI 53209 414-916-4541 2301W Purdue street)
(city) (state) (zip) (telephone no.)

have examined the specifications entitled CITY OF SHEBOYGAN WASTE WATER TREATMENT PLANT – NEW WATER TREATMENT BUILDING ROOF REPLACEMENT dated February 18th, 2020 as prepared by TREMCO Inc. of Sheboygan, Wisconsin, AND being familiar with the facility and proposed work, including availability of material, labor and equipment hereby agree to furnish all labor, equipment, tools and materials required to perform all work in the contract drawings and specifications, and dated January 3rd, 2020 to complete the roof replacement project in Sheboygan County, Wisconsin, and to execute and furnish satisfactory bond in the amount specified.

The Bidder acknowledges receipt of the following Addenda: 1 #1 _____ #2 _____

I. WWTP NEW WATER TREATMENT BUILDING – ROOF REPLACEMENT PROJECT

1A. Base Bid Amount: The amount to provide all related construction trade work and materials described herein, excluding Owner-purchase material (Item B) but including work to install same. The lump sum cost below includes any allowances and sales tax on items, materials and equipment provided by the bidder:

A. Base Bid \$ 80,035.40

1B. Owner Purchased: The total amount of the material to be purchased by the owner, tax exempt, in quantities bid (do not include in Item A):

B. Owner Purchase Material \$ 48,864.60

1C. Total Project Cost: The summation of Bid Item "A" plus "B":

C. Total Project (A+B) \$ 128,900.00

1D. Labor & Equipment Rates

\$ 75.00 / hour - LABOR RATE

1E. Percentage Markup of Extra Materials Required

15 %

The undersigned agrees, if awarded the contract for any or all roofs bid, to commence the contract work upon written notice.

NAME: Nick Crego
SIGNATURE: [Signature]
TITLE: Project Manager
COMPANY: Kaschok Roofing Inc
DATE: 3/16/2020



AIA Document A310™ - 2010

Bid Bond

CONTRACTOR:

(Name, legal status and address)

**KASCHAK ROOFING, INC.
2301 W PURDUE STREET
MILWAUKEE, WI 53209**

SURETY:

(Name, legal status and principal place of business)

**NORTH AMERICAN SPECIALTY
INSURANCE COMPANY
1200 MAIN STREET, SUITE 800
KANSAS CITY, MO 64105**

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

OWNER:

(Name, legal status and address)

**CITY OF SHEBOYGAN
828 CENTER AVENUE
SHEBOYGAN, WI 53081**

BOND AMOUNT: Ten Percent of the Amount of the Attached Bid---- (10%)

PROJECT:

(Name, location or address, and Project number, if any)

Waste Water Treatment Plant - Roofing and Sheet Metal, Sheboygan, Wisconsin

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 17th day of March, 2020

(Witness)

KASCHAK ROOFING, INC.

(Principal)

(Seal)

(Title)

NORTH AMERICAN SPECIALTY INSURANCE COMPANY

(Surety)

(Seal)

(Title) **Mary Jo Dingwall, Attorney-in-Fact**

CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

Init.

ACKNOWLEDGMENT OF SURETY

State of Minnesota)
County of Hennepin)

On this 17th of March, 2020, before me personally appeared Mary Jo Dingwall to me known, who, being by me duly sworn, did depose and say: that s/he resides at Waconia, Minnesota, that s/he is the Attorney-in-Fact of NORTH AMERICAN SPECIALTY INSURANCE COMPANY, the corporation described in and which executed the annexed instrument; that s/he knows the corporate seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors of said corporation; that s/he signed his/her name thereto by like order; and that the liabilities of said corporation do not exceed its assets as ascertained in the manner provided by law.

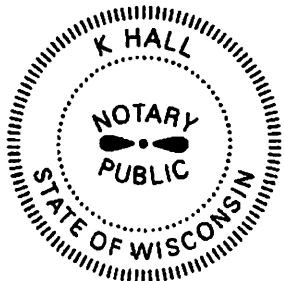


[Signature]
Notary Public

ACKNOWLEDGMENT OF CORPORATION

State of Wisconsin)
County of Milwaukee

On the 17th day of March, 2020, before me personally appeared Jason Kaschak, to me known, who being by me first duly sworn, did depose and say that s/he resides in Franklin, WI, that s/he is the owner of KASCHAK ROOFING, INC., the corporation described in and which executed the foregoing instrument; that s/he knows the corporate seal of said corporation, that the corporate seal affixed to said instrument is such corporate seal, that it was so affixed by order and authority of the Board of directors of said corporation, and that s/he signed his/her name thereto by like order and authority.



[Signature]
Notary Public
Commission exp. 1/25/22

SWISS RE CORPORATE SOLUTIONS

NORTH AMERICAN SPECIALTY INSURANCE COMPANY
WASHINGTON INTERNATIONAL INSURANCE COMPANY

GENERAL POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, THAT North American Specialty Insurance Company, a corporation duly organized and existing under laws of the State of New Hampshire, and having its principal office in the City of Kansas City, Missouri, and Washington International Insurance Company, a corporation organized and existing under the laws of the State of New Hampshire and having its principal office in the City of Kansas City, Missouri, each does hereby make, constitute and appoint:

CARL GODZIEK, MICHAEL J. JACOBS,

MARY JO DINGWALL, SEAN McBRIDE and YARALITZA RIVAS

JOINTLY OR SEVERALLY

Its true and lawful Attorney(s)-in-Fact, to make, execute, seal and deliver, for and on its behalf and as its act and deed, bonds or other writings obligatory in the nature of a bond on behalf of each of said Companies, as surety, on contracts of suretyship as are or may be required or permitted by law, regulation, contract or otherwise, provided that no bond or undertaking or contract or suretyship executed under this authority shall exceed the amount of:
FIFTY MILLION (\$50,000,000.00) DOLLARS

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Boards of Directors of both North American Specialty Insurance Company and Washington International Insurance Company at meetings duly called and held on the 9th of May, 2012:

"RESOLVED, that any two of the Presidents, any Managing Director, any Senior Vice President, any Vice President, any Assistant Vice President, the Secretary or any Assistant Secretary be, and each or any of them hereby is authorized to execute a Power of Attorney qualifying the attorney named in the given Power of Attorney to execute on behalf of the Company bonds, undertakings and all contracts of surety, and that each or any of them hereby is authorized to attest to the execution of any such Power of Attorney and to attach therein the seal of the Company; and it is

FURTHER RESOLVED, that the signature of such officers and the seal of the Company may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be binding upon the Company when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached."



By [Signature]
Steven P. Anderson, Senior Vice President of Washington International Insurance Company & Senior Vice President of North American Specialty Insurance Company



By [Signature]
Michael A. Ito, Senior Vice President of Washington International Insurance Company & Senior Vice President of North American Specialty Insurance Company

IN WITNESS WHEREOF, North American Specialty Insurance Company and Washington International Insurance Company have caused their official seals to be hereunto affixed, and these presents to be signed by their authorized officers this 3rd day of MARCH, 2020.

North American Specialty Insurance Company
Washington International Insurance Company

State of Illinois
County of Cook ss:

On this 3rd day of MARCH, 2020, before me, a Notary Public personally appeared Steven P. Anderson, Senior Vice President of Washington International Insurance Company and Senior Vice President of North American Specialty Insurance Company and Michael A. Ito, Senior Vice President of Washington International Insurance Company and Senior Vice President of North American Specialty Insurance Company, personally known to me, who being by me duly sworn, acknowledged that they signed the above Power of Attorney as officers of and acknowledged said instrument to be the voluntary act and deed of their respective companies.



[Signature]
M. Kenny, Notary Public

I, Jeffrey Goldberg, the duly elected Assistant Secretary of North American Specialty Insurance Company and Washington International Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney given by said North American Specialty Insurance Company and Washington International Insurance Company, which is still in full force and effect.

IN WITNESS WHEREOF, I have set my hand and affixed the seals of the Companies this 17th day of March, 2020.

[Signature]
Jeffrey Goldberg, Vice President & Assistant Secretary of
Washington International Insurance Company & North American Specialty Insurance Company

General Scope of Work:

Solids Handling Building Roof: 4,300 Sq Ft

1. Remove the existing gravel surfaced, built up roof system, layers of insulation and lightweight concrete fill down to the existing concrete deck.
2. Prime the existing concrete deck with water based, asphaltic primer.
3. Adhere a single ply of an asphalt coated, polyester reinforced trilaminate base sheet set in Type III asphalt which will provide a vapor retarder / temporary roof. Extend the vapor retarder membrane a minimum of 6" above the deck at all perimeters and at all projections.
4. Seal all the perimeters and around all projections of the vapor retarder / temporary roof with asphalt mastic. If left over night, glaze coat the vapor retarder with Type III asphalt.
5. Where existing curbs are to remain, raise the existing mechanical equipment curbs with additional wood blocking to achieve a 8" minimum flashing height where required.
6. Adhere tapered polyisocyanurate insulation system over the vapor retarder with Type III Asphalt. Tapered system shall have a minimum 1/4" slope and a minimum thickness of 1/2" at the drain location. Install tapered insulation crickets at the high side of mechanical unit curbs.
7. Adhere a overlayment board of 1/2" thick, pre-primed gypsum board set in Type III Asphalt.
8. Adhere an asphalt coated, polyester reinforced trilaminate base sheet set in Type III Asphalt at a rate of 25 lbs per 100 square feet minimum.
9. Adhere three plies of Type VI fiberglass felts set in SEBS modified asphalt adhesive at a rate of 25 lbs per 100 square feet.
10. Install perimeter flashings as follows:
 - a. Roof membrane is to extend to the top of the wood fiberboard or wood cants and sealed off with mastic at the vertical walls.
 - b. Adhere a backer ply of polyester woven felt set in SEBS modified asphalt adhesive.
 - c. Adhere a finish flashing of polyester reinforced, SBR / EPDM elastomeric sheet flashing set in SEBS modified asphalt adhesive.
 - d. Seal vertical flashing laps with rubberized mastic and 4" fiberglass woven mesh.
 - e. After mastics have set for one week, coat roof flashings with fiberated aluminum coating.
 - f. Install under-layment materials (EPDM or Vinyl) over the cants or parapet walls prior to application of sheet metal caps and components.
11. Flood coat roof system with Type III asphalt adhesive at a rate of 50 - 60 lbs per 100 square feet followed by new gravel broadcast into the hot asphalt at a rate of 500 lbs – 550 lbs per 100 square feet.
12. Install new 24 gauge prefinished galvanized steel trims where indicated.
13. Provide a 20 Year Roof System Warranty for all components.



CITY OF SHEBOYGAN
WASTER WATER TREATMENT PLANT – NEW WATER TREATMENT BUILDING - ROOF REPLACEMENT PROJECT

PROJECT TIMELINES:

**NEW WATER TREATMENT BUILDING – ROOF REPLACEMENT PROJECT
3333 LAKESHORE DRIVE, SHEBOYGAN, WI**

FALL, 2020

GENERAL TIMELINE:

FEBRUARY - MARCH:	BIDDING PROCESS
MARCH 15TH:	BID REVIEW
APRIL 15TH:	AWARD OF CONTRACT
AUGUST 15TH:	PRECONSTRUCTION MEETINGS AND EXECUTION OF CONTRACTS
OCTOBERT 30TH:	PROJECT COMPLETION / PUNCHLIST ITEMS
NOVEMBER 15TH:	FINAL INSPECTION / WARRANTY ISSUANCE FINAL PAYMENT

SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following:
1. Work covered by the Contract Documents.
 2. Products ordered in advance.
 3. Owner-furnished products.
 4. Use of premises.
 5. Owner's occupancy requirements.
 6. Work restrictions.
 7. Specification formats and conventions.
- B. Related Sections include the following:
1. Division 1 Section "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.3 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Identification– 2020 City of Sheboygan Roof Replacement Project
1. Project Location: City of Sheboygan Waste Water Treatment Plant, Sheboygan, WI 53081
- B. Owner: City of Sheboygan
1. Owner's Representative: Mr. Steve Jossart, Waste Water Treatment Plant Superintendent, City of Sheboygan
 2. Owner's Representative: Mr. Bernie Rammer, Purchasing Agent, City of Sheboygan
- C. Project Specifier: Tremco, Incorporated, Sheboygan, WI has been appointed by Owner to serve as Project Specifier / Coordinator.
- D. The Work consists of the following:
1. Project #1 Work includes roof system membrane removal and replacement at the above listed facility.
 - a. Removal of the existing asphalt Built Up Roof membrane, existing insulation, tapered lightweight concrete, vapor retarder, existing perimeter sheet metal trims to expose the existing concrete deck
 - b. Installation of areas of new vapor retarder, new tapered thermal insulation, new gypsum coverboard, hot applied asphalt built up roof membrane, perimeter flashings, sheet metal details and related components.

- c. Provide the Owner a 20 year roof system warranty package as specified for roof replacement projects.

1.4 TYPE OF CONTRACT

- 1. Project will be constructed under a single prime contract for all work.

1.5 USE OF PREMISES

- A. General: Contractor shall have limited use of premises for construction operations, including use of Project site, during construction period. Contractor's use of premises is limited to specific staging and storage areas and by Owner's right to perform work or to retain other contractors on portions of Project.
 - 1. Driveways and Entrances: Keep driveways parking garage, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
 - a. Schedule deliveries to minimize use of driveways and entrances.
 - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- B. Use of Existing Buildings: Maintain existing building in a weather-tight condition throughout construction period. Repair damage caused by construction operations. Protect building and its occupants during construction period.
- C. Portable Toilet Facility: Contractor is to provide secured, portable toilet facility for contractor use only. Portable facility to be located at set up / staging location or roof-top.

1.6 OWNER'S OCCUPANCY REQUIREMENTS

- A. Full Owner Occupancy: Owner will occupy site and existing building during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits, unless otherwise indicated.
 - 1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction.
 - 2. Provide not less than 48 hours' notice to Owner of activities that will affect Owner's operations.

1.7 WORK RESTRICTIONS

- A. On-Site Work Hours: Work shall be generally performed inside the existing building during normal business working hours of 7 a.m. to 5 p.m., Monday through Friday, except otherwise indicated.
 - 1. Weekend Hours: Saturdays upon 24 hours advance notice.

- B. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging to provide temporary utility services according to requirements indicated:
 - 1. Notify Owner not less than two days in advance of proposed utility interruptions.
 - 2. Do not proceed with utility interruptions without Owner's permission.

1.8 SPECIFICATION FORMATS AND CONVENTIONS

- A. Specification Format: The Specifications are organized into Divisions and Sections using the 16-division format and CSI/CSC's "MasterFormat" numbering system.
 - 1. Section Identification: The Specifications use Section numbers and titles to help cross-referencing in the Contract Documents. Sections in the Project Manual are in numeric sequence; however, the sequence is incomplete because all available Section numbers are not used. Consult the table of contents at the beginning of the Project Manual to determine numbers and names of Sections in the Contract Documents.
 - 2. Division 1: Sections in Division 1 govern the execution of the Work of all Sections in the Specifications.
- B. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated. Words and meanings shall be interpreted as appropriate. Words implied, but not stated, shall be inferred as the sense requires. Singular words shall be interpreted as plural, and plural words shall be interpreted as singular where applicable as the context of the Contract Documents indicates.
 - 2. Imperative mood and streamlined language are generally used in the Specifications. Requirements expressed in the imperative mood are to be performed by Contractor. Occasionally, the indicative or subjunctive mood may be used in the Section Text for clarity to describe responsibilities that must be fulfilled indirectly by Contractor or by others when so noted.
 - a. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.

END OF SECTION 011000

SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements governing allowances.
 - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when additional information is available for evaluation. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
 - 1. Cost allowances.
- C. Related Sections include the following:
 - 1. Division 1 Section "Unit Prices" for procedures for using unit prices.
 - 2. Divisions 2 through 16 Sections for items of Work covered by allowances.

1.3 SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.
- B. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.
- D. Submit itemization of dates of hours worked for additional labor required and location of areas where work was provided for wet / damaged vapor retarder or deck removal / replacement. Photographic documentation is required.

1.4 COST ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner under allowance and shall include taxes, freight, and delivery to Project site.
- B. Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner under allowance shall be included as part of the Contract Sum and not part of the allowance.

- C. Itemization and copies of subcontractor costs or materials receipts shall be provided to the Owner upon request of payment for work completed.
- D. All allowance amounts listed shall be included in the contractors' base bid amounts on the "Bidding Instructions" proposal.

PART 2 - EXECUTION

2.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

2.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

2.3 SCHEDULE OF ALLOWANCES TO BE INCLUDED WITH BIDS

- A. Project Allowance:
 - 1. Repair of damaged wood blocking or other components: \$5,000.00

END OF SECTION 012100

SECTION 061050 - MISCELLANEOUS CARPENTRY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following:
 1. Rooftop equipment bases and support curbs.
 2. Wood blocking and nailers.

1.3 DEFINITIONS

- A. Lumber grading agencies, and the abbreviations used to reference them, include the following:
 1. NELMA - Northeastern Lumber Manufacturers Association.
 2. NLGA - National Lumber Grades Authority.
 3. SPIB - Southern Pine Inspection Bureau.
 4. WCLIB - West Coast Lumber Inspection Bureau.
 5. WWPA - Western Wood Products Association.

1.4 QUALITY ASSURANCE

- A. Forest Certification: For the following wood products, provide materials produced from wood obtained from forests certified by an FSC-accredited certification body to comply with FSC 1.2, "Principles and Criteria":
 1. Miscellaneous lumber.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Stack lumber, plywood, and other panels; place spacers between each bundle to provide air circulation. Provide for air circulation around stacks and under coverings.

PART 2 - PRODUCTS

2.1 MISCELLANEOUS LUMBER

- A. General: Provide lumber for support or attachment of other construction, including the following:

1. Rooftop equipment bases and support curbs.
 2. Blocking.
 3. Nailers.
- B. For items of dimension lumber size, provide Standard, Stud, or No. 3 grade lumber with 15 percent maximum moisture content and any of the following species:
1. Mixed southern pine; SPIB.
 2. Hem-fir or Hem-fir (north); NLGA, WCLIB, or WWPA.
 3. Spruce-pine-fir (south) or Spruce-pine-fir; NELMA, NLGA, WCLIB, or WWPA.
 4. Eastern softwoods; NELMA.
 5. Northern species; NLGA.
 6. Western woods; WCLIB or WWPA.

2.2 FASTENERS

- A. General: Provide fasteners of size and type indicated that comply with requirements specified in this Article for material and manufacture.
1. Where carpentry is exposed to weather, in ground contact, or in area of high relative humidity, provide fasteners with hot-dip zinc coating complying with ASTM A 153/A 153M.
- B. Nails, Wire, Brads, and Staples:
1. FS FF-N-105.
 2. #16 Penny Nails (wood to wood)
- C. Power-Driven Fasteners: CABO NER-272.
- D. Wood Screws: ASME B18.6.1.
- E. Screws for Fastening to Cold-Formed Metal Framing: ASTM C 954, except with wafer heads and reamer wings, length as recommended by screw manufacturer for material being fastened.

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

- A. Set carpentry to required levels and lines, with members plumb, true to line, cut, and fitted. Fit carpentry to other construction; scribe and cope as needed for accurate fit. Locate nailers, blocking, and similar supports to comply with requirements for attaching other construction.
- B. Apply field treatment complying with AWPA M4 to cut surfaces of preservative-treated lumber and plywood.
- C. Securely attach carpentry work as indicated and according to applicable codes and recognized standards.
- D. Use fasteners of appropriate type and length. Pre-drill members when necessary to avoid splitting wood.

3.2 WOOD BLOCKING, AND NAILER INSTALLATION

- A. Install where indicated and where required for attaching other work. Form to shapes indicated and cut as required for true line and level of attached work. Coordinate locations with other work involved.
- B. Attach items to substrates to support applied loading. Recess bolts and nuts flush with surfaces, unless otherwise indicated.

END OF SECTION 061050

SECTION 070150 - MEMBRANE ROOF REMOVAL PREPARATION

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following:
 - 1. Roof tear-off.
 - 2. Roof replacement preparation.
 - 3. Removal of base flashings.
- B. Related Sections include the following:
 - 1. Division 1 Section "Summary" for use of the premises and phasing requirements.
 - 2. Division 6 Section "Miscellaneous Carpentry" for wood nailers, cants, curbs, and blocking.
 - 3. Division 7 Section "Built Up Roofing" for roofing membrane, base flashings; and roofing accessories.
 - 4. Division 7 Section "Sheet Metal Flashing and Trim" for metal roof penetration flashings, flashings, and counterflashings.
- C. Unit Prices: Refer to Division 1 Section "Unit Prices" for description of Work in this Section affected by unit prices.

1.3 MATERIALS OWNERSHIP

- A. Except for items or materials indicated to be reused, reinstalled, or otherwise indicated to remain Owner's property, demolished materials shall become Contractor's property and shall be removed from Project site.

1.4 DEFINITIONS

- A. Roofing Terminology: Refer to ASTM D 1079 and glossary in NRCA's "The NRCA Roofing and Waterproofing Manual" for definition of terms related to roofing work in this Section.
- B. Substrate Board: Rigid board or panel products placed over the roof deck that serve as thermal barriers, provide a smooth substrate, or serve as a component of a fire-resistance-rated roofing system.
- C. Roof Tear-Off:

- a. Tear off includes removal of the gravel surfacing, existing asphalt built up roof membrane, insulation layers (1.5" thick), tapered lightweight concrete fill (2" – 7" thick) and flashing components, to expose the concrete deck.
- D. Remove: Detach items from existing construction and legally dispose of them off-site unless indicated to be removed and reinstalled.
- E. Existing to Remain: Existing items of construction that are not indicated to be removed.

1.5 QUALITY ASSURANCE

- A. Installer Qualifications: Installer of new membrane roofing system and approved by warrantor of existing roofing system to work on existing roofing.
- B. Regulatory Requirements: Comply with governing EPA notification regulations before beginning membrane roofing removal. Comply with hauling and disposal regulations of authorities having jurisdiction.
- C. Preliminary Re-roofing Conference: Conduct conference at Project site to comply with requirements in Division 1 Section "Project Management and Coordination." Review methods and procedures related to roofing system including, but not limited to, the following:
 - 1. Meet with Owner; roofing system manufacturer's representative; roofing Installer including project manager, superintendent, and foreman; and installers whose work interfaces with or affects re-roofing including installers of roof accessories and roof-mounted equipment.
 - 2. Review methods and procedures related to re-roofing preparation, including membrane roofing system manufacturer's written instructions.
 - 3. Review temporary protection requirements for existing roofing system that is to remain, during and after installation.
 - 4. Review roof drainage during each stage of re-roofing and review roof drain plugging and plug removal procedures.
 - 5. Review and finalize construction schedule, and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
 - 6. Review existing deck removal procedures and Owner notifications.
 - 7. Review procedures to determine condition and acceptance of existing deck
 - 8. Review structural loading limitations of deck during re-roofing.
 - 9. Review base flashings, special roofing details, drainage, penetrations, equipment curbs, and condition of other construction that will affect re-roofing.
 - 10. Review HVAC shutdown and sealing of air intakes.
 - 11. Review shutdown of fire-suppression, -protection, and -alarm and -detection systems.
 - 12. Review procedures for asbestos removal or unexpected discovery of asbestos-containing materials.
 - 13. Review governing regulations and requirements for insurance and certificates if applicable.

1.6 PROJECT CONDITIONS

- A. Owner will occupy portions of building immediately below re-roofing area. Conduct re-roofing so Owner's operations will not be disrupted. Provide Owner with not less than 48 hours' notice of activities that may affect Owner's operations.

1. Coordinate work activities daily with Owner so Owner can place protective dust or water leakage covers over sensitive equipment or furnishings, shut down HVAC and fire-alarm or -detection equipment if needed, and evacuate occupants from below the work area if desired.
 2. Before working over structurally impaired areas of deck, notify Owner to evacuate occupants from below the affected area. Verify that occupants below the work area have been evacuated prior to proceeding with work over the impaired deck area.
- B. Protect building to be re-roofed, exposed mechanical units, adjacent buildings, walkways, site improvements, exterior plantings, and landscaping from damage or soiling from re-roofing operations.
- C. Construction Drawings and Project Manual for existing roofing system are provided for Contractor's reference. Contractor is responsible for conclusions derived from existing documents.
- D. Weather Limitations: Proceed with re-roofing preparation only when existing and forecasted weather conditions permit Work to proceed without water entering into existing roofing system or building. Any damage occurring due to moisture infiltration into existing roof system components, new roof system components or interior building systems requiring replacement or repair will be done so at the sole expense of the contractor.
- E. Hazardous Materials: It is expected that hazardous materials such as asbestos-containing materials will be encountered in the Work. Please notify the proper authorities prior to the start of work as required by law.

PART 2 - PRODUCTS

2.1 TEMPORARY ROOFING MATERIALS

- A. Selection of materials and design of temporary roofing is responsibility of Contractor.
- B. SBS-modified, polyester reinforced, asphalt-coated, glass-fiber base sheet.
- 1 Base Sheet: Trilaminar reinforced ply sheet, complying with ASTM D 4601-91; ASTM 228-90A and ASTM 146-90 with the following properties:
 - a. Thickness: 1.2 mm
 - b. Breaking strength: 220 lbf/in(38.5 kN/M) MD. 235 lbf/in (41.1 kN/m) XMD.
 - c. Elongation: 6.5% MD/XMD.
 - d. Tear Strength: 345 lbf (1534 N) MD. 330 lbf (1467 N) XMD minimum.
 - e. Mass of desaturated polyester/glass/polyester mat, min.: 3.5 lb/100ft (172 g/m²).
 - f. Asphalt: 10.0 lb/100 ft (485g/m²) minimum.
 - g. Recycled Content: 10% Minimum
- C. Asphalt Primer: ASTM D 41.
- D. Roofing Asphalt: ASTM D 312, Type III

PART 3 - EXECUTION

3.1 PREPARATION

- A. Coordinate with Owner to shut down air intake equipment in the vicinity of the Work. Cover air intake louvers before proceeding with re-roofing work that could affect indoor air quality or activate smoke detectors in the ductwork.
- B. During removal operations, have sufficient and suitable materials on-site to facilitate rapid installation of temporary protection in the event of unexpected rain.
- C. Maintain roof drains in functioning condition to ensure roof drainage at end of each workday. Prevent debris from entering or blocking roof drains and conductors. Use roof-drain plugs specifically designed for this purpose. Remove roof-drain plugs at end of each workday, when no work is taking place, or when rain is forecast.
 - 1. If roof drains will be temporarily blocked or unserviceable due to roofing system removal or partial installation of new membrane roofing system, provide alternative drainage method to remove water and eliminate ponding. Do not permit water to enter into or under existing membrane roofing system components that are to remain.
- D. Verify that rooftop utilities and service piping have been shut off before commencing Work.

3.2 ROOF TEAR-OFF

- A. General: Notify Owner / Project Coordinator each day of extent of roof tear-off proposed.
- B. Roof Tear-Off: Remove existing roofing membrane and other roofing system components to the structural deck or substrate as indicated.
 - 1. Remove roof membrane as specified.
 - 2. Remove existing perimeter flashings and sheet metal components as specified.
 - 3. Remove existing insulation.

3.3 SUBSTRATE PREPARATION

- A. Inspect existing concrete deck after tear-off of existing roofing system, and report any deflections or deficiencies to the Owner.

3.4 EXISTING BASE FLASHINGS

- A. Remove existing base flashings around parapets, curbs, walls, and penetrations.
- B. Inspect masonry walls for deterioration and damage. If parapet or masonry walls have deteriorated, immediately notify Owner.
- C. Inspect existing wood blocking and replace any damaged or deteriorated wood blocking per Division 6.

- D. Add wood blocking to perimeter and curbs if required to accommodate height of insulation and provide minimum flashing heights required.

3.5 DISPOSAL

- A. Collect and place demolished materials in containers. Promptly dispose of demolished materials. Do not allow demolished materials to accumulate on-site.
 - 1. Storage of demolished items or materials on-site will not be permitted unless approved by the Owner.
- B. Transport demolished materials off Owner's property and legally dispose of them.

END OF SECTION 070150

SECTION 075113 - BUILT-UP ASPHALT ROOFING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following summary of work to be performed:
 - 1. Remove and disposal of the existing roof system components.
 - 2. Installation of a hot applied vapor retarder
 - 3. Installation of a new layers of tapered polyisocyanurate insulation with tapered drain sump and gypsum coverboard.
 - 4. Installation of a new built up roof system consisting of new polyester reinforced trillaminate base ply and three plies of Type VI felts adhered with rubberized / modified asphalt.
 - 5. Install specified flashings adhered with rubberized / modified asphalt and mastics.
 - 6. Application of protective flood coat of Type III asphalt and new gravel
 - 7. Application of aluminum coating to all flashings and projections
 - 8. Installation of required metal trims, wall panels and copings per specifications.
- B. Related Sections include the following:
 - 1. Division 6 Section "Miscellaneous Carpentry" for wood nailers, cants, curbs, and blocking.
 - 2. Division 7 Section "Sheet Metal Flashing and Trim" for metal roof penetration flashings, flashings, and counterflashings.
 - 3. Division 7 Section "Preparation for Roof Removal" for roof replacement applications on existing buildings where designated.
- C. Unit Prices: Refer to Division 1 Section "Unit Prices" for description of Work in this Section affected by unit prices.

1.3 DEFINITIONS

- A. Roofing Terminology: Refer to ASTM D 1079 and glossary of NRCA's "The NRCA Roofing and Waterproofing Manual" for definition of terms related to roofing work in this Section.
- B. Hot Roofing Asphalt: Roofing asphalt heated to its equiviscous temperature, the temperature at which its viscosity is 125 centipoise for mopping application and 75 centipoise for mechanical application, within a range of plus or minus 25 deg F (14 deg C), measured at the mop cart or mechanical spreader immediately before application.

1.4 PERFORMANCE REQUIREMENTS

- A. **General:** Provide installed roofing membrane and base flashings that remain watertight; do not permit the passage of water; and resist specified uplift pressures, thermally induced movement, and exposure to weather without failure.
- B. **Material Compatibility:** Provide roofing materials that are compatible with one another under conditions of service and application required, as demonstrated by roofing manufacturer based on testing and field experience.
- C. **FMG Listing:** Provide roofing membrane, base flashings, and component materials that comply with requirements in FMG 4450 and FMG 4470 as part of a roofing system and that are listed in FMG's "Approval Guide" for Class 1 or noncombustible construction, as applicable. Identify materials with FMG markings.
 - 1. **Fire/Windstorm Classification:** Class 1A- 90.

1.5 SUBMITTALS

- A. **Product Data:** For each type of product indicated.
- B. **Performance Roof System Data:** ASTM 2523 Test Results for roof system performance.
- C. **Shop Drawings:** For roofing system. Include plans, elevations, sections, details, and attachments to other Work.
 - 1. **Base flashings, cants, and membrane terminations.**
- D. **Samples for Verification:** For the following products:
 - 1. 12-by-8-inch (300-by-300-mm) square of base, sheet ply sheet.
 - 2. 12-by-8-inch (300-by-300-mm) square of flashing sheet.
 - 3. Pull sample of asphalt material specified.
- E. **Installer Certificates:** Signed by roofing system manufacturer certifying that Installer is approved, authorized, or licensed by manufacturer to install roofing system.
- F. **Manufacturer Certificates:** Signed by roofing manufacturer certifying that roofing system complies with requirements specified in "Performance Requirements" Article.
 - 1. **Submit evidence of meeting performance requirements.**
- G. **Qualification Data:** For Installer and manufacturer.
- H. **Product Test Reports:** Based on evaluation of comprehensive tests performed by manufacturer and witnessed by a qualified testing agency, for components of roofing system.
 - 1. **Indicate that bulk roofing asphalt materials delivered to Project comply with requirements. Include quantity and statistical and descriptive data for each product. Submit certificate with each load before it is used.**
 - 2. **Include continuous log showing time and temperature for each load of bulk asphalt, indicating date obtained from manufacturer, where held, and how transported before final heating and application on roof.**

- I. **Research/Evaluation Reports:** For components of roofing system.
- J. **Maintenance Data:** For roofing system to include in maintenance manuals.
- K. **Warranties:** Special warranties specified in this Section.
- L. **Inspection Report:** Copy of roofing system manufacturer's inspection report of completed roofing installation.

1.6 QUALITY ASSURANCE

- A. **Installer Qualifications:** A qualified firm that is approved, authorized, or licensed by roofing system manufacturer to install manufacturer's product and that is eligible to receive manufacturer's warranty.
- B. **Technical Inspector Qualifications:** As part of the project warranty, the Roofing Contractor will engage a qualified manufacturer's technical representative for a minimum of 1 work day per 1,000 square feet to perform roof specification review, inspections of the work in progress and to provide reports to the Owner. The Technical Inspector shall have a minimum of 10 years experience with the particular roof system installation and provide a non-sales function for the primary manufacturer.
- C. If the manufacturer doesn't employ a qualified technical inspector, an engineering firm may be enlisted by the primary manufacturer at their expense to provide technical installation inspections for equal assistance / inspection time at the approval of the Owner.
- D. **Manufacturer Qualifications:** Proof of ISO 9001 quality certification for roof manufacturer providing warranty for the roof system and components for a minimum of 10 years.
- E. **Manufacturer Qualifications:** A qualified manufacturer that has UL listing for roofing system identical to that used for this Project.
- F. **Testing Agency Qualifications:** An independent testing agency with the experience and capability to conduct the testing indicated, as documented according to ASTM E 548.
- G. **Source Limitations:** Obtain components for roofing system from or approved by primary roofing system manufacturer providing the roof warranty.
- H. **Fire-Test-Response Characteristics:** Provide roofing materials with the fire-test-response characteristics indicated as determined by testing identical products per test method below by UL, FMG, or another testing and inspecting agency acceptable to authorities having jurisdiction. Materials shall be identified with appropriate markings of applicable testing and inspecting agency.
 - 1. **Exterior Fire-Test Exposure:** Class A; ASTM E 108, for application and roof slopes indicated.
 - 2. **Fire-Resistance Ratings:** ASTM E 119, for fire-resistance-rated roof assemblies of which roofing system is a part.
- I. **Preinstallation Conference:** Conduct conference at Project site. Comply with requirements in Division 1 Section "Project Management and Coordination." Review methods and procedures related to roofing system including, but not limited to, the following:

1. Meet with Owner, roofing Installer, roofing system manufacturer's representative, and installers whose work interfaces with or affects roofing including installers of roof accessories and roof-mounted equipment.
2. Review methods and procedures related to roofing installation, including manufacturer's written instructions.
3. Review and finalize construction schedule and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
4. Examine deck substrate conditions and finishes for compliance with requirements, including flatness and fastening.
5. Review structural loading limitations of roof deck during and after roofing.
6. Review base flashings, special roofing details, roof drainage, roof penetrations, equipment curbs, and condition of other construction that will affect roofing system.
7. Review governing regulations and requirements for insurance and certificates if applicable.
8. Review temporary protection requirements for roofing system during and after installation.
9. Review roof observation and repair procedures after roofing installation.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Deliver roofing materials to Project site in original containers with seals unbroken and labeled with manufacturer's name, product brand name and type, date of manufacture, and directions for storage.
- B. Store liquid materials in their original undamaged containers in a clean, dry, protected location and within the temperature range required by roofing system manufacturer. Protect stored liquid material from direct sunlight.
 1. Discard and legally dispose of liquid material that cannot be applied within its stated shelf life.
- C. Protect roof insulation materials from physical damage and from deterioration by sunlight, moisture, soiling, and other sources. Store in a dry location. Comply with insulation manufacturer's written instructions for handling, storing, and protecting during installation.
- D. Handle and store roofing materials and place equipment in a manner to avoid permanent deflection of deck.

1.8 PROJECT CONDITIONS

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit roofing system to be installed according to manufacturer's written instructions and warranty requirements.

1.9 WARRANTY

- A. Special Warranty: Manufacturer's standard form, in which manufacturer agrees to repair or replace components of roofing system that fail in materials or workmanship within specified warranty period. Failure includes roof leaks.

1. Special warranty includes roofing membrane, base flashings, roofing membrane accessories, roof insulation, fasteners, cover boards and other components of roofing system.
 2. Warranty Period: **20 years** from date of Substantial Completion.
 3. Peak Wind Coverage: Up to 74 miles per hour
- B. Special Project Warranty: Submit roofing Installer's warranty, on warranty form at end of this Section, signed by Installer, covering Work of this Section, including all components of roofing system such as roofing membrane, base flashing, roof insulation, fasteners, cover boards, substrate boards, vapor retarders, roof pavers, and walkway products, for the following warranty period:
1. Warranty Period: Two years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
- B. Manufacturers: Subject to compliance with requirements, provide products by one of the following: The primary roof system "Basis of Design" specification is based upon TREMCO, Inc. materials and roof systems.
- C. The intent of the specification package is to establish minimum acceptable quality and performance standards for the finished roof replacement project. Subject to compliance with all requirements, any primary manufacturer meeting or exceeding the specification design standard is encouraged to pursue the project.
- D. In other Part 2 articles where titles below introduce lists, the following requirements apply for product selection:
 1. Products: Subject to compliance with requirements, provide one of the products specified.

2.2 FINISHED ROOF MEMBRANE PERFORMANCE REQUIREMENTS

- A. BUILT UP ROOF SYSTEM (Base + Three (3) ply BUR Membrane)

<u>Property</u>	<u>Typical Value</u>	<u>Test Method</u>
Tensile Strength: @ 0 deg F	484 lbf/in MD	ASTM D 2523
	428 lbf/in XMD	ASTM D 2523

2.3 BASE-SHEET MATERIALS

- 1 Base Sheet: Trilaminate reinforced ply sheet, complying with ASTM D 4601-91; ASTM 228-90A and ASTM 146-90 with the following properties:
 - a. Thickness: 1.2 mm
 - b. Breaking strength: 220 lbf/in(38.5 kN/M) MD. 235 lbf/in (41.1 kN/m) XMD.

- c. Elongation: 6.5% MD/XMD.
- d. Tear Strength: 345 lbf (1534 N) MD. 330 lbf (1467 N) XMD minimum.
- e. Mass of desaturated polyester/glass/polyester mat, min.: 3.5 lb/100ft (172 g/m²).
- f. Asphalt: 10.0 lb/100 ft (485g/m²) minimum.
- g. Recycled Content: 10% Minimum

2.4 ROOFING MEMBRANE PLIES

- A. Ply Sheet: ASTM D 2178, Type VI, asphalt-impregnated, glass-fiber felt.

2.5 FLASHING MATERIALS

- A. Backer Sheet: 18" Polyester woven felt
- B. Flashing Sheet: Elastomeric sheeting blend of thermoset elastomers. Sheet must be reinforced with polyester woven scrim.
- C. Glass-Fiber Fabric: Woven glass cloth, treated with asphalt, complying with ASTM D 1668, Type I.
- D. Stripping Ply: 6" Polyester woven felt

2.6 ASPHALT MATERIALS

- A. Asphalt Primer: ASTM D 41.
- B. Roofing Asphalt: ASTM D 312, Type III.
- C. Roofing Asphalt – Membrane, Flashing Application: SEBS rubberized asphalt.

2.7 AUXILIARY ROOFING MEMBRANE MATERIALS

- A. General: Auxiliary materials recommended by roofing system manufacturer for intended use and compatible with built-up roofing.
- B. Asphalt Roofing Cement: ASTM D 4586, asbestos free, of consistency required by roofing system manufacturer for application.
- C. Mastic Sealant: Polyisobutylene, plain or modified bitumen, nonhardening, nonmigrating, nonskinning, and nondrying.
- D. Fasteners: Factory-coated steel fasteners and metal or plastic plates meeting corrosion-resistance provisions in FM 4470; designed for fastening roofing membrane components to substrate; tested by manufacturer for required pullout strength; and acceptable to roofing system manufacturer.
- E. Metal Flashing Sheet: Metal flashing sheet is specified in Division 7 Section "Sheet Metal Flashing and Trim."
- F. Miscellaneous Accessories: Provide miscellaneous accessories recommended by roofing system manufacturer.

2.8 ROOF INSULATION

- A. General: Provide preformed roof insulation boards that comply with requirements and referenced standards, selected from manufacturer's standard sizes and of thicknesses indicated.
- B. Polyisocyanurate Board Insulation: ASTM C 1289, Type II, felt or glass-fiber mat facer on both major surfaces.
 - 1. Manufacturers: As recommended by Roof System Manufacturer / Warranty Provider.
 - 2. Board Size: 4' x 4' x Tapered Slope (1/4" per foot tapered slope)
 - a. Minimum thickness: 1/2" Thick
- C. Cover Board: SecureRock Primed Gypsum Board
 - 1. Thickness: 1/2" (One Half Inch) – 4' x 4'

2.9 INSULATION ACCESSORIES

- A. General: Roof insulation accessories recommended by insulation manufacturer for intended use and compatible with membrane roofing.
- B. Wood Nailer Strips: Comply with requirements in Division 6 Section "Miscellaneous Carpentry."

2.10 WALKWAYS

- A. Walkway Pads: Mineral-granule-surfaced, reinforced asphaltic composition, slip-resisting pads, manufactured as a traffic pad for foot traffic and acceptable to roofing system manufacturer, 1/2 inch (13 mm) thick, minimum.
 - 1. Pad Size: 3 feet x 4 feet

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with the following requirements and other conditions affecting performance of roofing system:
 - 1. Verify that roof openings and penetrations are in place and set and braced and that roof drains are securely clamped in place.
 - 2. Verify that existing or any required new wood fiber cants, blocking, curbs, and nailers are securely anchored to roof deck at penetrations and terminations and that nailers match thicknesses of insulation.
 - 3. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Clean substrate of dust, debris, moisture, and other substances detrimental to roofing installation according to roofing system manufacturer's written instructions. Remove sharp projections.

- B. Prevent materials from entering and clogging roof drains and conductors and from spilling or migrating onto surfaces of other construction. Remove roof-drain plugs when no work is taking place or when rain is forecast.

3.3 INSULATION INSTALLATION

- A. Coordinate installing roofing system components so insulation is not exposed to precipitation or left exposed at the end of the workday.
- B. Comply with roofing system manufacturer's written instructions for installing roof insulation.
- C. Insulation Cant Strips: Install and secure preformed 45-degree fiberboard cant strips at junctures of built-up roofing membrane system with vertical surfaces or angle changes greater than 45 degrees.
- D. Install insulation with long joints of insulation in a continuous straight line with end joints staggered between rows, abutting edges and ends between boards. Fill gaps exceeding 1/4 inch (6 mm) with insulation.
 - 1. Cut and fit insulation within 1/4 inch (6 mm) of nailers, projections, and penetrations.
- E. Trim surface of insulation where necessary at roof drains so completed surface is flush and does not restrict flow of water.
- F. Adhered Insulation: Adhere insulation to substrate as follows:
 - 1. Apply hot roofing asphalt to underside and immediately bond insulation boards to substrate and apply foot pressure (walk in the boards).
- G. Install cover boards over insulation with long joints in continuous straight lines with end joints staggered between rows. Stagger joints from joints in insulation below a minimum of 6 inches (150 mm) in each direction.
 - 1. Apply hot roofing asphalt to underside and immediately bond cover board to substrate and apply foot pressure (walk in the boards).

3.4 ROOFING MEMBRANE INSTALLATION, GENERAL

- A. Install built-up roofing membrane system according to roofing system manufacturer's written instructions and applicable recommendations of ARMA/NRCA's "Quality Control Guidelines for the Application of Built-up Roofing."
- B. Start installation of built-up roofing membrane in presence of roofing system manufacturer's technical personnel.
- C. Cooperate with testing and inspecting agencies engaged or required to perform services for installing built-up roofing system.
- D. Coordinate installing roofing system components so insulation and roofing membrane sheets are not exposed to precipitation or left exposed at the end of the workday or when rain is forecast.

1. Provide tie-offs at end of each day's work to cover exposed roofing membrane sheets and insulation with a course of coated felt set in roofing cement or hot roofing asphalt with joints and edges sealed.
 2. Complete terminations and base flashings and provide temporary seals to prevent water from entering completed sections of roofing system.
 3. Remove and discard temporary seals before beginning work on adjoining roofing.
- E. Asphalt Heating: Heat roofing asphalt and apply within plus or minus 25 deg F (14 deg C) of equiviscous temperature unless otherwise required by roofing system manufacturer. Do not raise roofing asphalt temperature above equiviscous temperature range more than one hour before time of application. Do not exceed roofing asphalt manufacturer's recommended temperature limits during roofing asphalt heating. Do not heat roofing asphalt within 25 deg F (14 deg C) of flash point. Discard roofing asphalt maintained at a temperature exceeding finished blowing temperature for more than 4 hours.
- F. Asphalt Heating: Heat and apply roofing asphalt according to roofing system manufacturer's written instructions.
- G. Substrate-Joint Penetrations: Prevent roofing asphalt from penetrating substrate joints, entering building, or damaging roofing system components or adjacent building construction.

3.5 ROOFING MEMBRANE INSTALLATION

- A. Install one lapped course of waterproof, polyester reinforced base sheet, extending sheet over and terminating beyond cants. Attach base sheet as follows:
1. Adhere to substrate in a solid mopping of Type III hot roofing asphalt.
- B. Install three ply sheets starting at low point of roofing system. Align ply sheets without stretching. Shingle side laps of ply sheets uniformly to achieve required number of plies throughout thickness of roofing membrane. Shingle in direction to shed water. Extend ply sheets over and terminate beyond cants.
1. Embed each ply sheet in a solid mopping of hot rubberized asphalt applied at rate required by roofing system manufacturer, to form a uniform membrane without ply sheets touching.
- C. Gravel Surfacing: Promptly after installing and testing roofing membrane, base flashing, and stripping, coat roof surface with Type III asphalt applied at a rate of approximately 50 – 60 lbs per 100 square feet. Immediately after application of flood coat of roof system broadcast new gravel at a rate of 500-550 lbs per 100 square feet. Broom the gravel to achieve uniform coverage and appearance.

3.6 FLASHING AND STRIPPING INSTALLATION

- A. Install elastomeric base flashing over cant strips and other sloping and vertical surfaces, at roof edges, and at penetrations through roof, and secure to substrates according to roofing system manufacturer's written instructions and as follows:
1. Prime substrates with asphalt primer if required by roofing system manufacturer.
 2. Backer Sheet Application: Install backer sheet and adhere to substrate in a solid mopping of hot rubberized asphalt.
 3. Flashing Sheet Application: Adhere flashing sheet to substrate in a solid mopping of hot rubberized asphalt applied at not less than 425 deg F (218 deg C). Apply hot

- rubberized asphalt to back of flashing sheet if recommended by roofing system manufacturer.
4. Wipe flashing of with solvent based / petroleum based cleaner prior to aluminum coating of flashing to ensure all release agents have been removed.
- B. Extend base flashing up walls or parapets a minimum of 8 inches (200 mm) above roofing membrane and 4 inches (100 mm) onto field of roofing membrane.
1. Mechanically fasten top of base flashing securely at terminations and perimeter of roofing.
- C. Install stripping, according to roofing system manufacturer's written instructions, where metal flanges and edgings are set on built-up roofing.
1. Flashing-Sheet Stripping: Install flashing-sheet stripping in a continuous coating of asphalt roofing cement or in a solid mopping of rubberized asphalt applied at not less than 425 deg F (218 deg C), reinforced with 6" polyester felt, and extend onto roofing membrane.
- D. Roof Drains: Set 30-by-30-inch (760-by-760-mm) metal flashing in bed of asphalt roofing cement on completed roofing membrane. Cover metal flashing with stripping and extend a minimum of 4 inches (100 mm) beyond edge of metal flashing onto field of roofing membrane. Clamp roofing membrane, metal flashing, and stripping into roof-drain clamping ring.
1. Install flashing-sheet stripping by same method as installing base flashing.
 2. Install 20" x 20" Gravel guard with aluminum perforated gravel retainers with 4" flange.

3.7 COATING INSTALLATION

- A. Apply aluminum coatings to membrane and base flashings according to manufacturer's written instructions, by spray, roller, or other suitable application method.

3.8 WALKWAY INSTALLATION

- A. Walkway Pads: Install walkway pads using units of size indicated or, if not indicated, of manufacturer's standard size according to walkway pad manufacturer's written instructions.
1. Sweep away loose aggregate surfacing and set walkway pads in 5 large clumps of asphalt mastic in the corners / center of the underside of each pad a set in place over the gravel surfacing.

3.9 FIELD QUALITY CONTROL

- A. Testing Agency: Owner reserves the right to engage a qualified independent testing and inspecting agency to perform roof tests and inspections and to prepare test reports.
- B. Test Cuts: Before flood coating and surfacing built-up roofing membrane, the Owner reserves the right to test specimens will be removed to evaluate problems observed during quality-assurance inspections of roofing membrane as follows:

1. Approximate quantities of components within roofing membrane will be determined according to ASTM D 3617.
 2. Test specimens will be examined for interply voids according to ASTM D 3617 and to comply with criteria established in Appendix 3 of ARMA/NRCA's "Quality Control Guidelines for the Application of Built-up Roofing."
- C. Final Roof Inspection: Arrange for roofing system manufacturer's technical personnel to inspect roofing installation on completion and submit report to Owner.
1. Notify Owner 48 hours in advance of date and time of inspection.
- D. Repair or remove and replace components of roofing system where test results or inspections indicate that they do not comply with specified requirements.
- E. Additional testing and inspecting, including infrared analysis, at Contractor's expense, will be performed to determine compliance of replaced or additional work with specified requirements.

3.10 PROTECTING AND CLEANING

- A. Protect roofing system from damage and wear during remainder of construction period. When remaining construction will not affect or endanger roofing, inspect roofing for deterioration and damage, describing its nature and extent in a written report, with copies to the Owner.
- B. Correct deficiencies in or remove roofing system that does not comply with requirements, repair substrates, and repair or reinstall roofing system to a condition free of damage and deterioration at time of Substantial Completion and according to warranty requirements.
- C. Clean overspray and spillage from adjacent construction using cleaning agents and procedures recommended by manufacturer of affected construction.

END OF SECTION 075113

SECTION 076200 - SHEET METAL FLASHING AND TRIM

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes the following sheet metal flashing and trim:
 - 1. Installation of new formed counterflashings, parapet caps, and metal edges.
 - 2. Formed low-slope roof flashing and trim.
 - 3. Formed wall flashing and trim.
 - 4. Formed equipment support flashing.
- B. Related Sections include the following:
 - 1. Division 6 Section "Rough Carpentry Miscellaneous Carpentry" for wood nailers, curbs, and blocking.
 - 2. Division 7 Section "Built Up Asphalt Roofing " for installing sheet metal flashing and trim integral with roofing membrane.

1.3 PERFORMANCE REQUIREMENTS

- A. General: Install sheet metal flashing and trim to withstand wind loads, structural movement, thermally induced movement, and exposure to weather without failing, rattling, leaking, and fastener disengagement.
- B. Fabricate and install roof edge flashing capable of resisting the following forces according to recommendations in FMG Loss Prevention Data Sheet 1-49:
 - 1. Wind Zone 1: For velocity pressures of 21 to 30 lbf/sq. ft. (1.00 to 1.44 kPa): 60-lbf/sq. ft. (2.87-kPa) perimeter uplift force, 90-lbf/sq. ft. (4.31-kPa) corner uplift force, and 30-lbf/sq. ft. (1.44-kPa) outward force.
- C. Water Infiltration: Provide sheet metal flashing and trim that do not allow water infiltration to building interior.

1.4 SUBMITTALS

- A. Product Data: For each type of product indicated, include construction details, material descriptions, dimensions of individual components and profiles, and finishes.
- B. Samples for Initial Selection: For each type of sheet metal flashing and trim indicated with factory-applied color finishes.
 - 1. Include similar Samples of trim and accessories involving color selection.

1.5 QUALITY ASSURANCE

- A. Sheet Metal Flashing and Trim Standard: Comply with SMACNA's "Architectural Sheet Metal Manual." Conform to dimensions and profiles shown unless more stringent requirements are indicated.
- B. Preinstallation Conference: Conduct conference at Project site to comply with requirements in Division 1 Section "Project Management and Coordination."
 - 1. Meet with Owner, Roofing Warranty Manufacturer, Owner's insurer if applicable, Installer, and installers whose work interfaces with or affects sheet metal flashing and trim including installers of roofing materials, roof accessories, unit skylights, and roof-mounted equipment.
 - 2. Review methods and procedures related to sheet metal flashing and trim.
 - 3. Examine substrate conditions for compliance with requirements, including flatness and attachment to structural members.
 - 4. Document proceedings, including corrective measures and actions required, and furnish copy of record to each participant.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Deliver sheet metal flashing materials and fabrications undamaged. Protect sheet metal flashing and trim materials and fabrications during transportation and handling.
- B. Unload, store, and install sheet metal flashing materials and fabrications in a manner to prevent bending, warping, twisting, and surface damage.
- C. Stack materials on platforms or pallets, covered with suitable weather tight and ventilated covering. Do not store sheet metal flashing and trim materials in contact with other materials that might cause staining, denting, or other surface damage.

1.7 COORDINATION

- A. Coordinate installation of sheet metal flashing and trim with interfacing and adjoining construction to provide a leak-proof, secure, and non-corrosive installation.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. In other Part 2 articles where titles below introduce lists, the following requirements apply to product selection:
 - 1. Available Products: Subject to compliance with requirements, products that may be incorporated into the Work include, but are not limited to, products specified.
 - 2. Products: Subject to compliance with requirements, provide one of the products specified.
 - 3. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, manufacturers specified.

4. **Manufacturers:** Subject to compliance with requirements, provide products by one of the manufacturers specified.

2.2 SHEET METALS

- A. **Prepainted, Metallic-Coated Steel Sheet:** Steel sheet metallic coated by the hot-dip process and prepainted by the coil-coating process to comply with ASTM A 755/A 755M.
 1. **Zinc-Coated (Galvanized) Steel Sheet:** ASTM A 653/A 653M, G90 (Z275) coating designation; structural quality.
 - 1) **Color:** As selected by Owner from manufacturer's full range.

2.3 UNDERLAYMENT MATERIALS

- A. **Polyethylene Sheet:** 6-mil- (0.15-mm-) thick polyethylene sheet complying with ASTM D 4397.
- B. **EPDM Sheeting:** .045 mil thick EPDM sheeting

2.4 MISCELLANEOUS MATERIALS

- A. **General:** Provide materials and types of fasteners, solder, welding rods, protective coatings, separators, sealants, and other miscellaneous items as required for complete sheet metal flashing and trim installation.
- B. **Fasteners:** Wood screws, annular threaded nails, self-tapping screws, self-locking rivets and bolts, and other suitable fasteners designed to withstand design loads.
 1. **Exposed Fasteners:** Heads matching color of sheet metal by means of plastic caps or factory-applied coating.
 2. **Fasteners for Flashing and Trim:** Blind fasteners or self-drilling screws, gasketed, with hex washer head.
- C. **Sealing Tape:** Pressure-sensitive, 100 percent solids, polyisobutylene compound sealing tape with release-paper backing. Provide permanently elastic, nonsag, nontoxic, nonstaining tape.
- D. **Elastomeric Sealant:** ASTM C 920, elastomeric polyurethane polymer sealant; of type, grade, class, and use classifications required to seal joints in sheet metal flashing and trim and remain watertight.
- E. **Butyl Sealant:** ASTM C 1311, single-component, solvent-release butyl rubber sealant, polyisobutylene plasticized, heavy bodied for hooked-type expansion joints with limited movement.
- F. **Bituminous Coating:** Cold-applied asphalt mastic, SSPC-Paint 12, compounded for 15-mil (0.4-mm) dry film thickness per coat. Provide inert-type non-corrosive compound free of asbestos fibers, sulfur components, and other deleterious impurities.
- G. **Asphalt Roofing Cement:** ASTM D 4586, asbestos free, of consistency required for application.

2.5 FABRICATION, GENERAL

- A. General: Custom fabricate sheet metal flashing and trim to comply with recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to design, dimensions, metal, and other characteristics of item indicated. Shop fabricate items where practicable. Obtain field measurements for accurate fit before shop fabrication.
- B. Fabricate sheet metal flashing and trim in thickness or weight needed to comply with performance requirements, but not less than that specified for each application and metal.
- C. Fabricate sheet metal flashing and trim without excessive oil canning, buckling, and tool marks and true to line and levels indicated, with exposed edges folded back to form hems.
 - 1. Seams for Other Than Aluminum: Fabricate nonmoving seams in accessories with flat-lock seams. Tin edges to be seamed, form seams, and solder.
- D. Sealed Joints: Form nonexpansion but movable joints in metal to accommodate elastomeric sealant to comply with SMACNA recommendations.
- E. Expansion Provisions: Where lapped or bayonet-type expansion provisions in the Work cannot be used, form expansion joints of intermeshing hooked flanges, not less than 1 inch (25 mm) deep, filled with elastomeric sealant concealed within joints.
- F. Conceal fasteners and expansion provisions where possible on exposed-to-view sheet metal flashing and trim, unless otherwise indicated.
- G. Fabricate cleats and attachment devices from same material as accessory being anchored or from compatible, noncorrosive metal.
 - 1. Thickness: As recommended by SMACNA's "Architectural Sheet Metal Manual" for application but not less than thickness of metal being secured.

2.6 LOW-SLOPE ROOF SHEET METAL FABRICATIONS

- A. Coping Caps: Fabricate in minimum 96-inch- (2400-mm-) long, but not exceeding 10-foot- (3-m-) long, sections. Furnish with 6-inch- (150-mm-) wide joint cover plates. Note: Gutters may be seamless and exceed 10 feet in length.
 - 1. Joint Style: Butt, with 6-inch- (150-mm-) wide exposed cover plates.
 - 2. Kynar Finished Galvanized Steel: 24 Gauge thick.
 - 3. Continuous Cleat Metal: 22 gauge thick galvanized steel.
 - 4. Coping Face: 6.0" Minimum
- B. Counterflashing: Fabricate from the following material:
 - 1. Kynar Finished Galvanized Steel: 24 Gauge thick.
- C. Metal Gutters and Accessories: Fabricate from the following material:
 - 1. Kynar Finished Galvanized Steel: 24 Gauge thick.

- D. Roof-Penetration Flashing: Fabricate from the following material:
 - 1. Kynar Finished Galvanized Steel: 24 gauge thick.
- E. Roof-Drain Flashing: Fabricate from the following material:
 - 1. Lead: **4.0 lb/sq. ft.** hard tempered.

2.7 MISCELLANEOUS SHEET METAL FABRICATIONS

- A. Equipment Support Flashing: Fabricate from the following material:
 - 1. Galvanized Steel: 24 gauge thick.

2.8 FINISHES

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.
- B. Protect mechanical and painted finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- C. Appearance of Finished Work: Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of the range of approved Samples. Noticeable variations in the same piece are not acceptable. Variations in appearance of other components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, to verify actual locations, dimensions and other conditions affecting performance of work.
 - 1. Verify that substrate is sound, dry, smooth, clean, sloped for drainage, and securely anchored.
 - 2. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION, GENERAL

- A. General: Anchor sheet metal flashing and trim and other components of the Work securely in place, with provisions for thermal and structural movement. Use fasteners, solder, welding rods, protective coatings, separators, sealants, and other miscellaneous items as required to complete sheet metal flashing and trim system.
 - 1. Torch cutting of sheet metal flashing and trim is not permitted.

- B. **Metal Protection:** Where dissimilar metals will contact each other or corrosive substrates, protect against galvanic action by painting contact surfaces with bituminous coating or by other permanent separation as recommended by fabricator or manufacturers of dissimilar metals.
 - 1. Coat side of uncoated aluminum and lead sheet metal flashing and trim with bituminous coating / primer where flashing and trim will contact wood, ferrous metal, or cementitious construction.
 - 2. **Underlayment:** Where installing metal flashing directly on cementitious or wood substrates, install a course of felt underlayment and cover with a slip sheet or install a course of polyethylene underlayment.
 - 3. Bed flanges in thick coat of asphalt roofing cement where required for waterproof performance.

- C. Install exposed sheet metal flashing and trim without excessive oil canning, buckling, and tool marks.

- D. Install sheet metal flashing and trim true to line and levels indicated. Provide uniform, neat seams with minimum exposure of solder, welds, and elastomeric sealant.

- E. Install sheet metal flashing and trim to fit substrates and to result in watertight performance. Verify shapes and dimensions of surfaces to be covered before fabricating sheet metal.
 - 1. Space cleats not more than 12 inches (300 mm) apart. Anchor each cleat with two fasteners. Bend tabs over fasteners.

- F. **Expansion Provisions:** Provide for thermal expansion of exposed flashing and trim. Space movement joints at a maximum of 10 feet (3 m) with no joints allowed within 24 inches (600 mm) of corner or intersection. Where lapped or bayonet-type expansion provisions cannot be used or would not be sufficiently watertight, form expansion joints of intermeshing hooked flanges, not less than 1 inch (25 mm) deep, filled with elastomeric sealant concealed within joints.

- G. **Fasteners:** Use fasteners of sizes that will penetrate substrate not less than 1-1/4 inches (32 mm) for nails and not less than 3/4 inch (19 mm) for wood screws.
 - 1. **Galvanized or Prepainted, Metallic-Coated Steel:** Use stainless-steel fasteners.
 - 2. Fastened 24" apart and on every lap

- H. **Seal joints with elastomeric sealant as required for watertight construction.**
 - 1. Where sealant-filled joints are used, embed hooked flanges of joint members not less than 1 inch (25 mm) into sealant. Form joints to completely conceal sealant. When ambient temperature at time of installation is moderate, between 40 and 70 deg F (4 and 21 deg C), set joint members for 50 percent movement either way. Adjust setting proportionately for installation at higher ambient temperatures. Do not install sealant-type joints at temperatures below 40 deg F (4 deg C).
 - 2. Prepare joints and apply sealants to comply with requirements in Division 7 Section "Joint Sealants."

- I. **Expansion-Joint Covers:** Install expansion-joint covers at locations and of configuration indicated. Lap joints a minimum of 4 inches (100 mm) in direction of water flow.

3.3 ROOF FLASHING INSTALLATION

- A. **General:** Install sheet metal roof flashing and trim to comply with performance requirements and SMACNA's "Architectural Sheet Metal Manual." Provide concealed fasteners where possible, set units true to line, and level as indicated. Install work with laps, joints, and seams that will be permanently watertight.
- B. **Roof Edge Flashing:** Anchor to resist uplift and outward forces according to recommendations in FMG Loss Prevention Data Sheet 1-49 for specified wind zone and as indicated.
 - 1. Interlock bottom edge of roof edge flashing with continuous cleats anchored to substrate at 16-inch (400-mm) centers.
- C. **Pipe or Post Counterflashing:** Install counterflashing umbrella with close-fitting collar with top edge flared for elastomeric sealant, extending a minimum of 4 inches (100 mm) over base flashing. Install stainless-steel draw band and tighten.
- D. **Counterflashing:** Coordinate installation of counterflashing with installation of base flashing. Insert counterflashing in reglets or receivers and fit tightly to base flashing. Extend counterflashing 4 inches (100 mm) over base flashing. Lap counterflashing joints a minimum of 4 inches (100 mm) and bed with elastomeric sealant.
 - 1. Secure in a waterproof manner by means of snap-in installation and sealant or lead wedges and sealant.
- E. **Roof-Penetration Flashing:** Coordinate installation of roof-penetration flashing with installation of roofing and other items penetrating roof. Install flashing as follows:
 - 1. Turn lead flashing down inside vent piping, being careful not to block vent piping with flashing.
 - 2. Seal with elastomeric sealant and clamp flashing to pipes penetrating roof except for lead flashing on vent piping.

3.4 WALL FLASHING INSTALLATION

- A. **General:** Install sheet metal wall flashing to intercept and exclude penetrating moisture according to SMACNA recommendations and as indicated. Coordinate installation of wall flashing with installation of wall-opening components such as windows, doors, and louvers.

3.5 MISCELLANEOUS FLASHING INSTALLATION

- A. **Equipment Support Flashing:** Coordinate installation of equipment support flashing with installation of roofing and equipment. Weld or seal flashing with elastomeric sealant to equipment support member.

3.6 CLEANING AND PROTECTION

- A. Clean exposed metal surfaces of substances that interfere with uniform oxidation and weathering.
- B. Clean and neutralize flux materials. Clean off excess solder and sealants.

- C. Remove temporary protective coverings and strippable films as sheet metal flashing and trim are installed. On completion of installation, clean finished surfaces, including removing unused fasteners, metal filings, pop rivet stems, and pieces of flashing. Maintain in a clean condition during construction.
- D. Replace sheet metal flashing and trim that have been damaged or that have deteriorated beyond successful repair by finish touchup or similar minor repair procedures.

END OF SECTION 076200



Cardinal Environmental Inc.

3303 Paine Avenue, Sheboygan, WI 53081

Phone (920) 459-2500 Fax (920) 459-2503 website:cardinalenvironmental.com

Mark Wittstock
 Sheboygan Wastewater Treatment Plant
 3333 Lakeshore Drive
 Sheboygan, WI 53081

Report #: PLM2019-111 (161925654)
 Collected: 12/12/2019
 Received: 12/13/2019
 Analyzed: 12/19/2019

Asbestos Analysis of Bulk Materials by EPA 600/R-93/116 Method using Polarized Light Microscopy

Project Description: None Given

ID #	Description	Appearance	Non-Asbestos		Asbestos % Type
			% Fibrous	% Non-Fibrous	
01	Field Membrane	Black/Yellow Fibrous Heterogeneous	10 % Cellulose	82 % Non-fibrous (other)	8 % Chrysotile
02	Flashing Membrane	Black/Silver Fibrous Heterogeneous	10 % Cellulose	5 % Quartz 81 % Non-fibrous (other)	4 % Chrysotile

Results reviewed by:

Bruce Ten Haken, CHMM
 Project Manager

Due to magnification limitations inherent in PLM, asbestos fibers in dimensions below the resolution capability of PLM may not be detected. The limit of detection as stated by the method is 1 %. Samples reported as <1% or none detected may require additional testing by TEM to confirm asbestos quantities. The above test report relates only to the items tested and may not be reproduced in any form without the express written approval of Cardinal Environmental, Inc (Cardinal). Cardinal's liability is limited to the cost of analysis. Cardinal bears no responsibility for analytical method limitations or sample collection activities. Interpretation and use of test results are the responsibility of the client. Depending on the intended use of the results additional sampling (by a WI DHS licensed asbestos inspector) and analyses may be required to comply with OSHA, WDNR, and/or WI DHS regulations. Samples will be disposed of within 30 days unless other instructions are received in writing from the client. The test results contained within this report meet the requirements of NELAC unless otherwise noted. Samples were received in good condition unless otherwise noted. Analysis performed by NVLAP certified laboratory (NVLAP #200188-0)

City of Sheboygan - 2016 Fall Inspection / Maintenance Photos

City of Sheboygan Wastewater Treatment Plant – Exterior Condition Report
New Water Treatment



New Water Treatment Roof – Overview Photo



New Water Treatment Roof – Large holes in flashing around entire roof perimeter. Roof in failure mode and scheduled for replacement in 2018.



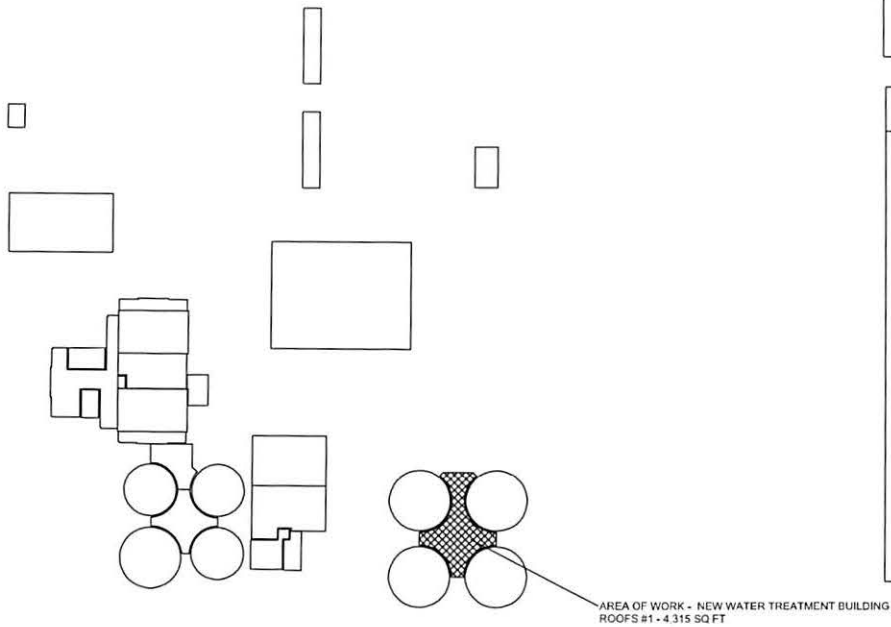
New Water Treatment Roof – Heavy vegetative growth occurring throughout roof system.



New Water Treatment Roof – 3 of 4 large digesters covered with spray foam insulation. 4th digester is bare metal. Recommend coating all 4 to prevent deterioration seen on Revised digesters.

CITY OF SHEBOYGAN - WASTE WATER TREATMENT PLANT

2020 ROOF REPLACEMENT PROJECT



SHEET INDEX

R1.0 COVER SHEET - NEW WATER TREATMENT BUILDING - OVERVIEW
R1.1 ROOF PLAN - ROOF #1

R2.0 ROOF DETAILS - BUILT UP ROOF DETAILS
R2.1 ROOF DETAILS - BUILT UP ROOF DETAILS

GENERAL ROOFING NOTES

1. CONTRACTOR TO COORDINATE ALL DISCONNECTIONS & RECONNECTIONS OF ALL UTILITY LINES AND EQUIPMENT AS REQUIRED FOR NEW ROOFING WORK WITH OWNER.
2. MECHANICAL CONTRACTORS TO PERFORM ALL MECHANICAL WORK AS REQUIRED. ROOFING CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR AND PROJECT SPECIFIER.
3. ROOFING CONTRACTOR TO REMOVE & REPLACE ALL DAMAGED VENT STACKS.
4. ROOFING CONTRACTOR TO PROVIDE NEW ROOF CRICKETS ON THE HIGH SIDE OF ALL ROOF PROJECTION CURBS.
5. ROOFING CONTRACTOR TO REMOVE & REPLACE ALL EXISTING DRAIN HARDWARE (NUTS, BOLTS, WASHERS)
6. IF NEW METAL FASCIA LEG LENGTH IS REQUIRED TO BE GREATER THAN 8", THEN A (2) PIECE FASCIA SYSTEM W/ EQUAL LEGS SHALL BE PROVIDED.
7. ROOFING CONTRACTOR SHALL PROVIDE NEW ALUMINUM GRAVEL GUARDS AROUND ALL DRAINS, IF GRAVEL OR BALLAST SURFACED IS SPECIFIED.
8. ROOFING CONTRACTOR SHALL PROVIDE NEW ROOFING WALKWAY PADS AT ALL ACCESS DOORS AND AT ALL MECH. EQUIPMENT.
9. ROOFING CONTRACTOR SHALL PROVIDE NEW ROOFING PADS UNDER ALL UTILITY PIPING SUPPORTS AS REQUIRED.
10. ROOFING CONTRACTOR SHALL PROVIDE NEW SPLASH BLOCKS AT THE BASE OF ALL DOWNSPOUTS
11. IF FLASHING IS BELOW 8", WOOD BLOCKING MUST BE ADDED TO THE MINIMUM 8" HEIGHT REQUIRED.



AREA OF WORK - ROOFS #1 - 4,315 SQ FT

REVISIONS	No.	DATE	BY

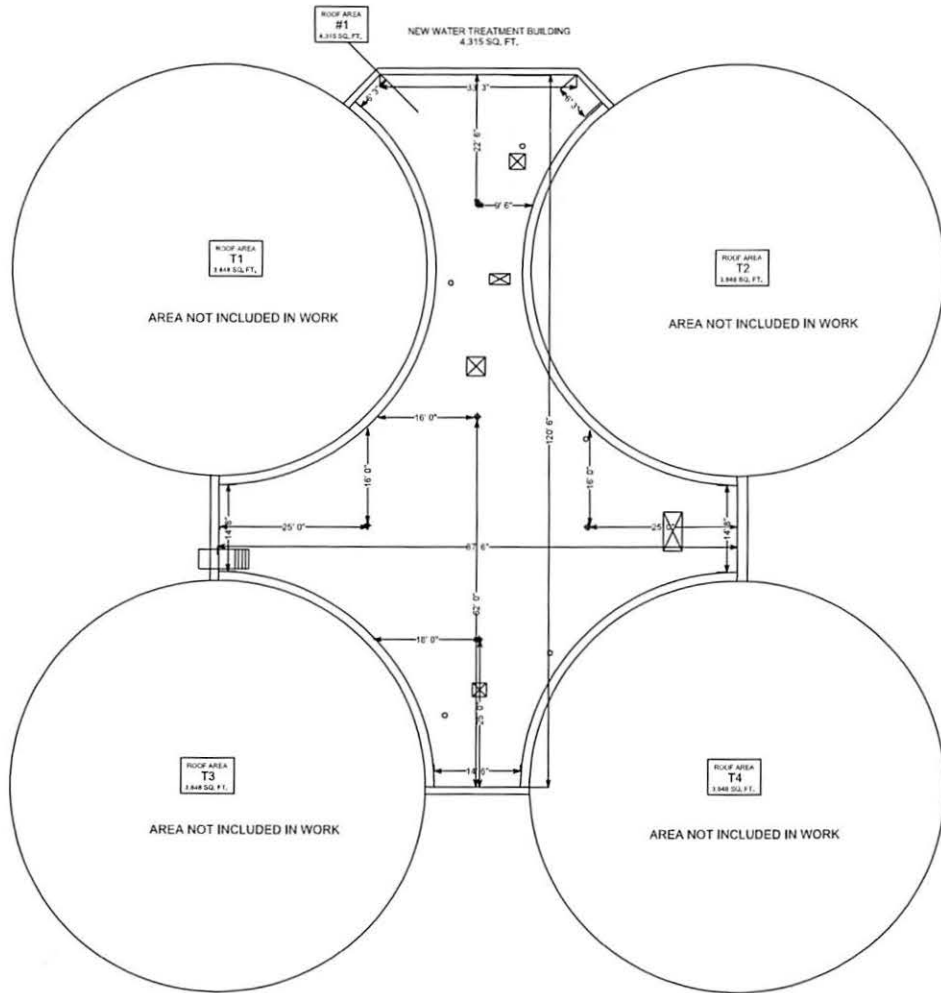
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An **ATI** Company

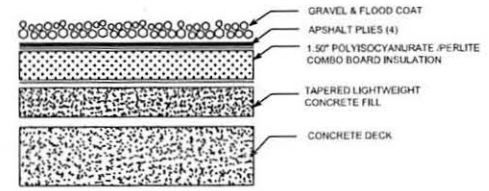
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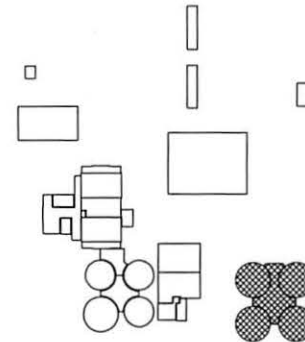


ROOF PLAN

ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR



EXISTING CONSTRUCTION - ROOF #1



KEY PLAN

REVISION	NO.	DATE	BY

NOTES:

ROOF SECTION SQUARE FOOTAGES:

- 1 - 4,315 BUR
- T1 - 3,848
- T2 - 3,848
- T3 - 3,848
- T4 - 3,848

TOTAL - 4,315 SQ. FT. (DOES NOT INCLUDE TANKS)

PROJECT SCOPE

- 1) REMOVE ALL BUILT UP ROOFING MATERIALS AND TAPERED LIGHTWEIGHT CONCRETE TO THE CONCRETE DECK
- 2) INSTALL NEW VAPOR RETARDER
- 3) INSTALL NEW TAPERED INSULATION
- 4) INSTALL NEW BUILT UP ROOF SYSTEM AS SPECIFIED
- 5) INSTALL NEW SHEET METAL TRIMS AT PERIMETERS AND UNITS

LEGEND:

- DRAIN ASSEMBLY
- SCUPPER ASSEMBLY
- CURBED RTU
- SURFACE REST EQUIP
- PIPE PENETRATION
- ACCESS HATCH

TREMCO

An **ATI** Company

CUSTOMER: CITY OF SHEBOYGAN WWTP

BUILDING: NEW WATER TREATMENT BUILDING

LOCATION: SHEBOYGAN WI

DRAWN BY: EK DATE DRAWN: 02/04/2020

APPROVED BY: EK

R1.1

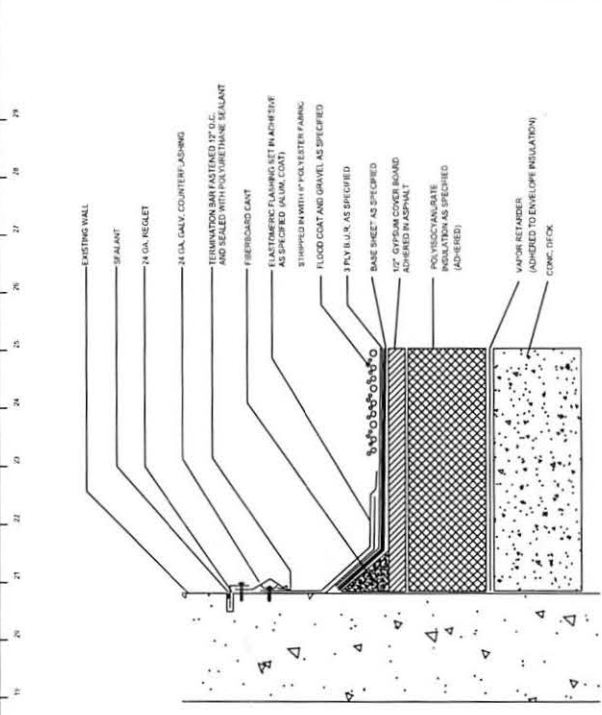
REVISION	NO.	DATE	BY

NOTES:

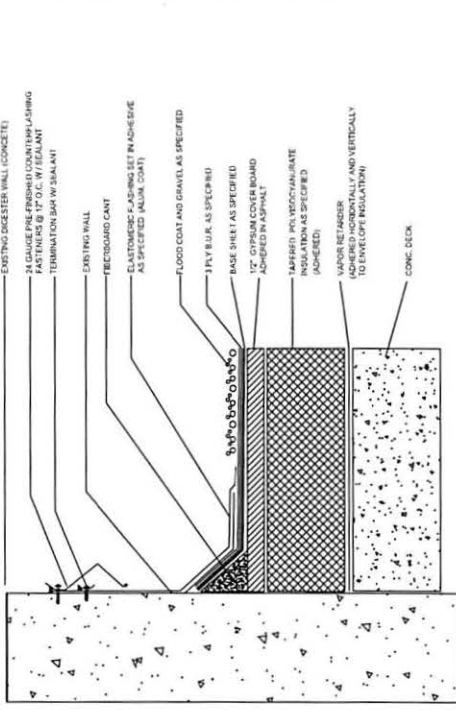
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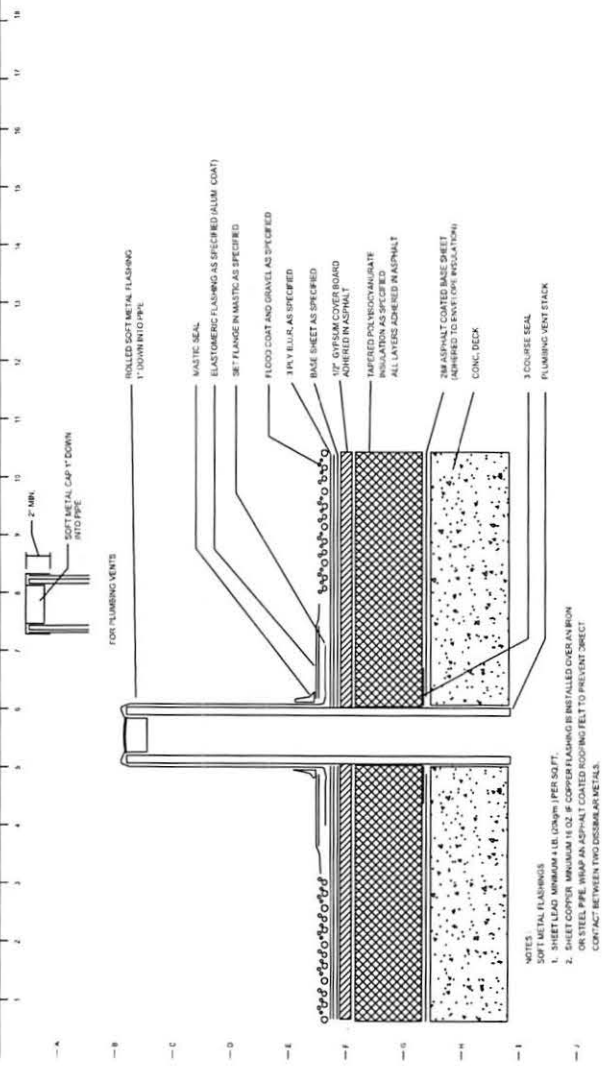
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 PROJECT: NEW WATER TREATMENT BUILDING
 LOCATION: SHEBOYGAN, WI
 SHEET NAME: R2.0
 DATE DRAWN: []
 APPROVED BY: []
 DRAWN BY: []



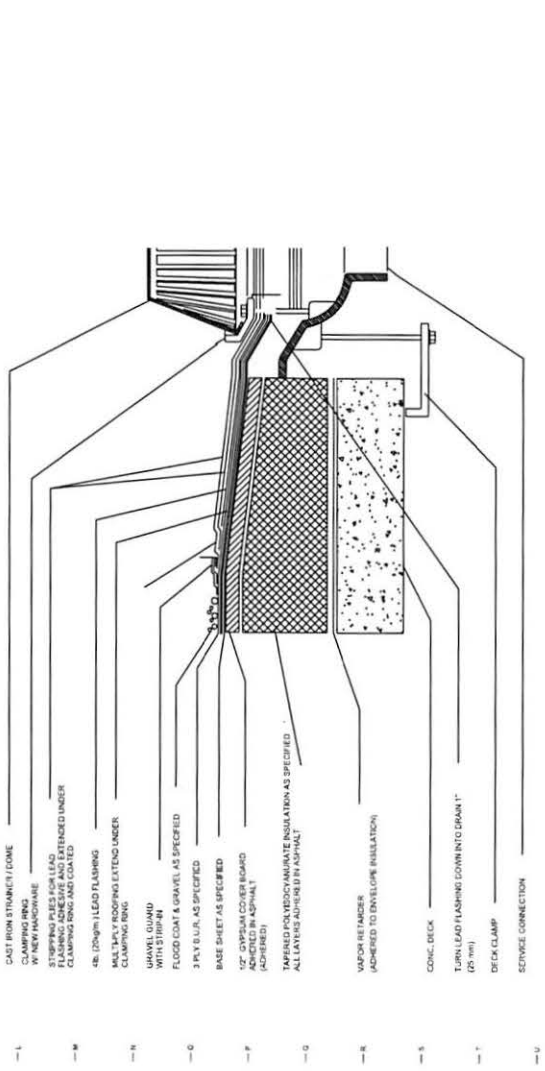
#2 REGLET & COUNTERFLASHING DETAIL
SCALE: 1/8\"/>



#1 DICASTER WALL DETAIL
SCALE: 1/8\"/>



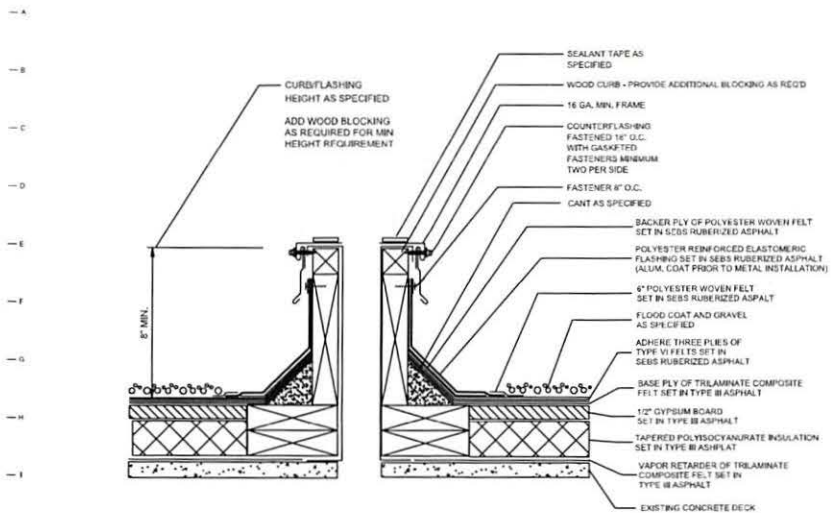
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SCALE: 1/8\"/>



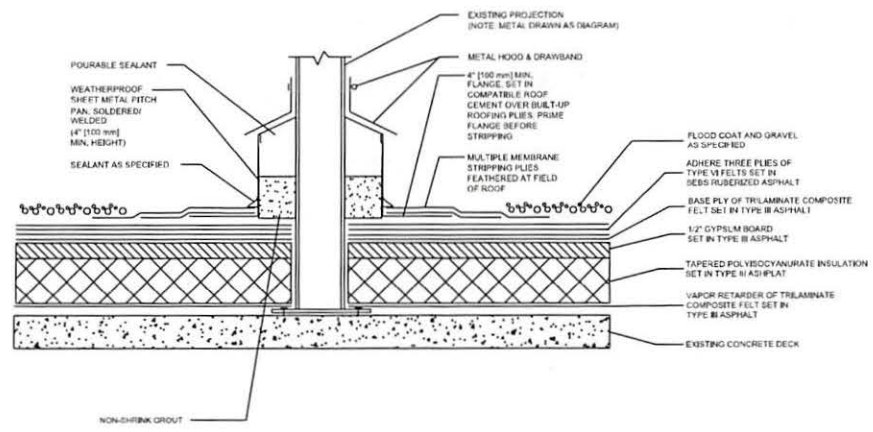
#3 DRAIN DETAIL
SCALE: 1/8\"/>

ALL DIMENSIONS TO BE SHOWN BY THE CONTRACTOR

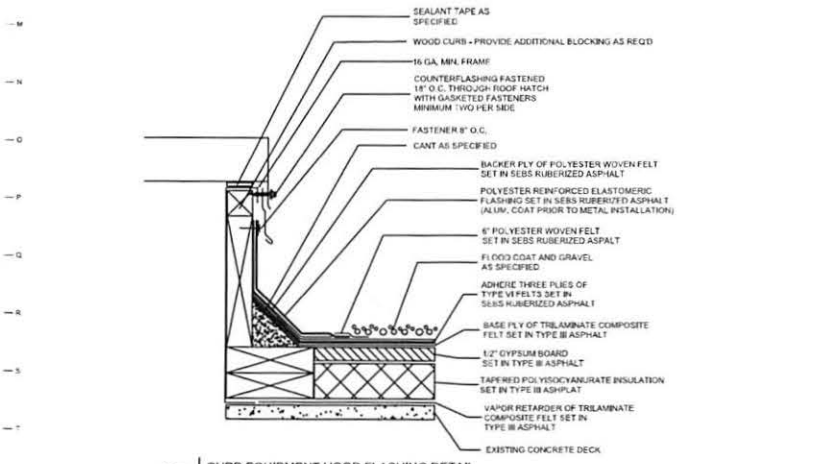
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#5 CURB EQUIPMENT FLASHING DETAIL
SCALE: NTS



#6 (PP) PITCH POCKET DETAIL
SCALE: NTS



#7 CURB EQUIPMENT HOOD FLASHING DETAIL
SCALE: NTS

REVISIONS	NO.	DATE	BY

NOTES:

LEGEND:



CUSTOMER CITY OF SHEBOYGAN WWTP		
PROJECT NEW WATER TREATMENT BUILDING		
LOCATION SHEBOYGAN, WI		
DRAWN BY EK	DATE DRAWN 08/24/20	SHEET NAME R2.1
APPROVED BY		

ALL DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: Resolution authorizing the appropriate City officials to enter into a Continuing Professional Services Agreement with Donohue & Associates to provide on call engineering services for the Waste Water Treatment Plant.

REPORT PREPARED BY: Steve Jossart, Superintendent of Wastewater

REPORT DATE: April 15, 2020

MEETING DATE: May 12, 2020

FISCAL SUMMARY:

Budget Line Item: 60138300-521150
Budget Summary: Wastewater – Consulting Services
Budget Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: As the wastewater plant works on rebuilding and updating equipment and systems, engineering services may be required to facilitate some of the work. Installation of lifting beams, modifications to piping systems, engineering reviews of equipment and project scopes, as well as drafting services are required to ensure that all changes/updates meet current design standards and that these changes are documented in the facilities plans.

STAFF COMMENTS: The present wastewater staff has the capability to modify and improve the existing systems and equipment without outside support. For more complex projects or items such as lifting beams, engineering support is required to ensure that the finished product meets current codes and standards, and that the plants documentation is updated to reflect all changes. Each project will be quoted through at least one additional engineering firm prior to awarding a purchase order to ensure cost control is maintained.

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 9-20-21 authorizing the appropriate City Officials to enter into a Continuing Services Agreement with Donohue & Associates to provide engineering services when needed to support the re-building and upgrading of systems at the wastewater treatment plant.

ATTACHMENTS:

- I. Res. No. 9-20-21
- II. Donohue & Associates Continuing Professional Services Agreement

III

Res. No. 9 - 20 - 21. By Alderpersons Wolf and Sorenson.
April 21, 2020.

A RESOLUTION authorizing the appropriate City officials to enter into a Continuing Professional Services Agreement with Donohue & Associates to provide on call engineering services for the Waste Water Treatment Plant.

WHEREAS, from time to time, it is necessary for projects at the Waste Water Treatment Plant to obtain outside engineering services in order to ensure proper project execution; and

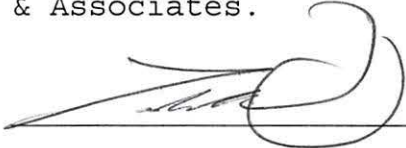
WHEREAS, it is in the best interest of the City to enter into an agreement with Donohue & Associates allowing the Waste Water Treatment Plant to obtain those necessary outside engineering services as they are required.

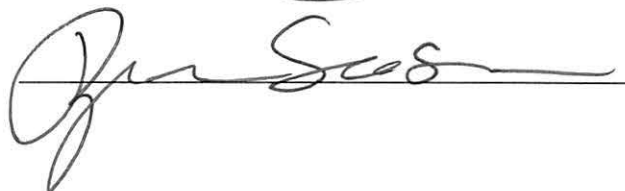
NOW, THEREFORE, BE IT RESOLVED: That the appropriate City officials are hereby authorized to enter into the attached Continuing Professional Services Agreement with Donohue & Associates.

BE IT FURTHER RESOLVED: That the Director of Public Works may enter into written Task Orders under the Agreement with Donohue & Associates as necessary to ensure the proper execution of projects at the Waste Water Treatment Plant.

BE IT FURTHER RESOLVED: That the appropriate City Officials are authorized to draw funds from Account No. 60138300-52150 in payment of Task Orders under the Agreement with Donohue & Associates.

PD





I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk
Approved _____ 20____. _____, Mayor



CONTINUING PROFESSIONAL SERVICES AGREEMENT

This Agreement is by and between:

City of Sheboygan (Owner)
Department of Public Works
2026 New Jersey Avenue
Sheboygan, WI 53081

and

Donohue & Associates, Inc. (Donohue)
3311 Weeden Creek Road
Sheboygan, WI 53081

Who agree as follows:

Owner hereby engages Donohue to perform the Services set forth in Part I for the compensation set forth in Part III. Donohue will be authorized to commence the Services upon execution and receipt of this Agreement from Owner. Owner and Donohue agree that this signature page, together with Parts I through IV attached, constitute the entire Agreement for this Project.

APPROVED FOR OWNER

By: _____

Printed Name: _____

Title: _____

Date: _____

APPROVED FOR DONOHUE

By: _____

Printed Name: Michael Stohl

Title: Vice President

Date: _____

**PART I
PROJECT DESCRIPTION/SCOPE OF SERVICES/TIMING**

A. PROJECT DESCRIPTION

Donohue shall perform the Services requested by the Owner and agreed to by Donohue. Such services shall be defined with a written Task Order including Scope of Services, Project Timing, and Compensation. The Task Order will be signed by Donohue and the Owner, and shall be incorporated into this Agreement as a Task Order. This Agreement shall be automatically renewed annually on the anniversary of its original execution. Either Donohue or Owner may terminate this Agreement by giving the other party written notice at least 30 days prior the renewal date.

**PART II
OWNER RESPONSIBILITIES**

A. In addition to other responsibilities of Owner set forth in this Agreement and each Task Order, Owner shall:

1. Identify a person authorized to act as the Owner's representative to respond to questions and make decisions on behalf of Owner, accept completed documents, approve payments to Donohue, and serve as liaison with Donohue as necessary for Donohue to complete its Services.
2. Furnish to Donohue copies of existing documents and data pertinent to Donohue's Scope of Services, including but not limited to and where applicable: design and record drawings for existing facilities; property descriptions, land use restrictions, surveys, geotechnical and environmental studies, or assessments.
3. Provide to Donohue existing information regarding the existence and locations of utilities and other underground facilities.
4. Provide Donohue safe access to premises necessary for Donohue to provide the Services.
5. Inform Donohue whenever Owner observes or becomes aware of a Hazardous Environmental Condition, as defined in Part IV.3. of this Agreement, that may affect Donohue's Scope of Services or time for performance.

**PART III
COMPENSATION, BILLING AND PAYMENT**

- A. Owner shall pay Donohue for Services in accordance with a project specific negotiated fee. Compensation will be designated in each Task Order and will apply only to the Task Order in which it is designated.
- B. Donohue will be compensated for professional services on a Task Order basis. Compensation will be a lump sum basis.
- C. Donohue will bill Owner monthly, with net payment due in 30 days. The invoice will contain a calculation of the amount of lump sum due based on percentage of Project completed during the billing period.
- D. Donohue will notify Owner if Project scope changes require modifications to the Task Order contract value. Services relative to scope changes will not be initiated without authorization from Owner.

PART IV - STANDARD TERMS AND CONDITIONS – CITY OF SHEBOYGAN, WISCONSIN

1. STANDARD OF CARE. Donohue's Services shall be performed in accordance with the standard of professional practice ordinarily exercised by the applicable profession under similar circumstances at the same time and in the locality where the Services are performed. Professional services are not subject to, and Donohue does not provide, any warranty or guarantee, express or implied. Any warranties or guarantees contained in any purchase orders, requisitions, or notices to proceed issued by Owner are void and not binding upon Donohue. Notwithstanding any other representations made elsewhere in this Agreement or in the execution of the Project, this Standard of Care shall not be modified.

2. CHANGE OF SCOPE. The Scope of Services set forth in this Agreement is based on facts known at the time of execution of this Agreement, including, if applicable, information supplied by Owner. For some projects involving conceptual or process development services, scope may not be fully definable during initial phases. As the Project progresses, facts discovered may indicate that the scope must be redefined. Donohue will promptly provide Owner with a written amendment to this Agreement to recognize such change.

3. HAZARDOUS ENVIRONMENTAL CONDITIONS. Unless expressly stated otherwise in the Scope of Services (Part I) of this Agreement, Donohue's scope of services does not include any services relating to a Hazardous Environmental Condition, including but not limited to the presence at the Project site of asbestos, mold, PCBs, petroleum, hazardous substances or any other pollutant or contaminant, as those terms are defined in pertinent federal, state, and local laws. In the event Donohue or any other party encounters a Hazardous Environmental Condition, Donohue may at its option suspend performance of services until Owner: a) retains appropriate consultants or contractors to identify and remediate or remove the Hazardous Environmental Condition; and b) warrants that the Project site is in full compliance with all applicable environmental laws.

4. SAFETY. Unless specifically included as a service to be provided under this Agreement, Donohue specifically disclaims any authority or responsibility for general job site safety, or the safety of persons (other than Donohue employees) or property.

5. DELAYS. If performance of Donohue's Services is delayed through no fault of Donohue, Donohue shall be entitled to an extension of time equal to the delay and an equitable adjustment in compensation, if the delay extends beyond one year.

6. TERMINATION/SUSPENSION. Either party may terminate this Agreement upon 30 days written notice to the other party. Owner shall pay Donohue for all Services, including profit relating thereto, rendered prior to termination, plus any expenses of termination. If either party defaults in its obligations under this Agreement (including Owner's obligation to make required payments), the non-defaulting party may, after giving seven days written notice, suspend performance under this Agreement. The non-defaulting party may not suspend performance if the defaulting party commences to cure such default within the seven-day notice period and completes such cure within a reasonable period of time.

Donohue may terminate this Agreement upon seven days written notice if: a) Donohue believes that Donohue is being requested by Owner to perform services contrary to law or Donohue's responsibilities as a licensed professional; or b) Donohue's Services for the Project are delayed, suspended, or interrupted for a period of at least 90 days for reasons not attributable to Donohue's performance of Services; or c) Owner has failed to pay any amount due and owing to Donohue for a period of at least 60 days. Donohue shall have no liability to Owner on account of such termination.

7. OPINIONS OF CONSTRUCTION COST. Any opinion of construction costs prepared by Donohue is supplied for the general guidance of the Owner only. Since Donohue has no control over competitive bidding or market conditions, Donohue cannot guarantee the accuracy of such opinions as compared to contract bids or actual costs to Owner.

8. RELATIONSHIP TO CONTRACTORS. Donohue shall serve as Owner's professional representative for the Services, and may make recommendations to Owner concerning actions relating to Owner's contractors. Donohue specifically disclaims any authority to direct or supervise the means, methods, techniques, sequences or procedures of construction selected or used by Owner's contractors. Donohue neither guarantees the performance of any construction contractor nor assumes responsibility for any contractor's failure to perform in accordance with the construction contract documents.

9. CONSTRUCTION REVIEW. For projects involving construction, Owner acknowledges that under generally accepted professional practice, interpretations of construction documents in the field are normally required, and that performance of construction-related services by the design professional for the Project permits errors or omissions to be identified and corrected at comparatively low cost. Performance of construction-related professional services by a third party or the Owner risks misinterpretation or alternate interpretation of the design intent. Owner agrees to hold Donohue harmless from any claims resulting from performance of construction-related professional services by persons other than Donohue.

10. BETTERMENT. If any item or component of the Project is required due to omission from the construction documents, Donohue's liability shall be limited to the reasonable costs of correction of the construction, less the cost to the Owner if the omitted item or component had been initially included in the construction contract documents. It is intended by this provision that Donohue will not be responsible for any cost or expense that provides betterment, upgrade, or enhancement of the Project.

11. INSURANCE. Donohue will maintain Professional Liability, Commercial General Liability, Automobile, Worker's Compensation, and Employer's Liability insurance coverage in amounts in accordance with legal and Donohue's business requirements. Donohue shall provide to Owner certificates demonstrating such coverage upon request. For projects involving construction, Owner agrees to protect Donohue's interests through appropriate property and liability insurance, and to require its construction contractor, if any, to include Donohue as an additional insured on Contractor's policies relating to the Project. Donohue's coverages referenced above shall, in such case, be excess over contractor's primary coverage.

12. INDEMNIFICATION. Except as otherwise provided in this Agreement, to the fullest extent permitted by law, Donohue hereby agrees to indemnify the Owner, its elected and appointed officials, officers, employees, agents, representatives, and volunteers, and each of them, from and against suits, actions, legal or administrative proceedings, claims, demands, damages, liabilities, interest, reasonable legal fees, costs, and expenses, but only to the extent they are found to be caused by a negligent act, error, or omission of Donohue or any of Donohue's officers, members, partners, agents, employees, or subconsultants acting under its direction or control in the performance of services under this Agreement. To the fullest extent permitted by law, Owner shall indemnify and hold Donohue, its employees, agents, and representatives, and Donohue's subconsultants, harmless from and against any loss, liability, claims and damages caused by, arising out of, or resulting from the presence of the Project site of asbestos, mold, PCBs, petroleum, hazardous substances, or any other pollutant or contaminant, as those terms are defined in pertinent federal, state, and local laws, except to the extent that the loss, liability, or damages are caused solely by the willful misconduct or negligence of Donohue, its agents or employees.

13. LIMITATIONS OF LIABILITY. No owner, shareholder, principal, employee or agent of Donohue shall have individual liability to Owner; and Owner covenants and agrees not to sue any such individual in connection with the Services under this Agreement.

Neither Donohue, Donohue's subconsultants, nor their agents or employees shall be jointly, severally or individually liable to the Owner in excess of \$2,000,000 by reason of any act or omission, in tort or contract, including breach of contract, breach of warranty or negligence. To the fullest extent permitted by Laws and Regulations, Owner and Donohue waive against each other, and the other's employees, officers, directors, members, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this Agreement or the Project, from any cause or causes.

14. OWNERSHIP AND REUSE OF PROJECT DOCUMENTS. All documents and other deliverables, in all media, prepared by or on behalf of Donohue in connection with this Agreement are instruments of service, and Donohue shall hold the copyright to and all other ownership and property interests in such instruments of service. Upon payment for services rendered, Donohue grants Owner a license to use instruments of Donohue's services for the purpose of constructing, occupying or maintaining the Project. Owner shall not reuse any such documents or other deliverables pertaining to the Project for any purpose other than that for which such documents or deliverables were originally prepared. Owner shall not cause or allow the alteration of such documents or deliverables without written verification and approval by Donohue for the specific purpose intended, and any alteration by Owner shall be at the Owner's sole risk. Owner agrees to indemnify and hold harmless Donohue from all claims, damages, and expenses (including reasonable attorneys' and consultants' fees), arising out of such reuse or alteration by Owner or others acting on behalf of Owner.

15. ELECTRONIC MEDIA. Copies of documents that may be relied upon by Owner are limited to printed copies that are signed and sealed by Donohue. Files or information in electronic media are furnished by Donohue to Owner solely for convenience of Owner. Because data stored in electronic media format can deteriorate or be modified, the Owner agrees to perform acceptance tests within 60 days. Donohue will not be responsible to correct any errors or for maintenance of documents in electronic media format after the acceptance period.

16. RECORDS RETENTION. Both parties understand that the Owner is bound by the Wisconsin Public Records Law and, as such, this Agreement is subject to that law. Donohue acknowledges that it is obligated to assist the Owner in retaining and producing records that are subject to the Wisconsin Public Records Law, and that the failure to do so shall constitute a material breach of this Agreement in which case Donohue shall defend and hold the Owner harmless from liability under that law. Except as otherwise authorized, those records shall be maintained for a period of seven (7) years after receipt of Final Payment under the Agreement.

17. AMENDMENT. This Agreement, upon execution by both parties hereto, can be amended only by a written instrument signed by both parties.

18. SUCCESSORS, BENEFICIARIES AND ASSIGNEES. This Agreement shall be binding upon and inure to the benefit of the owners, administrators, executors, successors, and legal representatives of the Owner and Donohue. The rights and obligations of this Agreement cannot be assigned by either party without written permission of the other party. This Agreement shall be binding upon and inure to the benefit of any permitted assignees.

19. NO THIRD-PARTY BENEFICIARY. Nothing contained in this Agreement, nor the performance of the parties hereunder, is intended to benefit, nor shall inure to the benefit of, any third party, including Owner's construction contractors, if any.

20. DISPUTE RESOLUTION. Owner and Donohue shall provide written notice of a dispute within a reasonable time and after the event giving rise to the dispute. Owner and Donohue agree to negotiate any dispute between them in good faith for a period of 30 days following such notice. Owner and Donohue may mutually agree to submit any dispute to mediation or binding arbitration, but doing so shall not be required or a prerequisite to initiating a lawsuit to enforce this Agreement.

21. CONTROLLING LAW. This Agreement is governed by the laws of the state in which the Project is located.

22. NO WAIVER. No waiver by either party of any default by the other party in the performance of any particular section of this Agreement shall invalidate any other section of this Agreement or operate as a waiver of any future default, whether like or different in character.

23. SEVERABILITY. The various terms, provisions and covenants herein contained shall be deemed to be separate and severable, and the invalidity or unenforceability of any of them shall not affect or impair the validity or enforceability of the remainder.

24. AUTHORITY. The persons signing this Agreement warrant that they have the authority to sign as, or on behalf of, the party for whom they are signing.

25. SURVIVAL. All express representations, indemnifications and limitations of liability included in this Agreement will survive its completion or termination for any reason.

26. NON-APPROPRIATION. Notwithstanding any other provision of this Agreement, if funds for the continued fulfillment of this Agreement by the City are at any time not forthcoming or are insufficient, through failure of any entity, including the City itself, to appropriate funds or otherwise, then the City shall have the right to terminate this Agreement without penalty.

27. IDENTITY OF CONSULTANT. Donohue acknowledges that one of the primary reasons for its selection by the Owner to perform the services are the qualifications and experience of Donohue. Donohue thus agrees that the Services to be performed pursuant to this Agreement shall be performed by Donohue. Donohue shall not subcontract any part of the Services without the prior written permission of Owner. The Owner's designated project manager, the Wastewater Superintendent, shall have the ability to provide this written permission. Owner reserves the right to reject any of Donohue's personnel or proposed outside professional subconsultants, and the Owner reserves the right to request that acceptable replacement personnel be assigned to the project.

28. NO CONFLICT OF INTEREST. Donohue declares that it has no present interest, nor shall it acquire any interest—direct or indirect—which would conflict with the performance of Services under this Agreement. Donohue agrees that no person having any such interest shall be employed in the performance of this Agreement.

29. COMPLIANCE WITH LAWS. In performing the Services under this Agreement, Donohue shall comply with applicable federal, state and local statutes, ordinances, plans, and regulations in effect at the time the services are performed.

99930. INTEGRATION AND MODIFICATION. This Agreement is the entire and integrated agreement between Donohue and Owner regarding the subject matter of this Agreement. It supersedes all prior and contemporaneous communications, representations and agreements that are not part of this Agreement.

III


4.11

Res. No. 20 - 20 - 21. By Alderpersons Wolf and Sorenson.
May 4, 2020.

A RESOLUTION authorizing the appropriate City officials to execute the Second Amendment to the Operating Agreement between the City of Sheboygan and Power Pubs, LLC regarding the Sheboygan Biergarten in Kiwanis Park.

RESOLVED: That the Mayor and City Clerk are hereby authorized to execute the Second Amendment to the Operating Agreement with Power Pubs, LLC, in form substantially similar to the attached.

Public works



I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

**SECOND AMENDMENT TO
OPERATING AGREEMENT BETWEEN
CITY OF SHEBOYGAN
AND
POWER PUBS, LLC**

This Second Amendment amends the Operating Agreement between the City of Sheboygan (“City”) and Power Pubs, LLC, a Wisconsin Limited Liability Company (“Vendor”) (“Agreement”). The Agreement was originally executed on September 3, 2018 and was previously amended on November 22, 2019. Except as specified in this Second Amendment, the Agreement, as previously amended, remains unchanged and in full force and effect.

1. For 2020 and future years of the Agreement, Subsection 3(C) of the Agreement shall be amended to state, in full: “Season. Beginning in 2020, except as specifically provided in this Agreement, Vendor shall provide these services at least five hours per day between 10:00 a.m. and 10:00 p.m. (weather permitting) at least three days per week, beginning no later than June 1 and ending no earlier than September 30. The precise hours are to be determined by Vendor in Vendor’s sole discretion, but shall in no case include hours between 10:00 p.m. and 10:00 a.m. Vendor is not required to provide these services on Independence Day.”
2. The Parties note that this Second Amendment is being entered into during a State of Emergency, in which certain public gatherings have been limited. If the beginning of the 2020 Season is delayed by the State of Emergency, the Director of Public Works and Vendor may agree on an acceptable start date to the 2020 Season, which could include the decision for Vendor not to open for the 2020 Season.
3. Subsection 3(G) of the Agreement shall be amended to state, in full: “Utilities. The City shall supply water, electricity, sewer and trash removal/recycling services in the same manner as currently provided at the Premises, and will not reduce the scope or amount of said services. Vendor shall pay the sum of \$25 per day in which Vendor operates (not to exceed \$300 per month) for all such utilities and trash/recycling haul away. This amount shall be due to the City on a monthly basis, by the 15th day of the next month. Failure to pay this amount by the due date will result in a late penalty of \$50. Failure to pay this amount in full, plus any accrued penalties, within ten days of the due date will constitute a default under Section 27 of this Agreement. Vendor agrees that, on days in which it operates, it shall collect trash and recycling from separate garbage and recycling bins and take it to City dumpsters within Kiwanis Park. Vendor shall at no time commingle trash and recycling. The City shall haul trash and recycling from city dumpsters.”

4. Subsection 3(S) of the Agreement shall be amended to state, in full:
 “Payment. For the use of the Premises and the right to provide the services set forth above therein, and utility costs imposed under Subsection G above, as well as the security deposit under subsection Q above, Vendor agrees to pay the City 12.5% of its Net Revenues (defined as Gross Revenues minus Sales Tax minus Actual Credit Card Processing Fee minus Tips) (the “City Fee”). For the avoidance of doubt, Gross Revenue shall not include any Glass Deposit that Vendor receives, and no deduction from Gross Revenue shall be made for the return of any Glass Deposit.) Vendor shall pay the City Fee monthly, by the 15th day of the next month.”

IN WITNESS WHEREOF, the Parties hereto have caused this Amendment to be executed by their proper officers on the day and year first above written.

CITY OF SHEBOYGAN, WISCONSIN

POWER PUBS, LLC

BY: _____
 Michael J. Vandersteen, Mayor

BY: _____
 John L. Powers, Sole Member

ATTEST: _____
 Meredith DeBruin, City Clerk

ACKNOWLEDGMENTS

STATE OF WISCONSIN)
) ss
 SHEBOYGAN COUNTY)

Personally came before me this ____ day of _____, 2020, the above-named Michael J. Vandersteen, Mayor, and Meredith DeBruin, City Clerk, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

 Notary Public, State of Wisconsin
 My Commission expires: _____

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: Request authorizing the appropriate City officials to execute the Second Amendment to Operating Agreement between City of Sheboygan and Power Pubs, LLC regarding the Sheboygan Biergarten in Kiwanis Park.

REPORT PREPARED BY: Joseph L. Kerlin, Superintendent of Parks and Forestry

REPORT DATE: May 5, 2020

MEETING DATE: May 12, 2020

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: The Second Amendment addresses four changes requested by Power Pubs:

1. Season: Previously, Power Pubs, LLC was required to operate six hours per day, at least five days per week not later than October 15. The Amendment reduces the hours per day to five, reduces the days per week to three (i.e., Friday, Saturday, and Sunday), and allows the season to end September 30.
2. This Amendment recognizes the possibility that Power Pubs, LLC may not operate during the 2020 season at all due to the global health situation.
3. Utilities: Previously the Vendor shall pay the sum of \$600 per month to the City for utilities. The Amendment changes the sum to \$25 per day in which Vendor operates (not to exceed \$300 per month). This amount was due the City on the fifth of each month with a late fee after 15 days. The vendor now has until the 15th of the month to pay this amount.
4. Payment: Power Pubs, LLC has expressed a desire to make payment monthly, rather than quarterly. The Amendment addresses the logistics associated with that change.

STAFF COMMENTS: City staff recommends approving requested changes.

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 20-20-21 authorizing the appropriate City officials to execute the Second Amendment to Operating Agreement between City of Sheboygan and Power Pubs, LLC regarding the Sheboygan Biergarten in Kiwanis Park.

ATTACHMENTS:

- I. Res. No. 20-20-21
- II. Second Amendment to Operating Agreement

AGREEMENT
BETWEEN THE CITY OF SHEBOYGAN, WISCONSIN AND
SHEBOYGAN ATHLETIC CLUB, INC.

REGARDING LIGHTING IMPROVEMENTS AT
MARY TESTWUIDE KNAUF FIELD AT WILDWOOD BASEBALL PARK

This Agreement (“Agreement”) is made and entered into effective this 9th day of OCTOBER, 2018 (the “Effective Date”), by and between the City of Sheboygan (the “City”), a municipal corporation, and Sheboygan Athletic Club, Inc. (“SAC”), a non-stock corporation. Referenced together, the City and the Sheboygan A’s are the parties (“Parties”) to this Agreement.

WITNESSETH:

WHEREAS, the City is the owner of Wildwood Athletic Complex, located at 2276 New Jersey Ave. in Sheboygan, Wisconsin; and

WHEREAS, one portion of the Wildwood Athletic Complex is now known as Mary Testwuide Knauf Field at Wildwood Baseball Park (the “Field”); and

WHEREAS, the SAC has sponsored the Sheboygan A’s baseball team since 1963; and

WHEREAS, the Parties desire to work collaboratively to improve the lighting at the Field pursuant to the terms set forth below.

NOW THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby mutually acknowledged, the Parties hereby agree as follows:

1. Other Agreements between the Parties.

The City and SAC have been longstanding partners. In 2000, the Parties entered into an Agreement Between Sheboygan Athletic Club, Inc. and City of Sheboygan for Use of Wildwood Baseball Park (“2000 Agreement”). The First Agreement was amended in 2014 (“Amendment No. 1 to 2000 Agreement”). This Agreement is not intended to amend or replace the 2000 Agreement (as amended) in any way; instead, this Agreement is intended only to address a specific improvement project at the Field.

The Parties observe that the 2000 Agreement states, in relevant part: “The SAC shall obtain the City’s prior approval before the commencement of any construction, alteration, improvement or repair of Park facilities estimated to cost in excess of \$1,000.00.” To the extent approval is necessary for the lighting improvements at the Field, such approval is granted.

2. Purpose.

This Agreement is intended to set forth how the Parties will improve the lighting at the Field (the "Project").

3. The Project.

The Project will result in:

- The removal and salvage of the eight (8) current light poles and fixtures at the Field
- The installation of six (6) new light poles and fixtures at the Field, including all necessary electrical work associated with the installation of the new light poles and fixtures (including, but not limited to, footings, foundations and earthworks related to structurally supporting the new light poles, the installation of underground electrical feeders to six new light tower bases, and the installation of new electrical control cabinets and connection to electrical power).

The City has determined the total cost of the Project, in accordance with all state and local purchasing requirements. The total cost of the Project will be \$305,000 for the purchase of the lighting from Musco Sports Lighting and \$187,260 for the installation services to be performed by Altmeyer Electric.

4. Cost-Sharing

The Parties have agreed to share in the cost of the Project. The total Project cost is Four Hundred Ninety Two Thousand Two Hundred Sixty and 00/100 Dollars (\$492,260.00).

The City will initially pay for the Project. SAC will reimburse the City for Four Hundred Twelve Thousand Two Hundred Sixty and 00/100 Dollars (\$412,260.00). The mechanics of the reimbursement are set forth in Section 5, below. This will result in the City paying Eighty Thousand and 00/100 Dollars (\$80,000.00) for the Project. In the event that change orders are necessary that increase or decrease the cost of the Project, those increases or decreases shall be borne by SAC. In the event that a change order increases the cost of the Project, SAC shall make payment to the City within thirty (30) days of receiving an invoice from the City for the change order. In the event that a change order decreases the cost of the Project, the Parties shall amend the Loan (including the Amortization Table and Promissory Note) to reflect the actual amount of principal necessary for the total project cost.

5. SAC's Reimbursement to the City

SAC's Reimbursement to the City will be in two stages.

First, within thirty (30) days of the Common Council of the City of Sheboygan's approval of this Agreement, SAC will pay Three Hundred Sixty Thousand Seven Hundred Sixty and 00/100 Dollars (\$360,760.00) to the City ("Reimbursement Payment"). The Parties anticipate the Reimbursement Payment will be funded in part by a loan from Bank First

National. In the event the Reimbursement Payment becomes more than fifteen (15) days past due, SAC will pay interest on the Reimbursement Payment equal to five percent (5%) per annum. This interest shall be calculated monthly, and remitted monthly until: (1) the Reimbursement Payment is made or (2) the City terminates this Agreement and the Project due to non-payment.

Additionally, in the event SAC does not make the Reimbursement Payment in a timely manner, and the City terminates its agreements with Musco Sports Lighting or Altmeyer Electric as a result, SAC will make the City whole by paying any amount actually incurred by the City as a termination cost. Before the City incurs any obligation regarding the Project, SAC will provide security satisfactory to the City Attorney and the Finance Director, of its ability to pay any termination costs. By way of example only, this could include a personal guarantee that the City Attorney and the Finance Director believe is sufficient to pay termination costs, or a bond.

Second, SAC will pay the City, beginning November 1, 2018, a total of Fifty One Thousand Five Hundred Dollars plus interest (calculated at two percent (2%) per annum) (the "Loan"). The Loan will be paid back as follows: Nineteen (19) equal payments of One Thousand Three Hundred Thirty Three and 55/100 Dollars (\$1,333.55), beginning on November 1, 2018 and continuing through May 1, 2020, and a final payment of Twenty Seven Thousand Four Hundred Sixty Seven and 99/100 Dollars (\$27,467.99) on June 1, 2020. A Promissory Note regarding the Loan is attached to this Agreement and incorporated herein by reference. The Amortization Schedule of this Loan is set forth below:

Date of Payment	Total Payment	Interest	Principal	Principal Balance
11/1/2018	\$1333.55	\$85.06	\$1,248.49	\$50,251.51
12/1/2018	1333.55	82.99	1,250.56	49,000.95
1/1/2019	1333.55	80.93	1,252.62	47,748.33
2/1/2019	1333.55	78.86	1,254.69	46,493.64
3/1/2019	1333.55	76.79	1,256.76	45,236.88
4/1/2019	1333.55	74.41	1,258.84	43,978.04
5/1/2019	1333.55	72.63	1,260.92	42,717.12
6/1/2019	1333.55	70.55	1,263.00	41,454.12
7/1/2019	1333.55	68.46	1,265.09	40,189.03
8/1/2019	1333.55	66.38	1,267.17	38,921.86
9/1/2019	1333.55	64.28	1,269.27	37,652.59
10/1/2019	1333.55	62.19	1,271.36	36,381.23
11/1/2019	1333.55	60.09	1,273.46	35,107.77
12/1/2019	1333.55	57.98	1,275.57	33,832.20
1/1/2020	1333.55	55.88	1,277.67	32,554.53
2/1/2020	1333.55	53.77	1,279.78	31,274.75
3/1/2020	1333.55	51.65	1,281.90	29,992.85
4/1/2020	1333.55	49.54	1,284.01	28,708.84
5/1/2020	1333.55	47.41	1,286.14	27,422.70
6/1/2020	27,467.99	45.29	27,422.70	0

6. The City's Responsibilities.

As soon as practicable, upon the execution of this Agreement, and the provision of satisfactory security set forth in Section 5, the City shall enter into agreements with Musco Sports Lighting (regarding the purchase of the necessary materials) and Altmeyer Electric (regarding the necessary installation services) regarding the Project.

As the contracting party with Musco Sports Lighting and Altmeyer Electric, it shall be the City (as opposed to SAC) that is responsible to ensure the work is accomplished appropriately.

7. Ownership of the Project.

In accordance with the 2000 Agreement, the Project—as an improvement to the Field—shall be owned by the City.

8. General Terms.

- a. *Entire Agreement.* The entire agreement of the Parties regarding the Project is contained herein. This Agreement supersedes any and all oral contracts and negotiations between the parties.
- b. *Amendments.* This Agreement shall be binding on the Parties, their respective heirs, devisees, and successors, and cannot be varied or waived by any oral representations or promise of any agent or other person of the Parties. Any change in any provision of this Agreement may only be made by a written amendment, approved by the Common Council and signed by the duly authorized agent or agents of the City and SAC.
- c. *No Waiver.* No failure to exercise, and no delay in exercising, any right, power or remedy hereunder on the part of the City or Vendor shall operate as a waiver thereof, nor shall any single or partial exercise of any right, power, or remedy preclude any other further exercise thereof or the exercise of any other right, power, or remedy. No express waiver shall affect any event or default other than the event or default specified in such waiver, and any such waiver, to be effective, must be in writing and shall be operative only for the time and to the extent expressly provided by the City or SAC. A waiver of any covenant, term, or condition contained herein shall not be construed as a waiver of any subsequent breach of the same covenant, term, or condition.
- d. *Severability.* It is mutually agreed that in case any provision of this Agreement is determined by any court of law to be unconstitutional, illegal, or unenforceable, it is the intention of the parties that all other provisions of this Agreement remain in full force and effect.
- e. *Notice.*

Notices to the SAC shall be addressed to:

Sheboygan Athletic Club
P.O. Box 32
Sheboygan, Wisconsin 53082

Notices to the City shall be addressed to:

City Clerk
City of Sheboygan
828 Center Ave.
Sheboygan, Wisconsin 53081

Either Party may change its address for notice purposes at any time by providing notice to the other party in writing.

- f. *Third Party Rights.* This Agreement is intended to be solely between the parties hereto. No part of this Agreement shall be construed to add, supplement, amend, abridge, or repeal existing rights, benefits, or privileges of any third party or parties, including—but not limited to—employees of either of the parties.
- g. *Choice of Law and Venue.* This Agreement shall be governed by and construed, interpreted, and enforced in accordance with the laws of the State of Wisconsin. The Parties agree, for any claim or suit or other dispute relating to this Agreement that cannot be mutually resolved, the venue shall be Sheboygan County Circuit Court, and the parties agree to submit themselves to the jurisdiction of said court, to the exclusion of any other judicial district that may have jurisdiction over such a dispute according to any law.
- h. *Authority.* Each person executing this Agreement on behalf of a party hereto represents and warrants to the other party: That the execution and delivery of this Agreement has been duly authorized, that the person or persons executing this Agreement have the full power, authority, and right to do so, and that such execution is sufficient and legally binding on such party to enable this Agreement to be enforceable in accordance with its terms.
- i. *Termination.* In the event the Reimbursement Payment is not made within thirty (30) days of the Common Council of the City of Sheboygan's approval of this Agreement, the City may terminate this Agreement. In the event that the City terminates this Agreement, SAC will make the City whole by paying any amount actually incurred (including reasonable attorneys fees) by the City as a termination cost within sixty (60) days of receipt of an invoice from the City regarding the termination costs.

- j. *Neither Party the Drafter.* Despite the possibility that one party or its representatives may have prepared the initial draft of this Agreement (or any provision thereof), or played a greater role in the preparation of subsequent drafts, the parties agree that neither of them shall be deemed the drafter of this Agreement.

IN WITNESS WHEREOF, the Parties have caused this Agreement to be executed by their proper officers on the day and year first written above:

CITY OF SHEBOYGAN, WISCONSIN

BY: 
Michael J. Vandersteen, Mayor

SHEBOYGAN ATHLETIC CLUB, INC.

BY: 
Scott Stangel, President

ATTEST: 
Meredith DeBruin, City Clerk

ATTEST: 

DATE: 10-10-18

DATE: 10-9-18

PROMISSORY NOTE

\$51,500

Sheboygan, Wisconsin
October 9, 2018

FOR VALUE RECEIVED, Sheboygan Athletic Club, Inc. (the "Borrower"), promises to pay to the order of the City of Sheboygan, Wisconsin, a municipal corporation organized and existing under the laws of the State of Wisconsin, at its office in the City of Sheboygan, Wisconsin (the "Holder"), the principal sum of Fifty One Thousand Five Hundred and 00/100 Dollars (\$51,500.00), with interest on all unpaid balances computed monthly from November 1, 2018 until paid at the rate of two percent (2%) per annum. Principal and interest shall be payable monthly in installments of One Thousand Three Hundred Thirty Three and 55/100 Dollars (\$1,333.55) per month, beginning on the 1st day of November, 2018 and continuing to May 1, 2020. The final installment shall consist of a payment of Twenty Seven Thousand Four Hundred Sixty Seven and 99/100 Dollars (\$27,467.99) and shall be due on June 1, 2020. The Amortization Schedule for this Promissory Note is found in the Agreement Between the City of Sheboygan, Wisconsin and Sheboygan Athletic Club, Inc. Regarding Lighting Improvements at Mary Testwuide Knauf Field at Wildwood Baseball Park

This Note may be prepaid, in whole or in part, on any payment date without prepayment premium or penalty.

In the event any installment payment (including, without limitation, the entire principal balance upon maturity), becomes more than fifteen (15) days past due, the Borrower shall pay a late payment charge to Holder equal to five percent (5%) of the entire unpaid amount of the installment. Payments received after any installment becomes more than fifteen (15) days past due shall be applied first to current installment(s) and then to delinquent installments for purposes of this provision.

SHEBOYGAN ATHLETIC CLUB, INC.

By: Scott A. Stangel
Printed Name: Scott A. Stangel
Title: President
Date: 10-9-18



May 5, 2020

To: Mr. Darrell Hofland:

As you may remember the Sheboygan Athletic Club ("SAC") took out a loan from the City of Sheboygan ("City") in October of 2018 to cover our shortfall in available funds to cover the new LED lighting that was installed at the Wildwood Athletic Complex over the following winter/spring of 2019 at a cost of roughly \$500,000.

The Loan was for \$51,500, with interest at 2% per annum, and required 19 payments of \$1,333.55 and a final payment on June 1, 2020 of \$27,467.99. Furthermore the final payment was to be reduced by \$5,000 to reflect funds received by the "City" for sale of the old lighting fixtures and poles. SAC has been timely in making the 19 payments of \$1,333.55.

SAC's 2020 baseball season is now in serious jeopardy due to the COVID-19 virus. At this point the only thing that we know for sure is that our season will be severely shortened, there is no certainty that we will be playing at all and there is the likelihood that even if allowed to play our revenues will be reduced due to crowd limitations or people just worried about contracting the virus. One way or another these events will have a seriously detrimental effect on SAC finances.

Because of this situation the Sheboygan Athletic club requests that the City of Sheboygan to amend the loan Agreement dated October 9, 2018 to reflect the following:

- From June 1, 2020 through May 1, 2021 the Sheboygan Athletic will be required to make "interest only" payments to the "City".
- On June 1, 2021 the Sheboygan Athletic club will make the Final Payment of \$27,467.99 (less the \$5,000 related to the sale of the old lighting fixtures).

In October of 2020 the "SAC" and the "City" can if desired review "SAC's" finances to determine if the Final Payment can be made prior to June 1, 2021.

The Sheboygan Athletic Club sincerely thanks the City of Sheboygan for considering this unusual request in such unusual times. We are open to discussing any options and alternatives that the city feels are necessary.

Sincerely,

Thomas Willis
Treasurer
Sheboygan Athletic Club, Inc.



City of Sheboygan, Wisconsin

Transition Plan Executive Summary

Prepared by:
Accessibility Consultation and Training Services, Inc.

May 2019

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City of Sheboygan Executive Summary

The City of Sheboygan comes under Title II of the Americans with Disabilities Act (ADA) for State and Local Governments. The City of Sheboygan has the responsibility to provide equal and integrated access to its services, facilities, programs and activities for its residents and visitors with disabilities. To provide access, the City of Sheboygan must make reasonable modifications to policies and procedures as well as physical changes to the built environment.

In addition to the physical assessment, the development of policies and procedures for Service Animals, Other Power Driven Mobility Devices (OPDMD), and Effective Communication recommendations and examples have been provided. Additional details and information on the City of Sheboygan obligation under Title II can be found in the Appendices of this report. For the other policies and procedures noted see additional information on Service Animals, OPDMD, and Effective Communication in the Appendices as well.

The following comments are a summary of the City of Sheboygan accessibility evaluation and Transition Plan development for over 40 parks and facilities. Each public facility used for programs was reviewed for their compliance with the 2010 Americans with Disabilities Act Accessibility Guidelines (ADAAG), the Wisconsin Accessibility Code (WAC) and the ADA's proposed Outdoor Developed Area Guidelines. In addition, all elements were evaluated using Equivalent Facilitation standards (ADAAG 103) and Dimensional Tolerances (ADAAG 104.1.1).

In addition, a review of the District's policies and procedures was conducted. A formal policy and procedure manual has not been developed at this time. Included in this summary is an Inclusion Policy and Procedure draft for increasing participation of people with disabilities in your programs. Comments for this review and the accessibility issues noted are by using the standards developed for the Americans with Disabilities Act (ADA), findings from the Department of Justice and review of previous clients policy and procedures. The Transition Plan and policy and procedure review are working documents that should be continually reviewed and updated as changes are made.

Under Title II of the ADA, the regulations prohibit public entities such as the City of Sheboygan from discriminating against or excluding a person from programs, services or activities on the basis of disability. City of Sheboygan is responsible to meet the obligations of Title II of the ADA and assign a person as the ADA Coordinator. The ADA Coordinator is responsible to receive, review, and respond to questions and concerns expressed by a person with a disability related to access of the parks and programs. In addition, this person would be responsible to implement removal of access barriers recognized in the Transition Plan.

It should be noted that in existing facilities you are permitted to reassign a program from an inaccessible location to an accessible location (28 C.F.R. §35.150(a)(1);(b)(1)). Any facility built during the time the ADA was enforced is obligated to follow new construction standards and should be accessible. Also, the ADA requires that at a minimum one

accessible route be provided (ADAAG 206.2). However, each park, preserve, building, trail and facility has been reviewed for their accessibility including multiple entrances, features, elements, facilities etc. This is so that as the various areas are updated and changes are made, the access issues that exist can be corrected at that time.

Priority Parks and Facilities for Barrier Removal

The City of Sheboygan maintains over 40 parks and buildings. A variety of activities are available for residents and guests. Activities and facilities can vary from marina and senior centers, parks, ball fields, playgrounds, beaches, special event, disc golf, fishing and boating area, etc. There are activities for a variety of ages and interests. Besides the park amenities and facilities are the public buildings that a resident might need to enter to conduct some type of City business or maybe attend a meeting.

An overall review of the parks and facilities indicates the need for increased access of walkways especially in large parks and areas around water features. Parking spaces at most locations have issues related to slopes, striping, location and lack of signage. In reviewing the Wisconsin Accessibility Code, most spaces did not meet the spacing requirements for parking spaces and access aisles. This is considered by the ADA as the highest priority for removal of barriers and should be completed as soon as possible. The parking would then need to be tied into the accessible routes to the various park and facility elements. An accessible route did not connect several elements and features within the parks such as beaches, playgrounds, grills, and picnic tables and would also be a high priority for access. It should be noted that the grills and picnic tables are noted under a standard that has not been approved yet by the Access Board. However this would be considered best practices at this time.

Most park and the City Hall Annex restrooms have various accessibility violations such as doors too narrow, stalls too narrow, sinks not properly mounted and not providing pipe protection. These barriers make the restrooms inaccessible and unsafe to many people who use mobility devices. It should also be noted that the portable toilets did not have all the proper accessibility features to provide access by a person with a disability. Check with your vendor to make sure they are up to proper accessibility standards.

The public facilities such as the City Hall Annex would be a high priority for removal of their accessibility barriers while other places such as the firehouse; waste treatment plant and municipal buildings have limited public access and can accommodate people with disabilities until the barriers are finally removed.

The parks listed below are recommended to have a higher priority for removal of accessibility barriers. These parks and facilities are recommended because of their unique features, facilities, programs and locations throughout the City and location near the water. The intent of these recommendations is to assist the City in removing accessibility barriers that would have the highest impact for the most number of people. They include:

Cleveland Park	Deland Park	Ellwood H. May Environmental Park
Evergreen Park	Fountain Park	Harbor Center Marina
Indian Mound Park	Jaycee Quarry Park	King Park
Kiwanis Park	Lakeview Park	North Point Park
Optimist Park	Rammers Park	Rotary Riverview Park
Sheboygan Dog Park	Softball Complex	Veterans Park
Vollrath Park	Wildwood Baseball	

Planning Categories for Accessibility Barrier Removal

The following three categories are intended as a helpful tool for the removal of accessibility barriers. The categories include ongoing maintenance, Transition Plan implementation and capital projects. The issues and elements noted under each category are not intended as a definitive list but are a means to assist in the planning for and removal of accessibility barriers in a cohesive and cost effective manner. All items and elements are subject to a shorter replacement schedule if a request or complaint is made by a person with a disability to increase access to programs, services and activities that are offered.

Annual Maintenance or Review of Accessibility Issues

The following list is intended as items that are accessibility issues that are likely to occur each year. These accessibility issues could be removed and adjusted only once a year. In some cases, (such as playground surfaces, door force and timing, debris, etc.) consideration should be made to provide adjustments or removal more than once a year.

- Accessible route - removing debris or elements that have been placed in the accessible route and checking general surface conditions for replacement or re-coating including walkways, parking lots, curb ramps, gutters, etc.
- Branches protruding into walkways and sidewalks.
- Clear floor space and accessible routes – Make sure loose furniture or other loose items (trash cans, ash cans, etc.) do not interfere with accessible routes and clear floor spaces at sinks, toilets, door maneuvering spaces, bench and bleacher clear floor space.
- Door opening force or timing for closing (both exterior and interior doors).
- Exercise equipment's clear floor space.
- Parking spaces needing repainting especially the access aisles.
- Reach range of elements that may have been moved or remounted (brochure racks, soap dispensers, paper towel dispensers, comment boxes, dog disposal bags, etc.).
- Operable parts and replacements if broken (i.e. door and faucet hardware, switches, push buttons, door bells, play equipment handles, etc.)
- Playground engineered wood fiber maintenance.

Removal of Accessibility Barriers or Required Upgrades

The following list of elements could be items that are accessibility barriers noted in the Transition Plan. These are items that do not typically fall into annual maintenance or are a costly item that requires extensive planning or financial support to make the changes.

- Accessible routes that require modifications or replacement such as broken or uneven surfaces, filling gaps, grinding down abrupt transition, modifying slopes, etc.
- Assistive listening devices at assembly or meeting areas/rooms.
- Benches – In locker rooms, dressing rooms, outdoor benches, etc.
- Clear floor space at benches, bleachers, drinking fountains, sinks, telephones, etc.
- Clear swing hinges for widening door clear openings.
- Counter heights.
- Curb ramps and gutters.

- Detectable warnings.
- Door hardware replacement – lever hardware, loop hardware, etc.
- Door and shower thresholds.
- Drinking fountain adjustment or replacement.
- Edge protection at ramps.
- Grab bars – height adjustment, locations, replace with proper sized grab bars, etc.
- Handrails – installation, extensions, replacement, gripping surface, spacing, etc.
- Lockers – lower or raise shelf, lower or raise coat hooks, accessible door hardware, etc.
- Parking spaces – sign locations and heights, parking slopes, proper size of spaces, built-up curb ramps in access aisles, etc.
- Picnic tables of accessible designs, locations, percentages, etc.
- Playground – access to surface, access to elevated elements (transfer platform and/or ramps), ground level play equipment numbers.
- Pool – Lifts, zero depth or sloped entries, transfer systems and/or pool stairs.
- Protruding objects or elements.
- Reach range adjustments for various elements.
- Shower – seat, and grab bars installed.
- Signage – installed or remounting.
- Sink – accessible design/faucets, mounting heights, protective pipe wrap or cover, mounting locations.
- Stairs – tread nosing adjustments, closing open risers, stair surface, etc.
- Toilet – heights, locations, lever location, etc.
- Toilet paper – heights and locations.
- Toilet stall door – locations, hardware, self-closing, etc.
- Trail – slopes, surfacing, conditions, signage, etc. (Considered best practices at this point).
- Urinal – heights, clear floor space, flush control reach ranges, etc.

Capital Planning or Renovation Projects

In some cases projects may require extensive planning or significant capital to remove the accessibility issues. Some parts of elements or accessibility barriers in these areas maybe removed or adjusted to increase access until the time of the major renovation. Other issues may require moving of walls, plumbing, openings, etc. to provide the access.

- Bleacher replacements
- Automatic door openers
- Door clear maneuvering or clear openings
- Elevator
- Playground replacement – This can include requirements to access elevated play components reflected in the Transition Plan.
- Ramp upgrades/replacement/installation
- Shower – upgrades or redesign.
- Stair upgrades/replacement
- Toilet rooms/stalls reconfiguration for spacing

Policies and Procedures Review for City of Sheboygan

The review of policies and procedures is being conducted in accordance with the Americans with Disabilities Act (ADA). The ADA requires all public entities to review their policies and procedures to determine if any discriminate against a person with a disability participating in their programming. Integration and inclusion of people with disabilities within a program is a fundamental principle of the ADA (28 C.F.R. §35.130(a)).

A public entity's programs, services and activities cannot be offered if it is not equal to or not as effective as what is provided to others. In addition, no eligibility criteria for participation in a program can not be used to screen out people with disabilities either directly or indirectly unless the criteria is necessary for the program's activity. The intent is to provide equal access to all programs offered by the City of Sheboygan (28 C.F.R. §35.130(b)(1)(i)-(iv),(vii)).

The Carol Stream Park District's programs, services and activities can make reasonable modifications to policies and procedures to avoid discrimination to a person with a disability. A modification is not required if it would fundamentally change the nature of the program or activity. In addition, it would not be required to be changed if it would cause a direct threat to that person or other participants. (28 C.F.R. §35.104, 28 C.F.R. §35.130(b)(7), 28 C.F.R. §35.150(a)(3)) and 28 C.F.R. §36.208).

No surcharges can be charged by the public entity to cover the cost of effective communication, program modifications or access features and they may not impose any additional requirements or burdens on people with disabilities that they do not require of all participants in the program (28 C.F.R. §35.130(f)).

All programs must be offered in as integrated a setting as possible. Separate programs and activities are permitted only when this design ensures equal opportunity for a person with a disability. When a separate program is offered, qualified individuals with a disability cannot be excluded from participating in regular programs if they choose to do so (28 C.F.R. §35.130(b)(2);(d)).

When the public entity contracts with another organization to provide programs and services to the entity's constituents, the public entity must ensure that, the contractor provides services and activities in a nondiscriminatory manner that are consistent with the requirements of Title II of the ADA (28 C.F.R. §35.151(Preamble)).

In relationship to contractors, the public entity cannot discriminate against a company that employs a person with a disability. The acceptance or non-acceptance of a company must be determined by their qualifications only (28 C.F.R. §35.130(b)(5)).

The City of Sheboygan must designate a person as the ADA Coordinator. This person is responsible to continue the barrier removal process by determining an approximate date for removal and recording when changes have been made. In addition, they are available to answer questions or concerns by the public related to accessibility issues.

Their contact information should be provided on the website and printed materials such as your brochure.

Website Accessibility

Although the actual recommended guidelines for website accessibility are not yet law, the Justice Project Civic Access is citing web accessibility in its settlement agreements. Using these agreements as a guide, we would recommend the following for web accessibility.

1. Designate an employee as the web accessibility coordinator who will be responsible for coordinating website compliance. The web accessibility coordinator should have experience with the requirements of Title II of the ADA, the Web Content Accessibility Guidelines (WCAG) version 2.0, and website accessibility generally. The unique environment of the world wide web mandates specific skill, language and protocols, so it is recommended to have a trained ADA Coordinator for this purpose.
2. Adopt, implement, and post online a policy that its web pages will comply with WCAG 2.0 AA, published by the World Wide Web Consortium (W3C), Web Accessibility Initiative (WAI), available at www.w3.org/TR/WCAG.
3. Distribute the policy to all employees and contractors who design, develop, maintain, or otherwise have responsibility for its websites, or provide website content, technical support, or customer service.
4. Provide training to website content personnel on how to conform all web content and services with, at minimum, WCAG 2.0 AA.
5. Assess all existing web content and online services for conformance with, at minimum, WCAG 2.0 AA, by:
 - a. performing automated accessibility tests of its website and all online services, using an automated tool approved by the United States, to identify any accessibility barriers.
 - b. enlisting individuals with different disabilities, including at a minimum individuals who are blind, deaf, and have physical disabilities (such as those limiting the ability to use a mouse), to test its pages for ease of use and accessibility barriers.
6. Provide a notice, prominently and directly linked from the homepage, instructing visitors to its websites on how to request accessible information. The link should provide several methods to request accessible information, including an accessible form to submit feedback, an email address, and a phone number (with TTY) to contact personnel knowledgeable about the accessibility of the website.
7. Provide a notice, prominently and directly linked from the homepage, soliciting feedback from visitors to its websites on how to improve website accessibility. The link should provide several methods to provide feedback, including an accessible form to submit feedback, an email address, and a phone number (with TTY) to contact personnel knowledgeable about the accessibility of the website.
8. Your entity may rely on third parties for some of their website infrastructure such as scheduling. You must ensure that your websites and all online services, including those websites or online services provided by third parties upon which

members of the public participate in or benefit from services, programs, or activities, comply with, at minimum, WCAG 2.0 AA.

Communication

- Provide materials in alternate formats. If the materials such as a registration form is not provided on the website, provide large print versions for a person with limited sight to fill out.
- Provide qualified sign language interpreters at all public meetings. Gather a list of sign language interpreters for programs as needed.
- Assistive listening devices should be available for any public meetings or programs. A portable unit would be usable in various locations and situations.
- Provide Braille versions of information.
- Provide general information of programs on a disk for a person to access at home.
- Purchase a TTY system at your main phone. Include the TTY number in all your publications.
- Provide pad of paper at all public locations if communication by writing is the only means at the moment.

Brochure and Registration

- Provide in all brochures your efforts to comply with the Americans with Disabilities Act (ADA). Include information to encourage their comments and suggestions.
- Provide contact information for the person responsible as the ADA Coordinator for the Carol Stream Park District.
- For the dog policy, see separate information on service animals.

Parks and Facilities

- Locate all loose items away from all clear floor spaces. Provide trash cans, picnic tables, benches, etc. along accessible routes. Some items may also need additional access features such as a concrete pad underneath them or to a side.
- Train janitorial staff to place all loose items in restrooms such as garbage cans away from the clear floor space requirements of sinks, hand dryers, paper towel dispensers, soap dispensers, etc.
- Provide a regular schedule to trim all trees and bushes from protruding into an accessible route.
- A minimum of once a week regrading of engineered wood fiber in playgrounds and other locations to keep the surface accessible.
- Provide a service dog policy to allow qualified dogs to attend programs with their owners. See separate information on service animals. Evaluate all locations and programs to determine if a service animal may not be appropriate.
- Have all construction contracts noted to meet all code requirements of the Americans with Disabilities Act Accessibility Guidelines (ADAAG).
- Note in all construction documents that the cross slope not exceed 2%.

- When ordering portable accessible toilets, make sure the supplier has accessible toilets that meet all the new ADA Accessibility Guideline (ADAAG) requirements.
- Make sure the portable toilet supplier delivers them to an accessible site including surface and accessible route.

Staff Training and Development

- Provide in all staff manuals information on appropriate and inappropriate language to use for a person with a disability.
- Discontinue in all manuals, handouts and website the use of the word “handicapped”. Use person first language, i.e. a person with a physical disability, Jill with a hearing impairment, etc.
- Provide disability awareness trainings for staff.

Transportation

- If the public entity, such as a park district, provides transportation, then an accessible vehicle must be available if a request is made.
- If renting transportation, determine that the company has available accessible vehicles if necessary when requested by a participant.
- Option: Providing a policy to rent only accessible vehicles ensure that accessibility is provided.

Priorities Explanation

The following is an overview of the elements that may need to be modified for accessibility and the recommended order noted in the preamble of the Americans with Disabilities Act.

Priority 1 (Highest Priority) From parking up to and through a door of a building or up to specific area (Such as a picnic shelter, playground, building entrance, etc.)

- Removal of barriers to elements such as or related to a parking, sidewalks, drop-off areas, accessible routes, curb ramps, surfaces, ramps, stairs, protruding objects, doors, entrances, etc.

Priority 2 (From entrance of a building to different elements within the structure or within a specific area (such as a building's rooms, playground, garden, golf course, etc.).

- Removal of barriers to elements such as or related to accessible routes, protruding objects, ground and floor surfaces, ramps, stairs, lifts, elevators, signage, doors and entrances.

Priority 3 (Within a restroom and shower area)

- Removal of barriers such as or related to accessible routes, water closet, toilet stalls, urinals, lavatories, shower stalls, toilet rooms, handrails, sinks and signage.

Priority 4 (Lowest Priority) (Elements not critical to participating in a program but noted in the Americans with Disabilities Act Accessibility Guidelines (ADAAG))

- Removal of barriers to elements such as or related to mirrors, drinking fountains, telephones, etc.

Accommodations Language for Registration Forms, Brochures, Website

ADA Statement City of Sheboygan

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 (ADA), the City of Sheboygan will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs or activities. If you feel that you or someone you know has been discriminated against or you have a recommendation on increasing accessibility of the Park District's services, programs and activities please contact the ADA Coordinator at (630) 784-6163; TTY 7-1-1 to discuss this items further. Concerns can also be emailed to:
ADAcoordinator@yourorganization.org

Reasonable Accommodation Statement

The City of Sheboygan is committed to accessibility to all individuals with disabilities and strives to comply with the 1990 Americans with Disabilities Act (ADA) through equal and integrated participation. Please advise City of Sheboygan of any special assistance, accommodations, auxiliary aids or services we can provide for you to participate in our programs, activities, services, meeting, etc. Please indicate your reasonable accommodation needs in the space provided below or contact the ADA Coordinator at (630) 784-6163; TTY 7-1-1 or ADAcoordinat@yourorganization.org to discuss your accessibility needs. We ask your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours before the event the City of Sheboygan will make a good faith effort to accommodate your request.

City of Sheboygan Grievance Procedure Example

Grievance Procedure under The Americans with Disabilities Act (ADA)

This Grievance Procedure is established by the City of Sheboygan to meet the requirements of the Americans with Disabilities Act of 1990 ("ADA"). It may be used by anyone who wishes to file a complaint alleging discrimination on the basis of disability in the provision of services, activities, programs, or benefits by the Carol Stream Park District. The Carol Stream Park District's Personnel Policy governs employment-related complaints of disability discrimination.

1. The complaint should be in writing and contain information about the alleged discrimination such as name, address, phone number of complainant and location, date, and description of the problem. Alternative means of filing complaints, such as personal interviews or a tape recording of the complaint, will be made available for persons with disabilities upon request.
2. The complaint should be submitted by the grievant and/or his/her designee as soon as possible but no later than 60 calendar days after the alleged violation to _____
3. Within 15 calendar days after receipt of the complaint, the ADA Coordinator or his/her designee will meet with the complainant to discuss the complaint and the possible resolutions. Within 15 calendar days of the meeting, the ADA Coordinator or his/her designee will respond in writing, and where appropriate, in a format accessible to the complainant, such as large print, Braille, or audiotape. The response will explain the position of the City of Sheboygan and offer options for substantive resolution of the complaint.
4. If the response by the ADA Coordinator or his/her designee does not satisfactorily resolve the issue, the complainant and/or his/her designee may appeal the decision within 15 calendar days after receipt of the response to the Park District's Executive office or his/her designee.
5. Within 15 calendar days after receipt of the appeal, the City of Sheboygan Manager's office or his/her designee will meet with the complainant to discuss the complaint and possible resolutions. Within 15 calendar days after the meeting, the City Executive's office or his designee will respond in writing, and, where appropriate, in a format accessible to the complainant, with a final resolution of the complaint.
6. All written complaints received by the ADA Coordinator or his/her designee, to the Carol Stream Park District's Executive office or his/her designee and the responses from those two offices will be retained by the City of Sheboygan for at least three years.
7. The right of a person to prompt and equitable resolution of the complaint filed hereunder shall not be impaired by the person's pursuit of other remedies such as filing of an ADA complaint with the responsible federal department or agency. Use of this grievance procedure is not prerequisite to the pursuit of other remedies.

City Official

Other Power-Driven Mobility Device Policy

Use of Other Power Driven Mobility Devices (OPDMD) on City of Sheboygan Property

The City of Sheboygan is dedicated to providing all of its guests with equal access to its features and amenities. The City of Sheboygan has taken into consideration the use of other power-driven mobility devices in accordance with 28 Code of Federal Regulations section 35.104 and factors such as impacts on other users, the safety of other users, impacts on property and infrastructure, and the noise level of such devices. The City has determined that it will permit the use of other power driven mobility devices ("OPDMDs"), as defined below, at parks, on hard surface trails, sidewalks and City facilities, and has developed this policy.

Definition: An other power driven mobility device (OPDMD) is a device used by a person with a mobility disability. This definition does **not** include gasoline powered devices or vehicles, golf carts, or riding lawn mowers. This definition is restricted to a device with the following specifications:

- a) Must not exceed more than one-half the width of any trail, path or sidewalk on which a device is being used; and
- b) For indoor use, must not exceed 36"; and
- c) Must not weigh more than 250 pounds; and
- d) Must be designed to travel on two or more low-pressure tires; and
- e) Must operate by electric powered engine with a maximum decibel level of 55 or less.

Permission: In order to maintain a safe pedestrian environment and the desired pace and flow of visitor traffic, the City of Sheboygan authorizes persons with mobility impairments to use OPDMDs at parks, on hard surface trails and at City of Sheboygan facilities, subject to the following restrictions:

1. The operator of the OPDMD must be a person with a mobility or physical impairment, and proof of such impairment may be requested by City of Sheboygan personnel in accordance with ADA regulations;
2. The OPDMD is allowed only in areas of the park, hard surface trail or City of Sheboygan facilities in which the general public is allowed.
3. The OPDMD operator must not use or operate such a device at a park, on a hard surface trail, or at City of Sheboygan facilities if use of the device causes damage to the trail/path/sidewalk, the park grounds or infrastructure, or City facilities.
4. The OPDMD must be operated at a speed that is relative to surrounding foot traffic.
5. The OPDMD:
 - a. Must not be operated in a dangerous or reckless manner or at speeds that jeopardize the safety of the operator, or other persons.
 - b. Must not be driven into wet or ecologically sensitive or hazardous areas.
 - c. Must not be operated when parks or City of Sheboygan facilities are not in operation.
6. The City of Sheboygan does recognize the use of Segways® as an appropriate device for use inside City facilities unless for the following reasons:
 - a. The congestion of foot traffic within the facility may create a hazardous environment.
 - b. The manufacturer's recommendation for helmet and protective equipment for riders, much like bicycles, skateboards and rollerblades must be followed.
7. The City of Sheboygan does not accept responsibility for storage of the OPDMD
8. The City of Sheboygan does not accept responsibility or is held liable for damage to the OPDMD, or injury to the operator, whether caused by the operator, another visitor to a facility or site, or any other circumstance.
9. The City of Sheboygan reserves the right to suspend the use of facilities or sites by the OPDMD operator if doing so is in the best interests of the City of Sheboygan and its participants.
10. The City of Sheboygan reserves the right to change, modify, or amend this policy at any time, as it deems appropriate.

Service Animal Policy

Use of Service Animals at City of Sheboygan Parks and Facilities

In accordance with the Americans with Disabilities Act (ADA) as of March 15, 2010, the City of Sheboygan allows service animals to access most public areas within its property. For additional information on service animals go to the Justice website www.ada.gov for a fact sheet on service animals.

Definition: Service animals are defined as dogs that are individually trained to do work or perform tasks for people with disabilities. Examples of such work or tasks include guiding people who are blind, alerting people who are deaf, pulling a wheelchair, alerting and protecting a person who is having a seizure, reminding a person with mental illness to take prescribed medications, calming a person with Post Traumatic Stress Disorder (PTSD) during an anxiety attack, or performing other duties. Service animals are working animals, not pets. The work or task a dog has been trained to provide must be directly related to the person's disability. Dogs whose sole function is to provide comfort or emotional support do not qualify as service animals under the ADA.

Please Note: Miniature horse, with a general range in height of 24" to 34" and a weight between 70 lbs. and 100 lbs. are an alternate service animal to dogs. The horses are permitted if 1) the horse is house broken, 2) the horse is under control of the owner, 3) the facility can accommodate the horse's type, size and weight, 4) and their presence does not compromise legitimate safety requirements for safe operations of the facility.

Staff Members Can Ask Two Questions to Determine if a Dog or Horse is a Service Animal

- 1) Is the dog (or horse) a service animal required because of a disability?
- 2) If yes, then what is the work or task the service animal has been trained to perform?

Permission:

A service animal is permitted in most public areas of City of Sheboygan parks and facilities property UNLESS one of two exceptions is met: (1) The animal is out of control and the animal's handler does not take effective action to control it; or (2) The animal is not house-broken.

A service animal shall have a harness, leash, or other tether, unless either the handler is unable because of a disability to use a harness, leash or other tether, or the use of a harness, leash or tether would interfere with the service animal's safe, effective performance of work tasks, in which case the service animal must be otherwise under the handler's control (e.g. voice controls, signals or other effective means).

Service animals are permitted in locker rooms, but not indoor shower facilities. (For assistance in shower facilities, please alert the City of Sheboygan staff.)

Service animals must be in their official roles and under control at all times.

The City of Sheboygan reserves the right to change, modify or amend this policy at any time as it deems appropriate.

Appendices

Additional Federal Information

Justice ADA State and Local Governments

Justice ADA - Wheelchairs, Mobility Aids & Other Power Driven Mobility

Justice ADA Requirements - Service Animals

Justice ADA Requirements - Effective Communication

Justice ADA Requirements - Accessible Pools Means of Entry and Exit

ADA Analysis

Facility Name	Facility Sub Name	Photos	Barrier	ADAAG/WAC	Solution	Priority	Projected Cost	First Action	Completed Date	Action Taken
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The curb ramp at Center and Broughton has slopes too high at 11.5% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$ 2,100.00			
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The curb ramp at Center and Broughton does not provide a level landing at the top of the curb ramps.	ADAAG 406 & ADAAG 406.4	Provide a landing at the top of the curb ramp that is 2% in all directions and a length that is a minimum 36 inches.	1	\$ 475.00			
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The curb ramp at Broughton and Pennsylvania has slopes too high at 9.5%.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter.	1	\$ 1,650.00			
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The sidewalk along Pennsylvania has surface issues for 20 feet.	ADAAG 403.1	Remove and provide a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$ 2,000.00			
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The sidewalk before the driveway there is an abrupt transition of 3/4 inch and broken section.	ADAAG 303	Replace section of sidewalk to provide a smooth transition.	1	\$ 475.00			
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The surface from the driveway to the corner has surface issues for 120 feet.	ADAAG 403.1	Remove and provide a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$ 12,000.00			
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The curb ramps at Pennsylvania and 4th has slopes too high at 12.2% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$ 2,100.00			
Armory		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The sidewalk along 4th Street surface issues for 320 feet.	ADAAG 403.1	Remove and provide a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$ 32,000.00			

ADA Analysis

Armory	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The curb ramp at 4th and Center does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	525.00
Armory	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Armory\Armory Photos	The sidewalk from the corner of 4th and Center cross slope is too steep up to 5.2% for 114 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	11,400.00
Blue Harbor Park	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	There are three picnic table one is of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface (\$1,050).	2	\$	1,835.00
Blue Harbor Park	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	The accessible picnic table does not provide enough knee clearance at 24 1/2 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Raise this table or provide another picnic table to meet these standards.	2	\$	785.00
Blue Harbor Park	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	The grill is not on an accessible route for 50 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	1,750.00
Blue Harbor Park	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	The grill is mounted too high at 44 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	400.00
Blue Harbor Park	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	The grill does not provide an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Blue Harbor Park	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	The sidewalk along the parking lot heading toward the restroom has there is an abrupt transition of 3/4 inch AFF.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00

ADA Analysis

Blue Harbor Park		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	The sidewalk along the parking lot heading toward the restrooms has a cross slope that is too steep at up to 5.1% for 36 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,600.00
Blue Harbor Park		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Blue Harbor Park\Blue Harbor Photos	The walkway that parallels the river walk has a cross slope that is too steep at up to 6% for 134 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	13,400.00
City Hall Annex Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The parking space is only a 8 foot wide parking space and only an 8 foot wide access aisle.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
City Hall Annex Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The walkway from the parking to the door has a cross slope that is too steep at up to 3.3% for 20 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,000.00
City Hall Annex Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The City Hall Annex main door does not provide a level landing with a slope of 4.5%.	ADAAG 404.2.4.4	Provide a minimum 5 foot (60 inches) level landing of no more than 2% in all directions at the door. Provide a smooth transition to the door threshold.	1	\$	850.00
City Hall Annex Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The men's restroom does not provide an accessible sign and is located on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	175.00
City Hall Annex Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The men's restroom door had an opening force too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
City Hall Annex Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	There is no clear maneuvering space on either side of the men's restroom door.	ADAAG 404.3	Install an automatic door opener with push button activators on each side of the door at a height no higher than 48 inches and outside the swing of the door.	3	\$	3,120.00

ADA Analysis

City Hall Annex Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The men's restroom does not provide an accessible stall and the toilet is mounted too low at 15 inches.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,500.00
City Hall Annex Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
City Hall Annex Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The men's restroom paper towel dispenser is in the clear floor space of the sink.	ADAAG 307	Provide a detectable barrier or relocate the paper towel dispenser to be above the sink.	3	\$	260.00
City Hall Annex Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The men's restroom sink is mounted too low at knee clearance of 24 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	1,950.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom does not provide an accessible sign and is located on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	175.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom accessible stall toilet is mounted too far from the wall at a centerline of 19 inches.	ADAAG 604.2	Relocate the toilet with a offset drain to provide a centerline 16 inches to 18 inches from the wall.	3	\$	1,600.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom accessible stall toilet is mounted too low at 15 inches AFF.	ADAAG 604.4	Provide a toilet with height at 17 inches to 19 inches to the top of the toilet seat.	3	\$	1,650.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom side grab bar on the wall is mounted too high at 39 inches AFF. The other grab bar next to the sink does not meet code and would need to be removed.	ADAAG 604.5.1	Relocate the side grab bar to be 12 inches from the corner. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	150.00

ADA Analysis

City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom accessible stall does not provide a rear grab bar.	ADAAG 604.5.2 & ADAAG 609	Provide a rear grab bar a minimum of 36 inches long mounted 12 inches from the centerline of the toilet to the corner and 24 inches from the centerline to the open side of the toilet. The grab bar should be mounted 33 inches to 36 inches AFF to the top of the grab bar.	3	\$	175.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom feminine product disposal is mounted too far from the toilet at 45 inches.	ADAAG 308	Relocate the feminine napkin disposal to be no more than 9 inches maximum in front of the toilet if mounted on the sidewall or no more than 20 inches from the toilet if mounted on the back wall. The feminine napkin disposal should be mounted no higher than 48 inches on either wall.	4	\$	100.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom sink is mounted too low at knee clearance of 24 inches.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	1,950.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The women's restroom paper towel dispenser is mounted too high at 60 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	150.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The drinking fountain provided is wheelchair access only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	The mats at the entrance door are too light.	ADAAG 302.2	Provide a mat with a heavier backing or tape the mat to the floor.	1	\$	150.00

ADA Analysis

City Hall Annex Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\City Hall Annex\City Hall Annex Photos	An accessible space is noted at the back door. The total parking spaces for this lot is 19 and would only require the one space at the front entrance. If required for an employee then properly mark the space including an sign at the head of the space.	WAC 346.503	Mark out the wheelchair symbol and the access aisle line markings. If required for an employee then see WAC 346.503 for details.	1	\$	100.00
Cleveland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos	The drinking fountain protrudes into the accessible route.	ADAAG 403.5.1	Widen the sidewalk to provide a clear accessible route outside of the drinking that is a minimum 36 inches wide but can narrow down to 32 inches but for no more than 24 inches. The drinking fountain should provide a minimum clear floor space. See ADAAG 305 for details.	1	\$	500.00
Cleveland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos	The drinking fountain is a wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
Cleveland Park Transition Plan	Men's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The men's restroom door closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Cleveland Park Transition Plan	Men's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Cleveland Park Transition Plan	Men's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The men's restroom hand dryer protrudes into the accessible route.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00

ADA Analysis

Cleveland Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The women's restroom door closes too quickly at 2 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Cleveland Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The women's restroom does not provide a protective cover on the shut-offs.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Cleveland Park Transition Plan	Men's Restroom By Basketball Courts	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The men's restroom by the basketball court has an opening force too high at 14 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Cleveland Park Transition Plan	Men's Restroom By Basketball Courts	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The men's restroom by the basketball court has a rear grab bar with a centerline of only 11 inches into the corner.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Cleveland Park Transition Plan	Women's Restroom By Basketball Courts	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The women's restroom by the basketball court has an opening force too high at 12 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Cleveland Park Transition Plan	Women's Restroom By Basketball Courts	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The women's restroom by the basketball court has a rear grab bar with a centerline of only 11 inches into the corner.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Cleveland Park Transition Plan	Women's Restroom By Basketball Courts	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	The women's restroom by the basketball court sink does not provide protective covers on the shut-offs.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Cleveland Park Transition Plan	Women's Restroom By Basketball Courts	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park - Bathroom\Photos	There is no accessible route provided to the basketball court for 25 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	875.00

ADA Analysis

Cleveland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide <u>ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</u></p>	<p>There are 11 picnic tables provided but none are of an accessible design.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011</p>	<p>Picnic Table Recommendation: At least 20% of picnic tables should be of an accessible design, connected to an accessible route. Relocate or purchase three accessible picnic tables (\$785/each) and locate them on an accessible surface.</p>	2	\$	2,355.00
Cleveland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide <u>ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</u></p>	<p>There is no accessible route provided from the pavilion to the playground for 96 feet.</p>	ADAAG 403	<p>Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.</p>	2	\$	3,375.00
Cleveland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide <u>ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</u></p>	<p>The sand component does not provide a transfer system or play elements.</p>	ADAAG 240.2 & ADAAG 1008.4.3	<p>Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area. Option: Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.</p>	2	\$	2,080.00
Cleveland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide <u>ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</u></p>	<p>The group rocker is mounted too high at 29 inches AFF.</p>	ADAAG 1008.4.4	<p>Re-set the rocker further into the ground so the seat height is between 11 inches minimum to 24 inches maximum. An height of 18 inches AFF is recommended.</p>	2	\$	550.00
Cleveland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide <u>ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</u></p>	<p>The animal rockers are mounted too high at 29 inches AFF.</p>	ADAAG 1008.4.4	<p>Re-set at least one rocker further into the ground so the seat height is between 11 inches minimum to 24 inches maximum. An height of 18 inches AFF is recommended.</p>	2	\$	550.00
Cleveland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide <u>ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</u></p>	<p>The transfer platform is too high at 23 inches AFF.</p>	ADAAG 1008.3.1.2	<p>Regrade or provide additional engineered wood fiber to provide a transfer platform height between 11 inches AFF to 18 inches AFF. Provide a regular maintenance of this surface.</p>	2	\$	100.00
Cleveland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide <u>ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</u></p>	<p>The swings are too high at 25 inches AFF.</p>	ADAAG 1008.4.4	<p>Provide a regular maintenance to the play surface to provide a seat less than 24 inches off the ground and a slope under the swings no greater than 2%. Consider a mat under the swing to prevent kick-out of surface material. An accessible swing with a seat would be recommended at some point.</p>	2	\$	100.00

ADA Analysis

Cleveland Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The standing spinner has surface slopes too high at 16.5%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	105.00
Cleveland Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The red standing spinner has surface slopes too high at 14.7%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	105.00
Cleveland Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The tall skinny standing spinners have slopes too high up to 21%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	210.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The walkway along Cleveland heading west has a cross slope that is too steep at up to 7.4% for 475 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	47,500.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The east curb ramp at Cleveland and 24th has slopes too high at 11% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The west curb ramp at Cleveland and 24th has slopes too high at 14.3% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The curb ramps at the corner of Cleveland and 25th do not provide a level landing with slopes up to 5.8%.	ADAAG 406 & ADAAG 406.4	Provide a landing at the top of the curb ramp that is 2% in all directions and a length that is a minimum 36 inches.	1	\$	475.00

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Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The curb ramps at the corner of Cleveland and 25th does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The sidewalk along 25th has a cross slope that is too steep at up to 5.6% for 393 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	39,300.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The west curb ramp at 25th and Geele has slopes too high at 9.4%, a 1 inch abrupt transition and no truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The north curb ramp at 25th and Geele has a cross slope too high at 3.7% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The curb ramps at the corner of Geele and 25th do not provide a level landing with slopes up to 4.7%.	ADAAG 406 & ADAAG 406.4	Provide a landing at the top of the curb ramp that is 2% in all directions and a length that is a minimum 36 inches.	1	\$	475.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The sidewalk along Geele heading east has a cross slope that is too steep at up to 3.7% for 15 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	1,500.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The sidewalk along Geele from about the mid street cross walks has a cross slope that is too steep at up to 6.9% for 130 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	13,000.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	At the west curb ramp for Geele and 24th there is an abrupt transition of 1 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Cleveland Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos</p>	The west curb ramp at 24th and Geele does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00

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Cleveland Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cleveland Park\Cleveland Park Photos	The east curb ramp for Geele and 24th has slopes too high at 10.5% and does not provide truncated domes.	ADAAG 406		1	\$	2,100.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos	The west entrance has a sunken section of walkway.	ADAAG 403		1	\$	150.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos	The walkway toward the southwest corner and at the light pole has a cross slope too steep at up to 5.6% for 125 feet.	ADAAG 403.3		1	\$	4,750.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos	There is no accessible route provided to the playground for 10 feet.	ADAAG 403		1	\$	375.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos	There is no accessible route provide to the bench at the playground for 7 feet.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011		2	\$	250.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos	The bench at the playground does not provide a companion seating space.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011		2	\$	315.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos	The playground does not provide a proper size transfer system.	ADAAG 1008.3.2		2	\$	2,080.00

ADA Analysis

Cole Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos</p>	The slope at the rockers is too steep at 7%.	ADAAG 1008.4.4	Re-set at least one spring rider further into the ground so the seat height is between 11 inches minimum to 24 inches maximum. An height of 18 inches AFF is recommended.	2	\$	575.00
Cole Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos</p>	The swings are mounted too high at 28 inches AFF and 28 1/2 inches AFF.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the swing. Provide swings no higher than 24 inches above the playground surface. An accessible swing with a seat would be recommended at some point. UD - Consider a mat under the swings to prevent a kick-out of the surface material.	2	\$	105.00
Cole Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos</p>	The sand area does not provide an accessible features or transfer system to the sand surface.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area. Option: Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.	2	\$	2,080.00
Cole Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos</p>	There is no accessible route provided to the picnic shelter for 6 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	225.00
Cole Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos</p>	There are 4 picnic tables provided but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00
Cole Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Cole Park\Photos</p>	There is no accessible route to the grill for 6 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	225.00

ADA Analysis

Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The grill does not provide an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The grill is mounted too high at 38 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	415.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The bench near the east entrance is not on an accessible route for 14 feet.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the companion seating of the bench.	2	\$	525.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The bench near the east entrance does not provide a companion seating space.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	315.00
Cole Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The running slope at the east entrance into the park is too steep at up to 12.3% for 11 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 28 feet.	1	\$	1,624.00
Cole Park Transition Plan	West Sidewalk on Northside	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	There is an uneven section of sidewalk from tree roots for 19 feet.	ADAAG 403.3	Remove and regrade section including roots to provide a cross slope no greater than 2%.	1	\$	1,900.00
Cole Park Transition Plan	West Sidewalk on Northside	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The curb ramp near the park sign has a running slope too steep at up to 17.1% and no truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Cole Park Transition Plan	West Sidewalk on Northside	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The curb ramp near the fire hydrant has a running slope too steep at up to 15.1% and no truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Cole Park Transition Plan	West Sidewalk on Northside	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The cross slope of the sidewalk near the end of the park is too steep at up to 4.5% for 57 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	5,700.00

ADA Analysis

Cole Park Transition Plan	East Sidewalk	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	The cross slope of the sidewalk near the bus stop is too steep at up to 4.1% for 32 feet and also has a gap too wide at 3 inches near the bus shelter.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,200.00
Cole Park Transition Plan	East Sidewalk	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Cole Park\Photos	A section of the sidewalk near the end of the park is broken and uneven.	ADAAG 303	Replace section of sidewalk to provide a smooth transition and a cross slope no steeper than 2%.	1	\$	500.00
Deland Home Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	There is no accessible route from the side walk for 270 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	1	\$	10,250.00
Deland Home Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The grills are not on an accessible route.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	830.00
Deland Home Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The grills do not provide an accessible surface.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	1,000.00
Deland Home Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	There are 8 picnic tables provided but no are of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Relocate or purchase two accessible picnic tables and locate them on an accessible surface.	2	\$	1,570.00
Deland Home Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The outside entrance door is too narrow at 29 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	1	\$	2,080.00
Deland Home Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The outside entrance door has a 7 1/2 inch step to enter.	ADAAG 406 & ADAAG 404.2.4.4	Provide a built-up curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2%. Connect this to a level landing at the door that is 5 foot and not steeper than 2% in all directions.	1	\$	2,080.00

ADA Analysis

Deland Home Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The back doors toward the beach are too narrow for each leaf.	ADAAG 404.2.2	Remove and replace doors with at least one door leaf that provide a clear opening of 32 inches minimum. Option: consider an automatic door that opens both door leaves at the same time.	2	\$	3,120.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom door has an opening force too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom does not provide accessible signage.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom door is too narrow at 27 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom mirror is too high at 57 1/2 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom towels are mounted too high at 62 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	155.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom the women's restroom sink is mounted too low at 24 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00

ADA Analysis

Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The women's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The coat hooks are mounted too high at 72 inches AFF.	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hooks, but not less than one, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Consider adding additional coat hooks at the lower height.	4	\$	210.00
Deland Home Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The threshold into the men's restrooms is too high at 3/4 inches.	ADAAG 404.2.5	Provide a threshold at the doorway that is no more than 1/2 inches high and beveled at a 1:2 slope. Option: This threshold does not see necessary, consider removing it.	1	\$	235.00
Deland Home Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The men's restroom door is too narrow at 27 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00
Deland Home Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Home\Photos	The men's restroom does not have an accessible sign.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

ADA Analysis

Deland Home Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Home\Photos	The men's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent urinal and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Deland Home Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Home\Photos	The men's restroom sink is mounted too low at 26 inches knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Deland Home Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Home\Photos	The men's restroom sink does not provide protective pipe wrapping.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Deland Home Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Home\Photos	The men's restroom sink faucet is not accessible.	ADAAG 606.4	Provide a lever-operated, push-type or electronically controlled faucet. Self-closing faucets should remain open for at least 10 seconds. Push-type or lever-operated faucets should require not more than 5 lbs. to operate.	3	\$	625.00
Deland Home Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Home\Photos	The men's restroom towel dispenser is mounted too high at 62 3/4 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	155.00

ADA Analysis

Deland Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p> <p>The parking space near the Community Center building has an access aisle only 5 feet.</p>	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	100.00
Deland Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p> <p>The two parking spaces are slopes too steep at 4.1%.</p>	WAC 346.503	Regrade the parking spaces to be no steeper than 2% in all directions.	1	\$	2,100.00
Deland Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p> <p>There is no proper accessible route provided to the Community Center for 30 feet.</p>	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,150.00
Deland Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p> <p>The drinking fountain at the Community Center is wheelchair height only.</p>	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Deland Park Transition Plan	Men's Restroom Exterior Community Center	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p> <p>The Community Center's men's restroom does not provide a level landing with a slope of 3.1% at the door.</p>	ADAAG 404.2.4.4	Provide a minimum 5 foot (60 inches) level landing of no more than 2% in all directions at the door. Provide a smooth transition to the door threshold and walkway.	3	\$	885.00
Deland Park Transition Plan	Men's Restroom Exterior Community Center	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p> <p>The Community Center's men's restroom sign is mounted on the door.</p>	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

ADA Analysis

Deland Park Transition Plan	Men's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's men's restroom door has an opening force too high at 10 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Deland Park Transition Plan	Men's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Deland Park Transition Plan	Men's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers men's restroom hand dryer protrudes into the clear floor space of the sink.	ADAAG 307	Move the hand dryer to above the sink counter.	1	\$	625.00
Deland Park Transition Plan	Women's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's women's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Deland Park Transition Plan	Women's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's women's restroom door has an opening force too high at 10 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Deland Park Transition Plan	Women's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers women's restroom has a toilet paper dispenser only 7 inches above the grab bar.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do no mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Deland Park Transition Plan	Women's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00

ADA Analysis

Deland Park Transition Plan	Women's Restroom Exterior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers women's restroom hand dryer protrudes into the clear floor space of the sink.	ADAAG 307	Move the hand dryer to above the sink counter.	1	\$	625.00
Deland Park Transition Plan	Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's exterior door has an opening force too high at 13 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Deland Park Transition Plan	Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's interior door has an opening force too high at 13 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Deland Park Transition Plan	Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Center's hangers are mounted too high at 54 1/2 inches AFF.	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.	4	\$	210.00
Deland Park Transition Plan	Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers drinking fountain is a standing height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance . Option: provide a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Deland Park Transition Plan	Women's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior women's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should to be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Deland Park Transition Plan	Women's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior women's restroom door has an opening force to high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00

ADA Analysis

Deland Park Transition Plan	Women's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior women's restroom hand dryer protrudes out 7 inches at 40 inches AFF.	ADAAG 307		1	\$	625.00	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF. Option 2 move the hand dryer to above the sink counter.
Deland Park Transition Plan	Women's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior women's restroom sink does not provide pipe protection.	ADAAG 606.5		3	\$	80.00	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.
Deland Park Transition Plan	Women's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior women's restroom stall door is not self closing.	ADAAG 604.8.1.2		3	\$	185.00	Provide the hinges to allow for the stall door to be self-closing.
Deland Park Transition Plan	Women's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior women's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2		3	\$	105.00	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.
Deland Park Transition Plan	Men's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior men's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703		4	\$	185.00	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.
Deland Park Transition Plan	Men's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior men's restroom door has an opening force to high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9		3	\$	105.00	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
Deland Park Transition Plan	Men's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior men's restroom hand dryer protrudes out 7 inches at 40 inches AFF.	ADAAG 307		1	\$	625.00	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF. Option 2 move the hand dryer to above the sink counter.
Deland Park Transition Plan	Men's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior men's restroom sink does not provide pipe protection.	ADAAG 606.5		3	\$	80.00	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.
Deland Park Transition Plan	Men's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior men's restroom stall door is not self closing.	ADAAG 604.8.1.2		3	\$	185.00	Provide the hinges to allow for the stall door to be self-closing.
Deland Park Transition Plan	Men's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The Community Centers interior men's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2		3	\$	105.00	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.

ADA Analysis

Deland Park Transition Plan	Men's Restroom Interior Community Center	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The Community Centers interior men's restroom kitchen serving counter is mounted too high at 36 inches AFF.	ADAAG 904.3.3	Provide a counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	670.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The Community Centers kitchen door has an opening force too high at 8 lbs. and closes too quickly at 4 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The Community Centers north exit interior door has an opening force too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The Community Centers north exit exterior door has an opening force too high at 13 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The Community Centers north hangers are mounted too high at 54 1/2 inches AFF.	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.	4	\$	210.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	There is not an accessible route to the picnic table nearest the north comfort station for 30 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 & 1011	Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.	2	\$	1,150.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The accessible picnic table nearest the north comfort station is too low with a knee clearance of 25 1/2 inches AFF.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Raise this table up or relocate or purchase an accessible picnic table and locate it on an accessible surface.	2	\$	785.00

ADA Analysis

Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The grills nearest the north comfort station are not on an accessible route for 15 feet.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1</p>	<p>Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.</p>	2	\$	575.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The grills nearest the north comfort station does not provide a full accessible surface.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1</p>	<p>Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.</p>	2	\$	520.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>There are 4 picnic tables at the north comfort station but only 1 is on an accessible design.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011</p>	<p>Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface (\$1,050).</p>	2	\$	1,835.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The recommended second picnic table for north comfort station is not on an accessible route for 15 feet.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 403 & 1011</p>	<p>Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.</p>	2	\$	575.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The recommended second grill for north comfort station is not on an accessible route for 10 feet.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1</p>	<p>Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.</p>	2	\$	375.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The accessible parking nearest the YMCA does not provide properly marked spaces.</p>	<p>WAC 346.503</p>	<p>Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.</p>	1	\$	400.00

ADA Analysis

Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The accessible route to the cross walk for the Y has a ramp slope for 31 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 52 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	5,200.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The accessible route nearest the road for the cross walk to the "Y" has a running slope too steep at 10.5% for 25 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 50 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	5,000.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The alternate walkway from the crosswalk for the "Y" back to the accessible parking has a cross slope because of the curb ramp flare.	ADAAG 406	Provide an inline or parallel curb ramp with a cross slope no steeper than 2% and side ramps no steeper than 8.3%.	1	\$	1,650.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The alternate walkway from the crosswalk for the "Y" back to the accessible parking has a cross slope too steep at 3.5% for 29 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,900.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	Across from the crosswalk for the "Y" here is a gap in the asphalt too wide at 1 inch.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The walkway just before the tennis courts here is a gap in the asphalt too wide at 2 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The walkway near the pines heading toward the cross walk at Washington Ct has a cross slope too steep up to 3.9% for 85 feet	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,225.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The drinking fountain at the south comfort station is wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Deland Park Transition Plan	Women's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom here is a gap in the concrete too wide at 1 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch. If replacing the walkway then provide a slope no steeper than 2% in all directions.	1	\$	500.00

ADA Analysis

Deland Park Transition Plan	Women's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Deland Park Transition Plan	Women's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom door opening force is too high at 10 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Deland Park Transition Plan	Women's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Deland Park Transition Plan	Women's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Deland Park Transition Plan	Women's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Deland Park Transition Plan	Women's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom has a coat hook mounted too high at 54 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station men's restroom there is a gap in the concrete too wide at 3/4 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	500.00
Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station men's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station men's restroom door opening force is too high at 10 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00

ADA Analysis

Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The south comfort station women's restroom has a coat hook mounted too high at 54 1/2 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Deland Park Transition Plan	Men's Restroom South Comfort Station	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The south picnic pavilion has 14 picnic tables, but none are of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase three accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	2,355.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The south picnic pavilion grills are mounted too high up to 42 inches.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	830.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The walkway along Boughton at the corner of Washington Ct. has surface issues too wide at 6 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition and a firm surface.	1	\$	185.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	Just north of the surface issues there is a gap in the asphalt too wide at 2 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	Just north of the gap near the corner there is a gap in the asphalt too wide at 3 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	In the middle of the block heading north there is surface issues too wide at 14 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition and a firm surface.	1	\$	250.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	Heading north at the fire hydrant there is another section of walkway surface too wide at 14 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition and a firm surface.	1	\$	250.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The curb ramp at Boughton and Niagra where the concrete meets the asphalt there is a 3 inch gap.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	500.00

ADA Analysis

Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>The bench near the cross walk at Boughton and Niagra does not provide companion seating.</p>	<p><u>Proposed</u> Outdoor Areas Standards ADAAG 1011</p>	<p>Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.</p>	2	\$	315.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>The benches just north of the cross walk at Boughton and Niagra do not provide companion seating</p>	<p><u>Proposed</u> Outdoor Areas Standards ADAAG 1011</p>	<p>Bench Recommendation: At one of the benches provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.</p>	2	\$	315.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>Just past the benches there is a gap in the asphalt too wide at 1 inch.</p>	<p>ADAAG 302.3</p>	<p>Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.</p>	1	\$	185.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>There is no accessible route to the memorial for 11 feet.</p>	<p>ADAAG 403</p>	<p>Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.</p>	2	\$	425.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>Just past the memorial there is a gap in the asphalt too wide at 2 inches.</p>	<p>ADAAG 302.3</p>	<p>Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.</p>	1	\$	185.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>The small pavilion with picnic tables along Boughton is not on an accessible route for 39 feet.</p>	<p><u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 & 1011</p>	<p>Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.</p>	2	\$	1,500.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>The small pavilion along Boughton has 2 picnic tables but none are of an accessible design.</p>	<p><u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011</p>	<p>Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.</p>	2	\$	1,570.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos</p>	<p>The walkway past the pavilion heading toward the fitness equipment cross slope is too steep up to 5.2% for 110 feet.</p>	<p>ADAAG 403.3</p>	<p>Remove and regrade section to provide a cross slope no greater than 2%.</p>	1	\$	4,200.00

ADA Analysis

Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>At the top of the curb ramp at Ontario and Boughton there is a gap in the concrete where it meets the asphalt too wide at 2 inches.</p>	ADAAG 302.3	<p>Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.</p>	1	\$	185.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>Where the asphalt path meets the concrete plaza at the park entrance there is a gap in the concrete too wide at 3 inches.</p>	ADAAG 302.3	<p>Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.</p>	1	\$	185.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>There is no accessible route to the playground for 26 feet.</p>	ADAAG 403	<p>Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.</p>	2	\$	1,000.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The playground has 8 elevated play components but only 2 ground level play components.</p>	ADAAG 240.2	<p>Provide one more ground level play component on an accessible route that provides an experience such as rocking, swinging, sliding, spinning or climbing experience.</p>	2	\$	1,050.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The playground sand surface is not an accessible surface.</p>	ADAAG 1008.2.6	<p>Provide an accessible surface of engineered wood fiber or a unitary rubberized surface.</p>	2	\$	7,000.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The playground at the park entrance transfer platform is too high at 22 inches AFF.</p>	ADAAG 1008.3.1.2	<p>See Note Above This would likely be corrected with the new playground surface. Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.</p>	2	See Note Above	
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The benches at the playground are not on an accessible route or surface for 72 feet.</p>	<p>Proposed Outdoor Areas Standards ADAAG 1011</p>	<p>Bench Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the companion seating of the bench.</p>	2	\$	2,500.00
Deland Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Deland Park\Deland Park Photos</p>	<p>The benches at the playground do not provide companions seating.</p>	<p>Proposed Outdoor Areas Standards ADAAG 1011</p>	<p>Bench Recommendation: At least one bench provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.</p>	2	\$	315.00

ADA Analysis

Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The walkway between the two entrances to the plaza there are 5 gaps too wide at 3/4 inch.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	925.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The north curb ramp at Boughton and Ontario there is a gap in the concrete too wide at 3 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
Deland Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	Where the asphalt meets the concrete for the north entrance to the plaza there is a gap in the concrete too wide at 2 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
Deland Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The curb ramps at the corner of Wisconsin and Boughton Drive each have slopes too high at 4% .	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Deland Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The curb ramp at Boughton Drive and Niagra has slopes too high at 11.6%.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Deland Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The south curb ramp at Boughton Drive and Ontario does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
Deland Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Deland Park\Deland Park Photos	The north curb ramp at Boughton Drive and Ontario does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
End Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\End Park\End Park Photos	The drinking fountain at the restrooms is a wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00

ADA Analysis

End Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The men's restroom door closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
End Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The men's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
End Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The men's restroom rear grab bar is mounted too high at 37 inches AFF and has a centerline of 8 inches.	ADAAG 604.5.2 & ADAAG 609	Remounted the grab bar to be 12 inches from the centerline of the toilet to the corner and 24 inches from the centerline to the open side of the toilet. The grab bar should be mounted 33 inches to 36 inches AFF to the top of the grab bar.	3	\$	330.00
End Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The men's restroom coat hook is mounted too high at 66 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
End Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The men's restroom stall door does not provide an outside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the outside of the door near the latch.	3	\$	105.00
End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The women's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The women's restroom side grab bar is mounted too high at 36 3/4 inches.	ADAAG 604.5.1 & ADAAG 609	Mount the rear grab bar to be mounted 33 inches to 36 inches AFF to the top of the grab bar and no more than 12 inches from the corner	3	\$	330.00
End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The women's restroom rear grab bar has a centerline of 8 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00

ADA Analysis

End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The women's restroom toilet paper dispenser is mounted too far in front at 14 inches.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The women's restroom stall door does not provide an outside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the outside of the door near the latch.	3	\$	105.00
End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The women's restroom coat hook is mounted too high at 64 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
End Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park - Bathroom\Photos</u>	The asphalt walkway from the restroom heading north east has surface issues for 44 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2% and a firm and stable surface.	1	\$	1,550.00
End Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos</u>	The asphalt walkway heading north east from the intersection has surface issues for 57 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2% and a firm and stable surface.	1	\$	2,000.00
End Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos</u>	At the very end of the northeast walkway there are surface issues for 40 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2% and a firm and stable surface.	1	\$	1,400.00
End Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos</u>	The asphalt path heading southeast across the park cross slope is too steep up to 6.8% for 368 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	12,900.00
End Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos</u>	The asphalt path heading to the southeast corner of the park after the intersection has cross slopes too steep for 220 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	7,700.00
End Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos</u>	There is no accessible route provided to the swings for 12 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	425.00
End Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos</u>	There is no accessible route provided from the swings to the playground for 21 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	750.00

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End Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\End Park\End Park Photos</p>	The swings have surface slopes too high at 9.4%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the swing. Provide swings no higher than 24 inches above the playground surface. An accessible swing with a seat would be recommended at some point. UD - Consider a mat under the swings to prevent a kick-out of the surface material.	2	\$	100.00
End Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\End Park\End Park Photos</p>	The transfer platform is not of an accessible design.	ADAAG 1008.3.2	Provide a surface at the transfer platform that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF. Because of the age and design of this playground, a new transfer platform may not be able to added. If so, consideration should be made to replace this playground.	2	\$	2,080.00
End Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\End Park\End Park Photos</p>	There is no accessible route provided to the rockers for 40 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,400.00
End Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\End Park\End Park Photos</p>	There is no transfer or accessible features to the sand feature.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area.	2	\$	2,000.00
End Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\End Park\End Park Photos</p>	The grills are mounted too high at 41 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grills to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	800.00
End Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\End Park\End Park Photos</p>	The grills are not on an accessible route for 6 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	200.00

ADA Analysis

End Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	There is no full accessible surface provided at the grills.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1		2	\$	1,000.00	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	At the corner of Los Angeles and 12th Street the curb ramp has cross slopes too steep at 5.7%.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	The sidewalk heading west along Los Angeles has cross slope that are too high at up to 5.1% for 294 feet.	ADAAG 403.3		1	\$	29,400.00	Remove and regrade section to provide a cross slope no greater than 2%.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	The east curb ramp at Los Angeles and Elizabeth has running slopes too steep at 13.6%.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	The west curb ramp at Los Angeles and Elizabeth has running slopes too steep at 21.2%	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	The sidewalk after the curb ramps on Los Angeles has cross slopes too steep at up to 5.2% for 233 feet.	ADAAG 403.3		1	\$	23,300.00	Remove and regrade section to provide a cross slope no greater than 2%.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	The curb ramp at Los Angeles and 13th has a running slope too steep at 11.9%.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	The sidewalk along 13th Street has a cross slope that is too steep at up to 5.1% for 242 feet.	ADAAG 403.3		1	\$	24,200.00	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	At the corner of 13th Street and Lenz, the curb ramp has a running slope too steep at 19.4%.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.

ADA Analysis

End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	At the corner of 13th Street and Bell the south curb ramp has a running slope too steep at 13.6% and does not provide truncated domes.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
End Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\End Park\End Park Photos	The sidewalk along 12th Street where the asphalt path meets the sidewalk has a cross slope that is too steep at up to 3.9% for 20 feet.	ADAAG 403.3		1	\$	2,000.00	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.
Evergreen Park Transition Plan	Area 1	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible parking spaces provided near the elements at Area 1.	WAC 346.503		1	\$	825.00	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.
Evergreen Park Transition Plan	Area 1	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible route provided from the Area 1 comfort station to the pavilion for 320 feet.	ADAAG 403		2	\$	11,200.00	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.
Evergreen Park Transition Plan	Area 1	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible route provided to the Area 1 picnic shelter for 19 feet.	ADAAG 403		2	\$	675.00	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.
Evergreen Park Transition Plan	Area 1	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There are 14 picnic table provided at the Area 1 picnic shelter but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011		2	\$	1,570.00	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.
Evergreen Park Transition Plan	Area 1	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible route provided to the playground for 24 feet.	ADAAG 403		2	\$	850.00	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.
Evergreen Park Transition Plan	Area 1	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible surface provided at the playground.	ADAAG 1008.2.6		2	\$	5,000.00	Provide an accessible surface of engineered wood fiber or a unitary rubberized surface.

ADA Analysis

Evergreen Park Transition Plan	Men's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 men's restroom has a door opening force too high at 12 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Evergreen Park Transition Plan	Men's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
Evergreen Park Transition Plan	Men's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 men's restroom accessible stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	175.00
Evergreen Park Transition Plan	Men's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 men's restroom accessible stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	200.00
Evergreen Park Transition Plan	Men's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The men's restroom at Comfort Station #1 accessible stall coat hook is mounted too high at 68 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	50.00
Evergreen Park Transition Plan	Women's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 women's restroom door opening force is too high at 14 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Evergreen Park Transition Plan	Women's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
Evergreen Park Transition Plan	Women's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 women's restroom accessible stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	200.00
Evergreen Park Transition Plan	Women's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 women's restroom accessible stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	175.00
Evergreen Park Transition Plan	Women's Restroom Area 1	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 1 women's restroom accessible stall coat hook is mounted too high at 63 1/2 inches.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	50.00

ADA Analysis

Evergreen Park Transition Plan	Area 3	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible parking provided for Area 3.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The Area 4 parking lot nearest the pavilion does not provide accessible signage and is not properly marked.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The boardwalk from the parking toward the pavilion has a cross slope that is too steep at up to 9.3% for 20 feet.	ADAAG 403.3	Remove and adjust the boardwalk to provide a cross slope no greater than 2%.	1	\$	2,450.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible route provided to the pavilion from the boardwalk for 37 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,400.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The Area 4 pavilion provides 10 picnic tables but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00

ADA Analysis

Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The Area 4 grill is not on an accessible route for 38 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	1,450.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The Area 4 grill is mounted too high at 38 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remove the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	400.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible route provided to the drinking fountain for 13 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	4	\$	500.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The drinking fountain at Area 4 pavilion is standing height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance . Option: provide a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible route provided from the pavilion to the parking lot by the comfort station for 192 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	3	\$	7,300.00
Evergreen Park Transition Plan	Area 4	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	There is no accessible parking provided for Comfort Station #4.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00

ADA Analysis

Evergreen Park Transition Plan	Men's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom does not provide an accessible sign.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	175.00
Evergreen Park Transition Plan	Men's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom has a door opening force too high at 15 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Evergreen Park Transition Plan	Men's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom sink is mounted too low at knee clearance of 26 1/4 inch AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	1,950.00
Evergreen Park Transition Plan	Men's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
Evergreen Park Transition Plan	Men's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom accessible stall grab bar is mounted too high at 37 inches AFF.	ADAAG 609.4	Remount the grab bars to be between 33 inches to 36 inches AFF to the top of the grab bars.	3	\$	300.00
Evergreen Park Transition Plan	Men's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom accessible stall toilet paper dispenser is located too far from the toilet at 16 inches.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	250.00
Evergreen Park Transition Plan	Men's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom accessible stall door does not provide handles on both sides	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	200.00

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Evergreen Park Transition Plan	Men's Restroom Area 4	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The drinking fountain provided at comfort station #4 is mounted too low at 26 inch knee clearance and does not provide a standing height.	ADAAG 211 & ADAAG 602	Provide two individual drinking fountain or a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance plus a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches and the clear floor space should be a minimum of 48 inches long and 30 inches wide centered on the drinking fountain. The water flow should be at least 4 inches high and located within 5 inches from the front of the drinking fountain. UD - Provide a triple bowl system that has a drinking fountain spout at a child's height of approximately 29 inches.	4	\$	4,575.00
Evergreen Park Transition Plan	Women's Restroom Area 4	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom does not provide accessible signage.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	175.00
Evergreen Park Transition Plan	Women's Restroom Area 4	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The women's restroom at comfort station #4 has a door opening force too high at 15 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Evergreen Park Transition Plan	Women's Restroom Area 4	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom hand dryer protrudes into the accessible route.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	600.00
Evergreen Park Transition Plan	Women's Restroom Area 4	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom accessible stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	200.00
Evergreen Park Transition Plan	Women's Restroom Area 4	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom accessible stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	175.00
Evergreen Park Transition Plan	Women's Restroom Area 4	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom accessible stall grab bar is mounted too high at 37 inches AFF.	ADAAG 609.4	Remount the grab bars to be between 33 inches to 36 inches AFF to the top of the grab bars.	3	\$	300.00

ADA Analysis

Evergreen Park Transition Plan	Women's Restroom Area 4	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 women's restroom accessible stall toilet paper dispenser is located to the side of the toilet.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	250.00
Evergreen Park Transition Plan	Area 5	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos</u>	The Area 5 parking lot does not provide accessible parking. Because of the size of the parking lot 2 accessible spaces are required.	WAC 346.503	Provide two accessible parking space that is a minimum of 12 feet wide and an access aisle a minimum of 8 feet wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	1,650.00
Evergreen Park Transition Plan	Area 5	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos</u>	There is no accessible route to Area 5 comfort station provided for 34 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	3	\$	1,300.00
Evergreen Park Transition Plan	Men's Restroom Area 5	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom door has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Evergreen Park Transition Plan	Men's Restroom Area 5	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 men's restroom does not provide accessible signage.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

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Evergreen Park Transition Plan	Men's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 men's restroom hand dryer protrudes out 8 inches at 48 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00
Evergreen Park Transition Plan	Men's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 men's restroom sink does not provide any pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Evergreen Park Transition Plan	Men's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 men's restroom sink is mounted too low at 24 inches knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Evergreen Park Transition Plan	Men's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 men's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Evergreen Park Transition Plan	Men's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 men's restroom does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Evergreen Park Transition Plan	Men's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 men's restroom stall is too narrow at 35 1/2 inches.	ADAAG 604.3.1	Reconfigure the accessible stall to provide a clearance around the toilet that is 60 inches minimum from the side wall to side wall and 56 inches minimum from the back wall to the front stall. This may require taking over the adjoining space or stall.	3	\$	4,700.00
Evergreen Park Transition Plan	Women's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom has a door opening force too high at 11 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Evergreen Park Transition Plan	Women's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom does not provide an accessible sign.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Evergreen Park Transition Plan	Women's Restroom Area 5	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos	The Area 4 women's restroom does not provide an accessible sink.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,775.00

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Evergreen Park Transition Plan	Women's Restroom Area 5	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 women's restroom hand dryer protrudes out 8 inches at 48 inches AFF.	ADAAG 307		1	\$	625.00	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.
Evergreen Park Transition Plan	Women's Restroom Area 5	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 women's restroom stall is too narrow at 41 inches.	ADAAG 604.3.1		3	\$	4,700.00	Reconfigure the accessible stall to provide a clearance around the toilet that is 60 inches minimum from the side wall to side wall and 56 inches minimum from the back wall to the front stall. This may require taking over the adjoining space or stall.
Evergreen Park Transition Plan	Women's Restroom Area 5	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 women's restroom stall door swings the wrong way.	ADAAG 604.8.1.2		3	\$	315.00	Re-swing the stall door so that it swings outward with the door hinged on the clear floor space partition side.
Evergreen Park Transition Plan	Women's Restroom Area 5	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park - Bathrooms\Photos</u>	The Area 4 women's restroom stall does not provide an inside handle.	ADAAG 604.8.1.2		3	\$	105.00	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.
Evergreen Park Transition Plan	Area 5	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos</u>	There is no accessible route provided to the Area 5 play elements for 3 feet.	ADAAG 403		2	\$	125.00	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.
Evergreen Park Transition Plan	Area 5	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos</u>	There is no accessible route provided for the swings for 9 feet.	ADAAG 403		2	\$	375.00	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.
Evergreen Park Transition Plan	Area 5	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos</u>	The picnic table provided is not on an accessible surface.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011		2	\$	1,040.00	Picnic Table Recommendation: Provide an accessible picnic table to an accessible surface or create a new accessible surface with a clear floor space of 30 inches minimum by 48 inches minimum at the accessible area, and a 36 inch minimum accessible route provided on all sides of the table.
Evergreen Park Transition Plan	Area 5	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos</u>	There is an abrupt transition at the north side of the pavilion of 1 1/2 inch.	ADAAG 303		1	\$	475.00	Grind down or replace section of sidewalk to provide a smooth transition.
Evergreen Park Transition Plan	Area 5	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos</u>	There is an abrupt transition at the south side of the pavilion of 1 1/2 inch.	ADAAG 303		1	\$	475.00	Grind down or replace section of sidewalk to provide a smooth transition.

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Evergreen Park Transition Plan	Area 5	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Evergreen Park\Evergreen Park Photos</p>	The Area 5 grill is not on an accessible route for 50 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	1,900.00			
Evergreen Park Transition Plan	Area 5	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Evergreen Park\Evergreen Park Photos</p>	The Area 5 grill is mounted too high at 37 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	400.00			
Evergreen Park Transition Plan	Area 5	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Evergreen Park\Evergreen Park Photos</p>	There is no accessible route or companion seating provided to the bench by the creek for 18 feet.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide at least 20% but no less than two benches to provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space. UD - Provide benches with armrests, backs, seat height between 17 inches AFF to 19 inches AFF maximum and no gaps between the seat and backrest.	2	\$	2,075.00			
Evergreen Park Transition Plan	Shaw Playground	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Evergreen Park\Evergreen Park Photos</p>	The 11 accessible parking at Shaw's playground does not provide proper space and access aisle.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	1,100.00	Verify requirements are correct. Review stall widths.	Spring 2019?	This needs to be reviewed again. Parking Lot was paved in fall of 2018 with binder surface only. Final surface was applied in Spring of 2018 after the date of this site review.
Evergreen Park Transition Plan	Shaw Playground	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Evergreen Park\Evergreen Park Photos</p>	The accessible parking at Shaw's playground has a slope at the end part that is 6%.	ADAAG 502.4	Regrade the parking spaces on the shortest accessible route to be no steeper than 2% in all directions. The parking lot may not have been finished and the sloped address when another layer is applied.	1	\$	11,000.00		Spring 2019	Parking Lot was paved in fall of 2018 with binder surface only. Final surface was applied in Spring of 2018 after the date of this site review.

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Evergreen Park Transition Plan	Shaw Playground	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The play element has finger holes only and no handle.	ADAAG 309	Provide play features with operable parts that do not require tight grasping, pinching or twisting of the wrist. Some type of handle should be connected to this play panel.	2	\$	100.00
Evergreen Park Transition Plan	Shaw Playground	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Evergreen Park\Evergreen Park Photos	The accessible picnic table provided has a knee clearance too low at 24 3/4 inches.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Relocate or purchase two accessible picnic tables and locate them on an accessible surface.	2	\$	1,570.00
Fire Station 3 Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The accessible parking and access aisle are too light and should be restriped.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	100.00
Fire Station 3 Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	Where the walkway meets the pad for the front door there is an abrupt transition of 3/4 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Fire Station 3 Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The main entrance exterior door has an opening force of 18 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Fire Station 3 Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The second door into the fire station has an opening force too high at 13 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	100.00

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Fire Station 3 Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The call button is out of reach range at 62 inches AFF.	ADAAG 308	Lower the call button to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	2	\$	150.00
Fire Station 3 Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The first door into the fire truck area has an opening force too high at 14 lbs. and closes too quickly at 4 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	100.00
Fire Station 3 Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The second door into the fire truck areas has an opening force too high at 14 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	100.00
Fire Station 3 Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The door to the men's restroom is too narrow.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,000.00
Fire Station 3 Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The men's restroom is not of an accessible design.	ADAAG 603	Provide a toilet room with a minimum 60 inches width and a minimum 56 inches depth (for a wall hung toilet) or 59 inches depth (for a floor mounted toilet) to the back wall. Provide proper accessible toilet, grab bar, and toilet locations,	3	\$	13,500.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom door is too narrow at 29 inches.	ADAAG 308	Remount the soap dispenser to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	100.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom door has round door hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	350.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom accessible stall toilet is mounted too close to the wall at a centerline of 15 inches.	ADAAG 604.2	Relocate the toilet with a offset drain to provide a centerline 16 inches to 18 inches from the wall.	3	\$	1,600.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom toilet is mounted too low at 16 inches AFF.	ADAAG 604.4	Provide a toilet with height at 17 inches to 19 inches to the top of the toilet seat.	3	\$	1,715.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom sink is mounted too low at knee clearance of 24 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	1,950.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom sink is too close to the wall at 12 inches centerline.	ADAAG 606.2	Relocate the sink to provide a minimum 15 inches from the wall. This may be able to be adjusted when raising up the sink.	3	See Note Above	

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Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom mirror is too high at 54 1/2 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	500.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The women's restroom coat hook is too high at 68 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	50.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	The door to the back area has an opening force too high at 14 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Fire Station 3 Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fire Station 3\Fire Station 3 Photos	At the exit door, the concrete where it meets the asphalt has an abrupt transition of 1 inch.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	175.00
Fountain Park Transition Plan	Women's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The women's restroom at the band shell door does not provide a level landing at the door with a slope of 7.8%.	ADAAG 404.2.4.4	Provide a minimum 5 foot (60 inches) level landing of no more than 2% in all directions at the door. Provide a smooth transition to the door threshold.	3	\$	850.00
Fountain Park Transition Plan	Women's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The women's restroom sign is not of an accessible design.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Fountain Park Transition Plan	Women's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The women's restroom door has an opening force too high at 15 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Fountain Park Transition Plan	Women's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00

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Fountain Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The women's restroom hand dryer protrudes into the accessible route at 8 inches out at 43 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00
Fountain Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The women's restroom stall doors are not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Fountain Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The women's restroom stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Fountain Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The women's restroom coat hook is mounted too high at 64 3/4 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Fountain Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The women's restroom rear grab bar centerline is only 10 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Fountain Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The women's restroom toilet paper dispenser is mounted only 4 1/2 inches above the side grab bar.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom sign is not of an accessible design.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

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Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom door has an opening force too high at 15 lbs. and closes too quickly at 2 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom has a gap too wide at the door of 1 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch. This may get corrected when leveling the door landing as noted below.	1	\$	500.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom at the band shell door does not provide a level landing at the door with a slope of 5.9%.	ADAAG 404.2.4.4	Provide a minimum 5 foot (60 inches) level landing of no more than 2% in all directions at the door. Provide a smooth transition to the door threshold.	3	\$	850.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom hand dryer protrudes into the accessible route at 8 inches out at 43 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom sinks do not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The men's restroom coat hook is mounted too high at 63 1/2 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	No access is provided up to the stage. The stage is 30 inches AFF.	ADAAG 405 or ADAAG 410	Provide a ramp or a lift to provide access to the stage.	2	\$	5,500.00
Fountain Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos</u>	The asphalt walkway from the corner of 9th Street heading into the park has a running slope at up to 7.8% for 15 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 23 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	1,275.00

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Fountain Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The asphalt walkway just past the first curve has a cross slope that is too steep at up to 4.4% for 54 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	1,900.00
Fountain Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The south concrete walkway off the plaza has a cross slope that is too steep at up to 3.9% for 13 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	450.00
Fountain Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The south concrete walkway has an abrupt transition too high at 3/4 inch AFF.	ADAAG 303	Grind down or replace to provide a smooth transition.	1	\$	500.00
Fountain Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park - Bathrooms\Photos	The south concrete walkway heading to the stage area has a running slope that is too steep at up to 15.4% for 32 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 107 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	10,700.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	At the south west corner of Ontario and 9th curb ramp has slopes too steep at 10.4%.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	The sidewalk heading east on Ontario has a cross slope that is too steep at up to 5.1% for 105 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	10,500.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	The sidewalk heading north on 9th has a cross slope that is too steep at up to 3.5% for 22 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,200.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	The sidewalk along 9th just past the stage area has a cross slope that is too steep at up to 8.1% for 252 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	25,200.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	At the corner of 9th and Erie the curb ramp has slopes too steep at up to 9.3%.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	The sidewalk along Erie just east of the curb ramp has a cross slope that is too steep at up to 4.6% for 175 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	17,500.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	The sidewalk along Erie at the light post has a cross slope that is too steep at up to 5.2% for 102 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	10,200.00

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Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	The sidewalk along 8th street from the corner has a cross slope that is too steep at up to 4.2% for 22 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,200.00
Fountain Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Fountain Park\Fountain Park Photos	The sidewalk just past the corner of 8th and Ontario has a cross slope that is too steep at up to 5.4% for 36 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,600.00
Franklin Park		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos	The walkway into the park to the playground has a running slope too steep at 10.8% for 19 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 42 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	4,200.00
Franklin Park		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos	There is no curb ramp provided into the playground.	ADAAG 1008.2	Provide a curb ramp from the accessible walkway to the playground surface with a running slope no steeper than 8.3% and an cross slope no steeper than 2%.	2	\$	1,575.00
Franklin Park		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos	There are two benches provided but neither one provides companion seating.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	300.00
Franklin Park		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos	The playground standing spinner has slopes too high up to 14.2%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	105.00
Franklin Park		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos	The swings have surface slopes too high up to 24.3%.	ADAAG 1008.4.4	Provide a regular maintenance to the play surface to provide a seat less than 24 inches off the ground and a slope under the swings no greater than 2%. Consider a mat under the swing to prevent kick-out of surface material. An accessible swing with a seat would be recommended at some point.	2	\$	105.00

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Franklin Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>The second standing spinner has surface slopes too high at 13.3%.</p>	<p>ADAAG 1008.4.2</p>	<p>Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.</p>	<p>2</p>	<p>\$</p>	<p>105.00</p>
Franklin Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>The group spinner has surface slopes too high at 13%.</p>	<p>ADAAG 1008.4.2</p>	<p>Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the group spinner. UD - Consider a mat under the group spinner to prevent a kick-out of the surface material.</p>	<p>2</p>	<p>\$</p>	<p>105.00</p>
Franklin Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>The grill is not on an accessible route for 13 feet.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1</p>	<p>Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.</p>	<p>2</p>	<p>\$</p>	<p>450.00</p>
Franklin Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>The grill does not provide an accessible surface.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1</p>	<p>Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.</p>	<p>2</p>	<p>\$</p>	<p>520.00</p>
Franklin Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>There is no accessible route provided to the basketball court for 44 feet.</p>	<p>ADAAG 403</p>	<p>Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.</p>	<p>2</p>	<p>\$</p>	<p>1,550.00</p>
Franklin Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>The west walkway has a running slope too steep at 9.1% for 21 feet.</p>	<p>ADAAG 403.3</p>	<p>If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 38 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.</p>	<p>1</p>	<p>\$</p>	<p>3,800.00</p>
Franklin Park	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>The sidewalk along 14th street cross slope is too steep up to 6.3 and surface issues for 175 feet.</p>	<p>ADAAG 403.3</p>	<p>Remove and regrade section to provide a cross slope no greater than 2%.</p>	<p>1</p>	<p>\$</p>	<p>17,500.00</p>
Franklin Park	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</p>	<p>The south curb ramp at 14th Street and Broadway does not provide truncated domes.</p>	<p>ADAAG 705</p>	<p>Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.</p>	<p>1</p>	<p>\$</p>	<p>525.00</p>

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Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	The curb ramp at 14th Street and Broadway has a gutter slope of 10.1% and an abrupt transition.	ADAAG 406.2	Remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	300.00
Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	The west curb ramp does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	525.00
Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	The sidewalk along Broadway has a cross slope that is too steep at up to 5.7% for 32 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,200.00
Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	The sidewalk along Broadway has surface issues and abrupt transition for 79 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	7,900.00
Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	The sidewalk along Broadway past the curb ramp has cross slopes that are too steep at up to 3.3% for 43 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	4,300.00
Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	The sidewalk along Broadway at the tree has an abrupt transition of 1 1/4 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	At the corner of Broadway and 13th the east curb ramp has slopes too high at 9.9% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Franklin Park	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Franklin Park\Franklin Park Photos</u>	At the corner of Broadway and 13th the south curb ramp gutter slope is too high at 29.6%.	ADAAG 406.2	Remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	300.00
Grace Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Grace Park\Grace Park Photos</u>	There is no accessible route provided to the playground for 107 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	1	\$	3,750.00
Grace Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Grace Park\Grace Park Photos</u>	The park provides a sand play area, but does not provide accessible play elements and/or access to this area.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area.	2	\$	2,000.00
Harbor Center Marina Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The 4 accessible parking spaces nearest the Harbor Marina Center main building does not have signs.	ADAAG 502.6	Provide a sign with the International Symbol of Accessibility. Mount the sign at the head of the parking space at 60 inches minimum from the ground to the bottom of the sign.	1	\$	1,300.00

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Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The 4 accessible parking spaces nearest the Harbor Marina Center main building have spaces marked 8 foot for parking at 10 feet for the access aisle.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	400.00
Harbor Center Marina Transition Plan	Outdoor Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor women's restroom door has an opening force too high at 10 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Harbor Center Marina Transition Plan	Outdoor Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide protective pipe wrapping on the water shut-offs and drain pipes.	3	\$	80.00
Harbor Center Marina Transition Plan	Outdoor Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor women's restroom coat hook is mounted too high at 62 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Harbor Center Marina Transition Plan	Outdoor Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor women's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Harbor Center Marina Transition Plan	Outdoor Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Harbor Center Marina Transition Plan	Outdoor Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor women's restroom rear grab bar has a centerline of only 10 1/4 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Harbor Center Marina Transition Plan	Outdoor Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor men's restroom door closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00

ADA Analysis

Harbor Center Marina Transition Plan	Outdoor Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide protective pipe wrapping on the water shut-offs and drain pipes.	3	\$	80.00
Harbor Center Marina Transition Plan	Outdoor Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor men's restroom urinals are mounted too high at 24 inches.	ADAAG 605	Provide a stall-type urinal or a wall-hung urinal that has an elongated rim to is a minimum of 13 1/3 inches deep and is mounted no higher than 17 inches AFF. The flush control should be mounted no higher than 48 inches AFF.	3	\$	1,450.00
Harbor Center Marina Transition Plan	Outdoor Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor men's restroom hand dryer protrudes out 7 inches at 40 1/2 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF. Option 2 move the hand dryer to above the sink counter.	1	\$	625.00
Harbor Center Marina Transition Plan	Outdoor Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor men's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Harbor Center Marina Transition Plan	Outdoor Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor men's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Harbor Center Marina Transition Plan	Outdoor Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The outdoor men's restroom rear grab bar has a 11 inch centerline.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Harbor Center Marina Transition Plan	Interior of the Harbor Center Marina	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The front entrance door has an opening force too high at 10 lbs. each door.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Harbor Center Marina Transition Plan	Interior of the Harbor Center Marina	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The doors to the food area have an opening force too high at 9 lbs. and 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Harbor Center Marina Transition Plan	Interior of the Harbor Center Marina	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The food area does not provide signage to offer assistance if needed.	ADAAG 216.3 & ADAAG 703	Signage Recommendation: Provide signage that encourages guest to ask staff for assistance. Provide accessible fonts, letter sizes, contrast of color and mounting heights. Train staff to be aware of how to assist and interact with their guests with disabilities.	2	\$	185.00

ADA Analysis

Harbor Center Marina Transition Plan	Interior of the Harbor Center Marina	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Harbor Center Marina\Marina Photos	The exterior doors to the observation area have an opening force too high at 13 lbs. and 14 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Harbor Center Marina Transition Plan	Interior of the Harbor Center Marina	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Harbor Center Marina\Marina Photos	No handles is provided on the emergency door in the elevator.	ADAAG 407.2.1 & ADAAG 309.4	Provide a handle on the elevator control panel door that does not require tight grasping, pinching or twisting of the wrist.	2	\$	55.00
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Harbor Center Marina\Marina Photos	The walkway from the parking down to the boats has a running slope too steep at 7.6% for 22 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 37 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	3,700.00
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Harbor Center Marina\Marina Photos	There is no accessible route provided to the accessible picnic table for 12 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 & 1011	Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.	2	\$	450.00
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Harbor Center Marina\Marina Photos	The accessible picnic table does not provide an accessible surface.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table and locate it on an accessible surface (\$1,050).	2	\$	1,050.00
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Harbor Center Marina\Marina Photos	The accessible picnic table is mounted too low with a knee clearance of 25 1/4 inches.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Raise up or provide a new picnic table to meet these standards.	2	\$	785.00

ADA Analysis

Harbor Center Marina Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The grill is not on an accessible route for 8 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	300.00
Harbor Center Marina Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The grill does not provide a full accessible surface around it.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Harbor Center Marina Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	There are 4 picnic table provided but only one is of an accessible design. There is no accessible route provided to the second picnic table for 20 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 & 1011	Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.	2	\$	750.00
Harbor Center Marina Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The second table is not of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface (\$1,050).	2	\$	1,835.00
Harbor Center Marina Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The second grill is not on an accessible route for 4 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	150.00
Harbor Center Marina Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The second grill does not provide a full accessible surface around it.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Harbor Center Marina Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The a 4 accessible parking spaces closest to the parking lot entrance does not provide signs.	ADAAG 502.6	Provide a sign with the International Symbol of Accessibility. Mount the sign at the head of the parking space at 60 inches minimum from the ground to the bottom of the sign.	1	\$	1,300.00

ADA Analysis

Harbor Center Marina Transition Plan		<u>\\scfile\DPW\Shared\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The accessible parking spaces are marked too small at 9 feet.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	400.00
Harbor Center Marina Transition Plan	Restrooms at the Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The curb ramp for the restrooms gutter slope is too steep at 18.1%.	ADAAG 406.2	Remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	300.00
Harbor Center Marina Transition Plan	Restrooms at the Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The drinking fountain at the men's restroom is a standing height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance . Option: provide a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station door has an opening force too high at 15 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station signage is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should to be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

ADA Analysis

Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station sink does not provide covers on the shut off.	ADAAG 606.5	Provide protective pipe wrapping on the water shut-offs and drain pipes.	3	\$	80.00
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station rear grab bar has a centerline of only 5 1/2 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station rear grab bar is mounted too high at 37 inches AFF.	ADAAG 604.5.2	See Note Above	3		See Note Above
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station side grab bar is mounted too high at 36 3/4 inches AFF.	ADAAG 604.5.1	Relocate the side grab bar to be no more than 12 inches from the corner. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Harbor Center Marina Transition Plan	Men's Restroom- Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The men's restroom at the fish clearing station toilet paper dispenser is mounted only 7 inches above the grab.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station door has an opening force too high at 15 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00

ADA Analysis

Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station signage is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station sink does not provide covers on the shut off.	ADAAG 606.5	Provide protective pipe wrapping on the water shut-offs and drain pipes.	3	\$	80.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station coat hook is mounted too high at 65 3/4 inches AFF.	ANSI 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station rear grab bar has a centerline of 6 1/2 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The women's restroom at the fish clearing station hand dryer protrudes out 8 inches at 47 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF. Option 2 move the hand dryer to above the sink counter.	1	\$	625.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The walkway along the men's restroom building has an abrupt transition of 1 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Harbor Center Marina Transition Plan	Women's Restroom-Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Bathrooms Fish Cleaning\Photos</u>	The walkway at the women's restroom entry there is an abrupt transition of 1 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Harbor Center Marina Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The walkway at the plaza area of the building has a gap of 1 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	475.00
Harbor Center Marina Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The walkway at the plaza area has an abrupt transition of 3/4 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00

ADA Analysis

Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The cleaning station counter is too high at 36 inches AFF.	ADAAG 904.3.3	Provide a section of cleaning station counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. A second cleaning station at this lower height maybe an option.	2	\$	670.00
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	At each boat ramp there is an abrupt transition 2 inches.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The accessible parking nearest the boat ramps and youth sailing program has cross slopes up to 7.9%.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The accessible parking nearest the boat ramps and youth sailing program does not provide a sign.	WAC 346.503	See Note Above	1		See Note Above
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The accessible parking nearest the boat ramp and youth sailing program has an access aisle only 5 foot wide.	WAC 346.503	See Note Above	1		See Note Above
Harbor Center Marina Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The walkway along the boat ramp and toward the youth sailing center has a cross slope that is too steep at up to 5.2% for 55 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	5,500.00
Harbor Center Marina Transition Plan	Men's Restroom-Youth Sailing	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center men's restroom door has an opening force too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Harbor Center Marina Transition Plan	Men's Restroom-Youth Sailing	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center men's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

ADA Analysis

Harbor Center Marina Transition Plan	Men's Restroom-Youth Sailing	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center men's restroom paper towel dispenser is mounted too high at 54 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	150.00
Harbor Center Marina Transition Plan	Men's Restroom-Youth Sailing	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center men's restroom accessible stall toilet paper dispenser is 3 inches in front of toilet.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	250.00
Harbor Center Marina Transition Plan	Men's Restroom-Youth Sailing	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center men's restroom coat hook is mounted too high at 54 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	50.00
Harbor Center Marina Transition Plan	Men's Restroom-Youth Sailing	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center men's restroom soap dispenser is too high at 52 inches AFF.	ADAAG 308	Remount the soap dispenser to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	100.00
Harbor Center Marina Transition Plan	Men's Restroom-Youth Sailing	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center women's restroom door has an opening force too high at 9 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos	The Youth Sailing Center women's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

ADA Analysis

Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	<u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The Youth Sailing Center women's restroom accessible stall toilet paper dispenser is too close to the toilet at 1 inch.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	250.00
Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	<u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The Youth Sailing Center women's restroom coat hook is mounted too high at 54 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	50.00
Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	<u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The Youth Sailing Center women's restroom paper towel dispenser is mounted too high at 52 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	150.00
Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	<u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The Youth Sailing Center women's restroom soap dispenser is too high at 52 inches AFF.	ADAAG 308	Remount the soap dispenser to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	100.00
Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	<u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The Youth Sailing Center women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
Harbor Center Marina Transition Plan	Women's Restroom-Youth Sailing Center	<u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Harbor Center Marina\Marina Photos</u>	The accessible trailer parking does not provide accessible signage or access aisles with the proper sizes.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	1,725.00

ADA Analysis

Indian Mound Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Indian Mound Park\Indian Mound Park Photos</p>	There is no accessible parking provided.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Indian Mound Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Indian Mound Park\Indian Mound Park Photos</p>	The benches provided are not on an accessible route.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the companion seating of the bench.	2	\$	500.00
Indian Mound Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Indian Mound Park\Indian Mound Park Photos</p>	The benches do not provide companion seating.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	630.00
Indian Mound Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Indian Mound Park\Indian Mound Park Photos</p>	The picnic table provided is not on an accessible route.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 & 1011	Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.	2	\$	500.00
Indian Mound Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Indian Mound Park\Indian Mound Park Photos</p>	The picnic table provided is not of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00

ADA Analysis

Indian Mound Park Transition Plan	<p>\\sfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Indian Mound Park\Indian Mound Park Photos</p>	The picnic table provided is not on an accessible surface.	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011</p>	<p>Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables and locate them on an accessible surface (\$1040/each).</p>	2	\$	2,080.00
Indian Mound Park Transition Plan	<p>\\sfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Indian Mound Park\Indian Mound Park Photos</p>	The nature trail loop does not provide an accessible surface material for 875 feet.	<p>Proposed Outdoor Areas Standards ADAAG 1017</p>	<p>Trail Recommendation: If using concrete, asphalt or boards then the cross slope can be no steeper than 2%, any other surface can go up to 5%. Other possible trail surfaces can be used such as a 3/4 inches minus limestone with a 50% mix of dust that is firm and stable with a slope no steeper than 2% for a cross slope and no steeper than 5% for a running slope. Provide this surface at the benches, trash cans and signs along the way.</p>	2	\$	21,875.00
Jaycee Quarry Park	<p>\\sfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	There is no accessible parking provided at the picnic pavilion and playground.	WAC 346.503	<p>Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.</p>	1	\$	825.00
Jaycee Quarry Park	<p>\\sfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The grill is not on an accessible route for 95 feet.	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1</p>	<p>Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.</p>	2	\$	3,325.00
Jaycee Quarry Park	<p>\\sfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The grill is not on an accessible surface.	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1</p>	<p>Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.</p>	2	\$	520.00

ADA Analysis

Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The grill is mounted too high at 36 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	400.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	There is no accessible route from the grill to the pavilion for 51 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,775.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	There are 3 picnic tables provided but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	From the parking lot to the portable toilet there is no accessible route provided for 57 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	4	\$	2,000.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	From the portable toilet to the playground there is no accessible route provided for 125 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	4,375.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The playground surface is not accessible.	ADAAG 1008.2.6	Provide an accessible surface of engineered wood fiber or a unitary rubberized surface.	2	\$	5,000.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	There are no trash cans provided but not on an accessible route.	Proposed Outdoor Developed Areas Guidelines 1011	Trash Can Recommendation: Locate trash cans on an accessible route as part of your regular policy. For a forward approach provide a trash can within 24 inches and a minimum clear ground space of 36 inches by 48 inches or for a side approach provide a trash can within 24 inches and a minimum clear ground space of 30 inches by 60 inches.	4	\$	50.00

ADA Analysis

Jaycee Quarry Park	Building Area	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Jaycees Quarry Park - Building\Photos</u>	There are 6 accessible parking spaces provided do not provide the proper size.	WAC 346.503	Restripe the parking spaces to provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	600.00
Jaycee Quarry Park	Building Area	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Jaycees Quarry Park - Building\Photos</u>	At the door to the meeting room there is an abrupt transition of 3/4 inch AFF.	ADAAG 404.2.5	Provide a threshold at the doorway that is no more than 1/2 inches high and beveled at a 1:2 slope.	1	\$	225.00
Jaycee Quarry Park	Building Area	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Jaycees Quarry Park - Building\Photos</u>	The front main entrance door has an opening force too high at 11 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Jaycee Quarry Park	Building Area	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Jaycees Quarry Park - Building\Photos</u>	The exit door out to the quarry area has an opening force too high at 10 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Jaycee Quarry Park	Building Area	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Jaycees Quarry Park - Building\Photos</u>	The hangers by the main room are mounted too high at 58 inches AFF.	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.	4	\$	210.00
Jaycee Quarry Park	Women's Restroom	<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</u>	The women's restroom door has an opening force too high at 14 lbs. and closes to quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00

ADA Analysis

Jaycee Quarry Park	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The women's restroom does not provide an accessible sign.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Jaycee Quarry Park	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Jaycee Quarry Park	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The women's restroom mirror is mounted too high at 41 3/4 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Jaycee Quarry Park	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The women's restroom does not provide an accessible toilet stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00

ADA Analysis

Jaycee Quarry Park	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The women's restroom does not provide an accessible shower.	ADAAG 608.2.1 or ADAAG 608.2.2 or ADAAG 608.2.3	Provide a transfer shower that is 36 inches by 36 inches clear dimension, a clear floor space at the entry of the shower, a shower seat 17 inches to 19 inches above the bathroom floor and extends the full width of the shower, grab bars opposite the seat for the full wall of the control wall and half of the side wall. Option: or a standard roll-in type shower that is a minimum 30 inches wide by a minimum of 60 inches long with an optional shower seat on a side wall but within reach of the controls and grab bars on the remaining side and back walls. Or provide alternate Roll-In type shower that is 36 inches wide and 60 inches deep. An opening at the end one end of the long sides should be at least 36 inches wide and next the shower seat. Grab bars must be	3	\$	6,650.00
Jaycee Quarry Park	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The women's restroom coat hooks are mounted too high at 70 inches AFF.	ADAAG 308	Lower one of the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Jaycee Quarry Park	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The men's restroom door ahs an opening force too high at 10 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Jaycee Quarry Park	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The men's restroom does not provide a clear maneuvering space.	ADAAG 404.2.4	If possible provide a minimum 18 inches maneuvering clearance on the pull side of the door. Option: Provide an automatic door that complies with ADAAG 404.3.	2	\$	3,650.00
Jaycee Quarry Park	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The men's restroom sink does not provide protective pipe wrapping.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Jaycee Quarry Park	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The men's restroom mirror is mounted too high at 42 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00

ADA Analysis

Jaycee Quarry Park	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The men's restroom does not provide an accessible toilet stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Jaycee Quarry Park	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The men's restroom coat hooks are mounted too high at 70 inches AFF.	ADAAG 308	Lower one of the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Jaycee Quarry Park	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The men's restroom does not provide an accessible shower.	ADAAG 608.2.1 or ADAAG 608.2.2 or ADAAG 608.2.3	Provide a transfer shower that is 36 inches by 36 inches clear dimension, a clear floor space at the entry of the shower, a shower seat 17 inches to 19 inches above the bathroom floor and extends the full width of the shower, grab bars opposite the seat for the full wall of the control wall and half of the side wall. Option: or a standard roll-in type shower that is a minimum 30 inches wide by a minimum of 60 inches long with an optional shower seat on a side wall but within reach of the controls and grab bars on the remaining side and back walls. Or provide alternate Roll-In type shower that is 36 inches wide and 60 inches deep. An opening at the end one end of the long sides should be at least 36 inches wide and next the shower seat. Grab bars must be	3	\$	6,650.00
Jaycee Quarry Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The kitchen door has an opening force too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Jaycee Quarry Park		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The kitchen serving counter is too high at 37 inches.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	670.00

ADA Analysis

Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The kitchen does not provide an accessible sink.	ANSI 1002.12 & ANSI 804.4	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, pipe wrapping and accessible faucets.	2	\$	3,775.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The kitchen work station has a knee clearance of only 25 inches.	ADAAG 226 & ADAAG 902	Relocate, purchase or add blocks to the table legs to provide a table with a minimum 27 inches knee clearance for at least 17 inches to 25 inches deep and a table height between 28 inches and 34 inches as needed.	2	\$	625.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The drinking fountain is a standing height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance . Option: provide a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The other entrance has an opening force too high at 11 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	There are 3 picnic tables provided but only one is of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface (\$1,050).	2	\$	1,835.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	The walkway to the picnic tables has a cross slope that is too steep at up to 4.6% for 20 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,000.00

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Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	There is no access to the water for swimming.	<p>Proposed Outdoor Areas Standards ADAAG 1018</p>	<p>Beach Recommendation: Provide an accessible route that is a minimum of 60 inches wide, abrupt transition no higher than 1/2 inch, gaps no wider than 1/2 inch, cross slope of 2% when made of boardwalk, asphalt or concrete and up to 5% when other material (such as a Mobi Mat), and running slopes of less than 5%, if between 5% and 8.33% than for no more than 50 feet and if between 8.33% and 10% then for no more than 30 feet.</p>	2	\$	2,500.00
Jaycee Quarry Park	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Jaycee Quarry Park\Quarry Park Photos</p>	There are no accessible picnic tables or accessible surfaces provided by the water area.	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011</p>	<p>Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,000).</p>	2	\$	3,570.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	Where the playground rubberized surface meets the walkway there has a gap of 1 1/2 inches.	<p>ADAAG 302.3</p>	<p>Fill in or replace section of walkway and/or rubber playground surface to provide a flush transition or an opening no greater than 1/2 inch.</p>	1	\$	475.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	The curb ramp to the sand feature has an abrupt transition of 1 inch.	<p>ADAAG 303</p>	<p>Grind down or replace section of sidewalk to provide a smooth transition.</p>	1	\$	475.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	The drinking fountain provided is a wheelchair height only.	<p>ADAAG 211 & ADAAG 602</p>	<p>Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.</p>	4	\$	2,300.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	The walkway at the drinking fountain has a gap of 1 inch.	<p>ADAAG 302.3</p>	<p>Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.</p>	1	\$	475.00

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Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	There are 3 benches but none provide companion seating.	Proposed Outdoor Areas Standards ADAAG 1011	<p>Bench Recommendation: Provide at least 20% but no less than two benches to provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space. UD - Provide benches with armrests, backs, seat height between 17 inches AFF to 19 inches AFF maximum and no gaps between the seat and backrest.</p>	2	\$	630.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	The picnic table provided is not of an accessible design, on an accessible route or on an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	<p>Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,000).</p>	2	\$	3,570.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>		Proposed Outdoor Developed Areas Guidelines ADAAG 403 & 1011	<p>Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.</p>	2	\$	750.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	The grill is mounted too high at 40 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	<p>Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.</p>	2	\$	400.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	There is no accessible route to the grill for 15 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	<p>Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.</p>	2	\$	525.00
Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	There is no accessible surface at the grill.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	<p>Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.</p>	2	\$	520.00

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Jeff Rammer Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Jeff Rammers Park\Jeff Rammer Park Photos</p>	The trash can is not on an accessible route.	Proposed Outdoor Developed Areas Guidelines 1011	Trash Can Recommendation: Locate trash cans on an accessible route as part of your regular policy. For a forward approach provide a trash can within 24 inches and a minimum clear ground space of 36 inches by 48 inches or for a side approach provide a trash can within 24 inches and a minimum clear ground space of 30 inches by 60 inches.	4	\$	50.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	The grill and picnic tables are not on an accessible route for 18 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	650.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	The grill does not provide an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	There are 6 picnic tables provided but none are of an accessible design or on an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Relocate or purchase two accessible picnic tables and locate them on an accessible surface.	2	\$	3,650.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	The bench near the water is not on an accessible route for 80 feet.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the companion seating of the bench. Option: Consider additional benches with a similar view of the lake.	2	\$	2,800.00

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King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	<p>The bench near the water does not provide companion seating.</p>	<p>Proposed Outdoor Areas Standards ADAAG 1011</p>	<p>Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.</p>	2	\$	315.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	<p>The route to the beach access has surface and slope issues.</p>	<p>Proposed Outdoor Areas Standards ADAAG 1018</p>	<p>Beach Recommendation: Provide an accessible route that is a minimum of 60 inches wide, abrupt transition no higher than 1/2 inched, gaps no wider than 1/2 inch, cross slope of 2% when made of boardwalk, asphalt or concrete and up to 5% when other material (such as a Mobi Mat), and running slopes of less than 5%, if between 5% and 8.33% than for no more than 50 feet and if between 8.33% and 10% then for no more than 30 feet.</p>	2	\$	2,000.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	<p>There is no accessible route provided to the playground for 8 feet.</p>	<p>ADAAG 403</p>	<p>Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.</p>	2	\$	300.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	<p>The surface slope at the group spinner is too high at 10.8%.</p>	<p>ADAAG 1008.4.2</p>	<p>Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the group spinner. Provide group spinners no higher than 24 inches above the playground surface. UD - Consider a mat under the seated spinner to prevent a kick-out of the surface material.</p>	2	\$	105.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	<p>The slope at the swings is too high at 6.9%.</p>	<p>ADAAG 1008.4.2</p>	<p>Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the swing. Provide swings no higher than 24 inches above the playground surface. An accessible swing with a seat would be recommended at some point. UD - Consider a mat under the swings to prevent a kick-out of the surface material.</p>	2	\$	100.00
King Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures</p>	<p>The cross slope going up to the pavilion and restrooms is too steep up to 3.9% for 24 feet.</p>	<p>ADAAG 403.3</p>	<p>Remove and regrade section to provide a cross slope no greater than 2%.</p>	1	\$	850.00

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King Park Transition Plan		\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park Pictures	The asphalt walkway where it meets the concrete walk to the restrooms has a running slope too steep up to 8.1% for 9 feet.	ADAAG 403.3		1	\$	525.00	When updating the walkway, remove and regrade section to provide an accessible route with a running slope no greater than 5% and a cross slope no greater than 2% for 15 feet.
King Park Transition Plan	Pavilion	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos	The north door has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	NA		3	\$	105.00	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
King Park Transition Plan	Pavilion	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos	The east door has an opening force too high at 14 lbs.	NA		3	\$	105.00	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
King Park Transition Plan	Pavilion	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos	The southeast doors have an opening force too high at 10 lbs. and 12 lbs.	NA		3	\$	210.00	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
King Park Transition Plan	Pavilion	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos	The southwest doors have an opening force too high at 12 lbs. and 15 lbs. and one door closes too quickly at 4 seconds.	NA		3	\$	210.00	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
King Park Transition Plan	Women's Restroom-Interior Pavilion	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos	The interior women's pavilion restroom has a mirror mounted too high at 41 inches AFF.	ADAAG 603.3		4	\$	520.00	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.

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King Park Transition Plan	Men's Restroom-Interior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The interior men's pavilion restroom has a mirror mounted too high at 40 3/4 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
King Park Transition Plan	Women's Restroom-Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The exterior women's pavilion restroom door has an opening force too high at 12 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
King Park Transition Plan	Women's Restroom-Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The exterior women's pavilion restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
King Park Transition Plan	Women's Restroom-Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The exterior women's pavilion restroom stall door does not have handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
King Park Transition Plan	Women's Restroom-Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The exterior women's pavilion restroom toilet paper dispenser is mounted only 5 inches above the grab bar.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do no mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The exterior men's pavilion restroom door has an opening force too high at 12 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The exterior men's pavilion restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	The exterior men's pavilion restroom stall door does not have handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00

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King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King_Park\King Park - Building\Photos</u>	The exterior men's pavilion restroom toilet paper dispenser is mounted only 5 inches above the grab bar.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King_Park\King Park - Building\Photos</u>	The wheelchair height drinking fountain is mounted too low at 25 1/2 inches for the knee clearance.	ADAAG 306 & ADAAG 602.2	Raise the wheelchair drinking fountain to provide a minimum 27 inches knee clearance and a spout height no higher than 36 inches AFF.	4	\$	1,200.00
King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King_Park\King Park - Building\Photos</u>	There are 4 picnic tables provided at the pavilion, but none are of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$750/each) and locate them on an accessible surface.	2	\$	1,500.00
King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King_Park\King Park - Building\Photos</u>	The pavilion grill is not on an accessible route for 24 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	850.00
King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King_Park\King Park - Building\Photos</u>	There is no accessible route provided to the swings for 87 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	3,000.00

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King Park Transition Plan	Restroom Exterior Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\King Park\King Park - Building\Photos</u>	There is no accessible parking provided for this park. It appears there might be some at the dead end road.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Kiwanis Park Transition Plan		<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</u>	The accessible parking near the kayak launch is an 8 foot parking space and a 5 foot access aisle.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00
Kiwanis Park Transition Plan		<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</u>	The accessible route to the accessible kayak launch has debris on it.	ADAAG 302	Provide a surface that is firm, stable and slip resistant and not more than 2% in all directions. Keep this area clear of dirt and debris. If necessary provide a fencing to block this material.	2	\$	75.00
Kiwanis Park Transition Plan		<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</u>	There is no accessible parking provided at the skate park.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00

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Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	There is no accessible route to the picnic tables for 69 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.	2	\$	1,500.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	The picnic tables are not of an accessible design or on an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,040).	2	\$	3,650.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	The grill is not on an accessible route for 69 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	2,400.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	There is not accessible surface at the grills.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	From the picnic area and grill there is no accessible route provided to the playground for 66 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,300.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	The playground equipment only offers 3 accessible elevated elements because of the large step.	ADAAG 1008.3.1	If possible add a transfer platform or ramp to connect to at least 50% of these elevated play components. Because of the age and design of this playground it may need to be considered for replacement.	2	\$	2,080.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	There is no accessible play equipment or transfer system provided for the sand play element.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area.	2	\$	2,000.00

ADA Analysis

Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	<p>The swing have surface slopes are too steep at 19.8%.</p>	ADAAG 1008.4.2	<p>Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the swing. Provide swings no higher than 24 inches above the playground surface. An accessible swing with a seat would be recommended at some point. UD - Consider a mat under the swings to prevent a kick-out of the surface material.</p>	2	\$	100.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	<p>The playground has 14 elevated play components but only 3 ground level play components.</p>	ADAAG 240.2	<p>Provide two more ground level play component on an accessible route that provides an experience such as rocking, sliding, interactive, or climbing experience.</p>	2	\$	2,100.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	<p>The spinner surface slope is too high at 10.4%.</p>	ADAAG 1008.4.2	<p>Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the group spinner. Provide seated spinners no higher than 24 inches above the playground surface. UD - Consider a mat under the group spinner to prevent a kick-out of the surface material.</p>	2	\$	105.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	<p>There is no accessible route provided to the building from the playground for 20 feet.</p>	ADAAG 403	<p>Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.</p>	2	\$	700.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	<p>The potential accessible parking at the playground has a slope in the back that is too steep at 3.5%.</p>	ADAAG 502.4	<p>Regrade the parking spaces to be no steeper than 2% in all directions.</p>	1	\$	1,050.00
Kiwanis Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</p>	<p>There is no accessible parking space next to the building.</p>	WAC 346.503	<p>Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.</p>	1	\$	860.00

ADA Analysis

Kiwanis Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</u>	The door entrance into the building by the proposed parking space has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</u>	The two mats by the door entrance are too light and could be a tripping hazard.	ADAAG 302.2	Provide a mat with a heavier backing or tape the mat to the floor.	1	\$	310.00
Kiwanis Park Transition Plan		<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</u>	The drinking fountain is a wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Kiwanis Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Bathrooms\Photos</u>	The men's restroom door opening force is too high at 18 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Bathrooms\Photos</u>	The men's restroom hand dryer protrudes out 6 1/2 inches are 40 1/2 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF Option 2: Move the hand dryer to above the sink counter.	1	\$	625.00
Kiwanis Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Bathrooms\Photos</u>	The men's restroom mirror is mounted too high at 40 3/4 inches.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Kiwanis Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Bathrooms\Photos</u>	The men's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00

ADA Analysis

Kiwanis Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The men's restroom stall door does not provide handles.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The women's restroom door has an opening force too high at 13 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The women's restroom mirror is mounted too high at 40 3/4 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The women's restroom stall does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The main entrance doors have an opening force too high at 10 lbs. and 11 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	210.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The coat hangers are mounted too high 55 1/2 inches AFF.	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.	4	\$	210.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The side door exit by the grills has an opening force too high at 18 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The mat at the side door exit is too light and could be a tripping hazard.	ADAAG 302.2	Provide a mat with a heavier backing or tape the mat to the floor.	1	\$	155.00

ADA Analysis

Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exit door by the dumpster has a door opening force too high at 15 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	1	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exit door by the dumpster has a mat too light and could be a tripping hazard.	ADAAG 302.2	Provide a mat with a heavier backing or tape the mat to the floor.	1	\$	155.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The kitchen door has an opening force too high at 13 lbs. and closes too quickly at 4 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The kitchen door is too narrow at 29 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The kitchen does not provide an accessible sink.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,775.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The kitchen serving counter is mounted too high at 36 inches AFF.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	670.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The kitchen does not provide a proper work station.	ADAAG 902	Provide a work surface with a clear floor space of 30 inches minimum by 48 inches minimum and provide a minimum 27 inches knee clearance between 17 inches to 25 inches back under the work surface. Provide a work surface top between 28 inches minimum AFF to 34 inches AFF maximum.	2	\$	625.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exit door out of the kitchen has an opening force too high at 12 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	1	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exit door out of the kitchen is too narrow at 29 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00

ADA Analysis

Kiwanis Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The walkway up to the men's restroom has an abrupt transition of 1 1/4 inch.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	175.00
Kiwanis Park Transition Plan	Men's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exterior men's restroom door has an opening force too high at 11 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan	Men's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exterior men's restroom sinks do not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Kiwanis Park Transition Plan	Men's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exterior men's restroom mirror is mounted too high at 40 3/4 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Kiwanis Park Transition Plan	Men's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exterior men's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Kiwanis Park Transition Plan	Men's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exterior men's restroom rear grab bar has a centerline of only 10 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exterior women's restroom door has an opening force too high at 9 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The exterior women's restroom hand dryer protrudes out 6 1/2 inches at 40 1/2 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF Option 2: Move the hand dryer to above the sink counter.	1	\$	625.00

ADA Analysis

Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The exterior women's restroom toilet has a centerline too far from the wall at 18 3/4 inches.	ADAAG 604.2	Move the stall wall and grab bar and/or relocate the toilet with an offset drain to provide a centerline 16 inches to 18 inches from the wall.	3	\$	1,675.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The exterior women's restroom does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There are 6 picnic table provided but none are of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The grills provided do not give enough clear maneuver space to all sides and are mounted too high at 38 inches AFF.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Follow Outdoor Developed Area Report that states 20% of grills, but at least two, be of accessible design, and connected to an accessible route (ADAAG 403). The accessible grill should provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface, a clear floor space and controls that are within a maximum reach range of 48 inches AFF. And a 48 inches by 48 inches space centered on the usable sides of the grill is required. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	800.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There is no accessible route provided to the water spout for 30 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,050.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There is no accessible route provided to the basketball court for 15 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	525.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There is no accessible route provided to the north player bench for 8 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	300.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There is no companion seating at the north player bench.	ADAAG 221.2.1.4 & 802.1	Connect the accessible route to the companion seating space on next to the player bench that has a 36 inches by 48 inches clear floor space from the front or rear or provide a 36 inches by 60 inches clear floor space for a side approach.	2	\$	315.00

ADA Analysis

Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no accessible route provided to the bleachers for 40 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,400.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no companion seating provided at the bleachers.	ADAAG 221.2.1 & 802.1	Provide the appropriate number of wheelchair spaces (30 inches X 48 inches space) per total number of seats (\$315 per space) with a slope of 2% in all directions. Connect this wheelchair space to the accessible route.	2	\$	630.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no accessible route provided for the east player bench for 55 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,925.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no companion seating at the player bench.	ADAAG 221.2.1.4 & 802.1	Connect the accessible route to the companion seating space on next to the player bench that has a 36 inches by 48 inches clear floor space from the front or rear or provide a 36 inches by 60 inches clear floor space for a side approach.	2	\$	315.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no accessible route provided to the concrete area for 230 feet. Not sure if this is used for anything.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	8,050.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no parking provided at the pavilion and ballfield.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The counter at the pavilion protrudes into the accessible route at 14 inches.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object.	1	\$	600.00
Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There are 9 picnic table provided at the pavilion but not are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00

ADA Analysis

Kiwanis Park Transition Plan	Women's Restroom-Exterior	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The drinking fountain at the pavilion is wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
Kiwanis Park Transition Plan	Women's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield women's restroom door has an opening force too high at 15 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan	Women's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Kiwanis Park Transition Plan	Women's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Kiwanis Park Transition Plan	Women's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield women's restroom stall door does not provide handles.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Kiwanis Park Transition Plan	Women's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield women's restroom rear grab bar has a centerline of only 11 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Kiwanis Park Transition Plan	Women's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield women's restroom side grab bar is too far from the corner at 13 inches.	ADAAG 604.5.1	Relocate the side grab bar to be no more than 12 inches from the corner. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Kiwanis Park Transition Plan	Women's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield women's restroom has a coat hook mounted too high at 52 1/4 inches.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00

ADA Analysis

Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield men's restroom door has an opening force too high at 17 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield men's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield men's restroom stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield men's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield men's restroom coat hook is mounted too high at 50 1/2 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The ballfield men's restroom rear grab bar has a centerline of only 10 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no accessible route provided to the northwest bleachers for 70 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,450.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	The northwest bleachers do not provide companion seating.	ADAAG 221.2.1 & 802.1	Provide the appropriate number of wheelchair spaces (30 inches X 48 inches space) per total number of seats (\$315 per space) with a slope of 2% in all directions. Connect this wheelchair space to the accessible route.	2	\$	630.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no accessible route provided to the southeast bleachers for 70 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,450.00

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Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The southeast bleachers do not provide companion seating.	ADAAG 221.2.1 & 802.1	Provide the appropriate number of wheelchair spaces (30 inches X 48 inches space) per total number of seats (5315 per space) with a slope of 2% in all directions. Connect this wheelchair space to the accessible route.	2	\$	630.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The accessible route to the concession stand has cross slope is too steep up to 4.2% for 20 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,000.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The concession counter is mounted too high at 37 inches AFF.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	645.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	The concession stand has a 5 inch step into it.	ADAAG 406 & ADAAG 404.2.4.4	Provide a built-up curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2%. Connect this to a level landing at the door that is 5 foot and not steeper than 2% in all directions.	4	\$	2,080.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There is no accessible route provided to the picnic shelter for 48 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,700.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There are 50 picnic tables but none are of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than ten, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$750/each) and locate them on an accessible surface.	2	\$	7,500.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There is no curb ramp provided at the archery range from the street and potential parking space.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos</u>	There is no accessible route provided at the archery range for 151 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	5,300.00

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Kiwanis Park Transition Plan	Men's Restroom-By Ballfield	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park - Bathrooms\Photos	There is no accessible parking provided at the archery range.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00
Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos	The walkway along Kiwanis Park Road just before the driveway for the north parking lot has a cross slope that is too steep at up to 4.3% for 54 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	5,400.00
Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos	The walkway along Kiwanis Park Road toward the playground near the driveway for the building has a cross slope that is too steep at up to 4.2% for 34 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,400.00
Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos	The walkway along Kiwanis Park Road from the building all the way to 17th street has surface issues for 1035 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	103,500.00
Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos	The walkway along 17th street has surface issues for 200 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	20,000.00
Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos	The north gutter at 17th and Kiwanis Park Road has abrupt transition.	ADAAG 406.2	Grind down or remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	300.00
Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos	The north gutter at 17th and Kiwanis Park Road does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos	The south gutter at 17th and Kiwanis Park Road has abrupt transition.	ADAAG 406.2	Grind down or remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	300.00

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Kiwanis Park Transition Plan	Sidewalk Accessibility Issues	<p><u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Kiwanis Park\Kiwanis Park Photos</u></p>	The south gutter at 17th and Kiwanis Park Road does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
Lakeview Park Transition Plan		<p><u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos</u></p>	Two accessible parking spaces are provided but they are not properly marked. Consider placing one accessible parking spaces at the picnic shelter.	WAC 346.503	Provide two accessible parking spaces that are a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	1,720.00
Lakeview Park Transition Plan		<p><u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos</u></p>	No accessible route is provided from the accessible parking space to the swings for 35 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,225.00
Lakeview Park Transition Plan		<p><u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos</u></p>	No accessible route is provided from the swings to the playground for 59 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,100.00
Lakeview Park Transition Plan		<p><u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos</u></p>	The slopes at the swings are too steep at 13.1%, 13.2%, 16.1% and 19.2%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the swing. Provide swings no higher than 24 inches above the playground surface. An accessible swing with a seat would be recommended at some point. UD - Consider a mat under the swings to prevent a kick-out of the surface material.	2	\$	105.00
Lakeview Park Transition Plan		<p><u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos</u></p>	The slope at the spinner is too steep at up to 4.6%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the seated spinner. Provide seated spinners no higher than 24 inches above the playground surface. UD - Consider a mat under the seated spinner to prevent a kick-out of the surface material.	2	\$	105.00

ADA Analysis

Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	No accessible route is provided from the swings to the playground for 62 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,175.00
Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	No accessible route is provided to the gazebo for 47 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,650.00
Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The gazebo has a vertical rise of 46 inches but no ramp or access to the top of the gazebo.	ADAAG 405.8	Provide a new ramp with a running slope no steeper than 8.3%, a cross slope no steeper than 2% and handrails on both sides that are mounted to 34 inches to 38 inches to the top of the gripping surface.	1	\$	8,000.00
Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	No accessible route is provided up to the grill for 12 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	425.00
Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The grill surface is loose and uneven.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The grill height is too high at 39 inches AFF.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	415.00
Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The is a 4 1/2 inch step up to the picnic pavilion.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the walkway. Also provide a proper slope to the walkway to the restrooms. This may require installing an parallel or in-line curb ramp.	1	\$	1,650.00
Lakeview Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The picnic shelter has 40 picnic tables but none appear to be accessible.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase 8 accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	6,280.00

ADA Analysis

Lakeview Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The cross slope from the entrance of the picnic pavilion toward the restrooms is too steep at up to 6% for 20 feet.	ADAAG 406	See previous note related to the installation of a parallel or in-line curb ramp to also provide access to the picnic shelter surface.	1		N/A
Lakeview Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The garbage can holder narrows the walkway making it impossible for a person in a wheelchair.	ADAAG 403.5.1	Relocate the garbage can to provide a clear accessible route that is a minimum 36 inches wide but can narrow down to 32 inches but for no more than 24 inches.	1	\$	50.00
Lakeview Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The cross slope from the corner of the building to the restroom doors is too steep at up to 3.9% for 14 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	1,400.00
Lakeview Park Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The men's restroom door has an opening force too high at 20 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Lakeview Park Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The men's restroom sink is mounted too low with a 24 1/2 inch knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Lakeview Park Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Lakeview Park Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The men's restroom hand dryer protrudes out at 8 inches and 44 inches AFF.	ADAAG 307	Relocate the hand dryer to above the sink counter.	1	\$	625.00
Lakeview Park Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The men's restroom urinals are mounted too high at 24 1/2 inches AFF.	ADAAG 605	Provide a stall type or lower the wall hung urinal to be no higher than 17 inches AFF and at least 13 1/2 inches deep.	3	\$	1,450.00
Lakeview Park Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The men's restroom stall is too narrow at 38 1/2 inches wide, is not self closing and does not provide an inside handle.	ADAAG 604.3.1	Reconfigure the accessible stall to provide a clearance around the toilet that is 60 inches minimum from the side wall to side wall and 56 inches minimum from the back wall to the front stall. This may require taking over the adjoining space or stall.	3	\$	4,700.00
Lakeview Park Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Lakeview Park\Photos	The women's restroom door closes too quickly at 2 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00

ADA Analysis

Lakeview Park Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Lakeview Park\Photos	The women's restroom sink is mounted too low with a 24 inch knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Lakeview Park Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Lakeview Park\Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Lakeview Park Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Lakeview Park\Photos	The women's restroom hand dryer protrudes out at 8 inches and 44 inches AFF.	ADAAG 307	Relocate the hand dryer to above the sink counter.	1	\$	625.00
Lakeview Park Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Lakeview Park\Photos	The women's restroom stall is too narrow at 41 1/2 inches wide, is not self closing and does not provide an inside handle.	ADAAG 604.3.1	Reconfigure the accessible stall to provide a clearance around the toilet that is 60 inches minimum from the side wall to side wall and 56 inches minimum from the back wall to the front stall. This may require taking over the adjoining space or stall.	3	\$	4,700.00
Maywood Environmental Park Transition Program	Exterior	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Maywood Environmental Park\Maywood Environmental Park Photos	The accessible route to the Prairie Overlook has a cross slope too steep at up to 5.8% for 27 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	950.00
Maywood Environmental Park Transition Program	Exterior	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Maywood Environmental Park\Maywood Environmental Park Photos	The trail up to the Prairie Overlook is too narrow at 20 inches for 112 feet.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1017	Trail Recommendation: If using concrete, asphalt or boards then the cross slope can be no steeper than 2%, any other surface can go up to 5%. Other possible trail surfaces can be used such as a 3/4 inches minus limestone with a 50% mix of dust that is firm and stable with a slope no steeper than 2% for a cross slope and no steeper than 5% for a running slope. Provide this surface at the benches, trash cans and signs along the way.	2	\$	3,300.00
Maywood Environmental Park Transition Program	Exterior	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Maywood Environmental Park\Maywood Environmental Park Photos	The ramp up to the top of the Prairie Overlook does not provide handrails for 52 feet.	ADAAG 504.6	Provide handrails on both sides of the stairs that are, continuous on the inside, between 34 inches to 38 inches to the top of the railing above the stair nosing, have an outside diameter of between 1 1/4 inches to 2 inches, have handrails extensions, provide clear space of 1 1/2 inches and comply with ADAAG 505.	1	\$	1,575.00

ADA Analysis

Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	There is no accessible route to the Council Ring for 360 feet.	Proposed Outdoor Areas Standards ADAAG 1017	Trail Recommendation: If using concrete, asphalt or boards then the cross slope can be no steeper than 2%, any other surface can go up to 5%. Other possible trail surfaces can be used such as a 3/4 inches minus limestone with a 50% mix of dust that is firm and stable with a slope no steeper than 2% for a cross slope and no steeper than 5% for a running slope. Provide this surface at the benches, trash cans and signs along the way.	2	\$	10,800.00
Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	There are various benches throughout the park but most are not on an accessible route or provide companion seating.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	950.00
Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	There are many picnic tables through the park but none at the time of the survey were on an accessible route, were of an accessible design or were on an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,040).	2	\$	11,000.00
Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	A portable toilet was provided but it was not of an accessible design.	ADAAG 213.2	For portable toilets, provide at least 5% but no less than one be of an accessible portable toilet design on an accessible route and designed with the International Symbol of Accessibility.	3		N/A
Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	The curb ramp up to the walkway has a running slope too steep at up to 10%.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter.	1	\$	1,650.00
Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	Where the walkway comes up to the patio there is a small step of 3 inches.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter.	1	\$	1,650.00

ADA Analysis

Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	The Trail of Discovery does not provide an accessible surface.	Proposed Outdoor Areas Standards ADAAG 1017	Trail Recommendation: Start by provide accessible surfaces at short trail loops and expand as updating the trail surface. If using concrete, asphalt or boards then the cross slope can be no steeper than 2%, any other surface can go up to 5%. Other possible trail surfaces can be used such as a 3/4 inches minus limestone with a 50% mix of dust that is firm and stable with a slope no steeper than 2% for a cross slope and no steeper than 5% for a running slope. Provide this surface at the benches, trash cans and signs along the way.	2	\$	9,000.00
Maywood Environmental Park Transition Program	Exterior	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	The ramp along the Ecology Center down to the Sugar House has a running slope too steep at up to 12.1% for 95 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 237 feet. Option 1: Because of the slope in this area and limited spacing regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary. Option 2: Create an new accessible route to this area.	1	\$	15,000.00
Maywood Environmental Park Transition Program	Pavilion	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park Photos</p>	The WM. A. Hayssen Pavilion doors have an opening force too high at 12 lbs. and 15 lbs. and both close too quickly at 5 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Maywood Environmental Park Transition Program	Pavilion	<p>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</p>	The WM. A. Hayssen Pavilion west exit door has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Maywood Environmental Park Transition Program	Pavilion	<p>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</p>	The WM. A. Hayssen Pavilion south exit door has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Maywood Environmental Park Transition Program	Pavilion	<p>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</p>	The WM. A. Hayssen Pavilion kitchen does not provide an accessible sink.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,775.00

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Maywood Environmental Park Transition Program	Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The WM. A. Hayssen Pavilion kitchen does not provide a work station.	ADAAG 902	Provide a work surface with a clear floor space of 30 inches minimum by 48 inches minimum and provide a minimum 27 inches knee clearance between 17 inches to 25 inches back under the work surface. Provide a work surface top between 28 inches minimum AFF to 34 inches AFF maximum.	2	\$	675.00
Maywood Environmental Park Transition Program	Pavilion	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The WM. A. Hayssen Pavilion kitchen door has an opening force too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom door has an opening door force too high at 15 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom hand dryer and paper towel dispenser protrudes out 6 inches at 41 inches AFF into the clear floor space of the sink.	ADAAG 307	Relocate the hand dryer and paper towel dispenser out of the clear floor space of the sink to above the sink counter.	1	\$	775.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom sink has a knee clearance of only 26 inches.	ADAAG 606.5	Re-set the pipe protective panel to provide the minimum 27 inches knee clearance at a minimum of 8 inches back. Option: Remove panel and install protective pipe wrapping.	3	\$	155.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom mirror is mounted too high at 41 1/2 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00

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Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom toilet paper dispenser is mounted to the side.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom rear grab bar has a centerline of only 11 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom coat hook is mounted too high at 54 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Maywood Environmental Park Transition Program	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The hangers by the restroom are mounted too high at 54 inches AFF.	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.	4	\$	210.00
Maywood Environmental Park Transition Program	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The women's restroom door has an opening door force too high at 15 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Maywood Environmental Park Transition Program	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The women's restroom hand dryer and paper towel dispenser protrudes out 5 inches at 41 inches AFF.	ADAAG 307	Relocate the hand dryer and paper towel dispenser out of the clear floor space of the sink to above the sink counter.	1	\$	775.00

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Maywood Environmental Park Transition Program	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom sink has a knee clearance of only 26 inches.	ADAAG 606.5	Re-set the pipe protective panel to provide the minimum 27 inches knee clearance at a minimum of 8 inches back. Option: Remove panel and install protective pipe wrapping.	3	\$	155.00
Maywood Environmental Park Transition Program	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom mirror is mounted too high at 41 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Maywood Environmental Park Transition Program	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom toilet paper dispenser is mounted to the side.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Maywood Environmental Park Transition Program	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom rear grab bar has a centerline of only 10 3/4 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Maywood Environmental Park Transition Program	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Maywood Environmental Park Transition Program	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom coat hook is mounted too high at 53 1/2 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Maywood Environmental Park Transition Program	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The north corridor doors have an opening force too high at 14 lbs. and closes too quickly at 4 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00

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Maywood Environmental Park Transition Program	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The north corridor exit door out to the parking lot has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	NA		3	\$	105.00	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The south corridor doors have a clear opening of only 28 inches.	ADAAG 404.2.2		2	\$	3,120.00	Remove and replace doors with at least one door leaf that provide a clear opening of 32 inches minimum. Option: consider an automatic door that opens both door leaves at the same time.
Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The south corridor doors has a door opening force too high at 12 lbs. and one door closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9		2	\$	210.00	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The hangers are mounted too high at 54 1/4 inches AFF.	ADAAG 222.1 & ADAAG 308		4	\$	210.00	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.
Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The lab doors to the outside have an opening force too high at 25 lbs. and 22 lbs. and close too quickly at 3 seconds and 4 seconds.	NA		3	\$	210.00	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The preschool door to hall has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9		2	\$	105.00	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The preschool coat hooks are mounted at 45 1/2 inches AFF.	ADAAG 308.1		2	\$	155.00	Depending on the age of the students, provide 5% of the coat hooks at a height no higher than 36 inches AFF for ages 3 to 4, 40 inches AFF for ages 5 to 8 and 44 inches AFF for ages 9 to 12.
Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The rugs in the room do not have a heavy backing or are taped down.	ADAAG 302.2		1	\$	310.00	Provide rugs with a heavier backing or tape the mat to the floor.

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Maywood Environmental Park Transition Program	South Corridor	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	Tables are provided but they do not allow for an adjustable height.	ADAAG 902.4	Provide a table with a top between 26 inches AFF to 30 inches AFF. If a forward approach is desired then provide a minimum of 24 inches knee clearance. An adjustable height table would be recommended.	2	\$	625.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom by the fireplace has the sign mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom by the fireplace has a door opening force too high at 12 lbs. and closes too quickly at 4 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom by the fireplace has a door clear opening of only 27 1/2 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom by the fireplace door does not provide the clear maneuvering space.	ADAAG 404.2.4	Reverse the door swing to provide the minimum 18 inches clear maneuvering space required. This may get corrected when replacing the door.	1	\$	1,650.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom by the fireplace has a sink with a knee clearance of only 26 inches.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom by the fireplace has a sink that does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The men's restroom by the fireplace has a sink with a step stool in the clear floor space.	ADAAG 606.2	Relocate the step stool to provide the minimum 30 inches wide by 48 inches deep clear floor space. If for preschool, trail staff to bring out only when used by the children.	3	\$	55.00

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Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The men's restroom by the fireplace does not provide an accessible toilet stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Maywood Environmental Park Transition Program	Men's Restroom by Fireplace	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The drinking fountain is a wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom by the fireplace has the sign mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom by the fireplace has a door opening force too high at 11 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The women's restroom by the fireplace has a door clear opening of only 27 1/2 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00

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Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The women's restroom by the fireplace has a sink with a knee clearance of only 26 inches.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The women's restroom by the fireplace has a sink that does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The women's restroom by the fireplace has a soap dispenser mounted too high at 50 inches AFF.	ADAAG 308	Remount the soap dispenser to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	105.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	The women's restroom by the fireplace does not provide an accessible toilet stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	A large kitchen does not provide an accessible sink.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,775.00
Maywood Environmental Park Transition Program	Women's Restroom By Fireplace	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos</u>	A large kitchen does not provide a work station.	ADAAG 902	Provide a work surface with a clear floor space of 30 inches minimum by 48 inches minimum and provide a minimum 27 inches knee clearance between 17 inches to 25 inches back under the work surface. Provide a work surface top between 28 inches minimum AFF to 34 inches AFF maximum.	2	\$	675.00

ADA Analysis

Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The basement exit doors have an opening force too high at 12 lbs. and 15 lbs. and one door closes too quickly at 2 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	210.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The general basement sink is mounted too low at 26 inches knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The general basement sink does not provide protective pipe wrapping.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The basement unisex restroom door has an opening force too high at 12 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The basement unisex restroom rear grab bar has a centerline of only 10 1/2 inches.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The basement unisex restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The basement unisex restroom mirror is mounted too high at 41 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The basement unisex restroom has a hand dryer and paper towel dispenser that protrudes out 6 1/2 inches at 41 inches AFF.	ADAAG 307	Relocate the hand dryer and paper towel dispenser out of the clear floor space of the sink to above the sink counter.	1	\$	775.00
Maywood Environmental Park Transition Program	Basement	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Maywood Environmental Park\Maywood Environmental Park - Building\Photos	The basement stair door has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00

ADA Analysis

Mead Library Transition Plan	First Floor	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The drinking fountain wheelchair height is too low at 26 1/4 inch knee clearance.	ADAAG 306 & ADAAG 602.2	Raise the drinking fountain to provide a minimum 27 inches knee clearance and a spout height no higher than 36 inches AFF.	4	\$	1,200.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom door opening force is too high at 16 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom baby changing station is mounted too high at 36 inches AFF.	ADAAG 902	Remount the baby changing table to be no higher than 34 inches AFF to the changing surface and provide a minimum knee clearance of 27 inches. Also mount it so the handle is no higher than 48 inches AFF.	3	\$	285.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom accessible stall coat hook is mounted too high at 60 1/2 inches.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom needle disposal is mounted too high at 56 inches AFF.	ADAAG 308	Remount the needle disposal to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	105.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom mirror is mounted too high at 44 1/2 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom accessible stall door does not provide an inside stall door handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom accessible stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00

ADA Analysis

Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom accessible stall toilet paper dispenser is located 3 inches above the grab bar.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom rear grab bar has a centerline of only 9 3/4 inch.	ADAAG 604.5.2	Relocate the rear grab bar to provide 12 inches from the centerline of the toilet to the corner and at least 24 inches from the centerline to the transfer side of the toilet. Mount the grab bars to between 33 inches to 36 inches to the top.	3	\$	165.00
Mead Library Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor men's restroom accessible toilet flush control is not on the open side of the toilet.	ADAAG 604.6	Provide flush controls on the open side of the toilet that are within 48 inches AFF, and do not require tight grasping, pinching or twisting of the wrist to operate and no more than 5 lbs. of pressure to operate.	3	\$	260.00
Mead Library Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor women's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Mead Library Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor women's restroom door opening force is too high at 16 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Mead Library Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The first floor women's restroom baby changing station is mounted too high at 38 inches AFF.	ADAAG 902	Remount the baby changing table to be no higher than 34 inches AFF to the changing surface and provide a minimum knee clearance of 27 inches. Also mount it so the handle is no higher than 48 inches AFF.	3	\$	285.00

ADA Analysis

Mead Library Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The first floor women's restroom needle disposal is mounted too high at 58 inches AFF.	ADAAG 308	Remount the needle disposal to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	105.00
Mead Library Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The first floor women's restroom accessible stall door does not provide an inside stall door handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Mead Library Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The first floor women's restroom accessible stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Mead Library Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The first floor women's restroom accessible stall toilet paper dispenser is located 3 inches above the grab bar.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Mead Library Transition Plan	Josephine A. Rocca Meeting Room	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The Josephine A Rocca meeting room doors have an opening force too high at 8 and 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Mead Library Transition Plan	Josephine A. Rocca Meeting Room	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The emergency exit was alarmed at the time of the site visit. It was assumed the door opening force and/or the closing speed did not meet code.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The second floor men's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should to be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

ADA Analysis

Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor men's restroom door opening force is too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor men's restroom sink is mounted too low at knee clearance of 24 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor men's restroom accessible stall coat hook is mounted too high at 64 inches AFF.	ADAAG 308	Lower the existing coat hooks or add a second coat hook at 48 inches AFF.	4	\$	55.00
Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor men's restroom needle disposal is mounted too high at 56 inches AFF.	ADAAG 308	Remount the needle disposal to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	105.00
Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor men's restroom paper towel dispenser is mounted too high at 53 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	155.00
Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor men's restroom mirror is mounted too high at 49 1/2 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00

ADA Analysis

Mead Library Transition Plan	Men's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor men's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor women's restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor women's restroom door opening force is too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor women's restroom sink is mounted too low at knee clearance of 24 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor women's restroom needle disposal is mounted too high at 56 inches AFF.	ADAAG 308	Remount the needle disposal to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	105.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor women's restroom mirror is mounted too high at 48 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00

ADA Analysis

Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor women's restroom paper towel dispenser is mounted too high at 53 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	155.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The second floor women's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The Quiet Room doors have an opening force too high at 8 lbs. and 9 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The emergency exit was alarmed at the time of the site visit. It was assumed the door opening force and/or the closing speed did not meet code.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The emergency exit was alarmed at the time of the site visit. It was assumed the door opening force and/or the closing speed did not meet code.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The Loft has a door opening force too high at 12 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Shared\data\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Library\Library Photos	The Teen room has a door opening force too high at 12 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00

ADA Analysis

Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT_STUDY\Library\Library_Photos	The teen room tables are too low with a knee clearance of 26 inches AFF.	ADAAG 226 & ADAAG 902	It did not appear that these tables were adjustable. Relocate, purchase or add blocks to the table legs to provide a table with a minimum 27 inches knee clearance for at least 17 inches to 25 inches deep and a table height between 28 inches and 34 inches as needed.	2	\$	625.00
Mead Library Transition Plan	Women's Restroom 2nd Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT_STUDY\Library\Library_Photos	The Children's doors have an opening force too high at 10 lbs. each.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Mead Library Transition Plan	Single User(First One)-Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT_STUDY\Library\Library_Photos	The third floor first single user restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Mead Library Transition Plan	Single User(First One)-Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT_STUDY\Library\Library_Photos	The third floor first single user restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Mead Library Transition Plan	Single User(First One)-Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT_STUDY\Library\Library_Photos	The third floor first single user restroom baby changing station is mounted too high at 53 1/2 inches.	ADAAG 902	This is an older model baby changing table that should be replaced. The baby changing table to be no higher than 34 inches AFF to the changing surface and provide a minimum knee clearance of 27 inches. Also mount it so the handle is no higher than 48 inches AFF.	3	\$	780.00
Mead Library Transition Plan	Single User(Second One)-Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT_STUDY\Library\Library_Photos	The third floor second single user restroom sign is mounted on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Mead Library Transition Plan	Single User(Second One)-Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT_STUDY\Library\Library_Photos	The third floor first single user restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00

ADA Analysis

Mead Library Transition Plan	Single User(Second One)- Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The third floor first single user restroom accessible stall toilet paper dispenser is 12 inches in front of toilet.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: It would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Mead Library Transition Plan	Single User(Second One)- Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The third floor second single user restroom needle disposal is mounted too high at 58 inches AFF.	ADAAG 308	Remount the needle disposal to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	105.00
Mead Library Transition Plan	Single User(Second One)- Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The third floor second single user restroom accessible toilet flush control is not on the open side of the toilet.	ADAAG 604.6	Provide flush controls on the open side of the toilet that are within 48 inches AFF, and do not require tight grasping, pinching or twisting of the wrist to operate and no more than 5 lbs. of pressure to operate.	3	\$	260.00
Mead Library Transition Plan	Single User(Second One)- Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The emergency exit was alarmed at the time of the site visit. It was assumed the door opening force and/or the closing speed did not meet code.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Mead Library Transition Plan	Single User(Second One)- Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The emergency exit was alarmed at the time of the site visit. It was assumed the door opening force and/or the closing speed did not meet code.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Mead Library Transition Plan	Single User(Second One)- Third Floor	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Library\Library\Photos	The pay phone provided in the lobby is mounted too high at 55 inches AFF.	ADAAG 308	Remount the pay phone to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches to the highest operable part. The phone company is likely to have the responsibility to lower the phone.	4	NA	

ADA Analysis

Mead Library Transition Plan	Single User(Second One)- Third Floor	\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Library Photos	The Library Plaza offers 6 picnic tables but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Relocate or purchase two accessible picnic tables and locate them on an accessible surface.	2	\$	1,570.00
Mead Library Transition Plan	Sidewalk Accessibility Issues	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Sidewalk photos	The sidewalk that leads toward the library from the driveway and Wisconsin Avenue has a cross slope that is too steep at up to 6.1% for 50 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and a cross slope no greater than 2%.	1	\$	5,000.00
Mead Library Transition Plan	Sidewalk Accessibility Issues	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Sidewalk photos	This same sidewalk leading to the library has a running slope too steep at 7.9%.	ADAAG 403.3	See Note Above	1		See Note Above
Mead Library Transition Plan	Sidewalk Accessibility Issues	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Sidewalk photos	The sidewalk along Wisconsin Avenue heading toward 8th Street has a cross slope that is too steep at up to 5% for 200 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	20,000.00
Mead Library Transition Plan	Sidewalk Accessibility Issues	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Sidewalk photos	The curb ramp at Wisconsin Avenue and 8th Street does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
Mead Library Transition Plan	Sidewalk Accessibility Issues	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Sidewalk photos	The curb ramp at 8th Street and New York Avenue does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
Mead Library Transition Plan	Sidewalk Accessibility Issues	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Library\Sidewalk photos	The sidewalk along New York Avenue toward the driveway and parking lot cross slope is too steep up to 3.5% for 33 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,300.00

ADA Analysis

Moose Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Moose Park\Moose Park Pictures folder</p>	There is no accessible parking provided at this park.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Moose Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Moose Park\Moose Park Pictures folder</p>	There is no accessible route provided to the playground for 22 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	1	\$	775.00
Moose Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Moose Park\Moose Park Pictures folder</p>	The swings have surface slopes that cause them to be too high at 25 inches and 26 inches.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the swing. Provide swings no higher than 24 inches above the playground surface. An accessible swing with a seat would be recommended at some point. UD - Consider a mat under the swings to prevent a kick-out of the surface material.	2	\$	100.00
Moose Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Moose Park\Moose Park Pictures folder</p>	The surface slope at the spinner is too steep at up to 11%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the group spinner. Provide the group spinner no higher than 24 inches above the playground surface. UD - Consider a mat under the group spinner to prevent a kick-out of the surface material.	2	\$	105.00
Moose Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Moose Park\Moose Park Pictures folder</p>	There is no accessible route provided to the tennis court for 28 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,000.00
Moose Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Moose Park\Moose Park Pictures folder</p>	The ballfield does not provide an accessible route to it or surfaces. This appears to be a practice field only.		If games are played at this field, then relocate to an accessible field as needed or requested. When updating the ballfield then provide and accessible route and surfaces required.	N/A		N/A

ADA Analysis

Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The accessible parking access aisle is too narrow at 4 feet.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	At the exterior main entrance door there is an abrupt transition too high at 1 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The exterior main door has an opening force of 25 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	1	\$	100.00
Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The interior main door has an opening force too high at 10 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	1	\$	105.00
Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The service counter is too high at 42 inches AFF.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	670.00

ADA Analysis

Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The women's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The men's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The door into the meeting room does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	350.00
Municipal Service Building Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos</p>	The second set of double doors may be used an alternate accessible route for a public meeting.	ADAAG 216.6, ADAAG 703.2.1 and ADAAG 703.5	Provide a directional sign with the International Symbol of Accessibility with an arrow from the inaccessible entrance toward the accessible entrance and mark that entrance with an International Symbol of Accessibility signage.	1	\$	225.00

ADA Analysis

Municipal Service Building Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos	The possible alternate meeting doors have an opening force too high at 10 lbs. and 20 lbs.	NA		3	\$	210.00	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.
Municipal Service Building Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos	There is an abrupt transition of 1 inch at the alternate meeting doors.	ADAAG 303		1	\$	475.00	Grind down or replace section of sidewalk to provide a smooth transition.
Municipal Service Building Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Municipal Services Building\Municipal Services Photos	There is a gap of 3/4 inch at the alternate meeting doors.	ADAAG 302.3		1	\$	475.00	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.
North East Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North East Park\North East Park Photos	There are 3 benches provided with one being accessible but would need one more.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011		2	\$	175.00	Bench Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the companion seating of the bench.
North East Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North East Park\North East Park Photos	The bench at Third and Blackstock does not provide companion seating.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011		2	\$	315.00	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.
North East Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North East Park\North East Park Photos	The sidewalk at the south edge of the park has a cross slope too steep up to up to 3.9% for 112 feet.	ADAAG 403.3		1	\$	11,200.00	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.
North East Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North East Park\North East Park Photos	The sidewalk at Third and Clifton does not provide a proper curb ramp and the gap is too wide.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
North East Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North East Park\North East Park Photos	The sidewalk past Clifton cross slope is too steep up to 4.1% for 380 feet.	ADAAG 403.3		1	\$	38,000.00	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.

ADA Analysis

North Point Overlook Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Overlook\North Point Overlook Photos</p>	The curb ramp at Boughton and Park is too steep at 10.6% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
North Point Overlook Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Overlook\North Point Overlook Photos</p>	There are 5 benches in the park, but none are on an accessible route.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: At two benches provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the companion seating of the bench.	2	\$	200.00
North Point Overlook Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Overlook\North Point Overlook Photos</p>	There are 5 benches in the park, but none provide companion seating.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: At the benches with the new accessible route, provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	630.00
North Point Overlook Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Overlook\North Point Overlook Photos</p>	There are 3 picnic tables provided but only one is of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface (\$1,000).	2	\$	1,785.00
North Point Overlook Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Overlook\North Point Overlook Photos</p>	The accessible picnic table has a knee clearance of only 26 inches.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Provide accessible picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top.	2	\$	750.00
North Point Overlook Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Overlook\North Point Overlook Photos</p>	There is no accessible route provided to the fitness equipment for 12 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	425.00
North Point Overlook Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Overlook\North Point Overlook Photos</p>	The dog waste bag is too far off the accessible route for 3 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	4	\$	50.00

ADA Analysis

North Point Park Transition Plan		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Mark Photos	The playground has 15 elevated play components but only one ground level play component.	ADAAG 240.2		Provide two more ground level play component on an accessible route that provides an experience such as rocking, swinging, sliding, interactive, spinning or climbing experience.	2	\$	2,100.00
North Point Park Transition Plan		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Mark Photos	The playground does not provide an accessible surface. It is located in sand.	ADAAG 1008.2.6		Provide an accessible surface of engineered wood fiber or a unitary rubberized surface.	2	\$	5,000.00
North Point Park Transition Plan		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Mark Photos	There is a gap in the wooden walkway too wide greater than 3/4 inch.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1018	See Note Below		1		See Note Below
North Point Park Transition Plan		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Mark Photos	The boardwalk does not provide accessible from the accessible route to the water.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1018		Beach Recommendation: Provide an accessible route that is a minimum of 60 inches wide, abrupt transition no higher than 1/2 inch, gaps no wider than 1/2 inch, cross slope of 2% when made of boardwalk, asphalt or concrete and up to 5% when other material (such as a Mobi Mat), and running slopes of less than 5%, if between 5% and 8.33% than for no more than 50 feet and if between 8.33% and 10% then for no more than 30 feet.	2	\$	3,000.00
North Point Park Transition Plan		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Mark Photos	The walkway heading north at the intersection has a cross slope too steep up to 6% for 128 feet.	ADAAG 403.3		Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	4,875.00
North Point Park Transition Plan		P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Mark Photos	There is an abrupt transition of 1 1/4 inch where the concrete meets the wood deck.	ADAAG 303		Raise the concrete and/or lower or trim the wood deck to provide an abrupt transition too higher than 1/4 inch or 1/2 inch beveled.	2	\$	720.00
North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom door has an opening force too high at 15 lbs.	NA		Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom signage is mounted 46 inches AFF and is on the door.	ADAAG 216.2 & ADAAG 703		The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom sink is mounted too high at 35 1/2 inches AFF.	ADAAG 606		Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00

ADA Analysis

North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom baby changing table is mounted too high at 35 1/2 inches AFF.	ADAAG 902	Remount the baby changing table to be no higher than 34 inches AFF to the changing surface and provide a minimum knee clearance of 27 inches. Also mount it so the handle is no higher than 48 inches AFF.	3	\$	285.00
North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom stall door does not provide handles.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
North Point Park Transition Plan	Women's - Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The women's beach restroom changing area does not provide enough changing and turning space.	ADAAG 803	Provide a dressing room that provides a 5 foot turning radius and a bench that complies with ADAAG 903.	3	\$	2,400.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom door has an opening force too high at 16 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom signage is mounted 46 inches AFF and is on the door.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom sink is mounted too high at 35 1/2 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom baby changing table is mounted too high at 35 inches AFF.	ADAAG 902	Remount the baby changing table to be no higher than 34 inches AFF to the changing surface and provide a minimum knee clearance of 27 inches. Also mount it so the handle is no higher than 48 inches AFF.	3	\$	285.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00

ADA Analysis

North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom stall door does not provide handles.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The men's beach restroom changing area does not provide enough changing and turning space.	ADAAG 803	Provide a dressing room that provides a 5 foot turning radius and a bench that complies with ADAAG 903.	3	\$	2,400.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The lower level drinking fountain is a standing height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance . Option: provide a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The upper level drinking fountain is a standing height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance . Option: provide a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There is a gap in the asphalt too wide at 1 inch across from the brick wall.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The asphalt walkway near the stairs has a 2 inch gap.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway by the bike rack heading north toward the pavilion has a cross slope that is too steep at up to 5.9% for 148 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	5,625.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The gutter at the cross walk by the stairs has a gap too wide above 3/4 inch.	ADAAG 302.3	Fill in or replace section of gutter to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	315.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway just past the steps at the electric box has a gap in the asphalt too wide at 2 1/2 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00

ADA Analysis

North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There are 4 benches that are not on an accessible route or provide companion seating.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	630.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway heading north opposite the historic home has a gap too wide at 2 1/2 inches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There is no accessible route to the fitness equipment for 8 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	300.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway heading north just before Michigan Avenue has a cross slope that is too steep up to 4.0% for 110 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	4,200.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	This same section of walkway there is a gap too wide at 1.5%.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The curb ramp at Michigan Avenue does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway heading north just at the guard rail has a cross slope that is too steep at up to 6.7% for 168 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	6,400.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway heading north just before the set of stairs to the beach has a cross slope that is too steep at up to 4.1% for 75 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,850.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway heading north just before the no parking sign has a cross slope that is too steep at up to 3.6% for 156 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	5,925.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway heading north at the curve but before the steps to sand has a cross slope that is too steep at up to 4.1% for 64 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,450.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The walkway heading north just before the trash can and stairs to beach has a cross slope that is too steep at up to 5.1% for 72 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,750.00

ADA Analysis

North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There are 9 benches that are not on an accessible route.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the companion seating of the bench.	2	\$	800.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There are 9 benches that do not provide companion seating.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	630.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There are three gaps in the asphalt walkway past the benches.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	550.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There are four gaps in the asphalt walkway near the parking.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	750.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The picnic table provided on the accessible route is not of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface.	2	\$	785.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The gutter at the route to the picnic table slope is too steep up to 38.3%.	ADAAG 406.2	Remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	315.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	The parking space is marked with signage but there is not stripped access aisle.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	100.00
North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There is no accessible route to the chin up bars for 23 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	875.00

ADA Analysis

North Point Park Transition Plan	Men's Beach Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\North Point Park\North Point Bathrooms Photos	There is no accessible route to the emergency button for 16 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	1	\$	600.00
Optimist Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park Photos	There is no accessible route provided to the playground for 25 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	875.00
Optimist Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park Photos	There is no access to the sand or to the play features.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area. Option: Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.	2	\$	2,080.00
Optimist Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park Photos	The playground does not provide proper handrails for the stairs.	ADAAG 1008.2.5.3	Provide handrails on both sides of the ramp for a total of 20 feet and have the top of the gripping surface be 20 inches minimum and 28 inches maximum above the ramp surface.	2	\$	850.00
Optimist Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park Photos	The walkway from the sidewalk to the restrooms has a running slope too steep at 7.9% for 8 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 14 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	1,400.00
Optimist Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park Photos	The walkway closest to the restrooms has a running slope too steep at 8.1% for 13 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 22 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	2,200.00
Optimist Park Transition Plan	Women's Restroom-Facing Street	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The women's restroom facing the street closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00

ADA Analysis

Optimist Park Transition Plan	Women's Restroom-Facing Street	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The women's restroom facing the street is missing some of the pipe protection at the sink.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Optimist Park Transition Plan	Women's Restroom-Facing Street	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The women's restroom facing the street has an hand dryer that protrudes out 8 inches at 44 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00
Optimist Park Transition Plan	Men's Restroom- Facing Street	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The men's restroom facing the street closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Optimist Park Transition Plan	Men's Restroom- Facing Street	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The men's restroom facing the street is missing some of the pipe protection at the sink.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Optimist Park Transition Plan	Men's Restroom- Facing Street	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The men's restroom facing the street has an hand dryer that protrudes out 8 inches at 44 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00
Optimist Park Transition Plan	Women's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The women's restroom facing the ballfield has a door opening force too high at 12 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Optimist Park Transition Plan	Women's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The women's restroom facing the ballfield is missing some of the pipe protection at the sink.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Optimist Park Transition Plan	Women's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The women's restroom facing the ballfield has an hand dryer that protrudes out 8 inches at 44 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00

ADA Analysis

Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The men's restroom facing the ballfield has a door opening force too high at 15 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The men's restroom facing the ballfield is missing some of the pipe protection at the sink.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The men's restroom facing the ballfield has an hand dryer that protrudes out 8 inches at 44 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF or move the hand dryer to above the sink counter.	1	\$	625.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The walkway closest to the pavilion has a running slope too steep at 8.1% for 8 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 14 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	1,400.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	There is a new accessible route to the splash pad but it was not complete at the time of the survey.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches. The surface should also be firm and stable.	2	\$	1,225.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	There are 8 picnic tables provided but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The grill is not on an accessible route for 8 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	560.00

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Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The grill does not provide an accessible surface.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	1,040.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The grill is mounted too high at 42 inches AFF.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	800.00
Optimist Park Transition Plan	Men's Restroom-Facing Ballfield	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Optimist Park\Optimist Park - Bathroom\Photos	The drinking fountain provided is wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
Police Station Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The three accessible parking are not the proper size and the paint is lite and needs to be restriped.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	300.00
Police Station Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	There is a gap of 1 inch where the gutter meets the curb ramps at each parking space.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	1,425.00
Police Station Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The walkway between curb ramps connecting the accessible parking to the entrance has a cross slope that is too steep up to 4% for 21 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%. This would require two parallel curb ramps. See ADAAG 406 for details.	1	\$	2,100.00
Police Station Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The two curb ramps nearest the building provide cross slopes too steep at up to 4%.	ADAAG 406	Provide two inline or parallel curb ramp with a cross slope no steeper than 2% and side ramps no steeper than 8.3%.	1	\$	3,300.00

ADA Analysis

Police Station Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The mat at the door is too light.	ADAAG 302.2	Provide a mat with a heavier backing or tape the mat to the floor.	1	\$	150.00
Police Station Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The brochure rack has shelves too high at 54 inches AFF and 64 inches AFF.	ADAAG 308	Lower the brochure/flyer holder to be at 48 inches AFF. Option: distribute the materials so each type is at a lower height. UD - Mount all brochure racks no higher than 48 inches AFF.	4	\$	100.00
Police Station Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The men's restroom door has an opening force of 13 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Police Station Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The men's restroom sink protective panel creates a knee clearance of only 25 inches at 8 inches back.	ADAAG 606.5	Re-set the pipe protective panel to provide the minimum 27 inches knee clearance at a minimum of 8 inches back. Option: Remove panel and install protective pipe wrapping.	3	\$	155.00
Police Station Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The men's restroom accessible stall door does not provide an inside stall door handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	100.00
Police Station Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The men's restroom accessible stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	175.00
Police Station Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The women's restroom door has an opening force of 13 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Police Station Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The women's restroom sink protective panel creates a knee clearance of only 25 inches at 8 inches back.	ADAAG 606.5	Re-set the pipe protective panel to provide the minimum 27 inches knee clearance at a minimum of 8 inches back. Option: Remove panel and install protective pipe wrapping.	3	\$	155.00
Police Station Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The women's restroom accessible stall door does not provide an inside stall door handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	100.00
Police Station Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The women's restroom accessible stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	175.00

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Police Station Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The women's restroom feminine product disposal is mounted too far from the toilet at 54 inches.	ADAAG 308	Relocate the feminine napkin disposal to be no more than 9 inches maximum in front of the toilet if mounted on the sidewall or no more than 20 inches from the toilet if mounted on the back wall. The feminine napkin disposal should be mounted no higher than 48 inches on either wall.	4	\$	100.00
Police Station Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The permanent room signs do not provide Braille.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	1,750.00
Police Station Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The holding cell mirror is too high at 49 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	500.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The men's restroom in escorted area sink is mounted too low at knee clearance of 25 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	1,950.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The men's restroom in escorted area coat hook is mounted too high at 69 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	50.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The doors for the men's and women's restrooms in the escorted area did not close all the way.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	200.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Police Station\Police Station Photos	The men's and women's restrooms in the escorted area signs were not the proper design.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	350.00

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Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The escorted area drinking fountain had a wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The court room doors opening force is too high at 10 lbs. and 8 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The court room does not provide accessible egress.	ADAAG 207	Provide an accessible means of egress that complies with section 1003.2.13 of the International Building Code (2000 edition and 2001 Supplement) or section 1007 of the International Building Code (2003 edition).	1	\$	500.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The court room exit door has an opening force too high at 10 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Police Station Transition Plan	Women's Restroom in Escorted Area	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Police Station\Police Station Photos	The court sign is mounted too high at 65 inches AFF.	ADAAG 216.2 & ADAAG 703	The permanent room sign should to be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	175.00
Riverside Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Riverside Park\Riverside Park Photos	There is no accessible route provided to the playground for 11 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	400.00
Riverside Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Riverside Park\Riverside Park Photos	The playground surface appears to be mulch and not engineered wood fiber.	ADAAG 1008.2.6	Provide an accessible surface of engineered wood fiber or a unitary rubberized surface.	2	\$	3,500.00

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Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	The walkway going toward the court has a gap greater than 1/2 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	475.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	The walkway to the courts has a cross slope that is too steep at up to 3.3% for 18 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	1,800.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	The walkway heading into the court area has a cross slope that is too steep at up to 4.4% for 24 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,400.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	The ramp handrails do not go the full length of the ramp for 37 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2%. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	3,000.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	There is no resting area at 30 feet provided at this ramp	ADAAG 405.7	Provide a level landing that is no more than 2% in all directions. Also provide a landing that is a minimum 60 inches wide and a minimum of 60 inches long.	1	\$	500.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	The walkway at the top of the court heading toward the street has a running slope that is ramp slope and should provide handrails for 150 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2%. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	24,000.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	At the top of the walkway where it meets the plaza bricks there is an abrupt transition of 3/4 inch.	ADAAG 303	Re-set the brick to provide a smooth transition.	1	\$	690.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	The walkway between the curb ramps has tree branches that protrude into the accessible route at 66 inches AFF.	ADAAG 307	Trim the branch to provide an 80 inches minimum clear head space and back to the edge of the walkway.	1	\$	100.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	The walkway along the water toward the benches has a cross slope that is too steep at up to 6.1% for 22 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,200.00
Riverside Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Riverside Park\Riverside Park Photos	Where the walkway and brick walk meet there is a gap of 1 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	475.00

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Riverside Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Riverside Park\Riverside Park Photos</p>	The curb ramp at New York and Water Street does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	525.00
Riverside Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Riverside Park\Riverside Park Photos</p>	The curb ramp just south of the plaza has slopes too high at 15% and it does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Roosevelt Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is no accessible route provided to the bleachers for 71 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,500.00
Roosevelt Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There are no companion seating spaces at the bleachers.	ADAAG 221.2.1 & 802.1	Provide the appropriate number of wheelchair spaces (30 inches X 48 inches space) per total number of seats (\$315 per space) with a slope of 2% in all directions. Connect this wheelchair space to the accessible route.	2	\$	630.00
Roosevelt Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is not companion seating at the player benches.	ADAAG 221.2.1.4 & 802.1	Provide at least one wheelchair space that is a minimum 36 inches wide by a minimum 48 inches long front or rear approach or a wheelchair space that is a minimum 36 inches by minimum 60 inches approach for a side approach.	2	\$	315.00
Roosevelt Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is no access route to the west bleachers for 86 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	3,000.00
Roosevelt Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is no companion seating at the west bleachers.	ADAAG 221.2.1 & 802.1	Provide the appropriate number of wheelchair spaces (30 inches X 48 inches space) per total number of seats (\$315 per space) with a slope of 2% in all directions. Connect this wheelchair space to the accessible route.	2	\$	630.00
Roosevelt Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is no companion seating at the west player bench.	ADAAG 221.2.1.4 & 802.1	Provide at least one wheelchair space that is a minimum 36 inches wide by a minimum 48 inches long front or rear approach or a wheelchair space that is a minimum 36 inches by minimum 60 inches approach for a side approach.	2	\$	315.00

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Roosevelt Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is no accessible route provided to the basketball courts for 55 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,925.00
Roosevelt Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is no accessible route provided to the playground for 6 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	200.00
Roosevelt Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	The surface slopes at the group spinner are too high up to 5.9%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the group spinner. Provide group spinners no higher than 24 inches above the playground surface. UD - Consider a mat under the group spinner to prevent a kick-out of the surface material.	2	\$	105.00
Roosevelt Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	The mats under the swings are worn and should be replaced.	ADAAG 1008.4.2	Provide mats under the swings to prevent a kick-out of the surface material.	2	\$	200.00
Roosevelt Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	There is no transfer system or accessible play elements provided to the sand play area.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area. Option: Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.	2	\$	2,080.00
Roosevelt Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</p>	The standing spinner has surface slopes too steep up to 11.5%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	105.00

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Roosevelt Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The short standing spinner has surface slopes up to 6.4%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the short standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	105.00
Roosevelt Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The group spring element is mounted too high at 26 inches AFF.	ADAAG 1008.4.4	Re-set the group spring play element further into the ground so the seat height is between 11 inches minimum to 24 inches maximum. An height of 18 inches AFF is recommended. Option: Provide some additional materials to lower the height.	2	\$	575.00
Roosevelt Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The grill is not on an accessible route for 10 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	350.00
Roosevelt Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The grill at the playground is mounted too high at 44 1/2 inches AFF.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	400.00
Roosevelt Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The grill does not provide an accessible surface.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Roosevelt Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	There are 4 picnic tables provided near the playground but none are of an accessible design.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,040).	2	\$	3,650.00
Roosevelt Park Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The two grills on the south side of the pavilion is not on an accessible route for 50 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide at one of the grills an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	1,750.00

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Roosevelt Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The grills on the south side of the pavilion is mounted too high at 35 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount one of the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	400.00
Roosevelt Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The grills do not provide an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: At one of the grills, provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Roosevelt Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	There are 8 picnic table provided on the south side of the pavilion but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,040).	2	\$	3,650.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The pavilion entrance door has round door hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The pavilion entrance door has an abrupt transition too high at 3/4 inch.	ADAAG 404.2.5	Provide a threshold at the doorway that is no more than 1/2 inches high and beveled at a 1:2 slope.	1	\$	235.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The pavilion entrance door closes too quickly at 2 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The tables in the pavilion have a knee clearance of only 24 1/2 inches.	ADAAG 226 & ADAAG 902	Provide at least 5% of the tables but not less than one, with a minimum knee clearance of 27 inches AFF, 17 inches to 25 inches knee and toe clearance and located on the shortest accessible route. UD - Purchase only tables that provide the proper accessibility dimensions.	2	\$	625.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The side door closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00

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Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The kitchen door has round door hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The kitchen sink is not accessible.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,775.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The kitchen does not provide a work surface.	ADAAG 902	Provide a work surface with a clear floor space of 30 inches minimum by 48 inches minimum and provide a minimum 27 inches knee clearance between 17 inches to 25 inches back under the work surface. Provide a work surface top between 28 inches minimum AFF to 34 inches AFF maximum.	2	\$	500.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The door to the restrooms has round door hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Roosevelt Park Transition Plan	Pavilion	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The door to the restrooms closes too quickly at 2 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Roosevelt Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park - Bathroom\Photos	The women's restroom door has an opening force too high at 15 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Roosevelt Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park - Bathroom\Photos	The women's restroom sink is mounted too low at 24 1/2 inches AFF for the knee.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Roosevelt Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park - Bathroom\Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Roosevelt Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park - Bathroom\Photos	The women's restroom protrudes out 8 inches at 45 1/2 inches AFF and is in the clear floor space of the sink.	ADAAG 307	Relocate the hand dryer to not be in the accessible route and to provide an cane detectable barrier.	1	\$	625.00

ADA Analysis

Roosevelt Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The women's restroom toilet stall is not of an accessible design.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Roosevelt Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The drinking fountain between the restrooms does not provide a standing height drinking fountain.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00
Roosevelt Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The men's restroom door has an opening force too high at 15 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Roosevelt Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The men's restroom hand dryer protrudes out 8 inches at 45 1/2 inches AFF.	ADAAG 307	Relocate the hand dryer to not be in the accessible route and to provide an cane detectable barrier.	1	\$	625.00
Roosevelt Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The men's restroom sink is mounted too low at 24 1/2 inches AFF for the knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Roosevelt Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Roosevelt Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The men's restroom urinals are mounted too high at 24 1/2 inches AFF.	ADAAG 605	Provide a stall type or lower the wall hung urinal to be no higher than 17 inches AFF and at least 13 1/2 inches deep.	3	\$	1,450.00

ADA Analysis

Roosevelt Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	The men's restroom toilet stall is not of an accessible design.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Roosevelt Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park - Bathroom\Photos</u>	There is no accessible route provided to the tennis courts for 130 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	4,550.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</u>	The walkway along Humboldt Avenue heading west has a cross slope that is too steep at up to 5.2% for 111 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	11,100.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</u>	The walkway along Humboldt Avenue has surface issues and broken section for 15 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2% and a surface that is firm and stable.	1	\$	1,500.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</u>	The south curb ramp at Humboldt Avenue and 12th has slopes too high at 17% and does not provide truncate domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</u>	The west curb ramp at Humboldt Avenue and 12th has slopes too high at 16.7% and does not provide truncate domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos</u>	The curb ramps at Humboldt Avenue and 12th do not provide a level landing with a slope of 5.1%.	ADAAG 406 & ADAAG 406.4	Provide a landing at the top of the curb ramp that is 2% in all directions and a length that is a minimum 36 inches.	1	\$	475.00

ADA Analysis

Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The sidewalk along 12th heading north approaching the curb ramps has a cross slope that is too steep at up to 4.7% for 90 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	9,000.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The west curb ramp at 12th and Mead has a running slope too high at 16.3% and does not provide truncate domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The north curb ramp at 12th and Mead has a cross slope too high at 7.7% and does not provide truncate domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The curb ramps at 12th and Mead do not provide a level landing with slopes up to 4%.	ADAAG 406 & ADAAG 406.4	Provide a landing at the top of the curb ramp that is 2% in all directions and a length that is a minimum 36 inches.	1	\$	475.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The sidewalk along Mead near the large tree there is an abrupt transition of 1 1/4 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The sidewalk along Mead approaching the park sign has a cross slope that is too steep at up to 4% for 64 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	6,400.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The sidewalk along Mead past the playground there is a cross slope that is too steep at up to 3.7% for 60 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	6,000.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The west curb ramp at Mead and 11th has a running slope that is too steep at up to 10.2% and no truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The east curb ramp at Mead and 11th has a running slope that is too steep at up to 10% and no truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00

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Roosevelt Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Roosevelt Park\Roosevelt Park Photos	The sidewalk from the cross walks has a cross slope that is too steep at up to 3.8% for 15 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	1,500.00
Rotary Riverview Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos	The walkway where it meets the west ramp has a gap at the top of the ramp of 1 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	475.00
Rotary Riverview Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos	The west ramp has a running slope too steep at up to 10% for 233 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 466 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	46,600.00
Rotary Riverview Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos	The west walkway from Riverfront Drive has a running slope too steep at up to 13.5% and a cross slope too steep at up to 9.5% for 82 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 235 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	23,500.00
Rotary Riverview Park Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos	Where the west walkway turns into the park there is a running slope too steep at up to 9.3% for 30 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 55 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	5,500.00
Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom door has a clear opening of only 30 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	5,200.00
Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom door closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom does not provide a sign.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom has a 2 inch threshold.	ADAAG 404.2.5	Provide a threshold at the doorway that is no more than 1/2 inches high and beveled at a 1:2 slope.	1	\$	235.00

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Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom hand dryer protrudes into the accessible route 7 inches out at 39 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF Option 2: Move the hand dryer to above the sink counter.	1	\$	625.00
Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom toilet stall is not of an accessible design.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Rotary Riverview Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The women's restroom coat hook in mounted too high at 65 1/2 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Rotary Riverview Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The men's restroom door has a clear opening of only 29 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	5,200.00
Rotary Riverview Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The men's restroom door closes too quickly at 2 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Rotary Riverview Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos	The men's restroom sign on the door is not of an accessible design.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00

ADA Analysis

Rotary Riverview Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos</u>	The men's restroom has a 2 inch threshold at the door.	ADAAG 404.2.5	Provide a threshold at the doorway that is no more than 1/2 inches high and beveled at a 1:2 slope.	1	\$	235.00
Rotary Riverview Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos</u>	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Rotary Riverview Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Park - Bathroom\Photos</u>	The men's restroom toilet stall is not of an accessible design.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Rotary Riverview Park Transition Plan		<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</u>	There are 7 picnic table provided but they are not of an accessible design and all are located in the grass.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,040).	2	\$	3,650.00
Rotary Riverview Park Transition Plan		<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</u>	The 7 picnic tables are not on an accessible route.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 & 1011	Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.	2	\$	600.00
Rotary Riverview Park Transition Plan		<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</u>	There are 2 grills but neither are on an accessible route.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	600.00

ADA Analysis

Rotary Riverview Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The two grills provided do not provide an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	1,040.00
Rotary Riverview Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The ramp from the plaza near the restrooms to the river has a running slope too steep up to 8.3% for 155 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 259 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	25,900.00
Rotary Riverview Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	At the river boardwalk there are 3 picnic table provided but only one is of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface.	2	\$	785.00
Rotary Riverview Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The accessible picnic table does not provide proper knee clearance, too low at 25 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: Raise the picnic table to provide a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top.	2	\$	500.00
Rotary Riverview Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The two benches along the boardwalk do not provide companion seating.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	300.00
Rotary Riverview Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The east walkway from the boardwalk to the street has a running slope too steep up to 12% for 180 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 450 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	45,000.00
Rotary Riverview Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	At the top of the east walkway there is a gap of 1 3/4 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	475.00

ADA Analysis

Rotary Riverview Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The benches at the top of the park do not provide companion seating.	Proposed Outdoor Areas Standards ADAAG 1011		2	\$	300.00	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.
Rotary Riverview Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	There are 3 picnic table provided in the grass but none are of an accessible design or on an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011		2	\$	3,650.00	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,040).
Rotary Riverview Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	There are 3 picnic table provided in the grass do not have an accessible route to them.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 & 1011		2	\$	600.00	Picnic Table Recommendation: Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches and connect to the accessible picnic table and clear floor space side.
Rotary Riverview Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The east curb ramp at Pennsylvania and 4th has a cross slopes too high at 6%.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
Rotary Riverview Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Rotary Riverview Park\Rotary Riverview Park Photos</p>	The west curb ramp at Pennsylvania and 4th has a cross slope too high at 5.2%.	ADAAG 406		1	\$	2,100.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
Senior Activity Center Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	The west entrance where the drop off is located has a cross slope of 3.1%.	ADAAG 403.3		1	\$	800.00	Remove and regrade section to provide a cross slope no greater than 2%.
Senior Activity Center Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	At the west entrance there is an abrupt transition of 3/4 inch.	ADAAG 303		1	\$	500.00	Grind down or replace section of sidewalk to provide a smooth transition.
Senior Activity Center Transition Plan	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	The women's restroom door is too narrow at 29 inches.	ADAAG 404.2.3		2	\$	5,200.00	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.

ADA Analysis

Senior Activity Center Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The women's restroom door does not provide proper maneuver space at the pull side.	ADAAG 404.2.4	Provide a minimum 18 inches maneuvering clearance on the pull side of the door. Option: Provide an automatic door that complies with ADAAG 404.3.	2	\$	3,650.00
Senior Activity Center Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The women's restroom sink is mounted too low at 24 inch knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Senior Activity Center Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Senior Activity Center Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The women's restroom mirror is mounted too high at 49 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Senior Activity Center Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The women's restroom does not provide an proper accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Senior Activity Center Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The men's restroom door is too narrow at 29 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	5,200.00
Senior Activity Center Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The men's restroom door does not provide proper maneuver space at the pull side.	ADAAG 404.2.4	Provide a minimum 18 inches maneuvering clearance on the pull side of the door. Option: Provide an automatic door that complies with ADAAG 404.3.	2	\$	3,650.00
Senior Activity Center Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The men's restroom sink is mounted too low at 24 inch knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00

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Senior Activity Center Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Senior Activity Center Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The men's restroom mirror is mounted too high at 49 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Senior Activity Center Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The men's restroom does not provide an proper accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Senior Activity Center Transition Plan		\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The drinking fountain is wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance . Option: provide a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,400.00

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Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Café does not provide tables with the proper knee clearance.	ADAAG 226 & ADAAG 902	Provide at least 5% of the tables but not less than one, with a minimum knee clearance of 27 inches AFF, 17 inches to 25 inches knee and toe clearance and located on the shortest accessible route. UD - Purchase only tables that provide the proper accessibility dimensions.	2	\$	625.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Café accessible sink does not provide pipe protection on the shut off valve.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Activities room doors have an opening force too high at 10 lbs. each.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Activity Room exit door has an opening force too high at 10 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	There is not a proper egress at the Activities Room emergency exit.	ADAAG 207	Provide an accessible means of egress that complies with section 1003.2.13 of the International Building Code (2000 edition and 2001 Supplement) or section 1007 of the International Building Code (2003 edition).	1	\$	520.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The door to the director's office is too narrow at 27 inches.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The interior entrance doors on the south side of the building have an opening force too high at 12 and 9 lbs. and close too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The exterior entrance doors on the south side of the building have an opening force too high at 13 and 15 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	210.00

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Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The handle for the fire extinguisher cabinet is out of reach range at 50 inches AFF.	ADAAG 308	Provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	2	\$	155.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The reception room door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The reception desk is too low at 25 1/2 inch knee clearance.	ADAAG 226 & ADAAG 902	Raise the reception desk to provide a desk with a minimum 27 inches knee clearance for at least 17 inches to 25 inches deep and a table height between 28 inches and 34 inches as needed.	2	\$	625.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The reception counter is mounted too high at 42 inches AFF.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	670.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The interactive computer screen has sections that are above 48 inches AFF.	ADAAG 308	Relocate the computer to provide a reach range to the highest operable part no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	2	\$	155.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The doors to the Hospitality Room have an opening force too high at 10 lbs. and 8 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	210.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Hospitality Room does not provide any accessible tables.	ADAAG 226 & ADAAG 902	It did not appear that these tables were adjustable. Relocate, purchase or add blocks to at least one of the table legs to provide a table with a minimum 27 inches knee clearance for at least 17 inches to 25 inches deep and a table height between 28 inches and 34 inches as needed.	2	\$	625.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The restroom in the Craft Room is not accessible. Change language on sign regarding accessible restroom location.	ADAAG 216.2 & ADAAG 703	Provide an informational sign mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille. Provide information about the location of the accessible restroom. Makes changes to the greatest extent possible when renovating.	4	\$	185.00

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Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Craft Room sink is not accessible.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,775.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Craft Room door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The room door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The coat hanger in the west end of the hallway are all above reach range.	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.	4	\$	210.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	There are no accessible lockers provided.	ADAAG 225.1 & 811	Provide at least 5% of the lockers with accessible locker door hardware. If applicable, provide these at or near the accessible bench.	2	\$	1,000.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Michigan Room does not provide accessible tables.	ADAAG 226 & ADAAG 902	It did not appear that these tables were adjustable. Relocate, purchase or add blocks to at least one of the table legs to provide a table with a minimum 27 inches knee clearance for at least 17 inches to 25 inches deep and a table height between 28 inches and 34 inches as needed.	2	\$	625.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Michigan Room door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The furniture and water dispense placed near doors is in the clear maneuver space.	ADAAG 404.2.4	Move the furniture to provide a minimum 18 inches maneuvering clearance on the pull side of the door. Option: Provide an automatic door that complies with ADAAG 404.3.	2	\$	155.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The meeting room doors are too narrow.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The Computer Room door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00

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Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The single user restroom sink is mounted too low at 26 inch knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The single user sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The single user sink does not provide proper faucet design.	ADAAG 606.4	Provide a lever-operated, push-type or electronically controlled faucet. Self-closing faucets should remain open for at least 10 seconds. Push-type or lever-operated faucets should require not more than 5 lbs. to operate.	3	\$	625.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The single user urinals are mounted too high at 27 inches.	ADAAG 605	Provide a stall type or lower the wall hung urinal to be no higher than 17 inches AFF and at least 13 1/2 inches deep.	3	\$	1,450.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The single user restroom coat hooks are too high at 55 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The single user light switch is too high at 54 inches AFF.	ADAAG 308	Lower the light switch to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	4	\$	520.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The single user door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The billiard room door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The east meeting room door does not provide accessible hardware.	ADAAG 404.2.7	Replace door hardware with hardware that does not require tight grasping, tight pinching or twisting of the wrist, such as lever hardware.	1	\$	365.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The east meeting room does not provide accessible tables.	ADAAG 226 & ADAAG 902	It did not appear that these tables were adjustable. Relocate, purchase or add blocks to at least one of the table legs to provide a table with a minimum 27 inches knee clearance for at least 17 inches to 25 inches deep and a table height between 28 inches and 34 inches as needed.	2	\$	625.00
Senior Activity Center Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The door to the Attic resale shop is too narrow.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,080.00

ADA Analysis

Senior Activity Center Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p> <p>The coat hanger at the east entrance area all above reach range.</p>	ADAAG 222.1 & ADAAG 308	Provide 5% of the coat hangers, at a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches. Option: Mount the appropriate number of coat hooks at the lower height.	4	\$	210.00
Senior Activity Center Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p> <p>The sign-in kiosk is mounted too high at 60 inches AFF.</p>	ADAAG 308	Provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	2	\$	155.00
Senior Activity Center Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p> <p>The accessible parking at the building is 7 feet wide.</p>	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Senior Activity Center Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p> <p>The other parking spaces do not provide an access aisle.</p>	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance. If used only for seniors to be close to the entrance then just mark with a sign "Seniors Only".	1	\$	860.00

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Senior Activity Center Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	The walkway to the entrance from the sidewalk has a broken section of concrete.	ADAAG 403.1	Remove the broken section and provide a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$	500.00
Senior Activity Center Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	Because the side entrance is not accessible a sign directing visitors to the accessible entrance should be posted.	ADAAG 216.3 & ADAAG 703.5	Provide a sign with a directional arrow that provides a contrast of color, at least 2 inches lettering and is mounted between 70 inches AFF to 120 inches AFF to the visual characters.	1	\$	235.00
Senior Activity Center Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	There is no accessible route to the raised garden.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	500.00
Senior Activity Center Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	There is one picnic table but it is not of an accessible design, on an accessible surface or on an accessible route.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface (\$1,040).	2	\$	3,650.00
Senior Activity Center Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	The sidewalk crossing the driveway has a cross slope too steep up to 4% for 26 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,600.00
Senior Activity Center Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	The curb ramp has a slope too steep at 12.2% and does not provide truncate domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Senior Activity Center Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	The 2nd curb ramp near the side entrance has a slope too steep at 11.7% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Senior Activity Center Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos</p>	Just past the 2nd curb ramp there is an abrupt transition of 1 1/4 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	500.00

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Senior Activity Center Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Senior Activity Center\Senior Activity Center Photos	The curb ramp at Wisconsin and 4th has slopes too steep at 13% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The entrance into the park near the bus shelter is uneven for 5 feet.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	925.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	There are two grills provided but neither one is on an accessible route for 12 feet and 16 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route to both grills with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	1,000.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The two grills do not provide an accessible surface at either one of them.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grills and connected to an accessible route.	2	\$	1,040.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	There are 4 benches provided but none have a companion seating space.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011	Bench Recommendation: At two benches provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	630.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	A section leading up to the picnic shelter is uneven for 1 foot.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	250.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The walkway up to the picnic shelter is a ramp slope for 21 feet but does not provide handrails on both sides.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 35 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	3,500.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	There are 6 picnic tables provided but none of them are accessible.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$785/each) and locate them on an accessible surface.	2	\$	1,570.00

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Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	There is an abrupt transition too high at 1 inch at the entrance to the small shelter.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	185.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	The slopes at the swings is too steep at 7%, 9.5%, 10.6% and 11.7%.	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the swing. Provide swings no higher than 24 inches above the playground surface. An accessible swing with a seat would be recommended at some point. UD - Consider a mat under the swings to prevent a kick-out of the surface material.	2	\$	105.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	The sand area does not provide access into it or provide any accessible play features.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components on an accessible route to this or another sand digger, a raised sand table, etc. that can be used from the accessible route up to the sand play area.	2	\$	2,080.00
Sheridan Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	A section of the walkway at the light fixture is cut out and uneven.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	185.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	At the corner of 14th Street and Virginia Avenue there are no truncated domes at the curb ramps.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	1,100.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	The cross slope near the corner of 14th Street and New Jersey Avenue is too steep at up to 6.8% for 44 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	4,400.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	The cross slope at the corner of 13th Street and New Jersey Avenue is too steep at up to 6.2% for 26 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,600.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	The running slope of the curb ramp at 13th Street and New Jersey Avenue is too steep at up to 14.3%.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,200.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	There is a broken section of sidewalk along 13th Street just past the corner of New Jersey Avenue for 35 feet.	ADAAG 403.1	Remove and replace with a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$	500.00

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Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	There is a broken section of sidewalk near the middle of 13th Street for 42 feet.	ADAAG 403.1	Remove and replace with a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$	4,200.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	There is a broken section of sidewalk near the corner of 13th Street and Virginia for 37 feet.	ADAAG 403.1	Remove and replace with a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$	3,700.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The cross slope up to the corner of 13 Street and Virginia Avenue is too steep at up to 6.9% for 31 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,100.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The curb ramps at the corner of 13th Street and Virginia Avenue do not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	See Note Below	
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The curb ramps at the corner of 13th Street and Virginia Avenue have running slopes too steep at 10% and 12.5%.	ADAAG 406	Provide curb ramps with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	4,400.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The cross slope past the curb ramps and along Virginia Avenue is too steep at up to 3.5% and has 1 inch abrupt transitions for 18 feet.	ADAAG 403.1	Remove and replace with a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.	1	\$	1,800.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	The cross slope along Virginia Avenue and near the picnic shelter is too steep at up to 5.8% for 102 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	10,200.00
Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Sheridan Park\Photos	A curb ramp in the middle of the sidewalk along Virginia Avenue does not provide truncated domes.	ADAAG 705	Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.	1	\$	550.00

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Sheridan Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Sheridan Park\Photos	The cross slope along Virginia Avenue near the oak tree and corner of Virginia Avenue and 14th Street is too steep at up to 5.2% for 63 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	6,300.00
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	The walkway up to the building there is an abrupt transition of 1 inch.	ADAAG 303	Replace section of sidewalk to provide a smooth transition.	1	\$	500.00
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	This same walkway has a gap of 1 inch.	ADAAG 302.3	Replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	See Note Above	
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	The exterior door opening force is too high at 11 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	At the exterior door has an abrupt transition too high at 1 1/2 inches.	ADAAG 404.2.5	Provide a threshold at the doorway that is no more than 1/2 inches high and beveled at a 1:2 slope.	1	\$	235.00
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	The interior door opening force is too high at 13 lbs. and closes too quickly at 3 seconds.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	2	\$	105.00
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	The vestibule between doors does not provide enough space between door openings.	ADAAG 404.2.6	Reconfigure the door vestibule to provide a vestibule with a minimum spacing of 48 inches when a door or door in the series is open. Option: Provide an automatic door opener for both doors in the series. See ADAAG 404.3 for details.	2	\$	7,650.00
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	The service counter is mounted too high at 40 inches.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	670.00
Shoreline Metro Bus Terminal Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	The mats provided are too light and could be a tripping hazard.	ADAAG 302.2	Provide a mat with a heavier backing or tape the mat to the floor.	1	\$	155.00
Shoreline Metro Bus Terminal Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Metro\Shoreline\Metro Photos	The sidewalk in front of the building cross slope is too steep up to 5.2% or 79 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	7,900.00

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Softball Complex		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Softball Complex\Softball Complex Photos</p>	The 5 accessible parking stalls and access aisles are too narrow.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	4,300.00
Softball Complex		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Softball Complex\Softball Complex Photos</p>	The ticket counter is mounted too high at 48 inches AFF.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	645.00
Softball Complex	Field 1	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Softball Complex\Softball Complex Photos</p>	The route to Field #1 west dugout there is a 3 inch abrupt transition.	ADAAG 406	Provide a short built-up curb ramp no steeper than 8.3% out the door connected to the walkway and provide a smooth transition to the dugout.	2	\$	500.00
Softball Complex	Field 1	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Softball Complex\Softball Complex Photos</p>	The route to Field #1 north dugout there is a 2 inch abrupt transition.	ADAAG 406	Provide a short built-up curb ramp no steeper than 8.3% out the door connected to the walkway and provide a smooth transition to the dugout.	2	\$	500.00
Softball Complex	Field 1	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Softball Complex\Softball Complex Photos</p>	The concession counter is mounted too high at 37 inches AFF.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	645.00
Softball Complex	Field 1	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Softball Complex\Softball Complex Photos</p>	The accessible route to the concession area has surface issues and abrupt transitions.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	175.00
Softball Complex	Field 1	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Softball Complex\Softball Complex Photos</p>	The accessible route into the picnic pavilion has an abrupt transition of 1 inch.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	175.00

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Softball Complex	Field 1	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	<p>There are 25 picnic table provided but none are of an accessible design.</p>	<p>Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011</p>	<p>Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface.</p>	2	\$	3,925.00
Softball Complex	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	<p>The accessible route to the women's restroom has an abrupt transition of 1 inch.</p>	<p>ADAAG 303</p>	<p>Remove and replace section of asphalt to provide a smooth transition.</p>	1	\$	175.00
Softball Complex	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	<p>The women's restroom door has an opening force too high at 11 lbs.</p>	<p>NA</p>	<p>Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.</p>	3	\$	105.00
Softball Complex	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	<p>The women's restroom soap dispenser is too high at 52 inches AFF.</p>	<p>ADAAG 308</p>	<p>Remount the soap dispenser to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.</p>	3	\$	100.00
Softball Complex	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	<p>The women's restroom mirror is mounted too high at 46 inches AFF.</p>	<p>ADAAG 603.3</p>	<p>Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.</p>	4	\$	500.00

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Softball Complex	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The women's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,500.00
Softball Complex	Women's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The women's restroom sink is not of an accessible design.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,625.00
Softball Complex	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The accessible route to the men's restroom has an abrupt transition of 1 1/4 inch AFF.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	175.00
Softball Complex	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The men's restroom door has an opening force too high at 20 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Softball Complex	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The men's restroom mirror is mounted too high at 46 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	500.00
Softball Complex	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The women's restroom hand dryer is mounted too high at 49 inches AFF.	ADAAG 308	Lower the hand dryer to a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	500.00

ADA Analysis

Softball Complex	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The women's restroom accessible stall does not provide the proper dimensions.	ADAAG 604.3.1	Reconfigure the accessible stall to provide a clearance around the toilet that is 60 inches minimum from the side wall to side wall and 56 inches minimum from the back wall to the front stall. This may require taking over the adjoining space or stall.	3	\$	4,500.00
Softball Complex	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The men's restroom soap dispenser is too high at 52 inches AFF.	ADAAG 308	Remount the soap dispenser to provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	100.00
Softball Complex	Men's Restroom	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The men's restroom sink is not of an accessible design.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,625.00
Softball Complex		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	There is no transfer system or play elements provided for the sand play area.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area. Option: Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.	2	\$	2,080.00
Softball Complex		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Softball Complex\Softball Complex Photos</p>	The playground surface is in poor condition.	ADAAG 1008.2.6	Provide an accessible surface of engineered wood fiber or a unitary rubberized surface.	2	\$	5,000.00
South Pier Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Park Photos</p>	The gutter at the access aisle has an abrupt transition of 1 1/2 inches.	ADAAG 406.2	Grind down or remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	300.00
South Pier Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Park Photos</p>	The walkway from the accessible parking to the restroom has a cross slope is too steep up to 4.6% for 44 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	4,400.00
South Pier Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Park Photos</p>	The walkway along the restroom building has a cross slope is too steep up to 3.3% with gaps and abrupt transitions for 22 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,200.00

ADA Analysis

South Pier Park Transition Plan	Women's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's east restroom door has an opening force too high at 11 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
South Pier Park Transition Plan	Women's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's east restroom sink is mounted too low at 26 inches knee clearance.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	2,025.00
South Pier Park Transition Plan	Women's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's east restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
South Pier Park Transition Plan	Women's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's east restroom hand dryer protrudes out into the clear floor space of the sink 6 inches out at 40 inches AFF.	ADAAG 307	Move the hand dryer to above the sink counter.	1	\$	625.00
South Pier Park Transition Plan	Women's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's east restroom does not provide an outside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the outside of the door near the latch.	3	\$	105.00
South Pier Park Transition Plan	Women's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's east restroom coat hook is mounted too high at 61 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's east restroom door has an opening force too high at 10 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's east restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's east restroom hand dryer protrudes 6 inches out at 41 inches AFF.	ADAAG 307	Move the hand dryer to above the sink counter.	1	\$	625.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's east restroom stall door does not provide an outside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the outside of the door near the latch.	3	\$	105.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's east restroom coat hook is mounted too high at 64 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00

ADA Analysis

South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The drinking fount is mounted too low at 26 inches AFF. Also need to provide a standing fountain height.	ADAAG 211 & ADAAG 602	Provide two individual drinking fountain or a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance plus a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches and the clear floor space should be a minimum of 48 inches long and 30 inches wide centered on the drinking fountain. The water flow should be at least 4 inches high and located within 5 inches from the front of the drinking fountain. UD - Provide a triple bowl system that has a drinking fountain spout at a child's height of approximately 29 inches.	4	\$	4,750.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	Where the sidewalk along the building meets the concrete for the picnic area there is a gap of 1 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	475.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	Where the sidewalk along the building meetings the concrete for the picnic area there is an abrupt transition of 3/4 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	There are 3 picnic tables with only one accessible.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface.	2	\$	785.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The accessible picnic table has a knee clearance too low at 25 inches AFF.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Raise up this picnic table. Option: Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface.	2	\$	785.00
South Pier Park Transition Plan	Men's East Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The accessible parking at the west restrooms has a slope of 3.1%.	ADAAG 502.4	Regrade the parking spaces to be no steeper than 2% in all directions.	1	\$	1,000.00

ADA Analysis

South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The parking space does not provide the proper access aisle size.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	100.00
South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The gutter at the access aisle has an abrupt transition of 3/4 inch.	ADAAG 406.2	Grind down or remove and replace the gutter adjoining the curb ramp to have a slope no steeper than 5% on the street side and 8.3% or less on the ramp side and a smooth transition to the curb ramp.	1	\$	300.00
South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The gutter at the accessible aisle has a slope too high at 16.3%	ADAAG 406.2	See Note Above	1		See Note Above
South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The gutter at the access aisle and sidewalk has a gap of 3/4 inch.	ADAAG 302.3	See Note Above	1		See Note Above
South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The fish cleaning station counter is too high at 40 inches AFF.	ADAAG 902	Lower this station or provide a second work surface with a clear floor space of 30 inches minimum by 48 inches minimum and provide a minimum 27 inches knee clearance between 17 inches to 25 inches back under the work surface. Provide a work surface top between 28 inches minimum AFF to 34 inches AFF maximum.	2	\$	670.00
South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	There are 3 picnic tables at the west restrooms but only one is accessible.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface.	2	\$	785.00
South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The accessible picnic table at the west restrooms has a knee clearance too low at 26 inches AFF.	ADAAG 226 & ADAAG 902	Provide 5% but no less than one table with a knee and toe clearance between 17 inches to 25 inches.	2	\$	785.00
South Pier Park Transition Plan	West Restroom and Fish Cleaning Station	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The walkway up to the restrooms there is an abrupt transition of 1 inch.	ADAAG 303	Grind down or replace section of sidewalk to provide a smooth transition.	1	\$	475.00

ADA Analysis

South Pier Park Transition Plan	Women's West Restrooms	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's west restroom door has an opening force too high at 11 lbs. and closes too quickly at 3 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
South Pier Park Transition Plan	Women's West Restrooms	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's west restroom hand dryer protrudes out into the clear floor space of the sink 6 inches out at 40 inches AFF.	ADAAG 307	Move the hand dryer to above the sink counter.	1	\$	625.00
South Pier Park Transition Plan	Women's West Restrooms	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's west restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
South Pier Park Transition Plan	Women's West Restrooms	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's west restroom does not provide an outside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the outside of the door near the latch.	3	\$	105.00
South Pier Park Transition Plan	Women's West Restrooms	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The women's west restroom coat hook is mounted too high at 61 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
South Pier Park Transition Plan	Men's West Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's west restroom door has an opening force too high at 11 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
South Pier Park Transition Plan	Men's West Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's west restroom hand dryer protrudes out into the clear floor space of the sink 6 inches out at 40 inches AFF.	ADAAG 307	Move the hand dryer to above the sink counter.	1	\$	625.00
South Pier Park Transition Plan	Men's West Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's west restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00
South Pier Park Transition Plan	Men's West Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's west restroom does not provide an outside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the outside of the door near the latch.	3	\$	105.00
South Pier Park Transition Plan	Men's West Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The men's west restroom coat hook is mounted too high at 61 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
South Pier Park Transition Plan	Men's West Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Pier\South Pier Restrooms</u>	The west restrooms drinking fountain is wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00

ADA Analysis

South Shore Hill Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Shore Hill Park\South Shore Hill Photos</p>	There is no accessible parking provided at this park.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	825.00
South Shore Hill Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Shore Hill Park\South Shore Hill Photos</p>	There are 6 benches provided but none are of an accessible design.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide at least 20% but no less than two benches to provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space. UD - Provide benches with armrests, backs, seat height between 17 inches AFF to 19 inches AFF maximum and no gaps between the seat and backrest.	2	\$	2,000.00
South Shore Hill Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\South Shore Hill Park\South Shore Hill Photos</p>	There appeared to be an active boat launch at this park.	ADAAG 1003.2	Provide boat/canoe ramp that provide a slope no steeper than 8.3% and a cross slope no steeper than 2%.	2	\$	7,800.00
Southside Dog Park	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Southside Dog Park\Southside Dog Park Photos</p>	An area for parking is provide at the gate but it does not provide a hard surface or an accessible parking space.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00

ADA Analysis

Southside Dog Park	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Southside Dog Park\Southside Dog Park Photos	There is no accessible surface provided at the gates for the dog run.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches. And a surface that is firm, stable and slip resistant.	1	\$	1,000.00
Southside Dog Park	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Southside Dog Park\Southside Dog Park Photos	There is no accessible route provided to the bench and resting area for 175 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches. And a surface that is firm, stable and slip resistant.	1	\$	6,125.00
Southside Dog Park	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Southside Dog Park\Southside Dog Park Photos	The portable toilet is not on an accessible route or of an accessible design.	ADAAG 213.2	For portable toilets, provide at least 5% but no less than one be of an accessible portable toilet design on an accessible route and designed with the International Symbol of Accessibility.	3		N/A
Southside Dog Park	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Southside Dog Park\Southside Dog Park Photos	The donation box is mounted too high at above 48 inches AFF.	ADAAG 308	Provide a reach range no higher than 48 inches AFF for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	4	\$	150.00
Veterans Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The accessible parking should be restriped.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Veterans Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The accessible parking sign is mounted too low.	WAC 346.503	Remount the existing accessible parking sign so it is a minimum of 60 inches from the finish grade to the bottom of the sign.	1	\$	225.00
Veterans Park Transition Plan	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	At the pavilion there are 7 picnic table provided but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$750/each) and locate them on an accessible surface.	2	\$	1,500.00

ADA Analysis

Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Veterans Park\Veterans Park Photos</p>	The grills at the pavilion are not on an accessible route for 6 feet.	<p><u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1</p>	<p>Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.</p>	2	\$	200.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Veterans Park\Veterans Park Photos</p>	The grills at the pavilion are mounted too high at 41 1/2 and 42 1/2 inches AFF.	<p><u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.5</p>	<p>Grill Recommendation: Remove the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.</p>	2	\$	800.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Veterans Park\Veterans Park Photos</p>	The grills at the pavilion surface does not provide a full clear ground space.	<p><u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1</p>	<p>Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.</p>	2	\$	1,000.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Veterans Park\Veterans Park Photos</p>	The drinking fountain provided is a wheelchair height only.	<p>ADAAG 211 & ADAAG 602</p>	<p>Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.</p>	4	\$	2,300.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Veterans Park\Veterans Park Photos</p>	The drinking fountain protrudes into the accessible route and does not provide a minimum 36 inch accessible route around the drinking fountain.	<p>ADAAG 403.5.1</p>	<p>Provide a clear accessible route around the drinking fountain that is a minimum 36 inches wide and with a running slope no steeper than 5% and a cross slope no steeper than 2%.</p>	1	\$	750.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Veterans Park\Veterans Park Photos</p>	There is no accessible route provided to the playground for 73 feet.	<p>ADAAG 403</p>	<p>Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.</p>	2	\$	2,550.00

ADA Analysis

Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	There is no transfer to the sand or a sand play element.	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area. Option: Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.	2	\$	2,080.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	The benches are not on an accessible route or provide companion seating.	Proposed Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide at least 20% but no less than two benches to provide a clear ground space of at least 30 inches by 48 inches positioned near the bench with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space. UD - Provide benches with armrests, backs, seat height between 17 inches AFF to 19 inches AFF maximum and no gaps between the seat and backrest.	2	\$	2,000.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	There is no accessible route provided to the tennis courts for 13 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	450.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	There is a 3 inch drop-off into the tennis courts.	ADAAG 406	Provide a built-up curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition from the walkway to the tennis court surface.	1	\$	500.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	The walkway along the tennis courts heading north has surface issues and abrupt transitions for 65 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	6,500.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	The walkway from the tennis courts heading south to drive have surface issues and abrupt transitions for 60 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	6,000.00
Veterans Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	There is no curb ramp provided at the intersections of the driveway and walkway.	ADAAG 406	Provide a curb ramp on each side with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter.	1	\$	3,300.00

ADA Analysis

Veterans Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The walkway heading south along Union has surface issues for 292 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	29,200.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no accessible route provided to the south east bleachers for 50 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,750.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no companions seating space at the bleachers.	ADAAG 221.2.1 & 802.1	Provide the appropriate number of wheelchair spaces (30 inches X 48 inches space) per total number of seats (\$315 per space) with a slope of 2% in all directions. Connect this wheelchair space to the accessible route.	2	\$	630.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no accessible route provided to the player bench for 15 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	525.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no companion seating space at the player bench.	ADAAG 221.2.1.4 & 802.1	Provide at least one wheelchair space that is a minimum 36 inches wide by a minimum 48 inches long front or rear approach or a wheelchair space that is a minimum 36 inches by minimum 60 inches approach for a side approach.	2	\$	315.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no accessible route provided to the south west player bench for 60 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,100.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no companion seating space at the player bench.	ADAAG 221.2.1.4 & 802.1	Provide at least one wheelchair space that is a minimum 36 inches wide by a minimum 48 inches long front or rear approach or a wheelchair space that is a minimum 36 inches by minimum 60 inches approach for a side approach.	2	\$	315.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no accessible route provided to the south west bleachers for 15 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	525.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	There is no companions seating space at the bleachers.	ADAAG 221.2.1 & 802.1	Provide the appropriate number of wheelchair spaces (30 inches X 48 inches space) per total number of seats (\$315 per space) with a slope of 2% in all directions. Connect this wheelchair space to the accessible route.	2	\$	630.00
Veterans Park Transition Plan	Ballfield Accessibility	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	Consider providing a new route to tennis courts from Elm Street for 60 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,100.00

ADA Analysis

Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk along Union at the tank exhibit has broken surface and abrupt transitions for 10 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	1,000.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk continuing west along Union has surface issues for 65 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	6,500.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk along Union just before the traffic sign has surface issues for 100 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	10,000.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The curb ramp at Union and 24th has slopes too high at 11.7% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk along 24th street has cross slope that are too steep up to 4.1% and surface issues for 71 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	7,100.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk along 24th street near house # 2008 has surface issues for 26 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,600.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk heading north near the north ballfield fence has surface issues for 100 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	10,000.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The curb ramp at 24th and Elm has slopes too high at 22.4% and does not provide truncate domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk along Elm going east in the middle of the block there are surface issues for 11 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	1,100.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos	The sidewalk along Elm before the first curb ramp has surface issues for 50 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	5,000.00

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Veterans Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	The west curb ramp at Elm and 23rd has slopes too high at 13.7% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	The east curb ramp at Elm and 23rd has slopes too high at 14.5% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00
Veterans Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Veterans Park\Veterans Park Photos</p>	The sidewalk at the end of Elm has surface and abrupt transitions for 35 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	3,500.00
Voight Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Voight Park\Voight Park Photos</p>	There is no accessible route provided to the playground for 160 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	5,600.00
Voight Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Voight Park\Voight Park Photos</p>	There are two picnic table provided but neither are of an accessible design or on an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase two accessible picnic tables (\$750/each) and locate them on an accessible surface (\$1,000).	2	\$	3,500.00
Vollrath Park Transition Plan		<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p>	The drinking fountain provided is not of an accessible design.	ADAAG 211 & ADAAG 602	Provide two individual drinking fountain or a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance plus a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches and the clear floor space should be a minimum of 48 inches long and 30 inches wide centered on the drinking fountain. The water flow should be at least 4 inches high and located within 5 inches from the front of the drinking fountain. UD - Provide a triple bowl system that has a drinking fountain spout at a child's height of approximately 29 inches.	4	\$	4,750.00

ADA Analysis

Vollrath Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>The asphalt walkway has a running slope is too steep at 11.7% for 15 feet.</p>	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches for 34 feet.	1	\$	1,875.00
Vollrath Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>There is no accessible route provided to the playground for 29 feet.</p>	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	1	\$	1,025.00
Vollrath Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>The sand feature does not provide accessible play elements or the ability to get to the sand area.</p>	ADAAG 240.2 & ADAAG 1008.4.3	Consider one or two play components such as a sand digger, raised sand table, etc. that can be used from the accessible route up to the sand play area. Option: Provide a transfer platform down to the sand surface that is between 11 inches and 18 inches above the ground. The platform should be a minimum of 14 inches deep and a minimum of 24 inches wide with transfer supports. Provide transfer system stairs that are at least 24 inches wide, at least 14 inches deep and no higher than 8 inches AFF.	2	\$	2,080.00
Vollrath Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>The surface slopes for the group rocker is too high at 16.5%.</p>	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the group rocker. Provide group rocker seats no higher than 24 inches above the playground surface. UD - Consider a mat under the group rocker to prevent a kick-out of the surface material.	2	\$	105.00
Vollrath Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>The surfaces slopes for the standing spinner are too high at 9.5%.</p>	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	105.00
Vollrath Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>The mats under the swings are worn.</p>	ADAAG 1008.4.2	Replace the mats and when installing provide a smooth transition from the playground surface.	2	\$	600.00
Vollrath Park Transition Plan	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>The surfaces slopes for the single spinner are too high at 8.4%.</p>	ADAAG 1008.4.2	Provide a regular maintenance to the play surface to provide an accessible route and cross slopes no greater than 2% in all directions for easier transfer to the standing spinner. UD - Consider a mat under the standing spinner to prevent a kick-out of the surface material.	2	\$	105.00

ADA Analysis

Vollrath Park Transition Plan		\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos	There is no accessible route to the shelter for 32 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	1,125.00
Vollrath Park Transition Plan		\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos	The walkway around the picnic pavilion has an abrupt transition of 1 1/4 inch around the whole pavilion.	ADAAG 303	Grind down or replace a section of sidewalk to provide a smooth transition.	1	\$	1,000.00
Vollrath Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The men's restroom door has an opening force too high at 23 lbs.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Vollrath Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The men's restroom hand dryer protrudes out 8 inches at 47 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF Option 2: Move the hand dryer to above the sink counter.	1	\$	625.00
Vollrath Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The men's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The women's restroom hand dryer protrudes out 8 inches at 47 inches AFF.	ADAAG 307	Provide a cane detectable barrier below 27 inches and the width of the protruding object. Option 1: Consider a permanently mounted wall trash can under the dryer with the bottom mounted below 27 inches AFF Option 2: Move the hand dryer to above the sink counter.	1	\$	625.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The women's restroom toilet centerline is 22 inches.	ADAAG 604.2	Relocate the toilet with a offset drain to provide a centerline 16 inches to 18 inches from the wall.	3	\$	1,675.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The women's restroom coat hook is mounted too high at 57 1/2 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The women's restroom stall door does not provide an inside handle.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00

ADA Analysis

Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	There are 5 picnic tables provided but none are of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Provide picnic tables that have a clear floor space of 30 inches minimum by 48 inches minimum, a table top between 28 inches minimum of 34 inches maximum and a minimum 27 inches knee clearance. The knee clearance should go 17 inches to 25 inches under the top. Relocate or purchase two accessible picnic tables and locate them on an accessible surface.	2	\$	1,570.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The grill is not on an accessible route for 11 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	385.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The grill is mounted too high at 36 inches AFF.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	415.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	The grill does not provide a full accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	There is no accessible route provided from the pavilion to the playground for 87 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	3,050.00
Vollrath Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos	From the playground to the court there is no accessible route of 84 feet.	ADAAG 403	Provide a new accessible route with a running slope no steeper than 5% and a cross slope no steeper than 2% and a minimum clear width of 36 inches.	2	\$	2,950.00

ADA Analysis

Vollrath Park Transition Plan	Women's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park - Bathrooms\Photos</u>	The drinking fountain at the restrooms is not of an accessible design.	ADAAG 211 & ADAAG 602	4	\$	4,750.00	Provide two individual drinking fountain or a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a 27 inch minimum knee clearance plus a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches and the clear floor space should be a minimum of 48 inches long and 30 inches wide centered on the drinking fountain. The water flow should be at least 4 inches high and located within 5 inches from the front of the drinking fountain. UD - Provide a triple bowl system that has a drinking fountain spout at a child's height of approximately 29 inches.
Vollrath Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</u>	The curb ramp at Vollrath and 3rd has slopes too high at 13.4% and does not provide truncated domes.	ADAAG 406	1	\$	2,200.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.
Vollrath Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</u>	The sidewalk that parallels the park along 3rd has surface issues at one of the squares.	ADAAG 403.1	1	\$	475.00	Provide a surface that is firm and stable with a running slope no steeper than 5% and a cross slope not steeper than 2%, a minimum clear width of 36 inches and gaps no wider than 1/2 inches and no deeper than 1/2 inches.
Vollrath Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</u>	The sidewalk along 3rd street just before the plaza cross slope is too steep up to 3.5% for 42 feet.	ADAAG 403.3	1	\$	4,200.00	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.
Vollrath Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</u>	The sidewalk in front of the plaza cross slope is too steep up to 3.1% for 24 feet.	ADAAG 403.3	1	\$	2,400.00	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.
Vollrath Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\Shared\data\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</u>	The curb ramp at 3rd and Bluff has slopes too high at 10.6% and does not provide truncate domes.	ADAAG 406	1	\$	2,200.00	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.

ADA Analysis

Vollrath Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Vollrath Park\Vollrath Park Photos</p> <p>The other curb ramp at 3rd and Park does not provide truncated domes.</p>	ADAAG 705	<p>Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.</p>	1	\$	550.00
Wastewater Administration Building Transition Plan		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos</p> <p>The accessible parking space does not provide a sign.</p>	WAC 346.503	<p>Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking".</p>	1		See Note Below
Wastewater Administration Building Transition Plan		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos</p> <p>The accessible parking space does not provide the proper size.</p>	WAC 346.503	<p>Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.</p>	1	\$	860.00
Wastewater Administration Building Transition Plan		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos</p> <p>There is a 5 inch step up into the building's level landing at the door.</p>	ADAAG 406 & ADAAG 404.2.4.4	<p>Provide a built-up curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2%. Connect this to the level landing at the door that is 5 foot and not steeper than 2% in all directions.</p>	1	\$	2,080.00
Wastewater Administration Building Transition Plan		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos</p> <p>The main entrance exterior door opening force is 15 lbs. and closes too quickly at 4 seconds.</p>	NA	<p>Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.</p>	1	\$	105.00
Wastewater Administration Building Transition Plan		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos</p> <p>The main entrance interior door opening force is too high at 14 lbs. and closes too quickly at 4 seconds.</p>	ADAAG 404.2.8 & ADAAG 404.2.9	<p>Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.</p>	2	\$	105.00
Wastewater Administration Building Transition Plan		<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos</p> <p>The mats provided at the entrance are too light and could be a trip hazard.</p>	ADAAG 302.2	<p>Provide a mat with a heavier backing or tape the mat to the floor.</p>	1	\$	150.00

ADA Analysis

Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom sign is on the door and not of an accessible design.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	175.00
Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom door opening force is 8 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom door is too narrow at 29 inches wide.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,000.00
Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom sink is mounted too low at knee clearance of 24 1/2 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	1,950.00
Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	75.00
Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent urinal and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,500.00
Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom mirror is too high at 49 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	500.00

ADA Analysis

Wastewater Administration Building Transition Plan	Men's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The men's restroom paper towel dispenser is mounted too high at 51 inches AFF.	ADAAG 308	Remount the paper towel dispenser to provide a reach range no higher than 48 inches AFF to the control for a forward reach over an obstruction no deeper than 20 inches or a side reach of 48 inches AFF over an object no deeper than 10 inches.	3	\$	150.00
Wastewater Administration Building Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The women's restroom sign is on the door and is not of an accessible design.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	175.00
Wastewater Administration Building Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The women's restroom door opening force is 8 lbs.	ADAAG 404.2.8 & ADAAG 404.2.9	Adjust the closer so the door opening force is no heavier than 5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	100.00
Wastewater Administration Building Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The women's restroom door is too narrow at 29 inches wide.	ADAAG 404.2.3	Widen the door clear opening to provide a minimum 32 inches clear opening with the door at a 90 degree angle.	2	\$	2,000.00
Wastewater Administration Building Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The women's restroom sink is mounted too low with a knee clearance of 25 inches AFF.	ADAAG 606	Remount the sink to provide a minimum 27 inches knee clearance and a rim height of no higher than 34 inches AFF.	3	\$	1,950.00
Wastewater Administration Building Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The women's restroom mirror is too high at 48 3/4 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	500.00
Wastewater Administration Building Transition Plan	Women's Restroom	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Waste Water\Waste Water Photos	The woman's accessible stall does not provide grab bars.	ADAAG 604.5	Provide a rear grab bar a minimum of 36 inches long mounted 12 inches from the centerline of the toilet to the corner and 24 inches from the centerline to the open side of the toilet. Also, provide a side grab bar a minimum of 42 inches long and a maximum of 12 inches from the corner. Both grab bars should be mounted at 33 inches to 36 inches to the top of the grab bar.	3	\$	350.00

ADA Analysis

Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	The accessible parking space does not provide an access aisle.	WAC 346.503	Provide an accessible parking space that is a minimum of 12 foot wide and an access aisle a minimum of 8 foot wide. Provide a sign with the International Symbol of Accessibility and at the head and in the middle of the accessible parking space. The sign should be mounted a minimum 60 inches AFF and captioned with "Reserved Parking". The parking and access aisle should be no steeper than 2% in all directions. Locate the accessible parking space on the shortest accessible route to the accessible entrance.	1	\$	860.00
Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	The accessible parking space sign is mounted too low at 39 inches AFF.	WAC 346.503	See Note Above	1		See Note Above
Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	The running slope up to the ticket counter is too steep at up to 11.4% for 8 feet.	ADAAG 403.3	If possible, remove and regrade section to provide a running slope no greater than 5% and a cross slope no greater than 2% for 18 feet. Because of the slope in this area regrading to 5% may not be possible. Follow ADAAG 405 for ramps if necessary.	1	\$	1,800.00
Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	The ticket counter is too high at 43 1/2 inches AFF.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	670.00
Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	The cross slope in front of the ticket counter and restrooms is too steep at up to 5.8% with 1 inch gaps are concrete slabs for 57 feet.	ADAAG 403.3	Remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,000.00
Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	The gap near the bleacher ramp is too wide at 1 inch.	ADAAG 302.3	Fill in or replace section of asphalt walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	185.00
Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	The ramp for the bleachers is too wide at over 9%.	ADAAG 405.2	Reset the ramp to provide a running slope no steeper than 8.3% and a cross slope no steeper than 2%. The ramp may need to be length to meet this slope. Add additional handrail length as needed.	2	\$	1,500.00
Wildwood Baseball Transition Plan	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT\STUDY\Wildwood\Baseball\Photos</p>	There is a 1 1/2 inch abrupt transition to the outdoor restrooms.	ADAAG 303	Remove and replace section of asphalt to provide a smooth transition.	1	\$	185.00

ADA Analysis

Wildwood Baseball Transition Plan	Women's Restroom-Outside	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The outdoor women's restroom has a door opening force too high at 14 lbs. and closes too quickly at 4 seconds.	NA		3	\$	105.00	<p>Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.</p>
Wildwood Baseball Transition Plan	Women's Restroom-Outside	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The outdoor women's restroom does not provide an accessible sign.	ADAAG 216.2 & ADAAG 703		4	\$	185.00	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.
Wildwood Baseball Transition Plan	Women's Restroom-Outside	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The outdoor women's restroom sink does not provide proper knee clearances.	ADAAG 606		3	\$	3,775.00	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.
Wildwood Baseball Transition Plan	Women's Restroom-Outside	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The outdoor women's restroom mirror is mounted too high at 45 inches AFF.	ADAAG 603.3		4	\$	520.00	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.
Wildwood Baseball Transition Plan	Women's Restroom-Outside	<p>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The outdoor women's restroom does not provide an accessible stall.	ADAAG 604		3	\$	4,700.00	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.

ADA Analysis

Wildwood Baseball Transition Plan	Men's Restroom-Outside	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos	The outdoor men's restroom has a door opening force too high at 23 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Wildwood Baseball Transition Plan	Men's Restroom-Outside	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos	The outdoor men's restroom does not provide an accessible sign.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Wildwood Baseball Transition Plan	Men's Restroom-Outside	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos	The outdoor men's restroom sink does not provide proper knee clearances.	ADAAG 606	Provide a new sink with a minimum 27 inches knee space, a rim height no higher than 34 inches, clear floor space, pipe wrapping and accessible faucets.	3	\$	3,775.00
Wildwood Baseball Transition Plan	Men's Restroom-Outside	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos	The outdoor men's restroom mirror is mounted too high at 45 inches AFF.	ADAAG 603.3	Lower the mirror above the sink or countertop to be no higher than 40 inches to the reflective surface. Mirrors not mounted above the sink or a counter top should be mounted no higher than 35 inches to the reflective surface. UD - A full-length mirror would be a recommended option.	4	\$	520.00
Wildwood Baseball Transition Plan	Men's Restroom-Outside	\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos	The outdoor men's restroom urinals are mounted too high at 23 inches AFF.	ADAAG 605	Provide a stall-type urinal or a wall-hung urinal that has an elongated rim to is a minimum of 13 1/3 inches deep and is mounted no higher than 17 inches AFF. The flush control should be mounted no higher than 48 inches AFF.	3	\$	1,450.00

ADA Analysis

Wildwood Baseball Transition Plan	Men's Restroom-Outside	<p><u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos</u></p>	The outdoor men's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Wildwood Baseball Transition Plan	Men's Restroom-Outside	<p><u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos</u></p>	The wheelchair height drinking fountain has a knee clearance of only 26 inches.	ADAAG 306 & ADAAG 602.2	Raise the drinking fountain to provide a minimum 27 inches knee clearance and a spout height no higher than 36 inches AFF.	4	\$	1,200.00
Wildwood Baseball Transition Plan	Men's Restroom-Outside	<p><u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos</u></p>	The dugout do not provide access to them. They have a 35 inches drop.	ADAAG 410	Provide a platform lift with clear floor space, accessible surface and accessible controls that operational without assistance.	2	\$	3,650.00
Wildwood Baseball Transition Plan	Men's Restroom-Outside	<p><u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos</u></p>	The 16 picnic tables provided are not of an accessible design.	Proposed Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: Provide 20% of the picnic tables with a clear floor space of 30 inches minimum by 48 inches minimum at the accessible area, and a 36 inch minimum accessible route should be provided on all sides of the table.	2	\$	3,150.00
Wildwood Baseball Transition Plan	Women's Restroom-Stadium	<p><u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos</u></p>	The stadium women's restroom door has an opening force too high at 18 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Wildwood Baseball Transition Plan	Women's Restroom-Stadium	<p><u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos</u></p>	The stadium women's restroom has a broken section at the threshold.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	500.00
Wildwood Baseball Transition Plan	Women's Restroom-Stadium	<p><u>\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide\ADA\CONCEPT STUDY\Wildwood Baseball\Photos</u></p>	The stadium women's restroom does not provide covers on the shut-offs.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00

ADA Analysis

Wildwood Baseball Transition Plan	Women's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium women's restroom does not provide an accessible stall.	ADAAG 604	Provide an accessible stall that is a minimum of 60 inches wide and a minimum of 56 inches deep with a minimum 42 inches side grab bar mounted 12 inches maximum from the corner and a 36 inches rear grab bar mounted 12 inches minimum from the centerline and 24 inches from the centerline to the transfer side of the toilet. The toilet centerline should be 16 inches to 18 inches from the nearest wall and a minimum 17 inches to a maximum 19 inches to the top of the seat. This will require removal of the adjacent toilet and taking over that space. Check plumbing codes to determine if this is acceptable related to the fixture count.	3	\$	4,700.00
Wildwood Baseball Transition Plan	Women's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium women's restroom coat hook is mounted too high at 67 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Wildwood Baseball Transition Plan	Men's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium men's restroom door has an opening force too high at 17 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Wildwood Baseball Transition Plan	Men's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium men's restroom has a broken section at the threshold.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	500.00
Wildwood Baseball Transition Plan	Men's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium men's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Wildwood Baseball Transition Plan	Men's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium men's restroom stall does not provide inside handles.	ADAAG 604.8.1.2	Provide a door pull complying with ADAAG 404.2.7 on the inside of the door near the latch.	3	\$	105.00
Wildwood Baseball Transition Plan	Men's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium men's restroom toilet has a centerline too far from the stall wall at 19 inches.	ADAAG 604.2	Provide an off-set drain to relocate the toilet to have a centerline 16 inches to 18 inches from the wall.	3	\$	1,675.00
Wildwood Baseball Transition Plan	Men's Restroom-Stadium	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide</p> <p>ADA\CONCEPT STUDY\Wildwood Baseball\Photos</p>	The stadium men's restroom coat hook is mounted too high at 67 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00

ADA Analysis

Workers Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos	The grill is not on an accessible route for 24 feet.	Proposed Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	850.00
Workers Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos	The grill is not on an accessible surface.	Proposed Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Workers Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos	The walkway heading up from the asphalt path toward the restrooms has a running slope too steep at 7.9% for 20 feet.	ADAAG 403.3	Remove and regrade section to provide an accessible route with a running slope no greater than 5% and an cross slope no greater than 2% for 31 feet. Option: Since this area is equal to a ramp slope, adding only handrails on both sides would be acceptable. See ADAAG 405.8.	1	\$	3,100.00
Workers Park Transition Plan		\\scfile\DPW\Sharedata\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos	The drinking fountain provided at the restrooms and water feature is a wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
Workers Park Transition Plan	Women's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom sign is not of an accessible design.	ADAAG 216.2 & ADAAG 703	The permanent room sign should be mounted on the wall at the latch side of the door at 48 inches minimum from the baseline of the lowest tactile character to 60 inches maximum from the baseline of the highest character with raised lettering and numbers plus Braille.	4	\$	185.00
Workers Park Transition Plan	Women's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom door has an opening force too high at 14 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Workers Park Transition Plan	Women's Restroom	P:\2020\Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide a protective cover or protective pipe wrapping on the water shut offs and drain pipes.	3	\$	80.00

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Workers Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom stall door is not self closing.	ADAAG 604.8.1.2	Provide the hinges to allow for the stall door to be self-closing.	3	\$	185.00
Workers Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom stall door does not provide handles.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Workers Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom coat hook is mounted too high at 64 inches.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00
Workers Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom toilet has a centerline too far from the wall at 19 1/4 inch.	ADAAG 604.2	Relocate the toilet with a offset drain to provide a centerline 16 inches to 18 inches from the wall.	3	\$	1,675.00
Workers Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom grab bars are mounted too high at 37 inches AFF.	ADAAG 609.4	Remount the grab bars to be between 33 inches to 36 inches AFF to the top of the grab bars.	3	\$	330.00
Workers Park Transition Plan	Women's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The women's restroom toilet paper dispenser is mounted to the side of the toilet.	ADAAG 604.7	Remount the toilet paper dispenser to be no lower than 15 inches, no higher than 48 inches AFF and a centerline of the dispenser that is a minimum of 7 inches to a maximum of 9 inches in front of the toilet. If above the grab bar provide at least 12 inches clearance between the grab bar and the bottom of the toilet paper dispenser. Do not mount the toilet paper dispenser behind the side grab bar. Recommendation: it would be recommend to mount the toilet paper dispenser 1 1/2 inches minimum under the side grab bar and no lower than 15 inches AFF.	3	\$	260.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The men's restroom door has an opening force too high at 14 lbs. and closes too quickly at 4 seconds.	NA	Recommendation: While not specifically address by the ADA it would be recommended to adjust the closer so the door opening force is no heavier than 8.5 lbs. to open and takes a minimum of 5 seconds to close or provide an automatic door opener at the door.	3	\$	105.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The men's restroom sink does not provide pipe protection.	ADAAG 606.5	Provide protective pipe wrapping on the water shut-offs and drain pipes.	3	\$	80.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The men's restroom stall door does not provide handles on both sides.	ADAAG 604.8.1.2	Provide door pulls complying with ADAAG 404.2.7 on both sides of the door near the latch.	3	\$	210.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The men's restroom coat hook is mounted too high at 64 inches AFF.	ADAAG 308	Lower the existing coat hook or add a second coat hook at 48 inches AFF.	4	\$	55.00

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Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The men's restroom grab bars are mounted too high at 37 1/4 inches AFF for the side grab bar and 37 inches AFF for the rear grab bar.	ADAAG 609.4	Remount the grab bars to be between 33 inches to 36 inches AFF to the top of the grab bars.	3	\$	330.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	There are 3 benches provided along the walkway, but they do not provide companion seating.	<u>Proposed</u> Outdoor Areas Standards ADAAG 1011	Bench Recommendation: Provide a clear ground space of at least 30 inches by 48 inches positioned near two benches with one side adjoining the walkway. The clear ground space should have a slope no steeper than 2% in all directions. The clear ground space should not overlap the accessible route or another clear ground space.	2	\$	600.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The walkway heading toward the river just before the intersection to the playground has a cross slope that is too steep at up to 5.2% for 27 feet.	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	2,700.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The picnic table provided is not of an accessible design with a knee clearance of 25 3/4 inch AFF.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 245 & 1011	Picnic Table Recommendation: At least 20% of picnic tables, but no less than two, be of an accessible design, connected to an accessible route. Relocate or purchase one more accessible picnic table (\$785/each) and locate it on an accessible surface.	2	\$	785.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The mats at the playground have surface gaps of 1 inch.	ADAAG 1008.2.6	Provide an accessible surface of engineered wood fiber or a unitary rubberized surface.	2	\$	5,000.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The rockers are mounted too high up to 26 inches AFF.	ADAAG 1008.4.4	Re-set the rocker further into the ground so the seat height is between 11 inches minimum to 24 inches maximum. An height of 18 inches AFF is recommended.	2	\$	1,100.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The bricks at the bench plaza along the river have created several abrupt transitions up to 1 1/2 inch AFF.	ADAAG 303	Grind down and/or raise section of brick pavers to provide a smooth transition.	1	\$	1,500.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The bricks at the covered pavilion have created a 1 inch abrupt transition.	ADAAG 303	Grind down and/or raise section of brick pavers to provide a smooth transition.	1	\$	1,500.00
Workers Park Transition Plan	Men's Restroom	P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos	The counter is mounted too high at 38 inches.	ADAAG 904.3.3	Provide a section of counter that is 28 inches to 34 inches AFF and is at least 24 inches long in alterations. In new construction at least one full counter should meet this height.	2	\$	645.00

ADA Analysis

Workers Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos</u>	The grill at the pavilion is mounted too high at 45 inches.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.5	Grill Recommendation: Remount the grill to provide a cooking surface a minimum of 15 inches to 34 inches maximum AFF above the ground surface. UD - Provide a grill that the height is adjustable using only one hand.	2	\$	400.00
Workers Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos</u>	The grill at the pavilion is not on an accessible route for 45 feet.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 403 and ADAAG 1011.1	Grill Accessible Route Recommendation: Provide an accessible route with a cross slope no steeper than 2%, running slope no steeper than 5% and a surface that is firm and stable. Connect this route to the clear floors space of the grill.	2	\$	1,575.00
Workers Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos</u>	The grill does not provide an accessible surface.	<u>Proposed</u> Outdoor Developed Areas Guidelines ADAAG 1011.1	Grill Clear Ground Space Recommendation: Provide a 48 inches by 48 inches clear ground space on all usable side of the grill and connected to an accessible route.	2	\$	520.00
Workers Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos</u>	The drinking fountain provided at the pavilion is wheelchair height only.	ADAAG 211 & ADAAG 602	Provide another individual drinking fountain at a standing height between 38 inches minimum to 43 inches maximum to the spout. Option: Remove existing drinking fountain and install a single Hi-Lo drinking fountain that provides a wheelchair accessible fountain with a spout at 36 inches maximum and a standing drinking fountain with a height between 38 inches minimum and 43 inches maximum. The toe clearance should be a minimum of 9 inches.	4	\$	2,300.00
Workers Park Transition Plan	Men's Restroom	<u>P:\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park - Bathrooms\Photos</u>	There is no level landing at the drinking fountain, slope is 4.4%.	ADAAG 602.2	Provide a minimum clear floor space of 30 inches wide and 48 inches deep for a forward approach and centered on the accessible unit with a 2% slope in all directions.	4	\$	315.00
Workers Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos</u>	The sidewalk at the north end of the park all along the parking cross slope is too steep up to 7% for 472 feet	ADAAG 403.3	Attempt a "mud jacking" technique or remove and regrade section to provide a cross slope no greater than 2%.	1	\$	47,200.00
Workers Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos</u>	Where the sidewalk meets the walkway at the south end of the park there is a gap of 3/4 inch.	ADAAG 302.3	Fill in or replace section of walkway to provide a flush transition or an opening no greater than 1/2 inch.	1	\$	475.00
Workers Park Transition Plan	Sidewalk Accessibility Issues	<u>\\scfile\DPW\SharedData\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos</u>	The southeast curb ramp at Water Street and Ontario is too steep at 9.6% and does not provide truncated domes.	ADAAG 406	Provide a curb ramp with a running slope no steeper than 8.3% and a cross slope no steeper than 2% and a smooth transition to the sidewalk and street gutter. Provide truncated domes the width of the curb ramp and at least 24 inches deep.	1	\$	2,100.00

ADA Analysis

Workers Park Transition Plan	Sidewalk Accessibility Issues	<p>\\scfile\DPW\Sharedata\2020 Projects\DB - City Wide ADA\CONCEPT STUDY\Workers Park\Workers Park Photos</p>	<p>The southwest curb ramp at Water Street and Ontario does not provide truncated domes.</p>	ADAAG 705	<p>Provide truncated domes that go the width of the sidewalk and 24 inches deep where it meets the road. Provide a color that contrast with the walkway surface. Truncated dome tiles are typically a more durable solution.</p>	1	\$	525.00
Total						1391	\$	2,443,784.00