

*****ATTACHMENTS*****

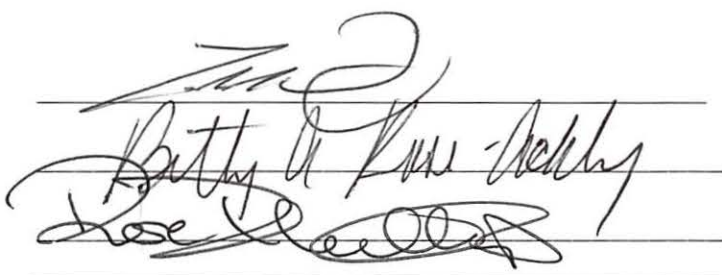
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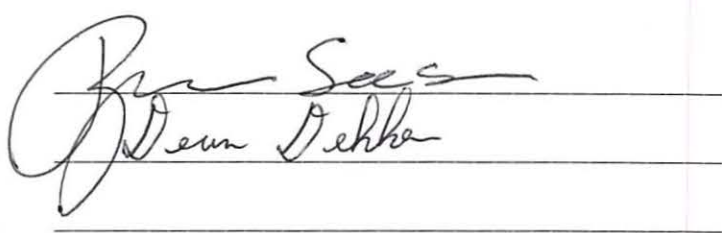
5.3

R. C. No. 177 - 19 - 20. By PUBLIC WORKS COMMITTEE. November 4, 2019.

Your Committee to whom was referred Res. No. 104-19-20 by Alderpersons Wolf and Sorenson authorizing executing a storm sewer easement (Eighth Street Investments, LLC); recommends adopting the Resolution.

Public Works


Betty A. Ann Kelly


Dean Dekker

Committee

I HEREBY CERTIFY that the foregoing Committee Report was duly accepted and adopted by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____, _____, City Clerk

Approved _____ 20____, _____, Mayor

III

5.4

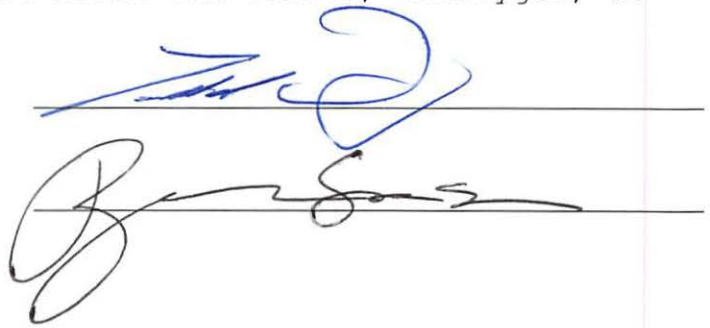
Res. No. 104 19 - 20. By Alderpersons Wolf and Sorenson. October 21, 2019.

A RESOLUTION authorizing executing a storm sewer easement.

RESOLVED: That the Mayor and City Clerk are hereby authorized and directed to execute the attached Storm Sewer Easement for the City to construct a storm sewer at the following location:

Eighth Street Investments, LLC, 604 North 8th Street, Sheboygan, WI

Public Works
adopt



I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

Document Number

Document Title

STORM SEWER EASEMENT

THIS INDENTURE, made this ____ day of _____, 2019, by Eighth Street Investments, LLC, a Wisconsin limited liability company, "**GRANTOR**", and the City of Sheboygan, a municipal corporation of the State of Wisconsin, "**GRANTEE**";

Name and Return Address
City of Sheboygan
City Attorney's Office
828 Center Ave, Suite 210
Sheboygan, WI 53081

Part of 59281108041
Parcel Identification Number (PIN)

WITNESSETH:

KNOW ALL MEN BY THESE PRESENTS, that the said **GRANTOR**, in consideration of the sum of one (\$1.00) dollar and other valuable consideration in hand paid by said **GRANTEE**, receipt whereof is hereby confessed and acknowledged, and the covenants hereinafter contained agree as follows:

1. **GRANTOR** does hereby give and grant to said **GRANTEE**, its successors and assigns, a permanent non-exclusive easement to construct, operate, use, maintain, and repair a storm sewer in, under, and along the following described property, to-wit:

A part of Lots 9 and 10 in Block 151 of the Original Plat of the City of Sheboygan located in the Northeast ¼ of the Southwest ¼ of Section 23, Town 15 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin, and being more particularly described as follows:

Commencing at the Southwest corner of said Lot 10, thence North 00°10'20" East along the West line of said Lot 10, a distance of 71.62 feet to the Point of Beginning for this description; thence North 83°26'34" West a distance of 5.04 feet; thence North 00°10'20" East a distance of 10.06 feet; thence South 83°26'34" East a distance of 5.04 feet to the West line of said Lot 10; thence continuing South 83°26'34" East a distance of 29.01 feet; thence South 06°33'26" West a distance of 10.00 feet; thence North 83°26'34" West a distance of 27.89 feet to the West line of said Lot 10 and the Point of Beginning. Containing 0.00769 acres (335 square feet) of land.

Physical Site Address:

604 N 8th Street
Sheboygan, WI 53081

2. Said storm sewer facilities shall be maintained and kept in good order and condition by **GRANTEE**.
3. That in, and during, whatever construction, reconstruction, or repair work it is, or becomes, necessary in constructing and/or maintaining said facilities, so much of the surface or subsurface of the property as may be disturbed will, at the expense of **GRANTEE**, be replaced in substantially the same condition as it was prior to such disturbances. **GRANTEE** shall save harmless **GRANTOR** from any loss, damage, injury or liability resulting from negligence on the part of **GRANTEE** in connection with said work involved in constructing and/or maintaining of said facilities provided that if loss, damage, injury, or liability results from joint negligence of the parties hereto, then the liability therefore, shall be borne by them in proportion to their respective degree of negligence; provided further, however, that these provisions are subject to the legal defenses which under law **GRANTEE** is entitled to raise.
4. **GRANTOR** agrees not to construct, install, and/or erect structures, buildings, fences, pools, landscaping, etc. that would impede, restrict, prohibit, and/or limit ingress and egress over, across, through, and upon said easement.
5. That in connection with the construction by **GRANTOR** of any structure or building abutting said permanent easement defined limits, **GRANTOR** will assume all liability for any damage to the facilities in the above described easement. **GRANTOR** will indemnify and hold **GRANTEE** harmless from any claims for personal injuries or property damage caused by any negligence of **GRANTOR** arising out of the construction by **GRANTOR** of any structure or building abutting the said permanent utility easement defined limits.
6. Both parties mutually agree that this easement and covenants herein shall run with the land.

IN WITNESS THEREOF, the **GRANTOR**, has caused this instrument to be signed and sealed this _____ day of _____, 2019.

EIGHTH STREET INVESTMENTS, LLC

Paul Weaver
Member

STATE OF WISCONSIN)
) SS
COUNTY OF SHEBOYGAN)

Personally came before me this ____ day of _____, 2019, the above named Paul Weaver to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public

My Commission expires _____

Accepted By: **CITY OF SHEBOYGAN**

Michael Vandersteen
City of Sheboygan - Mayor

Meredith DeBruin
City of Sheboygan – City Clerk

STATE OF WISCONSIN)
) SS
COUNTY OF SHEBOYGAN)

Personally came before me this ____ day of _____, 2019, the above named Michael Vandersteen, Mayor and Meredith DeBruin, City Clerk to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public
My Commission expires _____

Acceptance is authorized by and in accordance with Resolution Number _____

This Instrument Drafted By:
Michael P. Born, PLS
Assistant City Engineer / Surveyor

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: Report of Committee to whom was referred Res. No. 104-19-20 by Alderpersons Wolf and Sorenson authorizing executing a storm sewer easement (Eighth Street Investments, LLC); recommends adopting the Resolution.

REPORT PREPARED BY: Ryan Sazama, City Engineer

REPORT DATE: November 6, 2019

MEETING DATE: November 12, 2019

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budget Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: City Hall located at 828 Center Avenue has a roof downspout on the east side of the building which needs to be connected to a storm sewer. The most strategic and economical location to make this roof downspout connection is to the existing storm sewer located in the parking lot at 604 North 8th Street. The Department of Public Works has been working with the owner of this property to draft an easement that would allow the construction of a pipe from the storm sewer in the parking lot to the downspout on the east side of City Hall. The owner has agreed to this storm sewer easement.

STAFF COMMENTS: This roof downspout and storm sewer connection will be constructed this fall in 2019.

ACTION REQUESTED: Motion to recommend Common Council receive R.C. No. 177-19-20 and adopt Res. No. 104-19-20 authorizing executing a storm sewer easement (Eighth Street Investments, LLC).

ATTACHMENTS:

- I. R.C. No. 177-19-20
- II. Res. No. 104-19-20
- III. Storm Sewer Easement

III

4.2

Res. No. 106 19 - 20. By Alderpersons Wolf and Sorenson.
November 4, 2019.

A RESOLUTION authorizing entering into an Agreement with Making Spirits Bright, Inc. for use of Evergreen Park and the Quarryview Center for the annual Making Spirits Bright drive-through holiday lights display.

RESOLVED: That the appropriate City officials are hereby authorized to enter into an Agreement with Making Spirits Bright, Inc. for use of Evergreen Park and the Quarryview Center for the annual Making Spirits Bright drive-through holiday lights display, a copy of which is attached hereto.

Public Works

I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

**AGREEMENT
BETWEEN
CITY OF SHEBOYGAN
AND
MAKING SPIRITS BRIGHT, INC.
FOR USE OF EVERGREEN PARK
AND THE QUARRYVIEW CENTER**

THIS AGREEMENT, hereinafter referred to as the "Agreement," is entered into this ____ day of _____, 2019 (the "Effective Date"), by and between the City of Sheboygan, a municipal corporation existing under the laws of the State of Wisconsin (the "City"), and Making Spirits Bright, Inc., ("MSB") a Wisconsin non-stock corporation with its principal office at 3034 N. 20th Street, Sheboygan, Wisconsin 53081.

RECITALS

(i) For over 100 years, Rotary Clubs have recognized the needs of families in Sheboygan County and have been contributors to, and supporters of, organizations who address those concerns. The motto of Service Above Self is exemplified annually by the projects that the Rotarians support and the grants provided to individuals and organizations as a result of successful fundraisers.

(ii) The Sheboygan County Rotary Clubs have combined their efforts in developing and providing the Making Spirits Bright annual drive-through holiday lights display in Evergreen Park and the Quarryview Center during the holiday season.

(iii) The Sheboygan County Rotary Clubs are partnering with the Sheboygan County Food Bank by asking all who attend this family fun event to bring food pantry items as their admission to the park.

(iv) The Sheboygan County Rotary Clubs have established MSB as a non-stock not for profit corporation for the purposes of developing, promoting, organizing, planning and staging the annual event.

(v) The Sheboygan County Rotary Clubs, through MSB, are again requesting permission to utilize Evergreen Park and the Quarryview Center for the holiday light display event and asking that the parks be closed to vehicular traffic (other than light display patrons) to ensure safety for the event.

(vi) The City is willing to grant such permission subject to certain terms and conditions.

(vii) The parties recognize and understand that Evergreen Park is also utilized in the wintertime for cross country skiing, and that a system of ski trails has been established for outdoor winter recreation by the public.

(viii) This Agreement is intended to authorize MSB to successfully set up, operate and take down their holiday light display while minimizing to the extent possible, impact upon cross country skiing in the park and the grooming of the ski trail system.

NOW, THEREFORE, in consideration of the recitals and mutual agreements herein set forth, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereto agree as follows:

1. The Parties recognize that in April 2015, the Parties entered into an Agreement for the Use of Evergreen Park and Quarryview Center ("2015 Agreement"). The 2015 Agreement was set for an initial term commencing in mid-October 2015 and ending January 10, 2016. The 2015 Agreement automatically renewed for successive one-year terms through January 10, 2020. The Parties wish to conduct the 2019-2020 administration of the holiday light display event under this Agreement rather than the April 2015 Agreement.

2. The City agrees to make Evergreen Park available to MSB for its drive-through holiday light display between the Effective Date of this Agreement and January 16, 2020¹ and the Quarryview Center available to MSB between the Effective Date of this Agreement and December 31, 2019, subject to the following:

- (a) MSB has, prior to the effective date of this Agreement, remitted \$1,500 to the City for the use of Evergreen Park and the Quarryview Center for the 2019-2020 administration of the holiday light display event. For the avoidance of doubt, for all future administrations of the holiday light display covered by this Agreement, MSB shall remit payment of \$1,500 per year for the use of Evergreen Park and the Quarryview Center

¹ This time period shall include the setup and removal of all lights and other elements included in the holiday light display.

on or before the March 1 preceding the event commencing in that calendar year.

- (b) MSB shall complete all event forms reasonably requested by the City's Department of Public Works, pursuant to the deadlines set forth.
- (c) MSB shall indemnify, defend, and hold harmless the City from all claims, actions and suits brought against the City on account of any injuries or damages received or sustained by any party or parties by or from the MSB, its employees, agents, or volunteers, arising from the exercise of the rights and privileges granted herein or on account of any act or omission of the MSB or its employees, agents, or volunteers.
- (d) MSB agrees to provide the City with a certificate of insurance illustrating the existence of a commercial general liability insurance policy providing at least \$2,000,000 in coverage, naming the City as an additional insured.
- (e) MSB agrees to reimburse the City for damages to the park and the Quarryview Center caused by or arising as a result of the use of said parks and park facilities under this Agreement.
- (f) MSB agrees to strictly abide by all rules established by the Department of Public Works for its use of the parks.
- (g) MSB shall work with the City Parks Department to provide room for groomed trails as shown on the map attached to this Agreement as **Exhibit A** throughout its use of Evergreen Park.
- (h) MSB shall leave the area identified as Practice Ski Area on **Exhibit B** available for use by cross country skiers at all times during its occupancy of Evergreen Park.
- (i) MSB shall make best efforts to allow for a 10 foot wide ski trail around the south side of the Area #4 parking lot beginning on January 3 of each year.

- (j) MSB shall have all ski trail areas in Evergreen Park available for grooming by January 17 of each year.
- (k) In recognition of the City's support of MSB, MSB shall recognize the City of Sheboygan as an in-kind donor in any written materials distributed at Making Spirits Bright, including a City logo on the map of Evergreen Park included in the written materials and any other recognition provided to other in-kind donors to MSB.

3. As set forth above, this Agreement shall be for an initial term commencing the Effective Date of this Agreement and ending January 16, 2020. It shall automatically renew to allow use of Evergreen Park and Quarryview Center on the following schedule, unless notice is provided by either party to the other no later than May 31 of each year:

Evergreen Park

October 5, 2020 through January 16, 2021
October 4, 2021 through January 16, 2022
October 3, 2022 through January 16, 2023
October 1, 2023 through January 16, 2024
October 7, 2024 through January 16, 2025

Quarryview Center

November 5, 2020 through December 31, 2020
November 4, 2021 through December 31, 2021
November 3, 2022 through December 31, 2022
November 2, 2023 through December 31, 2023
November 7, 2024 through December 31, 2024
November 6, 2025 through December 31, 2025

In no event shall this Agreement be automatically renewed beyond January 16, 2025. The Director of Public Works may, subject to the availability of Evergreen Park, allow MSB to start on an earlier date than that specified in this Section.

4. Termination.

In the event that MSB breaches its obligations under this Agreement, the Director of Public Works may provide a Notice of Intent to Terminate to:

Kenneth R. King
730 S. 8th Street, Unit 506
Sheboygan, WI 53082

Such Notice of Intent to Terminate shall become effective upon ratification by the Common Council of the City.

IN WITNESS WHEREOF, the Parties have duly executed this Agreement as of the date first above written.

MAKING SPIRITS BRIGHT, INC.

CITY OF SHEBOYGAN

By: _____

By: _____
Michael J. Vandersteen
Mayor

Date: _____

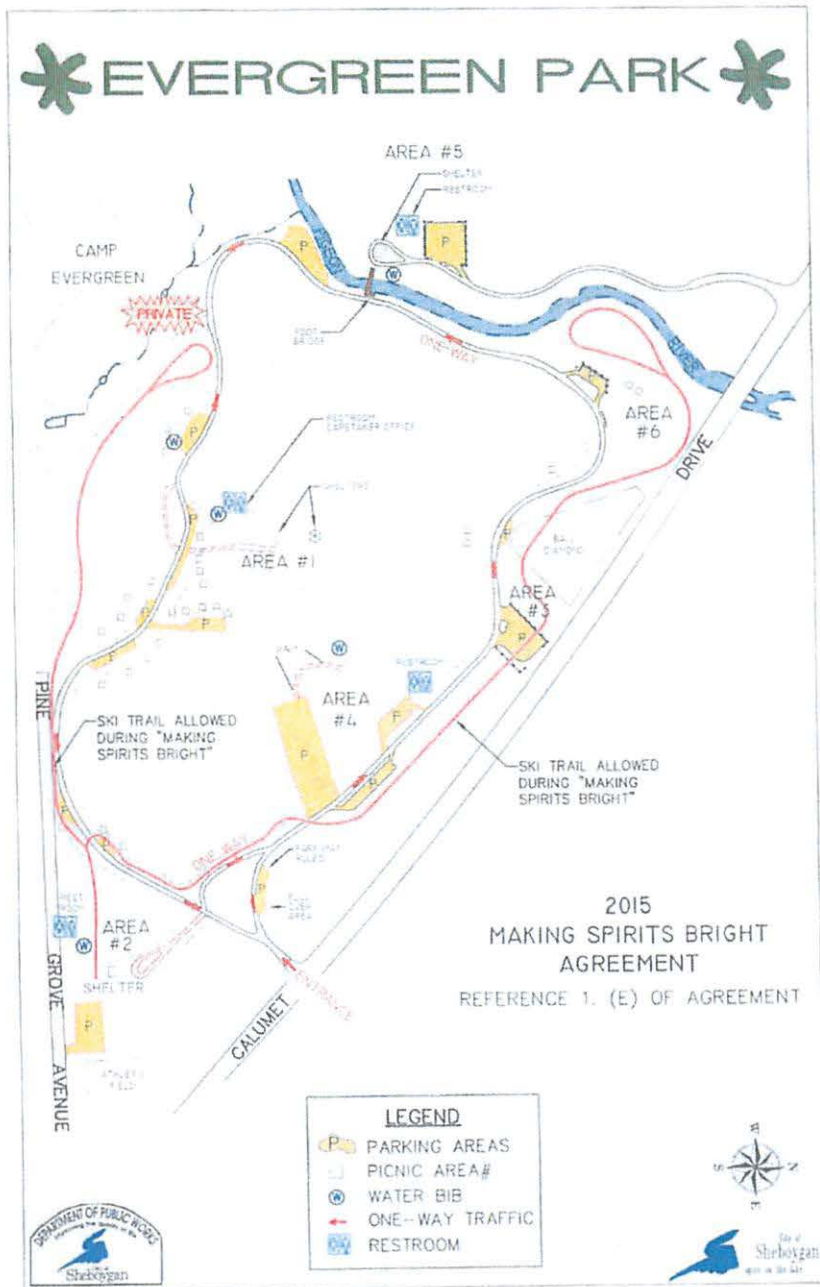
Date: _____

ATTEST:

Meredith DeBruin
City Clerk

Date: _____

EXHIBIT A



CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: Resolution authorizing entering into an agreement with Making Spirits Bright, Inc. for use of Evergreen Park and the Quarryview Center for the annual Making Spirits Bright drive-through holiday lights display.

REPORT PREPARED BY: Joseph L. Kerlin, Superintendent of Parks and Forestry

REPORT DATE: November 5, 2019

MEETING DATE: November 12, 2019

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: Making Spirits Bright was initiated in 2012 by the Sheboygan County Rotary Clubs to provide a quality, exciting, family event and to collect much needed food pantry items. This event is held in the City of Sheboygan's Evergreen Park.

STAFF COMMENTS: This proposed agreement is an update to the current 2015 agreement. The Department of Public Works is in full support of this event and the wonderful service that it provides to Sheboygan County.

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 106-19-20 authorizing entering into an agreement with Making Spirits Bright, Inc. for use of Evergreen Park and the Quarryview Center for the annual Making Spirits Bright drive-through holiday lights display.

ATTACHMENTS:

- I. Res. No. 106-19-20
- II. Making Spirits Bright Agreement with the City

III

4.3

Res. No. 108 - 19 - 20. By Alderpersons Wolf and Sorenson.
November 4, 2019.

A RESOLUTION authorizing the emergency repair of an underground electrical feeder and related equipment at the Eighth Street Draw Bridge.

WHEREAS, there is a 1200-amp underground electrical feeder in the Eighth Street Draw Bridge, which has failed between Alliant Energy's transformer and the main electrical panel which feeds the west Hydraulic Power Unit; and

WHEREAS, failure to repair the underground electrical feeder could result in further damage to the bridge's operating system, which would render the bridge inoperable; and

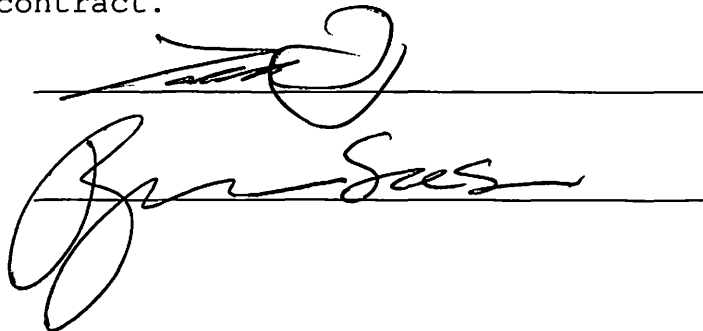
WHEREAS, while the necessary work constitutes public construction, as used in Wis. Stat. § 62.15(1), that would ordinarily require taking and receiving bids, because the failure of this underground feeder endangers the public welfare, Wis. Stat. § 62.15(1b) provides that public bidding is not necessary in order to promptly address the emergency created by this failure of the electrical feeder; and

WHEREAS, City Staff anticipates that further work on the electrical system associated with the Eighth Street Draw Bridge may be necessary in the future, and anticipates that such work will be bid through the process set forth in Wis. Stat. § 62.15(1).

NOW, THEREFORE, BE IT RESOLVED: That the appropriate City officials are hereby authorized to enter into a contract with Piper Electric, Inc. in substantially similar form to that attached, for repair of the underground feeder at the Eighth Street Draw Bridge.

Public Works

BE IT FURTHER RESOLVED: That the appropriate City officials are hereby authorized to draw funds in the amount of \$94,778.00 from Account No. 47833170-631100 (2019 Capital Improvements - Bridges - Improvements Other Than Buildings) pursuant to the contract.



The image shows two handwritten signatures, each written over a horizontal line. The top signature is a stylized, cursive name that appears to be 'J. [unclear]'. The bottom signature is a more legible cursive name, possibly 'James [unclear]'. Both signatures are in black ink.

I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor



PIEPER ELECTRIC, INC. | Solutions Powered by People Since 1947

11-01-19

City of Sheboygan
Attention: Michael Willmas
2026 New Jersey Ave.
Sheboygan, WI 53081

Re: 8th Street Bridge Repair
Estimate #: 2146-MR-211b(2)

Michael,

We will provide the labor, material, tools and supervision to provide the following:

- Remove 1200 amp underground feeders from the CT cabinet to the MCC in the bridge hydraulic room.
- Excavate roadway at bridge abutment wall.
- Repair or replace 4" rigid conduits as necessary.
- Install new 4" expansion couplings under bridge.
- Install new 600 MCM, THHN feeders. (per NEC 2017 requirements)
- Install new concrete roadway where excavated.
- Terminate and test all equipment.

Budget price for providing the above.....\$94,778.00

Proposal Notes:

- If applicable, taxes have not been included in the pricing above.
- Price includes all work already completed.
- Roadway excavation and repairs have an included allowance of \$20,000.00
- Traffic control by others.
- Any additional scope of work items beyond this proposal will incur additional costs.
- Price based on using the city's boat and operator for under bridge repairs.
- Actual work performed will be on a straight time basis.
- *Payment is to be made based on NET 30 days.*
- *If work is not completed by May 31st 2020, the remaining labor to complete this project will increase by 3%.*
- Pieper Electric, Inc. shall not be held liable for errors or omissions in designs by others, nor inadequacies of materials and equipment specified or supplied by others.
- Due to the volatility of the metals market, we reserve the right to re-quote material pricing beyond 30 days of this quote.
- Price does not include permit fee.
- Project will be invoiced at a Time and Material basis. Any pricing discussed or stated is a budgetary estimate only.

NOTE: This proposal valid for 30 days, negotiable thereafter.

We thank you for giving us the opportunity of estimating this work, and should there be any questions, please do not hesitate to contact me at 414-522-6208.

Date Accepted: _____

Sincerely,

By: _____

Mark Rautanen

Mark Rautanen
6477 South Westridge Court | New Berlin, WI 53151 | Telephone: 414-462-7700
Pieper Electric, Inc. SAFETY: **Working Together For Tomorrow**



PIEPER ELECTRIC, INC. | Solutions Powered by People Since 1947

TERMS AND CONDITIONS OF SALE

- 1. LIEN NOTICE.** As required by the Wisconsin Construction Lien Law, Seller (Pieper Electric, Inc. and all DBAs) hereby notifies Owner that persons or companies furnishing labor or materials for the construction on Owner's land may have lien rights on the Owner's land and buildings if not paid. Those entitled to lien rights, in addition to Seller, are those who contract directly with the Owner or those who give the Owner notice within sixty (60) days after they first furnish labor or materials for the construction. Accordingly, Owner will probably receive notices from those who furnish labor or materials for the construction, and should give a copy of each notice received to his mortgage lender, if any. Seller agrees to co-operate with the Owner and his lender, if any, to see that all potential lien claimants are duly paid.
- 2. ENTIRE AGREEMENT.** This Agreement constitutes the entire contract for material, work, and other goods and services (collectively "Goods") between the Seller and the buyer ordering such Goods ("Buyer"). It is expressly agreed that no statement, arrangement, warranty, or understanding, oral or written, expressed or implied, will be recognized unless it is stated in, or otherwise permitted by, this Agreement. This Agreement is solely for the benefit of Buyer and Seller, and is not intended for the benefit of any other party.
- 3. PROPOSAL.** Seller is responsible for, and shall have sole control of, the construction methods, sequences and coordination of all work described in the Proposal, unless expressly stated to the contrary. Any items not listed are not included in the Agreement price and shall be the obligation of the Buyer.
- 4. CONSTRUCTION MATERIALS.** All materials and work shall be furnished in accordance with normal industry tolerances for color, variation, thickness, size, weight, amount, finish, texture and performance standards. Excess materials delivered to job site and/or materials not physically attached to the structure after substantial completion of the work contemplated by this Agreement shall remain the property of Seller.
- 5. ACCESS TO WORK AND SITE.** Buyer shall provide electric power, water, telephone and toilet facilities for use by Seller and its subcontractors/employees. Storage of materials and storage of Seller's equipment shall also be provided by Buyer. All utility connections and service charges, if any, shall be paid by the Buyer. Furthermore, Buyer agrees to maintain access for Seller at the Project Site to keep Project Site free from obstructions and conflicting work, and to obtain permission for Seller to gain access through adjacent property, if required by Seller to do so. Buyer shall be solely responsible for all risk, shall hold Seller harmless and free of liability, and shall compensate for any damages or costs arising out of such access or the failure to maintain access, except to the extent due to the intentional acts of Seller, its agents and/or employees.
- 6. INSURANCE.** Seller shall maintain workers' compensation, automobile liability, commercial general liability and such other insurance as required by law. Seller will furnish a Certificate of Insurance evidencing the types and amounts of its coverage, upon request. Buyer shall maintain insurance covering all physical loss expressly including, but not limited to, coverage for collapse, fire, wind damage, theft, vandalism and malicious mischief, naming Seller as additional insured. Buyer assumes risk of loss during construction, except for the intentional acts of Seller, its subcontractors or employees.
- 7. ENVIRONMENTAL HAZARDS.** Seller is not responsible for any environmental hazards. The Buyer shall be solely responsible for all risk, shall indemnify and hold Seller harmless and free of liability, and shall bear the costs of any removal or correction of environmental materials.
- 8. SITE CONDITIONS.** Seller shall not be responsible for additional costs due to the existence of latent conditions that are not disclosed in writing to Seller. The raising, disconnection, re-connection or relocation of any mechanical equipment that may be necessary for Seller to perform the work shall be performed by others or treated as an extra.
- 9. PAYMENT.** Buyer shall timely make all payments required by this Agreement. Time is of the essence as to all terms of payment. Buyer agrees that, in addition to other remedies available to Seller, if payment is not timely made, Seller shall be entitled to a service charge of 1.0% per month on all past due amounts, plus, if not contrary to any law, all costs of collection including actual attorneys' fees. Seller shall furnish lien waivers to Buyer at the time each Progress Payment and the Final Payment is made to Seller for the proportionate value of all Goods ordered or delivered as of the time the payment is made. Final Payment shall constitute acceptance and approval of all work, and a waiver of all claims by Buyer, except those arising from liens or the warranty included in this Agreement. No retention shall apply to any of the work.
- 10. JOB SIGN.** Buyer agrees to allow Seller to display a construction sign at the Project Site.
- 11. CHANGES.** No changes, additions, alterations, deviations or extras to the Plans and Specifications shall be made without a written Change Order signed by the Buyer and Seller in advance, which will be performed based on Seller's standard time and material rates. Notwithstanding, Buyer's signature shall not be required for changes necessary to conform to codes, laws or regulations required by any utility or governmental authority, or to address existing conditions of the Project Site unknown to Seller at the time Seller signs this Agreement. All Change Orders shall be incorporated as part of this Agreement. Upon Seller's request, Buyer agrees to pay for all changes in advance of each change being commenced. Buyer understands and agrees that changes will extend the time of performance by at least 5 work days for each change unless otherwise agreed in writing.
- 12. WORK STOPPAGE.** Should work be stopped by any public authority or the Buyer for more than thirty calendar days, Seller may terminate this Agreement and collect for the value of all work completed and materials ordered as of the date work is stopped, plus Seller's anticipated profit under this Agreement. Buyer's failure to sign Change Orders or Buyer's refusal to make progress payments, or any other cause beyond Seller's sole control, shall also be cause for work stoppage by Seller.
- 13. DELAY.** Work shall be completed within the number of working days stated in this Agreement, unless delay occurs due to work stoppage, adverse weather conditions, labor disputes, changes by Buyer, work performed by Buyer (or Buyer's separate contractors) or governmental authorities, unavailability of materials or supplies, unavoidable casualties, accidents, environmental hazards, Buyer's failure to make payments as required by this Agreement, or any other cause beyond Seller's sole control. Any such delay shall extend the time of performance or, at Seller's Option, terminate this Agreement if the cause of the delay cannot be resolved within thirty calendar days. Where Seller elects to extend performance, Seller shall also be entitled to additional payment to reflect any increased cost labor and/or materials. Seller will give notice to Buyer of delay and any adjustments to time of performance or cost of the work necessitated by the delay.
- 14. DISPUTES.** These Terms shall be deemed to have been made in and governed by the laws of the State of Wisconsin. Any legal suit or action with regard to these Terms or the Project hereunder may, at Seller's option, be venued in Milwaukee County Circuit Court, Wisconsin. Seller may also, at Seller's sole discretion, elect arbitration and/or mediation in place of civil litigation, without regard to whether litigation has been commenced by Buyer. If an Arbitrator cannot be agreed upon, Seller can petition Circuit Court for same.
- 15. WARRANTY.** Seller warrants and guarantees to Buyer that all material and equipment, and the work to be performed hereunder, will be of good quality and free from faults and defects. This warranty shall cover material (except lamps and other expendables) for the manufacturer's stated warranty period and workmanship for one year from the date of substantial completion. This warranty does not apply to bid work if the bid documents stipulate a lesser warranty. This warranty is in lieu of all other warranties, express or implied, of merchantability, fitness for a particular purpose, performance, or otherwise. Seller's liability under the warranty is strictly and exclusively limited to the repair or replacement at the job site of such work (including material and equipment) as is found to be defective within such warranty period, and with respect to which the Buyer has given Seller prompt written notice within such period. No allowance will be made for repairs or alterations unless made with Seller's prior written consent or approval. In no event shall Seller be liable for claims for any other damages based upon breach of express or implied warranty or negligence whether direct, immediate, foreseeable, consequential or special. This paragraph states Seller's entire liability with respect to warranties, guarantees, or representations, express or implied. Seller will be held harmless against claims, damages, losses and expenses, including attorneys' fees arising from work not done by Seller's own workforce.
- 16. CONFLICTS/INCONSISTENCIES.** If any inconsistency or ambiguity is believed to exist among any of the documents comprising the contract, the inconsistency or ambiguity shall be resolved by applying the following order of precedence: (a) this Agreement including these Terms and Conditions; (b) the plans and specifications, if any; (c) other documents comprising the contract, if any.
- 17. ASBESTOS AND TOXIC MATERIALS.** This proposal and contract is based upon the work to be performed by Seller not involving asbestos-containing or toxic materials and that such materials will not be encountered or disturbed during the course of performing the work. Seller is not responsible for expenses, claims or damages arising out of the presence, disturbance, or removal of asbestos-containing or toxic material. In the event that such materials are encountered, Seller shall be entitled to reasonable compensation for all additional expenses incurred as a result of the presence of asbestos-containing or toxic materials at the work site.
- 18. PROTECTION OF PERSONAL PROPERTY AND PROJECT SITE.** Buyer agrees to remove or protect any personal property inside and outside the Project Site. Seller shall make reasonable efforts to avoid damage to existing property. Seller will make every effort to keep dust down to a bare minimum. Seller is not responsible for housecleaning or damages during normal construction activities.
- 19. IMPAIRMENT OF CREDIT.** If Buyer is or becomes insolvent, or is unable to pay his debts as they mature, or files or has filed against him a bankruptcy, insolvency, or similar petition or fails to pay any debt arising hereunder to Seller on time, or if Seller in good faith doubts the ability of Buyer to pay, Seller may, at its option, either: (a) terminate the work at any time thereafter, and Buyer shall thereupon pay for all work performed on a pro-rata basis plus all lost profit or (b) discontinue work until such time as the Buyer has paid Seller in full for work performed, has agreed to pay Seller for any additional costs incurred because of such discontinuance, and upon such other terms or conditions as may be imposed by Seller to ensure the payment for the work.
- 20. HOLD HARMLESS.** Seller will hold harmless and defend Buyer against any claims brought by a third party for damages or losses arising out of Seller's performance of work under this contract provided that the third party claim is attributable to bodily injury or death, or injury to or from destruction of tangible property, but only to the extent caused by the negligence of Seller or Seller's subcontractors and not caused in whole or in part by the Buyer or its agents, employees or representatives. Seller shall not be liable for any consequential damages claimed by any party including, but not limited to, lost profits, loss of use, or attorney's fees. As conditions precedent to Seller's duties under this provision, Buyer must (a) provide Seller with written notice of any claim against Buyer immediately after Buyer is aware of the claim; and (b) remain current with all of Buyer's obligations under this contract. This provision is null and void if the Buyer fails to perform any of its obligations under this contract. Seller shall have the sole right to manage the defense of the claim or resolve the claim. Buyer agrees to fully cooperate with Seller in the investigation and defense of any claim brought by another party.
- 21. WORKING HOURS.** Unless specifically noted, all work included in this contract is to be performed during normal business hours, Monday through Friday. Work performed at any other time, or on legal holidays, will result in an extra charge to Buyer.
- 22. GENERAL EXCLUSIONS.** Seller shall not be responsible for coordinating or supervising work performed by Buyer's own forces or contractors. Seller shall be entitled to an equitable adjustment for hidden or latent conditions. Cost of pumping water from basements and other excavations is not included in quotation. Any alteration or deviation from the specifications as outlined on reverse involving extra cost of material or labor will only be executed upon written orders for same and will become an extra charge over the sum mentioned in this contract. Seller is not responsible for damage to underground services. Any changes in local or state codes effective after date of proposal will be charged as an extra or credited as the case may be. Patching of walls and floors is to be done by others unless specifically stated in this contract as Seller's responsibility.

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: Resolution authorizing the emergency repair of an underground electrical feeder and related equipment at the Eighth Street Draw Bridge.

REPORT PREPARED BY: David H. Biebel, Director of Public Works

REPORT DATE: November 7, 2019

MEETING DATE: November 12, 2019

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: 47833170-631100
Budget Summary: Capital
Improvements –
Bridges –
Improvements Other
Than Buildings
Budget Expenditure: \$94,778.00
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: The Eighth Street Draw Bridge requires an emergency repair of an underground electrical feeder and related equipment. Failure to make the repair and replace equipment could result in further damage to the bridge’s operating system rendering the bridge inoperable.

STAFF COMMENTS: This is an unexpected malfunction which requires immediate attention to keep the bridge operational. The city has contracted with Pieper Electric for emergency bridge repairs in the past and is requesting to enter into contract for this repair quoted at \$94,778.00. 2019 Capital Improvements – Bridges – Improvements Other Than Buildings account # 47833170-631100 will be used to fund the project.

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 108-18-19 authorizing the emergency repair of an underground electrical feeder and related equipment at the Eight Street Draw Bridge.

ATTACHMENTS:

- I. Res. No.108-19-20
- II. Pieper Quote

III

4.4

Res. No. 109 - 19 - 20. By Alderpersons Bohren and Mitchell.
November 4, 2019.

A RESOLUTION demanding Union Pacific Railroad repair three at-grade railroad crossings in the City of Sheboygan in accordance with Wis. Stat. § 86.12.

WHEREAS, Union Pacific Railroad operates rail lines throughout the City of Sheboygan; and

WHEREAS, Wis. Stat. § 86.12 requires railroads to maintain public at-grade crossings in good condition and repair for public travel; and

WHEREAS, three at-grade rail crossings have not been maintained as required by Wis. Stat. § 86.12: (1) the at-grade rail crossing at 4200 South Taylor Drive (Crossing Number 199843G); (2) the at-grade rail crossing at the intersection of South 12th Street and Greenfield Ave. (Crossing Number 180214L); and (3) the at-grade rail crossing at 1700 New Jersey Ave. (Crossing Number 180296V) (collectively the "Unrepaired At-Grade Crossings"); and

WHEREAS, City Staff estimate that they have received more than fifty complaints about the Unrepaired At-Grade Crossings; and

WHEREAS, specifically, at Crossing Number 199843G the rubber crossing sections have become loose and have shifted, and the abutting asphalt has settled creating a hazard for vehicle, bicycle, and pedestrian traffic; and

WHEREAS, at Crossing Number 180214L the rubber crossing sections have become loose and have shifted, and the abutting asphalt has settled creating a hazard for vehicle, bicycle, and pedestrian traffic; and

WHEREAS, at Crossing Number 180296V the asphalt crossing has deteriorated creating a hazard for vehicle, bicycle, and pedestrian traffic; and

WHEREAS, pictures of the condition of the Unrepaired At-Grade Crossings as of October 23, 2019 are attached to this Resolution; and

WHEREAS, the condition of the Unrepaired At-Grade Crossings has not meaningfully improved since the pictures were taken on October 23, 2019; and

WHEREAS, the Unrepaired At-Grade Crossings have not been maintained in good condition and repair for public travel; and

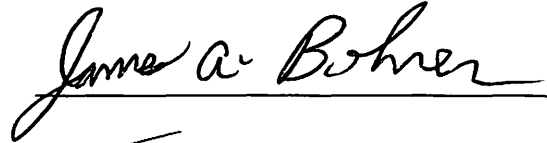
WHEREAS, City Staff has attempted to work with Union Pacific Railroad since at least March 2017 with respect to these at-grade crossings, with no improvements to the Unrepaired At-Grade Crossings; and

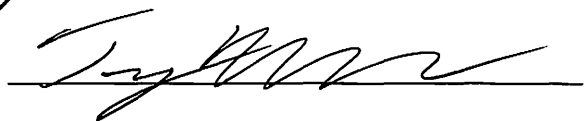
WHEREAS, the City of Sheboygan demands that Union Pacific Railroad pave, plank, repair, change, or otherwise improve the Unrepaired At-Grade Crossings so that each complies with the requirements of Wis. Stat. § 86.12.

Public works

NOW, THEREFORE, BE IT RESOLVED: That the Common Council of the City of Sheboygan hereby directs City Staff to serve a copy of this resolution upon Union Pacific Railroad requiring the repair of the Unrepaired At-Grade Crossings.

BE IT FURTHER RESOLVED: That in the event Union Pacific Railroad fails to repair the Unrepaired At-Grade Crossings within thirty (30) days after service of this Resolution upon Union Pacific Railroad's registered agent as designated by Wis. Stat. § 190.03, the Common Council of the City of Sheboygan hereby directs City Staff to take all necessary steps to petition the Office of the Commissioner of Railroads for an investigation and order for the repair of the Unrepaired At-Grade Crossings in the City of Sheboygan, Sheboygan County, Wisconsin.





I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk
Approved _____ 20____. _____, Mayor

REPORT PROBLEM
OR EMERGENCY
1-800-848-8715
X-ING 180214L
UNION PACIFIC RAILROAD

10.23.2019 10:47



10.23.2019 12:56

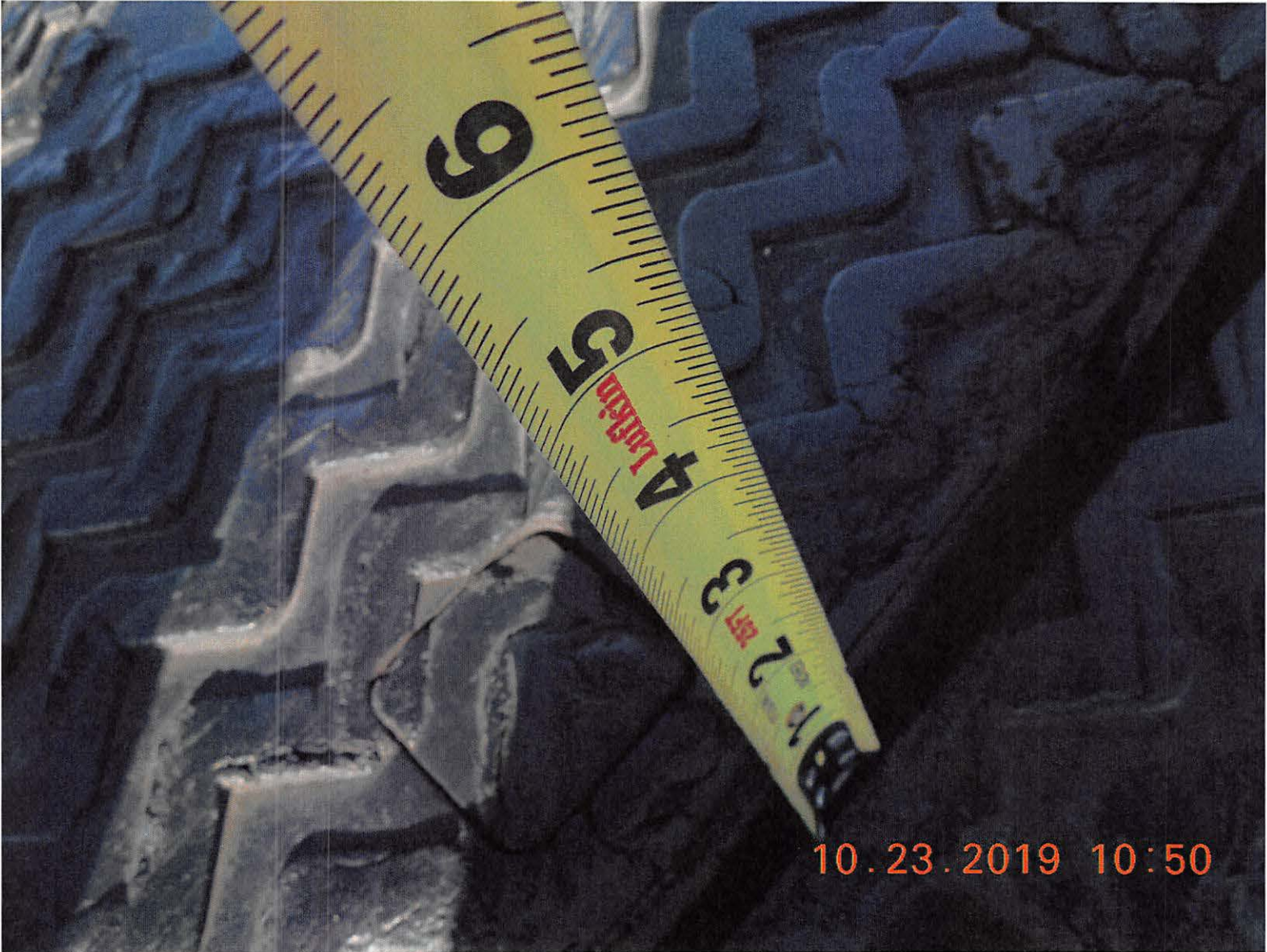








10.23.2019 10:48





10.23.2019 12:54



10.23.2019 12:54





10.23.2019 12:56

REPORT PROBLEM
OR EMERGENCY
1-800-848-8715
X-ING 180296V
UNION PACIFIC RAILROAD

10.23.2019 13:35



10.23.2019 13:35





10.23.2019 13:36

REPORT PROBLEM
OR EMERGENCY
1-800-848-8715
X-ING 199843G
UNION PACIFIC RAILROAD

10.23.2019 10:29





10.23.2019 10:29







10.23.2019 10:30

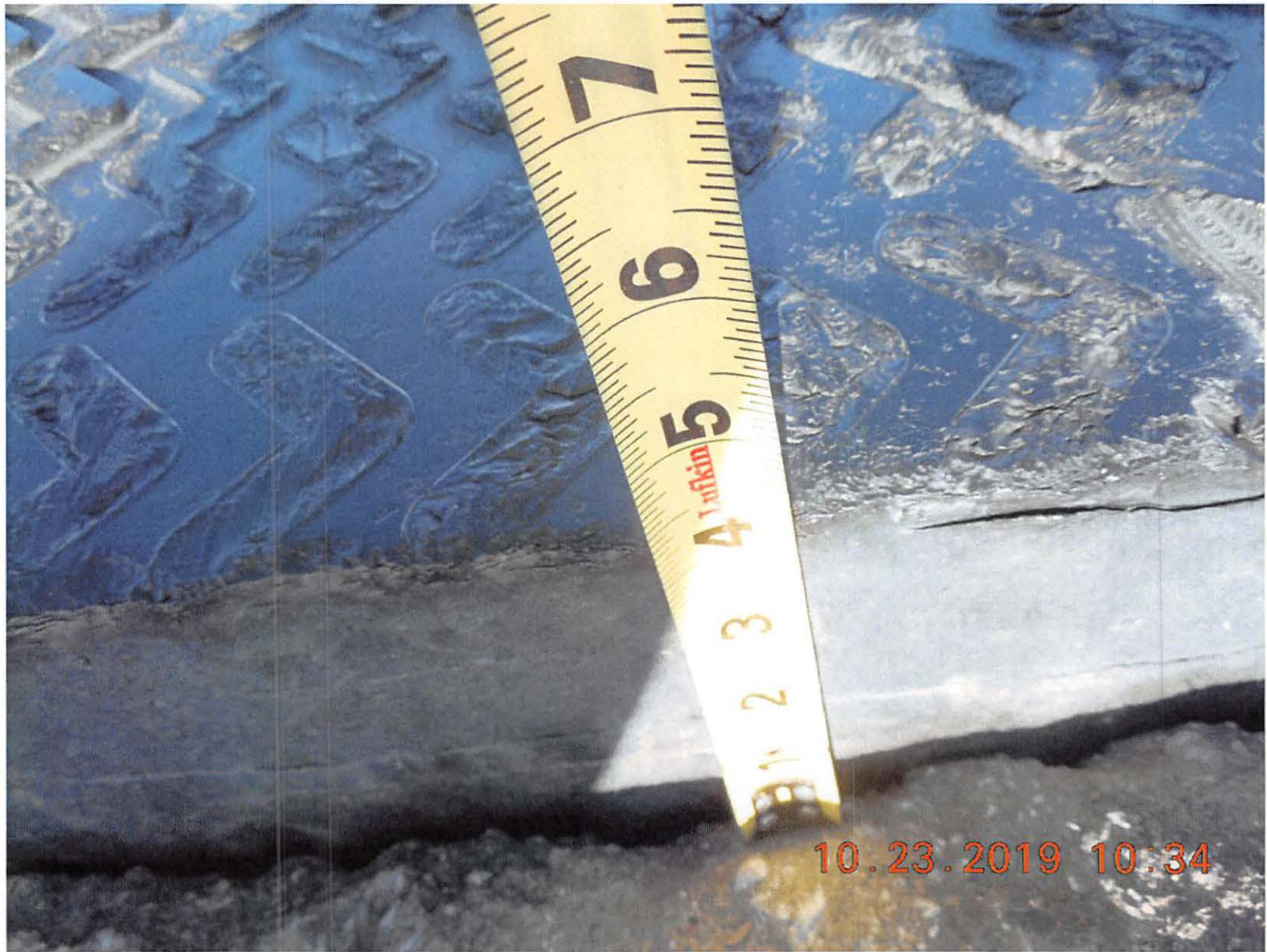


10.23.2019 10:30











10.23.2019 10:35

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: A resolution demanding Union Pacific Railroad repair three at-grade railroad crossings in the City of Sheboygan in accordance with Wis. Stat. § 86.12.

REPORT PREPARED BY: Jason Blasiola, Superintendent of Streets & Sanitation

REPORT DATE: November 6, 2019

MEETING DATE: November 12, 2019

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budget Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: § 86.12
Municipal Code: N/A

BACKGROUND / ANALYSIS: Department of Public Works staff has been in communication with Union Pacific Railroad dating back to March of 2017 trying to get the railroad crossing repaired at the following locations:

- 42 South Taylor Drive (Crossing Number 199843G)
- Railroad crossing at the intersection of South 12 Street and Greenfield Avenue (Crossing Number 180214L)
- Railroad crossing at 1700 New Jersey Avenue (Crossing Number 180296V)

Department staff have spoken with local Union Pacific representatives, called the Union Pacific hotline number, and have corresponded with Union Pacific representatives via email. Union Pacific has not been able to provide the Department of Public Works with a timeline when the repairs will be made.

STAFF COMMENTS: The Office of the Commissioner of Railroads requires that municipalities contact the railroad before proceeding with the rough crossing process. The Department of Public Works believes that we have made a good faith effort in communicating with Union Pacific. The first step in the formal complaint process is to pass a resolution demanding that Union Pacific repair the crossing within 30 days. If the repairs are not made within 30 days, the City of Sheboygan then can file a formal complaint with the Office of the Commissioner of Railroads. Passing this resolution is needed to proceed with the formal complaint process.

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 109-19-20 demanding Union Pacific Railroad repair three at-grade railroad crossings in the City of Sheboygan in accordance with Wis. Stat. § 86.12.

ATTACHMENTS:

- I. Res. No. 109-19-20
- II. Photograph documentation

III

DIRECT REFERRAL TO PUBLIC WORKS COMMITTEE

Res. No. 111 - 19 - 20. By Alderpersons Wolf and Sorenson.
November 12, 2019.

A RESOLUTION authorizing an emergency repair of the sidewalk along the shoreline of Lake Michigan at South Pier.

WHEREAS, the slope adjacent to and the subgrade underneath the existing sidewalk along the shoreline of Lake Michigan at South Pier has eroded; and

WHEREAS, immediate action is necessary to repair the slope and subgrade before further risk to the health and welfare of the city and its residents can occur; and

WHEREAS, while the necessary work to address the erosion of the sidewalk subgrade constitutes public construction, as used in Wis. Stat. § 62.15(1), which would ordinarily require taking and receiving bids, because the erosion has created an emergency which endangers the public health or welfare of the city, Wis. Stat. § 62.15(1b) provides that public bidding is not necessary in order to promptly address the emergency.

NOW, THEREFORE, BE IT RESOLVED: That the appropriate City officials are hereby authorized to enter into a contract with A. Chappa Construction, LLC, in substantially similar form to that attached, for repair of the slope and sidewalk subgrade as a result of the erosion.

BE IT FURTHER RESOLVED: That the appropriate City officials are hereby authorized to draw funds from the Capital Project Fund - Sidewalk/Trail Improvements (Account No. 40033140-631300) in the total amount of \$138,000 pursuant to the contract.

Public
works

BE IT FURTHER RESOLVED: That for the avoidance of doubt, to the extent necessary, the appropriate City officials are authorized to use Capital Project Fund balance for this project.

I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

**AGREEMENT
BETWEEN THE CITY OF SHEBOYGAN, WISCONSIN AND
A. CHAPPA CONSTRUCTION, LLC**

**REGARDING EMERGENCY REPAIRS TO THE SOUTH PIER SIDEWALK ALONG
THE SHORELINE OF LAKE MICHIGAN**

This Agreement (“Agreement”) is made and entered into effective this ____ day of _____, 2019 (the “Effective Date”), by and between the City of Sheboygan (the “City”), a municipal corporation, and A. Chappa Construction, LLC (“Contractor”).

WITNESSETH:

WHEREAS, the slope adjacent to and the subgrade underneath the existing sidewalk at South Pier along the shoreline of Lake Michigan has eroded, which requires immediate action to repair the slope and subgrade before further risk to the health and welfare of the city and its residents can occur; and

WHEREAS, Contractor is willing and able to complete the necessary repairs under the terms set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the parties hereto agree as follows:

Article 1. Scope of Services

Contractor shall provide all labor and materials—on a time and materials basis—to repair the slope adjacent to and the subgrade underneath the 600 foot section of the South Pier sidewalk that is depicted in the attached Exhibit A. In general, this process will involve placing plywood at the edge of the stone to control concrete slump, pouring and properly placing a concrete slurry mix under the sidewalk, and installing rip rap stone (the “Services”).

For the avoidance of doubt, the Services includes:

- Mobilization, supervision, and a storage trailer
- ¾” plywood ground protection for access
- Plywood forming and reinforced poly at stone edge to control concrete slump
- Installation of 4” to 6” rip rap stone to fill larger voids
- Pour and vibrate two-bag concrete slurry mix throughout the area to be repaired, and vibrate to fill voids
- Install 6” to 12” rip rap stone on top of concrete slurry

Contractor shall be responsible for obtaining any and all applicable City permits and paying any and all applicable permit fees prior to beginning work.

Contractor shall be responsible for furnishing, erecting, and maintaining suitable barricades, warning signs, flashers, fencing, and other protective equipment to properly protect and safeguard its personnel and the public during all phases of the Services.

Contractor shall give notice to the proper authorities in charge of streets, gas and water pipes, electric and other conduits, railroad, poles, catch basins, sewers, and all other property that may be affected by Contractor's operations, at least three (3) business days before beginning operations. Contractor shall not hinder or interfere with any persons in the protection of such property or with the operations of utilities at any time. Contractor shall protect such utilities from damage and unnecessary exposure. The cost of repairing any damage to utilities shall be the responsibility of Contractor.

Article 2. Standard of Care

Contractor shall be responsible for completion of the Services in a manner consistent with that degree of care and skill ordinarily exercised by members of the same profession currently practicing under similar circumstances ("Standard of Care"). The City shall be the sole judge of the adequacy of Contractor's work in meeting the Standard of Care; however, the City shall not unreasonably withhold its approval as to the adequacy of Contractor's performance. Upon notice to Contractor, Contractor will, without additional compensation, correct or replace any and all Services not meeting the Standard of Care.

Article 3. Responsibilities of the City

The City designates Ryan Sazama as its designated project manager for purposes of this Agreement.

Article 4. Compensation

The City shall pay Contractor an amount not to exceed One Hundred Thirty Eight Thousand Dollars (\$138,000) for Contractor to complete the Services set forth in Article 1. As noted in Article 1, this will be done on a time and materials basis:

- The labor rate for this work shall be Seventy Two Dollars per Hour (\$72.00) plus 7% for overhead and profit.
- Materials shall be charged at Contractor's actual cost.

Invoices may be sent via first class mail postage prepaid or via email. Payment will be remitted to Contractor within forty-five days of receipt of invoice. Contractor shall submit an invoice to the City at the completion of the services set forth in Article 1. The invoice shall be sent to:

Ryan Sazama
Department of Public Works
City of Sheboygan
2026 New Jersey Ave.
Sheboygan, Wisconsin 53081
ryan.sazama@sheboyganwi.gov

Additional services not set forth in Article 1, or changes in the Services must be authorized in writing by the City or its designated project manager prior to such work being performed, or expenses incurred. The City shall not make payment for any unauthorized work or expenses.

The City may withhold payment, in whole or in part, to the extent necessary to protect itself from a loss on account of any of the following:

- Defective work.
- Evidence indicating the probable filing of claims by other parties against Contractor which may adversely affect the City.
- Failure of Contractor to make payments due to subcontractors, material suppliers, or employees.
- Damage to the City or a third party.

The submission of any request for payment shall be deemed a waiver and release by Contractor of all liens and claims with respect to the work and period to which such payment request pertains except as specifically reserved and noted on such request.

Article 5. Appropriation of Funds

Notwithstanding any other provision of this Agreement, if funds for the continued fulfillment of this Agreement by the City are at any time not forthcoming or are insufficient, through failure of any entity, including the City itself, to appropriate funds or otherwise, then the City shall have the right to terminate this Agreement without penalty.

Article 6. Performance and Payment Bond

Contractor shall, within ten (10) days of the approval of this Agreement by the Common Council of the City of Sheboygan, provide the City with a Performance Bond and a Payment Bond in the amount of one hundred percent (100%) of the contract amount.

Failure by Contractor to perform the work in a timely or satisfactory fashion may result in forfeiture of Contractor's Performance Bond.

If the Surety on any bond furnished by Contractor becomes a party to supervision or liquidation, or its right to do business in the State of Wisconsin is terminated, Contractor shall, within thirty (30) calendar days thereafter, substitute another bond or surety, both of which must be acceptable to the City.

Article 7. Schedule

Contractor shall begin the Services as soon as is practicable after this Agreement is approved by the Common Council of the City of Sheboygan and shall continue the prosecution of the Services as quickly as is practicable until the Services are completed. Contractor shall complete the services by December 15, 2019 or within such extra time as may have been allowed by a mutually agreed extension.

The Parties agree that no charges or claims for damages shall be made by Contractor for any delays or hindrances, from any cause whatsoever, during the progress of any portion of the services specified in the Agreement. Such delays or hindrances, if any, may be compensated for by an extension of time for a reasonable period as may be mutually agreed upon between the Parties, it being understood however, that permitting Contractor to proceed to complete any service, or any part of the services / project, after the date to which the time of completion may have been extended shall, in no way operate as a waiver on the part of the City of any of its rights herein.

Article 8. Quality of Materials

All materials used by Contractor shall be new, newest model year, and free from defects. Items which are used, demonstrators, obsolete, seconds, of which have been discontinued are unacceptable without prior written approval by the City.

Article 9. Safety Requirements

Contractor shall be responsible for the safety of employees at all times and shall provide all equipment necessary to insure their safety. Contractor shall ensure the enforcement of all applicable safety rules, regulations, ordinances and laws, whether federal, state, or local. Contractor's Superintendent of Safety shall make daily inspections upon the arrival and leaving of the site at the close of each workday.

Article 10. Open Records

Both parties understand that the City is bound by the Wisconsin Public Records Law and, as such, this contract is subject to that law. Contractor acknowledges that it is obligated to assist the City in retaining and producing records that are subject to Wisconsin Public Records Law, and that the failure to do so shall constitute a material breach of the contract, and that Contractor must defend and hold the City harmless from liability under that law. Except as otherwise authorized, those records shall be maintained for a period of seven (7) years after receipt of final payment under the Agreement.

Article 11. Termination

The City may terminate or suspend performance of this Agreement at the City's prerogative at any time upon written notice to Contractor. Contractor shall terminate or suspend performance of the Services on a schedule acceptable to the City and the City shall pay Contractor for all the Services performed up to the date that written notice is received, plus reasonable termination or suspension expenses. Upon restart, an equitable adjustment shall be made to Contractor's compensation and the schedule of services.

If Contractor defaults or fails to fulfill in a timely and proper manner its obligations pursuant to this Agreement, the City may, seven (7) days after written notice has been delivered to Contractor, and without prejudice to any other remedy it may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due to Contractor. In the alternative the City may, at its option, terminate this Agreement and take possession of the site and of all materials, equipment, tools, and construction equipment and machinery thereon owned by Contractor, and may finish the project by whatever method it may deem expedient. In case the expenses incurred by the City (including payments previously made to Contractor) shall be less than the sum which

would have been payable under the Agreement if it had been completed by Contractor, Contractor shall be entitled to receive the difference. However, in case such expense shall exceed the sum which would have been payable under the Agreement, Contractor will be liable and shall pay to the City the amount of said excess. By taking over prosecution of the work, the City does not forfeit the right to recover damages from Contractor or its surety for failure to complete the work in the time specified.

Article 12. Default

If Contractor breaches this Agreement or fails to perform the work in an acceptable manner, it shall be considered in default. Any one or more of the following will be considered a default:

- Failure to begin the work under this Agreement within the time specified.
- Failure to perform the work with sufficient supervision, workers, equipment and materials to insure prompt completion of said work within the time limits allowed.
- Unsuitable performance of the work as determined by City.
- Neglecting or refusing to remove defective materials or failure to perform anew such work as shall have been rejected.
- Discontinuing the prosecution of the work or any part of it.
- Inability to finance the work adequately.
- If, for any other reason, Contractor breaches this Agreement or fails to carry on the work in an acceptable manner.

The City shall send Contractor a written notice of default. If Contractor, within a period of seven (7) days after such notice, fails to remedy the default, then the City shall have full power and authority, without violation of the Agreement, to take the prosecution of the work out of the hands of Contractor, as set forth in this Agreement.

Article 13. Identity of Contractor

Contractor acknowledges that one of the primary reasons for its selection by the City to perform the Services is the qualifications and experience of Contractor. Contractor thus agrees that the Services to be performed pursuant to this Agreement shall be performed by Contractor. Contractor shall not subcontract any part of the Services without the prior written permission of the City. The City's project manager shall have the ability to provide this written permission. The City reserves the right to reject any of the Contractor's personnel or proposed outside professional sub-consultants, and the City reserves the right to request that acceptable replacement personnel be assigned to the project.

Article 14. Independent Contractor Status

During the entire term of this Agreement, Contractor shall be an independent contractor, and in no event shall any of its personnel, agents or sub-contractors be construed to be, or represent themselves to be, employees of the City. Contractor shall be solely responsible for the payment and reporting of all employee and employer taxes, including social security, unemployment, and any other federal, state, or local taxes required to be withheld from employees or payable on behalf of its employees.

Article 15. Indemnification

Contractor shall indemnify, defend, and hold the City—including its Officials, Agents, and Employees—free and harmless from all liability, including, but not limited to, losses, damages, costs, attorney’s fees, expenses, causes of action, claims, or judgments resulting from claimed injury, death, damage to property, or loss of use of property or any person or legal entity arising out of or in any way connected with the performance of work or work to be performed under this Agreement.

Contractor shall reimburse the City for any costs, expenses, judgments, and attorney’s fees paid or incurred, by or on behalf of the City, its Officials, Agents, or Employees, or paid for on behalf of the City, its Officials, Agents, or Employees by insurance purchased or self-insurance provided by the City arising out of or in any way connected with the performance of work or work to be performed under this Agreement.

Contractor shall further indemnify, defend, and hold harmless the City, its Officials, Agents, and Employees from liability or claims for any injuries to or death of Contractor’s employees (or the employees of any authorized subcontractor) arising out of or in any way connected with the work or work to be performed under this Agreement, including protection against any claim of the contractor or subcontractor for any payments under any worker’s compensation law or any expenses of or any payments made by any worker’s compensation insurance carrier on behalf of said contractor or sub-contractor and the contractor shall indemnify the City for any costs, expenses, judgments, and attorney’s fees with respect to any above referenced workers’ compensation claims incurred or paid by the City or paid on its behalf or on behalf of its Officials, Agents, or Employees by insurance purchased or self-insurance provided by the City of Sheboygan.

Article 16. Insurance

Contractor shall not commence work under this Agreement until it has obtained all insurance required under this Article. Additionally, Contractor shall not allow any approved subcontractor to commence work on its subcontract until the subcontractor has obtained all insurance required under this Article.

During the performance of any and all Services under this Agreement, Contractor shall maintain the following insurance in full force and effect, and shall provide proof of insurance to the Purchasing Agent listing the City of Sheboygan as an additional insured:

- a. **Workers’ Compensation Insurance** — Contractor shall acquire and maintain, for the duration of the Agreement, Workers’ Compensation Insurance that meets all statutory requirements. In the event this Agreement authorizes any work to be sublet, Contractor shall require any subcontractor to similarly provide Workers’ Compensation Insurance in accordance with all statutory requirements.
- b. **Commercial General Liability Insurance** — Contractor shall acquire and maintain, for the duration of the Agreement, Commercial General Liability Insurance with a policy limit of at least \$1,000,000 per occurrence and \$2,000,000 in the aggregate.

All insurance must be primary and non-contributory to any insurance or self-insurance carried by the City.

Approval of the insurance by the City shall not relieve or decrease the extent to which Contractor may be held responsible for payment of damages resulting from Contractor's provision of the Services or its operations under this Agreement. If Contractor fails or refuses to procure or maintain the insurance required by these provisions, or fails or refuses to furnish the City the required proof that the insurance has been procured and is in force and paid for, the City shall have the right at its election to terminate the Agreement.

Article 17. Conflict of Interest

Contractor declares that it has no present interest, nor shall it acquire any interest, direct or indirect, which would conflict with the performance of Services under this Agreement. Contractor agrees that no person having any such interest shall be employed in the performance of this Agreement.

Article 18. Waiver

No failure of either party to enforce a term of this Agreement against the other shall be construed as a waiver of that term, nor shall it in any way affect the party's right to enforce that term. No waiver by any party of any term of this Agreement shall be considered to be a waiver of any other term or breach thereof.

Article 19. Severability

The invalidity, illegality or unenforceability of any provision of this Agreement or the occurrence of any event rendering any portion or provision of this Agreement void shall in no way affect the validity or enforceability of any other portion or provision of this Agreement. Any void provision shall be deemed severed from this Agreement, and the balance of the Agreement shall be construed and enforced as if it did not contain the particular provision to be held void. The parties further agree to amend this Agreement to replace any stricken provision with a valid provision that comes as close as possible to the intent of the stricken provision. The provisions of this Article shall not prevent this entire Agreement from being void should a provision which is of the essence of this Agreement be determined void.

Article 20. Assignment

Neither the City nor Contractor shall assign any rights or duties under this Agreement without the prior written consent of the other party.

Article 21. Third Party Rights

Nothing in this Agreement shall be construed to give any rights or benefits to anyone other than the City and Contractor.

Article 22. Governing Law and Venue

This Agreement shall be governed by the laws of the State of Wisconsin. Venue of any disputes arising under this Agreement shall be in the Sheboygan County Circuit Court, Wisconsin.

Article 23. Non-Discrimination

In connection with the performance of work under this Agreement, Contractor agrees not to discriminate against any employee or applicant for employment because of age, race, religion, color, handicap, sex, physical condition, developmental disability (as defined in Wis. Stat. 51.01(5)), sexual orientation (as defined in Wis. Stat. 111.32(13m)), or national origin. This provision shall include, but not be limited to, the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, including apprenticeship. Contractor further agrees to take affirmative action to ensure equal employment opportunities.

Article 24. Compliance with Laws

In performing the Services under this Agreement, Contractor shall comply with any and all applicable federal, state and local statutes, ordinances, plans, and regulations.

The City reserves the right to cancel this Agreement if Contractor fails to follow the requirements of Wis. Stat. 77.66 and related statutes regarding certification for collection of sales and use tax. The City also reserves the right to cancel this Agreement with any state or federally debarred contractor.

Contractor shall have any and all licenses and permits required to perform the work specified, and shall furnish proof of such licensing authorization and permits upon request.

Article 25. Notices

Any notice required by this Agreement shall be made in writing to the individuals/addresses specified below:

City:

Contractor:

City Clerk	Andy Chappa
City of Sheboygan	A Chappa Construction, LLC
828 Center Ave.	443 North Main Street
Sheboygan, Wisconsin 53083	Sheboygan Falls, Wisconsin 53085

Nothing contained in this Article shall be construed to restrict the transmission of routine communications between representatives of the City and Contractor.

Article 26. Intent to be Bound

The City and Contractor each binds itself and its successors, executors, administrators, permitted assigns, legal representatives and, in the case of a partnership, its partners to the other party to this Agreement, and to the successors, executors, administrators, permitted assigns, legal representatives and partners of such other party in respect to all provisions of this Agreement.

Article 27. Force Majeure

Neither party shall be in default by reason of any failure in performance of this Agreement in accordance with reasonable control and without fault or negligence on their part. Such causes may include, but are not restricted to, acts of nature or the public enemy, acts of the government in either

its sovereign or contractual capacity, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather. In every case, the failure to perform must be beyond the reasonable control and without the fault or negligence of the party.

Article 28. Integration and Modification

This Agreement, including all Exhibits incorporated by reference, represents the entire and integrated agreement between the City and the Contractor. It supersedes all prior and contemporaneous communications, representations and agreements, whether oral or written, relating to the subject matter of this Agreement. This Agreement may be modified only by a written amendment signed by both parties hereto.

Article 29. Non-Collusion

Contractor is certifying, under penalty of perjury, that to the best of its knowledge and belief:

- a. The price in its response was arrived at independently, without collusion, consultation, communication, or agreement, for the purpose of restricting competition as to any other matter relating to such prices with any other competitor.
- b. No attempt was made to induce any other person, partnership, or corporation to submit or not submit a response to the City regarding the Services for the purpose of restricting competition.

Article 30. Other Provisions

- a. Material Safety Data Sheet. If any item(s) on an order(s) resulting from this Agreement is a hazardous chemical, as defined under 29 C.F.R. 1910.1200, Contractor shall provide one (1) copy of a Material Safety Data Sheet for each item with the shipped container(s) and one (1) copy with the invoice(s).
- b. Advertising and News Releases. Reference to or use of the City, or any of its departments, officials, or employees, for commercial promotion is prohibited. News releases pertaining to this procurement shall not be made without prior approval of the City. Release of broadcast e-mails pertaining to this procurement shall not be made without prior written authorization of the City.
- c. Foreign Corporation. A foreign corporation (any corporation other than a Wisconsin corporation) which becomes a party to this Agreement is required to conform to all the requirements of Wis. Stat. 180 relating to a foreign corporation, and must possess a certificate of authority from the Wisconsin Department of Financial Institutions, unless the corporation is transacting business in interstate commerce or is otherwise exempt from the requirement of obtaining a certificate of authority.
- d. Neither Party the Drafter. Despite the possibility that one party or its representatives may have prepared the initial draft of this Agreement (or any provision thereof), or played a greater role in the preparation of subsequent drafts, the parties agree that neither of them shall be deemed the drafter of this Agreement.

- e. Authority. Each person executing this Agreement on behalf of a party hereto represents and warrants to the other party: That the execution and delivery of this Agreement has been duly authorized, that the person or persons executing this Agreement have the full power, authority, and right to do so, and that such execution is sufficient and legally binding on such party to enable this Agreement to be enforceable in accordance with its terms.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed the day and year first written above.

CITY OF SHEBOYGAN, WISCONSIN

CONTRACTOR

BY: _____
Michael J. Vandersteen, Mayor

BY: _____

ATTEST: _____
Meredith DeBruin, City Clerk

ATTEST: _____

DATE: _____

DATE: _____

CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: Resolution authorizing the emergency repair of the sidewalk along the shoreline of Lake Michigan at South Pier.

REPORT PREPARED BY: Ryan Sazama, City Engineer

REPORT DATE: November 7, 2019

MEETING DATE: November 12, 2019

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: 40033140-631300
Budget Summary: Capital Projects –
Sidewalk/Trail
Improvements
Budget Expenditure: \$138,000.00
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: Several weeks ago the Department of Public Works became aware of the slope erosion and sidewalk subgrade erosion along the shoreline of Lake Michigan at South Pier. If left unattended the condition will keep failing, eroding and becoming less manageable to repair and the expense of the repair will increase.

STAFF COMMENTS: As soon as this was brought to city staff's attention we immediately sought contractor pricing to perform the long-term repair of this shoreline and sidewalk. The Department of Public Works received a quote from the A. Chappa Construction, LLC of Sheboygan Falls, WI. A. Chappa Construction, LLC has the experience to repair this slope erosion and the sidewalk subgrade erosion along the shoreline of Lake Michigan at South Pier. This repair is scheduled to start after this resolution is approved at the November 18th, 2019 Sheboygan Common Council meeting with a December 15th, 2019 completion date.

The cost of the repair will be \$138,000.00 the funds will be drawn from the following account.

- Account Number 40033140-631300 in the amount of \$138,000.00

ACTION REQUESTED: Motion to recommend the Common Council adopt Res. No. 111-19-20 authorizing the emergency repair of the sidewalk along the shoreline of Lake Michigan at South Pier.

ATTACHMENTS:

- I. Res. No. 111-19-20
- II. A. Chappa Construction, LLC Agreement
- III. A. Chappa Construction, LLC Exhibit A



DIRECT REFERRAL TO PUBLIC WORKS COMMITTEE

Res. No. 112 - 19 - 20. By Alderpersons Wolf and Sorenson.
November 12, 2019.

A RESOLUTION authorizing the appropriate City officials to enter into a contract for the remodeling of the Men's and Women's bathroom facilities at the Municipal Service Building.

WHEREAS, the majority of the bathroom facilities (including the shower facilities) at the Municipal Services Building are original to the building, which was constructed in 1966, and are in need of an update; and

WHEREAS, the Department of Public Works included funding in the 2019 Capital Improvements Program for a new women's locker room and to renovate the men's bathroom; and

WHEREAS, the City of Sheboygan has obtained architectural and engineering services related to this project, and issued a Request for Bids for the project based upon the plans and specifications delivered to the City by Abacus Architects; and

WHEREAS, following a review of the bids received, it has been determined that the lowest bid, in the amount of \$209,832, submitted by Zeise Construction Inc. of Green Bay, Wisconsin, meets or exceeds all of the specifications; and

WHEREAS, as part of this renovation, Staff believes it is in the best interest of the City to contract for additional improvements that are outside the general construction contract but related to the project - namely, roof patching, connection to the digital HVAC Controls system already present at the Municipal Service Building, and furnishing fire extinguishers - at a cost of \$9,765, which are being included in this Resolution to avoid any appearance of serial contracting.

NOW, THEREFORE, BE IT RESOLVED: That the appropriate City officials are hereby authorized to enter into a contract with Zeise Construction Inc. in substantially similar form to that attached in the amount of \$209,832.00.

BE IT FURTHER RESOLVED: That Staff is authorized to expend \$9,765.00 for necessary roof patching, purchasing four lockers, connecting to the digital HVAC Controls system already present at the Municipal Services Building, and furnishing fire extinguishers.

Public Works

BE IT FURTHER RESOLVED: That the appropriate City officials are hereby authorized to draw funds in the amount of \$219,597.00 from Account No. 40033110-621200 (Capital Project Fund-Building Improvements) pursuant to the contract.

I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

**AGREEMENT
BETWEEN THE CITY OF SHEBOYGAN, WISCONSIN AND
ZEISE CONSTRUCTION, INC.**

**REGARDING REMODELING THE MEN’S AND WOMEN’S BATHROOM FACILITIES
AT THE MUNICIPAL SERVICES BUILDING**

This Agreement (“Agreement”) is made and entered into effective this ____ day of _____, 2019 (the “Effective Date”), by and between the City of Sheboygan (the “City”), a municipal corporation, and Zeise Construction, Inc. (“Contractor”).

WITNESSETH:

WHEREAS, the bathroom facilities at the Municipal Services Building in the City of Sheboygan, located at 2026 New Jersey Ave. are in need of renovation; and

WHEREAS, the City solicited bids for the necessary renovations; and

WHEREAS, Contractor was identified as the lowest responsive and responsible bidder; and

WHEREAS, Contractor is willing and able to complete the renovations under the terms set forth in this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the parties hereto agree as follows:

Article 1. Scope of Services

Contractor shall provide all services and materials necessary to renovate the men’s and women’s bathroom facilities at the Municipal Services Building in the City of Sheboygan (located at 2026 New Jersey Ave.) (the “Services”) pursuant to the Plans and Specifications attached to this Agreement as Exhibit A, as modified by Addendum No. 1 (attached to this Agreement as Exhibit B), Addendum No. 2 (attached to this Agreement as Exhibit C), and Addendum No. 3 (attached to this Agreement as Exhibit D) (collectively the “Plans and Specifications”).

Contractor shall be responsible for obtaining any and all applicable City permits and paying any and all applicable permit fees prior to beginning work.

Contractor shall be responsible for furnishing, erecting, and maintaining suitable barricades, warning signs, flashers, fencing, and other protective equipment to properly protect and safeguard its personnel and the public during all phases of the Services.

Contractor shall give notice to the proper authorities in charge of streets, gas and water pipes, electric and other conduits, railroad, poles, catch basins, sewers, and all other property that may be affected by Contractor’s operations, at least three (3) business days before beginning operations.

Contractor shall not hinder or interfere with any persons in the protection of such property or with the operations of utilities at any time. Contractor shall protect such utilities from damage and unnecessary exposure. The cost of repairing any damage to utilities shall be the responsibility of Contractor.

Article 2. Standard of Care

Contractor shall be responsible for completion of the Services in a manner consistent with that degree of care and skill ordinarily exercised by members of the same profession currently practicing under similar circumstances (“Standard of Care”). The City shall be the sole judge of the adequacy of Contractor’s work in meeting the Standard of Care; however, the City shall not unreasonably withhold its approval as to the adequacy of Contractor’s performance. Upon notice to Contractor, Contractor will, without additional compensation, correct or replace any and all Services not meeting the Standard of Care.

Article 3. Responsibilities of the City

The City designates Michael Willmas as its designated project manager for purposes of this Agreement.

Article 4. Compensation

The City shall pay Contractor for all fees and expenses in an amount not to exceed Two Hundred Nine Thousand Eight Hundred Thirty Two Dollars (\$209,832).

Invoices may be sent via first class mail postage prepaid or via email. Contractor shall submit AIA Form G702, G703 with Waiver of Lien. These shall be reviewed by the City’s Architect prior to the City making payment toward the invoice.

Assuming all documentation is approved, payment will be remitted to Contractor within forty-five days of receipt of invoice. Contractor shall submit an invoice to the City on a monthly basis and shall be based on the percentage complete of the Services described in Article 1. The invoice shall be sent to:

Michael Willmas
Department of Public Works
City of Sheboygan
2026 New Jersey Ave.
Sheboygan, Wisconsin 53081
michael.willmas@sheboyganwi.gov

Additional services not set forth in Article 1, or changes in the Services must be authorized in writing by the City or its designated project manager prior to such work being performed, or expenses incurred. The City shall not make payment for any unauthorized work or expenses.

The City may withhold payment, in whole or in part, to the extent necessary to protect itself from a loss on account of any of the following:

- Defective work.
- Evidence indicating the probable filing of claims by other parties against Contractor which may adversely affect the City.
- Failure of Contractor to make payments due to subcontractors, material suppliers, or employees.
- Damage to the City or a third party.

The submission of any request for payment shall be deemed a waiver and release by Contractor of all liens and claims with respect to the work and period to which such payment request pertains except as specifically reserved and noted on such request.

Article 5. Appropriation of Funds

Notwithstanding any other provision of this Agreement, if funds for the continued fulfillment of this Agreement by the City are at any time not forthcoming or are insufficient, through failure of any entity, including the City itself, to appropriate funds or otherwise, then the City shall have the right to terminate this Agreement without penalty.

Article 6. Performance and Payment Bond

Contractor shall, within ten (10) days of the approval of this Agreement by the Common Council of the City of Sheboygan, provide the City with a Performance Bond and a Payment Bond in the amount of one hundred percent (100%) of the contract amount.

Failure by Contractor to perform the work in a timely or satisfactory fashion may result in forfeiture of Contractor's Performance Bond.

If the Surety on any bond furnished by Contractor becomes a party to supervision or liquidation, or its right to do business in the State of Wisconsin is terminated, Contractor shall, within thirty (30) calendar days thereafter, substitute another bond or surety, both of which must be acceptable to the City.

Article 7. Schedule

Contractor shall begin the Services as soon as is practicable after this Agreement is approved by the Common Council of the City of Sheboygan and shall continue the prosecution of the Services as quickly as is practicable until the Services are completed. Contractor shall complete the services pursuant to the Schedule attached to this Agreement as Exhibit E or within such extra time as may have been allowed by a mutually agreed extension.

The Parties agree that no charges or claims for damages shall be made by Contractor for any delays or hindrances, from any cause whatsoever, during the progress of any portion of the services specified in the Agreement. Such delays or hindrances, if any, may be compensated for by an extension of time for a reasonable period as may be mutually agreed upon between the Parties, it being understood however, that permitting Contractor to proceed to complete any service, or any part of the services / project, after the date to which the time of completion may have been extended shall, in no way operate as a waiver on the part of the City of any of its rights herein.

Article 8. Quality of Materials

All materials used by Contractor shall be new, newest model year, and free from defects. Items which are used, demonstrators, obsolete, seconds, of which have been discontinued are unacceptable without prior written approval by the City.

Article 9. Safety Requirements

Contractor shall be responsible for the safety of employees at all times and shall provide all equipment necessary to insure their safety. Contractor shall ensure the enforcement of all applicable safety rules, regulations, ordinances and laws, whether federal, state, or local. Contractor's Superintendent of Safety shall make daily inspections upon the arrival and leaving of the site at the close of each workday.

Article 10. Open Records

Both parties understand that the City is bound by the Wisconsin Public Records Law and, as such, this contract is subject to that law. Contractor acknowledges that it is obligated to assist the City in retaining and producing records that are subject to Wisconsin Public Records Law, and that the failure to do so shall constitute a material breach of the contract, and that Contractor must defend and hold the City harmless from liability under that law. Except as otherwise authorized, those records shall be maintained for a period of seven (7) years after receipt of final payment under the Agreement.

Article 11. Termination

The City may terminate or suspend performance of this Agreement at the City's prerogative at any time upon written notice to Contractor. Contractor shall terminate or suspend performance of the Services on a schedule acceptable to the City and the City shall pay Contractor for all the Services performed up to the date that written notice is received, plus reasonable termination or suspension expenses. Upon restart, an equitable adjustment shall be made to Contractor's compensation and the schedule of services.

If Contractor defaults or fails to fulfill in a timely and proper manner its obligations pursuant to this Agreement, the City may, seven (7) days after written notice has been delivered to Contractor, and without prejudice to any other remedy it may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due to Contractor. In the alternative the City may, at its option, terminate this Agreement and take possession of the site and of all materials, equipment, tools, and construction equipment and machinery thereon owned by Contractor, and may finish the project by whatever method it may deem expedient. In case the expenses incurred by the City (including payments previously made to Contractor) shall be less than the sum which would have been payable under the Agreement if it had been completed by Contractor, Contractor shall be entitled to receive the difference. However, in case such expense shall exceed the sum which would have been payable under the Agreement, Contractor will be liable and shall pay to the City the amount of said excess. By taking over prosecution of the work, the City does not forfeit the right to recover damages from Contractor or its surety for failure to complete the work in the time specified.

Article 12. Default

If Contractor breaches this Agreement or fails to perform the work in an acceptable manner, it shall be considered in default. Any one or more of the following will be considered a default:

- Failure to begin the work under this Agreement within the time specified.
- Failure to perform the work with sufficient supervision, workers, equipment and materials to insure prompt completion of said work within the time limits allowed.
- Unsuitable performance of the work as determined by City.
- Neglecting or refusing to remove defective materials or failure to perform anew such work as shall have been rejected.
- Discontinuing the prosecution of the work or any part of it.
- Inability to finance the work adequately.
- If, for any other reason, Contractor breaches this Agreement or fails to carry on the work in an acceptable manner.

The City shall send Contractor a written notice of default. If Contractor, within a period of seven (7) days after such notice, fails to remedy the default, then the City shall have full power and authority, without violation of the Agreement, to take the prosecution of the work out of the hands of Contractor, as set forth in this Agreement.

Article 13. Identity of Contractor

Contractor acknowledges that one of the primary reasons for its selection by the City to perform the Services is the qualifications and experience of Contractor. Contractor thus agrees that the Services to be performed pursuant to this Agreement shall be performed by Contractor. Contractor shall not subcontract any part of the Services without the prior written permission of the City. The City's project manager shall have the ability to provide this written permission. The City reserves the right to reject any of the Contractor's personnel or proposed outside professional sub-consultants, and the City reserves the right to request that acceptable replacement personnel be assigned to the project.

Article 14. Independent Contractor Status

During the entire term of this Agreement, Contractor shall be an independent contractor, and in no event shall any of its personnel, agents or sub-contractors be construed to be, or represent themselves to be, employees of the City. Contractor shall be solely responsible for the payment and reporting of all employee and employer taxes, including social security, unemployment, and any other federal, state, or local taxes required to be withheld from employees or payable on behalf of its employees.

Article 15. Indemnification

Contractor shall indemnify, defend, and hold the City—including its Officials, Agents, and Employees—free and harmless from all liability, including, but not limited to, losses, damages, costs, attorney's fees, expenses, causes of action, claims, or judgments resulting from claimed injury, death, damage to property, or loss of use of property or any person or legal entity arising out of or in any way connected with the performance of work or work to be performed under this Agreement.

Contractor shall reimburse the City for any costs, expenses, judgments, and attorney's fees paid or incurred, by or on behalf of the City, its Officials, Agents, or Employees, or paid for on behalf of the City, its Officials, Agents, or Employees by insurance purchased or self-insurance provided by the City arising out of or in any way connected with the performance of work or work to be performed under this Agreement.

Contractor shall further indemnify, defend, and hold harmless the City, its Officials, Agents, and Employees from liability or claims for any injuries to or death of Contractor's employees (or the employees of any authorized subcontractor) arising out of or in any way connected with the work or work to be performed under this Agreement, including protection against any claim of the contractor or subcontractor for any payments under any worker's compensation law or any expenses of or any payments made by any worker's compensation insurance carrier on behalf of said contractor or sub-contractor and the contractor shall indemnify the City for any costs, expenses, judgments, and attorney's fees with respect to any above referenced workers' compensation claims incurred or paid by the City or paid on its behalf or on behalf of its Officials, Agents, or Employees by insurance purchased or self-insurance provided by the City of Sheboygan.

Article 16. Insurance

Contractor shall not commence work under this Agreement until it has obtained all insurance required under this Article. Additionally, Contractor shall not allow any approved subcontractor to commence work on its subcontract until the subcontractor has obtained all insurance required under this Article.

During the performance of any and all Services under this Agreement, Contractor shall maintain the following insurance in full force and effect, and shall provide proof of insurance to the Purchasing Agent listing the City of Sheboygan as an additional insured:

- a. **Workers' Compensation Insurance** — Contractor shall acquire and maintain, for the duration of the Agreement, Workers' Compensation Insurance that meets all statutory requirements. In the event this Agreement authorizes any work to be sublet, Contractor shall require any subcontractor to similarly provide Workers' Compensation Insurance in accordance with all statutory requirements.
- b. **Commercial General Liability Insurance** — Contractor shall acquire and maintain, for the duration of the Agreement, Commercial General Liability Insurance with a policy limit of at least \$1,000,000 per occurrence and \$2,000,000 in the aggregate.

All insurance must be primary and non-contributory to any insurance or self-insurance carried by the City.

Approval of the insurance by the City shall not relieve or decrease the extent to which Contractor may be held responsible for payment of damages resulting from Contractor's provision of the Services or its operations under this Agreement. If Contractor fails or refuses to procure or maintain the insurance required by these provisions, or fails or refuses to furnish the City the

required proof that the insurance has been procured and is in force and paid for, the City shall have the right at its election to terminate the Agreement.

Article 17. Conflict of Interest

Contractor declares that it has no present interest, nor shall it acquire any interest, direct or indirect, which would conflict with the performance of Services under this Agreement. Contractor agrees that no person having any such interest shall be employed in the performance of this Agreement.

Article 18. Waiver

No failure of either party to enforce a term of this Agreement against the other shall be construed as a waiver of that term, nor shall it in any way affect the party's right to enforce that term. No waiver by any party of any term of this Agreement shall be considered to be a waiver of any other term or breach thereof.

Article 19. Severability

The invalidity, illegality or unenforceability of any provision of this Agreement or the occurrence of any event rendering any portion or provision of this Agreement void shall in no way affect the validity or enforceability of any other portion or provision of this Agreement. Any void provision shall be deemed severed from this Agreement, and the balance of the Agreement shall be construed and enforced as if it did not contain the particular provision to be held void. The parties further agree to amend this Agreement to replace any stricken provision with a valid provision that comes as close as possible to the intent of the stricken provision. The provisions of this Article shall not prevent this entire Agreement from being void should a provision which is of the essence of this Agreement be determined void.

Article 20. Assignment

Neither the City nor Contractor shall assign any rights or duties under this Agreement without the prior written consent of the other party.

Article 21. Third Party Rights

Nothing in this Agreement shall be construed to give any rights or benefits to anyone other than the City and Contractor.

Article 22. Governing Law and Venue

This Agreement shall be governed by the laws of the State of Wisconsin. Venue of any disputes arising under this Agreement shall be in the Sheboygan County Circuit Court, Wisconsin.

Article 23. Non-Discrimination

In connection with the performance of work under this Agreement, Contractor agrees not to discriminate against any employee or applicant for employment because of age, race, religion, color, handicap, sex, physical condition, developmental disability (as defined in Wis. Stat. 51.01(5)), sexual orientation (as defined in Wis. Stat. 111.32(13m)), or national origin. This provision shall include, but not be limited to, the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of

compensation, and selection for training, including apprenticeship. Contractor further agrees to take affirmative action to ensure equal employment opportunities.

Article 24. Compliance with Laws

In performing the Services under this Agreement, Contractor shall comply with any and all applicable federal, state and local statutes, ordinances, plans, and regulations.

The City reserves the right to cancel this Agreement if Contractor fails to follow the requirements of Wis. Stat. 77.66 and related statutes regarding certification for collection of sales and use tax. The City also reserves the right to cancel this Agreement with any state or federally debarred contractor.

Contractor shall have any and all licenses and permits required to perform the work specified, and shall furnish proof of such licensing authorization and permits upon request.

Article 25. Notices

Any notice required by this Agreement shall be made in writing to the individuals/addresses specified below:

City:

Contractor:

City Clerk	John Gretzinger
City of Sheboygan	Zeise Construction
828 Center Ave.	901 Vanderbraak Street
Sheboygan, Wisconsin 53083	Green Bay, Wisconsin 54302

Nothing contained in this Article shall be construed to restrict the transmission of routine communications between representatives of the City and Contractor.

Article 26. Intent to be Bound

The City and Contractor each binds itself and its successors, executors, administrators, permitted assigns, legal representatives and, in the case of a partnership, its partners to the other party to this Agreement, and to the successors, executors, administrators, permitted assigns, legal representatives and partners of such other party in respect to all provisions of this Agreement.

Article 27. Force Majeure

Neither party shall be in default by reason of any failure in performance of this Agreement in accordance with reasonable control and without fault or negligence on their part. Such causes may include, but are not restricted to, acts of nature or the public enemy, acts of the government in either its sovereign or contractual capacity, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather. In every case, the failure to perform must be beyond the reasonable control and without the fault or negligence of the party.

Article 28. Integration and Modification

This Agreement, including all Exhibits incorporated by reference, represents the entire and integrated agreement between the City and the Contractor. It supersedes all prior and contemporaneous communications, representations and agreements, whether oral or written, relating to the subject matter of this Agreement. This Agreement may be modified only by a written amendment signed by both parties hereto.

Article 29. Non-Collusion

Contractor is certifying, under penalty of perjury, that to the best of its knowledge and belief:

- a. The price in its bid was arrived at independently, without collusion, consultation, communication, or agreement, for the purpose of restricting competition as to any other matter relating to such prices with any other bidder, or with any other competitor.
- b. No attempt was made to induce any other person, partnership, or corporation to submit or not submit a bid for the purpose of restricting competition.

Article 30. Other Provisions

- a. Material Safety Data Sheet. If any item(s) on an order(s) resulting from this Agreement is a hazardous chemical, as defined under 29 C.F.R. 1910.1200, Contractor shall provide one (1) copy of a Material Safety Data Sheet for each item with the shipped container(s) and one (1) copy with the invoice(s).
- b. Advertising and News Releases. Reference to or use of the City, or any of its departments, officials, or employees, for commercial promotion is prohibited. News releases pertaining to this procurement shall not be made without prior approval of the City. Release of broadcast e-mails pertaining to this procurement shall not be made without prior written authorization of the City.
- c. Foreign Corporation. A foreign corporation (any corporation other than a Wisconsin corporation) which becomes a party to this Agreement is required to conform to all the requirements of Wis. Stat. 180 relating to a foreign corporation, and must possess a certificate of authority from the Wisconsin Department of Financial Institutions, unless the corporation is transacting business in interstate commerce or is otherwise exempt from the requirement of obtaining a certificate of authority.
- d. Neither Party the Drafter. Despite the possibility that one party or its representatives may have prepared the initial draft of this Agreement (or any provision thereof), or played a greater role in the preparation of subsequent drafts, the parties agree that neither of them shall be deemed the drafter of this Agreement.
- e. Authority. Each person executing this Agreement on behalf of a party hereto represents and warrants to the other party: That the execution and delivery of this Agreement has been duly authorized, that the person or persons executing this Agreement have the full power,

authority, and right to do so, and that such execution is sufficient and legally binding on such party to enable this Agreement to be enforceable in accordance with its terms.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed the day and year first written above.

CITY OF SHEBOYGAN, WISCONSIN

CONTRACTOR

BY: _____
Michael J. Vandersteen, Mayor

BY: _____

ATTEST: _____
Meredith DeBruin, City Clerk

ATTEST: _____

DATE: _____

DATE: _____

CITY OF SHEBOYGAN DPW RENOVATION

LOCKER ROOM RENOVATIONS
2026 NEW JERSEY AVE, SHEBOYGAN, WI 53081



REVISIONS:

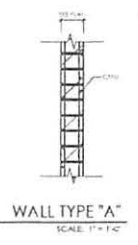
NO.	DATE	DESCRIPTION
1	01/20/2025	ISSUED FOR PERMIT
2	01/20/2025	ISSUED FOR PERMIT
3	01/20/2025	ISSUED FOR PERMIT

ABBREVIATIONS									
1.0	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
2.0	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00
3.0	3.00	3.00	3.00	3.00	3.00	3.00	3.00	3.00	3.00
4.0	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00
5.0	5.00	5.00	5.00	5.00	5.00	5.00	5.00	5.00	5.00
6.0	6.00	6.00	6.00	6.00	6.00	6.00	6.00	6.00	6.00
7.0	7.00	7.00	7.00	7.00	7.00	7.00	7.00	7.00	7.00
8.0	8.00	8.00	8.00	8.00	8.00	8.00	8.00	8.00	8.00
9.0	9.00	9.00	9.00	9.00	9.00	9.00	9.00	9.00	9.00
10.0	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
11.0	11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00
12.0	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00
13.0	13.00	13.00	13.00	13.00	13.00	13.00	13.00	13.00	13.00
14.0	14.00	14.00	14.00	14.00	14.00	14.00	14.00	14.00	14.00
15.0	15.00	15.00	15.00	15.00	15.00	15.00	15.00	15.00	15.00
16.0	16.00	16.00	16.00	16.00	16.00	16.00	16.00	16.00	16.00
17.0	17.00	17.00	17.00	17.00	17.00	17.00	17.00	17.00	17.00
18.0	18.00	18.00	18.00	18.00	18.00	18.00	18.00	18.00	18.00
19.0	19.00	19.00	19.00	19.00	19.00	19.00	19.00	19.00	19.00
20.0	20.00	20.00	20.00	20.00	20.00	20.00	20.00	20.00	20.00
21.0	21.00	21.00	21.00	21.00	21.00	21.00	21.00	21.00	21.00
22.0	22.00	22.00	22.00	22.00	22.00	22.00	22.00	22.00	22.00
23.0	23.00	23.00	23.00	23.00	23.00	23.00	23.00	23.00	23.00
24.0	24.00	24.00	24.00	24.00	24.00	24.00	24.00	24.00	24.00
25.0	25.00	25.00	25.00	25.00	25.00	25.00	25.00	25.00	25.00
26.0	26.00	26.00	26.00	26.00	26.00	26.00	26.00	26.00	26.00
27.0	27.00	27.00	27.00	27.00	27.00	27.00	27.00	27.00	27.00
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35.0	35.00	35.00	35.00	35.00	35.00	35.00	35.00	35.00	35.00
36.0	36.00	36.00	36.00	36.00	36.00	36.00	36.00	36.00	36.00
37.0	37.00	37.00	37.00	37.00	37.00	37.00	37.00	37.00	37.00
38.0	38.00	38.00	38.00	38.00	38.00	38.00	38.00	38.00	38.00
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45.0	45.00	45.00	45.00	45.00	45.00	45.00	45.00	45.00	45.00
46.0	46.00	46.00	46.00	46.00	46.00	46.00	46.00	46.00	46.00
47.0	47.00	47.00	47.00	47.00	47.00	47.00	47.00	47.00	47.00
48.0	48.00	48.00	48.00	48.00	48.00	48.00	48.00	48.00	48.00
49.0	49.00	49.00	49.00	49.00	49.00	49.00	49.00	49.00	49.00
50.0	50.00	50.00	50.00	50.00	50.00	50.00	50.00	50.00	50.00

MATERIALS AND SYMBOLS

	MASONRY WALL		CONCRETE
	BRICK		INSULATION
	DRYWALL		WINDOW
	DOOR		STAIR
	CEILING		FLOOR
	WALL TYPE "A"		WALL TYPE "B"
	WALL TYPE "C"		WALL TYPE "D"
	WALL TYPE "E"		WALL TYPE "F"
	WALL TYPE "G"		WALL TYPE "H"
	WALL TYPE "I"		WALL TYPE "J"
	WALL TYPE "K"		WALL TYPE "L"
	WALL TYPE "M"		WALL TYPE "N"
	WALL TYPE "O"		WALL TYPE "P"
	WALL TYPE "Q"		WALL TYPE "R"
	WALL TYPE "S"		WALL TYPE "T"
	WALL TYPE "U"		WALL TYPE "V"
	WALL TYPE "W"		WALL TYPE "X"
	WALL TYPE "Y"		WALL TYPE "Z"

VIEW NAME
SCALE: 1/8" = 1'-0"



LOCATION MAP
N
W
E
S
113

LOCKER ROOM RENOVATIONS
CITY OF SHEBOYGAN DPW RENOVATION
2026 NEW JERSEY AVE, SHEBOYGAN, WI 53081
LISA MICHIGAN, SHEBOYGAN, WI 53081 | 262.462.4444 | 225 EAST ST. FALL AVENUE, MENAUNIE, WI 53002 | 414.339.4440

ARCHITECTURAL
A 101 TITLE SHEET, SHEET INDEX, PROJECT INFORMATION, PROJECT NOTES AND WALL TYPE
A 301 PARTIAL FIRST FLOOR DEMOLITION PLAN, PARTIAL FIRST FLOOR PLAN, DEMOLITION NOTES, FLOOR PLAN NOTES, AND GENERAL NOTES
A 302 PARTIAL RESTRUCTURED CEILING PLAN, PARTIAL DEMOLITION ROOF PLAN, ROOM FINISHES, SCHEDULE, ROOM SCHEDULE, PART TYPE AND DETAILS
A 303 UNBARGAINED TOILET/OCCUPY/SHOWER ROOM FLOOR, LOCKER ROOM ELEVATIONS, LOCKER ROOM ACCESSORIES AND DETAILS
A 901 GENERAL BUILDING SPECIFICATIONS

STRUCTURAL
S 100 GENERAL NOTES, SPECIFICATIONS, AMENDMENTS AND SEQUENCE OF OPERATIONS
S 101 PARTIAL FIRST FLOOR DEMOLITION PLAN, PARTIAL FIRST FLOOR PLAN, DEMOLITION NOTES, FLOOR PLAN NOTES, AND GENERAL NOTES
S 201 FLOOR FINISHES, SCHEDULE, ROOM SCHEDULE, PART TYPE AND DETAILS

PLUMBING
P 101 PARTIAL FIRST FLOOR DEMOLITION PLAN, PARTIAL FIRST FLOOR PLAN, DEMOLITION NOTES, FLOOR PLAN NOTES, AND GENERAL NOTES
P 201 FLOOR FINISHES, SCHEDULE, ROOM SCHEDULE, PART TYPE AND DETAILS

H.V.A.C.
H 100 GENERAL NOTES, SPECIFICATIONS, AMENDMENTS AND SEQUENCE OF OPERATIONS
H 101 PARTIAL FIRST FLOOR DEMOLITION PLAN, PARTIAL FIRST FLOOR PLAN, DEMOLITION NOTES, FLOOR PLAN NOTES, AND GENERAL NOTES
H 201 FLOOR FINISHES, SCHEDULE, ROOM SCHEDULE, PART TYPE AND DETAILS

ELECTRICAL
E 100 PARTIAL FIRST FLOOR DEMOLITION PLAN, PARTIAL FIRST FLOOR PLAN, DEMOLITION NOTES, FLOOR PLAN NOTES, AND GENERAL NOTES
E 200 FLOOR FINISHES, SCHEDULE, ROOM SCHEDULE, PART TYPE AND DETAILS

PROJECT INFORMATION
APPLICABLE BUILDING CODES SHEBOYGAN MUNICIPAL ORDINANCE 10.01 (2018)
BUILDING AREA SHEBOYGAN MUNICIPAL ORDINANCE 10.01 (2018)
CONSTRUCTION CLASSIFICATION SHEBOYGAN MUNICIPAL ORDINANCE 10.01 (2018)
FIRE PROTECTION SHEBOYGAN MUNICIPAL ORDINANCE 10.01 (2018)
MEANS OF EGRESS AND EXIT DISTANCE SHEBOYGAN MUNICIPAL ORDINANCE 10.01 (2018)

PROJECT NOTES
EXTENT OF WORK THE WORK FOR THIS PROJECT IS LIMITED TO THE RENOVATION OF THE LOCKER ROOMS AND CEILING RESTRUCTURING AS SHOWN ON THE DEMOLITION AND RECONSTRUCTION PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SHEBOYGAN AND THE STATE OF WISCONSIN.
NOTICE TO BIDDERS BIDDERS SHALL BEWARE OF ALL UTILITIES AND OBSTRUCTIONS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SHEBOYGAN AND THE STATE OF WISCONSIN.
CONCRETE ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE SHEBOYGAN MUNICIPAL ORDINANCE 10.01 (2018) AND THE STATE OF WISCONSIN CONSTRUCTION CODES.

DRAWN BY: DFE
CHECKED BY: RED
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101
PROJ. NO. 2019-22

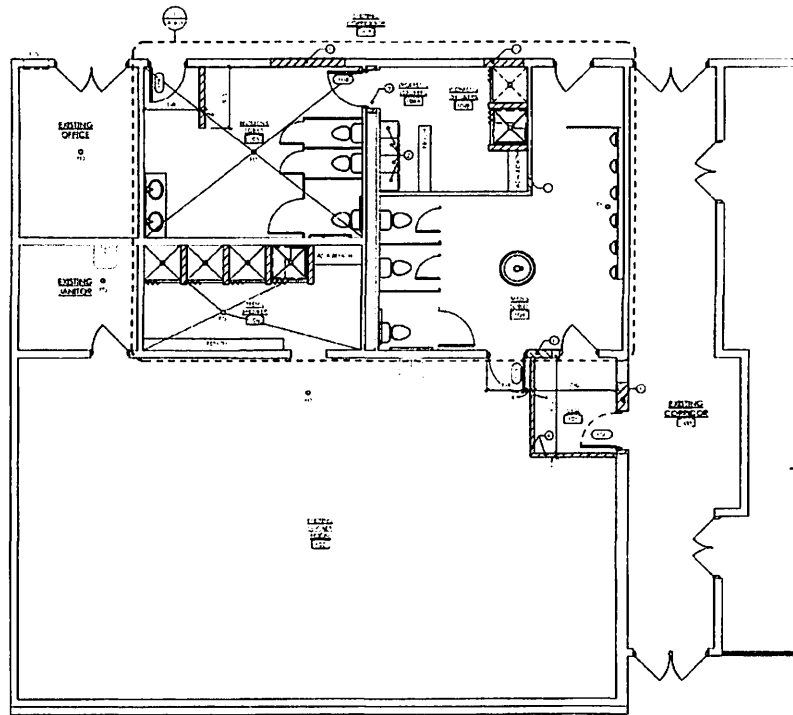
FLOOR PLAN KEYNOTES	
NO.	DESCRIPTION
1	REMOVE EXISTING WALL OPENING WITH CONSTRUCTION TO MATCH EXISTING (NEWSP) NEW SURFACE FLUSH WITH EXISTING ADJACENT SURFACE
2	NEW CONCRETE FLOOR TO MATCH EXISTING
3	WALL HEIGHT @ 8'-0". SHALL HOSE CAMOU ON TOP OF WALL

GENERAL PLAN NOTES	
1	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN ZONING ORDINANCE AND THE SHEBOYGAN BUILDING DEPARTMENT REGULATIONS.
2	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN ZONING ORDINANCE AND THE SHEBOYGAN BUILDING DEPARTMENT REGULATIONS.
3	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN ZONING ORDINANCE AND THE SHEBOYGAN BUILDING DEPARTMENT REGULATIONS.
4	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN ZONING ORDINANCE AND THE SHEBOYGAN BUILDING DEPARTMENT REGULATIONS.

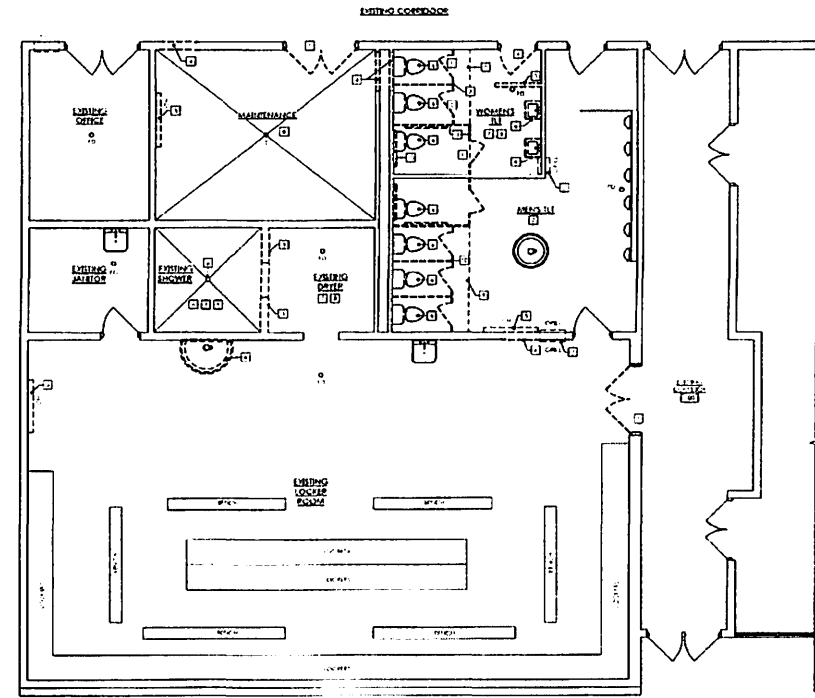
GENERAL DEMO PLAN NOTES	
1	REMOVE EXISTING WALL OPENING WITH CONSTRUCTION TO MATCH EXISTING (NEWSP) NEW SURFACE FLUSH WITH EXISTING ADJACENT SURFACE
2	REMOVE EXISTING WALL AND REPAIR ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION
3	REMOVE EXISTING CEILING ASSEMBLY & LIGHT FIXTURES
4	REMOVE EXISTING FLOOR FINISH & BASE TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH PLUMBING
5	REMOVE EXISTING TOILET TO ACCOMMODATE NEW CONSTRUCTION
6	REMOVE EXISTING TOILET PARTITION, GRAB BARS AND ACCESSORIES IN EXISTING TOILET ROOM

DEMOLITION PLAN KEYNOTES	
NO.	DESCRIPTION
1	REMOVE EXISTING DOOR & FRAME (NEWSP) CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN ZONING ORDINANCE AND THE SHEBOYGAN BUILDING DEPARTMENT REGULATIONS.
2	REMOVE EXISTING WALL AND REPAIR ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION
3	REMOVE EXISTING CEILING ASSEMBLY & LIGHT FIXTURES
4	REMOVE EXISTING FLOOR FINISH & BASE TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH PLUMBING
5	REMOVE EXISTING TOILET TO ACCOMMODATE NEW CONSTRUCTION
6	REMOVE EXISTING TOILET PARTITION, GRAB BARS AND ACCESSORIES IN EXISTING TOILET ROOM

NOTE
SEE PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION



PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
N
S
E
W



PARTIAL FIRST FLOOR-DEMOLITION PLAN
SCALE: 1/4" = 1'-0"
N
S
E
W

ABACUS ARCHITECTS

REVISIONS:

LOCKER ROOM RENOVATIONS
CITY OF SHEBOYGAN DPW RENOVATION
2028 NEW JERSEY AVE. SHEBOYGAN, WI 53081
1524 WASHINGTON AVE. SHEBOYGAN, WI 53081 | 920.834.1234 | 1524 W. WASHINGTON AVE. SHEBOYGAN, WI 53081

DRAWN BY: GPP
CHECKED BY: PEO
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301
PROJ. NO. 2019-22

ROOM FINISH SCHEDULE												
NO	ROOM NAME	FLOOR	BASE	WALL FINISH / MATERIAL				CEILING	CERAMIC HEIGHT	FERROUS METALS	WOOD FINISH	REMARKS
				NORTH	EAST	SOUTH	WEST					
100	EXISTING CORRIDOR	EXIST	EXIST	-	EXIST	-	EXIST	EXIST	-	-	-	-
101	VEST	EXIST	EXIST	P-1	P-1	P-1	P-1	ACT	P-1	-	1, 2	
102	EXISTING LOCKER ROOM	EXIST	EXIST	P-1	P-1	P-1	P-1	ACT	P-1	-	1	
103	MEN'S TOILET	EXIST	EXIST	P-1	P-1	P-1	P-1	ACT	P-1	-	1	
104	WOMEN'S LOCKERS	PG	FTB	P-1	P-1	P-1	P-1	ACT	P-1	-	1	
105	WOMEN'S SHOWERS	PG	FTB	P-1	P-1	P-1	P-1	ACT	P-1	-	1	
106	WOMEN'S TOILET	PG	FTB	P-1	P-1	P-1	P-1	ACT	P-1	-	1	
107	EXISTING CORRIDOR	EXIST	EXIST	-	EXIST	-	EXIST	EXIST	-	-	-	

NO.	DESCRIPTION
1	PATCH AND REPAIR EXISTING FLOOR AND BASE TO MATCH EXISTING AT AREAS OF CONSTRUCTION
2	PAINT DOOR AND DOOR FRAME P-1

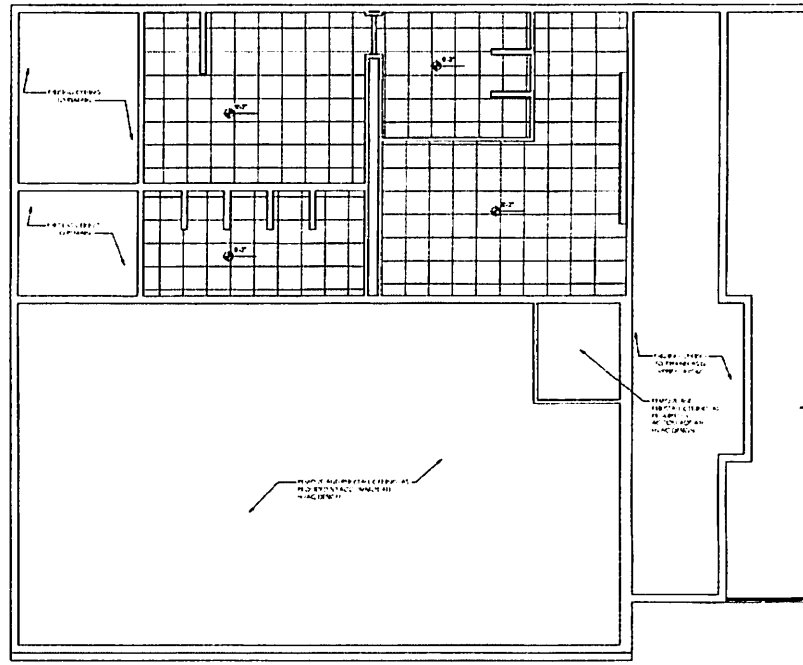
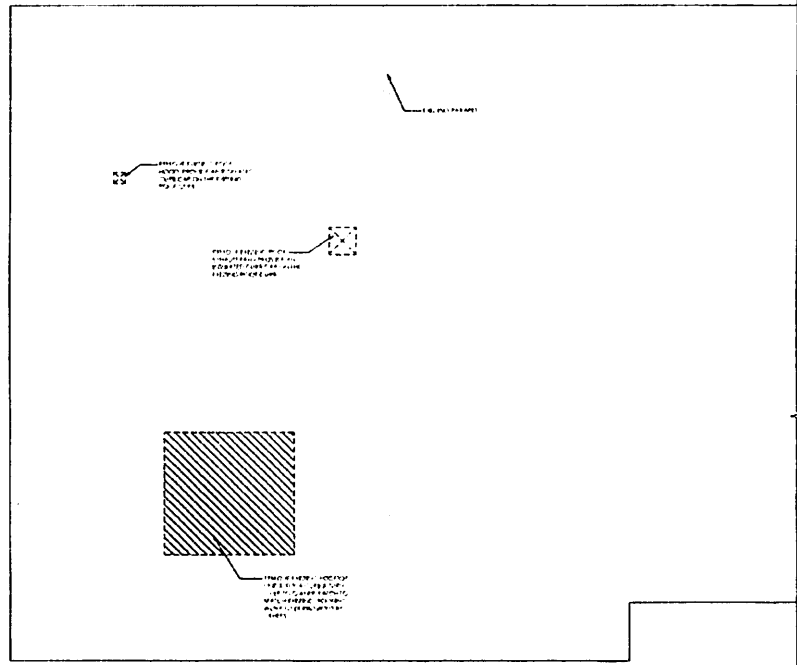
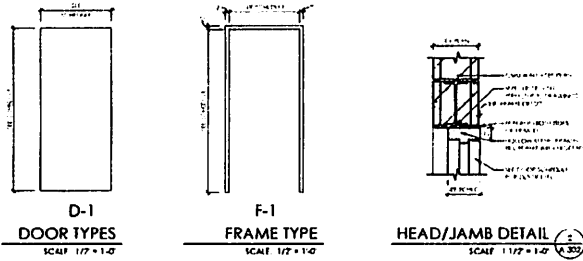
KEY	DESCRIPTION
ACT-1	ACQUISIC CERAMIC TILE - 24" x 24"
ACT-2	VITRIFIED GLASS GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CRF	CLAY TILE
ES	EXPOSED STRUCTURE
FR	FERROUS FINISH
GYP	GYPSUM BOARD
HSM	HOLLOW METAL
P	PAINT FINISH
PG	POURED GARAGE
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
SC	SEALED CONCRETE
SOFT	STRUCTURAL GLAZED FACING TILE
VB	VITRIFIED
VCT	VITRIFIED COMPOSITION TILE
WD	WOOD

REFLECTED CEILING PLAN LEGEND	
	REFLECTED CEILING
	REFLECTED CEILING

ABACUS ARCHITECTS

REVISIONS:

DOOR SCHEDULE												
DOOR NO	DOOR SIZE	ELEV	MATERIAL	GLASS TYPE	HARDWARE SET NO	FRAME				TYPE	REMARKS	
						ELEV	MATERIAL	DEPTH	HEAD			JAMB
101	3'-0" x 7'-0"	D-1	HSM	-	BY OWNER	P-1	HSM	5 3/4"	2 1/4"	2 1/4"	2 1/4"	-
104	3'-0" x 7'-0"	D-1	HSM	-	BY OWNER	P-1	HSM	5 3/4"	2 1/4"	2 1/4"	2 1/4"	-
105	3'-0" x 7'-0"	D-1	HSM	-	BY OWNER	P-1	HSM	5 3/4"	2 1/4"	2 1/4"	2 1/4"	-



CITY OF SHEBOYGAN DPW RENOVATION
2025 NEW JERSEY AVE. SHEBOYGAN, WI 53081
1133 WASHINGTON AVE. SHEBOYGAN, WI 53081 (P) 920-444-1234 FAX 920-444-1234

LOCKER ROOM RENOVATIONS
8/10/2019

DRAWN BY: GFE
CHECKED BY: RED

A
302

PROJ. NO. 2019-22

BID SET

PARTIAL DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"

PARTIAL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

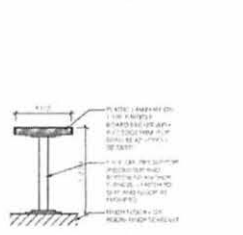
REVISIONS:



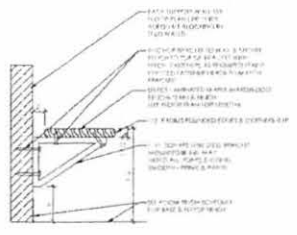
TOILET ROOM
MEN

TOILET ROOM
WOMEN

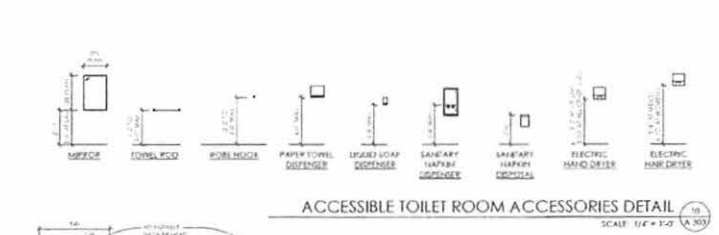
GENERAL NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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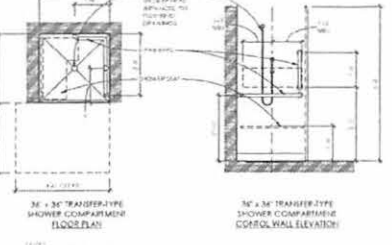
BENCH DETAIL
SCALE: 1/2" = 1'-0" (A 303)



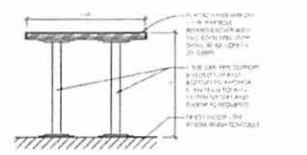
CONT. WALL BENCH DETAIL
SCALE: 1/2" = 1'-0" (A 303)



ACCESSIBLE TOILET ROOM ACCESSORIES DETAIL
SCALE: 1/2" = 1'-0" (A 303)



ACCESSIBLE TRANSFER SHOWER DETAIL
SCALE: 1/2" = 1'-0" (A 303)



ACCESSIBLE BENCH DETAIL
SCALE: 1/2" = 1'-0" (A 303)

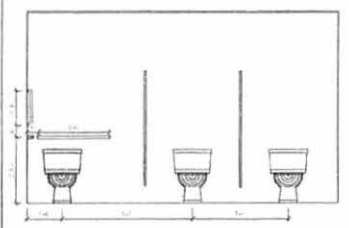
ACCESSIBLE SIGNAGE DETAIL
SCALE: 3" = 1'-0" (A 303)

TOILET ROOM KEYNOTES

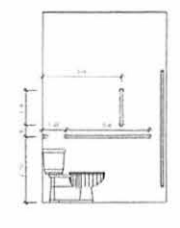
NO.	DESCRIPTION
1	1/2" GRAB BAR
2	3/4" GRAB BAR
3	1" GRAB BAR
4	IMPACT - SEE ELEVATION FOR SEE SCHEDULE
5	TYPICAL SHOWER STALL - SEE FINISH SCHEDULE
6	HOLDING SHOWER SEAL - SEE FINISH SCHEDULE
7	SHOWER CURTAIN AND CURTAIN ROD - MOUNTED 18" HIGH
8	PORE BLOCK - SEE DETAIL (A 303) FOR MOUNTING HEIGHT

GENERAL PLAN NOTES

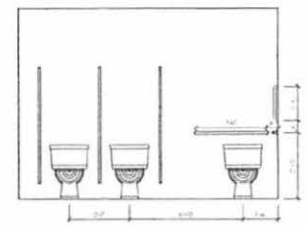
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.



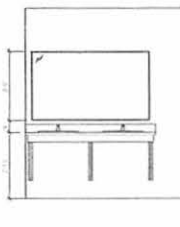
TOILET ROOM ELEVATION
SCALE: 1/2" = 1'-0" (A 303)



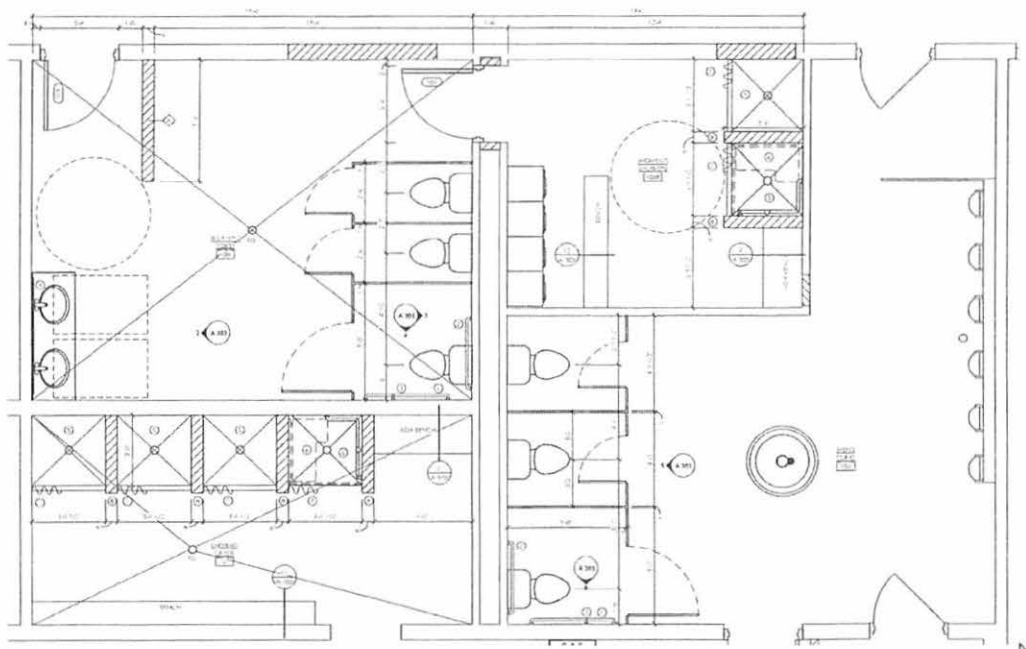
TOILET ROOM ELEVATION
SCALE: 1/2" = 1'-0" (A 303)



TOILET ROOM ELEVATION
SCALE: 1/2" = 1'-0" (A 303)



TOILET ROOM ELEVATION
SCALE: 1/2" = 1'-0" (A 303)



ENLARGED TOILET/LOCKER/SHOWER ROOM
SCALE: 1/2" = 1'-0" (A 303)

DRAWN BY: GEP
CHECKED BY: KED

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303

PROJ. NO. 2019-22

LOCKER ROOM RENOVATIONS
 CITY OF SHEBOYGAN DPW RENOVATION
 2025 NEW JERSEY AVE, SHEBOYGAN, WI 53081
 1155A WASHINGTON AVE, SHEBOYGAN, WI 53081 | TEL: 920.831.1100 | FAX: 920.831.4400

BID SET

GENERAL BUILDING SPECIFICATIONS

**DIVISION 1
GENERAL REG.**

**DIVISION 3
CONCRETE**

**DIVISION 9
FINISHES**

**DIVISION 10
SPECIALTIES**

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Cast-in-Place Concrete
3. Precast Concrete
4. Concrete Formwork
5. Concrete Reinforcing Steel
6. Concrete Joints
7. Concrete Finishes
8. Concrete Repairs

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Concrete
3. Formwork
4. Reinforcing Steel
5. Joints
6. Finishes
7. Repairs

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Finishes
3. Painting
4. Wallpapering
5. Floor Finishes
6. Ceiling Finishes
7. Stair Finishes
8. Window Finishes
9. Door Finishes
10. Metal Finishes
11. Glass Finishes
12. Fabric Finishes
13. Wood Finishes
14. Stone Finishes
15. Tile Finishes
16. Carpet Finishes
17. Acoustic Finishes
18. Security Finishes
19. Special Finishes

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Specialties
3. Hardware
4. Locks
5. Hinges
6. Handles
7. Pulls
8. Kickers
9. Plates
10. Guards
11. Stair Hardware
12. Window Hardware
13. Door Hardware
14. Metal Hardware
15. Glass Hardware
16. Fabric Hardware
17. Wood Hardware
18. Stone Hardware
19. Tile Hardware
20. Carpet Hardware
21. Acoustic Hardware
22. Security Hardware
23. Special Hardware

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Masonry
3. Brick
4. Block
5. Stone
6. Mortar
7. Grout
8. Joints
9. Repairs
10. Finishes
11. Repointing
12. Cleaning
13. Protection
14. Scaffolding
15. Formwork
16. Reinforcing Steel
17. Anchors
18. Embedments
19. Expansion Joints
20. Control Joints
21. Sealants
22. Waterproofing
23. Drainage
24. Flashing
25. Weep Holes
26. Drip Caps
27. Sills
28. Casings
29. Trim
30. Accessories
31. Hardware
32. Glazing
33. Insulation
34. Vapor Barriers
35. Membranes
36. Coatings
37. Sealers
38. Treatments
39. Stains
40. Finishes
41. Repairs
42. Maintenance

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Masonry
3. Brick
4. Block
5. Stone
6. Mortar
7. Grout
8. Joints
9. Repairs
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11. Repointing
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27. Sills
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30. Accessories
31. Hardware
32. Glazing
33. Insulation
34. Vapor Barriers
35. Membranes
36. Coatings
37. Sealers
38. Treatments
39. Stains
40. Finishes
41. Repairs
42. Maintenance

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Thermal
3. Moisture
4. Insulation
5. Vapor Barriers
6. Membranes
7. Coatings
8. Sealers
9. Treatments
10. Stains
11. Finishes
12. Repairs
13. Maintenance

1.01 SUMMARY
A. Section Includes
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10. Stains
11. Finishes
12. Repairs
13. Maintenance

**DIVISION 8
DOORS & WINDOWS**

1.01 SUMMARY
A. Section Includes
1. General Requirements
2. Doors
3. Windows
4. Hardware
5. Glazing
6. Insulation
7. Vapor Barriers
8. Membranes
9. Coatings
10. Sealers
11. Treatments
12. Stains
13. Finishes
14. Repairs
15. Maintenance

1.01 SUMMARY
A. Section Includes
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2. Doors
3. Windows
4. Hardware
5. Glazing
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12. Stains
13. Finishes
14. Repairs
15. Maintenance

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A. Section Includes
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2. Doors
3. Windows
4. Hardware
5. Glazing
6. Insulation
7. Vapor Barriers
8. Membranes
9. Coatings
10. Sealers
11. Treatments
12. Stains
13. Finishes
14. Repairs
15. Maintenance

 <p>ABACUS ARCHITECTS</p>	<p>REVISIONS:</p>
<p>9/19/2019 LOCKER ROOM RENOVATIONS CITY OF SHEBOYGAN DPW RENOVATION 2026 NEW JERSEY AVE, SHEBOYGAN, WI 53081 1155A ARHONGAN AVE, SHEBOYGAN, WI 53081 P202 432-4444 225 EAST ST, PALM AVE, MILWAUKEE, WI 53202 614 61 837 6430</p>	
<p>DATE: 9/19/2019 DRAWN BY: CJS CHECKED BY: MD A 901</p>	<p>PROJ. NO. 2019-22</p>

BID SET

FIRE PROTECTION NOTES

1. ALL NEW AND EXISTING FIRE PROTECTION SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS, AS APPLICABLE. THE LATEST EDITIONS OF THE NFPA CODES AND STANDARDS SHALL BE REFERRED TO AS "THE CODES".

2. ALL NEW AND EXISTING FIRE PROTECTION SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS, AS APPLICABLE. THE LATEST EDITIONS OF THE NFPA CODES AND STANDARDS SHALL BE REFERRED TO AS "THE CODES".

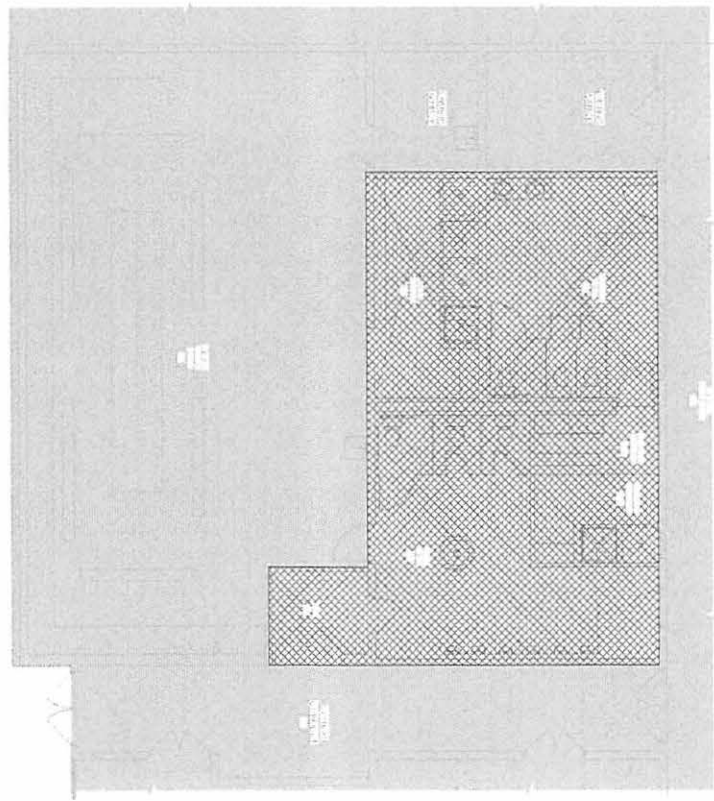
3. ALL NEW AND EXISTING FIRE PROTECTION SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS, AS APPLICABLE. THE LATEST EDITIONS OF THE NFPA CODES AND STANDARDS SHALL BE REFERRED TO AS "THE CODES".

4. ALL NEW AND EXISTING FIRE PROTECTION SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS, AS APPLICABLE. THE LATEST EDITIONS OF THE NFPA CODES AND STANDARDS SHALL BE REFERRED TO AS "THE CODES".

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FIRE PROTECTION SYSTEMS LEGEND

- NOTIFIED FIRE ALARM SYSTEM
- NOTIFIED FIRE ALARM SYSTEM WITH COMMERCIAL KITCHEN
- NOTIFIED FIRE ALARM SYSTEM WITH COMMERCIAL KITCHEN AND STORAGE



PARTIAL FIRST FLOOR PLAN - FIRE PROTECTION
SCALE: 1/8" = 1'-0"



REVISIONS:

SEPTEMBER 2019

**LOCKER ROOM RENOVATION
SHEBOYGAN DPW RENOVATION**

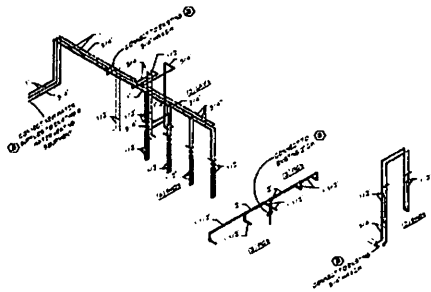
2026 NEW JERSEY AVE, SHEBOYGAN, WI 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (202) 432-4444 | 205 EAST ST. PALM AVE. MILWAUKEE, WI 53202 | (414) 827-6450

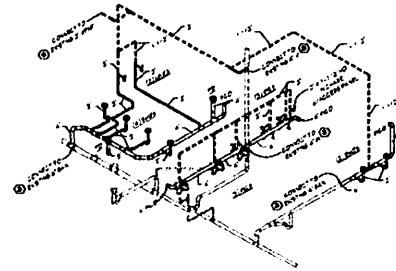
DATE: 10/15/19
DRAWN BY: TGD
CHECKED BY: JES

FP
101

PROJ. NO. 2019-22



SUPPLY RISER DIAGRAM
 SCALE: 1/4" = 1'-0"

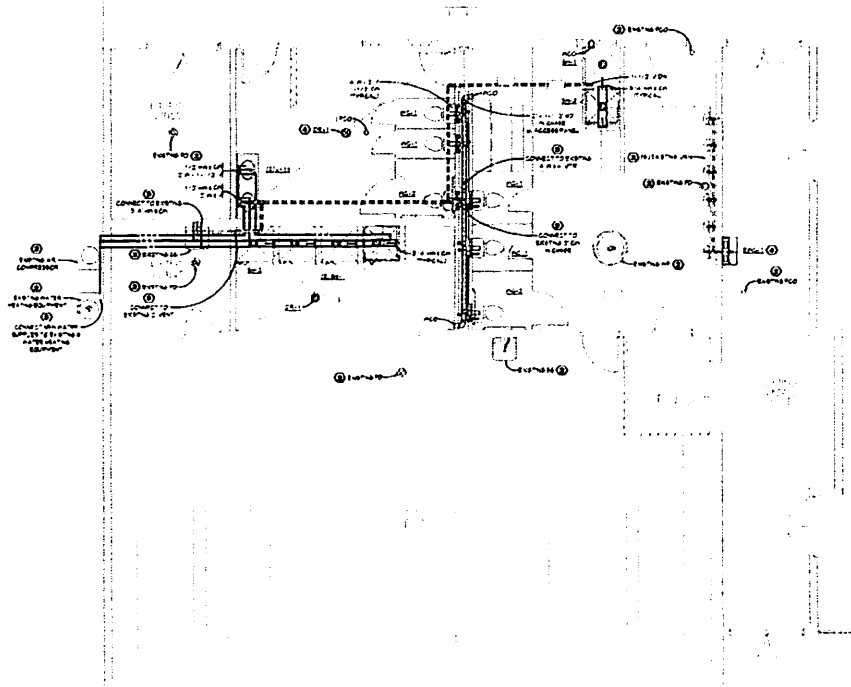


WASTE & VENT DIAGRAM
 SCALE: 1/4" = 1'-0"

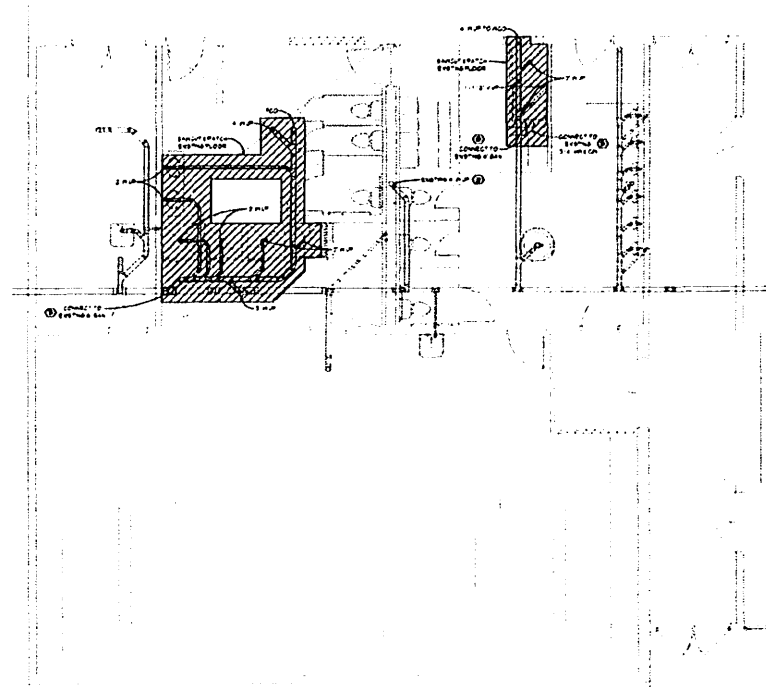
- KEY OF NOTES**
1. INDICATES THE TYPE, EQUIPMENT, OR MAKE, MODEL NUMBER AND SERIAL NUMBER, RELATED PIPING AND HANGERS, BACK TO EACH MAIN OR BRANCH.
 2. INDICATES THE TYPE, MAKE, MODEL NUMBER, EQUIPMENT, OR MAKE.
 3. INDICATES A CONNECTION TO THE PLUMBING CONTRACTOR'S WORK, TO BE MADE PRIOR TO THE START OF THE PROJECT.
 4. INDICATES A BRANCH OF PIPE TO BE REMOVED IN WORK AND NOT A MAINLINE OR MAINLINE BRANCH OF PIPE TO BE REMOVED, UNLESS INDICATED.

REVISIONS:

NO.	DATE	DESCRIPTION



PARTIAL FIRST FLOOR PLAN - PLUMBING
 SCALE: 1/4" = 1'-0"



PARTIAL BELOW GRADE PLAN - PLUMBING
 SCALE: 1/4" = 1'-0"



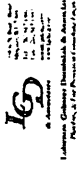
DATE: 08/14/2019
 TIME: 10:00 AM
 PROJECT: LOCLEER ROOM RENOVATION
 SHEBOYGAN DPW RENOVATION
 2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
 1034 W. MICHIGAN AVE. SHEBOYGAN, WI 53081
 TEL: 414.460.4444 FAX: 414.460.4444
 WWW.ABACUSARCHITECTS.COM

SEPTEMBER 2, 2019
 LOCLEER ROOM RENOVATION
 SHEBOYGAN DPW RENOVATION
 2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
 1034 W. MICHIGAN AVE. SHEBOYGAN, WI 53081
 TEL: 414.460.4444 FAX: 414.460.4444
 WWW.ABACUSARCHITECTS.COM

DRAWN BY: LCO
 CHECKED BY: #1

P
101

PROJ. NO. 2019-22



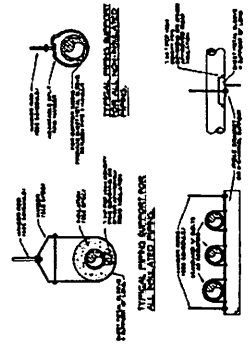
I & G
Architects
1155A MCMEYER AVE. SHEBOYGAN, WI 53081
PH: 920.457.1100
FAX: 920.457.1101
WWW.IANDGARCHITECTS.COM

ABACUS
ARCHITECTS

REVISIONS:

PIPE SUPPORT SCHEDULE

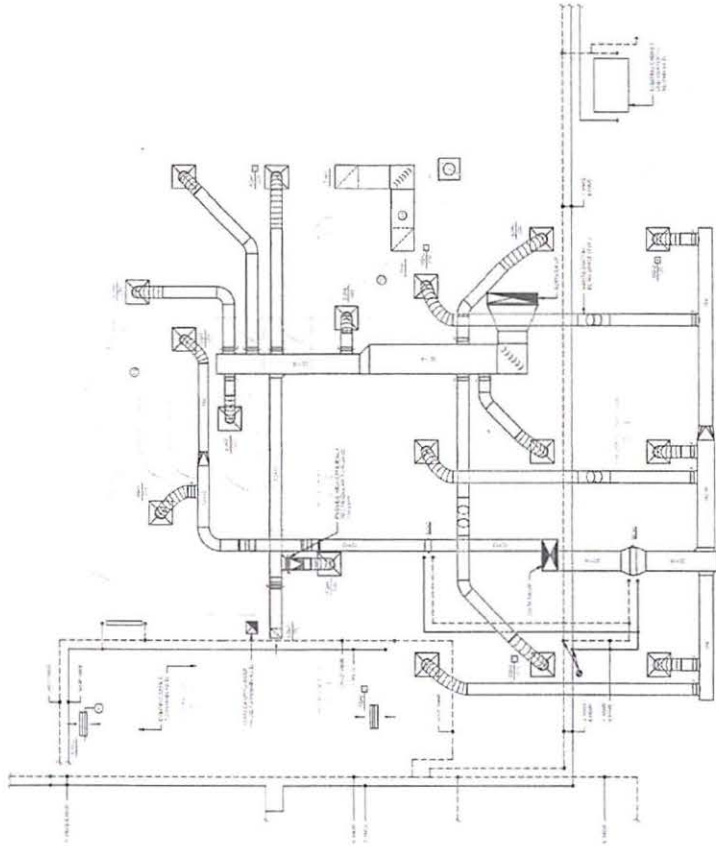
SYMBOL	DESCRIPTION
SP1	STEEL PIPE HANGERS
SP2	WOOD PIPE HANGERS
SP3	CONCRETE PIPE HANGERS
SP4	STEEL PIPE BRACKETS
SP5	WOOD PIPE BRACKETS
SP6	CONCRETE PIPE BRACKETS
SP7	STEEL PIPE CLAMPS
SP8	WOOD PIPE CLAMPS
SP9	CONCRETE PIPE CLAMPS
SP10	STEEL PIPE COLLARS
SP11	WOOD PIPE COLLARS
SP12	CONCRETE PIPE COLLARS
SP13	STEEL PIPE SADDLES
SP14	WOOD PIPE SADDLES
SP15	CONCRETE PIPE SADDLES
SP16	STEEL PIPE SLINGS
SP17	WOOD PIPE SLINGS
SP18	CONCRETE PIPE SLINGS
SP19	STEEL PIPE SHIMS
SP20	WOOD PIPE SHIMS
SP21	CONCRETE PIPE SHIMS
SP22	STEEL PIPE WEDGES
SP23	WOOD PIPE WEDGES
SP24	CONCRETE PIPE WEDGES
SP25	STEEL PIPE BUSHINGS
SP26	WOOD PIPE BUSHINGS
SP27	CONCRETE PIPE BUSHINGS
SP28	STEEL PIPE COUPLERS
SP29	WOOD PIPE COUPLERS
SP30	CONCRETE PIPE COUPLERS
SP31	STEEL PIPE END BRACKETS
SP32	WOOD PIPE END BRACKETS
SP33	CONCRETE PIPE END BRACKETS
SP34	STEEL PIPE END COLLARS
SP35	WOOD PIPE END COLLARS
SP36	CONCRETE PIPE END COLLARS
SP37	STEEL PIPE END SADDLES
SP38	WOOD PIPE END SADDLES
SP39	CONCRETE PIPE END SADDLES
SP40	STEEL PIPE END SLINGS
SP41	WOOD PIPE END SLINGS
SP42	CONCRETE PIPE END SLINGS
SP43	STEEL PIPE END SHIMS
SP44	WOOD PIPE END SHIMS
SP45	CONCRETE PIPE END SHIMS
SP46	STEEL PIPE END WEDGES
SP47	WOOD PIPE END WEDGES
SP48	CONCRETE PIPE END WEDGES
SP49	STEEL PIPE END BUSHINGS
SP50	WOOD PIPE END BUSHINGS
SP51	CONCRETE PIPE END BUSHINGS
SP52	STEEL PIPE END COUPLERS
SP53	WOOD PIPE END COUPLERS
SP54	CONCRETE PIPE END COUPLERS
SP55	STEEL PIPE END BRACKETS
SP56	WOOD PIPE END BRACKETS
SP57	CONCRETE PIPE END BRACKETS
SP58	STEEL PIPE END COLLARS
SP59	WOOD PIPE END COLLARS
SP60	CONCRETE PIPE END COLLARS
SP61	STEEL PIPE END SADDLES
SP62	WOOD PIPE END SADDLES
SP63	CONCRETE PIPE END SADDLES
SP64	STEEL PIPE END SLINGS
SP65	WOOD PIPE END SLINGS
SP66	CONCRETE PIPE END SLINGS
SP67	STEEL PIPE END SHIMS
SP68	WOOD PIPE END SHIMS
SP69	CONCRETE PIPE END SHIMS
SP70	STEEL PIPE END WEDGES
SP71	WOOD PIPE END WEDGES
SP72	CONCRETE PIPE END WEDGES
SP73	STEEL PIPE END BUSHINGS
SP74	WOOD PIPE END BUSHINGS
SP75	CONCRETE PIPE END BUSHINGS
SP76	STEEL PIPE END COUPLERS
SP77	WOOD PIPE END COUPLERS
SP78	CONCRETE PIPE END COUPLERS
SP79	STEEL PIPE END BRACKETS
SP80	WOOD PIPE END BRACKETS
SP81	CONCRETE PIPE END BRACKETS
SP82	STEEL PIPE END COLLARS
SP83	WOOD PIPE END COLLARS
SP84	CONCRETE PIPE END COLLARS
SP85	STEEL PIPE END SADDLES
SP86	WOOD PIPE END SADDLES
SP87	CONCRETE PIPE END SADDLES
SP88	STEEL PIPE END SLINGS
SP89	WOOD PIPE END SLINGS
SP90	CONCRETE PIPE END SLINGS
SP91	STEEL PIPE END SHIMS
SP92	WOOD PIPE END SHIMS
SP93	CONCRETE PIPE END SHIMS
SP94	STEEL PIPE END WEDGES
SP95	WOOD PIPE END WEDGES
SP96	CONCRETE PIPE END WEDGES
SP97	STEEL PIPE END BUSHINGS
SP98	WOOD PIPE END BUSHINGS
SP99	CONCRETE PIPE END BUSHINGS
SP100	STEEL PIPE END COUPLERS
SP101	WOOD PIPE END COUPLERS
SP102	CONCRETE PIPE END COUPLERS
SP103	STEEL PIPE END BRACKETS
SP104	WOOD PIPE END BRACKETS
SP105	CONCRETE PIPE END BRACKETS
SP106	STEEL PIPE END COLLARS
SP107	WOOD PIPE END COLLARS
SP108	CONCRETE PIPE END COLLARS
SP109	STEEL PIPE END SADDLES
SP110	WOOD PIPE END SADDLES
SP111	CONCRETE PIPE END SADDLES
SP112	STEEL PIPE END SLINGS
SP113	WOOD PIPE END SLINGS
SP114	CONCRETE PIPE END SLINGS
SP115	STEEL PIPE END SHIMS
SP116	WOOD PIPE END SHIMS
SP117	CONCRETE PIPE END SHIMS
SP118	STEEL PIPE END WEDGES
SP119	WOOD PIPE END WEDGES
SP120	CONCRETE PIPE END WEDGES
SP121	STEEL PIPE END BUSHINGS
SP122	WOOD PIPE END BUSHINGS
SP123	CONCRETE PIPE END BUSHINGS
SP124	STEEL PIPE END COUPLERS
SP125	WOOD PIPE END COUPLERS
SP126	CONCRETE PIPE END COUPLERS
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SP128	WOOD PIPE END BRACKETS
SP129	CONCRETE PIPE END BRACKETS
SP130	STEEL PIPE END COLLARS
SP131	WOOD PIPE END COLLARS
SP132	CONCRETE PIPE END COLLARS
SP133	STEEL PIPE END SADDLES
SP134	WOOD PIPE END SADDLES
SP135	CONCRETE PIPE END SADDLES
SP136	STEEL PIPE END SLINGS
SP137	WOOD PIPE END SLINGS
SP138	CONCRETE PIPE END SLINGS
SP139	STEEL PIPE END SHIMS
SP140	WOOD PIPE END SHIMS
SP141	CONCRETE PIPE END SHIMS
SP142	STEEL PIPE END WEDGES
SP143	WOOD PIPE END WEDGES
SP144	CONCRETE PIPE END WEDGES
SP145	STEEL PIPE END BUSHINGS
SP146	WOOD PIPE END BUSHINGS
SP147	CONCRETE PIPE END BUSHINGS
SP148	STEEL PIPE END COUPLERS
SP149	WOOD PIPE END COUPLERS
SP150	CONCRETE PIPE END COUPLERS



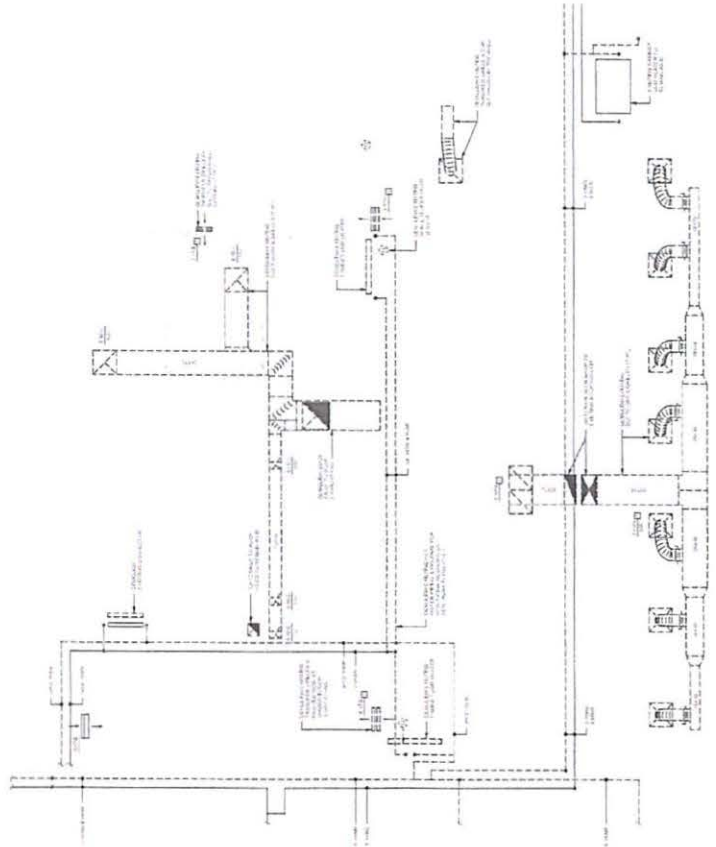
TYPICAL PIPE SUPPORT DETAILS
SCALE: 1/4" = 1'-0"

KEY OF PLUMBING SYMBOLS

SYMBOL	DESCRIPTION
1	1/2" GALV. STEEL PIPE
2	3/4" GALV. STEEL PIPE
3	1" GALV. STEEL PIPE
4	1 1/2" GALV. STEEL PIPE
5	2" GALV. STEEL PIPE
6	2 1/2" GALV. STEEL PIPE
7	3" GALV. STEEL PIPE
8	4" GALV. STEEL PIPE
9	6" GALV. STEEL PIPE
10	8" GALV. STEEL PIPE
11	10" GALV. STEEL PIPE
12	12" GALV. STEEL PIPE
13	14" GALV. STEEL PIPE
14	16" GALV. STEEL PIPE
15	18" GALV. STEEL PIPE
16	20" GALV. STEEL PIPE
17	24" GALV. STEEL PIPE
18	30" GALV. STEEL PIPE
19	36" GALV. STEEL PIPE
20	42" GALV. STEEL PIPE
21	48" GALV. STEEL PIPE
22	54" GALV. STEEL PIPE
23	60" GALV. STEEL PIPE
24	66" GALV. STEEL PIPE
25	72" GALV. STEEL PIPE
26	78" GALV. STEEL PIPE
27	84" GALV. STEEL PIPE
28	90" GALV. STEEL PIPE
29	96" GALV. STEEL PIPE
30	102" GALV. STEEL PIPE
31	108" GALV. STEEL PIPE
32	114" GALV. STEEL PIPE
33	120" GALV. STEEL PIPE
34	126" GALV. STEEL PIPE
35	132" GALV. STEEL PIPE
36	138" GALV. STEEL PIPE
37	144" GALV. STEEL PIPE
38	150" GALV. STEEL PIPE
39	156" GALV. STEEL PIPE
40	162" GALV. STEEL PIPE
41	168" GALV. STEEL PIPE
42	174" GALV. STEEL PIPE
43	180" GALV. STEEL PIPE
44	186" GALV. STEEL PIPE
45	192" GALV. STEEL PIPE
46	198" GALV. STEEL PIPE
47	204" GALV. STEEL PIPE
48	210" GALV. STEEL PIPE
49	216" GALV. STEEL PIPE
50	222" GALV. STEEL PIPE
51	228" GALV. STEEL PIPE
52	234" GALV. STEEL PIPE
53	240" GALV. STEEL PIPE
54	246" GALV. STEEL PIPE
55	252" GALV. STEEL PIPE
56	258" GALV. STEEL PIPE
57	264" GALV. STEEL PIPE
58	270" GALV. STEEL PIPE
59	276" GALV. STEEL PIPE
60	282" GALV. STEEL PIPE
61	288" GALV. STEEL PIPE
62	294" GALV. STEEL PIPE
63	300" GALV. STEEL PIPE
64	306" GALV. STEEL PIPE
65	312" GALV. STEEL PIPE
66	318" GALV. STEEL PIPE
67	324" GALV. STEEL PIPE
68	330" GALV. STEEL PIPE
69	336" GALV. STEEL PIPE
70	342" GALV. STEEL PIPE
71	348" GALV. STEEL PIPE
72	354" GALV. STEEL PIPE
73	360" GALV. STEEL PIPE
74	366" GALV. STEEL PIPE
75	372" GALV. STEEL PIPE
76	378" GALV. STEEL PIPE
77	384" GALV. STEEL PIPE
78	390" GALV. STEEL PIPE
79	396" GALV. STEEL PIPE
80	402" GALV. STEEL PIPE
81	408" GALV. STEEL PIPE
82	414" GALV. STEEL PIPE
83	420" GALV. STEEL PIPE
84	426" GALV. STEEL PIPE
85	432" GALV. STEEL PIPE
86	438" GALV. STEEL PIPE
87	444" GALV. STEEL PIPE
88	450" GALV. STEEL PIPE
89	456" GALV. STEEL PIPE
90	462" GALV. STEEL PIPE
91	468" GALV. STEEL PIPE
92	474" GALV. STEEL PIPE
93	480" GALV. STEEL PIPE
94	486" GALV. STEEL PIPE
95	492" GALV. STEEL PIPE
96	498" GALV. STEEL PIPE
97	504" GALV. STEEL PIPE
98	510" GALV. STEEL PIPE
99	516" GALV. STEEL PIPE
100	522" GALV. STEEL PIPE
101	528" GALV. STEEL PIPE
102	534" GALV. STEEL PIPE
103	540" GALV. STEEL PIPE
104	546" GALV. STEEL PIPE
105	552" GALV. STEEL PIPE
106	558" GALV. STEEL PIPE
107	564" GALV. STEEL PIPE
108	570" GALV. STEEL PIPE
109	576" GALV. STEEL PIPE
110	582" GALV. STEEL PIPE
111	588" GALV. STEEL PIPE
112	594" GALV. STEEL PIPE
113	600" GALV. STEEL PIPE
114	606" GALV. STEEL PIPE
115	612" GALV. STEEL PIPE
116	618" GALV. STEEL PIPE
117	624" GALV. STEEL PIPE
118	630" GALV. STEEL PIPE
119	636" GALV. STEEL PIPE
120	642" GALV. STEEL PIPE
121	648" GALV. STEEL PIPE
122	654" GALV. STEEL PIPE
123	660" GALV. STEEL PIPE
124	666" GALV. STEEL PIPE
125	672" GALV. STEEL PIPE
126	678" GALV. STEEL PIPE
127	684" GALV. STEEL PIPE
128	690" GALV. STEEL PIPE
129	696" GALV. STEEL PIPE
130	702" GALV. STEEL PIPE
131	708" GALV. STEEL PIPE
132	714" GALV. STEEL PIPE
133	720" GALV. STEEL PIPE
134	726" GALV. STEEL PIPE
135	732" GALV. STEEL PIPE
136	738" GALV. STEEL PIPE
137	744" GALV. STEEL PIPE
138	750" GALV. STEEL PIPE
139	756" GALV. STEEL PIPE
140	762" GALV. STEEL PIPE
141	768" GALV. STEEL PIPE
142	774" GALV. STEEL PIPE
143	780" GALV. STEEL PIPE
144	786" GALV. STEEL PIPE
145	792" GALV. STEEL PIPE
146	798" GALV. STEEL PIPE
147	804" GALV. STEEL PIPE
148	810" GALV. STEEL PIPE
149	816" GALV. STEEL PIPE
150	822" GALV. STEEL PIPE
151	828" GALV. STEEL PIPE
152	834" GALV. STEEL PIPE
153	840" GALV. STEEL PIPE
154	846" GALV. STEEL PIPE
155	852" GALV. STEEL PIPE
156	858" GALV. STEEL PIPE
157	864" GALV. STEEL PIPE
158	870" GALV. STEEL PIPE
159	876" GALV. STEEL PIPE
160	882" GALV. STEEL PIPE
161	888" GALV. STEEL PIPE
162	894" GALV. STEEL PIPE
163	900" GALV. STEEL PIPE
164	906" GALV. STEEL PIPE
165	912" GALV. STEEL PIPE
166	918" GALV. STEEL PIPE
167	924" GALV. STEEL PIPE
168	930" GALV. STEEL PIPE
169	936" GALV. STEEL PIPE
170	942" GALV. STEEL PIPE
171	948" GALV. STEEL PIPE
172	954" GALV. STEEL PIPE
173	960" GALV. STEEL PIPE
174	966" GALV. STEEL PIPE
175	972" GALV. STEEL PIPE
176	978" GALV. STEEL PIPE
177	984" GALV. STEEL PIPE
178	990" GALV. STEEL PIPE
179	996" GALV. STEEL PIPE
180	1002" GALV. STEEL PIPE
181	1008" GALV. STEEL PIPE
182	1014" GALV. STEEL PIPE
183	1020" GALV. STEEL PIPE
184	1026" GALV. STEEL PIPE
185	1032" GALV. STEEL PIPE
186	1038" GALV. STEEL PIPE
187	1044" GALV. STEEL PIPE
188	1050" GALV. STEEL PIPE
189	1056" GALV. STEEL PIPE
190	1062" GALV. STEEL PIPE
191	1068" GALV. STEEL PIPE
192	1074" GALV. STEEL PIPE
193	1080" GALV. STEEL PIPE
194	1086" GALV. STEEL PIPE
195	1092" GALV. STEEL PIPE
196	1098" GALV. STEEL PIPE
197	1104" GALV. STEEL PIPE
198	1110" GALV. STEEL PIPE
199	1116" GALV. STEEL PIPE
200	1122" GALV. STEEL PIPE
201	1128" GALV. STEEL PIPE
202	1134" GALV. STEEL PIPE
203	1140" GALV. STEEL PIPE
204	1146" GALV. STEEL PIPE
205	1152" GALV. STEEL PIPE
206	1158" GALV. STEEL PIPE
207	1164" GALV. STEEL PIPE
208	1170" GALV. STEEL PIPE
209	1176" GALV. STEEL PIPE
210	1182" GALV. STEEL PIPE
211	1188" GALV. STEEL PIPE
212	1194" GALV. STEEL PIPE
213	1200" GALV. STEEL PIPE
214	1206" GALV. STEEL PIPE
215	1212" GALV. STEEL PIPE
216	1218" GALV. STEEL PIPE
217	1224" GALV. STEEL PIPE
218	1230" GALV. STEEL PIPE
219	1236" GALV. STEEL PIPE
220	1242" GALV. STEEL PIPE
221	1248" GALV. STEEL PIPE
222	1254" GALV. STEEL PIPE
223	1260" GALV. STEEL PIPE
224	1266" GALV. STEEL PIPE
225	1272" GALV. STEEL PIPE
226	1278" GALV. STEEL PIPE
227	1284" GALV. STEEL PIPE
228	1290" GALV. STEEL PIPE
229	1296" GALV. STEEL PIPE
230	1302" GALV. STEEL PIPE
231	1308" GALV. STEEL PIPE
232	1314" GALV. STEEL PIPE
233	1320" GALV. STEEL PIPE
234	1326" GALV. STEEL PIPE
235	1332" GALV. STEEL PIPE
236	1338" GALV. STEEL PIPE
237	1344" GALV. STEEL PIPE
238	1350" GALV. STEEL PIPE
239	1356" GALV. STEEL PIPE
240	1362" GALV. STEEL PIPE
241	1368" GALV. STEEL PIPE
242	1374" GALV. STEEL PIPE
243	1380" GALV. STEEL PIPE
244	1386" GALV. STEEL PIPE
245	1392" GALV. STEEL PIPE
246	1398" GALV. STEEL PIPE
247	1404" GALV. STEEL PIPE
248	1410" GALV. STEEL PIPE
249	1416" GALV. STEEL PIPE
250	1422" GALV. STEEL PIPE
251	1428" GALV. STEEL PIPE
252	1434" GALV. STEEL PIPE
253	1440" GALV. STEEL PIPE
254	1446" GALV. STEEL PIPE
255	1452" GALV. STEEL PIPE
256	1458" GALV. STEEL PIPE
257	1464" GALV. STEEL PIPE
258	1470" GALV. STEEL PIPE
259	1476" GALV. STEEL PIPE
260	1482" GALV. STEEL PIPE
261	1488" GALV. STEEL PIPE
262	1494" GALV. STEEL PIPE
263	1500" GALV. STEEL PIPE
264	1506" GALV. STEEL PIPE
265	1512" GALV. STEEL PIPE
266	1518" GALV. STEEL PIPE
267	1524" GALV. STEEL PIPE
268	1530" GALV. STEEL PIPE
269	1536" GALV. STEEL PIPE
270	1542" GALV. STEEL PIPE
271	1548" GALV. STEEL PIPE
272	1554" GALV. STEEL PIPE
273	1560" GALV. STEEL PIPE
274	1566" GALV. STEEL PIPE
275	1572" GALV. STEEL PIPE
276	1578" GALV. STEEL PIPE
277	1584" GALV. STEEL PIPE
278	1590" GALV. STEEL PIPE
279	1596" GALV. STEEL PIPE
280	1602" GALV. STEEL PIPE
281	1608" GALV. STEEL PIPE
282	1614" GALV. STEEL PIPE
283	1620" GALV. STEEL PIPE
284	1626" GALV. STEEL PIPE
285	1632" GALV. STEEL PIPE
286	1638" GALV. STEEL PIPE
287	1644" GALV. STEEL PIPE
288	1650" GALV. STEEL PIPE
28	



① FIRST FLOOR NEW WORK PLAN



② FIRST FLOOR DEMOLITION PLAN

REVISIONS:

REVISIONS:
1. REVISED TO REFLECT THE CITY OF SHEBOYGAN DPW RENOVATION PROJECT. ALL DIMENSIONS AND MATERIALS TO BE AS SHOWN UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

MOTOR STARTER & ELECTRICAL CONNECTIONS															
TAG	EQUIPMENT TAG	LOCATION	MOTOR DATA				ELECTRICAL DATA				MATERIALS & CONNECTIONS			NOTES	
			HP	VOLTS	PHASES	AMPS	WIRING	TERMINALS	CONDUIT	TRAY	WIRING	TERMINALS	CONDUIT		
MS101	ROOF TOP UNIT	ROOF	1/2	230	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
MS102	ENERGY RECOVERY VENTILATOR	ROOF	1/2	230	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	

GRILLES, REGISTERS, & DIFFUSERS															
TAG	EQUIPMENT TAG	LOCATION	GRILLE DATA				REGISTER DATA				MATERIALS & CONNECTIONS			NOTES	
			SIZE	TYPE	FINISH	OPERATION	SIZE	TYPE	FINISH	OPERATION	WIRING	TERMINALS	CONDUIT		
GR101	ROOF TOP UNIT	ROOF	12"	12"	ALUMINUM	FIXED	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
GR102	ENERGY RECOVERY VENTILATOR	ROOF	12"	12"	ALUMINUM	FIXED	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	

EQUIPMENT SUPPORT COORDINATION										
TAG	EQUIPMENT TAG	LOCATION	SUPPORT COORDINATION				EQUIPMENT DATA			NOTES
			TYPE	LOCATION	HEIGHT	WIDTH	TYPE	LOCATION	HEIGHT	
MS101	ROOF TOP UNIT	ROOF	ROOF CURB	ROOF	10'	12"	12"	12"	12"	
MS102	ENERGY RECOVERY VENTILATOR	ROOF	ROOF CURB	ROOF	10'	12"	12"	12"	12"	

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

ROOFTOP UNITS														
TAG	SERIES	UNIT DATA				ENERGY RECOVERY DATA				MATERIALS & CONNECTIONS				NOTES
		TYPE	SIZE	PHASES	AMPS	TYPE	SIZE	PHASES	AMPS	WIRING	TERMINALS	CONDUIT	TRAY	
RU101	ROOF TOP UNIT	ROOF	12"	12"	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
RU102	ENERGY RECOVERY VENTILATOR	ROOF	12"	12"	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	

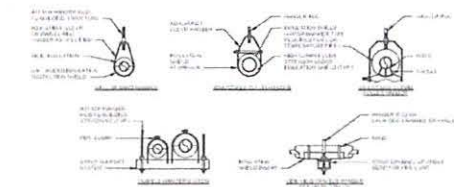
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

ENERGY RECOVERY VENTILATOR														
TAG	SERIES	LOCATION	UNIT DATA				ENERGY RECOVERY DATA				MATERIALS & CONNECTIONS			
			TYPE	SIZE	PHASES	AMPS	TYPE	SIZE	PHASES	AMPS	WIRING	TERMINALS	CONDUIT	TRAY
ERV101	ENERGY RECOVERY VENTILATOR	ROOF	12"	12"	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
ERV102	ENERGY RECOVERY VENTILATOR	ROOF	12"	12"	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	

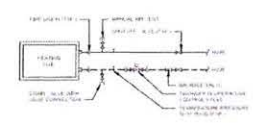
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

BOOSTER COILS														
TAG	SERIES	LOCATION	UNIT DATA				BOOSTER COIL DATA				MATERIALS & CONNECTIONS			
			TYPE	SIZE	PHASES	AMPS	TYPE	SIZE	PHASES	AMPS	WIRING	TERMINALS	CONDUIT	TRAY
BC101	BOOSTER COIL	ROOF	12"	12"	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	
BC102	BOOSTER COIL	ROOF	12"	12"	3	1.5	14	1/2"	1/2"	1/2"	1/2"	1/2"	1/2"	

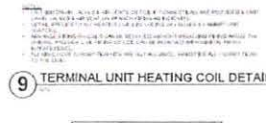
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



8 PIPE HANGERS & SUPPORTS DETAIL



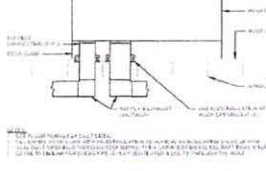
5 RUBBER SUPPORT RAIL DETAIL



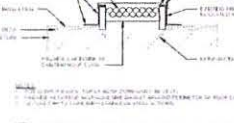
9 TERMINAL UNIT HEATING COIL DETAIL



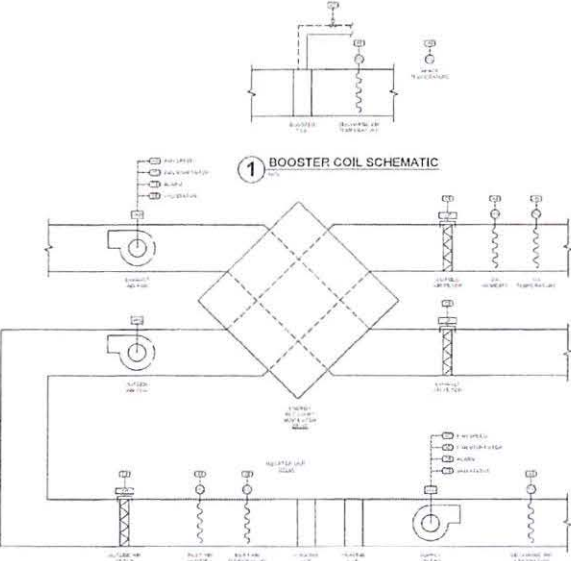
6 CONDENSATE DRAIN TRAP DETAIL



10 ROOF MOUNTED ROOFTOP UNIT DETAIL

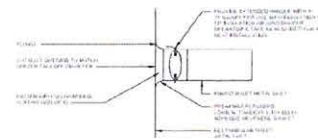


7 EXISTING ROOF CURB CAP DETAIL

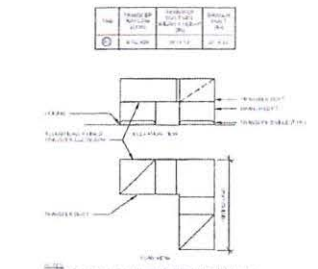


1 BOOSTER COIL SCHEMATIC

2 ROOFTOP UNIT & ENERGY RECOVERY VENTILATOR SCHEMATIC



3 ROUND DUCT TAP CONNECTION DETAIL



4 TRANSFER DUCT DETAIL



RELATIONAL ARCHITECTURE

Addendum #1

Date: October 15th, 2019

City Of Sheboygan DPW Renovation

2026 New Jersey Ave
Sheboygan, WI 53081

Abacus Architects, Inc. Project No. 2019-22

This addendum is issued to explain, modify or correct the original Specifications and drawings and is hereby made a part of the contract Documents. This addendum must be attached to the specifications in your possession.

Pre-Bid Walkthrough

Add: Sign in sheet of bidders present at pre-bid walkthrough 10-11-19.

End of Addendum No. 1

CITY OF SHEBOYGAN
 REQUEST FOR BIDS #1974-19
 MUNICIPAL SERVICE BUILDING
 SHOWER AND BATH IMPROVEMENTS
 MANDATORY PRE-BID SIGN-IN SHEET
 OCTOBER 11, 2019 9:00 AM

COMPANY	NAME	PHONE	EMAIL
IMMEL	JOE GRANEY	920-406-0123	BIDS@IMMEL-BUILDS.COM
Mike Koenig Const.	Richard Peterson	920-467-0923	richardp@mikekoenigconstruction.com
THE PIEPER ELECT	Tony Dohr	920-312-6156	Tony.DOHR@PIEPERPOWER.COM
A. Chappa Const.	Lance Hacker	920-467-2212	lance@achappaconstruction.com
ACE Building Service	Kyle Reuter	920-682-6105	Kreuter@acbuilding-service.com
Groeschel Co	Chris Aldag	920-979-8745	chrisa@groeschelco.com
Cardinal	Mike Desterbule	920 922 4446	Mike@CardinalConstructionCo.com
Hackick Plumbing	Tony Weigert	920 892-6601	TonyWeigert@HackickPlumbing.com
J: H Contracs	TIM HACK	920-517-2125	THACK@JHCONTRACS.COM
Ben Steiner	Jess. Schmitt Const.	920 446 3905	Bstelmur@jschmitt.cc

CITY OF SHEBOYGAN
REQUEST FOR BIDS #1974-19
MUNICIPAL SERVICE BUILDING
SHOWER AND BATH IMPROVEMENTS
MANDATORY PRE-BID SIGN-IN SHEET
OCTOBER 11, 2019 9:00 AM

COMPANY	NAME	PHONE	EMAIL
JOS SCHMITT	STEVE SCHMITT	920 946-0991	sschmitt@joschmitt.com
SHOWCASE PAINTING	MICHAEL GABRIEL	(920) 207-6262	MGABRIEL@SHOWCASEPAINTING.NET
EDGEWATER PLUMBING	ADAM SCHMITZ	(920) 334-5535	adam@edgewaterplumbingllc.com
SCHAUS MECHANICAL	ROCK GOLLATA	920 684-5559	rigollata@schausme.com
J&H CONTROLS	MARK HAWLEY	920.322.8470	MHAWLEY@JHCONTROLS.COM
Aldag Harold Mech.	Tyler Abel	920-458-5558	tyler_a@aldagharold.com
ZEISE CONSTRUCTION	BOB GRETZINGER	920-437-5126	BOB@ZEISECONSTRUCTION.COM



Addendum #2

Date October 16, 2019

City Of Sheboygan DPW Renovation
2026 New Jersey Ave
Sheboygan, WI 53081

Abacus Architects, Inc. Project No. 2019-22

This addendum is issued to explain, modify or correct the original Specifications and drawings and is hereby made a part of the contract Documents. This addendum must be attached to the specifications in your possession.

Bid Clarification

STRUCTURAL

Clarify: New roof top unit support. See attached drawing.

HVAC

Q: Several of the supply and exhaust diffusers/grilles do not have designations or CFMs listed:

A: See the cover page for the symbols and abbreviation describing the typical notation for multiple grilles.

Q: Would it be possible to use the existing supply opening in the roof for the new supply drop?

A: This is acceptable as long as the unit is located at least 10'-0" away from the roof to avoid the need for guardrails at the edge of the roof.

Q: Control specifications are not included in the Construction Documents.

A: Controls specifications are provided on M000.

Q: Are controls through the Mechanical Contractor or is the Control Contractor bidding directly to the Owner. If controls are through the Mechanical Contractor, can you provide a specification with manufacturers and/or control contractors?

A: Controls specifications are provided on M000 and are part of the Mechanical Contractors scope of work. J&H Controls provides the controls work for the facility.

Q: Please provide a list of acceptable manufactures for all listed equipment.

A: RTUs – Trane, Carrier, McQuay, JCI, Aaon.

ERV – Renewaire, Greenheck.

Booster Coils – Trane, Carrier, McQuay, JCI, Greenheck.

Grilles – Open to any manufacturer meeting the scheduled data.



Alternative manufacturers can be submitted during the bidding period (not during the submittal process) for approval if desired.

Specifications

Sheet A901-General Building Specifications

Division 10 Specialties

Delete: Delete H.

Clarify: A. Scranton Products (HDPE) bathroom partitions.

Drawings

Sheet A101 – TITLE SHEET

Add: Add Wall Type "B" See Drawing.

Sheet A301 – PARTIAL FIRST FLOOR DEMOLITION PLAN, PARTIAL FIRST FLOOR PLAN, DEMOLITION NOTES, FLOOR PLAN NOTES, AND GENERAL PLAN NOTES

Partial First Floor Plan – Demolition plan 1/A301

Clarify: Clarify cut opening dimension. See drawing.

Partial First Floor Plan – 2/A301

Add: Add metal stud wall in Woman's Toilet 105. See drawing.

Add: Add fire extinguisher in Existing Locker Room 102 and Women's Toilet 105. See drawing.

Floor Plan Keynotes

Add: Add keynote no. 5 – fire extinguisher – by owner.

General Demo Plan notes

Add: Add note to patch and repair duct opening(s) between toilet rooms. See drawing.

Sheet A302 – PARTIAL REFLECTED CEILING PLAN, PARTIAL DEMOLITION ROOF PLAN, ROOM FINISH SCHEDULE, DOOR SCHEDULE, PAINT TYPE AND DETAILS

Partial Reflected Ceiling Plan 1/A302



- Clarify:** Clarify ceiling material in rooms 103, 104A, 104B, 105 and 106. See drawing.
- Add:** Add Sound Attenuation to Women's Locker 104A, and Showers 104B and 104C. See drawing.

Head/Jamb Detail 2/A302

- Clarify:** Clarify steel lintel sizing to W8X10 w/ 1/4" bottom plate. See drawing.

Partial Demolition Roof Plan 3/A302

- Add:** Added note to clarify all cutting and patching to accommodate new construction is done by owner. See drawing.

Room Finish Schedule

- Clarify:** Clarify base material, wall finish/materials ceiling materials and door remarks. See drawing.

Room finish remarks

- Add:** Added No. 3 remark to room finish remark. See drawing.

Sheet A303 - ENLARGED TOILET/LOCKER/SHOWER ROOM PLANS, TOILET ROOM ELEVATIONS, TOILET ROOM ACCESSORIES AND DETAILS

Enlarged Toilet/Locker/Shower Room 1/A303

- Revise:** Revised CMU thickness on south wall of Women's Shower 104C, which allowed ADA bench to be 42." See drawing.
- Add:** Add toilet paper dispensers in toilet stalls. See drawing.
- Add:** Add metal stud wall in woman's toilet 105, and tagged wall type "B." See drawing.
- Add:** Add room tag in men's and women's shower. See drawing.

Toilet Room Elevations

- Add:** Add toilet paper dispenser 15" min from finished floor. See drawing.

Toilet Room Elevations 2/A303



Clarify: Clarify countertop material to be solid surface – price color B. See drawing.

Accessible Signage Detail

Add: Add note accessible signage by owner. See Drawing.

Accessible Transfer shower detail 8/A303

Clarify: Clarify ADA shower stall dimension is 3'-0" finish wall to wall. See Drawing.

Toilet Room Keynotes

Add: Add keynote 9- toilet paper dispenser. See Drawing

Drawings – Mechanical

Sheet M300 – Schedules & Details

Motor Starter & Electrical Connection Schedule:

Revise: Revise ERV-1 & RTU-1 electrical data to be 480V/3phase. See drawing.

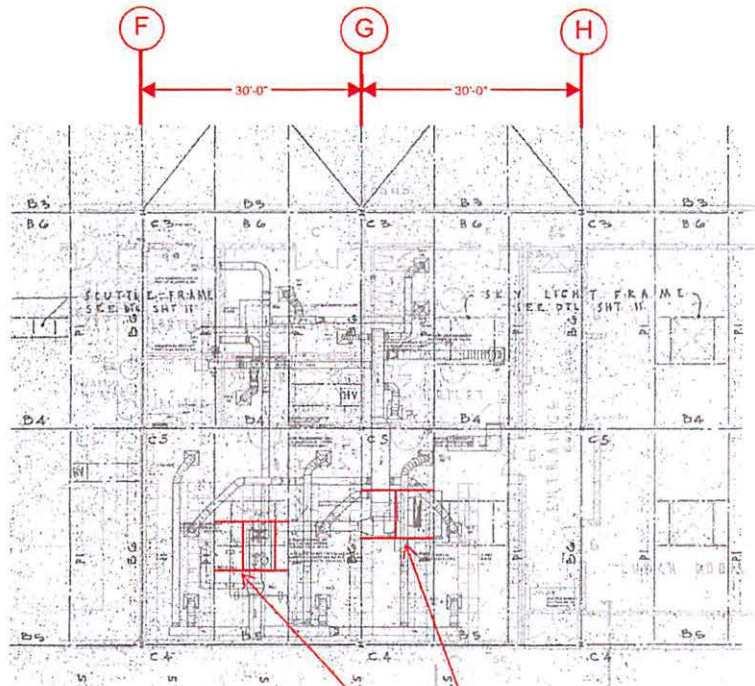
Drawings – Electrical

Sheet E200 – Schedules & Details

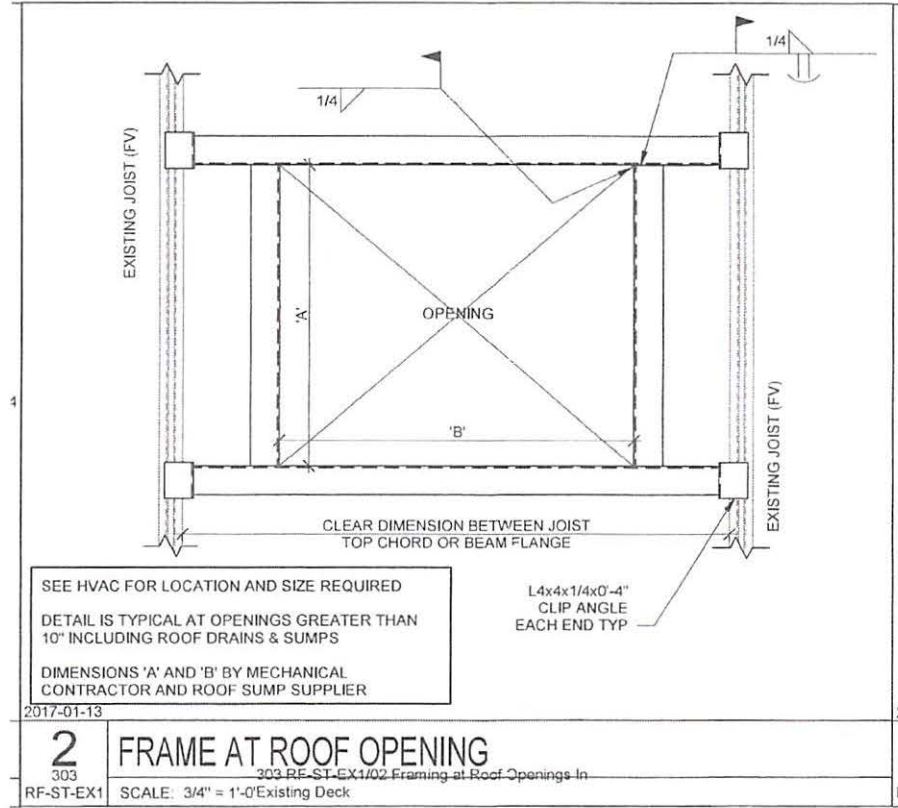
Motor Schedule:

Revise: Revise ERV-1 & RTU-1 electrical data to be 480V/3phase. See drawing.

End of Addendum No. 2



L5X3X1/4 (LLV) FRAME
TYPICAL AT RTU-1 AND
ERV-1



SHEBOYGAN DPW NEW RTU SUPPORT
09-10-19 MTB

FLOOR PLAN KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1 | REMOVE EXISTING WALL OPENING WITH CONSTRUCTION TO MATCH EXISTING EXISTING NEW SURFACE FINISH WITH EXISTING ADJACENT SURFACES |
| 2 | REMOVE LOCKERS BY OWNER |
| 3 | NEW CONCRETE FLOOR TO MATCH EXISTING |
| 4 | WALL HEIGHT 8'-0"; BULL HORN CAUTION LIGHTS |
| 5 | FIRE EXTINGUISHER BY OWNER |

GENERAL PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.

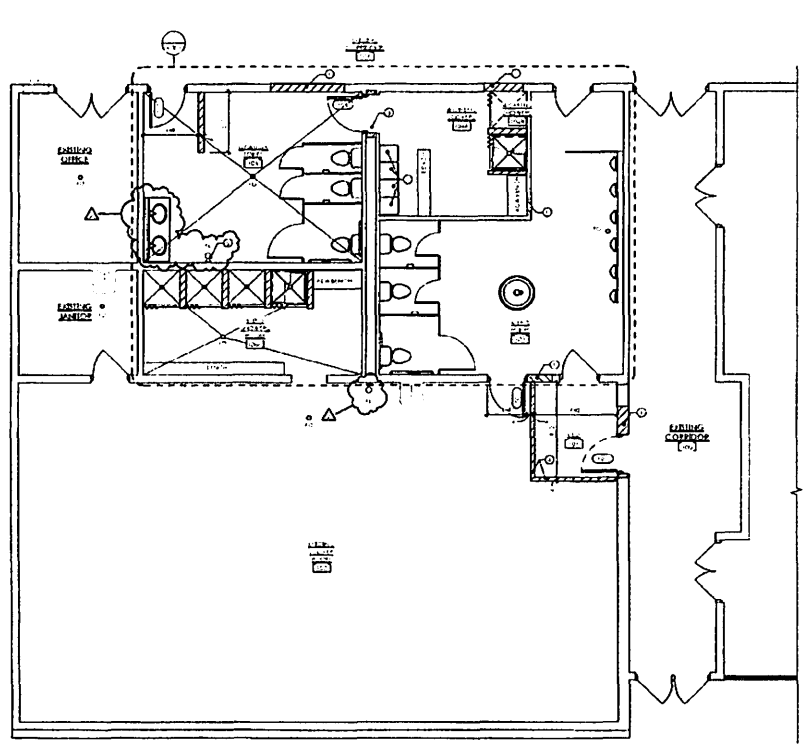
GENERAL DEMO PLAN NOTES

1. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
3. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
5. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF SHEBOYGAN STANDARD SPECIFICATIONS FOR CONSTRUCTION.

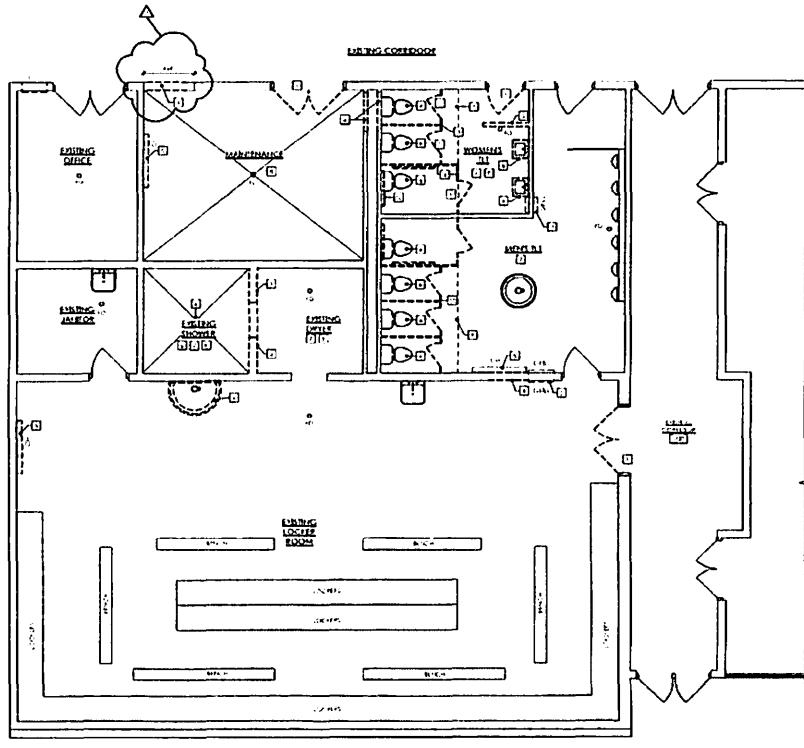
DEMOLITION PLAN KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1 | REMOVE EXISTING DOOR & FRAME EVERYWHERE. SALVAGE FOR REUSE. PREP ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION. |
| 2 | REMOVE EXISTING GIBBY PATCH TO MATCH EXISTING |
| 3 | REMOVE EXISTING WALL AND PREP ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION |
| 4 | PLUMBING IN EXISTING WALL FOR NEW CONSTRUCTION. PREP ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION. |
| 5 | REMOVE CARBIDE HEATER |
| 6 | REMOVE EXISTING PLUMBING FITURE. PREPARE FOR NEW CONSTRUCTION |
| 7 | REMOVE EXISTING CEILING ASSEMBLY & LIGHT FIXTURES |
| 8 | REMOVE FLOOR FINISH & BASE TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH PLUMBING |
| 9 | REMOVE EXISTING SOFFIT TO ACCOMMODATE NEW CONSTRUCTION |
| 10 | REMOVE TOILET PARTITION, GRAB BARS AND ACCESSORIES IN EXISTING TOILET ROOM |

NOTE:
SEE PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION



PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
N
W
E
S



PARTIAL FIRST FLOOR-DEMOLITION PLAN
SCALE: 1/4" = 1'-0"
N
W
E
S



REVISIONS:
ADD 8-7-2019/2019

PROJECT:
CITY OF SHEBOYGAN DPW RENOVATION
2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
1125A WISCONSIN AVE. SHEBOYGAN, WI 53081
PHONE: 920.455.4444 | 225 EAST ST. PALM AVE. SHEBOYGAN, WI 53081

LOCKER ROOM RENOVATIONS
CITY OF SHEBOYGAN DPW RENOVATION
2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
1125A WISCONSIN AVE. SHEBOYGAN, WI 53081
PHONE: 920.455.4444 | 225 EAST ST. PALM AVE. SHEBOYGAN, WI 53081

DRAWN BY: CRP
CHECKED BY: KED

A
301

PROJ. NO. 2019-22

BID SET

ROOM FINISH SCHEDULE											
NO.	ROOM	FLOOR	BASE	WALL FINISH / MATERIAL						WOOD TRIM	REMARKS
				NORTH	EAST	SOUTH	WEST	CEILING	CIBUNG HEIGHT		
100	EXISTING CORRIDOR	EXIST	FTB	-	EXIST	EXIST	FT	EXIST	-	EXIST	3
101	VEST	EXIST	FTB	PT	PT	P-5	P-5	ACT-2	8'-4"	P-1	1,2,3
102	EXISTING LOCKER ROOM	EXIST	EXIST	P-5/EXIST	P-5	-	-	EXIST	EXIST	P-1	1,2
103	MEN'S TOILET	EXIST	EXIST	P-7/SGT	EXIST P1/SGT	SGT	SGT/P-3	ACT-2	8'-2"	P-1	1,3
104A	WOMEN'S LOCKERS	PQ	FTB	P-7/PT	P-7	P-7	EXIST SGT	ACT-2	8'-2"	P-1	1
104B	WOMEN'S SHOWERS	PT	FTB	PT	PT	-	-	ACT-2	8'-2"	P-1	1
104C	WOMEN'S SHOWERS ROOM	PT	FTB	PT	PT	-	-	ACT-2	8'-2"	P-1	1
105	MEN'S TOILET	PQ	FTB	P-5/P-7	P-7	P-7	P-5/P-7	ACT-2	8'-2"	P-1	1
106A	MEN'S SHOWERS ROOM	PT	PQ	EXIST SGT	EXIST SGT	EXIST SGT	EXIST SGT	ACT-2	8'-2"	-	3
106B	MEN'S SHOWER	PT	FTB	P-7	P-7	P-7	P-7	ACT-2	8'-2"	-	-
106C	MEN'S SHOWER	PT	FTB	PT	PT	-	-	ACT-2	8'-2"	-	-
106D	MEN'S SHOWER	PT	FTB	PT	PT	-	-	ACT-2	8'-2"	-	-
106E	MEN'S SHOWER	PT	FTB	PT	PT	-	-	ACT-2	8'-2"	-	-
107	EXISTING CORRIDOR	-	-	-	-	P-5/P-7	-	-	-	P-1	-

ROOM FINISH REMARKS	
NO.	DESCRIPTION
1	PATCH AND REPAIR EXISTING FLOOR AND BASE TO MATCH EXISTING AT AREAS OF CONSTRUCTION.
2	STRUCTURAL GLAZED FACING TILE (WOOD TO BE PAINTED)

ROOM FINISH LEGEND	
KEY	DESCRIPTION
ACT-2	ACOUSTIC CEILING TILE - 24" x 24"
ACT-2	WALL PAINTED GYP/PLUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CP	CABINET
ES	EXPOSED STRUCTURE
EF	EXISTING FINISH
GYP	GYP/PLUM BOARD
HM	HEAVY METAL
P	PAINT FINISH
PQ	POURED CONCRETE
PT	PORTLAND CEMENT
PFB	FORCELAIN TILE BASE
SC	SEALED CONCRETE
SGT	STRUCTURAL GLAZED FACING TILE
VB	VINYL BASE
VCT	VINYL COMPOUND TILE
WD	WOOD

REFLECTED CEILING PLAN LEGEND	
	7'-6" x 7'-6" SQUARE
	EXISTING FINISH

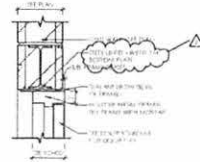
DOOR SCHEDULE											
DOOR NO.	DOOR SIZE	ELEV.	MATERIAL	GLASS TYPE	HARDWARE SET NO.	FRAME			JAMB	TYPE RATING	REMARKS
						ELEV.	MATERIAL	DEPTH			
101	3'-0" x 7'-0"	D-1	HM	-	BY CWBEN	F-1	HM	5.5/4	2/A302	2/A302	
102	3'-0" x 7'-0"	D-1	HM	-	BY CWBEN	F-1	HM	5.5/4	2/A302	2/A302	
103	3'-0" x 7'-0"	D-1	HM	-	BY CWBEN	F-1	HM	5.5/4	2/A302	2/A302	
105	3'-0" x 7'-0"	D-1	HM	-	BY CWBEN	F-1	HM	5.5/4	2/A302	2/A302	



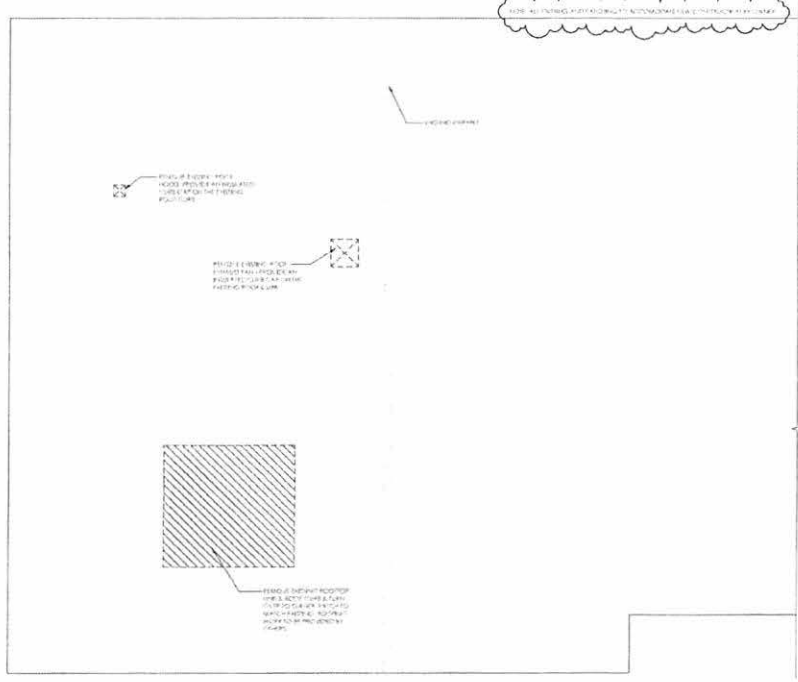
D-1
DOOR TYPES
SCALE: 1/2" = 1'-0"



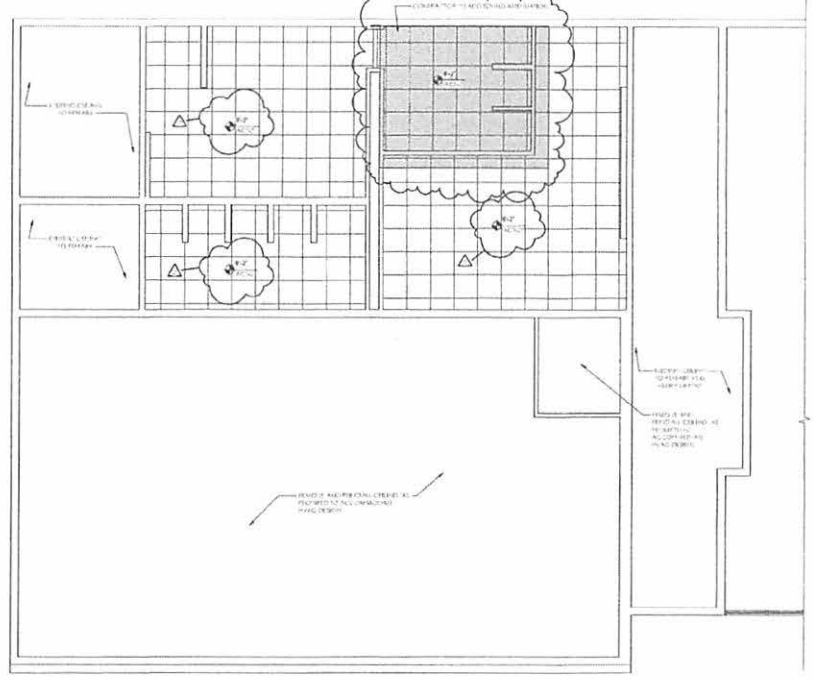
F-1
FRAME TYPE
SCALE: 1/2" = 1'-0"



HEAD/JAMB DETAIL
SCALE: 1 1/2" = 1'-0" (A 302)



PARTIAL DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0" (A 302)



PARTIAL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" (A 302)

ABACUS ARCHITECTS

REVISIONS:
ADD. # 2 - 10/16/2019

LOCKER ROOM RENOVATIONS
CITY OF SHEBOYGAN DPW RENOVATION
2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
1338A MICHIGAN AVE. SHEBOYGAN, WI 53081 920.444.4444 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 414.937.4450

DRAWN BY: GKP
CHECKED BY: KED
A 302
PROJ. NO. 2019-22

GENERAL BUILDING SPECIFICATIONS

DIVISION I GENERAL B.C.
 DIVISION 3 CONCRETE
 DIVISION 5 FINISHES
 DIVISION 6 SPECIALTIES
 DIVISION 10 REVISIONS:



ABACUS
 ARCHITECTS

ARCHITECTS

REVISIONS:
 ADD # 2 - 11/11/2019

ADD # 1 - 11/11/2019

LOCKER ROOM RENOVATIONS
 11/11/2019

CITY OF SHERBOYGAN DPW RENOVATION
 11/11/2019

11/11/2019

CREATED BY
 CHECKED BY

901
 A

PROJ. NO. 2019-22

DIVISION 8 DOORS & WINDOWS

801.1 SUMMARY
 A. Section Includes
 1. Exterior Doors
 2. Interior Doors
 3. Windows
 4. Window Treatments

801.2 RELATED SECTIONS
 A. Masonry
 B. Carpentry

801.3 MATERIALS
 A. Exterior Doors
 1. Solid Core
 2. Hollow Core
 3. Fiberglass
 B. Interior Doors
 1. Solid Core
 2. Hollow Core
 3. Fiberglass
 C. Windows
 1. Aluminum
 2. Wood
 3. Fiberglass
 4. Steel
 D. Window Treatments
 1. Blinds
 2. Shades
 3. Curtains
 4. Drapes

DIVISION 7 THERM & MOIST

701.1 SUMMARY
 A. Section Includes
 1. Thermal Insulation
 2. Vapor Barriers
 3. Moisture Protection

701.2 RELATED SECTIONS
 A. Masonry
 B. Carpentry
 C. Drywall

701.3 MATERIALS
 A. Thermal Insulation
 1. Fiberglass
 2. Polystyrene
 3. Polyisocyanurate
 B. Vapor Barriers
 1. Polyethylene
 2. Polybutylene
 C. Moisture Protection
 1. Membrane
 2. Sealant

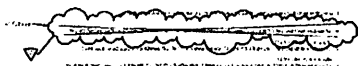
DIVISION 4 MASONRY

401.1 SUMMARY
 A. Section Includes
 1. Masonry
 2. Mortar
 3. Grout
 4. Scaffolding

401.2 RELATED SECTIONS
 A. Foundation
 B. Carpentry
 C. Drywall
 D. Painting

401.3 MATERIALS
 A. Masonry
 1. Brick
 2. Block
 3. Stone
 B. Mortar
 1. Type S
 2. Type M
 C. Grout
 1. Type S
 2. Type M
 D. Scaffolding
 1. Aluminum
 2. Steel

401.4 EXECUTION
 A. Masonry
 1. Lay out masonry on level surface
 2. Establish vertical control
 3. Lay out masonry on level surface
 4. Lay out masonry on level surface
 5. Lay out masonry on level surface
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 100. Lay out masonry on level surface



MOTOR STARTER & ELECTRICAL CONNECTIONS															
TAG	EQUIPMENT TAG	VOLTAGE	MOTOR DATA					MOTOR CHARACTERISTICS					NOTES		
			HP	AMP	FLA	FLA	FLA	PHASES	TYPE	INSULATION CLASS	TEMP. RISE	TEMP. RISE		TEMP. RISE	
1001	ROOFTOP UNIT	208V	1/2	1.2	1.8	1.8	3	TEFC	180	180	180	3	1	1	1
1002	ENERGY RECOVERY VENTILATOR	208V	1/2	1.2	1.8	1.8	3	TEFC	180	180	180	3	1	1	1
1003	BOOSTER COIL	208V	1/2	1.2	1.8	1.8	3	TEFC	180	180	180	3	1	1	1

EQUIPMENT SUPPORT COORDINATION									
TAG	EQUIPMENT TAG	EQUIPMENT	SUPPORT			COORDINATION			
			TYPE	LOCATION	HEIGHT	WIND	SEISMIC	LOAD	NOTES
1001	ROOFTOP UNIT	ROOFTOP UNIT	ROOF	ROOF	10'	WIND	SEISMIC	LOAD	SEE SPECIFICATIONS
1002	ENERGY RECOVERY VENTILATOR	ENERGY RECOVERY VENTILATOR	ROOF	ROOF	10'	WIND	SEISMIC	LOAD	SEE SPECIFICATIONS

1. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
3. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SHEBOYGAN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND STANDARDS.

GRILLES, REGISTERS, & DIFFUSERS														
TAG	EQUIPMENT TAG	TYPE	SIZE	MATERIAL	FINISH	INSTALLATION	COORDINATION			NOTES				
							HEIGHT	WIND	SEISMIC					
1004	ROOFTOP UNIT	ROOFTOP UNIT	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				
1005	ENERGY RECOVERY VENTILATOR	ENERGY RECOVERY VENTILATOR	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				

1. ALL GRILLES, REGISTERS, & DIFFUSERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

ROOFTOP UNITS														
TAG	EQUIPMENT TAG	TYPE	SIZE	MATERIAL	FINISH	INSTALLATION	COORDINATION			NOTES				
							HEIGHT	WIND	SEISMIC					
1001	ROOFTOP UNIT	ROOFTOP UNIT	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				
1002	ENERGY RECOVERY VENTILATOR	ENERGY RECOVERY VENTILATOR	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				

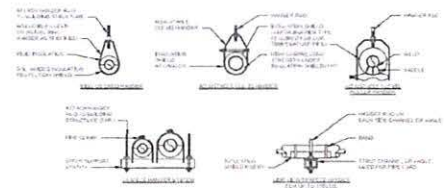
1. ALL ROOFTOP UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. ALL ROOFTOP UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
3. ALL ROOFTOP UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SHEBOYGAN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND STANDARDS.

ENERGY RECOVERY VENTILATOR														
TAG	EQUIPMENT TAG	TYPE	SIZE	MATERIAL	FINISH	INSTALLATION	COORDINATION			NOTES				
							HEIGHT	WIND	SEISMIC					
1002	ENERGY RECOVERY VENTILATOR	ENERGY RECOVERY VENTILATOR	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				
1003	BOOSTER COIL	BOOSTER COIL	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				

1. ALL ENERGY RECOVERY VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

BOOSTER COILS														
TAG	EQUIPMENT TAG	TYPE	SIZE	MATERIAL	FINISH	INSTALLATION	COORDINATION			NOTES				
							HEIGHT	WIND	SEISMIC					
1003	BOOSTER COIL	BOOSTER COIL	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				
1004	ROOFTOP UNIT	ROOFTOP UNIT	18" x 18"	ALUMINUM	PAINTED	ROOF	10'	WIND	SEISMIC	LOAD				

1. ALL BOOSTER COILS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.



8 PIPE HANGERS & SUPPORTS DETAIL

9 TERMINAL UNIT HEATING COIL DETAIL

10 ROOF MOUNTED ROOFTOP UNIT DETAIL

1 BOOSTER COIL SCHEMATIC

3 ROUND DUCT TAP CONNECTION DETAIL

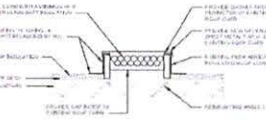
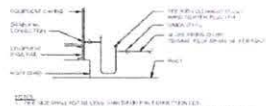
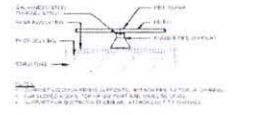
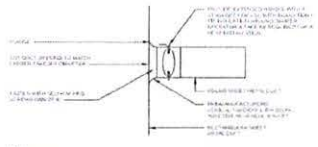
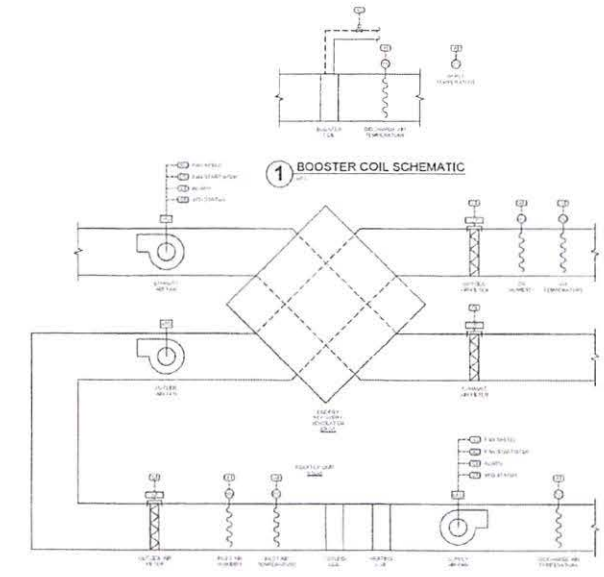
5 RUBBER SUPPORT RAIL DETAIL

6 CONDENSATE DRAIN TRAP DETAIL

7 EXISTING ROOF CURB CAP DETAIL

2 ROOFTOP UNIT & ENERGY RECOVERY VENTILATOR SCHEMATIC

4 TRANSFER DUCT DETAIL





REVISIONS:
 1. 11/15/2017
 2. 11/15/2017

DATE: 11/15/2017
 TIME: 10:00 AM
 PROJECT: SHEBOYGAN DPW RENOVATION
 DRAWING NO: 200

STATE DATE: AUGUST 29, 2017
 LOCKER ROOM RENOVATION
 SHEBOYGAN DPW RENOVATION
 2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
 1135A HOCHEMAY AVE. SHEBOYGAN, WI 53081 (202) 432-4444
 232 EAST PULASKI AVE. MILWAUKEE, WI 53222 (414) 937-4450

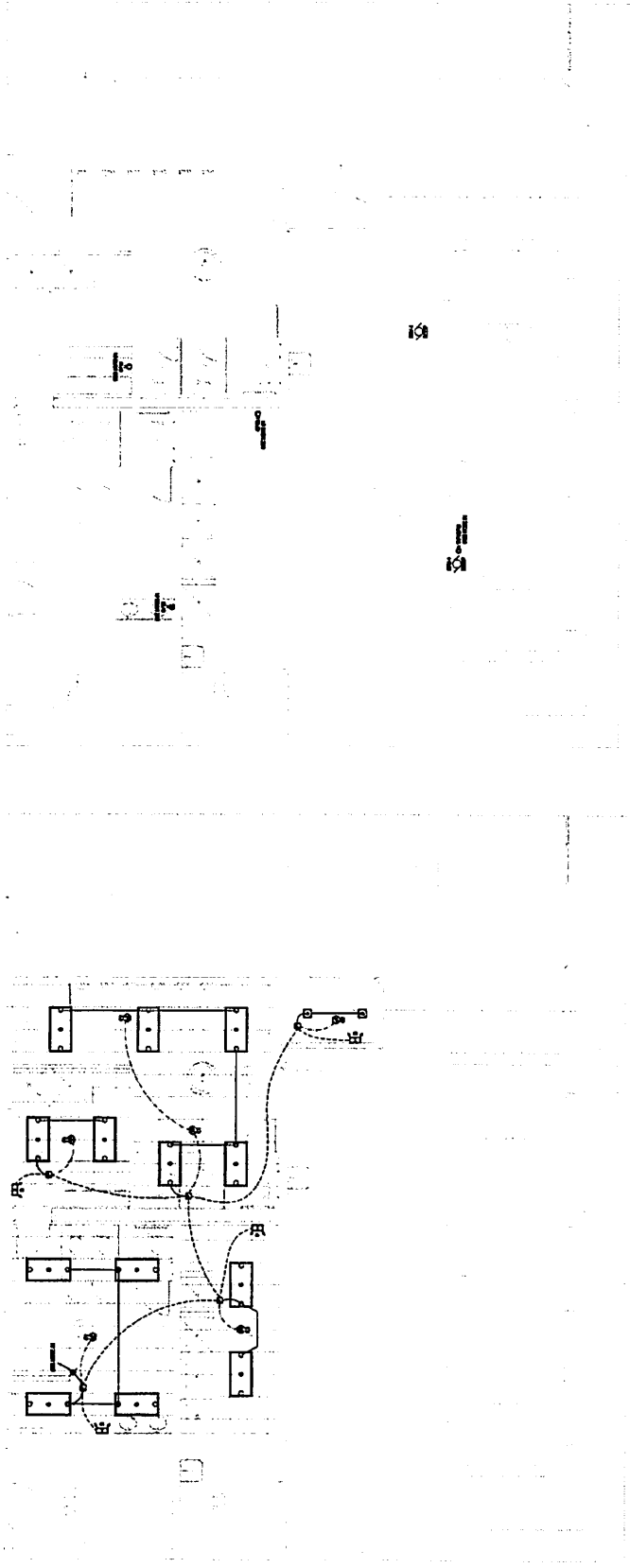
DRAWN BY: J.A.S.
 CHECKED BY: D.B.A.

E
 200

PROJ. NO. 19063



DATE: 07/20/17
 ENGINEER: D.B.A.
 ARCHITECT: J.A.S.
 PROJECT: SHEBOYGAN DPW RENOVATION
 DRAWING NO: 200



PARTIAL FIRST FLOOR POWER PLAN

PARTIAL FIRST FLOOR LIGHTING PLAN

NOTE:
 1. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 2. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.
 3. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE CODES.

FIXTURE SCHEDULE

NO.	SYMBOL	TYPE	MANUFACTURER	MODEL	WATTAGE	VOLTS	PHASE	HEIGHT	FINISH	REMARKS
1	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
2	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
3	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
4	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
5	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
6	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
7	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
8	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
9	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM
10	FL	FLUORESCENT	OSRAM	40W	40	120	1	8'	AL	LOCKER ROOM

MOTOR SCHEDULE

NO.	SYMBOL	TYPE	MANUFACTURER	MODEL	HP	VOLTS	PHASE	HEIGHT	REMARKS
1	M	MOTOR	TECO	1/2 HP	1/2	120	1	8'	LOCKER ROOM
2	M	MOTOR	TECO	1/2 HP	1/2	120	1	8'	LOCKER ROOM



Addendum #3

Date October 18, 2019

City Of Sheboygan DPW Renovation

2026 New Jersey Ave
Sheboygan, WI 53081

Abacus Architects, Inc. Project No. 2019-22

This addendum is issued to explain, modify or correct the original Specifications and drawings and is hereby made a part of the contract Documents. This addendum must be attached to the specifications in your possession.

Bid Clarification

HVAC

- Clarify: Q: Control specifications are not included in the Construction Documents.
 A: Controls specifications are provided on M000 to provide scope of work. Actual contract shall be directly through Owner.

Drawings

Sheet A101 – TITLE SHEET

Architect Title

Add: Add sheet A304 Partial Finished Finish Floor Plan.

HVAC TITLE

Add: Add sheet M101 First Floor New Work Plan – Alternate.

Sheet A301 – PARTIAL FIRST FLOOR DEMOLITION PLAN, PARTIAL FIRST FLOOR PLAN, DEMOLITION NOTES, FLOOR PLAN NOTES, AND GENERAL PLAN NOTES

Partial First Floor Plan – 2/A301

- Revised:** Revise door 104 and 105. See sheet 2/A301.
- Clarify:** Clarify ADA bench in Men's Shower Room 106A. See sheet 2/A301.
- Revised:** Revised Women's toilet and Men's toilet ADA stall door. See sheet 2/A301.



Delete: Delete one stall in women's toilet. See sheet 2/A301.

Floor Plan Keynotes

Revised: Revised keynote no. 1. See sheet A/301.

Sheet A302 – PARTIAL REFLECTED CEILING PLAN, PARTIAL DEMOLITION ROOF PLAN, ROOM FINISH SCHEDULE, DOOR SCHEDULE, PAINT TYPE AND DETAILS

Room Finish Schedule

Clarify: Clarify base material, wall finish/materials ceiling materials and door remarks. See sheet A/302.

Sheet A303 - ENLARGED TOILET/LOCKER/SHOWER ROOM PLANS, TOILET ROOM ELEVATIONS, TOILET ROOM ACCESSORIES AND DETAILS

Enlarged Toilet/Locker/Shower Room 1/A303

Revised: Revise door 104 and 105. See sheet 1/A303.

Revised: Revised Women's toilet and Men's toilet ADA stall door. See sheet 1/A303.

Delete: Delete one stall in women's toilet. See sheet 1/A303.

Sheet A304- PARTIAL FINISH PLAN A304

Add: Added new sheet. See sheet 1/A304.

Drawings – Mechanical

Sheet M101 – FIRST FLOOR NEW WORK PLAN - ALTERNATE

Add: Add new sheet. See sheet M/101

End of Addendum No. 3

FLOOR PLAN KEYNOTES

- 1. REMOVE EXISTING WALL OPENING WITH CONCRETE FLOOR MATCHING EXISTING (VERIFY) NEW SURFACE FLOOR WITH EXISTING ADJACENT SURFACES. PROVIDE CURT @ ALL OPENINGS TO BE FILLED THAT ARE ADJACENT TO LOFT
- 2. EXISTING CEILING TO REMAIN
- 3. NEW CONCRETE FLOOR TO MATCH EXISTING
- 4. WALL FLOOR B.O. SHALL RUN ALONG TOP OF WALL
- 5. ALL FLOOR FINISHES TO MATCH EXISTING

GENERAL PLAN NOTES

- 1. ALL WALLS TO BE REMOVED BY THE CONTRACTOR AND RECONSTRUCTED TO MATCH EXISTING WALLS. ALL NEW WALLS TO BE CONSTRUCTED TO MATCH EXISTING WALLS.
- 2. EXISTING CEILING TO REMAIN & CONCRETE TO BE RECONSTRUCTED TO MATCH EXISTING CEILING.
- 3. NEW CONCRETE FLOOR TO MATCH EXISTING FLOOR.
- 4. WALL FLOOR B.O. SHALL RUN ALONG TOP OF WALL.
- 5. ALL FLOOR FINISHES TO MATCH EXISTING FINISHES.
- 6. ALL DOOR & WINDOW OPENINGS TO BE RECONSTRUCTED TO MATCH EXISTING OPENINGS.

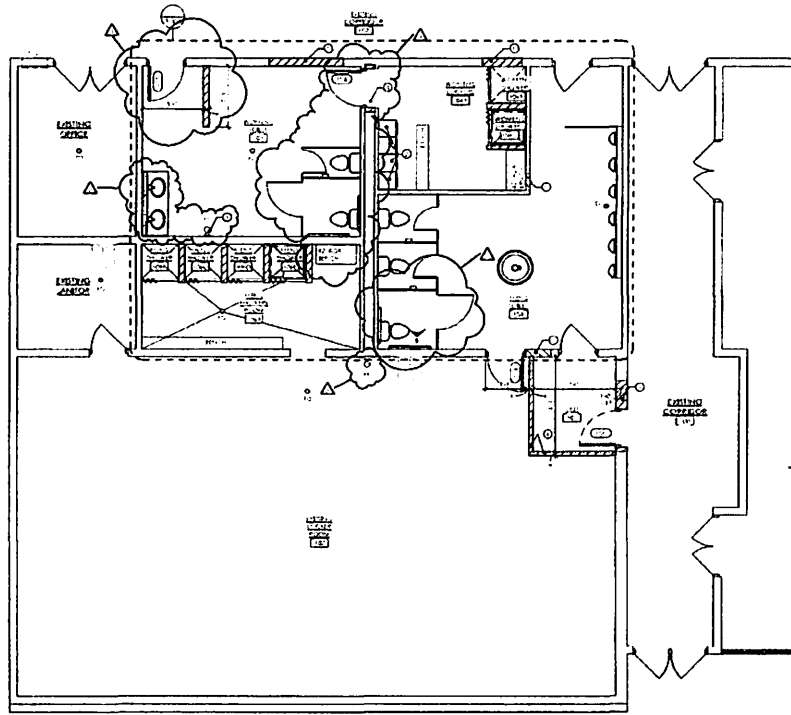
GENERAL DEMO PLAN NOTES

- 1. REMOVE EXISTING WALL OPENING WITH CONCRETE FLOOR MATCHING EXISTING (VERIFY) NEW SURFACE FLOOR WITH EXISTING ADJACENT SURFACES. PROVIDE CURT @ ALL OPENINGS TO BE FILLED THAT ARE ADJACENT TO LOFT
- 2. EXISTING CEILING TO REMAIN
- 3. NEW CONCRETE FLOOR TO MATCH EXISTING
- 4. WALL FLOOR B.O. SHALL RUN ALONG TOP OF WALL
- 5. ALL FLOOR FINISHES TO MATCH EXISTING

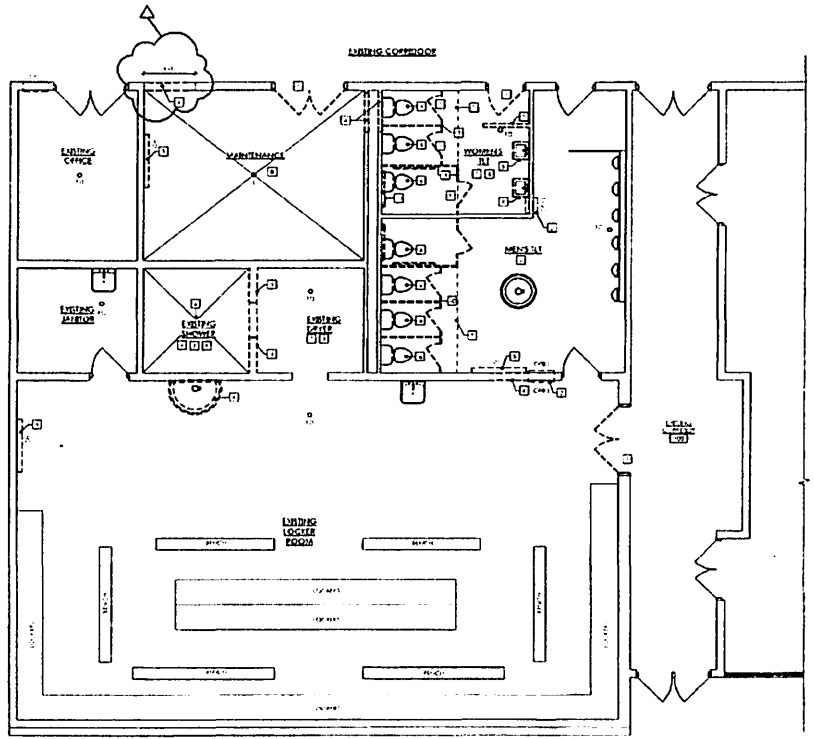
DEMOLITION PLAN KEYNOTES

NO.	DESCRIPTION
1	REMOVE EXISTING DOOR & FRAME (VERIFY) CONCRETE BALANCE FOR REUSE. PREP ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION.
2	REMOVE EXISTING CEILING PATCH TO MATCH EXISTING SURFACES AS REQUIRED FOR NEW CONSTRUCTION.
3	REMOVE EXISTING WALL AND PREP ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION.
4	CUT OPENING IN EXISTING WALL FOR NEW CONSTRUCTION. PREP ADJACENT SURFACES AS REQUIRED FOR NEW CONSTRUCTION.
5	REMOVE CABINET HEATER
6	REMOVE EXISTING PLUMBING FITTINGS. PREPARE FOR NEW CONSTRUCTION.
7	REMOVE EXISTING CEILING ASSEMBLY & LIGHT FIXTURES
8	REMOVE FLOOR FINISH & BASE TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH PLUMBING.
9	REMOVE EXISTING FLOOR TO ACCOMMODATE NEW CONSTRUCTION.
10	REMOVE TOILET PARTITION, GRAB BARS AND ACCESSORIES IN EXISTING TOILET ROOM.

NOTE
SEE PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL INFORMATION




PARTIAL FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



PARTIAL FIRST FLOOR-DEMOLITION PLAN
SCALE 1/4" = 1'-0"





ABACUS ARCHITECTS

REVISIONS:
ADD # 2 - 10/14/2019
ADD # 3 - 10/16/2019

7/15/2019
LOCKER ROOM RENOVATIONS
CITY OF SHEBOYGAN DPW RENOVATION
2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
11504 WINDSOR AVE. SHEBOYGAN, WISCONSIN 53081
PHONE: 426-4444 | FAX: 426-4444 | WWW.ABACUSARCHITECTS.COM

7/15/2019
LOCKER ROOM RENOVATIONS
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11504 WINDSOR AVE. SHEBOYGAN, WISCONSIN 53081
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BID SET

DRAWN BY: CEF
CHECKED BY: LFD

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PROJ. NO. 2019-22

ROOM FINISH SCHEDULE

ROOM	NAME	FLOOR	BASE	WALL FINISH / MATERIAL			CEILING	FLOORING	FLOOR METALS	WOOD TRIM	REMARKS
				NORTH	EAST	SOUTH					
100	ENTRY CORRIDOR	ENT	FTB	-	-	-	ENS	-	-	-	3'
101	WEST ENTRY LOCKER ROOM	ENT	FTB	ENB SGT	ENB SGT	ENB SGT	ACT-2	E-4	P-1	-	1-2
102	EAST ENTRY LOCKER ROOM	ENT	FTB	ENB SGT	ENB SGT	ENB SGT	ACT-2	E-4	P-1	-	1-2
103	MEN'S TOILET	ENT	FTB	CMU P-7/SGT	ENB SGT	ENB SGT	ACT-2	E-2	P-1	-	1-3
104A	WOMEN'S LOCKERS	FG	FTB	CMU P-7/FT	CMU P-7	CMU P-7	ACT-2	E-2	P-1	-	1
104B	WOMEN'S SHOWERS	FG	FTB	FT	FT	FT	ACT-2	E-2	P-1	-	1
104C	WOMEN'S SHOWERS	FG	FTB	FT	FT	FT	ACT-2	E-2	P-1	-	1
104D	WOMEN'S TOILET	FG	FTB	CMU P-7/CMU P-7	CMU P-7	CMU P-7	ACT-2	E-2	P-1	-	1
104E	MEN'S SHOWERS	FG	FTB	ENB SGT	ENB SGT	ENB SGT	ACT-2	E-2	P-1	-	3
104F	MEN'S SHOWERS	FG	FTB	CMU P-7	CMU P-7	CMU P-7	ACT-2	E-2	P-1	-	-
104G	MEN'S SHOWER	FG	FTB	FT	FT	FT	ACT-2	E-2	P-1	-	-
104H	MEN'S SHOWER	FG	FTB	FT	FT	FT	ACT-2	E-2	P-1	-	-
104I	MEN'S SHOWER	FG	FTB	FT	FT	FT	ACT-2	E-2	P-1	-	-
104J	MEN'S SHOWER	FG	FTB	FT	FT	FT	ACT-2	E-2	P-1	-	-

ROOM FINISH REMARKS

NO. DESCRIPTION

1 PATCH AND REPAIR EXISTING FLOOR AND BASE TO MATCH EXISTING AT AREAS OF CONSTRUCTION

2 STRUCTURAL GLAZED FACING IN DOOR TO BE REFINISHED

ROOM FINISH LEGEND

KEY	DESCRIPTION
ACT-1	ACoustic CEILING T8 - 24" x 24"
ACT-2	UNFACED GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CPIC	CONCRETE
CSF	CONCRETE
ES	EXPOSED STRUCTURE
EX	EXISTING FINISH
GP	GYPSON BOARD
HM	INSULATED METAL
IL	INSULATED FINISH
FG	FLOORING QUARTZ
FT	FLOOR TILE
FTB	FLOOR TILE BASE
SC	SEALED CONCRETE
SGT	STRUCTURAL GLAZED FACING IN LE
VB	VENEER BOARD
VCT	VENEER COMPOSITION TILE
WD	WOOD

REFLECTED CEILING PLAN LEGEND

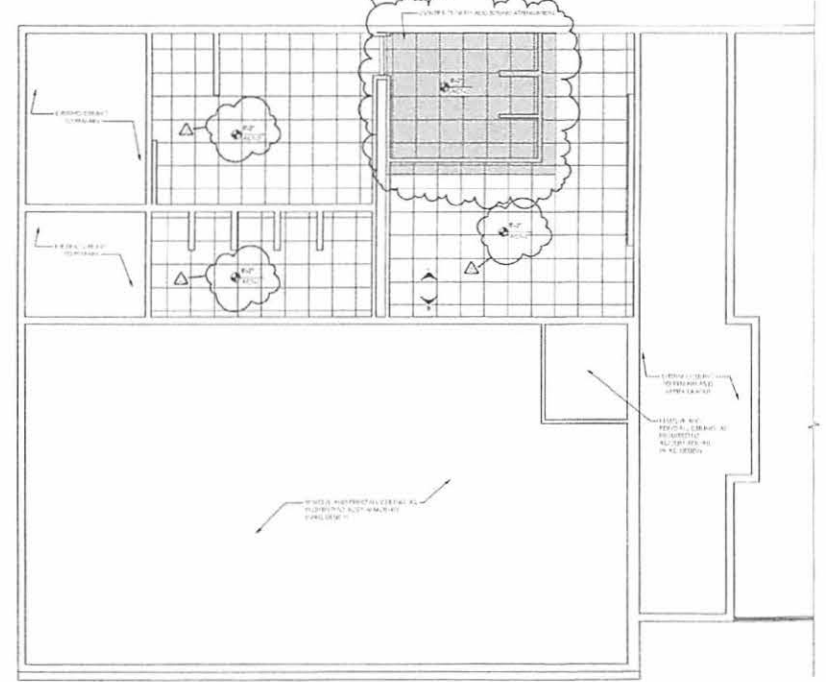
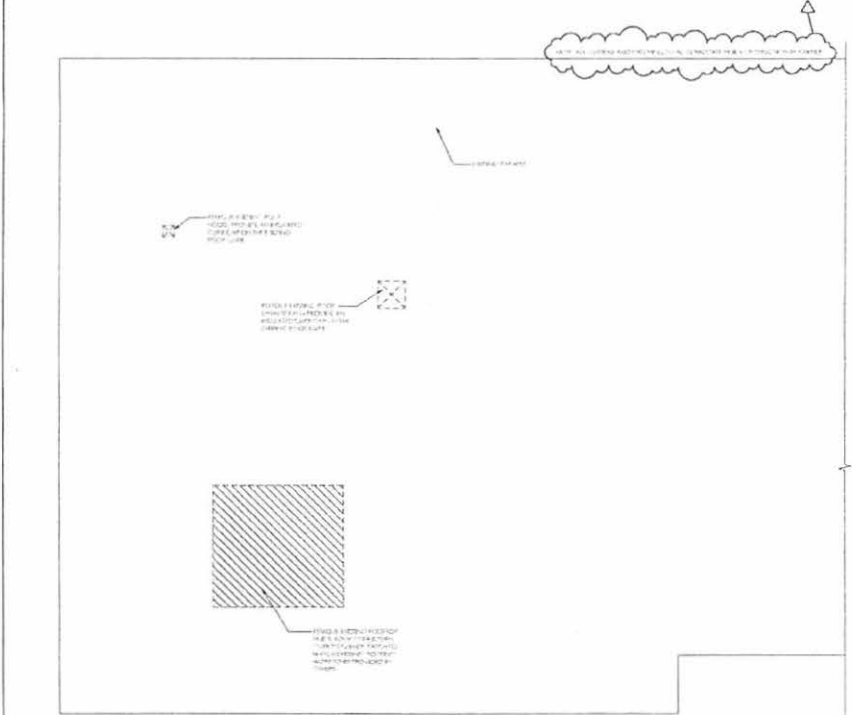
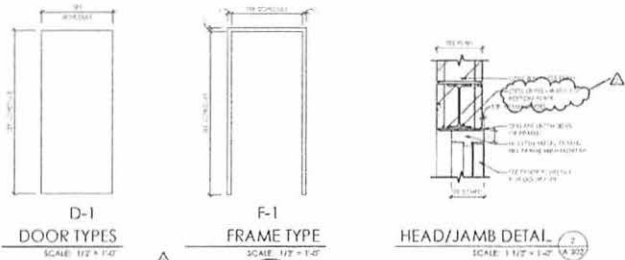
24" x 24" ACT-1/ACT-2

24" x 24" ACT-1/ACT-2

24" x 24" ACT-1/ACT-2

DOOR SCHEDULE

DOOR NO.	DOOR SIZE	ELEV.	MATERIAL	GLASS TYPE	HARDWARE SET NO.	FRAME			HEAD	JAMB	HIRE RADIUS	REMARKS
						ELEV.	MATERIAL	DEPTH				
101	7'-0" x 7'-0"	D-1	HM	-	BY OWNER	E-1	HM	5.374"	21A302	21A302	-	-
102	7'-0" x 7'-0"	D-1	HM	-	BY OWNER	E-1	HM	5.374"	21A302	21A302	-	-
104	7'-0" x 7'-0"	D-1	HM	-	BY OWNER	E-1	HM	5.374"	21A302	21A302	-	-
105	7'-0" x 7'-0"	D-1	HM	-	BY OWNER	E-1	HM	5.374"	21A302	21A302	-	-



REVISIONS:
ADD # 2 - 10/14/2019
ADD # 3 - 10/15/2019

LOCKER ROOM RENOVATIONS
 CITY OF SHEBOYGAN DPW RENOVATION
 2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
 1134 WOODHOLM AVE. SHEBOYGAN, WI 53081 (202) 492-4444 | 215 EAST ST. PALE AVE. MILWAUKEE, WI 53212 (414) 327-4343

DRAWN BY: DFE
CHECKED BY: ESD

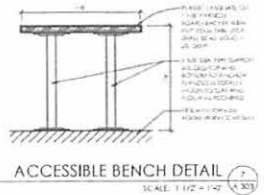
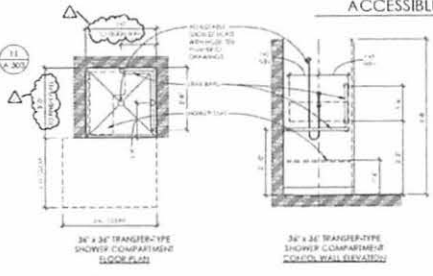
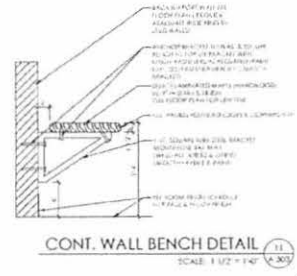
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PRJ. NO. 2019-22

BID SET



1. SIGNAGE SHALL BE 48" HIGH AND 18" WIDE.
2. SIGNAGE SHALL BE MOUNTED TO THE WALL.
3. SIGNAGE SHALL BE MOUNTED TO THE WALL AT THE CENTER OF THE SIGN.
4. SIGNAGE SHALL BE MOUNTED TO THE WALL AT THE CENTER OF THE SIGN.
5. SIGNAGE SHALL BE MOUNTED TO THE WALL AT THE CENTER OF THE SIGN.
6. SIGNAGE SHALL BE MOUNTED TO THE WALL AT THE CENTER OF THE SIGN.
7. SIGNAGE SHALL BE MOUNTED TO THE WALL AT THE CENTER OF THE SIGN.
8. SIGNAGE SHALL BE MOUNTED TO THE WALL AT THE CENTER OF THE SIGN.

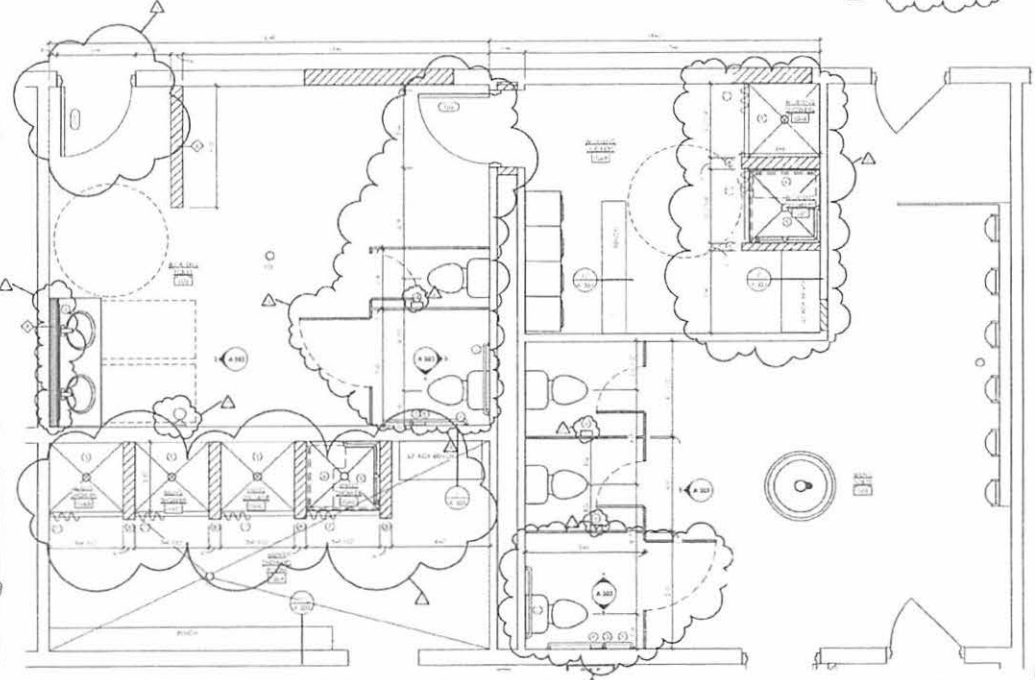
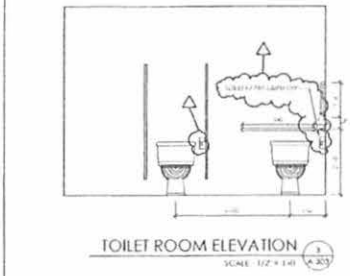
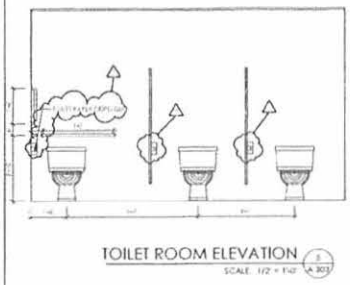


TOILET ROOM KEYNOTES

NO.	DESCRIPTION
1	42" GRAB BAR
2	36" GRAB BAR
3	18" GRAB BAR
4	MINOR - SEE ELEVATION FOR SIZE
5	TYPICAL SHOWER SEAT - SEE FINISH SCHEDULE
6	FOLDING SHOWER SEAT - WALL MOUNTED AT 18" A.F.F.
7	SHOWER CURTAIN AND CURTAIN ROD - MOUNTED HEIGHT
8	SHOWER HOOD - SEE DETAIL TO MATCH FOR TOILET PARTY EXTERIOR

GENERAL PLAN NOTES

1. ALL TOILET PARTS SHALL BE 18" HIGH AND 18" WIDE UNLESS OTHERWISE NOTED.
2. ALL TOILET PARTS SHALL BE 18" HIGH AND 18" WIDE UNLESS OTHERWISE NOTED.
3. ALL TOILET PARTS SHALL BE 18" HIGH AND 18" WIDE UNLESS OTHERWISE NOTED.
4. ALL TOILET PARTS SHALL BE 18" HIGH AND 18" WIDE UNLESS OTHERWISE NOTED.
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8. ALL TOILET PARTS SHALL BE 18" HIGH AND 18" WIDE UNLESS OTHERWISE NOTED.

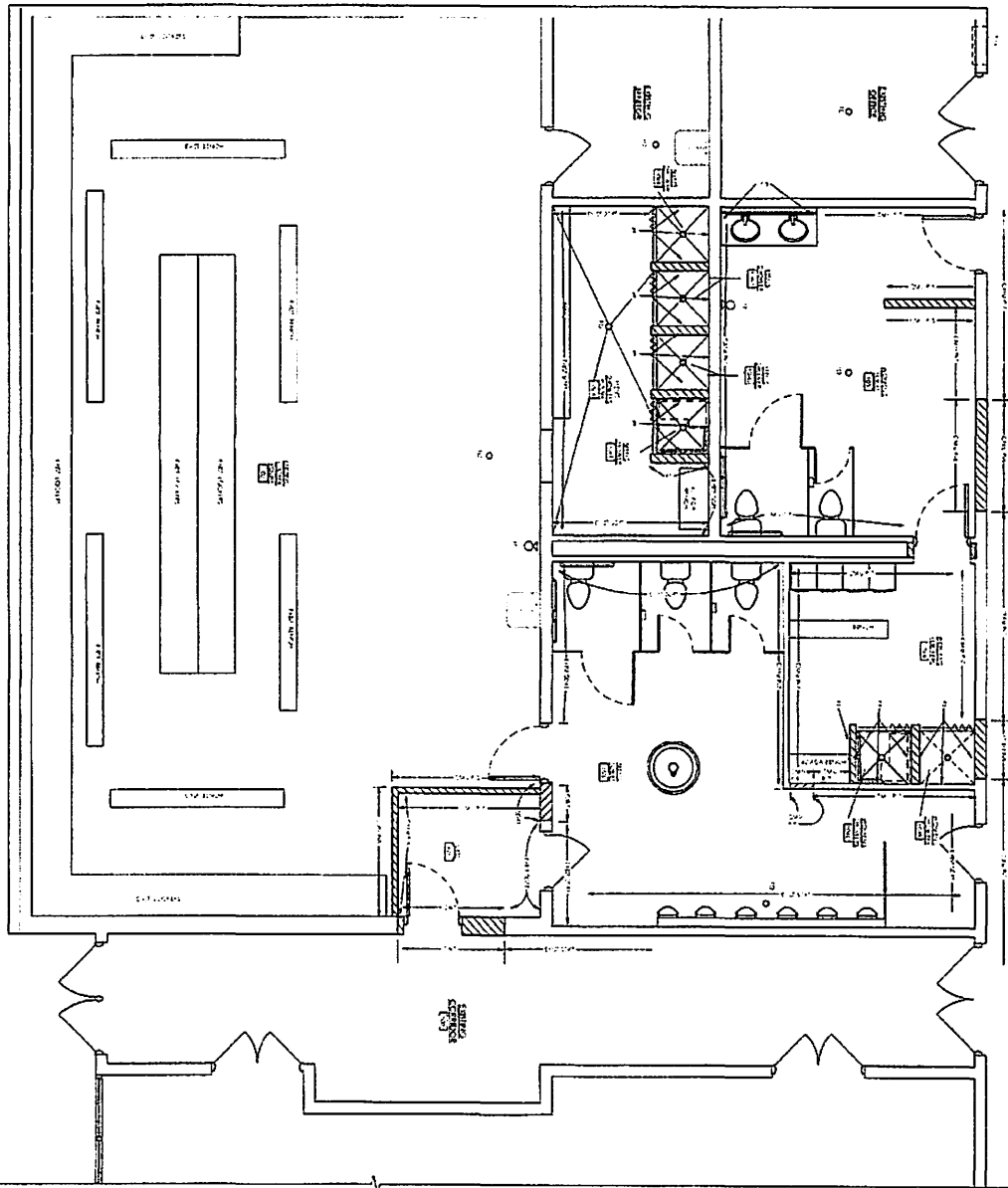


PROJECT NO. 2019-001
LOCKER ROOM RENOVATIONS
CITY OF SHEBOYGAN DPW RENOVATION
2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081
1125A MIDCOURT AVE. SHEBOYGAN, WI 53081 | 920.435.4444 | 1.255.543.1177 FAX: 920.435.4444 | JACQUES@ABACUS.AE.COM | 608.631.4400

DRAWN BY: GAE
CHECKED BY: HED

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PROJ. NO. 2019-22



PARTIAL FIRST FLOOR PLAN - FINISH FLOOR
 SCALE: 3/8" = 1'-0"



PROJ. NO. 2017-22

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304

DESIGNED BY: [blank]
 DRAWN BY: [blank]
 CHECKED BY: [blank]

9/10/2018
 LOCKER ROOM RENOVATIONS
CITY OF SHEBOYGAN DPW RENOVATION
 2026 NEW JERSEY AVE, SHEBOYGAN, WI 53081
 1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 (920) 452-4444 | 225 EAST ST. PAUL AVE, MILWAUKEE, WI 53202 (414) 837-4430

BID SET

REVISIONS:
 ADD: [blank]
 DATE: [blank]

ABACUS
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GENERAL BUILDING SPECIFICATIONS

DIVISION 1 GENERAL REQ.

1.01 SUMMARY

- 1.01.1 Section Includes
- 1.01.2 Related Sections

DIVISION 3 CONCRETE

3.01 SUMMARY

- 3.01.1 Section Includes
- 3.01.2 Related Sections

DIVISION 9 FINISHES

9.01 SUMMARY

- 9.01.1 Section Includes
- 9.01.2 Related Sections

DIVISION 10 SPECIALTIES

10.01 SUMMARY

- 10.01.1 Section Includes
- 10.01.2 Related Sections

1.02 GENERAL NOTES

- 1.02.1 All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC) unless otherwise specified.
- 1.02.2 All materials and workmanship shall be in accordance with the specifications and standards listed herein.
- 1.02.3 All work shall be completed in a timely manner and in accordance with the project schedule.
- 1.02.4 All work shall be completed in a professional and workmanlike manner.
- 1.02.5 All work shall be completed in a safe and sound manner.
- 1.02.6 All work shall be completed in a clean and neat manner.
- 1.02.7 All work shall be completed in a manner that does not damage existing work.
- 1.02.8 All work shall be completed in a manner that does not create a safety hazard.
- 1.02.9 All work shall be completed in a manner that does not create a nuisance.
- 1.02.10 All work shall be completed in a manner that does not create an environmental hazard.

3.02 CONCRETE

- 3.02.1 Concrete shall be in accordance with the specifications and standards listed herein.
- 3.02.2 Concrete shall be placed and finished in accordance with the specifications and standards listed herein.
- 3.02.3 Concrete shall be cured in accordance with the specifications and standards listed herein.
- 3.02.4 Concrete shall be tested in accordance with the specifications and standards listed herein.
- 3.02.5 Concrete shall be finished in accordance with the specifications and standards listed herein.
- 3.02.6 Concrete shall be placed and finished in accordance with the specifications and standards listed herein.
- 3.02.7 Concrete shall be cured in accordance with the specifications and standards listed herein.
- 3.02.8 Concrete shall be tested in accordance with the specifications and standards listed herein.
- 3.02.9 Concrete shall be finished in accordance with the specifications and standards listed herein.
- 3.02.10 Concrete shall be placed and finished in accordance with the specifications and standards listed herein.

9.02 FINISHES

- 9.02.1 Finishes shall be in accordance with the specifications and standards listed herein.
- 9.02.2 Finishes shall be applied in accordance with the specifications and standards listed herein.
- 9.02.3 Finishes shall be finished in accordance with the specifications and standards listed herein.
- 9.02.4 Finishes shall be tested in accordance with the specifications and standards listed herein.
- 9.02.5 Finishes shall be finished in accordance with the specifications and standards listed herein.
- 9.02.6 Finishes shall be applied in accordance with the specifications and standards listed herein.
- 9.02.7 Finishes shall be finished in accordance with the specifications and standards listed herein.
- 9.02.8 Finishes shall be tested in accordance with the specifications and standards listed herein.
- 9.02.9 Finishes shall be finished in accordance with the specifications and standards listed herein.
- 9.02.10 Finishes shall be applied in accordance with the specifications and standards listed herein.

10.02 SPECIALTIES

- 10.02.1 Specialties shall be in accordance with the specifications and standards listed herein.
- 10.02.2 Specialties shall be installed in accordance with the specifications and standards listed herein.
- 10.02.3 Specialties shall be finished in accordance with the specifications and standards listed herein.
- 10.02.4 Specialties shall be tested in accordance with the specifications and standards listed herein.
- 10.02.5 Specialties shall be finished in accordance with the specifications and standards listed herein.
- 10.02.6 Specialties shall be installed in accordance with the specifications and standards listed herein.
- 10.02.7 Specialties shall be finished in accordance with the specifications and standards listed herein.
- 10.02.8 Specialties shall be tested in accordance with the specifications and standards listed herein.
- 10.02.9 Specialties shall be finished in accordance with the specifications and standards listed herein.
- 10.02.10 Specialties shall be installed in accordance with the specifications and standards listed herein.

DIVISION 4 MASONRY

4.01 SUMMARY

- 4.01.1 Section Includes
- 4.01.2 Related Sections

DIVISION 7 THERM. & MOIST.

7.01 SUMMARY

- 7.01.1 Section Includes
- 7.01.2 Related Sections

DIVISION 8 DOORS & WINDOWS

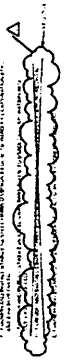
8.01 SUMMARY

- 8.01.1 Section Includes
- 8.01.2 Related Sections

DIVISION 10 SPECIALTIES

10.01 SUMMARY

- 10.01.1 Section Includes
- 10.01.2 Related Sections



ABACUS
ARCHITECTS

REVISED:
DATE: 9-2-10/AC018

CITY OF SHEBOYGAN
LOCKER ROOM RENOVATIONS

2026 NEW JERSEY AVE. SHEBOYGAN, WI 53081

11254 MCWICK AVE. SHEBOYGAN, WI 53081 | 231.543.31 | FAX: 231.543.4400

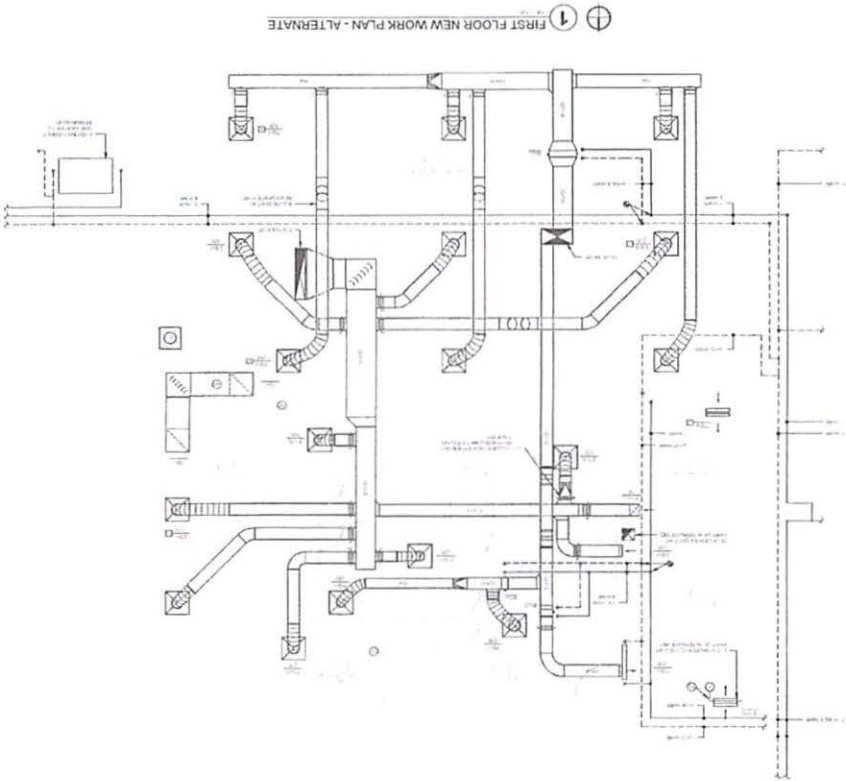
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CHECKED BY: []
DATE: []

PROJ. NO. 2019-22



⊕ 1 FIRST FLOOR NEW WORK PLAN - ALTERNATE



DCE PROJECT 1902

PROJ. NO. 2019-22

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DRAWN BY DCE

CHECKED BY DCE

LOCKER ROOM RENOVATIONS

CITY OF SHEBOYGAN DPW RENOVATION

2024 NEW JERSEY AVE. SHEBOYGAN WI 53081
1154 WASHINGTON AVE. SHEBOYGAN, WI 53081 | 920 EAST PARK DR. SHEBOYGAN, WISCONSIN 53081

REVISIONS:

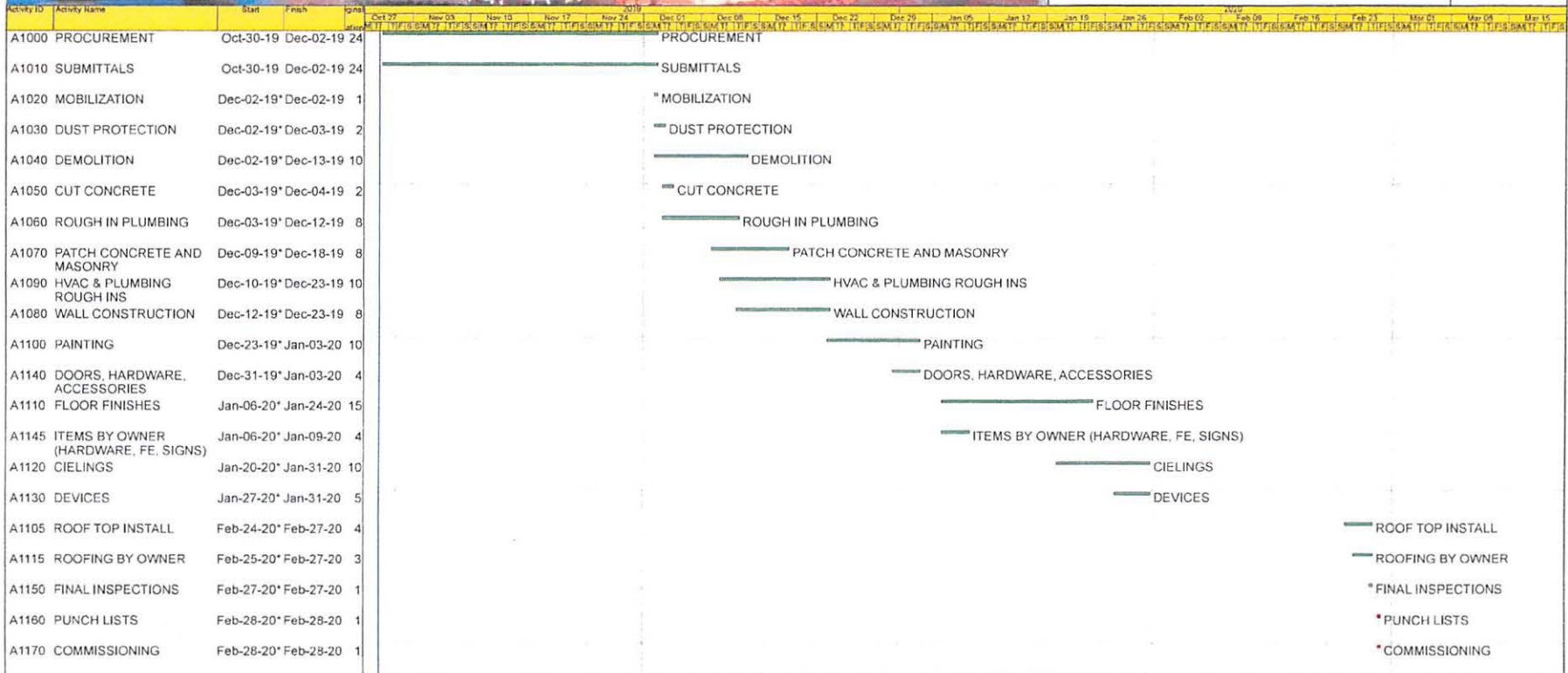
ABACUS ARCHITECTS



ZEISE

CONSTRUCTION

Nov-04-19



Date	Revision	Checked	Approved
Oct-30-19	PRELIMINARY #1	CMC	CMC
Nov-04-19	PRELIMINARY #2 BASED ON HVAC EQUIPMENT ...	CMC	CMC

SHEBOYGAN DPW LOCKER ROOM RENOVATION

Craig M Cornell, PM

Page 1 of 1



CITY OF SHEBOYGAN

REQUEST FOR PUBLIC WORKS COMMITTEE CONSIDERATION

ITEM DESCRIPTION: A resolution authorizing the appropriate City officials to enter into a contract for the remodeling of the Men’s and Women’s bathroom facilities at the Municipal Service Building.

REPORT PREPARED BY: Bernard R. Rammer, Purchasing Agent

REPORT DATE: November 5, 2019

MEETING DATE: November 12, 2019

FISCAL SUMMARY:

Budget Line Item: 40033110-621200
Budget Summary: 2019 Capital Projects
Building
Improvements
Budget Expenditure: \$ 213,003.00
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS: The Men’s and Women’s bathroom facilities are original to the building (1966) and are in need of an update. Funding of \$ 250,000.00 was budgeted with architectural fees of \$36,000 included and already expended. The project was put to public bids with the lowest responsive bid received from Zeise Construction Inc. of Green Bay WI. A full tabulation of bids is attached to this document.

STAFF COMMENTS: As of this writing, the total cost of the remaining work is \$ 219,597.00 comprised of the Zeise Construction bid and certain additional expenses outside of the contracted amount. In an effort to reduce the costs to comply with the remaining funds, staff has identified several additional cost savings in excess of \$ 10,000 with additional savings possible.

ACTION REQUESTED: Motion to recommend that the Council adopt Res. No. 112-19-20 to authorize the appropriate City Officials to enter into contract with Zeise Construction Inc. and authorize the purchase additional goods and services outside of the contract as needed to complete the work and make the necessary changes in scope in an attempt to complete the project within the limits of the available funding.

ATTACHMENTS:

- I. Res. No. 112-19-20
- II. Zeise Construction, Inc. Agreement
- III. Tabulation of Bids
- IV. Bid Set

CITY OF SHEBOYGAN
Municipal Service Building
REQUEST FOR BIDS # 1973-19
Locker & Bath Improvements
BID TABULATIONS
OCTOBER 22, 2019 1:00 pm

Contractor	Pre-Bid Attend	Bid Bond	Addenda 1, 2, & 3	Start Finish	Base Bid	Alternate
Jos. Schmitt & Sons Sheboygan	Y	Y	Y	30 Days 2/1/2020	\$ 278,440.00	ADD \$ 4,971.00
Cardinal Construction Fond du Lac	Y	Y	Y	30 Days 1/31/2020	\$ 274,500.00	ADD: \$4,500.00
A.C.E Building Service Manitowoc	Y	Y	Y	7 Days 1/17/2020	\$ 230,967.00	ADD \$ 3,703.00
A. Chappa Construction Sheboygan Falls	Y	Y	Y	15 Days 1/31/2020	\$ 218,865.00	ADD \$ 4,185.00
Howard Immel Construction Green Bay	Y	Y	Y	30 days 12/31/2019	\$ 239,900.00	Not Given
Mike Koenig Construction Sheboygan	Y	Y	Y	14 Days 12/31/2019	\$ 229,900.00	ADD \$ 3,825.00
Frank O. Zeise Construction Green Bay	Y	Y	Y	2 Days 12/31/2019	\$ 209,832.00	ADD \$ 3,828.00

	Fire Protection Sub	Electrical	Plumbing	HVAC	Tile/Masonry	Paint
Jos. Schmitt & Sons Sheboygan	Fire Stopping Services	KW Electric	Aldag Honold	Manitowoc Heating	Kaeden Services	
Cardinal Construction Fond du La	Fireline Sprinklers	KW Electric	Aldag Honold	Manitowoc Heating	Pahlow Masonry and Castellan	Showcase Painting
A.C.E Building Service Manitowoc	Complete Fire Solutions	KW Electric	Aldag Honold	Kleeman Mechanical		
A. Chappa Construction Sheboygan Falls	Complete Fire Solutions	KW Electric	Aldag Honold	Kleeman Mechanical		
Howard Immel Construction Green Bay	Complete Fire Solutions	KW Electric	M&H Plumbing	Kleeman Mechanical		
Mike Koenig Construction Sheboygan	Complete Fire Solutions	KW Electric	Aldag Honold	Manitowoc Heating	Kaeden Services	
Frank O. Zeise Construction Green Bay	Complete Fire Solutions	KW Electric	Aldag-Honold	Kleeman Inc.		